

CITY OF DELAWARE PLANNING COMMISSION AGENDA

MEETING TO BE HELD VIRTUALLY VIA CISCO Webex **
6:30 P.M.

REGULAR MEETING

June 3, 2020

1. ROLL CALL
2. APPROVAL of the Motion Summary of the Planning Commission meeting held on March 4, 2020, as recorded and transcribed.
3. REGULAR BUSINESS

A. Delaware County Fairgrounds

- (1) 2020-0400: A request by the Delaware County Commissioners for approval of a Rezoning Amendment for the Delaware County Fairgrounds from R-3 (One-Family Residential District) and B-3 (Community Business District) to R-3 and B-3 PMU on approximately 101 acres and located at 236 Pennsylvania Avenue.
- (2) 2020-0401: A request by the Delaware County Commissioners for approval of a Conditional Use Permit allowing the Placement of a Mixed-Use Planned Overlay District (PMU) on the Delaware County Fairgrounds on approximately 101 acres zoned R-3 and B-3 PMU and located at 236 Pennsylvania Avenue.
- (3) 2020-0402: A request by the Delaware County Commissioners for approval of a Preliminary Development Plan for the Delaware County Fairgrounds on property zoned R-3 and B-3 PMU on approximately 101 acres and located at 236 Pennsylvania Avenue.
- (4) 2020-0403: A request by the Delaware County Commissioners for approval of two alley vacations for the Delaware County Fairgrounds on property zoned R-3 and B-3 PMU on approximately 101 acres and located at 236 Pennsylvania Avenue.

Anticipated Process

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (public hearing)

Due to the meeting being held virtually, public comment is requested to be received either before or during the meeting through email at emccloskey@delawareohio.net. Comments received on Facebook may have to be addressed by staff subsequent to the meeting.

d. Commission Action

B. Sheetz

- (1) 2020-0417: A request by Skilken Gold Real Estate Development for approval of a Combined Preliminary and Final Development Plan for Sheetz located on Lot 12722 (within Sub-Area 6) of Coughlin's Crossing on approximately 1.88 acres located east of US 23 just south of Penny Way and zoned A-1 PMU.
- (2) 2020-0418: A request by Skilken Gold Real Estate Development for approval of a Conditional Use Permit for Sheetz located on Lot 12722 (within Sub-Area 6) of Coughlin's Crossing on approximately 1.88 acres located east of US 23 just south of Penny Way and zoned A-1 PMU.

Anticipated Process

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (public hearing)

Due to the meeting being held virtually, public comment is requested to be received either before or during the meeting through email at emccloskey@delawareohio.net. Comments received on Facebook may have to be addressed by staff subsequent to the meeting.

- d. Commission Action

- C. 2020-0626: A request by Glenn Road Capital LLC for approval of a Final Subdivision Plat for Belmont Place Section 8 containing five commercial out lots on approximately 12.88 acres zoned B-3 PMU (Community Business District with a Planned Mixed Use Overlay District) and located on Glenn Parkway and Peachblow Road.

Anticipated Process

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (not a public hearing)
- d. Commission Action

4. PLANNING DIRECTOR'S REPORT
5. COMMISSION MEMBER COMMENTS AND DISCUSSION
6. NEXT REGULAR MEETING: July 1, 2020

7. ADJOURNMENT

** This meeting will be a virtual meeting. Residents are encouraged to view online through the City of Delaware Facebook page. To comply with the CDC recommendation prohibiting group meetings, no in person attendance by Council, staff, or the public will be available.

PLANNING COMMISSION
March 4, 2020
MOTION SUMMARY

ITEM 1. Roll Call

Chairman Simpson called the meeting to order at 6:30 p.m.

Members Present: Robert Badger, Jim Halter, Dean Prall, Andy Volenik, Mayor Carolyn Kay Riggle and Chairman Stacy Simpson

Members Absent: Vice-Chairman George Mantzoros

Staff Present: Carrie Fortman, Project Engineer, Jordan Selmek, Zoning Officer, Lance Schultz, Zoning Administrator and Dave Efland, Planning and Community Development Director

Motion to Excuse: Mr. Badger motioned to excuse Vice-Mayor Mantzoros, seconded by Mayor Riggle. Motion approved by a 6-0 vote.

ITEM 2. APPROVAL of the Motion Summary of the Planning Commission meeting held on February 5, 2020, as recorded and transcribed.

ITEM 3. REGULAR BUSINESS

A. Terra Alta

- (1) 2020-0258: A request by Terra Alta LLC for a Rezoning Amendment for Terra Alta from A-1 and R-2 PMU to A-1 and R-2 PMU on approximately 472.9 acres and located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road (No zoning changes to the Stockdale Farms portion of the development).
- (2) 2020-0259: A request by Terra Alta LLC for a Conditional Use Permit allowing the Placement of a Mixed-Use Overlay District (PMU) for Terra Alta on 472.9 acres zoned A-1 and R-2 PMU located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road.
- (3) 2020-0260: A request by Terra Alta LLC for an Amended Preliminary Development Plan for Terra Alta on approximately 472.9 acres on property zoned A-1 and R-2 PMU and located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road.
- (4) 2020-0261: A request by Terra Alta LLC for an Amended Preliminary Subdivision Plat for Terra Alta on approximately 472.9 acres on property zoned A-1 and R-2 PMU and located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road.

Anticipated Process

a. Staff Presentation

Mr. Schultz discussed the subject site in which the current Terra Alta development is zoned A-1 PMU and the current Stockdale Farms is zoned R-2 PMU while the 68,275 acres located between the two developments is zoned A-1. The developer is looking to amend the zoning and combine the developments into one coordinated master planned community to be known as Terra Alta. The property would be developed into 12 Sub-Areas and will consist of detached single-family homes, attached and or detached single family condominiums, duplexes and patio homes. The development will have a total of 870 single family units with 657 single family lots and 213 condominium, patio home and duplex units on 472.9 acres. Mr. Schultz discussed the access to the subject site and site layout. The entire development will have approximately 179.28 acres of open space in 18 reserve areas and the tree preservation and requirements were reviewed.

Mr. Prall questioned if the development will be included in the new mailbox standards, which Mr. Efland replied yes. Mr. Prall requested a breakdown of the school district boundaries.

b. Applicant Presentation

APPLICANT:

Jeff Strung
EMHT
5500 New Albany Road
Columbus, Ohio

Jeff Ohlin
Terra Alta LLC
148 West Schrock Road
Westerville, Ohio

c. Public comment (public hearing)

PUBLIC COMMENT:

Dean Smith
1631 Berlin Station Road
Delaware, Ohio

Mr. Smith questioned if a traffic study was completed and voiced safety concerns related to the increase of traffic. Ms. Fortman reviewed the past traffic study.

Scott Dodge
922 Pollock Road
Delaware, Ohio

Mr. Dodge discussed he was impressed with the development. He voiced concern on traffic on Pollock Road, but did notice that trees were cut at the curve to increase site distance. He discussed his preference for a bike path along Pollock. Mr. Efland discussed the City Plan is to keep Pollock as a scenic route. He discussed the longer term City Plan is to make greenway corridor along the river and coordinating bike paths with the new Preservation Park location.

Roger Plummer
2505 Stratford Road
Delaware, Ohio

Mr. Plummer requested a timeline for the development to be built.

Richard Konkolewski
339 Braxton
Delaware, Ohio

Mr. Konkolweski voiced concerns relating to traffic and concerns on turning left off of Pollock onto US 23. Mr. Efland discussed ODOT may have a long term plan to limit traffic pattern on Pollock Road.

Justin Brenner
348 Pacena Road
Delaware, Ohio

Mr. Brenner requested a clarification of number of lots in the development

Mr. Ohlin discussed the diversity of homes to be built and the phasing schedule and price range. Mr. Strung reviewed staff recommendations 1, 19 and 27.

d. Commission Action

Motion: Mr. Badger motioned to approve 2020-0258, along with all staff recommendations and conditions, seconded by Mr. Volenik. Motion approved by a 6-0 vote.

Motion: Mr. Badger motioned to approve 2020-0259, along with all staff recommendations and conditions, seconded by Mr. Volenik. Motion approved by a 6-0 vote.

Motion: Mr. Badger motioned to approve 2020-0260, along with all staff recommendations and conditions, seconded by Mr. Volenik. Motion approved by a 6-0 vote.

Motion: Mr. Badger motioned to approve 2020-0261, along with all staff recommendations and conditions, seconded by Mr. Volenik. Motion approved by a 6-0 vote.

- B. 2020-0225: A request by Skilken Gold Real Estate Development for approval of a Combined Preliminary and Final Development Plan for Sheetz located at 700 Sunbury Road on property zoned B-3 (Community Business District) and B-4 (General Business District) on approximately 4.6 acres.

Anticipated Process

a. Staff Presentation

Mr. Schultz reviewed the proposed site plan and property location. The applicant is proposing to raze the existing two buildings on the site and construct an approximate 6,007 square foot gas station and restaurant with a drive thru on the 4.6 acre site. The gas station would be accessed by a right-in/right-out curb cut on Sunbury Road and a full movement burb cut on Mill Road Run Crossing. The gas station would have four fueling islands and 47 parking spaces which would accommodate the gas station and restaurant. He discussed the sidewalk connectivity, bike path plans, tree removal and landscaping plans. Since street trees will be planted along Sunbury Road during the “The Point Project”, the applicant shall make a payment in lieu of the required 7 street trees.

Mr. Halter questioned the street tree plan for Sunbury Road. Mr. Efland reviewed that “The Point Project” will come to the 521 intersection and that the applicant will make a payment to the City in lieu of planting the trees and the City will plant the trees after the completion of the project.

Mr. Volenik voiced a concern over the right-in/right-out location. Ms. Fortman discussed that staff will monitor the area and if this becomes a problematic area then staff can require that access is a right-in only.

Chairman Simpson voiced a concern over the ice machines located up front.

b. Applicant Presentation

APPLICANT:

Sarah Gold
4270 Morse Road
Columbus, Ohio

Frank Petruziello
4270 Morse Road
Columbus, Ohio

Mr. Petruziello discussed the restaurant plan. He also discussed the preference for the ice machine location as they are not locked and want to keep in staff line of sight. He discussed having the color materials match the building for the ice machine. Mr. Petruziello responded to Mr. Prall that the gas station will not service RV's.

c. Public comment (not a public hearing)

Jim Frisch Sr.
202 Cottswold Drive
Delaware, Ohio

Mr. Frisch voiced concern over the access to and out of the location and that this area is high traffic and feels not in a safe area. He questioned if there would be a traffic study in the area. Ms. Fortman discussed that a traffic study will need to be completed and if it shown the access has a dangerous impact then the plan could be changed. Mr. Frisch voiced concerns over changes to the access to his business location across the street at the Marathon.

Jim Frisch Jr.
2456 Horseshoe Road
Delaware, Ohio

Mr. Frisch voiced a concern over the traffic in the area and the accident history at the corner. He discussed that the proposed business is a hyper marketer and will bring an increase of traffic.

d. Commission Action

Motion: Mr. Volenik motioned to approve 2020-0225, along with all staff conditions and recommendations, seconded by Mr. Halter. Motion approved by a 6-0 vote.

C. COMMUNITIES AT GLENROSS – SECTION 16

- (1) 2020-0205 A request by Pulte Homes for approval of a Final Development Plan for the Communities at Glenross Section 16 for 45 single-family lots on 18.21 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed-Use Overlay District) and located on Cambie Drive, Bald Eagle Drive and Sundial Lane.
- (2) 2020-0206: request by Pulte Homes for approval of a Final Subdivision Plat for the Communities at Glenross Section 16 Part 1 for 36 single-family lots on 14.476 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed-Use Overlay District) and located on Cambie Drive, Bald Eagle Drive and Sundial Lane.
- (3) 2020-0207: request by Pulte Homes for approval of a Final Subdivision Plat for the Communities at Glenross Section 16 Part 2 for 9 single-family lots on 3.743 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed-Use Overlay District) and located on Bald Eagle Drive and Sundial Lane.

Anticipated Process

a. Staff Presentation

Mr. Selmek reviewed the staff report and discussed the location of the subject property and history of the project which dates back to 2006. Section 16 consists of 45 single-family lots on 18.21 acres. He reviewed pedestrian connectivity and access to the development.

b. Applicant Presentation

APPLICANT:

Nate Dozer
475 Metro Place
Dublin, Ohio

Mr. Dozer discussed the tree replacement and landscape plans with the tot lot.

c. Public comment (no public hearing)

There was no public participation.

d. Commission Action

Motion: Mr. Halter motioned to approve 2020-0205, along with

all staff conditions and recommendations, seconded by Mr. Badger. Motion approved by a 6-0 vote.

Motion: Mr. Halter motioned to approve 2020-0206, along with all staff conditions and recommendations, seconded by Mr. Badger. Motion approved by a 6-0 vote.

Motion: Mr. Halter motioned to approve 2020-0207, along with all staff conditions and recommendations, seconded by Mr. Badger. Motion approved by a 6-0 vote.

D. Enclave at the Ravines at Olentangy

- (1) 2020-0236: A request by T&R Properties for approval of a Final Development Plan for Enclave at the Ravines at Olentangy containing 86 single family attached units and 1 single family detached unit on approximately 14.742 acres on property zoned R-6 PMU (Multi-Family Residential District with a Planned Mixed Use Overlay District) located on the north side of Curve Road and west of Rochdale Run.
- (2) 2020-0237: A request by T&R Properties for approval of a Final Subdivision Plat for Enclave at the Ravines at Olentangy containing 86 single family attached units and 1 single family detached unit on approximately 14.742 acres on property zoned R-6 PMU (Multi-Family Residential District with a Planned Mixed Use Overlay District) located on the north side of Curve Road and west of Rochdale Run.

Anticipated Process

a. Staff Presentation

Mr. Selmek reviewed the property location and proposal to construct 86 attached single family and 1 detached single-family condominium dwelling units on individual lots. There would be two access points into the subject development from Rochdale Run with a retention pond located on the northwestern portion of the site.

Mayor Riggle voiced a concern over the use of vinyl siding on the rear and side elevations.

b. Applicant Presentation

APPLICANT:
R.J. Sabatino
15 East Lane Avenue
Columbus, Ohio

Mr. Sabatino discussed that the plan is similar to the Enclaves at Adalee and that the occupants are expected to be mostly empty nesters. He discussed the projected price and was not able to confirm who the builder will be.

c. Public comment (no public hearing)

There was no public participation.

d. Commission Action

Motion: Mr. Prall motioned to approve 2020-0236, along with all staff conditions and recommendations, seconded by Mr. Volenik. Motion approved by a 6-0 vote.

Motion: Mr. Prall motioned to approve 2020-0237, along with all staff conditions and recommendations, seconded by Mr. Volenik. Motion approved by a 6-0 vote.

ITEM 4. PLANNING DIRECTOR REPORT

Mr. Efland provided an update on the Comprehensive Plan and Census. He also informed the Commission about staffing changes.

ITEM 5. COMMISSION MEMBER COMMENTS AND DISCUSSION

Mr. Prall informed the Commission that he will not be able to attend the April 1 meeting.

Mayor Riggle discussed that she was informed that Village Gate was turning from rentals to condos.

ITEM 6. NEXT REGULAR MEETING: April 1, 2020

ITEM 7. ADJOURNMENT:

Motion: Chairman Simpson moved for the Planning Commission meeting to adjourn. The meeting adjourned at 8:46 p.m.

Chairperson

Elaine McCloskey, Clerk



PLANNING COMMISSION/STAFF REPORT

CASE NUMBER: 2020-0400-0403

REQUEST: Multiple Requests

PROJECT: Delaware County Fairgrounds

MEETING DATE: June 3, 2020

APPLICANT/OWNER

Delaware County Agricultural Society
236 Pennsylvania Avenue
Delaware, Ohio 43015

REQUEST

2020-0400: A request by the Delaware County Commissioners for approval of a Rezoning Amendment for the Delaware County Fairgrounds from R-3 (One-Family Residential District) and B-3 (Community Business District) to R-3 and B-3 PMU (Planned Mixed Use Overlay District) on approximately 101 acres and located at 236 Pennsylvania Avenue.

2020-0401: A request by the Delaware County Commissioners for approval of a Conditional Use Permit allowing the Placement of a Mixed-Use Planned Overlay District (PMU) on the Delaware County Fairgrounds on approximately 101 acres zoned R-3 and B-3 PMU and located at 236 Pennsylvania Avenue.

2020-0402: A request by the Delaware County Commissioners for approval of a Preliminary Development Plan for the Delaware County Fairgrounds on property zoned R-3 and B-3 PMU on approximately 101 acres and located at 236 Pennsylvania Avenue.

2020-0403: A request by the Delaware County Commissioners for approval of two alley vacations for the Delaware County Fairgrounds on property zoned R-3 and B-3 PMU on approximately 101 acres and located at 236 Pennsylvania Avenue.

PROPERTY LOCATION & DESCRIPTION

The County Fairground encompasses approximately 101 acres within the City (the remainder of the Fairgrounds is located in the County) and is essentially located north of the Pennsylvania Avenue, south the of Shelbourne Forest Subdivision, east of the Shelbourne Forest Subdivision and Hayes Colony Subdivision and west of US 23. The majority of the Fairgrounds is zoned R-3 (One-Family Residential District) while the northeastern portion of the fairgrounds is zoned B-3 (Community Commercial District). The properties to the north are zoned R-2 PUD and R-4 in the City and PCD (Planned Commercial and Office District) in the County, the properties to the south are zoned R-3 and R-4 in the City, the properties to the east in the County are zoned PCD (Planned Commercial District) and FR-1 (Farm Residential District) and the properties to the west are zoned R-3 in the City.

BACKGROUND/PROPOSAL

The Delaware County Commissioners (Delaware County Fair Board) are proposing a Rezoning to a PMU with a conceptual masterplan to provide a guide for future development of the Fairgrounds. The Fairgrounds has served the Delaware County and City of Delaware for many years as a year-round resource for many functions and uses. Beyond hosting the Delaware County Fair and the internationally recognized Little Brown Jug, the Fairgrounds serves the neighborhoods, City and County with its grounds and facilities which are used year-round.

The Development Plan and Text for the Delaware County Fairgrounds recognizes that this site, located in the City of Delaware and in Delaware County (Troy Township), has served and is intended to serve as the home of the County Fair for many years to come. All of the uses, functions, and areas that are associated with the 10-15 days of the preparation, fair-time and disassembling of the County Fair within the Fairgrounds areas will continue. The Development Plan and Text for the Delaware County Fairgrounds are planned to identify the uses, areas, and development standards of the Fairgrounds and facilities, beyond the week or two of the fair-times which will continue, but rather for the year-round functions and operations. The fairgrounds are divided into seven planning areas. Additionally, the current zoning of the Fair Grounds for their unique set of uses is not appropriate or conducive to the site. Thus, the Applicant is following through on a required change of zoning to better reflect the longer-term plan and existing as well as future unique fair Ground Uses. Also, the County is proposing to construct the approximate 24,000 square foot 4H building this year that was approved by City Council in 2018 which requires the subject alley vacations.

STAFF ANALYSIS

- **ZONING:** The current R-3 and B-3 zoning of the Fairgrounds does not permit the majority of the current and proposed uses and the Rezoning to a PMU with Development Text, Conditional Use Permit and Preliminary Development Plan would permit the current and future uses proposed. Currently the majority of land uses within the Fairgrounds are considered legal non-conforming uses. In addition, two alleys are being vacated just north of Pennsylvania Avenue to advance the construction of the 4-H building. The Planning Commission and City Council would have to approve the Rezoning to PMU, Conditional Use Permit, Preliminary Development Plan and Alley Vacation.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review for each subject phase prior to Final Development Plan approval.
- **ROADS AND ACCESS:** The access to the fairground will remain the same with access locations on Pennsylvania Avenue (multiple locations), North Liberty Street and US 23 North. Per the development text, the internal roadway network shall be paved or compacted aggregate with the appropriate top dressing. All turning radius and maneuvering geometrics of the paved drives shall meet the Fire Department requirements. The engineering drawings for such improvements shall accompany the submittal of the Final Development Plans for the subject planning area.
- **PEDESTRIAN PATHS:** All pedestrian walks shall be paved with asphalt, concrete or masonry units such as pavers, brick, etc. per the approved development text. Accessways primarily for livestock use may be constructed of stone, mulch, soil, wood chips, or other appropriate material that is safe with the use of agricultural livestock and equipment. In addition, the property owner shall dedicate a bike path easement to the City of Delaware running generally north and south across the planning area and in conformance with Ordinance 18-117 and in a location acceptable to the City and County Fair Board to allow it to connect bikepaths and pedestrian paths in the area and/or as planned. The City and County Fair Board have discussed the requirement and general location for this path and determined that the west side of property separating the adjacent residential uses from the Fairgrounds uses is an appropriate general location. Some adjustment may be required in Sub Area 6 to account for existing trees, grade, and the planned connection point to the north. This pathway easement shall be dedicated to the City prior to permitting any future buildings or facilities and prior to granting of a final Certificate of Occupancy for the currently under construction structure known as the 4H building as approved with Condition 7 in Ordinance 18-117 approving such structure. Also, in accordance with Ordinance 18-117 Condition 6, the Fairgrounds shall dedicate an easement and/or right-of-way for the construction of a sidewalk along Pennsylvania Avenue from Euclid Avenue west to the USA Reserve Training Center's east property line. This shall be dedicated at the same time as the bikepath easement noted above. Any future new buildings or improvements in Sub Areas 1-4 or 7 that require Development Plan Review shall require the construction of said sidewalk by the property owner.
- **UTILITIES:** Any new or existing utilities to be constructed and/or extended within the development shall comply with the City minimum requirements or as approved by the City Director of Utilities. The engineering drawings for such improvements shall accompany the submittal of the Final Development Plans for the subject phase.
- **SITE CONFIGURATION:** The Fairgrounds would be divided into seven planning areas with development standards which includes permitted uses, structures requirements and site requirements per the approved development text. The Planning Areas are as follows (see attached exhibit):

Planning Area One – Junior Fair/Agricultural Area – This area is located entirely in the City and generally located towards the southern and western portion of the Fairgrounds. This area represents the Junior Fair and agricultural use areas for the Delaware County Fair. This area is planned as a multi-use, year-round, agricultural use, display, recreation, business, and educational area for the community. As the center of the Junior Fair activities, this area offers a diversity of uses associated with Junior Fair, 4-H and FFA activities, farm animal boarding and displays, covered riding arenas, auctions and ceremonies, and shows and activities associated with 4-H functions. With the relatively broad range of existing buildings and spaces, the Junior

Fair/ Agricultural Area offers opportunities for an expanded range of community meetings and gatherings, small concerts, business meetings as well as community gatherings, including wedding and graduation receptions. Further, with additional and enlarged facilities, Planning Area One may accommodate and even broader range of uses and events. Planning Area One is planned as one of the most active, year-round use areas in the Fairgrounds. Finally, the newly planned Agriculture Center Building and Covered Riding Arena each serve as the architectural and development standard for this area.

Planning Area Two – Merchants/Coliseum Area – This area is located entirely in the City and is located near the southern and eastern side of the Fairgrounds. This area contains three of the older structures that featured commerce exhibits during the fair, the Coliseum, the Merchants Building, and the Arts and Crafts Building. Each of these buildings are actively used for fair displays and activities, as well as hosting various events over the remainder of the year. In addition to the continued display uses during the fair, future upgrades to these buildings will generate a broader range of business and community meeting uses in these facilities. Relative to the remainder of the fairgrounds, this area contains a substantial number of larger trees. Some additional open space in this Planning Area would provide some buffer and protection of these trees. This additional open space, with additional tree plantings would also provide an area of the fairgrounds for environmental displays as well as a shaded area for rest and relaxation.

Planning Area Three – Amusement Area – This area is located north of the Merchants/Coliseum Area (Planning Area Two) and only the southern portion of this area is located in the City (the northern portion is located in the County). The Amusement Area is generally an area without structures that primarily provides an open area for the location of amusement rides during fair week. This open area serves as a flexible area for other uses throughout the remainder of the year, having provided space for community events, commerce and retail events, and fitness competitions. The flexible open space offers tremendous opportunities for year-round use.

Planning Area Four – Campground/Open Space Area – This area is located north of the Junior Fair/Agricultural area (Planning Area One) and is entirely located within the City. The uses permitted include agricultural structures, campground facilities, outdoor riding arenas, agricultural and livestock displays, offices, and accessory uses supporting these agricultural, fair, and special event uses.

Planning Area Five – The Track and Grandstand Area – This area is located north of Amusement Area (Planning Area Three) and is almost entirely located in the County except for a small portion of the northeast area and extreme northern and western portion of this area which are located in the City. The Track and Grandstand Area includes the Grandstand and Track area, the horse barns, the Log Cabin, the Jug Barn, the Juliette Barn, associated uses and maintenance areas, the horse training areas, and the internal drives connecting these facilities. While this area is recognized as the home of the Little Brown Jug, the Equestrian Area is, year-round, the most actively used area of the fairgrounds, providing year-round horse boarding and training facilities.

Planning Area Six – Motorplex Area – This area is located north of the Track and Grandstand Area (Planning Area Five) and is entirely located in the City. The permitted uses and activities includes buildings and uses generally associated with the motor sports featured at the fairgrounds, grandstands, warehouses and maintenance facilities, camping facilities, offices, and accessory uses supporting these agricultural, fair, and special event uses.

Planning Area Seven -Parking Areas – There are three parking areas located within the Fairgrounds with two parking areas entirely located in the City along the Pennsylvania Avenue on the eastern and western perimeter of the fairgrounds. A third parking area is located east of the Track and Grandstand Area (Planning Area Five) and is almost entirely located in the County except for the northern portion of the area. Along with parking other permitted uses include agricultural display uses, community events, athletic events, uses and structures

associated with parking facilities, flea markets and other community retail events, entertainment uses and accessory uses supporting these agricultural, fair, and special event uses.

Any proposed buildings or major site plan changes require Final Development Plan approval by the Planning Commission and City Council. The Preliminary Plan submitted with this zoning text, once approved, shall be the official Preliminary Plan for the Fair Grounds and may need to be amended from time to time to account for unanticipated major changes.

- **PARKING:** The Fairgrounds has operated for many years with two very large parking areas, one to the west and one to the east, each generally containing paved drives aisles and lawn parking areas. With both areas having served as parking areas for numerous years, each works throughout the year with minimal disruptions due to weather conditions. In addition to these two areas, extensive parking exists between existing facilities. With the quantity of parking spaces of these two large parking areas and the parking between facilities, additional parking around new and current facilities is only necessary for convenience and to accommodate those who are in need of assistance. Under this condition, new parking areas are only required to meet ADA requirements and to meet parking accommodations for those visitors with special needs.
- **TREE REMOVAL & REPLACEMENT:** Any tree removal and replacement as result of the proposed development shall meet all requirements of Chapter 1168 along with the following replacement and preservation schedule as approved in the development text: 1. Trees in poor condition shall not be replaced (dead, damaged or diseased); 2. Trees in fair condition shall be replaced at 50%; 3. Trees in good condition shall be replaced at 100%; 4. Ash trees, dead, damaged and diseased trees per the City Arborist shall not be counted toward replanting requirements. The County shall provide the location and size of qualified trees (6 caliper inches or larger) preserved, removed and replaced for each Final Development Plan. The applicant shall submit and the City shall review and approve an excel spreadsheet tabulating the current and future tree replacement counts to ensure an accurate running total for now and in the future.
- **LANDSCAPING & SCREENING:** Per the development text, new structures fronting along and within one-hundred feet (100') of public road rights-of-way shall meet City Zoning Ordinance Landscape Standards. Also, service areas visible from public roads of all facilities in Planning Area One shall be screened from view from the public road. In addition, the Fair Board is committed to adding trees to the landscape of the Fairgrounds. Trees will be planted in sitting areas around new and existing buildings. Internal drives in the fairgrounds area, shall be lined with street trees (2" caliper minimum), except where the drives are lined with vehicular areas, such as parking areas, access areas, maintenance areas, agricultural staging areas, etc. Landscaping in areas around the fairgrounds should not obstruct fair operations or functions of existing and new structures, but rather, shall enhance user areas within the grounds. The subject landscape plans would need to be submitted during the Final Development Plan approval process and shall be approved by the Shade Tree Commission.
- **LIGHTING:** The Preliminary Development Plan does not identify any additional lighting but any proposed lighting in the subsequent Final Development Plans shall achieve compliance with the development text and zoning code and be approved by the Chief Building Official.
- **SIGNAGE:** The Preliminary Development Plan does not identify any ground signage. However, any ground signage and shall achieve compliance with the zoning code and the approved Gateways and Corridors Plan.
- **BUILDING DESIGN:** The intent of this regulation is for new structures and renovations and additions to existing structures to be consistent in materials, colors and roof structures of the approved development text for each planning area. To create a cohesive and unified design throughout the entire development, each building shall be consistent in overall design, color, material, and architectural pattern of the development text for each planning area as determined through the Final Development Plan review process.
- **ALLEY VACATION:** The owner is proposing to vacate three alley rights-of-way to achieve compliance with the building and zoning code in the construction of the 4H Building that was approved by City Council in December 2018. The two north/south alley rights-of-way are located on the eastern portion of Planning Area 7 fronting Pennsylvania Avenue. The third alley right-of-way is an east/west oriented right-of-way spanning Planning Areas 1 and 7 located just north of Pennsylvania Avenue. The County owns the land adjacent to the subject rights-of-way being vacated and would not have a negative impact on the adjacent owners. Also, there are not any public utilities and/or easements in the subject right-of-way from a City perspective. The vacation

of the alleys would allow the County to consolidate the parcels while relinquishing the City of alley right-of-way not being utilized.

- **CONDITIONAL USE PERMIT:** The proposed uses shall achieve compliance with the Conditional Use Permit requirements per the zoning code and of the approved development text.

STAFF RECOMMENDATION (2020-0400 – REZONING AMENDMENT)

Staff recommends approval of a request by Delaware County Commissioners for a Rezoning Amendment for the Delaware County Fairgrounds from R-3 (One-Family Residential District) and B-3 (Community Business District) to R-3 and B-3 PMU on approximately 101 acres and located at 236 Pennsylvania Avenue, with the following condition that:

1. Any new use(s) or any change of use(s) of any existing structure(s) or property shall require conformance to all provisions of the Development Text.

STAFF RECOMMENDATION (2020-0401 – CONDITIONAL USE PERMIT)

Staff recommends approval of a request by the Delaware County Commissioners for a Conditional Use Permit allowing the Placement of a Mixed-Use Planned Overlay District (PMU) on the Delaware County Fairgrounds on approximately 101 acres zoned R-3 and B-3 PMU and located at 236 Pennsylvania Avenue.

STAFF RECOMMENDATION (2020-0402 – PRELIMINARY DEVELOPMENT PLAN)

Staff recommends approval of a request by Delaware County Commissioners for a Preliminary Development Plan for the Delaware County Fairgrounds on property zoned R-3 and B-3 PMU on approximately 101 acres and located at 236 Pennsylvania Avenue, with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. Any new or existing road(s) to be constructed and/or widened within the development shall comply with the development text. The engineering drawings for such improvements shall accompany the submittal of the Final Development Plans for the subject phase.
3. Any new or existing utilities to be constructed and/or extended within the development shall comply with the development text. The engineering drawings for such improvements shall accompany the submittal of the Final Development Plans for the subject phase.
4. Any new building shall achieve compliance with the design standards of the approved development text.
5. Any tree removal shall comply with Chapter 1168 Tree Preservation Regulations along with the approved development text.
6. Any landscape plans shall be reviewed and approved by the Shade Tree Commission.
7. Any lighting plans shall be reviewed and approved by the Chief Building Official.
8. Any signage shall achieve compliance with minimum zoning code requirements and the adopted Gateways and Corridor Plan.
9. The property owner shall dedicate a bike path easement to the City of Delaware running generally north and south across the planning area and in conformance with Ordinance 18-117 and in a location acceptable to the City and County Fair Board to allow it to connect bike paths and pedestrian paths in the area and/or as planned. The City and County Fair Board have discussed the requirement and general location for this path and determined that the west side of property separating the adjacent residential uses from the Fair Grounds uses is an appropriate general location. Some adjustment may be required in Sub Area 6 to account for existing trees, grade, and the planned connection point to the north. This pathway easement shall be dedicated to the city prior to permitting any future buildings or facilities and prior to granting of a final Certificate of Occupancy for the currently under construction structure known as the 4H Building as approved with Condition 7 in Ordinance 18-117 approving such structure.

PLANNED MIXED USE DEVELOPMENT TEXT
DELAWARE COUNTY FAIRGROUNDS
DELAWARE, OHIO

1. DESCRIPTION OF DEVELOPMENT

The Delaware County Fairgrounds has served the Delaware County and City of Delaware for many years as a year-round resource for many functions and uses. Beyond hosting the Delaware County Fair and the internationally recognized Little Brown Jug, the Fairgrounds serves the City, neighborhoods and County with its grounds and facilities. The grounds are used year-round.

The Development Plan and Text for the Delaware County Fairgrounds recognizes that this site, located in the City of Delaware and Delaware County (Troy Township), has served and is intended to serve as the home of the County Fair for many years to come. All of the uses, functions, and areas that are associated with the 10-15 days of the preparation, fair-time and disassembling of the County Fair within the Fairgrounds areas will continue.

The Development Plan and Text for the Delaware County Fairgrounds are planned to identify the uses, areas, and development standards of the Fairgrounds and facilities, beyond the week or two of the fair-times which will continue, but rather for the year-round functions and operations.

2. GENERAL DEVELOPMENT STANDARDS

A. Purpose and Intent. It is the intent of the Applicant to provide a planned development with high quality site improvements, architectural design, signage and amenities that are commensurate with the County Fair Grounds unique mix of uses now and in the future. This Development Text represents the zoning requirements for this development as agreed upon between the Applicant and the City. Portions of the planning area which are not currently within the city of Delaware are not subject to this zoning. However, should any of those areas be annexed in the future, they shall upon annexation be zoned in accordance with this text and plan upon request of the property owner.

B. Conformance with Codified Ordinances and City Policy. Unless noted otherwise within this development text, all development will be constructed and provided in conformance with the then current Codified Ordinances and City Policy in effect at the time of application.

C. Limitations. Nothing in this text shall prohibit additional restrictions or requirements from being placed on the approval of any Final Development Plan.

D. Major Modifications. Once a Final Development Plan has been approved by City Council, any subsequent major modification to that plan shall only be permitted by resubmission and approval of a revised Final Development Plan through the procedures set forth in the Zoning Code. Major modification for the purposes of this text shall mean any modification of the approved Final Development Plan, as determined by the Director of Planning & Community Development, that results in:

- (1) Any major change in the use or occupancy other than those uses specifically listed in this text.
- (2) Major change in the approved location of land uses and/or buildings and building sizes of more than 10%.
- (3) Substantial alteration of the basic geometry of the street layout and/or operation characteristics of any element of the approved access points and systems of pedestrian paths that result in a change in operating characteristics or character.

E. Minor Modifications. Once a Final Development Plan has been approved by City Council, any subsequent minor modification to that plan shall only be permitted by resubmission and approval by the Director of Planning and Community Development of a revised Final Development Plan. Minor modification for the purposes of this text shall mean any modification of the approved Final Development Plan, as determined by the Director of Planning & Community Development, that results in:

- (1) Any modification that is not considered a major modification by this Zoning Text or by determination of the Director of Planning & Community Development.
- (2) Any minor change to the use or occupancy of the structures onsite other than those uses specifically allowed in this text or any minor changes to the approved site layout.
- (3) Minor alteration of the basic geometry of the street layout and/or operation characteristics of any element of the approved access points and systems of pedestrian paths that result in a change in operating characteristics or character.
- (4) Minor structural alterations that do not alter the overall design intent of the building.

F. Preliminary & Final Development Plan

- (1) Any proposed buildings or major site plan changes require Final Development Plan approval by the Planning Commission and City Council. The Preliminary Plan submitted with this zoning text, once approved, shall be the official Preliminary

Plan for the Fair Grounds and may need to be amended from time to time to account for unanticipated major changes.

G. Tree Removal and Replacement. Tree removal and replacement shall meet all requirements of Chapter 1168 along with the following replacement schedule:

- (1) Trees in poor condition shall not be replaced (dead, damaged or diseased).
- (2) Trees in fair condition shall be replaced at 50%.
- (3) Trees in good condition shall be replaced at 100%
- (4) Ash trees shall not be replaced and must be removed from the site.
- (5) Other tree species considered by the City Arborist to be a species of poor quality will be considered as such with a 0% replacement value.
- (6) The schedule above shall be applied to the proposed Final Development Plan and tree survey for preservation and removal of trees. This shall be done prior to or concurrent with each Final Development Plan submission. Trees proposed to be permanently preserved shall be given credit based upon their caliper inches per the tree survey and the schedule above calculated against the total caliper inches proposed to be removed (again in accordance with the schedule above and the tree survey). If there remains a balance of caliper inches due, the applicant shall replant these on site and in addition to any required or proposed trees, or make a payment in lieu of replanting these at \$100 per caliper inch, or any such combination that achieves a zero-balance due.

H. Fencing: Security fencing shall be allowed around the planning area and individual facilities.

I. Noise, Odor, Lighting: The Fair Grounds unique uses require that noises, lighting, and odors consistent with its use are permitted. The property owner shall attempt to minimize impacts from these elements upon adjacent residential uses to the extent practical.

J. Cell towers and small cells: These shall be permitted uses and shall adhere to then current regulations, guidelines, and requirements of the city of Delaware.

K. Sexually Oriented Businesses and Uses: These uses are prohibited anywhere within the planning area.

L. Bikepath Easement: The property owner shall dedicate a bike path easement to the City of Delaware running generally north and south across the planning area and in conformance with Ordinance 18-117 and in a location acceptable to the City and County Fair Board to allow it to connect bikepaths and pedestrian paths in the area and/or as planned. The City and County Fair Board have discussed the requirement and general location for this path and determined that the west side of property separating the adjacent residential uses from the Fairgrounds uses is an appropriate general location. Some adjustment may be required in Sub Area 6 to account for existing trees, grade, and the planned connection point to the north. This pathway easement shall be dedicated to the City prior to permitting any future buildings or facilities and prior to granting of a

final Certificate of Occupancy for the currently under construction structure known as the 4H Building as approved with Condition 7 in Ordinance 18-117 approving such structure.

M. Pennsylvania Ave. Sidewalk: In accordance with Ordinance 18-117 Condition 6, the Fairgrounds shall dedicate an easement and/or right-of-way for the construction of a sidewalk along Pennsylvania Avenue from Euclid Avenue west to the USA Reserve Training Center's east property line. This shall be dedicated at the same time as the bikepath easement noted above. Any future new buildings or improvements in Sub Areas 1-4 or 7 that require Development Plan Review shall require the construction of said sidewalk by the property owner.

1) Planning Area One – Junior Fair/ Agricultural Area

Planning Area One, which represents the Junior Fair and agricultural use areas for the Delaware County Fair, is generally located towards the southern and western portion of the Fairgrounds and is entirely located in the City. This area is planned as a multi-use, year-round, agricultural use, display, recreation, business, and educational area for the community.

As the center of the Junior Fair activities, this area offers a diversity of uses associated with Junior Fair, 4-H and FFA activities, farm animal boarding and displays, covered riding arenas, auctions and ceremonies, and shows and activities associated with 4-H functions. With the relatively broad range of existing buildings and spaces, the Junior Fair/ Agricultural Area offers opportunities for an expanded range of community meetings and gatherings, small concerts, business meetings as well as community gatherings, including wedding and graduation receptions. Further, with additional and enlarged facilities, Planning Area One may accommodate an even broader range of uses and events. Planning Area One is planned as one of the most active, year-round use areas in the Fairgrounds. The newly planned Agriculture Center Building and Covered Riding Arena each serve as the architectural and development standard for this area.

- a) Permitted Uses: Agricultural business, displays, shows, education and recreation uses and structures, buildings and uses generally associated with the Junior Fair, livestock structures, riding arenas (indoor and outdoor), agricultural and livestock displays, auction facilities, offices, and accessory uses supporting these agricultural, fair, and special event uses. Community gatherings, indoor recreational uses, and facility event rental (such as for weddings, parties, and other events) are permitted.
- b) Structures
 - i) Setback along Public Rights-of-Way: 50'
 - ii) Structure First Floor Area
 - (1) Maximum first floor area: 100,000 s.f.
 - iii) Structure Height
 - (1) Maximum height: 80' as averaged at the four outermost corners of the structure.
On a flat roof, height shall be measured from the center of the roof to the adjacent

average finished grade. On a pitched roof, height shall be measured from the peak of the roof to the adjacent average finished grade. Accessory structures such as parapets, stair towers, elevator shafts, spires, flags, cupolas, etc. are not limited to the maximum height restrictions.

iv) Materials:

- (1) Exterior Wall Materials: Metal, wood, masonry materials (brick, concrete, stone, etc.), wood-like siding (ex., Hardy materials, Smart Siding, or other manufacturers of similar composite materials).
- (2) Roof Materials: Metal, rubber composite and/or other industry standard materials for flat roofs, asphalt shingles.
 - (a) Solar panels are permitted on the roof of structures.

v) Exterior Colors

- (1) Structure Wall Colors: White, silver, gray, or earth tones. Trim colors shall be similarly neutral and complimentary to wall colors.
- (2) Structure Roof Colors: Metals roofs may include the following colors, red, silver, gray, green, white, or blue. Asphalt shingle colors may include earth tones, black, green, or gray. Flat roof colors may include black, gray, or white.

c) SITE

i) Site Engineering:

(1) Infrastructure/ Utilities:

- (a) Sanitary: Sanitary structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (b) Stormwater: Storm structures shall comply with City of Delaware Engineering Standards and Specifications. Storm water retention and detention facilities shall comply with City of Delaware Engineering Standards and Specifications.
 - (c) Water: Water system structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (d) Electric: All electric service lines within 50' of public rights-of-way shall be installed underground. Existing overhead electric lines may remain above grade.
 - (e) Telecommunications: All telecommunications lines within 50' of public rights-of-way shall be installed underground. Existing overhead telecommunication lines may remain above grade.
 - (f) Other utilities: All other utility lines within 50' of public rights-of-way shall be installed underground. Other existing overhead lines may remain above grade.
- (2) Internal Drives: All drives throughout the fairgrounds site shall be paved or compacted aggregate with the appropriate top dressing. All turning radius and maneuvering geometrics of the paved drives shall meet the approval of the Chief of the City of Delaware Fire Department.
- (3) Walks/ Non-vehicular paths: All pedestrian walks shall be paved with asphalt, concrete, or masonry-units, such as pavers, brick, etc. Accessways primarily for livestock use may be constructed of stone, mulch, soil, wood chips, or other

appropriate material that is safe with the use of agricultural livestock and equipment.

- (4) Lighting: The primary purposes of lighting on the fairgrounds is for year-round security and building identification lighting. Further, with the agricultural uses generally associated with Planning Area One, minimal lighting is necessary for this area. Lighting may be brought in for short-term use for operations and management use during fair times or other special events. These would be special events only. All future lighting shall be LED light fixtures, with a range of 2,800 to 3,200 K.
- ii) Parking: The Fairgrounds has operated for many years with two very large parking areas, one to the west and one to the east, each generally containing paved drives, aisles and lawn parking areas. With both areas having served as parking areas for numerous years, each works throughout the year with minimal disruptions due to weather conditions. In addition to these two areas, extensive parking exists between existing facilities. With the quantity of parking spaces of these two large parking areas and the parking between facilities, additional parking around new and current facilities is only necessary for convenience and to accommodate those who are in need of assistance. Under this condition, new parking areas are only required to meet ADA requirements and to meet parking accommodations for those visitors with special needs.
- iii) Landscaping: New structures fronting along and within one-hundred feet (100') of public road rights-of-way shall meet City Zoning Ordinance Landscape Standards. The Fair Board is committed to adding trees to the landscape of the fairgrounds. Trees will be planted in sitting areas around new and existing buildings. Internal drives in the fairgrounds area, shall be lined with street trees (2" caliper minimum), except where the drives are lined with vehicular areas, such as parking areas, access areas, maintenance areas, agricultural staging areas, etc. Landscaping in areas around the fairgrounds should not obstruct fair operations or functions of existing and new structures, but rather, shall enhance user areas within the grounds.
- iv) Site Furnishings: Site furnishings include benches, trash receptacles, information kiosks, etc. Site furnishings are considered for short-term, special events. Permanent site furnishings will only be used around year-round use facilities, such as the Fair Office area and the Log Cabin area.

2) Planning Area Two – Merchants/ Coliseum Area

Located near the southern and eastern side of the Fairgrounds and located entirely in the City, this area contains three of the older structures that featured commerce exhibits during the fair, the Coliseum, the Merchants Building, and the Arts and Crafts Building. Each of these buildings are actively used for fair displays and activities, as well as hosting various events over the remainder of the year.

In addition to the continued display uses during the fair, future upgrades to these buildings will generate a broader range of business and community meeting uses in these facilities.

Relative to the remainder of the fairgrounds, this area contains a substantial number of larger trees. Some additional open space in this Planning Area would provide some buffer and protection of these trees. This additional open space, with additional tree plantings would also provide an area of the fairgrounds for environmental displays as well as a shaded area for rest and relaxation.

- a) Permitted Uses: Fairground structures and uses, buildings and uses generally featuring the display of local commerce, local government, parks and environmental displays, local arts and crafts, etc. This area also contains the current fairgrounds offices. Permitted uses also include commercial and retail uses that are featured in events through the times outside of fair week.
- b) Structures
 - i) Setback along Public Rights-of-Way: 50'
 - ii) Structure First Floor Area
 - 1) Maximum first floor area: 40,000 s.f.
 - iii) Structure Height
 - (1) Maximum height: 50' as averaged at the four outermost corners of the structure. On a flat roof, height shall be measured from the center of the roof to the adjacent average finished grade. On a pitched roof, height shall be measured from the peak of the roof to the adjacent average finished grade. Accessory structures such as parapets, stair towers, elevator shafts, spires, flags, cupolas, etc. are not limited to the maximum height restrictions.
 - (2) Material:
 - (a) Exterior Wall Materials: Metal, wood, masonry materials (brick, concrete, stone, etc.), wood-like siding (ex., Hardy materials, Smart Siding, or other manufacturers on similar composite materials).
 - (b) Roof Materials: Metal, rubber composite and/or other industry standard materials for flat roofs, asphalt shingles.
 - (c) Solar panels are permitted on roofs
 - (3) Exterior Colors
 - (a) Structure Wall Colors: White, silver, gray, or earth tones. Trim colors shall be similarly neutral and complimentary to wall colors..
 - (b) Structure Roof Colors: Metals roofs may include the following colors, red, silver, gray, green, white, or blue. Asphalt shingle colors may include earth tones, black, green, or gray. Flat roof colors may include black, gray, or white.
 - iv) Site Engineering:
 - (1) Infrastructure/ Utilities:
 - (a) Sanitary: Sanitary structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (b) Stormwater: Storm structures shall comply with City of Delaware Engineering Standards and Specifications. Storm water retention and

- detention facilities shall comply with City of Delaware Engineering Standards and Specifications.
- (c) Water: Water system structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (d) Electric: All electric service lines within 50' of public rights-of-way shall be installed underground. Existing overhead electric lines may remain above grade.
 - (e) Telecommunications: All telecommunications lines within 50' of public rights-of-way shall be installed underground. Existing overhead telecommunication lines may remain above grade.
 - (f) Other utilities: All other utility lines within 50' of public rights-of-way shall be installed underground. Other existing overhead lines may remain above grade.
- (2) Internal Drives: All drives throughout the fairgrounds site shall be paved or compacted aggregate with the appropriate top dressing. All turning radius and maneuvering geometrics of the paved drives shall meet the approval of the Chief of the City of Delaware Fire Department.
 - (3) Walks/ Non-vehicular paths: All pedestrian walks shall be paved with asphalt, concrete, or masonry-units, such as pavers, brick, etc. Accessways primarily for livestock use may be constructed of stone, mulch, soil, wood chips, or other appropriate material that is safe with the use of agricultural livestock and equipment.
 - (4) Lighting: The primary purposes of lighting on the fairgrounds is for year-round security and building identification lighting. Further, with the agricultural uses generally associated with Planning Area One, minimal lighting is necessary for this area. Lighting may be brought in for short-term use for operations and management use during fair times or other special events. These would be special events only. All future lighting shall be LED light fixtures, with a range of 2,800 to 3,200 K.
- v) Parking: The Fairgrounds has operated for many years with two very large parking areas, one to the west and one to the east, each generally containing paved drives, aisles and lawn parking areas. With both areas having served as parking areas for numerous years, each works throughout the year with minimal disruptions due to weather conditions. In addition to these two areas, extensive parking exists between existing facilities. With the quantity of parking spaces of these two large parking areas and the parking between facilities, additional parking around new and current facilities is only necessary for convenience and to accommodate those who are in need of assistance. Under this condition, new parking areas are only required to meet ADA requirements and to meet parking accommodations for those visitors with special needs.
 - vi) Landscaping: New structures fronting along and within one-hundred feet (100') of public road rights-of-way shall meet City Zoning Ordinance Landscape Standards.

Service areas visible from public roads of all facilities in Planning Area One shall be screened from view from the public road.

The Fair Board is committed to adding trees to the landscape of the fairgrounds. Trees will be planted in sitting areas around new and existing buildings. Internal drives in the fairgrounds area, shall be lined with street trees (2" caliper minimum), except where the drives are lined with vehicular areas, such as parking areas, access areas, maintenance areas, agricultural staging areas, etc.

Landscaping in areas around the fairgrounds should not obstruct fair operations or functions of existing and new structures, but rather, shall enhance user areas within the grounds.

- vii) Site Furnishings: Site furnishings include benches, trash receptacles, information kiosks, etc. Site furnishings are considered for short-term, special events. Permanent site furnishings will only be used around year-round use facilities, such as the Fair Office area and the Log Cabin area.

3) **Planning Area Three – Amusement Area**

This area is located south of the Track and Grandstand Area and north of the Merchants/Coliseum Area with only the southern portion located in the City (the northern portion is located in the County). The Amusement Area is generally an area without structures that primarily provides an open area for the location of amusement rides during fair week. This open area serves as a flexible area for other uses throughout the remainder of the year and provides space for community events, commerce and retail events and fitness competitions. The flexible open space offers tremendous opportunities for year-round use.

- a) Permitted Uses: Amusement rides, carnival uses including games of chance, concessions, sales of materials, and food sales. Accessory uses include, during fair times, temporary camping uses, and support uses for agricultural, display, fair, and special event uses. During fair times, as well as time outside of fair week, permitted uses also include community events, athletic competitions and displays, retail sales and general support facilities for the other Planning Area uses of the fairground.
- b) Structures
 - i) Setback along Public Rights-of-Way: 50'
 - ii) Structure First Floor Area
 - (1) Maximum first floor area: 50,000 s.f.
 - iii) Structure Height
 - i) Maximum height: 50' as averaged at the four outermost corners of the structure. On a flat roof, height shall be measured from the center of the roof to the adjacent average finished grade. On a pitched roof, height shall be measured from the peak of the roof to the adjacent average finished grade. Accessory structures such as parapets, stair towers, elevator shafts, spires, flags, cupolas, etc. are not limited to the maximum height restrictions.

- ii) Materials:
 - iii) Exterior Wall Materials: Metal, wood, masonry materials (brick, concrete, stone, etc.), wood-like siding (ex., Hardy materials, Smart Siding, or other manufacturers on similar composite materials).
 - iv) Roof Materials: Metal, rubber composite and/or other industry standard materials for flat roofs, asphalt shingles.
 - (1) Solar panels are permitted on the roof of structures.
 - iv) Exterior Colors
 - (2) Structure Wall Colors: White, silver, gray, or earth tones. Trim colors shall be similarly neutral and complimentary to wall colors..
 - (3) Structure Roof Colors: Metals roofs may include the following colors, red, silver, gray, green, white, or blue. Asphalt shingle colors may include earth tones, black, green, or gray. Flat roof colors may include black, gray, or white.
- b) SITE
- i) Site Engineering:
 - (1) Infrastructure/ Utilities:
 - (a) Sanitary: Sanitary structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (b) Stormwater: Storm structures shall comply with City of Delaware Engineering Standards and Specifications. Storm water retention and detention facilities shall comply with City of Delaware Engineering Standards and Specifications.
 - (c) Water: Water system structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (d) Electric: All electric service lines within 50' of public rights-of-way shall be installed underground. Existing overhead electric lines may remain above grade.
 - (e) Telecommunications: All telecommunications lines within 50' of public rights-of-way shall be installed underground. Existing overhead telecommunication lines may remain above grade.
 - (f) Other utilities: All other utility lines within 50' of public rights-of-way shall be installed underground. Other existing overhead lines may remain above grade.
 - (2) Internal Drives: All drives throughout the fairgrounds site shall be paved or compacted aggregate with the appropriate top dressing. All turning radius and maneuvering geometrics of the paved drives shall meet the approval of the Chief of the City of Delaware Fire Department.
 - (3) Walks/ Non-vehicular paths: All pedestrian walks shall be paved with asphalt, concrete, or masonry-units, such as pavers, brick, etc. Accessways primarily for livestock use may be constructed of stone, mulch, soil, wood chips, or other appropriate material that is safe with the use of agricultural livestock and equipment.
 - (4) Lighting: The primary purposes of lighting on the fairgrounds is for year-round security and building identification lighting. Further, with the agricultural uses generally associated with Planning Area One, minimal lighting is necessary for

this area. Lighting may be brought in for short-term use for operations and management use during fair times or other special events. These would be special events only. All future lighting shall be LED light fixtures, with a range of 2,800 to 3,200 K.

- ii) **Parking:** The Fairgrounds has operated for many years with two very large parking areas, one to the west and one to the east, each generally containing paved drives, aisles and lawn parking areas. With both areas having served as parking areas for numerous years, each works throughout the year with minimal disruptions due to weather conditions. In addition to these two areas, extensive parking exists between existing facilities. With the quantity of parking spaces of these two large parking areas and the parking between facilities, additional parking around new and current facilities is only necessary for convenience and to accommodate those who are in need of assistance. Under this condition, new parking areas are only required to meet ADA requirements and to meet parking accommodations for those visitors with special needs.
- iii) **Landscaping:** New structures fronting along and within one-hundred feet (100') of public road rights-of-way shall meet City Zoning Ordinance Landscape Standards. Service areas visible from public roads of all facilities in Planning Area Three shall be screened from view from the public road. The Fair Board is committed to adding trees to the landscape of the fairgrounds. Trees will be planted in sitting areas around new and existing buildings. Internal drives in the fairgrounds area, shall be lined with street trees (2" caliper minimum), except where the drives are lined with vehicular areas, such as parking areas, access areas, maintenance areas, agricultural staging areas, etc. Landscaping in areas around the fairgrounds should not obstruct fair operations or functions of existing and new structures, but rather, shall enhance user areas within the grounds.
- iv) **Site Furnishings:** Site furnishings include benches, trash receptacles, information kiosks, etc. Site furnishings are considered for short-term, special events. Permanent site furnishings will only be used around year-round use facilities, such as the Fair Office area and the Log Cabin area.

4) Planning Area Four – Campground/ Open Space Areas

This area is located north of the Junior Fair/Agricultural Area (Planning Area One) and is entirely located in the City.

- a) **Permitted Uses:** Agricultural structures, campground facilities, outdoor riding arenas, agricultural and livestock displays, offices, and accessory uses supporting these agricultural, fair, and special event uses.
- b) **Structures**
 - i) **Setback along Public Rights-of-Way:** 50'
 - ii) **Structure First Floor Area**

- (1) Maximum first floor area: 30,000 s.f.

iii) Structure Height

- (1) Maximum height: 40' as averaged at the four outermost corners of the structure. On a flat roof, height shall be measured from the center of the roof to the adjacent average finished grade. On a pitched roof, height shall be measured from the peak of the roof to the adjacent average finished grade. Accessory structures such as parapets, stair towers, elevator shafts, spires, flags, cupolas, etc. are not limited to the maximum height restrictions.

iv) Materials:

- (1) Exterior Wall Materials: Metal, wood, masonry materials (brick, concrete, stone, etc.), wood-like siding (ex., Hardy materials, Smart Siding, or other manufacturers on similar composite materials).
- (2) Roof Materials: Metal, rubber composite and/or other industry standard materials for flat roofs, asphalt shingles.
 - (a) Solar panels are permitted on the roof of structures

v) Exterior Colors

- (1) Structure Wall Colors: White, silver, gray, or earth tones. Trim colors shall be similarly neutral and complimentary to wall colors..
- (2) Structure Roof Colors: Metals roofs may include the following colors, red, silver, gray, green, white, or blue. Asphalt shingle colors may include earth tones, black, green, or gray. Flat roof colors may include black, gray, or white.

c) Site

i) Site Engineering

- (1) Infrastructure/ Utilities:
 - (a) Sanitary: Sanitary structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (b) Stormwater: Storm structures shall comply with City of Delaware Engineering Standards and Specifications. Storm water retention and detention facilities shall comply with City of Delaware Engineering Standards and Specifications.
 - (c) Water: Water system structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (d) Electric: All electric service lines within 50' of public rights-of-way shall be installed underground. Existing overhead electric lines may remain above grade.
 - (e) Telecommunications: All telecommunications lines within 50' of public rights-of-way shall be installed underground. Existing overhead telecommunication lines may remain above grade.
 - (f) Other utilities: All other utility lines within 50' of public rights-of-way shall be installed underground. Other existing overhead lines may remain above grade.
- (2) Internal Drives: All drives throughout the fairgrounds site shall be paved or compacted aggregate with the appropriate top dressing. All turning radius and

maneuvering geometrics of the paved drives shall meet the approval of the Chief of the City of Delaware Fire Department.

- (3) Walks/ Non-vehicular paths: All pedestrian walks shall be paved with asphalt, concrete, or masonry-units, such as pavers, brick, etc. Accessways primarily for livestock use may be constructed of stone, mulch, soil, wood chips, or other appropriate material that is safe with the use of agricultural livestock and equipment
 - (4) Lighting: The primary purposes of lighting on the fairgrounds is for year-round security and building identification lighting. Further, with the agricultural uses generally associated with Planning Area One, minimal lighting is necessary for this area. Lighting may be brought in for short-term use for operations and management use during fair times or other special events. These would be special events only. All future lighting shall be LED light fixtures, with a range of 2,800 to 3,200 K.
- ii) Parking: The Fairgrounds has operated for many years with two very large parking areas, one to the west and one to the east, each generally containing paved drives aisles and lawn parking areas. With both areas having served as parking areas for numerous years, each works throughout the year with minimal disruptions due to weather conditions. In addition to these two areas, extensive parking exists between existing facilities. With the quantity of parking spaces of these two large parking areas and the parking between facilities, additional parking around new and current facilities is only necessary for convenience and to accommodate those who are in need of assistance. Under this condition, new parking areas are only required to meet ADA requirements and to meet parking accommodations for those visitors with special needs.
 - iii) Landscaping: New structures fronting along and within one-hundred feet (100') of public road rights-of-way shall meet City Zoning Ordinance Landscape Standards. The Fair Board is committed to adding trees to the landscape of the fairgrounds. Trees will be planted in sitting areas around new and existing buildings. Internal drives in the fairgrounds area, shall be lined with street trees (2" caliper minimum), except where the drives are lined with vehicular areas, such as parking areas, access areas, maintenance areas, agricultural staging areas, etc. Landscaping in areas around the fairgrounds should not obstruct fair operations or functions of existing and new structures, but rather, shall enhance user areas within the grounds.
 - iv) Site Furnishings: Site furnishings include benches, trash receptacles, information kiosks, etc. Site furnishings are considered for short-term, special events. Permanent site furnishings will only be used around year-round use facilities, such as the Fair Office area and the Log Cabin area.

5) Planning Area Five -The Track and Grandstand Area

This area is located north of the Amusement Area (Planning Area Three) and is entirely located in the County except for a small portion of the northeast area and extreme northern and western portion of the area that are located in the City. The Track and Grandstand Area includes the Grandstand and Track area, the horse barns, the Log Cabin, the Jug Barn, the

Jugette Barn, associated uses and maintenance areas, the horse training areas, and the internal drives connecting these facilities. While this area is recognized as the home of the Little Brown Jug, the Equestrian Area is, year-round, the most actively used area of the Fairgrounds, providing year-round horse boarding and training facilities.

- a) Permitted Uses: The Track facilities, the Grandstand facilities, the horse barns and support facilities, the Brown Jug offices, year-round training facilities, support facilities for the racing uses, horse boarding and training facilities, offices, agricultural barns, camping facilities and accessory uses supporting these agricultural, fair, and special event uses.
- b) Structures
 - i) Setback along Public Rights-of-Way: 50'
 - ii) Structure First Floor Area
 - (1) Maximum first floor area: 100,000 s.f
 - iii) Structure Height
 - (1) Maximum height: 60' as averaged at the four outermost corners of the structure.
On a flat roof, height shall be measured from the center of the roof to the adjacent average finished grade. On a pitched roof, height shall be measured from the peak of the roof to the adjacent average finished grade. Accessory structures such as parapets, stair towers, elevator shafts, spires, flags, cupolas, etc. are not limited to the maximum height restrictions.
 - iv) Materials:
 - (1) Exterior Wall Materials: Metal, wood, masonry materials (brick, concrete, stone, etc.), wood-like siding (ex., Hardy materials, Smart Siding, or other manufacturers on similar composite materials).
 - (2) Roof Materials: Metal, rubber composite and/or other industry standard materials for flat roofs, asphalt shingles.
 - (a) Solar panels are permitted on the roof of structures.
 - v) Exterior Colors
 - (1) Structure Wall Colors: White, silver, gray, or earth tones. Trim colors shall be similarly neutral and complimentary to wall colors..
 - (2) Structure Roof Colors: Metals roofs may include the following colors, red, silver, gray, green, white, or blue. Asphalt shingle colors may include earth tones, black, green, or gray. Flat roof colors may include black, gray, or white.
- c) Site
 - i) Site Engineering:
 - (1) Infrastructure/ Utilities:
 - (a) Sanitary: Sanitary structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (b) Stormwater: Storm structures shall comply with City of Delaware Engineering Standards and Specifications. Storm water retention and detention facilities shall comply with City of Delaware Engineering Standards and Specifications.

- (c) Water: Water system structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (d) Electric: All electric service lines within 50' of public rights-of-way shall be installed underground. Existing overhead electric lines may remain above grade.
 - (e) Telecommunications: All telecommunications lines within 50' of public rights-of-way shall be installed underground. Existing overhead telecommunication lines may remain above grade.
 - (f) Other utilities: All other utility lines within 50' of public rights-of-way shall be installed underground. Other existing overhead lines may remain above grade.
- (2) Internal Drives: All drives throughout the fairgrounds site shall be paved or compacted aggregate with the appropriate top dressing. All turning radius and maneuvering geometrics of the paved drives shall meet the approval of the Chief of the City of Delaware Fire Department.
- (3) Walks/ Non-vehicular paths: All pedestrian walks shall be paved with asphalt, concrete, or masonry-units, such as pavers, brick, etc. Accessways primarily for livestock use may be constructed of stone, mulch, soil, wood chips, or other appropriate material that is safe with the use of agricultural livestock and equipment.
- (4) Lighting: The primary purposes of lighting on the fairgrounds is for year-round security and building identification lighting. Further, with the agricultural uses generally associated with Planning Area One, minimal lighting is necessary for this area. Lighting may be brought in for short-term use for operations and management use during fair times or other special events. These would be special events only. All future lighting shall be LED light fixtures, with a range of 2,800 to 3,200 K.
- ii) Parking: The Fairgrounds has operated for many years with two very large parking areas, one to the west and one to the east, each generally containing paved drives aisles and lawn parking areas. With both areas having served as parking areas for numerous years, each works throughout the year with minimal disruptions due to weather conditions. In addition to these two areas, extensive parking exists between existing facilities. With the quantity of parking spaces of these two large parking areas and the parking between facilities, additional parking around new and current facilities is only necessary for convenience and to accommodate those who are in need of assistance. Under this condition, new parking areas are only required to meet ADA requirements and to meet parking accommodations for those visitors with special needs.
- iii) Landscaping: New structures fronting along and within one-hundred feet (100') of public road rights-of-way shall meet City Zoning Ordinance Landscape Standards. Service areas visible from public roads of all facilities in Planning Area One shall be screened from view from the public road. The Fair Board is committed to adding trees to the landscape of the fairgrounds. Trees will be planted in sitting areas around new and existing buildings. Internal drives in the fairgrounds area, shall be lined with street trees (2" caliper minimum), except where the drives are lined with vehicular areas, such as parking areas, access areas, maintenance areas, agricultural staging

areas, etc. Landscaping in areas around the fairgrounds should not obstruct fair operations or functions of existing and new structures, but rather, shall enhance user areas within the grounds.

- iv) Site Furnishings: Site furnishings include benches, trash receptacles, information kiosks, etc. Site furnishings are considered for short-term, special events. Permanent site furnishings will only be used around year-round use facilities, such as the Fair Office area and the Log Cabin area.

6) Planning Area Six – Motorplex Area

This area is located north of the Track and Grandstand Area (Planning Area Five) and is entirely located in the City.

- a) Permitted Uses: Permitted Uses: Buildings and uses generally associated with the motor sports featured at the fairgrounds, grandstands, warehouses and maintenance facilities, camping facilities, offices, and accessory uses supporting these agricultural, fair, and special event uses.
- b) Structures
 - i) Setback along Public Rights-of-Way: 50'
 - ii) Structure First Floor Area
 - (1) Maximum first floor area: 40,000 s.f.
 - iii) Structure Height
 - (1) Maximum height: 40' as averaged at the four outermost corners of the structure. On a flat roof, height shall be measured from the center of the roof to the adjacent average finished grade. On a pitched roof, height shall be measured from the peak of the roof to the adjacent average finished grade. Accessory structures such as parapets, stair towers, elevator shafts, spires, flags, cupolas, etc. are not limited to the maximum height restrictions.
 - (2) Materials:
 - (a) Exterior Wall Materials: Metal, wood, masonry materials (brick, concrete, stone, etc.), wood-like siding (ex., Hardy materials, Smart Siding, or other manufacturers on similar composite materials).
 - (b) Roof Materials: Metal, rubber composite and/or other industry standard materials for flat roofs, asphalt shingles.
 - (i) Solar panels are permitted on the roof of structures.
 - (3) Exterior Colors
 - (a) Structure Wall Colors: White, silver, gray, or earth tones. Trim colors shall be similarly neutral and complimentary to wall colors..
 - (b) Structure Roof Colors: Metals roofs may include the following colors, red, silver, gray, green, white, or blue. Asphalt shingle colors may include earth tones, black, green, or gray. Flat roof colors may include black, gray, or white.
- c) Site
 - i) Site Engineering:
 - (1) Infrastructure/ Utilities:

- (a) Sanitary: Sanitary structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (b) Stormwater: Storm structures shall comply with City of Delaware Engineering Standards and Specifications. Storm water retention and detention facilities shall comply with City of Delaware Engineering Standards and Specifications.
 - (c) Water: Water system structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (d) Electric: All electric service lines within 50' of public rights-of-way shall be installed underground. Existing overhead electric lines may remain above grade.
 - (e) Telecommunications: All telecommunications lines within 50' of public rights-of-way shall be installed underground. Existing overhead telecommunication lines may remain above grade.
 - (f) Other utilities: All other utility lines within 50' of public rights-of-way shall be installed underground. Other existing overhead lines may remain above grade.
- (2) Internal Drives: All drives throughout the fairgrounds site shall be paved or compacted aggregate with the appropriate top dressing. All turning radius and maneuvering geometrics of the paved drives shall meet the approval of the Chief of the City of Delaware Fire Department.
 - (3) Walks/ Non-vehicular paths: All pedestrian walks shall be paved with asphalt, concrete, or masonry-units, such as pavers, brick, etc. Accessways primarily for livestock use may be constructed of stone, mulch, soil, wood chips, or other appropriate material that is safe with the use of agricultural livestock and equipment.
 - (4) Lighting: The primary purposes of lighting on the fairgrounds is for year-round security and building identification lighting. Further, with the agricultural uses generally associated with Planning Area One, minimal lighting is necessary for this area. Lighting may be brought in for short-term use for operations and management use during fair times or other special events. These would be special events only. All future lighting shall be LED light fixtures, with a range of 2,800 to 3,200 K.
- ii) Parking: The Fairgrounds has operated for many years with two very large parking areas, one to the west and one to the east, each generally containing paved drives aisles and lawn parking areas. With both areas having served as parking areas for numerous years, each works throughout the year with minimal disruptions due to weather conditions. In addition to these two areas, extensive parking exists between existing facilities. With the quantity of parking spaces of these two large parking areas and the parking between facilities, additional parking around new and current facilities is only necessary for convenience and to accommodate those who are in need of assistance. Under this condition, new parking areas are only required to meet ADA requirements and to meet parking accommodations for those visitors with special needs.
 - iii) Landscaping: New structures fronting along and within one-hundred feet (100') of public road rights-of-way shall meet City Zoning Ordinance Landscape Standard

Service areas visible from public roads of all facilities in Planning Area One shall be screened from view from the public road. The Fair Board is committed to adding trees to the landscape of the fairgrounds. Trees will be planted in sitting areas around new and existing buildings. Internal drives in the fairgrounds area, shall be lined with street trees (2" caliper minimum), except where the drives are lined with vehicular areas, such as parking areas, access areas, maintenance areas, agricultural staging areas, etc. Landscaping in areas around the fairgrounds should not obstruct fair operations or functions of existing and new structures, but rather, shall enhance user areas within the grounds.

- iv) Site Furnishings: Site furnishings include benches, trash receptacles, information kiosks, etc. Site furnishings are considered for short-term, special events. Permanent site furnishings will only be used around year-round use facilities, such as the Fair Office area and the Log Cabin area.

7) Planning Area Seven – Parking Area

There are three parking areas located on the fairgrounds with two parking areas entirely in the City along Pennsylvania Avenue on the eastern and western perimeters of the fairgrounds. A third parking area is located east of the Track and Grandstand Area and is almost entirely located in the County except for the northern portion of the area.

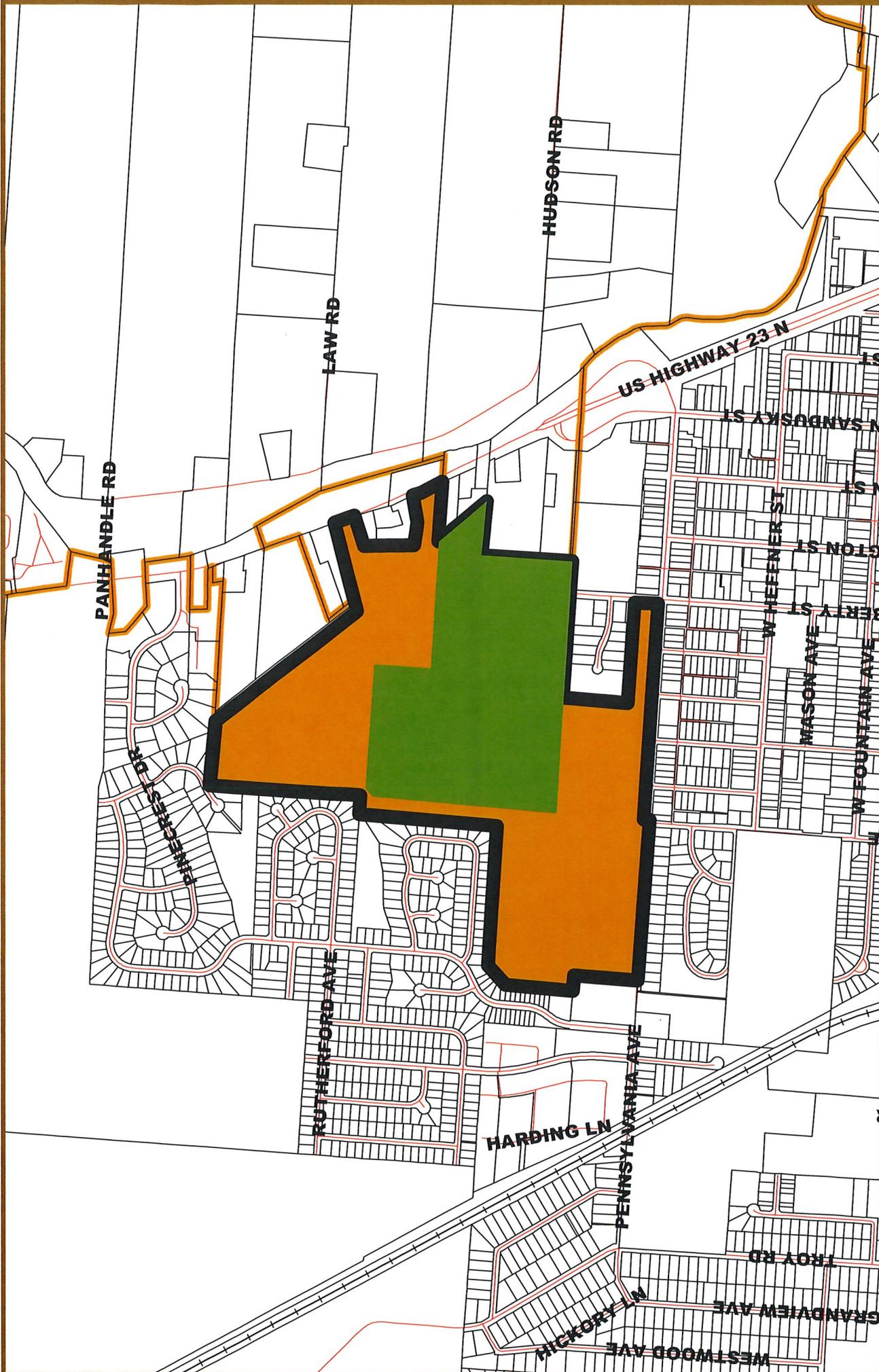
- a) Permitted Uses: Agricultural display uses, community events, athletic events, uses and structures associated with parking facilities, flea markets and other community retail events, entertainment uses and accessory uses supporting these agricultural, fair, and special event uses.
- b) Structures
 - i) Setback along Public Rights-of-Way: 50'
 - ii) Structure First Floor Area
 - (1) Maximum first floor area: 20,000 s.f.
 - iii) Structure Height
 - (1) Maximum height: 50' as averaged at the four outermost corners of the structure. On a flat roof, height shall be measured from the center of the roof to the adjacent average finished grade. On a pitched roof, height shall be measured from the peak of the roof to the adjacent average finished grade. Accessory structures such as parapets, stair towers, elevator shafts, spires, flags, cupolas, etc. are not limited to the maximum height restrictions.
 - (2) Materials:
 - (a) Exterior Wall Materials: Metal, wood, masonry materials (brick, concrete, stone, etc.), wood-like siding (ex., Hardy materials, Smart Siding, or other manufacturers on similar composite materials).
 - (b) Roof Materials: Metal, rubber composite and/or other industry standard materials for flat roofs, asphalt shingles.
 - (i) Solar panels are permitted on the roof of structures.
 - (c) Exterior Colors

- (i) Structure Wall Colors: White, silver, gray, or earth tones. Trim colors shall be similarly neutral and complimentary to wall colors.
 - (ii) Structure Roof Colors: Metals roofs may include the following colors, red, silver, gray, green, white, or blue. Asphalt shingle colors may include earth tones, black, green, or gray. Flat roof colors may include black, gray, or white.
- c) Site
- i) Site Engineering:
 - (1) Infrastructure/Utilities
 - (a) Sanitary: Sanitary structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (b) Stormwater: Storm structures shall comply with City of Delaware Engineering Standards and Specifications. Storm water retention and detention facilities shall comply with City of Delaware Engineering Standards and Specifications.
 - (c) Water: Water system structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (d) Electric: All electric service lines within 50' of public rights-of-way shall be installed underground. Existing overhead electric lines may remain above grade.
 - (e) Telecommunications: All telecommunications lines within 50' of public rights-of-way shall be installed underground. Existing overhead telecommunication lines may remain above grade.
 - (f) Other utilities: All other utility lines within 50' of public rights-of-way shall be installed underground. Other existing overhead lines may remain above grade.
 - (2) Internal Drives: All drives throughout the fairgrounds site shall be paved or compacted aggregate with the appropriate top dressing. All turning radius and maneuvering geometrics of the paved drives shall meet the approval of the Chief of the City of Delaware Fire Department.
 - (3) Walks/ Non-vehicular paths: All pedestrian walks shall be paved with asphalt, concrete, or masonry-units, such as pavers, brick, etc. Accessways primarily for livestock use may be constructed of stone, mulch, soil, wood chips, or other appropriate material that is safe with the use of agricultural livestock and equipment.
 - (4) Lighting: The primary purposes of lighting on the fairgrounds is for year-round security and building identification lighting. Further, with the agricultural uses generally associated with Planning Area One, minimal lighting is necessary for this area. Lighting may be brought in for short-term use for operations and management use during fair times or other special events. These would be special events only. All future lighting shall be LED light fixtures, with a range of 2,800 to 3,200 K.
 - ii) Parking: The Fairgrounds has operated for many years with two very large parking areas, one to the west and one to the east, each generally containing paved drives aisles and lawn parking areas. With both areas having served as parking areas for numerous years, each works throughout the year with minimal disruptions due to

weather conditions. In addition to these two areas, extensive parking exists between existing facilities. With the quantity of parking spaces of these two large parking areas and the parking between facilities, additional parking around new and current facilities is only necessary for convenience and to accommodate those who are in need of assistance. Under this condition, new parking areas are only required to meet ADA requirements and to meet parking accommodations for those visitors with special needs.

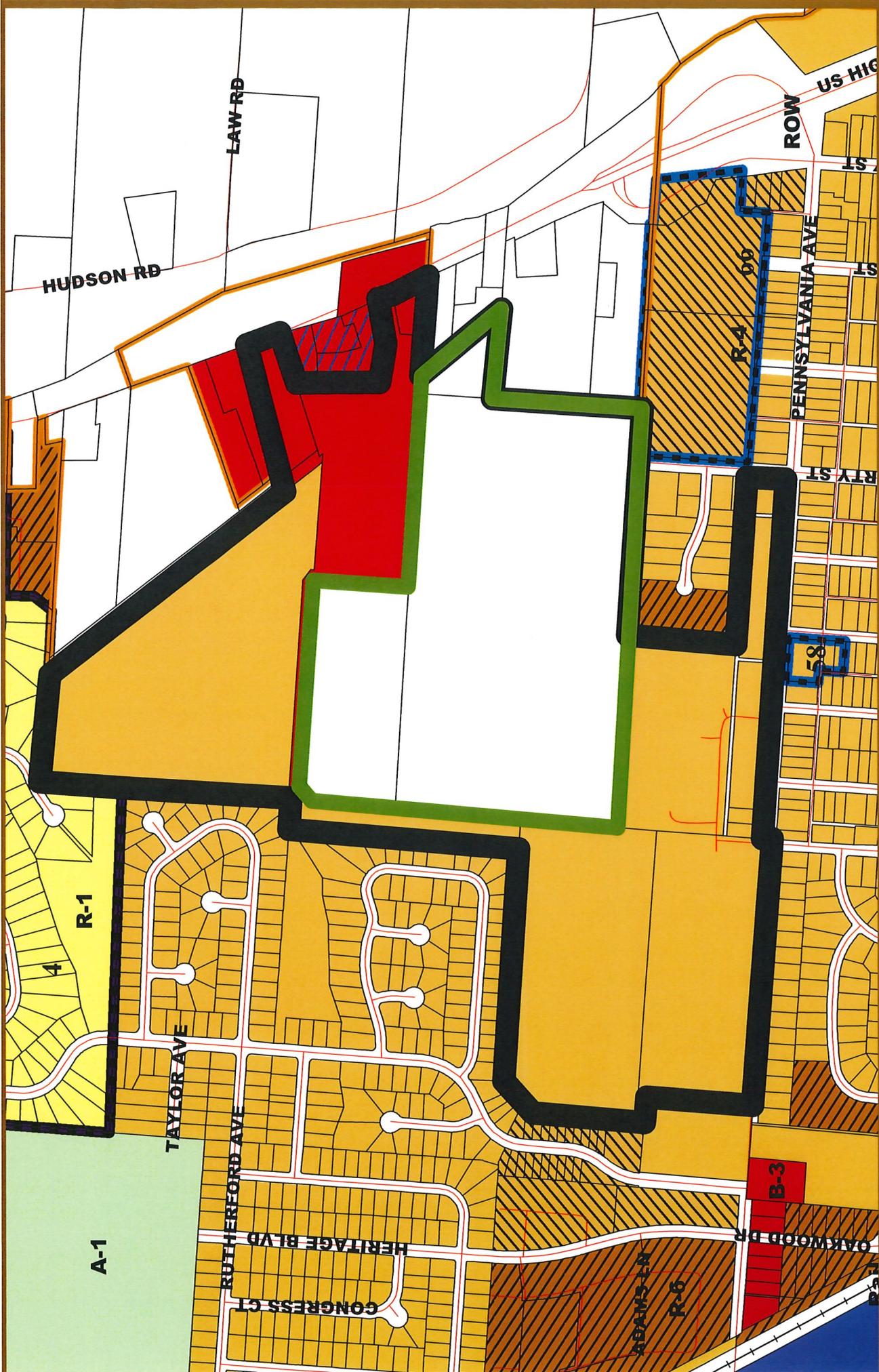
- iii) Landscaping: New structures fronting along and within one-hundred feet (100') of public road rights-of-way shall meet City Zoning Ordinance Landscape Standards. Service areas visible from public roads of all facilities in Planning Area One shall be screened from view from the public road. The Fair Board is committed to adding trees to the landscape of the fairgrounds. Trees will be planted in sitting areas around new and existing buildings. Internal drives in the fairgrounds area, shall be lined with street trees (2" caliper minimum), except where the drives are lined with vehicular areas, such as parking areas, access areas, maintenance areas, agricultural staging areas, etc. Landscaping in areas around the fairgrounds should not obstruct fair operations or functions of existing and new structures, but rather, shall enhance user areas within the grounds.

- iv) Site Furnishings: Site furnishings include benches, trash receptacles, information kiosks, etc. Site furnishings are considered for short-term, special events. Permanent site furnishings will only be used around year-round use facilities, such as the Fair Office area and the Log Cabin area.



2020-0400-0403
 Rezoning Amendment, Conditional Use Permit,
 Preliminary Development Plan, and Alley Vacation
 Delaware County Fairgrounds - 236 Pennsylvania Avenue
 Location Map

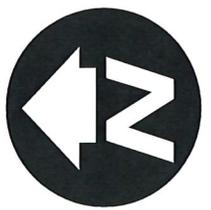




2020-0400-0403

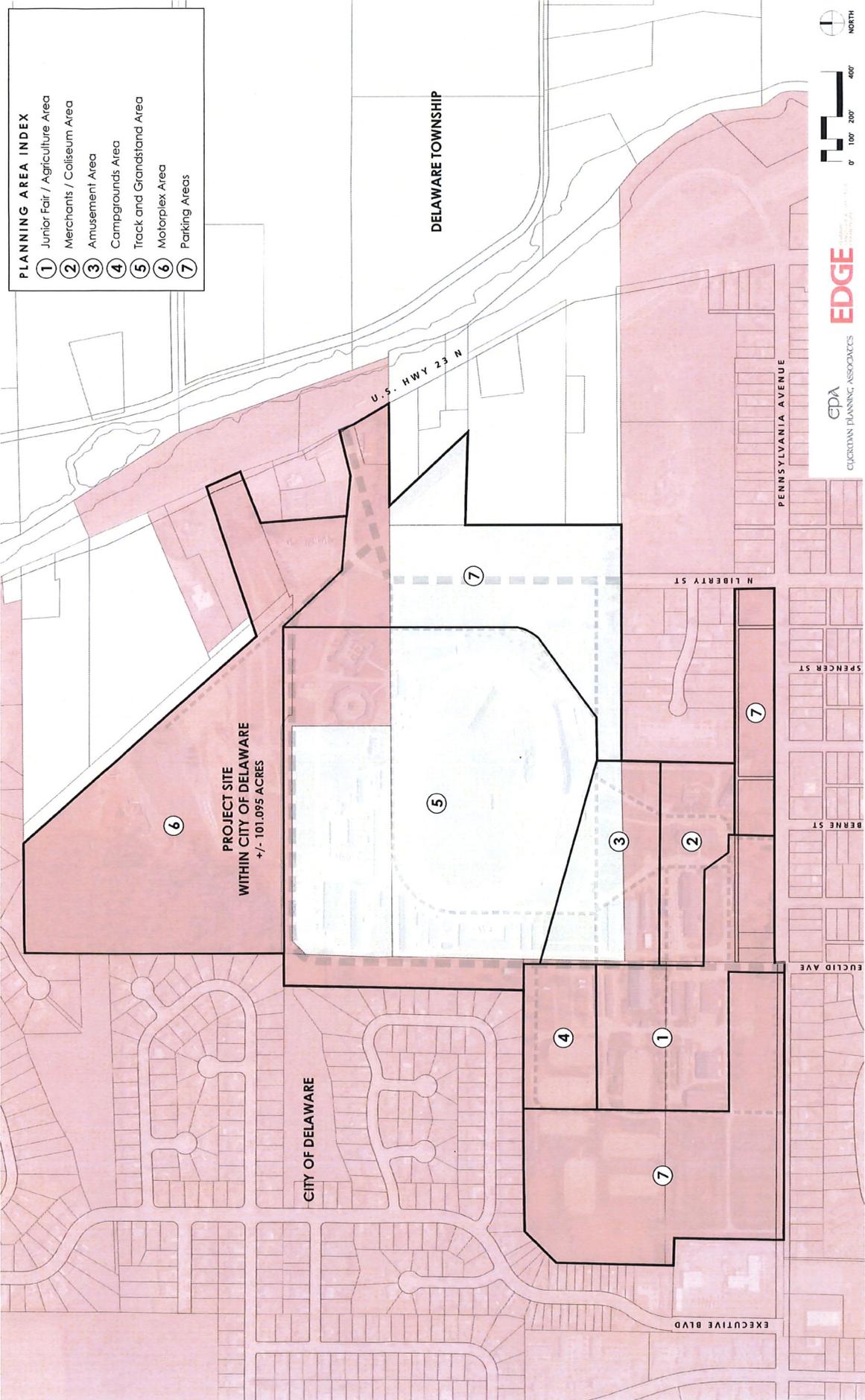
Rezoning Amendment, Conditional Use Permit,
 Preliminary Development Plan, and Alley Vacation
 Delaware County Fairgrounds - 236 Pennsylvania Avenue
 Zoning Map





2020-0400-0403
 Rezoning Amendment, Conditional Use Permit,
 Preliminary Development Plan, and Alley Vacation
 Delaware County Fairgrounds - 236 Pennsylvania Avenue
 Aerial (2016) Map





PLANNING AREA INDEX

- ① Junior Fair / Agriculture Area
- ② Merchants / Coliseum Area
- ③ Amusement Area
- ④ Campgrounds Area
- ⑤ Track and Grandstand Area
- ⑥ Motorplex Area
- ⑦ Parking Areas



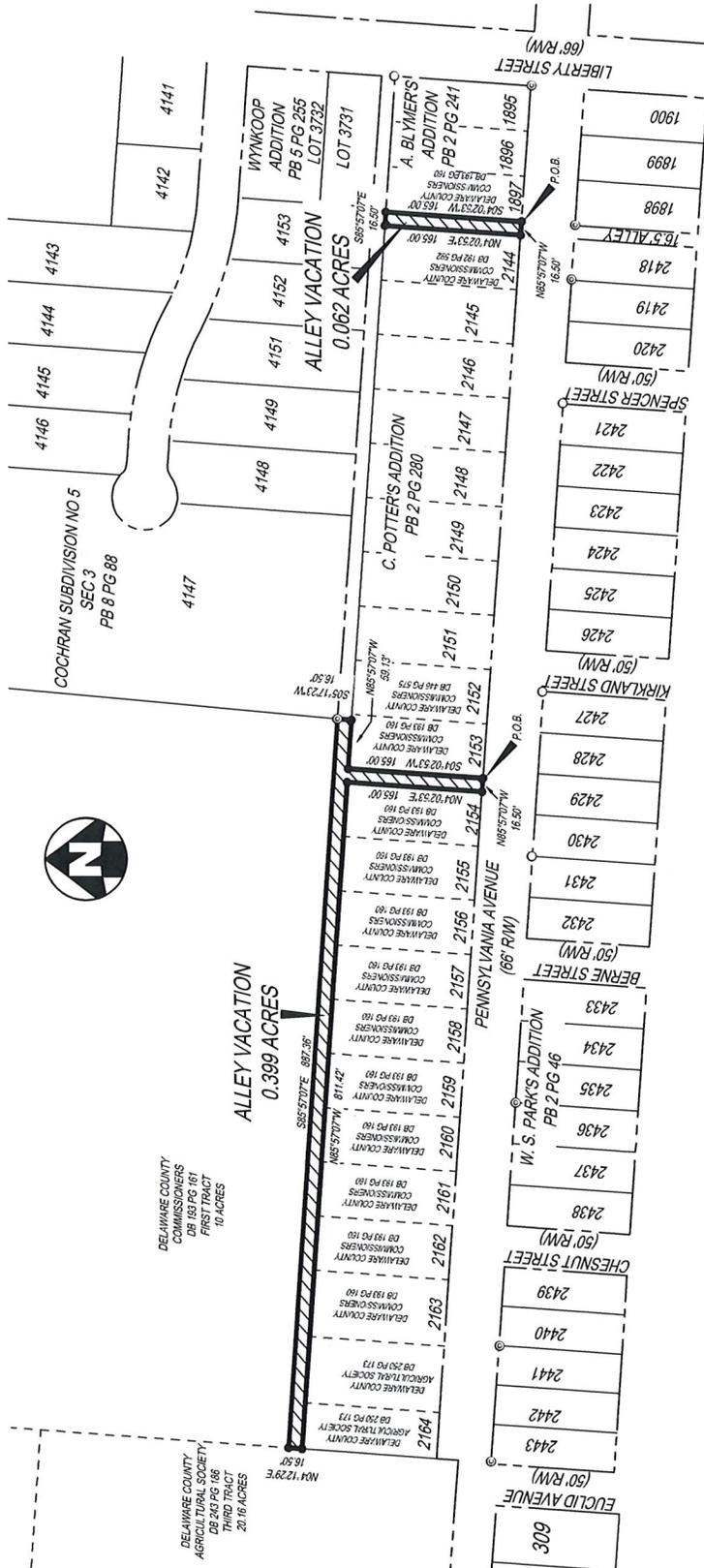
EDGE

CPA

CORPORATE PLANNING ASSOCIATES

LEGEND

- 5/8" CAPPED IRON PIN SET
- 5/8" IRON PIN FOUND
- ⊙ 1" IRON PIPE FOUND
- ▲ NAIL SET
- △ NAIL FOUND
- ▲ RR SPIKE SET
- ⊙ STONE



VOLUME _____ PAGE _____

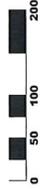
THE KLEINGERS GROUP
 CIVIL ENGINEERING | www.kleingers.com
 SURVEYING | 350 Worthington Rd
 ARCHITECTURE | Suite D, Columbus, OH 43262
 (614) 882-4311

SEAL: 

NO. DATE DESCRIPTION

16.5' ALLEY VACATIONS

SEC. 4, TWP. 5, R. 19
 A. BLYMERS ADDITION (PB 2 PG 241)
 C. POTTER'S ADDITION (PB 2 PG 280)
 CITY OF DELAWARE,
 COUNTY OF DELAWARE
 OHIO

PROJECT NO. 170650.001
 DATE: 9/19/19
 SCALE: 1" = 100'


ALLEY VACATIONS

SHEET NO. **1 OF 1**

- NOTES**
- 1) OCCURRENCE IN GENERAL LETS SURVEY WITH THE EXCEPTION OF ENCROACHMENTS INTO UNIMPROVED ALLEYS TO THE EAST OF PORTIONS BEING VACATED.
 - 2) SOURCE DOCUMENTS AS NOTED.
 - 3) BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, OHIO NORTH ZONE (NAD83-NR8207), WITH A PORTION OF THE NORTHERLY RIGHT-OF-WAY OF PENNSYLVANIA AVENUE BEING N85°30'17" AS DETERMINED BY A GPS SURVEY UTILIZING CORS STATION "OHU".
 - 4) THIS DRAWING IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY THE KLEINGERS GROUP IN NOVEMBER, 2017 AND DECEMBER, 2017.



I HEREBY CERTIFY TO FIRST COMMONWEALTH BANK AND FIRST AMERICAN TITLE INSURANCE COMPANY THAT THIS PLAT IS BASED ON A SURVEY MADE UNDER MY DIRECTION.

Michael L. Keller
 MICHAEL L. KELLER
 OHIO PROFESSIONAL SURVEYOR NO. 7978

9/19/19 DATE

**ALLEY VACATION
0.399 ACRES**

Situated in the City of Delaware, County of Delaware, State of Ohio; also being a part of Section 4 Township 5 Range 19; also being a north-south 16.5' (1-pole) alley and a portion of an east-west 16.5' (1-pole) alley located on the north side of Pennsylvania Avenue, west of Liberty Street, as established in C. Potter's Addition to the City of Delaware as recorded in Plat Book 2 Page 280; being more particularly described as follows:

Beginning at an iron pin set at the southwesterly corner of Lot 2153 of said C. Potter's Addition, said point being the intersection of the easterly right-of-way line of said north-south alley and the northerly right-of-way line of Pennsylvania Avenue (66' right-of-way), said point also being the **TRUE POINT OF BEGINNING**, and from said beginning point running thence,

Along the extended northerly right-of-way line of Pennsylvania Avenue following the southerly terminus of said north-south alley, **North 85° 57' 07" West for a distance of 16.50'** to an iron pin set, said point being the southeasterly corner of Lot 2154 of said C. Potter's Addition; thence,

Along the westerly right-of-way line of said north-south alley and along the easterly line of said Lot 2154, **North 04° 02' 53" East for a distance of 165.00'** to an iron pin set, said point being the intersection of the westerly right-of-way line of said north-south alley and the southerly right-of-way line of said east-west alley; thence,

Along the southerly right-of-way line of said east-west alley, also being along northerly lines of said Lot 2154 and then Lots 2155 through 2163 of said C. Potter's Addition and then along the northerly line of a tract as conveyed to Delaware County Agricultural Society as described in Deed Book 250 Page 173 and then along the northerly line of Lot 2164 of said C. Potter's Addition, **North 85° 57' 07" West for a distance of 811.42'** to an iron pin set, said point being along the easterly line of a 20.16 acre tract as conveyed to Delaware County Agricultural Society as described in Deed Book 243 Page 186 Third Tract; thence,

Along the westerly terminus of said east-west alley, also being along a portion of the easterly line of said 20.16 acre tract, **North 04° 12' 29" East for a distance of 16.50'** to an iron pin set, said point being the southwesterly corner of a 10 acre tract as conveyed to Delaware County Commissioners as described in Deed Book 193 Page 161 First Tract; thence,

Along the northerly right-of-way line of said east-west alley and along the southerly line of said 10 acre tract, **South 85° 57' 07" East for a distance of 887.36'** to a 1" iron pipe found, said point being the southwesterly corner of Lot 4147 of Cochran Subdivision No. 5 Section 3 as recorded in Plat Book 8 Page 88; thence,

Along a line through said east-west alley, **South 05° 17' 23" West for a distance of 16.50'** to an iron pin set along the northerly line of said Lot 2153; thence,

Along the southerly right-of-way line of said east-west alley and along a portion of the northerly line of said Lot 2153, **North 85° 57' 07" West for a distance of 59.13'** to an iron pin set; thence,

Along the easterly line of said north-south alley and along the westerly line of said Lot 2153, **South 04° 02' 53" West for a distance of 165.00'** to the point of beginning, containing 0.399 acres of land, more or less, as determined by Michael L. Keller, Professional Surveyor, Ohio License No. 7978, based on a survey performed by The Kleingers Group in December, 2017.

DESCRIPTION FOR CLOSING ONLY
 RPC Approval Required
 Municipal Approval Required
Delaware County Engineer

1/11/17

ALLEY VACATION
0.062 ACRES

Situated in the City of Delaware, County of Delaware, State of Ohio; also being a part of Section 4 Township 5 Range 19; also being a north-south 16.5' (1-pole) alley on the north side of Pennsylvania Avenue, west of Liberty Street, as established in A. Blymyer's Addition to the City of Delaware as recorded in Plat Book 2 Page 241; being more particularly described as follows:

Beginning at an iron pin set at the southwesterly corner of Lot 1897 of said A. Blymyer's Addition, said point being along the northerly right-of-way line of Pennsylvania Avenue, said point being the **TRUE POINT OF BEGINNING**, and from said beginning point running thence,

Along the extended northerly right-of-way line of Pennsylvania Avenue and along the southerly terminus of said alley, **North 85° 57' 07" West for a distance of 16.50'** to an iron pin set; thence,

Along the westerly line of said alley, also being along the easterly line of Lot 2144 of C. Potter's Addition to the City of Delaware as recorded in Plat Book 2 Page 280, **North 04° 02' 53" East for a distance of 165.00'** to an iron pin set, said point being the intersection of the westerly line of said alley and the southerly right-of-way line of an east-west 16.5' (1 pole) alley; thence,

Along the extended southerly right-of-way line of said east-west alley and along the terminus of the northerly right-of-way of said north-south alley, **South 85° 57' 07" East for a distance of 16.50'** to an iron pin set; thence,

Along the easterly right-of-way line of said north-south alley and along the westerly line of said Lot 1897, **South 04° 02' 53" West for a distance of 165.00'** to the point of beginning, containing 0.062 acres of land, more or less, as determined by Michael L. Keller, Professional Surveyor, Ohio License No. 7978, based on a survey performed by The Kleingers Group in December, 2017.

Basis of bearings is the State Plane Coordinate System, Ohio North Zone (NAD83-2011) with a portion of the northerly right-of-way line of Pennsylvania Avenue being North 85° 57' 07" West as determined by a GPS survey utilizing CORS station "OHUN".

Iron pins set are 5/8" diameter rebar, 30" in length, with plastic identifier caps stamped "THE KLEINGERS GROUP".

Subject to any easements, restrictions, covenants, ordinances or agreement of record.

DESCRIPTION FOR CLOSING ONLINE
 RPC Approval Required
 Municipal Approval Required
 Delaware County Engineer
5/11/19



Michael L. Keller

Michael L. Keller
Professional Surveyor, Ohio License No. 7978

9/19/19
Date

Basis of bearings is the State Plane Coordinate System, Ohio North Zone (NAD83-2011) with a portion of the northerly right-of-way line of Pennsylvania Avenue being North 85° 57' 07" West as determined by a GPS survey utilizing CORS station "OHUN".

Iron pins set are 5/8" diameter rebar, 30" in length, with plastic identifier caps stamped "THE KLEINGERS GROUP".

Subject to any easements, restrictions, covenants, ordinances or agreement of record.



Michael L. Keller

Michael L. Keller
Professional Surveyor, Ohio License No. 7978

9/19/19

Date



PLANNING COMMISSION/STAFF REPORT

CASE NUMBER: 2020-0417-0418

REQUEST: Multiple Requests

PROJECT: Sheetz

MEETING DATE: June 3, 2020

APPLICANT/OWNER

Skilken Gold Real Estate Development
4270 Morse Road
Columbus, Ohio 43230

REQUEST

2020-0417: A request by Skilken Gold Real Estate Development for approval of a Combined Preliminary and Final Development Plan for Sheetz located on Lot 12722 (within Sub-Area 6) of Coughlin's Crossing on approximately 1.88 acres located east of US 23 just south of Penny Way and zoned A-1 PMU.

2020-0418: A request by Skilken Gold Real Estate Development for approval of a Conditional Use Permit for Sheetz located on Lot 12722 (within Sub-Area 6) of Coughlin's Crossing on approximately 1.88 acres located east of US 23 just south of Penny Way and zoned A-1 PMU.

PROPERTY LOCATION & DESCRIPTION

The subject property is located east of US 23, west of Coughlin Lane and south of Penny Way. The subject site is zoned A-1 PMU while the properties to the north, east and south are zoned the same. The properties to the west are zoned B-3 (Community Commercial).

BACKGROUND

In November 2016, the Planning Commission and City Council approved a Rezoning Amendment, Conditional Use Permit, an Amendment to the Comprehensive Plan, Preliminary Development Plan and Preliminary Subdivision Plat for the proposed mixed-use development. In May 2017, Planning Commission and City Council approved a Final Development Plan for Phase 1 (Infrastructure), a Final Subdivision Plat and Street Vacation to subdivide the site and initiate construction for the subject development. In November 2019, Planning Commission and City Council approved development text amendments and Preliminary Development Plans for Sub-Areas 2, 5 and 6.

The applicant is proposing to construct an approximate 6,070 square foot gas station and restaurant on the 1.88-acre site which is located in Sub-Area 6. Per the approved Zoning Text, this would be the only gas station allowed on the entire development site of Coughlin's Crossing. The gas station would be accessed by a right-in only curb cut on Penny Way and a full movement curb cut on Coughlin Lane which would be shared with the recently constructed Blue Sky Carwash. The gas station would have four fueling islands (8 gas pumps) and 48 parking spaces which would accommodate the gas station and restaurant. A dumpster would be located west of the building and storm water would be addressed in the development wide detention basin.

STAFF ANALYSIS

- **ZONING:** As previously mentioned, the subject property is zoned A-1 PMU which allows the proposed gas station with a Conditional Use Permit. Therefore, the proposed development would be required to have a Combined Preliminary and Final Development Plan and Conditional Use Permit approved by the Planning Commission and City Council. Per the approved Zoning Text, this would be the only gas station allowed on the entire development site of Coughlin's Crossing.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND ACCESS:** The development would be accessed by a right-in only curb cut on Penny Way and a full movement curb cut on Coughlin Lane which would be shared with the recently constructed Blue Sky Carwash. Per the City Engineer, the approval of the right-in only curb cut on Penny Way is conditional. If it is

found that motorists use the right-in only access point to exit the property, then the City reserves the right to require the right-in only access be closed at the expense of the property owner.

- **PEDESTRIAN CONNECTIVITY:** A bike path is located on the east side of Coughlin Lane that extends north of Penny Way. Therefore, there will not be sidewalks on the west side of Coughlin Lane and no sidewalks on each side of Penny Way per the approved infrastructure plan in 2017.
- **SITE CONFIGURATION:** The developer is proposing to construct an approximately 6,070 square foot gas station and restaurant with four fueling islands (8 gas pumps) that would front US23, Penny Way and Coughlin Lane. There would be an outdoor patio on the east elevation with tables and chairs. The subject development would have 48 parking spaces (while 31 parking spaces are required) located north, east and west of the building. The minimum building and parking setbacks for the entire development are more than required. A dumpster is located west of the building and the dumpster enclosure shall be constructed of brick or stone with wood doors painted or stained to match. The applicant is identifying two ice boxes and propane gas boxes on the north elevation. Staff would require the ice and propane boxes be painted to match the building because they are on the front elevation. No Video dispensers, ATM machines, or any other merchandise shall be permitted to be outside the building unless located within a defined designated area and buffered from public view.
- **TREE REMOVAL & REPLACEMENT:** There do not appear to be any qualifying trees (6 inches in caliper or larger) on the subject site (Lot 12722). The entire development is subject to the tree replacement requirements established with the approved development text and agreements. This site requires a payment in lieu of planting trees of \$8,499.48 (1.88 acres x \$4,521 per acre) prior to the approval of construction drawings.
- **LANDSCAPING & SCREENING:** The developments requires significant landscaping which includes US 23 mounding and landscaping, front yard trees, parking lot buffering, interior parking lot and foundation landscaping. Per the approved infrastructure plan in 2017, street trees shall be planted along Penny Way and Coughlin Lane by the Coughlin's Crossing site developer. The proposed development would require compliance with the approved US 23 Coughlin Crossing Landscape Plan (dated 4/26/19) that requires stone piers to be placed at regular intervals, street trees, a low 2-3 feet high undulating earthen mounding along with front yard trees (these trees maybe clustered to allow visibility). The parking lot perimeter landscaping of shrubs are appropriate along the north and east property lines, but the same shrubs would be required along the south property line adjacent to Blue Sky Carwash. Interior parking and foundation landscaping along with trees around the dumpster enclosure appear to achieve compliance with approved development text.
- **SIGNAGE:** The owner is proposing building, fuel canopy, and ground signage. The applicant is proposing an almost 26 square foot non-illuminated wall mounted box sign on the north, east and west elevations above the entrance doors. The red sign box is opaque, and the "SHEETZ" letters with gooseneck lights would illuminate the signs shall be consistent with the entire Coughlin Crossing development. On the fuel canopy, the applicant is proposing the same almost 26 square foot box sign (non-illuminated) on the west elevation on the underside of the canopy facing US 23. There is also a non-illuminated auto diesel sign located on the canopy column. A secondary sign for the Coughlin Crossing development is proposed on the southside of Penny Way fronting US 23 per the approved Comprehensive Sign Plan in 2016 (one other such sign is permitted on Meeker Way). The proposed sign would be 12 feet tall and 8.8 feet wide with a limestone base (1.5 feet high) and a vertical limestone column on the right side of the sign that extends to the height of the sign. The sign would have five sign panels with the top two panels allocated to Sheetz for their sign and gas prices which would be both internally illuminated (halo glow) per the approved Comprehensive Sign Plan. Staff recommends the monument base be extended up to three feet high for better exposure from the north because the proposed sign is located approximately 2 feet below the grade of Penny Way. Any directional on-site signage shall not be illuminated.
- **LIGHTING:** The applicant is proposing a comprehensive lighting plan with light poles, building lighting and under the canopy lighting. Any canopy lighting shall be recessed and cut off to ensure the light is very directionally located downward in the pump area only. The applicant is proposing 16 light poles throughout the site that shall not exceed 20 feet high with cut off style fixtures. Additionally, any light poles shall be black in color. Also, there would be several wall pack lights on the building and under the canopy lighting. The lighting plans would have to achieve compliance with the minimum zoning requirements and would have to be approved by the City.

- **BUILDING DESIGN:** The one story 6,077 square foot building would have four-sided architecture and would be consistent with the Coughlin Crossing development requirements. The main entrance into the building would be on the northeast portion of the building facing Penny Way and Coughlin Lane with the fuel canopies fronting Penny Way. The front elevation (north) would be comprised mainly of brick (Glen Gery Smoked Hickory color) with a limestone wainscoting (Estoneworks Ohio blue vein cut) with a typical aluminum storefront entrance door and windows with a flat roof. A red standing seam pitched metal roof would be located above the main entrance and each aluminum store front window would have a bronze standing seam metal awning. This design and materials would be consistent on all four elevations. The east elevation would be similar to the north elevation design with an aluminum storefront entrance door and windows and in building materials and color. The west elevation would have a secondary access door with a man door on southern portion of the elevation. The rear elevation (south) would have six fake opaque windows with a bronze standing seam metal awning to break up the wall space that would otherwise be present and uniform.

The canopy would be a flat with a minor pitch from east to west with a red ACM composite aluminum panel roof. The columns supporting the canopy would be comprised of limestone to 6 feet in height and then be a steel tube wrapped with a dark bronze ACE aluminum composite material that would extend to the canopy. Staff requires submittal of each building material with color samples to ensure compliance is achieved with any Final Development Plan requirements. Any mechanical equipment on the roof of the building shall be screen from public view. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color.

- **CONDITIONAL USE PERMIT:** Per the approved development text for Sub-Area 6 for a gas station, the Conditional Use Permit shall ensure design, location, orientation of structures, and quality consistency with this text and the overall development. Such use shall meet all requirements of the zoning code and be designed in a manner that substantially limits the views of fueling pumps form the public right-of-way. Any canopy or weather cover associated with this use shall be designed in a manner that is substantially similar with the overall development and shall not include exposed metal support columns. No more than one gas station (with or without convenience store) is permitted in the entire Coughlin's Crossing development.

STAFF RECOMMENDATION (2020-0417 – COMBINED PRELIMINARY & FINAL DEVELOPMENT PLAN)

Staff recommends approval of a request by Skilken Gold Real Estate Development for a Combined Preliminary and Final Development Plan for Sheetz located on Lot 12722 (within Sub-Area 6) of Coughlin's Crossing on approximately 1.88 acres located east of US 23 just south of Penny Way and zoned A-1 PMU with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. Per the City Engineer, the approval of the right-in only curb cut on Penny Way is conditional. If it is found that motorist use the right-in only access point to exit the property, then the City reserves the right to require the right-in only access be closed at the expense of the property owner.
3. The dumpster shall be screened from public view by a wall constructed of brick or stone that matches the new building with wood doors painted or stained to match or compliment the overall building.
4. The development shall require a payment in lieu of planting trees of \$8,499.48 (1.88 acres x \$4,521 per acre) prior to the approval of construction drawings to achieve compliance with Chapter 1168 Tree Preservation Requirements.
5. The proposed development shall require compliance with the US 23 Coughlin Crossing Landscape Plan (dated 4/26/19) that requires stone piers to be placed at regular intervals, street trees, a low 2-3 feet high undulating earthen mounding along with front yard trees (these trees maybe clustered to allow visibility).
6. The Shade Tree Commission shall review and approve the submitted street tree plans.
7. The limestone on the building, the stone canopy columns, and the ground sign bases shall be Delaware blue vein limestone (or cultured stone) or equivalent as approved by Staff.

8. All building and fuel canopy appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building material color.
9. All roof top mechanical equipment shall be completely screened from public view.
10. The Applicant shall submit all building, fuel canopy, and sign elevations with material and color samples for staff review and approval after approval of the Final Development Plan and prior to any building permit issuance.
11. The building and canopy signage shall not be internally illuminated.
12. The sign base shall be three feet high for better exposure from the north because the proposed sign is located approximately two feet below the grade of Penny Way.
13. A lighting plan that achieves compliance with the zoning code shall be submitted, reviewed and approved by the City. All lights shall be fully recessed and cut off and the light poles shall be black.
14. The two ice boxes and propane cages on the north elevation shall be painted to match the building.
15. No Video dispensers, ATM machines, or any other merchandise shall be permitted to be outside the building unless located within a defined designated area and buffered from the public right-of-way.
16. The development shall achieve compliance with Fire Department requirements.

STAFF RECOMMENDATION (2020-0418 – CONDITIONAL USE PERMIT)

Staff recommends approval of a request Skilken Gold Real Estate Development for a Conditional Use Permit for Sheetz located on Lot 12722 (within Sub-Area 6) of Coughlin’s Crossing on approximately 1.88 acres located east of US 23 just south of Penny Way and zoned A-1 PMU, with the following condition that:

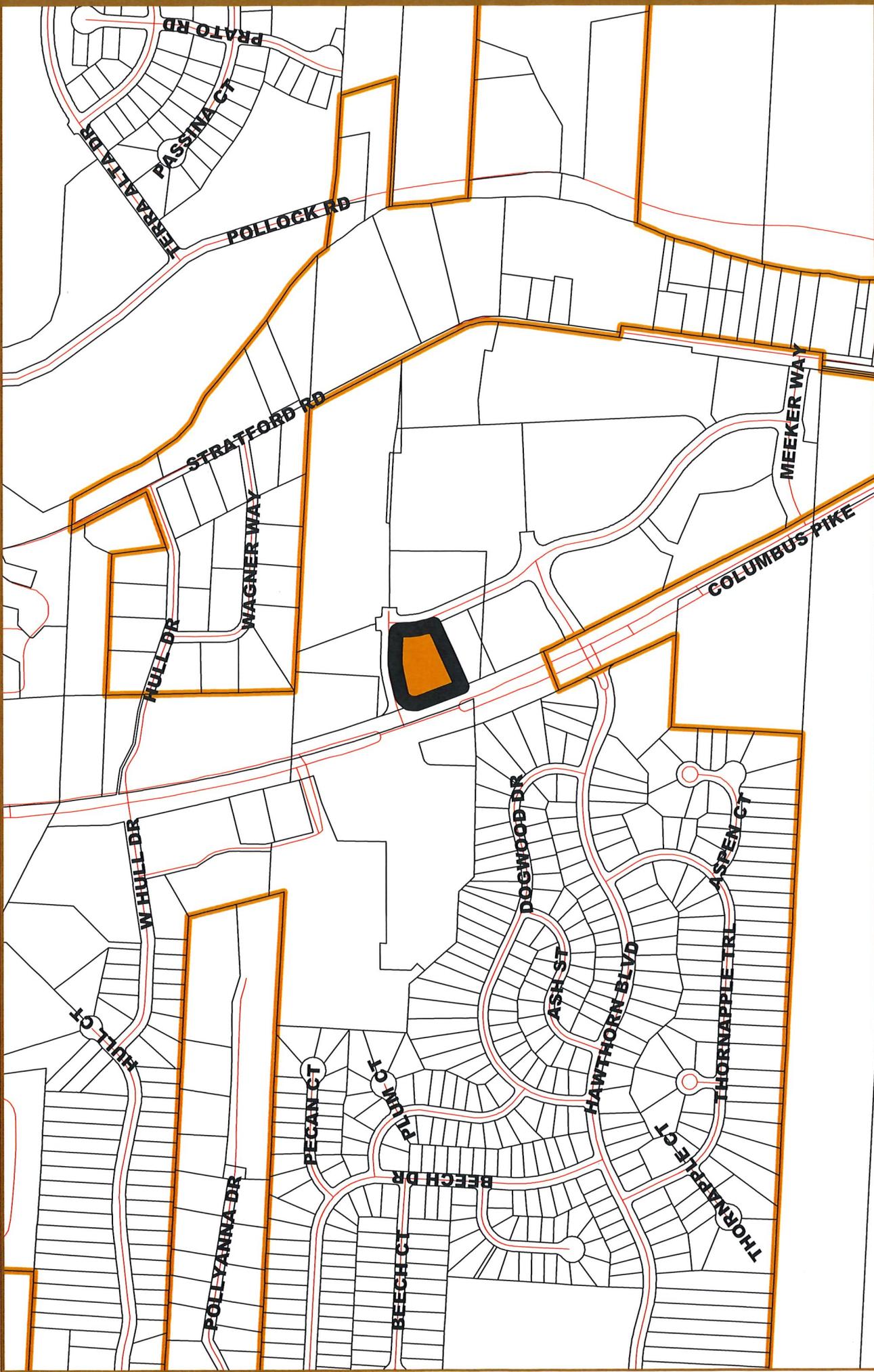
1. No other gas stations shall be permitted within the Coughlin’s Crossing development (all Sub-Areas) per the approved development text.

COMMISSION NOTES:

MOTION: _____ 1st _____ 2nd approved denied tabled _____

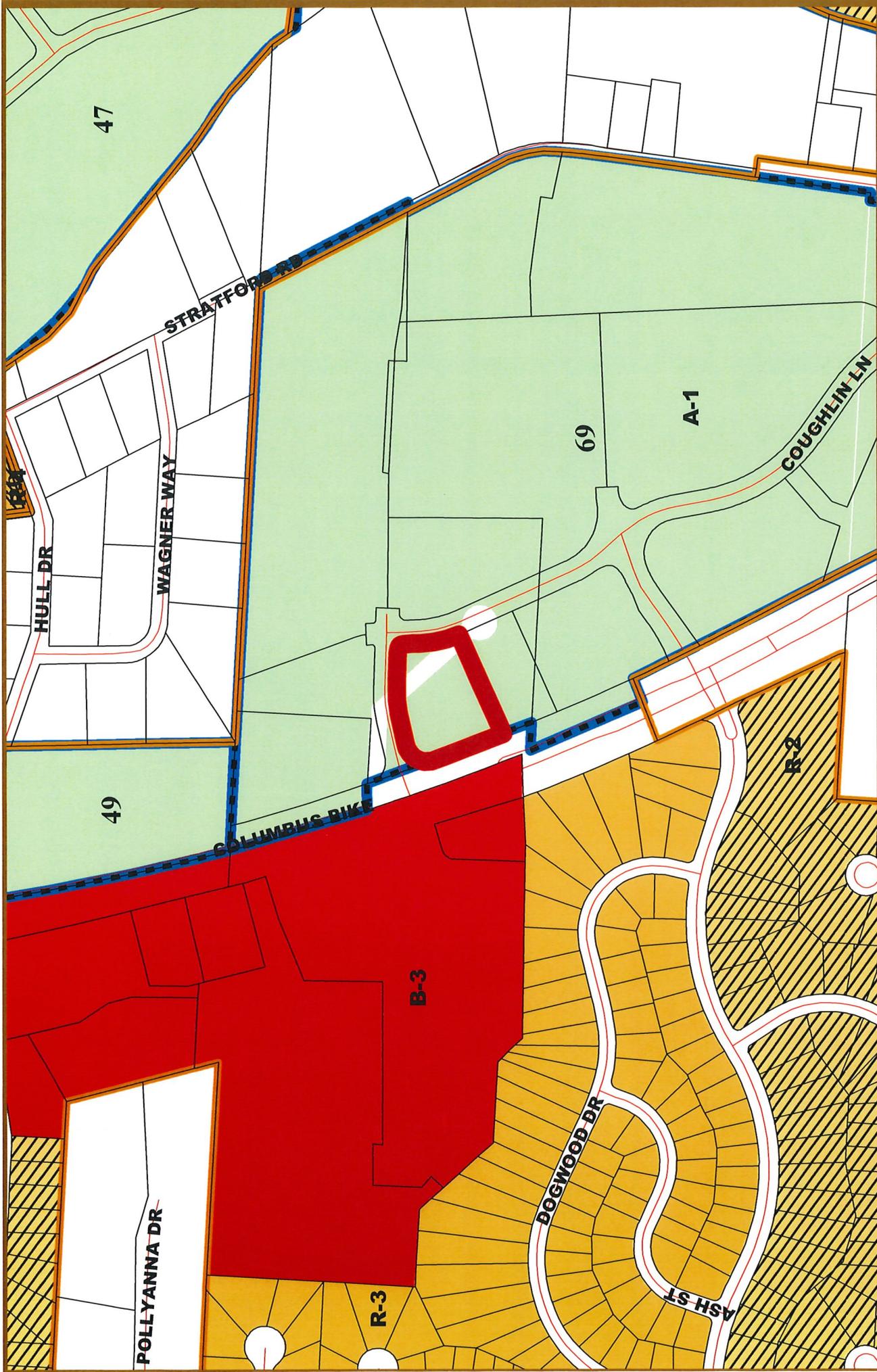
CONDITIONS/MISCELLANEOUS:

FILE:
ORIGINAL: 05/27/20
REVISED:

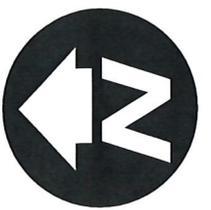


2020-0417-0418
 Conditional Use Permit & Preliminary Development Plan
 Sheetz - Coughlin's Crossing Lot 12722
 Location Map



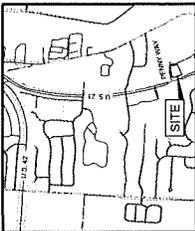


2020-0417-0418
 Conditional Use Permit & Preliminary Development Plan
 Sheetz - Coughlin's Crossing Lot 12722
 Zoning Map



2020-0417-0418
Conditional Use Permit & Preliminary Development Plan
Sheetz - Coughlin's Crossing Lot 12722
Aerial (2016) Map





PROPOSED SHEETZ PENNY WAY CITY OF DELAWARE, DELAWARE COUNTY, OHIO 2020

REFERENCE BENCHMARK
BENCHMARKS WERE DERIVED FROM A VRS OBSERVATION OF MONUMENTS. INFORMATION OF ATRM, COMPTON, COLE AND ALL OTHER ELEVATION VALUES OBTAINED FROM THIS SURVEY.

BENCHMARK #1
TOP OF CASTING OF EXISTING STORM SEWER INLET LOCATED IN THE WESTERN PORTION OF THE INTERSECTION OF PENNY WAY AND COUGHLIN LANE.
ELEV. 862.97

BENCHMARK #2
TOP OF CASTING OF EXISTING STORM SEWER INLET LOCATED IN THE WESTERN PORTION OF THE INTERSECTION OF PENNY WAY AND COUGHLIN LANE.
ELEV. 861.97

UTILITY CONTACT INFORMATION

WATER/SEWER
DELCO WATER COMPANY
3800 US 23 NORTH
DELAWARE, OH 43015
WASTEWATER TREATMENT FACILITY
DELAWARE, OH 43015
PHONE (740) 202-1600

WATERS
DELCO WATER COMPANY, INC.
6773 OLENTANGY RIVER RD.
DELAWARE, OH 43015 - 4872
PHONE 740-567-7746 EXT. 381

NATURAL GAS
SUNBURN NATURAL GAS
3204 LEWIS CENTER RD.
LEWIS CENTER, OHIO 43045
(740) 562-4740

PLANNING, ZONING & BUILDING DEPARTMENT
CITY OF DELAWARE
PUBLIC WORKS DEPARTMENT
1 SOUTH SANDUSKY STREET
DELAWARE, OHIO 43015
PHONE (740) 202-1600

ENGINEER/SURVEYOR
BIRD + BULL, INC.
1000 W. MAIN ST., STE. 225
COLUMBUS, OHIO 43260
PHONE 614-291-1661
CONTACT ANDREW GARDNER, P.E.
E-MAIL AGARDNER@BIRDBULL.COM

DEVELOPER
RURAL ESTATE DEVELOPMENT
4070 MORSE ROAD
COLUMBUS, OHIO 43229
CONTACT SAHAI GOLD
E-MAIL GOLD@RURALESTATEDEV.COM

ELECTRIC (CONEL)
D&K DESIGN COMPANY / FIRST ENERGY
1040 S. PROSPECT ST.
MARIETTA, OHIO 43027
CONTACT DAN AMATO - COORDINATOR OF ENGINEERING SERVICES
PHONE (740) 387-7104

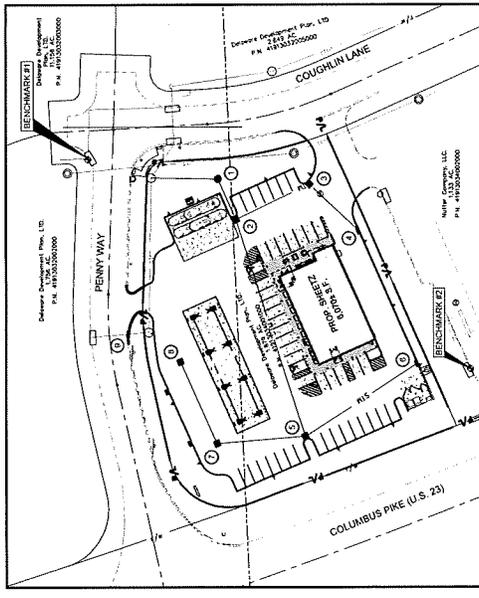
CONSOLIDATED ELECTRIC COOPERATIVE, INC.
1000 W. MAIN ST., STE. 225
COLUMBUS, OHIO 43260
CONTACT DAN AMATO - DIRECTOR OF ENGINEERING
PHONE (614) 946-2525

ENVIRONMENTAL INVESTIGATION/ASSESSMENT
OHIO EPA - CENTRAL DISTRICT OFFICE
LANSBURG GOVERNMENT CENTER
1000 W. MAIN ST., STE. 225
COLUMBUS, OHIO 43260
CONTACT ISAAC ROBINSON - CHEF OF ENVIRONMENTAL INVESTIGATION
PHONE (614) 726-3969

AMERICAN ELECTRIC POWER COMPANY - AEP
650 TECH CENTER DR.
COLUMBUS, OHIO 43260
CONTACT PUBLIC PLANNED PROJECTS PAUL PAXTON
PHONE (614) 462-7849

CITY ENGINEER
CITY OF DELAWARE
PUBLIC WORKS DEPARTMENT
1 SOUTH SANDUSKY STREET
DELAWARE, OHIO 43015
CONTACT BILL FERRIGNO
PHONE (740) 203-4110

STANDARD DRAWINGS
The drawings on this plan shall be considered as part thereof.



SITE DATA TABLE

TOTAL SITE AREA	1.88 AC.
PRE-DEVELOPED IMPERVIOUS	0.03 AC.
POST-DEVELOPED IMPERVIOUS	1.42 AC.

INDEX MAP
SCALE 1" = 60'

INFRASTRUCTURE OWNERSHIP CHART

INFRASTRUCTURE ITEM	PUBLIC	PRIVATE	COMMENTS
STORM SEWER		X	PRIVATE SITE STORM SEWER ONLY.
SANITARY SEWER		X	PRIVATE SANITARY SERVICE ONLY.
WATER		X	PRIVATE WATER SERVICE ONLY.

NOTE: THE CITY RESERVES THE RIGHT TO ENSURE ALL INFRASTRUCTURE IS PROPERLY CONSTRUCTED AND INSTALLED, REGARDLESS OF OWNERSHIP.

OHIO Utilites Protection Service
Call Before You Dig
800-362-2764 or 8-1-1
www.ohio3ps.org

INDEX OF SHEETS

- COVER SHEET
- GENERAL NOTES (CONT.) DETAILS AND ESTIMATE OF QUANTITIES
- SHEETZ GENERAL NOTES AND DETAILS
- SHEETZ DETAILS (CONT.)
- A.T.A. SURVEY
- ALTERNATIVE CONDITIONS AND DEMOLITION PLAN
- SITE PLAN
- STRIKING AND REMOVAL PLAN
- STORM SEWER AND GRADING PLAN
- INTERSECTION GRADING DETAILS
- FUEL CENTER DETAILS
- STORM SEWER PROFILES
- DETENTION BASIN DETAIL
- EROSION AND SEDIMENT CONTROL PLAN NOTES
- OVERALL LANDSCAPE PLAN
- TREE PRESERVATION PLAN
- PHOTOMETRIC PLAN

DATE: _____
DATE: _____
DATE: _____
DATE: _____

DAVID M. ERLAND, AICP
DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT

WILLIAM L. FERRIGNO, P.E.
PUBLIC WORKS DIRECTOR/CITY ENGINEER
OHIO REGISTERED PROFESSIONAL ENGINEER NO. 58942

MATTHEW B. WEBER, P.E.
DEPUTY CITY ENGINEER
OHIO REGISTERED PROFESSIONAL ENGINEER NO. 65963

BLAKE JORDAN
OHIO REGISTERED PROFESSIONAL ENGINEER NO. 77515

APPROVAL OF THESE PLANS DOES NOT CONSTITUTE ASSURANCE TO OPERATE AS INTENDED. THE REVIEWER DOES NOT ACCEPT RESPONSIBILITY FOR THE INTEGRITY OF THE PLANS.

ANDREW A. GARDNER - OHIO ENGINEER NO. E-28659

Bird+Bull
1000 W. MAIN ST., STE. 225
COLUMBUS, OHIO 43260
WWW.BIRDBULL.COM

SHEETZ
PENNY WAY
DELAWARE, OH 43015

COVER SHEET

SCALE: 1" = 60'
DATE: 05/06/2020
JOB NO.: 15-104

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
2. THE CONTRACTOR SHALL INFORM AND HOLD HARMLESS THE OWNER AND/OR ENGINEER OF ANY EXISTING UTILITIES, STRUCTURES, OR OTHER FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
3. EXISTING CONDITIONS AS DETICED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL, OR PIPING. THE CONTRACTOR SHALL BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BEING ON THE DEMOLITION SITE. IF ANY CONDITIONS ARE FOUND TO BE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
4. ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RIGID UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET. EXISTING STRUCTURES SHALL BE DEMOLISHED TO THE FOUNDATION, INCLUDING FOUNDATION WALLS, AND FOOTINGS.
5. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
6. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
7. THE BURNING OF CLEARED MATERIALS AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
8. UTILITY CONTACTS ARE LISTED ON THE TITLE SHEET.
9. EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES. REFER TO EES PLAN FOR DETAILS.
10. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED ASBESTOS REMOVAL CONTRACTOR. ALL ASBESTOS REMOVAL CONTRACTORS SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
11. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, VARIANCES, PROBESITY CERTIFICATES AND BIDDING DOCUMENTS DURING DEMOLITION ACTIVITIES. IF INSTALLED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
12. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
13. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE LOCAL HIGHWAY DEPARTMENT STANDARDS, AND AS REQUIRED BY THE LOCAL AND/OR STATE AGENCIES REGARDING THE EXCAVATION OF UTILITIES AND CONDITIONS ASSOCIATED WITH BURNING AND DEMOLITION. NOTIFY LOCAL AGENCIES IMMEDIATELY.
14. CONTRACTOR SHALL PROTECT ALL OTHER ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
15. CONTRACTOR SHALL COORDINATE EXISTING UTILITIES WITH THE LOCAL AUTHORITIES AND OBTAIN NECESSARY PERMITS AND VARIANCES PRIOR TO INITIATION OF DEMOLITION OF STRUCTURES.
16. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

LAYOUT NOTES

1. CONTRACTOR SHALL REFER TO THE SHEET ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES.
2. ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SERVICE AND PRESENT MARKERS AS SHOWN ON THE CONSTRUCTION PLANS.
4. ALL NON-LANDSCAPED BLANKS SHALL BE PAINTED WITH STRIPES 4" WIDE, AT 45° AND 2 FEET O.C.
5. ALL STRIPING SHALL BE 4" WIDE UNLESS NOTED OTHERWISE.
6. CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THE PYLON SIGN WITH SHEETZ, SHEETZ GENERAL NOTES, AND OTHER PERTINENT INFORMATION.

GRADING NOTES

1. ALL SITES WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY BIRD + BULL, INC., THE CURRENT REQUIREMENTS OF THE CITY OF DELAWARE, THE APPLICABLE CURRENT EDITION, FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING SAFETY AND HEALTH.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSIDERED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY PROTECTION SERVICES AT 800-382-7294 OR 811. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT BE AN EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES.
7. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE LOCATION AND DEPTH OF ALL PROPOSED UTILITIES TO SHEETZ STORE, ADD CANTY WASH IT ONE (FOR SITE).
8. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
9. AN ASBUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
10. UTILITY COMPANIES AND CONTACTS ARE LISTED ON SHEET 1.
11. CONDUIT LOCATIONS TO PYLON SIGNS AND SITE LIGHT POLES TO BE COORDINATED WITH SHEETZ SUPERINTENDENT.
12. CONTRACTOR SHALL COORDINATE WITH SHEETZ SUPERINTENDENT ON LOCATION AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSIDERED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
13. CONTRACTOR SHALL COORDINATE WITH SHEETZ ON CONDUIT ROUTE TO STORE FROM THE TRANSFORMER AND/OR SERVICE UTILITY POLE FOR TELEPHONE AND ELECTRICAL SERVICE.
14. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
15. ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, AND STRUCTURES SHALL BE PRESERVED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS NOTED OTHERWISE.

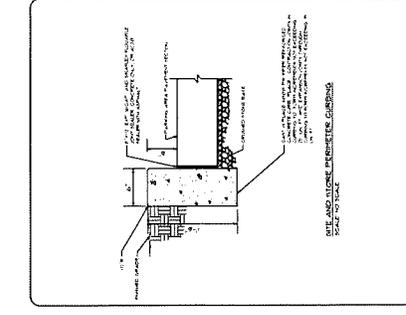
6. ALL SLOPES SHALL BE 2:1 HORIZONTAL, VERTICAL MAXIMUM UNLESS NOTED OTHERWISE. ALL SLOPES GREATER THAN 3:1 TO PERMANENTLY STABILIZED WITH LANDSCAPE PLANTS.
7. AN ASBUILT DRAWING OF NEW UTILITY SERVICES MUST BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
8. ALL AREAS NOT PAVED SHALL BE TOP SOILED, SEEDED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS. SITE SPECIFICATIONS OR INDICATED BY THE OWNER.
9. CONTRACTOR SHALL REFER TO THE GEOGRAPHICAL REPORT PREPARED BY GCI PAGES 10 THROUGH 14 FOR UNDERGROUND UTILITY.
10. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

STORMWATER MANAGEMENT NOTES

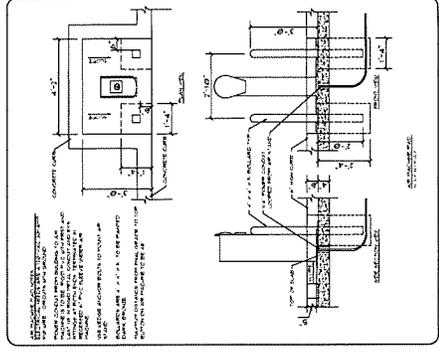
1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY BIRD + BULL, INC., THE CURRENT REQUIREMENTS OF THE CITY OF DELAWARE, THE APPLICABLE CURRENT EDITION, FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING SAFETY AND HEALTH.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSIDERED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY PROTECTION SERVICES AT 800-382-7294 OR 811. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT BE AN EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
5. CONTRACTOR SHALL COORDINATE PUMP ISLAND CAPACITY DRAINS CONNECTION TO THE MAIN COLLECTION PIPE WITH SHEETZ, AND PROVIDE ALL NECESSARY FITTINGS TO MAKE THE CONNECTION TO THE MAIN COLLECTION PIPE.
6. CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES AND PIPES.
7. AN ASBUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
8. ALL STORM PIPE SHALL BE AS SPECIFIED, ALL JOINTS SHALL BE WATER TIGHT.
9. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

UTILITY NOTES

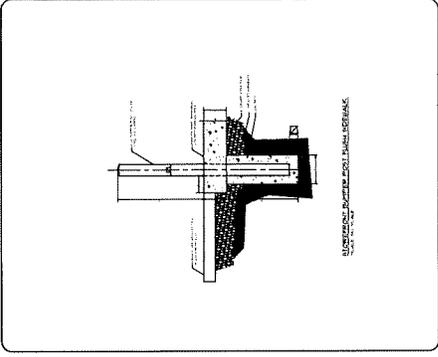
1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY BIRD + BULL, INC., THE CURRENT REQUIREMENTS OF THE CITY OF DELAWARE, THE APPLICABLE CURRENT EDITION, FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING SAFETY AND HEALTH.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSIDERED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY PROTECTION SERVICES AT 800-382-7294 OR 811. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT BE AN EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES.
7. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE LOCATION AND DEPTH OF ALL PROPOSED UTILITIES TO SHEETZ STORE, ADD CANTY WASH IT ONE (FOR SITE).
8. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
9. AN ASBUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
10. UTILITY COMPANIES AND CONTACTS ARE LISTED ON SHEET 1.
11. CONDUIT LOCATIONS TO PYLON SIGNS AND SITE LIGHT POLES TO BE COORDINATED WITH SHEETZ SUPERINTENDENT.
12. CONTRACTOR SHALL COORDINATE WITH SHEETZ SUPERINTENDENT ON LOCATION AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSIDERED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
13. CONTRACTOR SHALL COORDINATE WITH SHEETZ ON CONDUIT ROUTE TO STORE FROM THE TRANSFORMER AND/OR SERVICE UTILITY POLE FOR TELEPHONE AND ELECTRICAL SERVICE.
14. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.



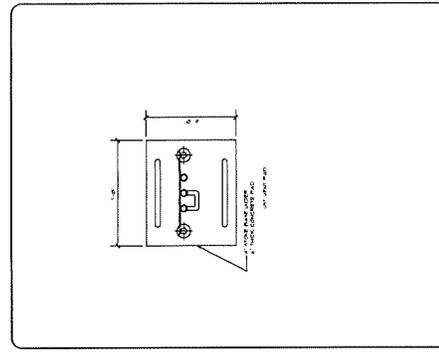
DATE	DESCRIPTION



DATE	DESCRIPTION



DATE	DESCRIPTION



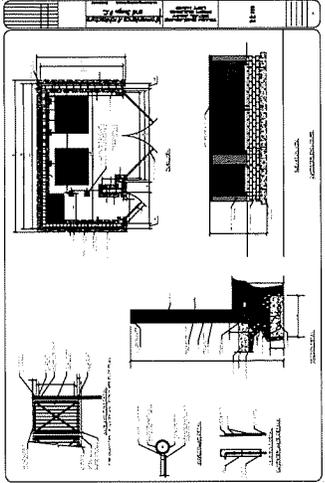
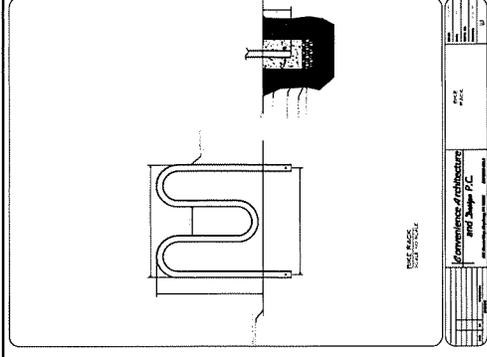
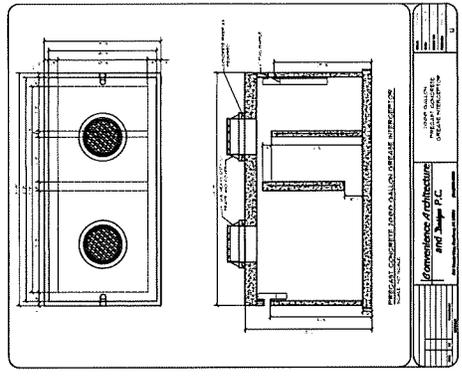
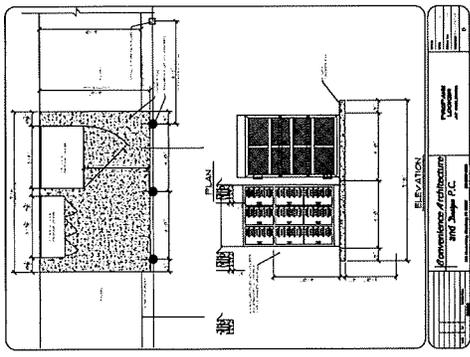
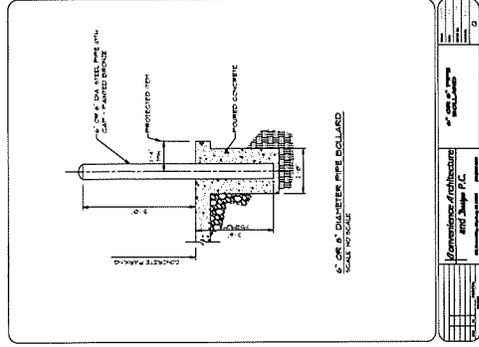
DATE	DESCRIPTION



SHEETZ
PENNY WAY
DELAWARE, OHIO 43015

**SHEETZ GENERAL NOTES
AND DETAILS**

SCALE: N/A
DATE RECORDED: 05/09/2020
JOB NO: 1404
SHEET: 4

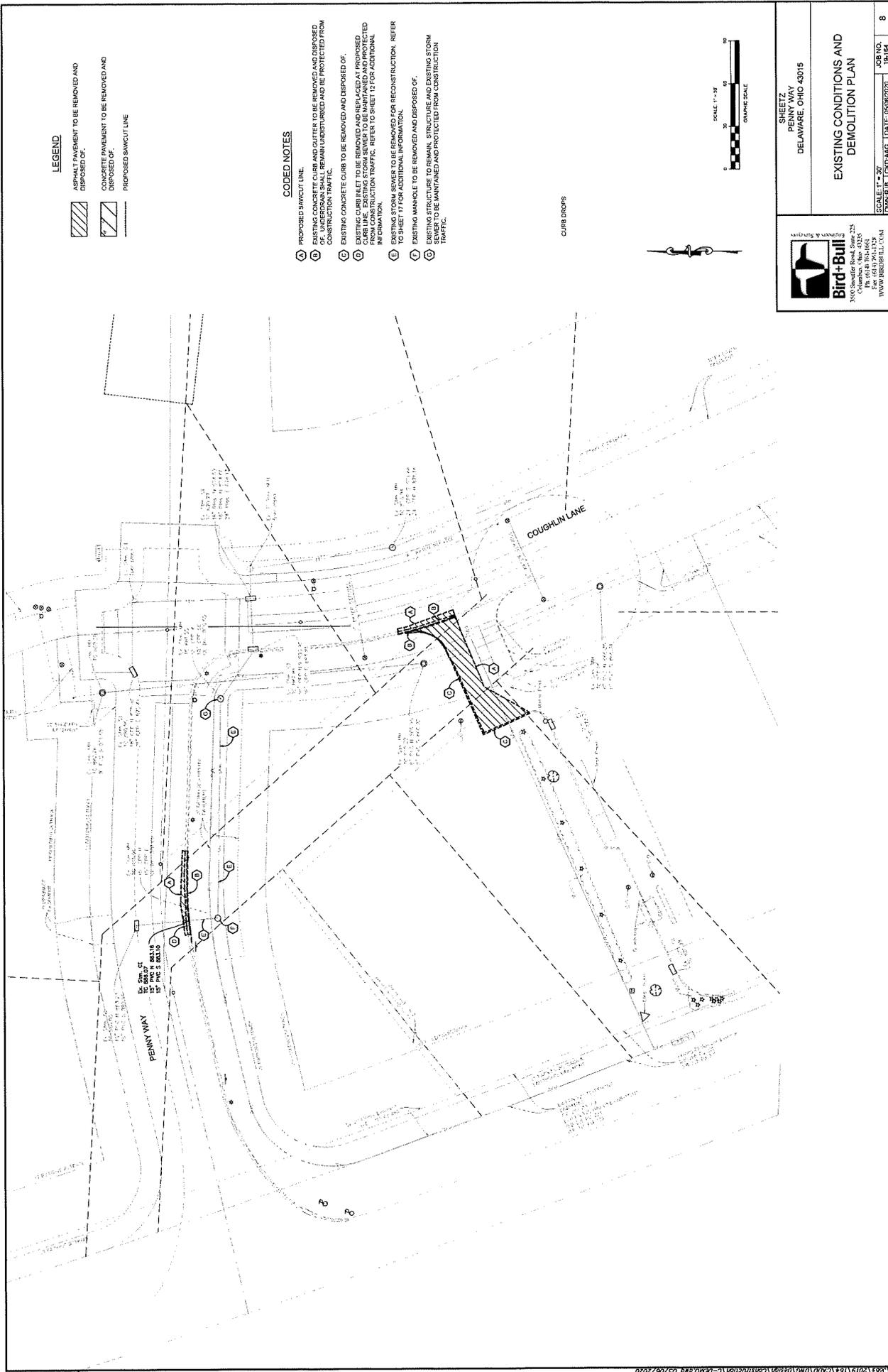


SHEETZ
PENNY WAY
DELAWARE, OHIO 43015

SHEETZ DETAILS (CONT.)

Bird+Bull
ARCHITECTS
10000 W. STATE ST.
COLUMBUS, OHIO 43224
PH: (614) 291-1104
WWW.BIRDBULL.COM

SCALE: N/A
OWNER: BIRD+BULL
DATE: 05/08/2020
JOB NO.: 18-104
6



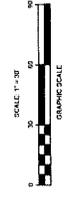
LEGEND

-  ASPHALT PAVEMENT TO BE REMOVED AND DISPOSED OF.
-  CONCRETE PAVEMENT TO BE REMOVED AND DISPOSED OF.
-  PROPOSED SAWCUT LINE

CODED NOTES

- (A) PROPOSED SAWCUT LINE.
- (B) EXISTING CONCRETE CURB AND GUTTER TO BE REMOVED AND DISPOSED FROM CONSTRUCTION TRAFFIC.
- (C) EXISTING CONCRETE CURB TO BE REMOVED AND DISPOSED OF.
- (D) EXISTING CURB INLET TO BE REMOVED AND REPLACED AS PROPOSED FROM CONSTRUCTION TRAFFIC. REFER TO SHEET 12 FOR ADDITIONAL INFORMATION.
- (E) EXISTING STORM SEWER TO BE REMOVED FOR RECONSTRUCTION. REFER TO SHEET 11 FOR ADDITIONAL INFORMATION.
- (F) EXISTING MANHOLE TO BE REMOVED AND DISPOSED OF.
- (G) EXISTING STRUCTURE TO REMAIN. STRUCTURE AND EXISTING STORM SEWER TO BE MAINTAINED AND PROTECTED FROM CONSTRUCTION TRAFFIC.

CURB DROPS

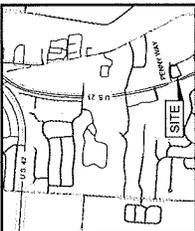


Bird+Bull
 ARCHITECTURE & ENGINEERING
 1500 W. 12th Street, Suite 220
 Columbus, Ohio 43228
 Ph: (614) 964-1864
 WWW.BIRDBULL.COM

SHEETZ
 PENNY WAY
 DELAWARE, OHIO 43015

**EXISTING CONDITIONS AND
 DEMOLITION PLAN**

SCALE: 1" = 30'
 DWG: RB-11-027-2403 | DATE: 05/06/2020 | JOB NO.: 18-114 | 8



SITE DATA TABLE

1.88 AC.
TOTAL SITE AREA
1.88 AC.
TOTAL DISTURBED AREA
1.88 AC.
TOTAL UNDISTURBED AREA
0.00 AC.
POST-DEVELOPMENT PERVIOUS
1.42 AC.

SITE DEVELOPMENT INFORMATION

ZONING:
 DELAWARE DEVELOPMENT PLAN LTD.
 1.88 AC. SERVICE RESTAURANT WITH FUEL CENTER
 1.88 AC. SERVICE RESTAURANT WITH FUEL CENTER
 SITE ACADGE
 EXISTING ZONING
 ADJACENT ZONING NORTH
 A-1 AGRICULTURAL DISTRICT / PMU PLANNED MIXED USE
 ADJACENT ZONING EAST
 A-1 AGRICULTURAL DISTRICT / PMU PLANNED MIXED USE
 ADJACENT ZONING WEST
 B-3 COMMUNITY BUSINESS DISTRICT

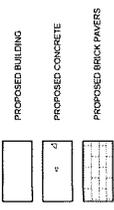
TOTAL EXISTING SITE AREA 1.88 ACRES
TOTAL DISTURBED AREA 1.88 ACRES
TOTAL UNDISTURBED AREA 0.00 ACRES
TOTAL PERVIOUS (POST) 1.42 ACRES

PARKING / FUEL CANOPY 15' (REAR / INTERNAL ROADS) SETBACK

BUILDING SETBACK 50' (U.S. 23 / REAR) 40' (INTERNAL ROADS)

BUILDING COVERAGE 7.4%
LOT COVERAGE 75.0%

BUILDING DATA:
 PROPOSED BUILDING HEIGHT NOT TO EXCEED 45 FEET



PARKING CALCULATIONS

AREA	SQUARE FOOTAGE	MIN. PARKING REQ'D*	TOTAL PARKING PROVIDED	PARKING RATIO
PROPOSED BUILDING	6,074	31	48	7,949/6,074 S.F.
TOTAL				11/72 S.F.

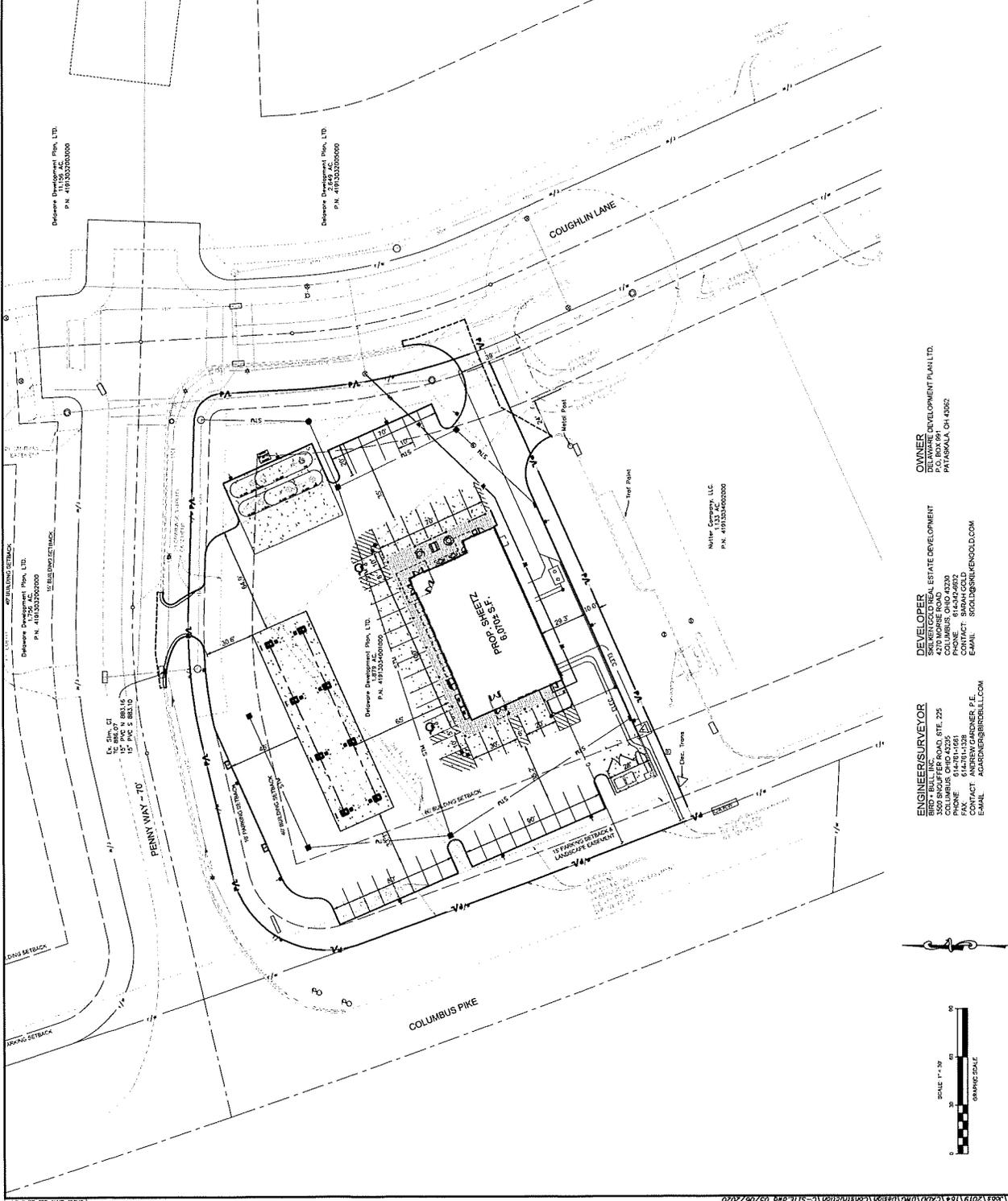
*PER DELAWARE CITY PLANNING AND ZONING CODE CHAPTER 1561.1, SPACE IS REQUIRED FOR EVERY 200 S.F. OF RETAIL AND SERVICE ESTABLISHMENT SPACE.

Bird-Bull
 ENGINEERS/SURVEYORS
 425 N. WASHINGTON ST., SUITE 225
 COLUMBUS, OHIO 43215
 PH: (614) 761-1166
 WWW.BIRDBULL.COM

SHEET
 PENNY WAY
 DELAWARE, OHIO 43015

SITE PLAN

DATE: 05/06/2020
 JOB NO.: 18-104
 DRAWING NO.: 9



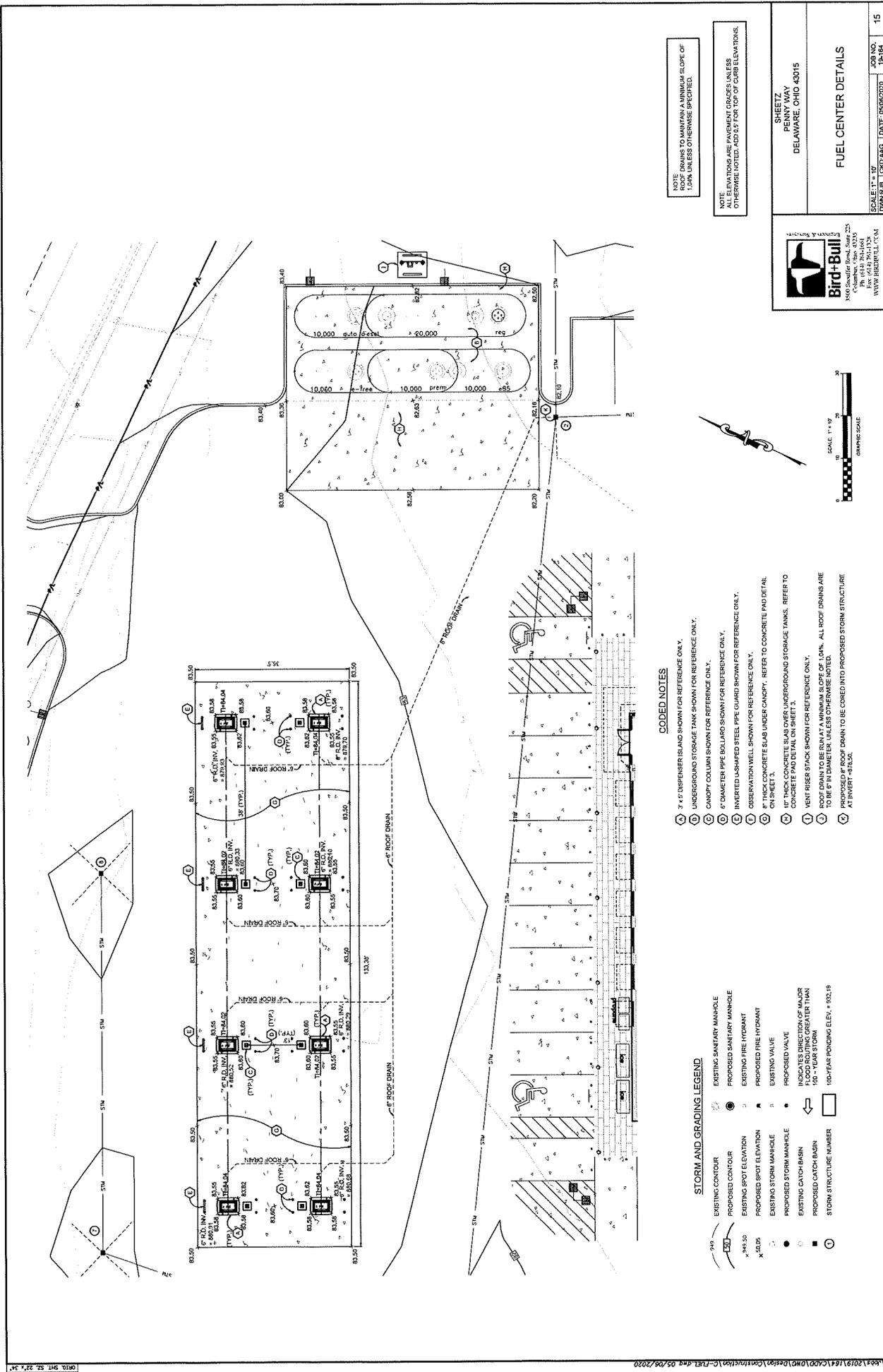
ENGINEER/SURVEYOR
 BIRD-BULL LLC
 425 N. WASHINGTON ROAD, STE. 225
 COLUMBUS, OHIO 43215
 PHONE: 614-761-1166
 FAX: 614-761-1328
 CONTACT: ANDREW GARDNER, P.E.
 E-MAIL: AGARDNER@BIRDBULL.COM

DEVELOPER
 BIRD-BULL REAL ESTATE DEVELOPMENT
 425 N. WASHINGTON ROAD, STE. 225
 COLUMBUS, OHIO 43215
 PHONE: 614-761-1166
 CONTACT: SARAH GOLD
 E-MAIL: SGOLD@BIRDBULL.COM

OWNER
 DELAWARE DEVELOPMENT PLAN LTD.
 100 MAIN ST.
 PLYMOUTH, OH 43082

Other Companies, LLC
 133 ZC
 P.O. BOX 60000
 P.O. #1933040000





DATE: 05/26/2020 15:00:00
 PROJECT: PENNY WAY DELAWARE, OHIO 43015
 SHEET: FUEL CENTER DETAILS
 JOB NO.: 15
 DATE: 05/26/2020

STORM AND GRADING LEGEND

---	EXISTING CONTOUR	---	EXISTING SANITARY MANHOLE
- - -	PROPOSED CONTOUR	○	PROPOSED SANITARY MANHOLE
●	EXISTING SPOT ELEVATION	○	EXISTING FIRE HYDRANT
○	PROPOSED SPOT ELEVATION	○	PROPOSED FIRE HYDRANT
○	EXISTING STORM MANHOLE	○	EXISTING VALVE
○	PROPOSED STORM MANHOLE	○	PROPOSED VALVE
○	EXISTING CATCH BASIN	○	INDICATES DIRECTION OF MAJOR FLOOD ROUTING GREATER THAN 100 - YEAR STORM
○	PROPOSED CATCH BASIN	○	100-YEAR FLOODING ELEV. + 0.02, 18"
○	STORM STRUCTURE NUMBER	○	

- CODED NOTES**
- ① 3' x 15' DISPENSER ISLAND SHOWN FOR REFERENCE ONLY.
 - ② UNDERGROUND STORAGE TANK SHOWN FOR REFERENCE ONLY.
 - ③ CANOPY COLUMN SHOWN FOR REFERENCE ONLY.
 - ④ 6" DIAMETER PIPE BOLLARD SHOWN FOR REFERENCE ONLY.
 - ⑤ INVERTED DASHED STEEL PIPE GUARD SHOWN FOR REFERENCE ONLY.
 - ⑥ OBSERVATION WELL SHOWN FOR REFERENCE ONLY.
 - ⑦ 8" THICK CONCRETE SLAB UNDER CANOPY. REFER TO CONCRETE PAD DETAIL ON SHEET 3.
 - ⑧ 10" THICK CONCRETE SLAB OVER UNDERGROUND STORAGE TANKS. REFER TO CONCRETE PAD DETAIL ON SHEET 3.
 - ⑨ WENT RISER STACK SHOWN FOR REFERENCE ONLY.
 - ⑩ ROOF DRAIN TO BE EQUAL AT MINIMUM SLOPE OF 1/40". ALL ROOF DRAINS ARE TO BE 6" IN DIAMETER, UNLESS OTHERWISE NOTED.
 - ⑪ PROPOSED 6" ROOF DRAIN TO BE CORED INTO PROPOSED STORM STRUCTURE AT INVERT = 87.50.



Bird-Bull
 A Division of
 BIRDBULL CONSTRUCTION, LLC
 10000 N. State St., Suite 200
 Columbus, Ohio 43229
 Ph: (614) 941-1000
 WWW.BIRDBULL.COM

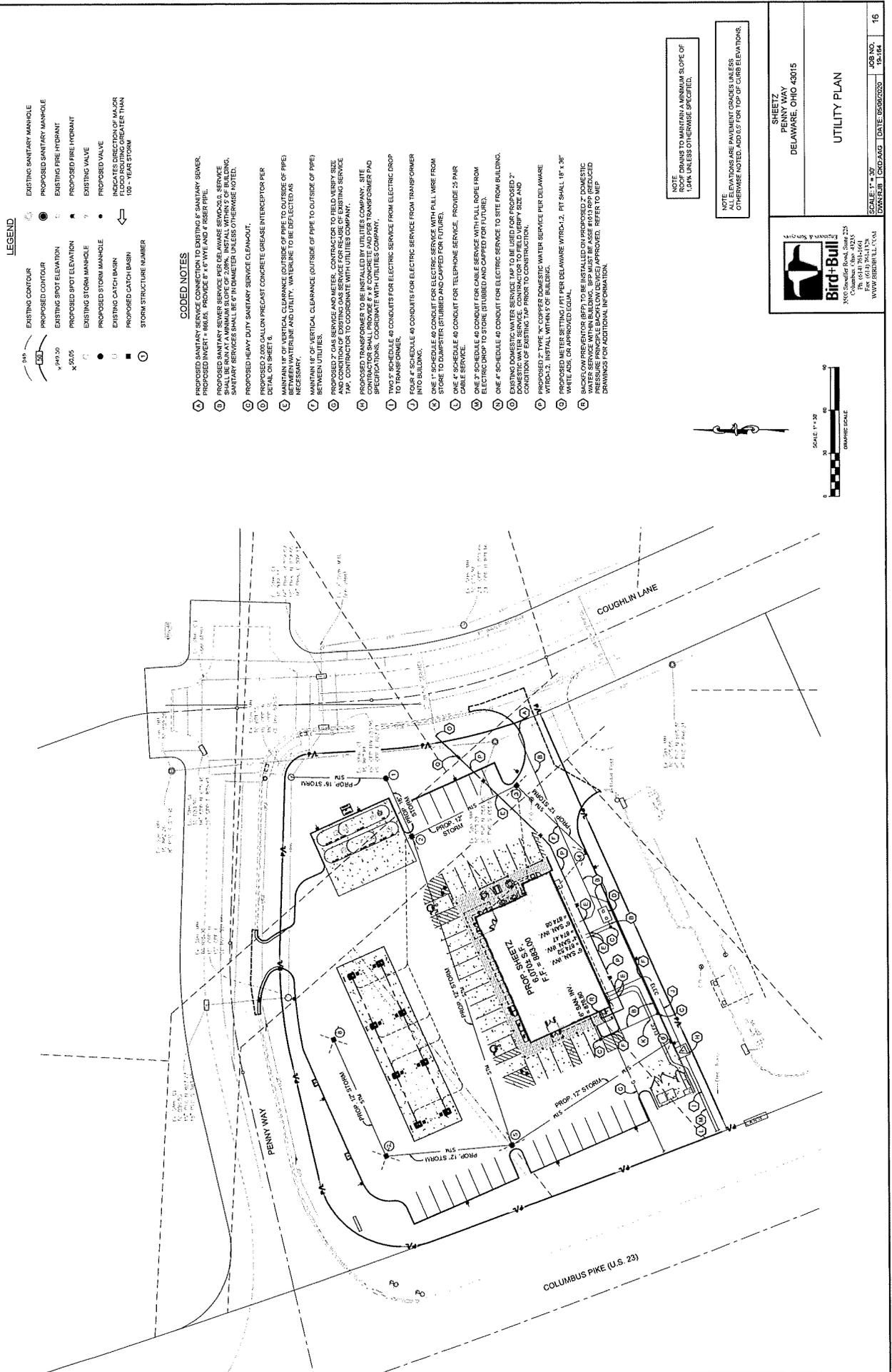
SHEET
 PENNY WAY
 DELAWARE, OHIO 43015

FUEL CENTER DETAILS

SCALE: 1" = 10'
 DWG: RJB | CRD: JAG | DATE: 05/26/2020 | JOB NO.: 15

NOTE
 ROOF DRAINS TO MAINTAIN A MINIMUM SLOPE OF 1/40" UNLESS OTHERWISE SPECIFIED.

NOTE
 ALL ELEVATIONS ARE PAVEMENT GRADES UNLESS OTHERWISE NOTED. ADD 0.5' FOR TOP OF CURB ELEVATIONS.



- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - EXISTING STORM MANHOLE
 - PROPOSED STORM MANHOLE
 - EXISTING CATCH BASIN
 - PROPOSED CATCH BASIN
 - STORM STRUCTURE NUMBER
 - EXISTING SANITARY MANHOLE
 - PROPOSED SANITARY MANHOLE
 - EXISTING FIRE HYDRANT
 - PROPOSED FIRE HYDRANT
 - EXISTING VALVE
 - PROPOSED VALVE
 - INDICATES DIRECTION OF MAJOR FLOOD ROUTING GREATER THAN 100' - HEAVY STORM

- CODED NOTES**
1. PROPOSED SANITARY SEWER SERVICE TO BE INSTALLED BY SANITARY SEWER, CONTRACTOR TO FIELD VERIFY SIZE AND CONDITION OF EXISTING GAS SERVICE FOR REUSE OF EXISTING SERVICE TAP. CONTRACTOR TO COORDINATE WITH UTILITIES COMPANY.
 2. PROPOSED SANITARY SEWER SERVICE PER PER-ASBESTOS SERVICE SHALL BE RUN AT A MINIMUM SLOPE OF 2.00%. INSTALL WITHIN 5' OF BUILDING. SANITARY SERVICES SHALL BE 6" IN DIAMETER UNLESS OTHERWISE NOTED.
 3. PROPOSED HEAVY DUTY SANITARY SERVICE CLEANOUT.
 4. PROPOSED 200 GALLON PRECAST CONCRETE GREASE INTERCEPTOR PER DETAIL ON SHEET 5.
 5. MAINTAIN 18" OF VERTICAL CLEARANCE (OUTSIDE OF PIPE TO OUTSIDE OF PIPE) BETWEEN WATERLINE AND UTILITY. WATERLINE TO BE DEFLECTED AS NECESSARY.
 6. MAINTAIN 18" OF VERTICAL CLEARANCE (OUTSIDE OF PIPE TO OUTSIDE OF PIPE) BETWEEN WATERLINE AND UTILITY. WATERLINE TO BE DEFLECTED AS NECESSARY.
 7. PROPOSED 2" TYPE "K" COPPER DOMESTIC WATER SERVICE PER DELAWARE WTRD-2.1, PRT. SHALL BE 1/2" X 3/8" WTRD-2.1 INSTALL WITHIN 5' OF BUILDING.
 8. PROPOSED 4" SCHEDULE 40 CONDUITS FOR ELECTRIC SERVICE FROM TRANSFORMER INTO BUILDING.
 9. ONE 1" SCHEDULE 40 CONDUIT FOR ELECTRIC SERVICE WITH PULL WIRE FROM STORE TO JUMPSTER (STUBBED AND CAPPED FOR FUTURE).
 10. ONE 4" SCHEDULE 40 CONDUIT FOR TELEPHONE SERVICE. PROVIDE 25 PAIR CABLE SERVICE.
 11. ONE 3" SCHEDULE 40 CONDUIT FOR CABLE SERVICE WITH PULL ROPE FROM ELECTRIC DROP TO STORE (STUBBED AND CAPPED FOR FUTURE).
 12. ONE 2" SCHEDULE 40 CONDUIT FOR ELECTRIC SERVICE TO SITE FROM BUILDING.
 13. EXISTING DOMESTIC WATER SERVICE TAP TO BE USED FOR PROPOSED 2" DOMESTIC WATER SERVICE. CONTRACTOR TO FIELD VERIFY SIZE AND CONDITION OF EXISTING TAP PRIOR TO CONSTRUCTION.
 14. PROPOSED 2" TYPE "K" COPPER DOMESTIC WATER SERVICE PER DELAWARE WTRD-2.1, PRT. SHALL BE 1/2" X 3/8" WTRD-2.1 INSTALL WITHIN 5' OF BUILDING.
 15. PROPOSED 4" SCHEDULE 40 CONDUITS FOR ELECTRIC SERVICE PER DELAWARE WTRD-2.1, PRT. SHALL BE 1/2" X 3/8" WTRD-2.1 INSTALL WITHIN 5' OF BUILDING.
 16. BACKS ON PER CONDUIT BEP TO BE INSTALLED ON PROPOSED 2" DOMESTIC WATER SERVICE WITHIN BUILDING. BEP MUST BE ASSE PER 103 RFP. REDUCED PRESSURE PRINCIPLE BACKFLOW DEVICE APPROVED. REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION.

NOTE: ROOF DRAINS TO MAINTAIN A MINIMUM SLOPE OF 1/4" UNLESS OTHERWISE SPECIFIED.

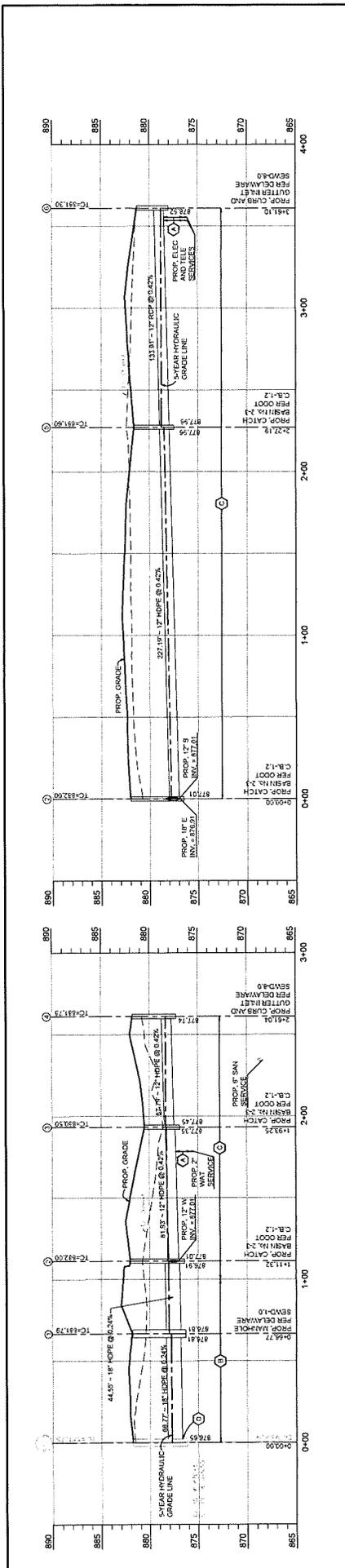
NOTE: ALL MANHOLES ARE SANITARY UNLESS OTHERWISE NOTED. ADD 6.5' FOR TOP OF CURB ELEVATIONS.

Bird-Bull
 3000 Columbus Pike, Suite 200
 Columbus, Ohio 43221
 Ph: (614) 794-1064
 Fax: (614) 794-1064
 WWW.BIRDBULL.COM

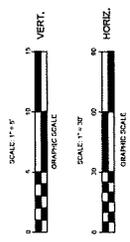
SHEETZ
 PENNY WAY
 DELAWARE, OHIO 43015

UTILITY PLAN

DATE: 05/27/2019
 JOB NO.: 15-164
 SCALE: 1" = 30'



- CODED NOTES**
- ① MAXIMUM NUMBER OF VERTICAL CURVES, CHANGE FROM CURVE OF PIPE TO OUTSIDE OF PIPE BETWEEN PROPOSED STORM SEWER AND SPECIFIED UTILITY.
 - ② COMPACTED BACKFILL PER CITY OF COLUMBUS ITEM #11.
 - ③ COMPACTED GRANULAR MATERIAL PER CITY OF COLUMBUS ITEM #12.
 - ④ PROPOSED STORM SEWER INTO EXISTING MANHOLE.
 - ⑤ PROPOSED INSERT # 874.4



Bird-Bull
 2300 Shawnee Road, Suite 220
 Columbus, Ohio 43234
 Tel: (614) 704-1000
 Fax: (614) 704-1001
 WWW.BIRDBULL.COM

SHEETZ
 PENNY WAY
 DELAWARE, OHIO 43015

STORM SEWER PROFILES

SCALE: 1" = 5' VERT., 1" = 30' HORIZ.
 DWG#R18 | CSD#JAG | DATE: 05/09/2020 | JOB NO. 15-184 | 17

THIS PLAN MUST BE POSTED ON-SITE
 IN THE PROJECT TRAILER.
 A COPY OF THE EROSION AND SEDIMENT
 CONTROL PLAN
 SHALL BE KEPT ONSITE AT ALL TIMES.

- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - TEMPORARY SEEDING AND MULCHING
 - PERMANENT SEEDING AND MULCHING
 - INLET PROTECTION - PAVEMENT
 - INLET PROTECTION - GRASS
 - CURB INLET PROTECTION
 - SEDIMENT RISER
 - TEMPORARY CONSTRUCTION FENCING
 - SEDIMENT FENCING
 - TREE FENCE
 - INDICATES DIRECTION OF MAJOR FLOOD ROUTING
 - CONCRETE WASHOUT
 - STABILIZED CONSTRUCTION ENTRANCE

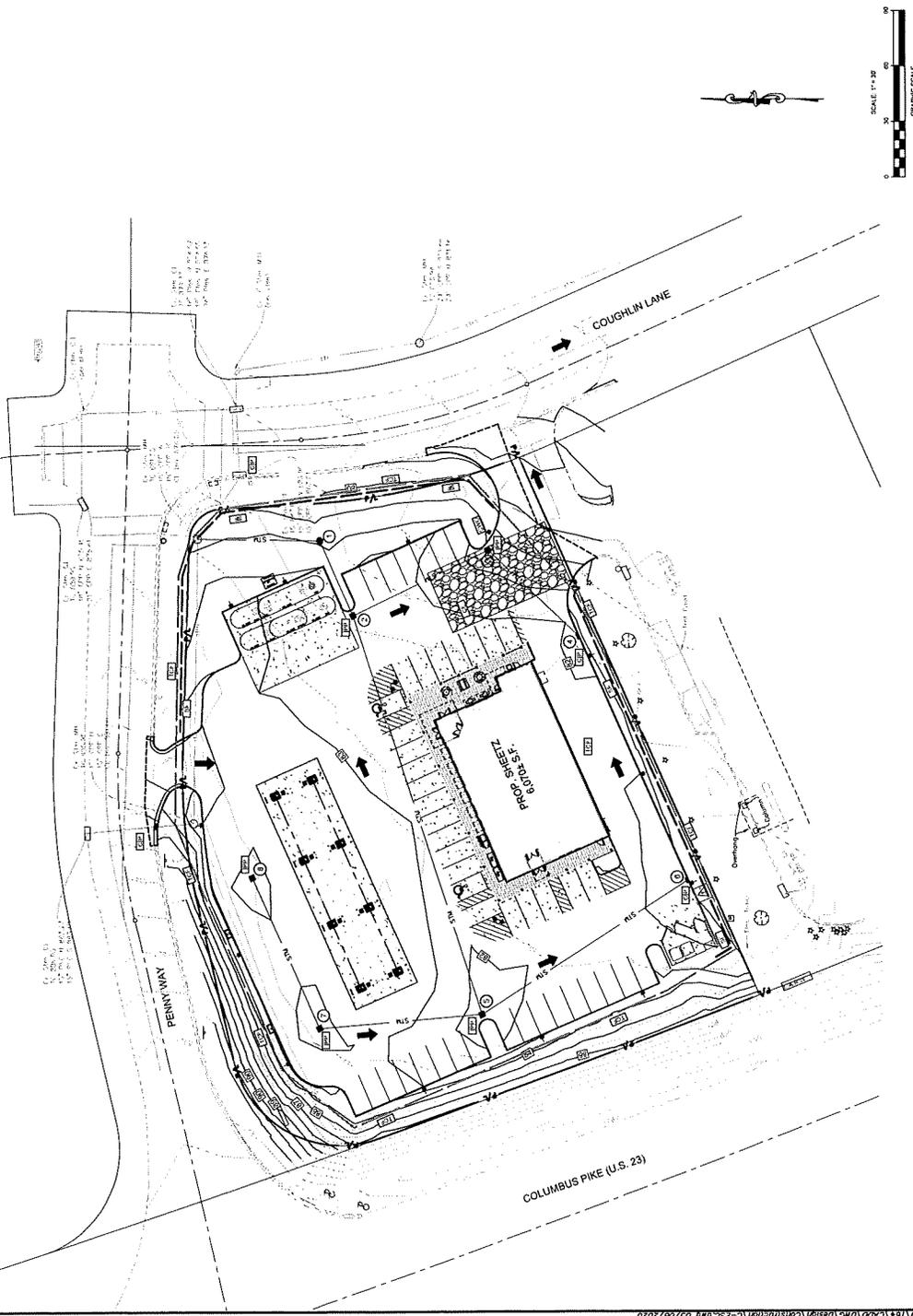
NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE
 FOR SWEEPING AND REMOVING ANY DEBRIS OR
 SEDIMENT FROM THE PUBLIC STREET.

Bird+Bull
 CONSULTING ENGINEERS
 10000 Old York Road, Suite 200
 Columbia, Maryland 21046
 P: (410) 794-1968
 F: (410) 794-1969
 WWW.BIRDBULL.COM

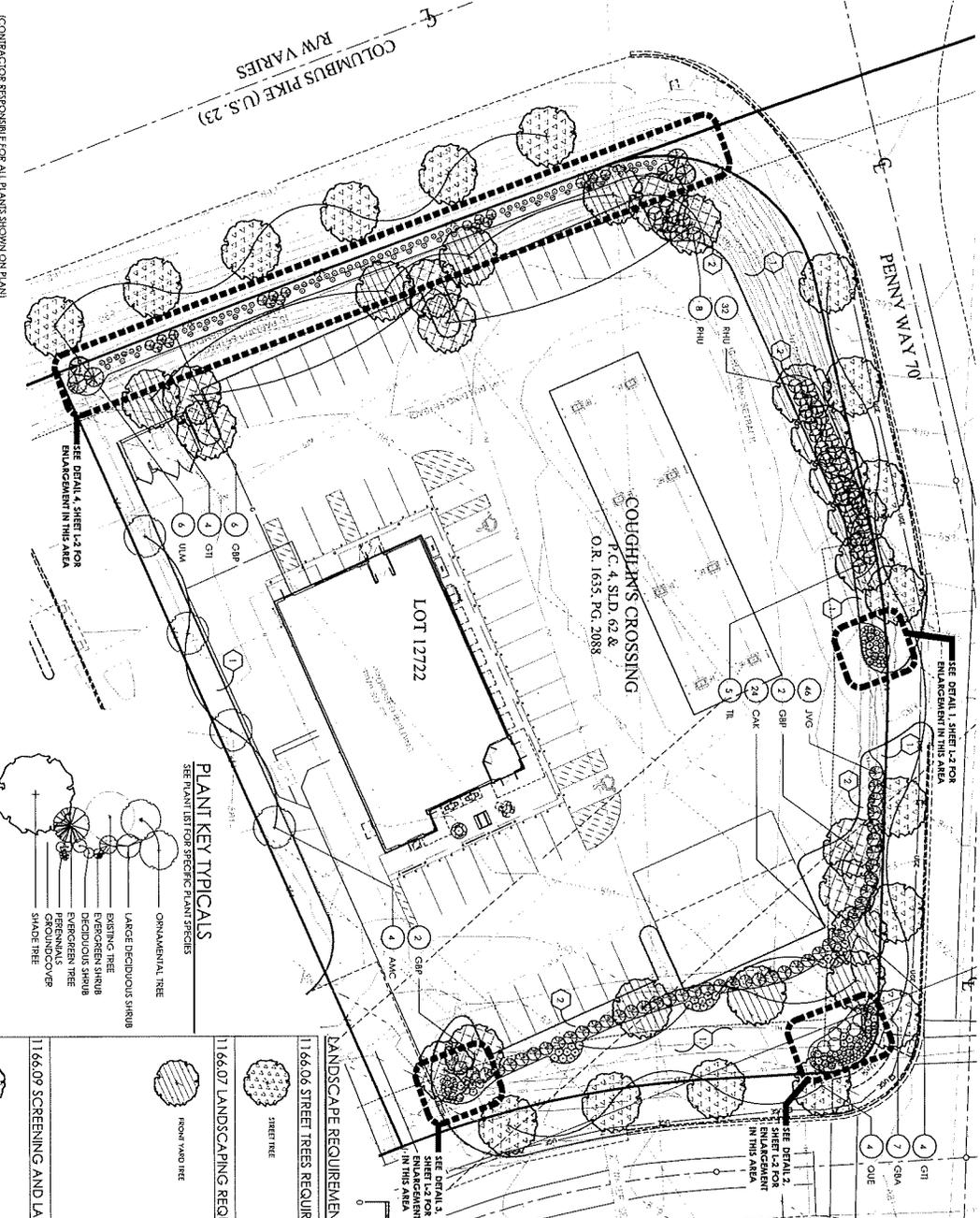
SHEET Z
 PENNY WAY
 DELAWARE, OHIO 43015

EROSION AND SEDIMENT
 CONTROL PLAN

SCALE: 1" = 30'
 OWNER: BIRD+BULL DATE: 05/06/2020 JOB NO.: 15-104 18



CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
1	GR	GRASS	GRASS			
2	GR	GRASS	GRASS			
3	GR	GRASS	GRASS			
4	GR	GRASS	GRASS			
5	GR	GRASS	GRASS			
6	GR	GRASS	GRASS			
7	GR	GRASS	GRASS			
8	GR	GRASS	GRASS			
9	GR	GRASS	GRASS			
10	GR	GRASS	GRASS			
11	GR	GRASS	GRASS			
12	GR	GRASS	GRASS			
13	GR	GRASS	GRASS			
14	GR	GRASS	GRASS			
15	GR	GRASS	GRASS			
16	GR	GRASS	GRASS			
17	GR	GRASS	GRASS			
18	GR	GRASS	GRASS			
19	GR	GRASS	GRASS			
20	GR	GRASS	GRASS			
21	GR	GRASS	GRASS			
22	GR	GRASS	GRASS			
23	GR	GRASS	GRASS			
24	GR	GRASS	GRASS			

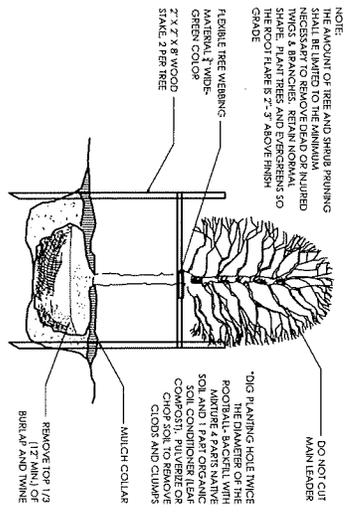


- ### GENERAL PLANTING NOTES:
- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
 - PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - PLANT LOCATION AND BEDS SHALL BE LOCATED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - PLANTING BEDS TO HAVE A MINIMUM 3" DEEP SHROUDED HARDWOOD BARK MULCH, MULCH BEGINS AT A MINIMUM 10" DEPTH.
 - ALL PLANTING BEDS TO BE TILLED TO A MINIMUM 12" DEPTH.
 - THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL OBTAIN THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED, SODDED OR OTHERWISE.
 - ALL EXISTING PLANT MATERIAL SHOWN ON THE PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.
- ### CONSTRUCTION NOTES:
- ALL SURFACES.
 - LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
 - LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES. PROVIDE MIN. 3" DEPTH MULCH AROUND SHRUBS AT ALL ISLANDS, PARKING LOT SCREENING AND AROUND Pylon SIGNS, WHICH SHALL BE DOUBLE-SIDED. COLOR ENHANCED 10" DEEP HARDWOOD BARK MULCH FOR ALL ISLANDS, PARKING LOT SCREENING, OR APPROVED EQUAL, IN ALL PLANT BEDS AND AT TREE RING.

LANDSCAPE REQUIREMENTS

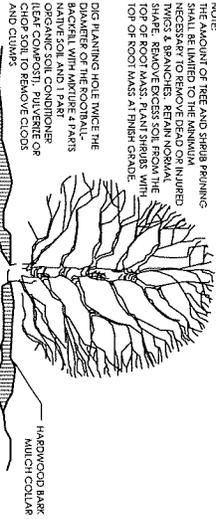
REQUIREMENT	PROVIDED	NOT PROVIDED
1166.06 STREET TREES REQUIREMENTS	ONE (1) TREE PER 100 FEET OF LOT FRONTAGE FOR PARKING DRIVE BRANCHED DRIVE	FOR USE OF STREET WALK 1.25' CLEARANCE SHALL BE PROVIDED FOR EVERY 10' OF FRONTAGE FOR EVERY 10' OF FRONTAGE.
1166.07 LANDSCAPING REQUIREMENTS FOR FRONT YARDS	REQUIRED: TREE SHALL BE PROVIDED FOR EVERY 10' OF FRONT YARD LOT FRONTAGE. THE TREE SHALL BE A CLEAR TRUNK HEIGHT OF AT LEAST 20' (20'). ONE TREE SHALL BE PROVIDED FOR EVERY 10' OF FRONT YARD LOT FRONTAGE. THE TREE SHALL BE A CLEAR TRUNK HEIGHT OF AT LEAST 20' (20').	PROVIDED: 1. 1.5" DBH TREES AND 17' TALLERS SHALL BE PROVIDED FOR EVERY 10' OF FRONT YARD LOT FRONTAGE. 2. 3" DBH TREES AND 17' TALLERS SHALL BE PROVIDED FOR EVERY 10' OF FRONT YARD LOT FRONTAGE. 3. 5" DBH TREES AND 17' TALLERS SHALL BE PROVIDED FOR EVERY 10' OF FRONT YARD LOT FRONTAGE. 4. 7" DBH TREES AND 17' TALLERS SHALL BE PROVIDED FOR EVERY 10' OF FRONT YARD LOT FRONTAGE.
1166.09 SCREENING AND LANDSCAPING OF PARKING LOTS	REQUIRED: FOR ANY PARKING AREA DESIGNATED TO ACCOMMODATE 4000 VEHICLES OR MORE THE PARKING LOT SHALL BE PLANTED AS LANDSCAPED ISLAND AREAS.	PROVIDED: 1. 1.5" DBH TREES AND 17' TALLERS SHALL BE PROVIDED FOR EVERY 10' OF FRONT YARD LOT FRONTAGE. 2. 3" DBH TREES AND 17' TALLERS SHALL BE PROVIDED FOR EVERY 10' OF FRONT YARD LOT FRONTAGE. 3. 5" DBH TREES AND 17' TALLERS SHALL BE PROVIDED FOR EVERY 10' OF FRONT YARD LOT FRONTAGE. 4. 7" DBH TREES AND 17' TALLERS SHALL BE PROVIDED FOR EVERY 10' OF FRONT YARD LOT FRONTAGE.

Faris Planning & Design LANDSCAPE ARCHITECTURE 2433 N. 5th Street Columbus, OH 43201 (614) 457-1514	SHEETZ PENNY WAY PREPARED FOR BIRD & BULL ENGINEER'S & SURVEYORS, INC. 3500 SHOUFFER RD #225, COLUMBUS, OH 43235	OVERALL LANDSCAPE PLAN	REVISIONS <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION			
NO.	DATE	DESCRIPTION							
DATE 5/1/20 PROJECT 20016 SHEET L-1									



5 DECIDUOUS TREE
N.T.S.

01-L-1001



6 SHRUB PLANTING DETAIL
N.T.S.

01-L-1002

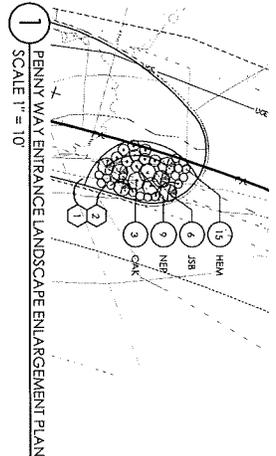
- CONSTRUCTION NOTES:**
1. LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
 2. PROVIDE MIN. 3\"/>

CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN

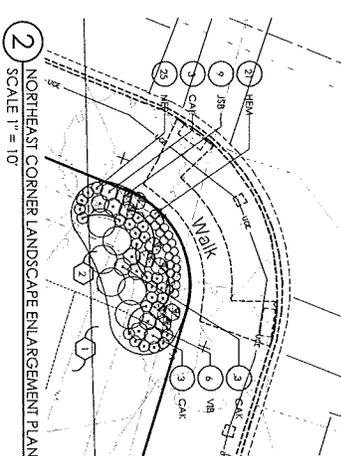
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
20	JUN	JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RICE JUNIPER	6\"/>		
18	JSB	JUNIPERUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	12\"/>		
6	VIB	VIBURNUM PLEICATA 'SUMMER SNOWFLAKE'	SUMMER SNOWFLAKE	56\"/>		
PERENNIALS/BIENNIALS/GRASSES						
30	SAL	HEXAGONALE STELLA D'ORO'	STELLA D'ORO DWARF PANTY'	1 GAL.	CONT.	
18	CAJ	SALVIA X SIVIERENSIS 'MANICHO'	MANI NIGHT SALVIA	1 GAL.	CONT.	
18	CAJ	CALAMAGOSTIS X AQUILEGIA 'VARI FOGESTER'	VARI FOGESTER EDITH'S REED GRASS	2 GAL.	CONT.	
41	NEP	NEPETA X FASSNERI 'WALTERS' LOW'	WALTERS' LOW CABBAGE	1 GAL.	CONT.	

GENERAL PLANTING NOTES:

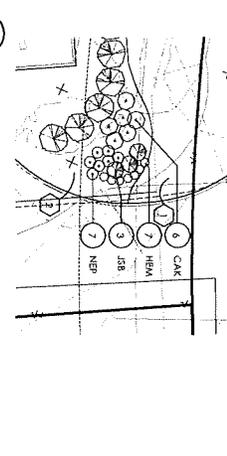
1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3\"/>



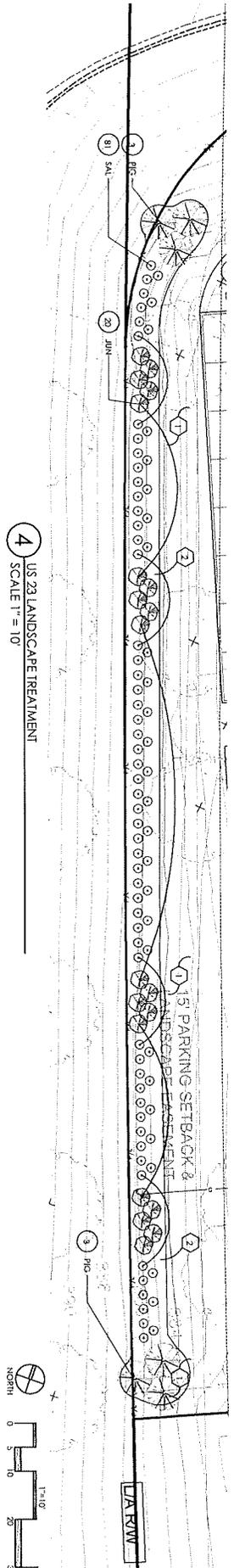
1 PENNY WAY ENTRANCE LANDSCAPE ENLARGEMENT PLAN
SCALE 1" = 10'



2 NORTHEAST CORNER LANDSCAPE ENLARGEMENT PLAN
SCALE 1" = 10'



3 SOUTHEAST ENTRANCE LANDSCAPE ENLARGEMENT PLAN
SCALE 1" = 10'



4 US 23 LANDSCAPE TREATMENT
SCALE 1" = 10'

REVISIONS

LANDSCAPE ENLARGEMENT PLANS AND SITE DETAILS

SHEETZ PENNY WAY
BIRD & BULL ENGINEER'S & SURVEYORS, INC.
3500 SHOUPPER RD # 225, COLUMBUS, OH 43235

Faris Planning & Design
LANDSCAPE ARCHITECTURE
243 N. 315TH AVE
P (414) 487-1944
COLUMBUS, OH 43215
www.farisplanninganddesign.com

DATE 5/1/20
PROJECT 20016
SHEET L-2



SHEETZ INCORPORATED
 5100 SIXTH AVENUE
 ALTOONA, PA 16602
 (814) 346-3611

NEW SHEETZ STORE "DELAWARE" INT. OF PENNY WAY AND COLUMBUS PIKE, U.S. 23 DELAWARE, OHIO

SIGNAGE SQUARE FOOTAGE BREAKDOWN

BUILDING ELEVATIONS

SHEETZ SIGN = 25.94 SQ. FT. X 3 = 77.82 SQ. FT.
 MTO SIGN = 26.52 SQ. FT. X 1 = 26.52 SQ. FT.
TOTAL = 104.34 SQ. FT.

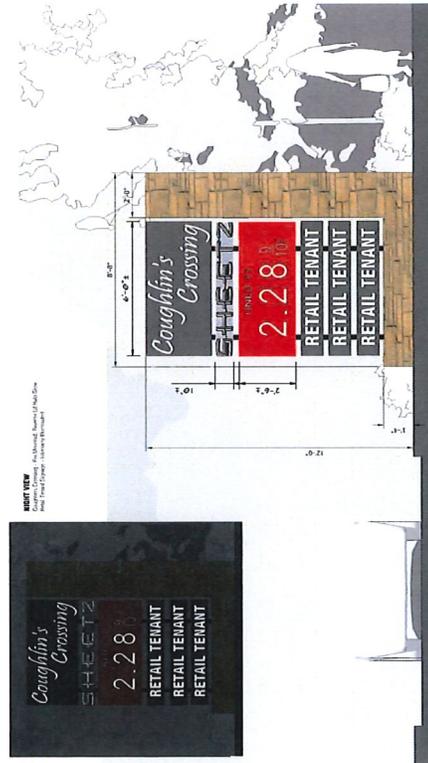
GAS CANOPY AWNING

SHEETZ LOGO AREA = 35.5 SQ. FT. X 1 = 35.5 SQ. FT.
TOTAL = 35.50 SQ. FT.

MONUMENT SIGN

SHEETZ CHANNEL LETTER AREA = 5.00± SQ. FT. X 1 = 5.00± SQ. FT.
 GAS PRICE SIGN AREA = 15.00± SQ. FT. X 1 = 15.00± SQ. FT.
TOTAL = 20.00 SQ. FT.

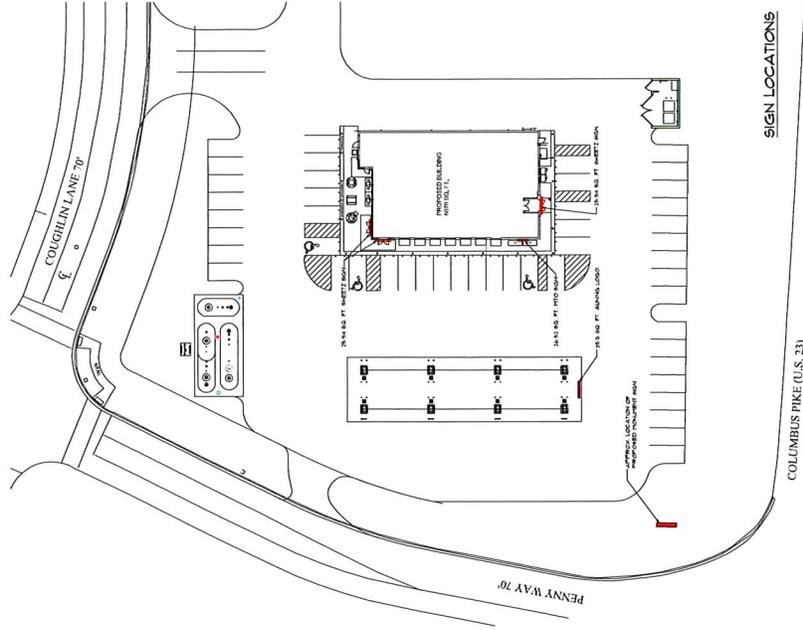
TOTAL SIGNAGE SQ. FT. FOR SITE = 159.84 SQ. FT.



BUILDING WALL MOUNTED SIGN
 BOX AREA = 25.94 SQ. FT.
 TYPICAL OF THREE



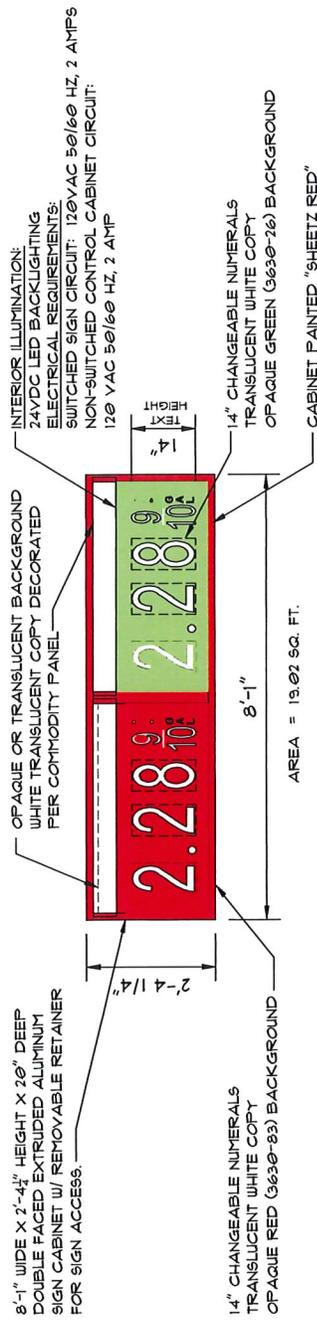
BUILDING WALL MOUNTED SIGN
 BOX AREA = 26.52 SQ. FT.
 PROJECTS 1" OFF FACE OF BUILDING



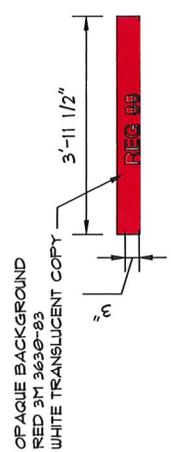
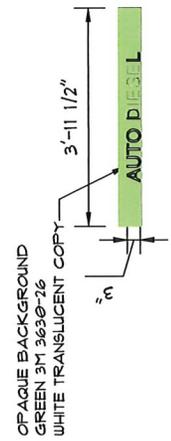
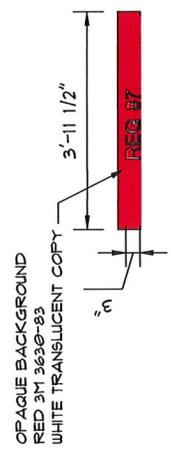
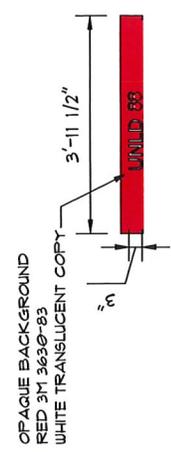
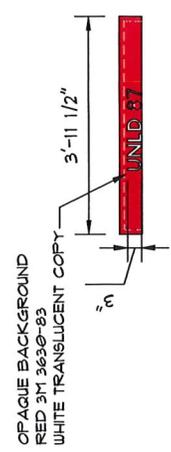
SIGN LOCATIONS

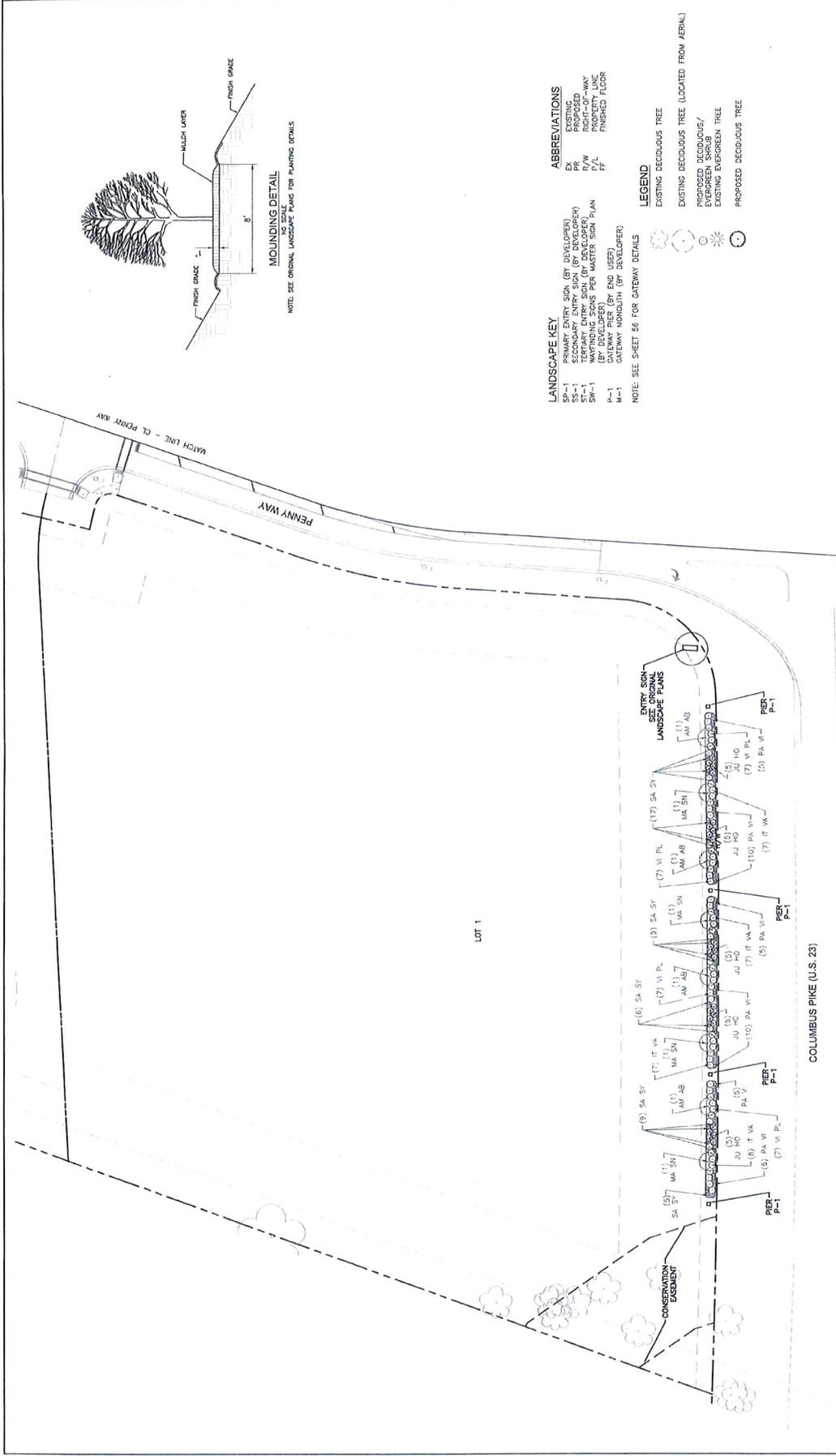
COLUMBUS PIKE (U.S. 23)

2'-4 1/4" DOUBLE GAS PRICE



UNLD 8T" TO BE ON STREET SIDE OF SIGN FOR BOTH SIDES





LANDSCAPE KEY
 ES-1 ENTRY SIGN (BY DEVELOPER)
 SS-1 SECONDARY ENTRY SIGN (BY DEVELOPER)
 ST-1 TERTIARY ENTRY SIGN (BY DEVELOPER)
 SW-1 SIGN WITH ADDRESS PER MASTER SIGN PLAN (BY DEVELOPER)
 P-1 GATEWAY PIER (BY END USER)
 M-1 GATEWAY MOUNDING (BY DEVELOPER)

LEGEND
 EXISTING DECIDUOUS TREE
 EXISTING DECIDUOUS TREE (LOCATED FROM AERIAL)
 PROPOSED DECIDUOUS/EVERGREEN TREE
 EXISTING EVERGREEN TREE
 PROPOSED DECIDUOUS TREE

ABBREVIATIONS
 BK BACKSTOP
 P/W PROPERTY LINE
 P/L FINISHED FLOOR

NOTE: SEE SHEET 56 FOR GATEWAY DETAILS

MOUNDING DETAIL
 NOTE: SEE ORIGINAL LANDSCAPE PLANS FOR PLANTING DETAILS

PLANT LIST - US 23 PLANTING

SIZE	QTY	BOTANICAL	COMMON	TYPE	SIZE	MATURE SIZE (H. X. W.)	FLOWER COLOR	SD	SEMI FALL	FALL COLOR
AM AB	4	AMELANCHIER 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	D TREE	1 1/2" CAL	15' X 15'	SHOWY RED	X		ORANGE/RED
IT VA	20	ITEA VIRGINICA 'HENRY'S GARNET'	VIRGINIA SWEETSPIRE 'HENRY'S GARNET'	D SHRUB	35" HT.	4' X 6'	WHITE			RED
JU HO	25	JUNIPERUS HORIZONTALIS 'WILTON'	BLUE RUG JUNIPER	E SHRUB	6" HT.	6' X 6'	NONE	X		NONE
MA SN	4	MALLUS 'SNOWDRIFT'	FLOWERING CRABAPPLE	D TREE	1 1/2" CAL	15' X 15'	SHOWY ORANGE	X		RED/BROWN
PA VI	40	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	GRASS	3 GAL.	4' X 3'	PINKY/RED			RED/BROWN
VI PL	20	VIBURNUM PLICATUM 'SUMMER SNOWFLAKE'	SUMMER SNOWFLAKE VIBURNUM	D SHRUB	35" HT.	7' X 7'	WHITE	X		FALL FRUIT
SA SY	46	SAUVA X SYCESTRIS 'MANNICH'	WOOD SAGE	PERENNIAL	1 GAL.	2' X 2'	PURPLE	X	X	X

Zoning Compliance Review
 Signature: [Signature]
 Date: 10/11/24

SCALE: 1" = 30' FT.
 0 15 30 45

MATCH LINE - CL PENNYWAY

LOT 1

COLUMBUS PIKE (U.S. 23)

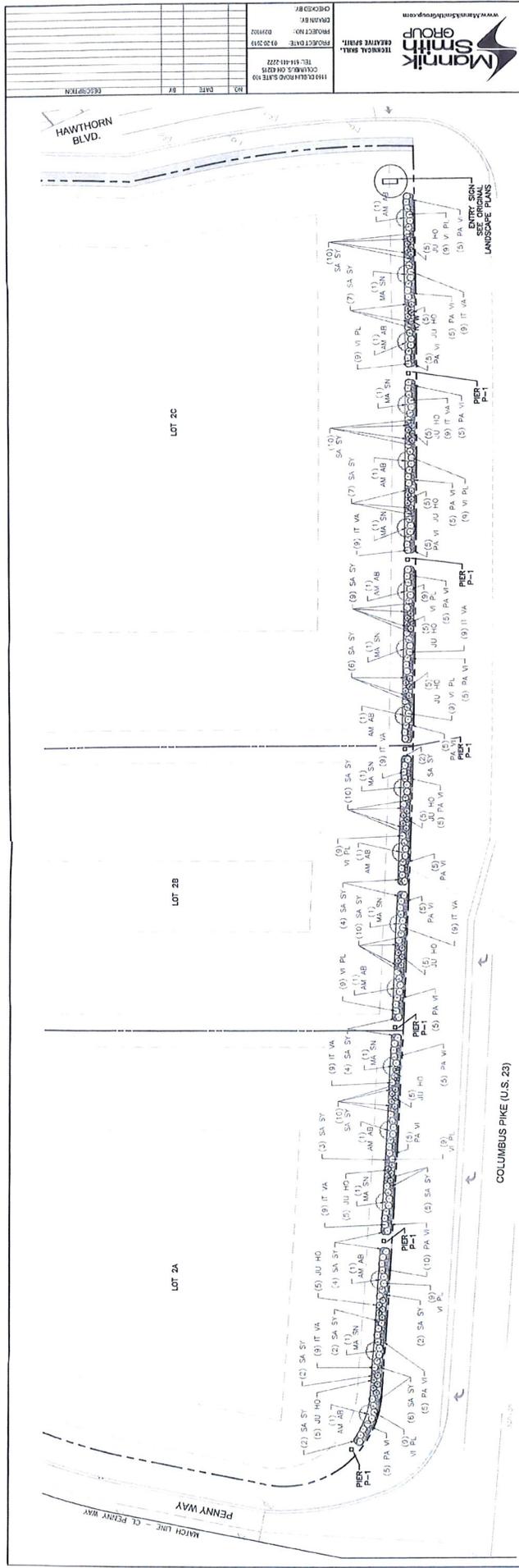
ENTRY SIGN
 SEE ORIGINAL
 LANDSCAPE PLANS

CONSERVATION
 EASEMENT

FINISH GRADE
 MULCH LAYER

FINISH GRADE

FINISH GRADE



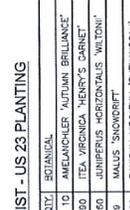
PLANT LIST - US 23 PLANTING

KEY	QTY	BOTANICAL	COMMON	TYPE	SIZE	MATURE SIZE - H X W	FLOWER COLOR	SD	SUM	FALL	FALL COLOR
AM AB	10	AMELANCHIER 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	D TREE	1 1/2" CAL	15' X 15'	SHOWY RED	X			ORANGE/RED
IT VA	80	ITEA VIRGINICA 'HENRY'S CARNET'	VIRGINIA SWEETSPIRE 'HENRY'S CARNET'	D SHRUB	3/8" HT.	4' X 6'	WHITE	X			RED
JU HO	60	JUNIPERUS HORIZONTALIS 'WILTONI'	BLUE FLAG JUNIPER	E SHRUB	6" HT.	6' X 6'	NONE	X			NONE
MA SN	9	MALUS 'SNOWDRIFT'	FLOWERING CRABAPPLE	D TREE	1 1/2" CAL	15' X 15'	SHOWY ORANGE	X			RED/BROWN
PA VI	60	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	GRASS	3 GAL	4" X 3'	PINK/RED	X			GREEN/RED
VI PL	60	VERBENUM FLICITUM 'SUMMER SNOWFLAKE'	SUMMER SNOWFLAKE VERBENUM	D SHRUB	3/2" HT.	2' X 7'	WHITE	X	X	X	FALL FRUIT
SA SY	60	SALIX X. SYMESTRIS 'MANSCHOT'	WOOD SAGE	PERENNIAL	1 GAL	2' X 2'	PURPLE	X	X	X	

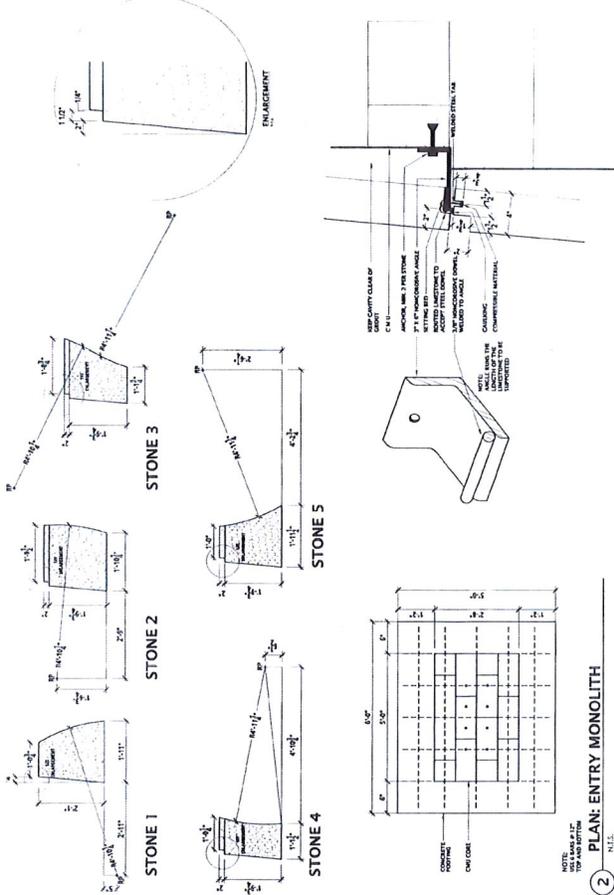
LANDSCAPE KEY
 SP-1 PRIMARY ENTRY SIGN (BY DEVELOPER)
 SS-1 SECONDARY ENTRY SIGN (BY DEVELOPER)
 ST-1 TERTIARY ENTRY SIGN (BY DEVELOPER)
 SW-1 SIGNAGE PER MASTER SIGN PLAN (BY DEVELOPER)
 P-1 CANEY PIER (BY END USER)
 M-1 CANEY MOUND (BY DEVELOPER)
 NOTE: SEE SHEET 86 FOR GATEWAY DETAILS

ABBREVIATIONS
 BR PROPOSED
 R/W RIGHT-OF-WAY
 FF FINISHED FLOOR

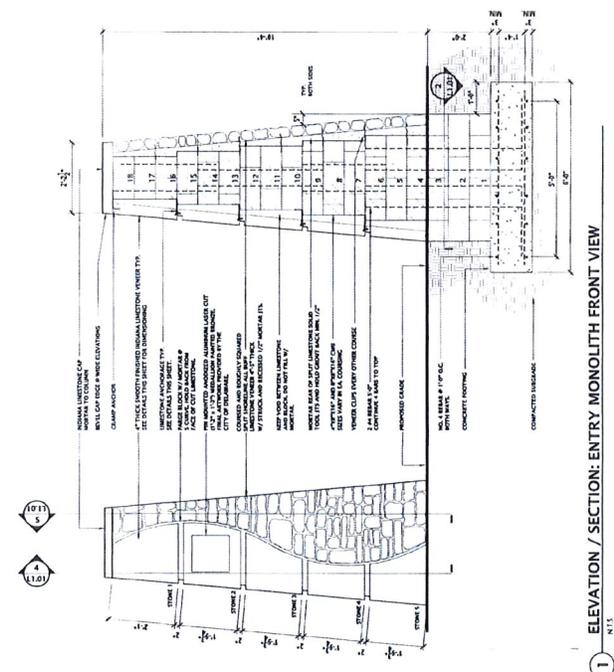
LEGEND
 EXISTING DECIDUOUS TREE
 PROPOSED DECIDUOUS TREE
 EXISTING EVERGREEN TREE
 PROPOSED EVERGREEN TREE



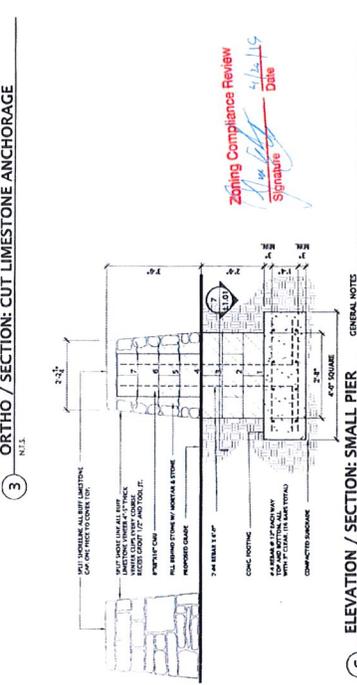
Zoning Compliance Review
 Signature: _____
 Date: _____



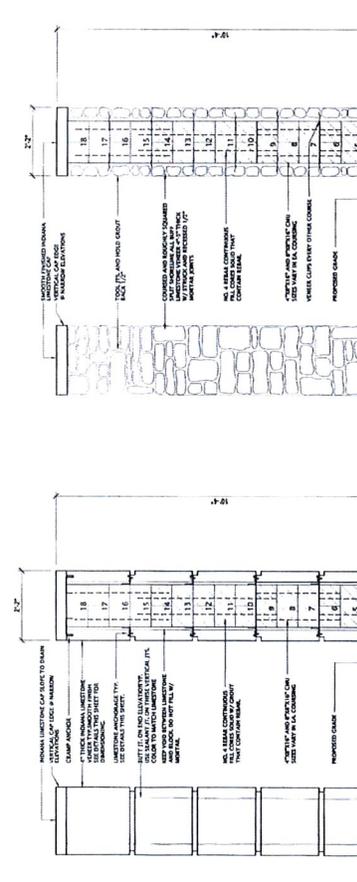
1 ELEVATION / SECTION: ENTRY MONOLITH FRONT VIEW
 N.T.S.



2 PLAN: ENTRY MONOLITH
 N.T.S.



3 ORTHO / SECTION: CUT LIMESTONE ANCHORAGE
 N.T.S.



4 ELEVATION / SECTION: ENTRY MONOLITH END VIEW
 N.T.S.

5 ELEVATION / SECTION: ENTRY MONOLITH END VIEW
 N.T.S.

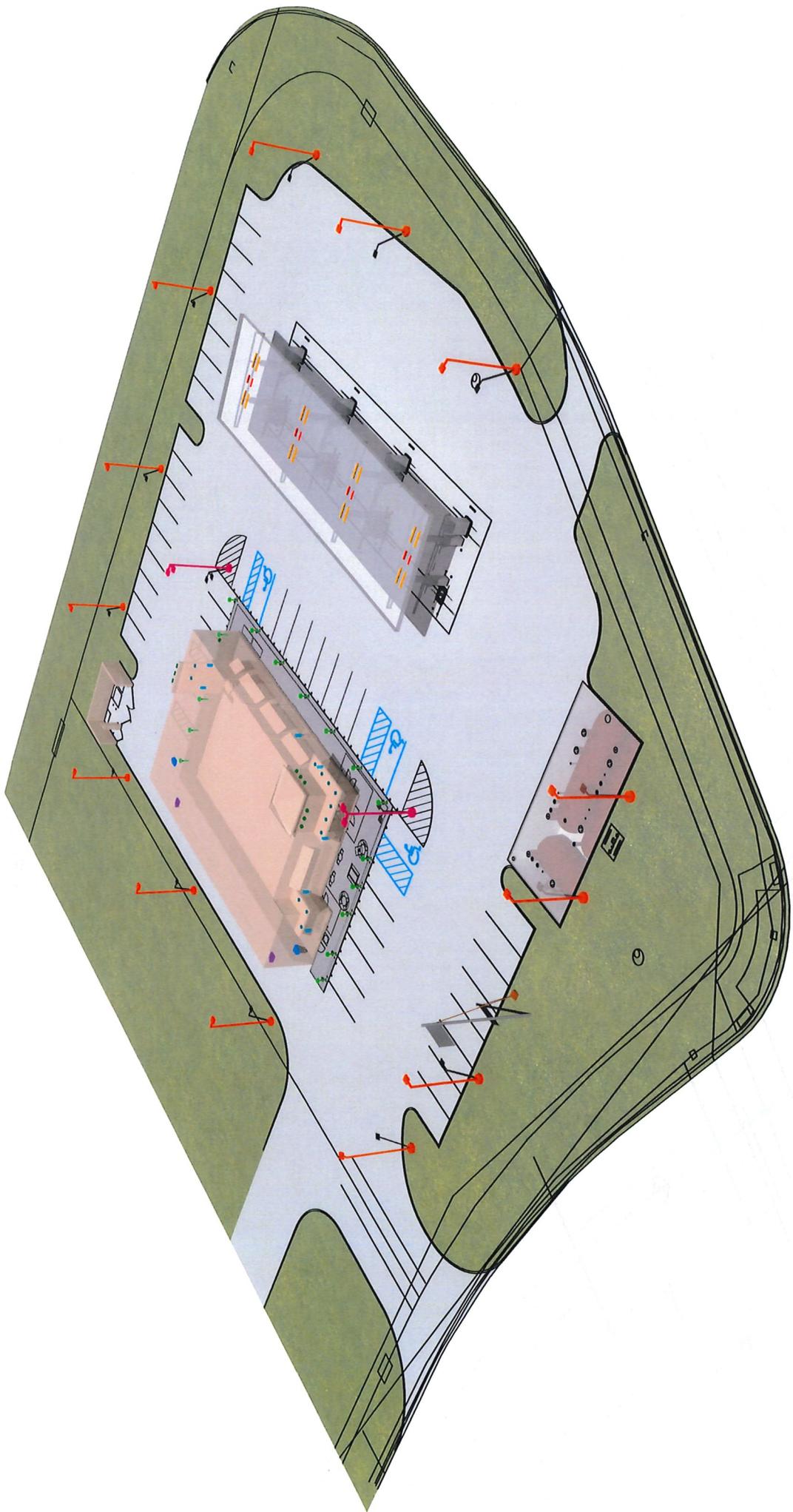
6 ELEVATION / SECTION: SMALL PIER
 N.T.S.

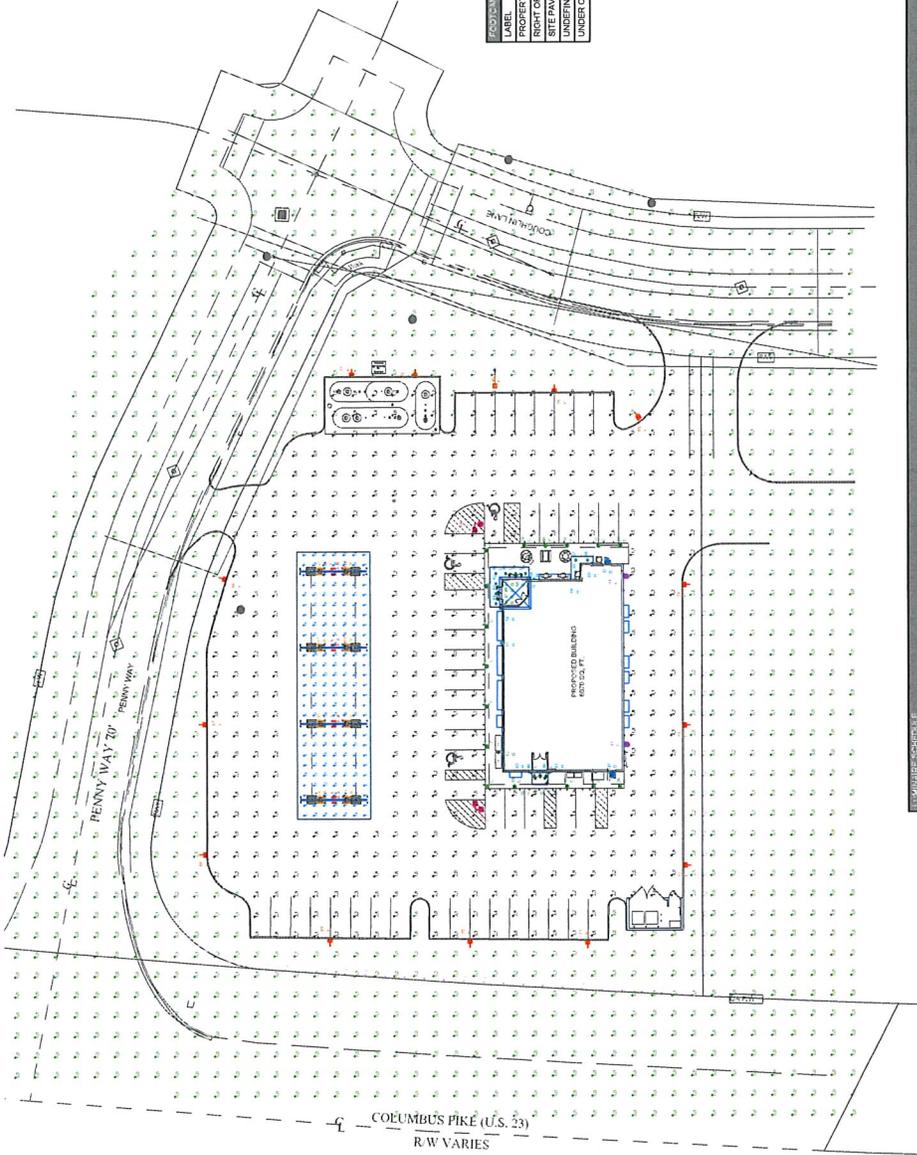
7 PLAN: SMALL PIER
 N.T.S.

GENERAL NOTES

1. THESE DRAWINGS ARE PREPARED AS TYPICAL CONSTRUCTION DOCUMENTS AND ARE NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
4. ALL MATERIALS SHALL BE QUARRIED AND FINISHED TO MATCH THE ADJACENT MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

Zoning Compliance Review
 4/16/19
 Signature: [Handwritten Signature]
 Date: 4/16/19





LUM. NO.	LABEL	MTC. HT.	TILT
1-8	A	15.63	60
9-24	B	15.63	145
25-40	C	3	0
41-42	D	5.33	0
43-44	E	12	0
45	F	1	105
46-51	G	16.5	30
52	G	12.5	30
53-55	G	16.5	30
56-62	H	16.97	0
63-74	J	23	0
75-77	K	23	0
78-88	L	17.33	0

NOTE:
 - ALL AREA LIGHTS ON NEW 30 FT. POLE MOUNTED ON 3 FT. CONCRETE BASE

PROPERTY LINE (BUSINESS)	AVG	MAX	MIN	AVG/MIN	MAX/MIN
RIGHT OF WAY LINES	1.29	1.8	0.1	12.86	18.00
SITE PAVED AREA	0.43	1.8	0.0	N.A.	N.A.
UNDEFINED	2.78	11.9	0.5	5.56	23.80
UNDER CANOPY	0.22	3.5	0	N.A.	N.A.
	17.23	35	5	3.41	7.00

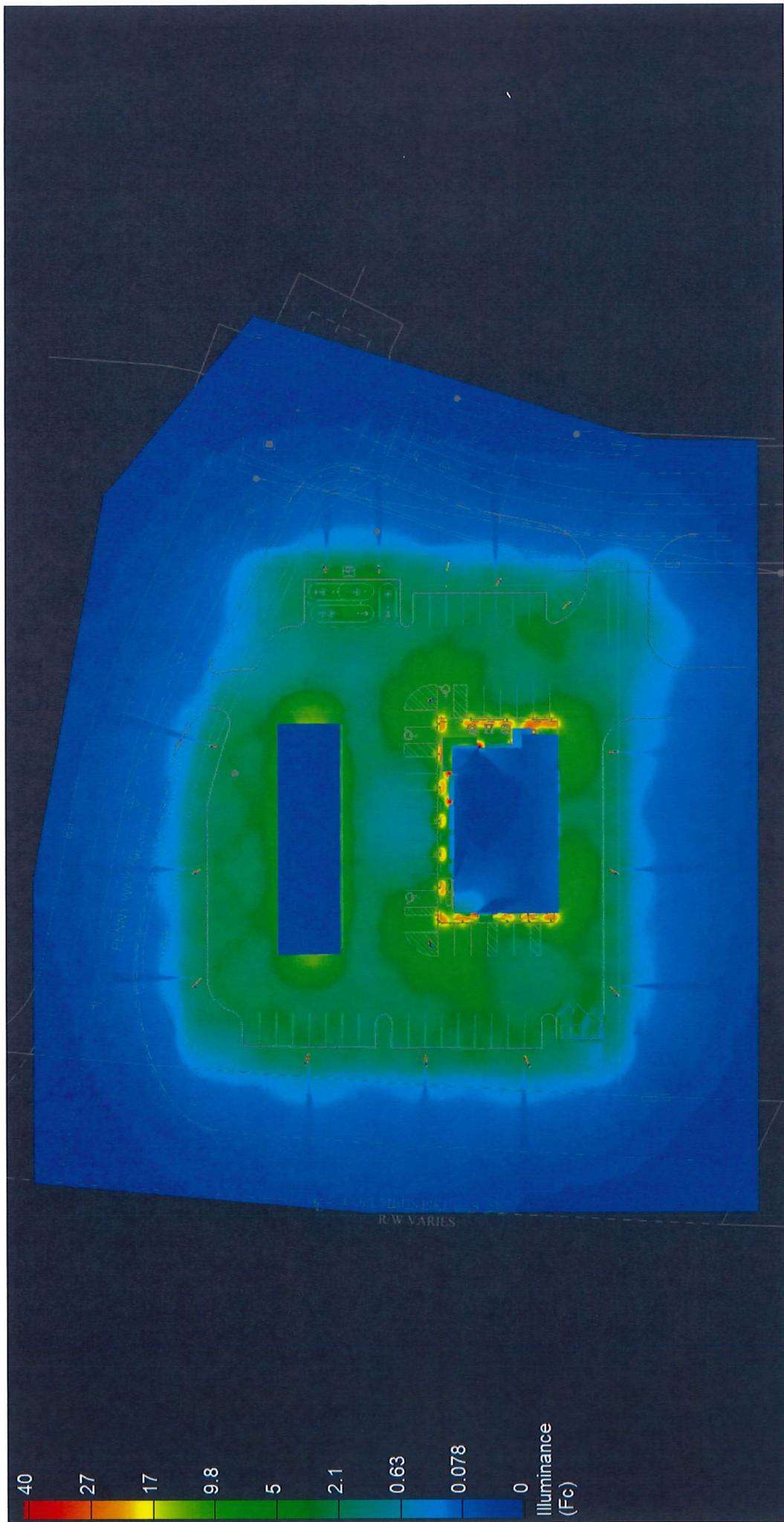
ILLUMINATION LEVELS ARE THE RESULT OF REQUESTS BY OTHERS FOR INCIDENTS CAUSED BY INSUFFICIENT LIGHTING AND DOES NOT REPRESENT THE RECOMMENDED ILLUMINATION LEVELS FOR SAFETY AND VISIBILITY REASONS.

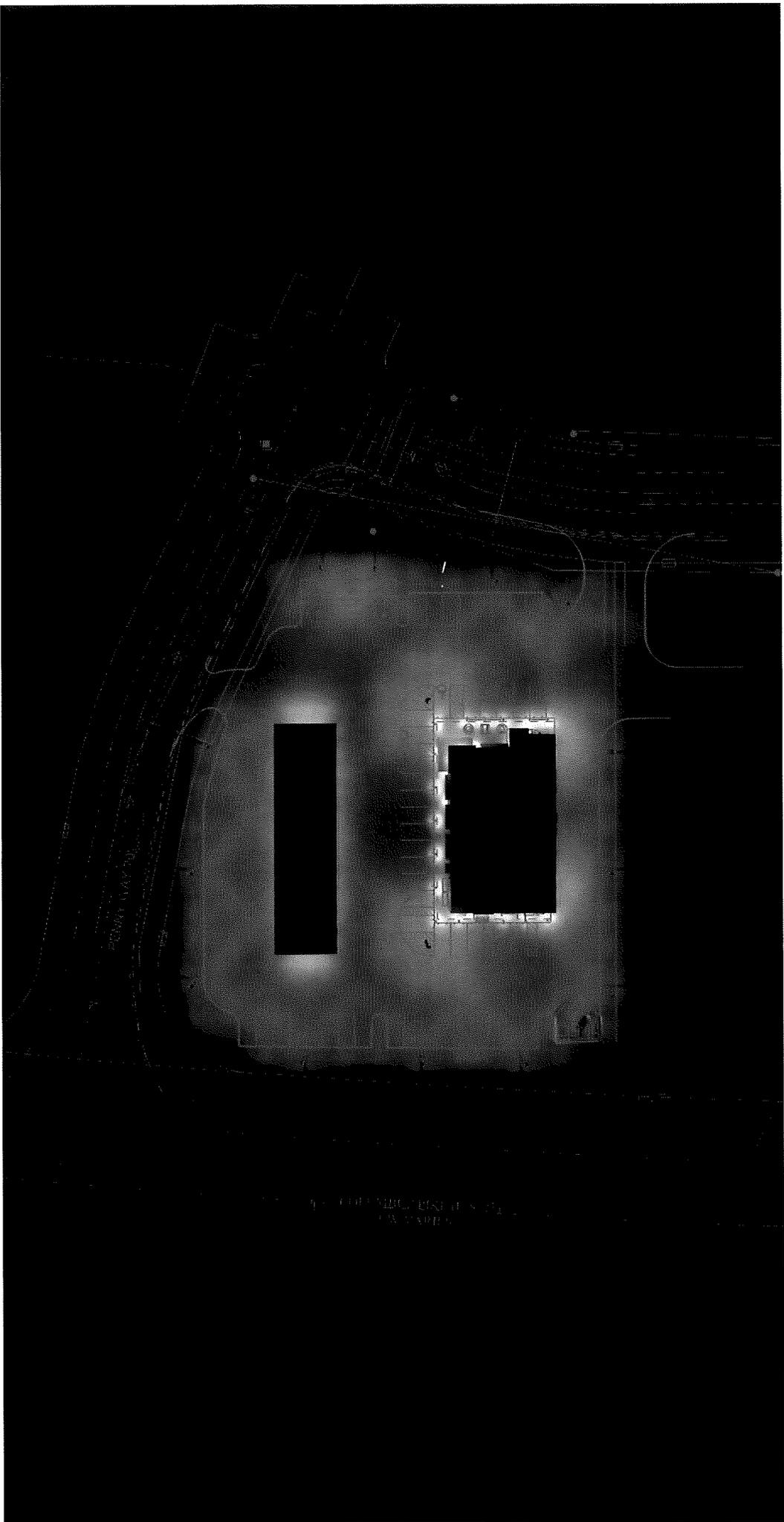


OWNER/OWNER REPRESENTATIVE TO ADJUST LIGHTING FIXTURES TO CORRECT ILLUMINATION LEVELS IN ORDER ENCLOSE TO SWITCH POSITION 202 NOTED IN DESCRIPTION COLUMN OF LUMINAIRE SCHEDULE

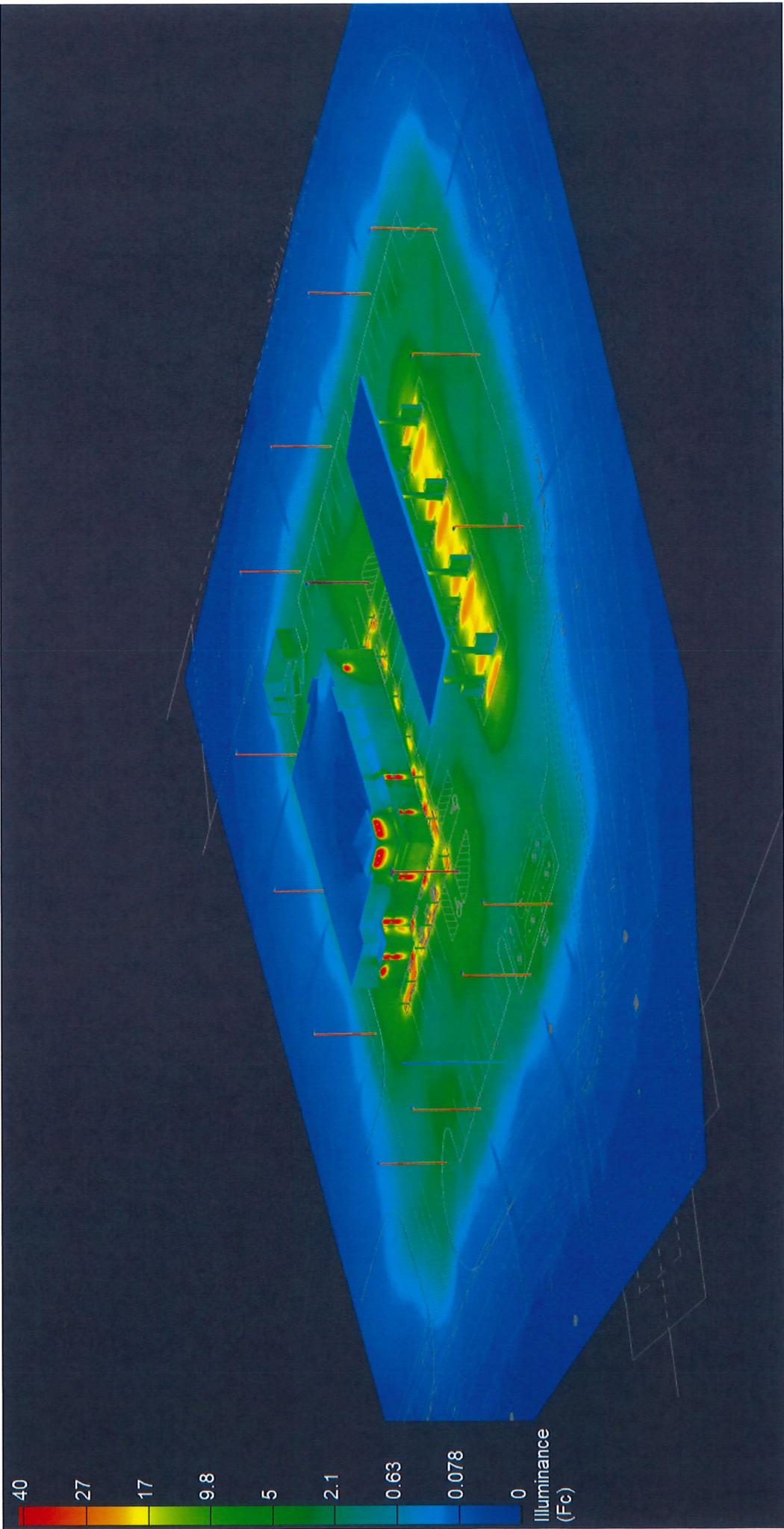
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUD. RATING	WATS/LUMINAIRE	TOTAL WATS	MANUFACTURER	CATALOG LOGS
1	8	A	SINGLE	2688	0.877	B-I-J-Q-0	297	2382	CREE INC.	FLDQ-FLDQ-FLDQ-FLDQ-FLDQ (SEE AT 1.3.0) WKA-MTR-03X
2	16	B	SINGLE	1441	0.93	B-I-J-Q-0	237	3804	CREE INC.	FLDQ-FLDQ-FLDQ-FLDQ-FLDQ (SEE AT 1.3.0) WKA-MTR-03X
3	2	D	SINGLE	2047	1.030	B-I-J-Q-0	36	72	CREE INC.	PW-EDCO-AM-02-FL-U-X-XX-25
4	1	E	SINGLE	5663	1.030	B-I-J-Q-0	68	136	CREE INC.	SEC-EDCO-AM-02-FL-U-X-XX-25
5	1	F	SINGLE	11678	1.040	B-I-J-Q-0	86	136	CREE INC.	OSQ-AM-15-08-07-KAL-XX
6	10	G	SINGLE	626	1.000	B-I-J-Q-0	13.841	138.41	TROY-CSL LIGHTING	RRA-EDT-16-00-03 + SLSL-20-XX
7	7	H	SINGLE	2926	1.000	B-I-J-Q-0	40.29	282.03	SOLEIRA	EXTERIOR DECORATIVE WALL SOURCE (BY OTHERS SHOWN FOR CONTRIBUTION)
8	2	J	2 @ 90 DEGREES	11648	1.030	B-I-J-Q-0	88	344	CREE INC.	OSQ-AM-15-08-07-KAL-XX
9	13	K	SINGLE	8950	0.905	B-I-J-Q-0	77	1001	CREE INC.	OSQ-AM-15-08-07-KAL-XX w. OSQ-BL-SMF
10	12	L	SINGLE	484	0.978	N.A.	6.1	97.2	BAK LIGHTING, INC.	BKLT-CHLED-01-F-LED-01-2 (BY OTHERS SHOWN ACTUAL LUMENS)

NOT TO SCALE
 DATE: 04/11/15
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT NO: 15-01155

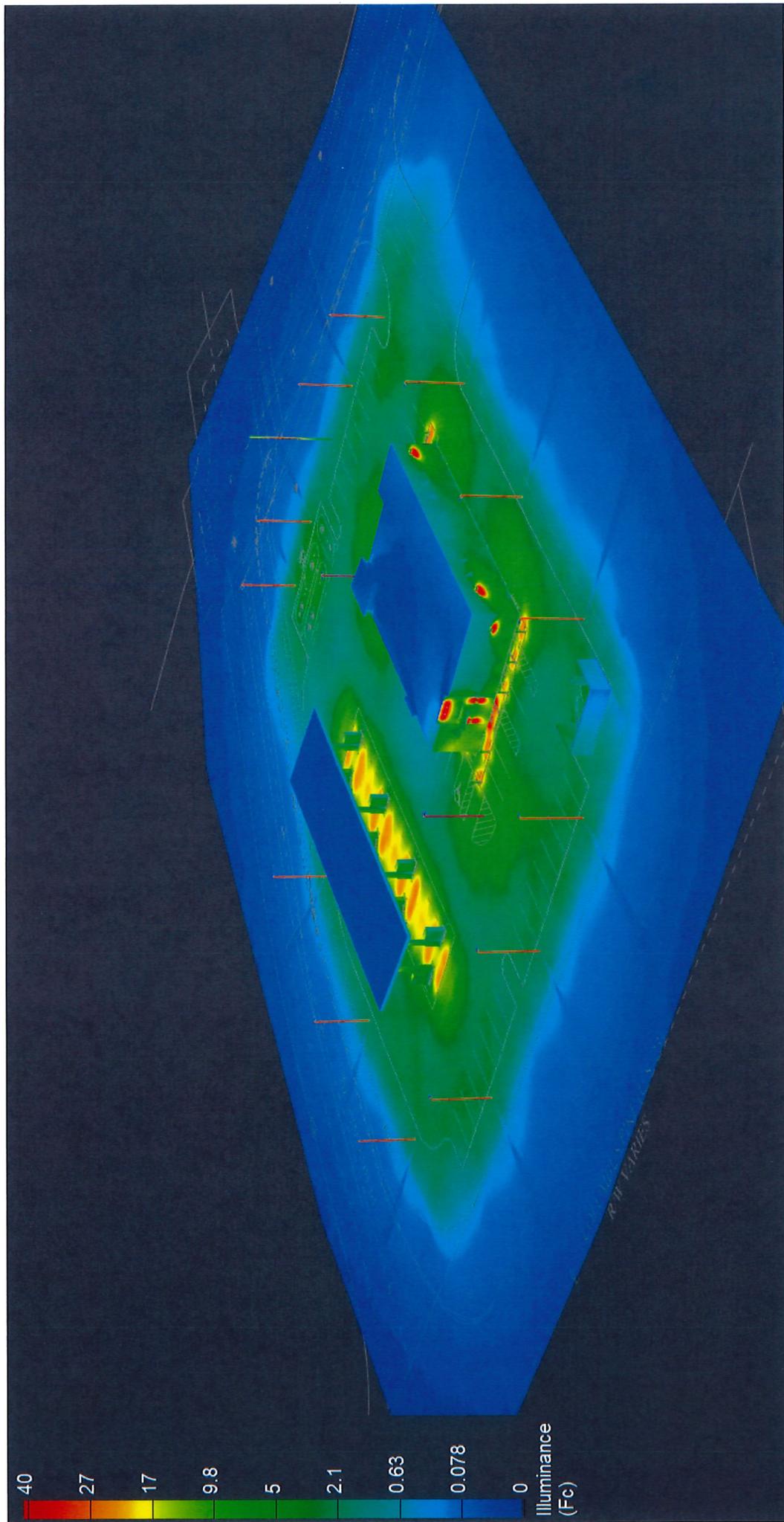


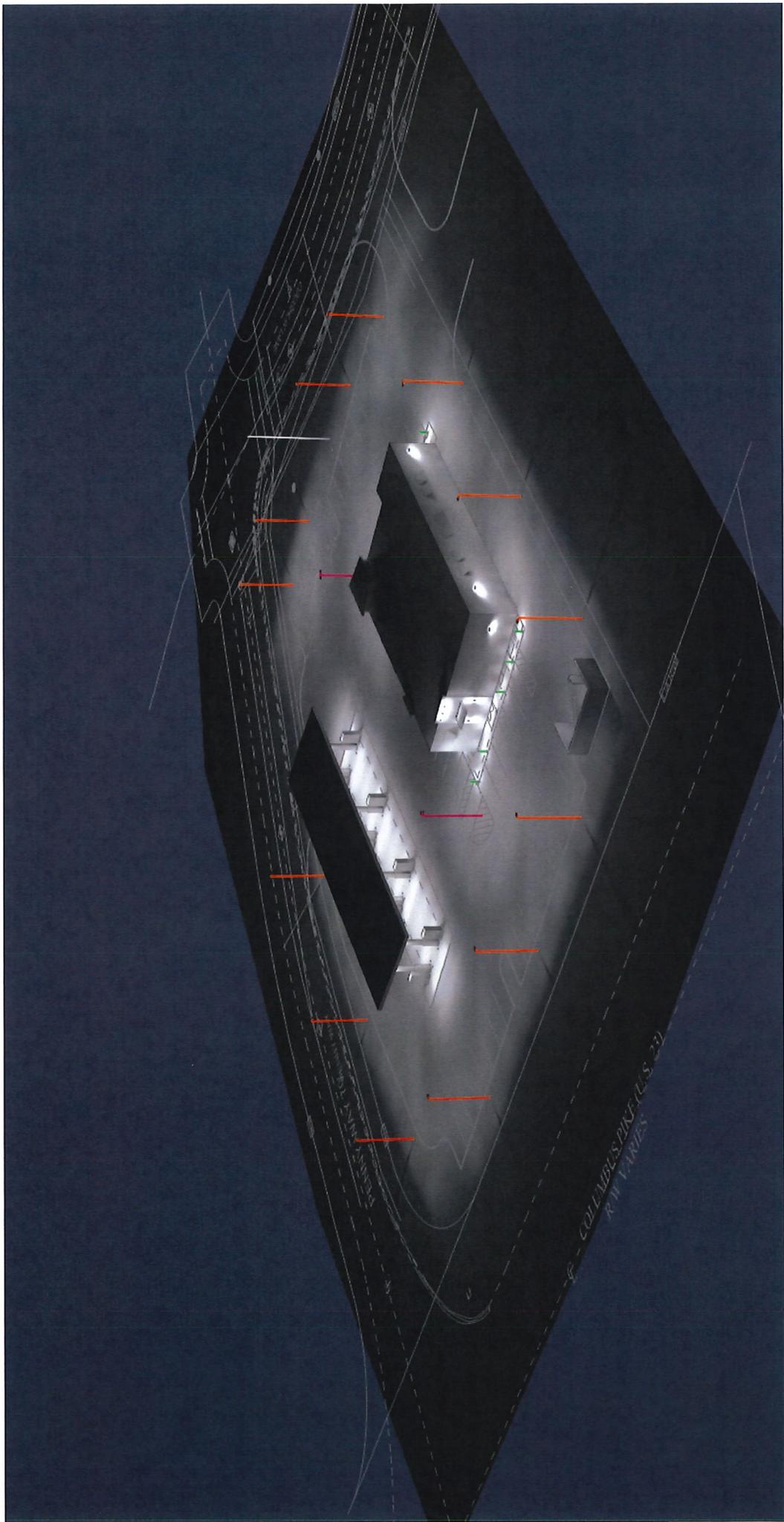


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PRODUCT	QTY	LABEL	DESCRIPTION
CANOPY			
	 8	A	FLD-OL-15-D2-14-E-UL-XX-700-DIM (SET AT 3.9 V) W/XA-XFR9XX
	 16	B	FLD-OL-40-D4-07-E-UL-XX-700-DIM (SET AT 3.9 V) W/XA-XFR9XX
PATHWAY			
	 16	C	PWY-EDG-3M-P3-02-E-UL-XX-350-57K
WALL MOUNT			
	 2	D	SEC-EDG-3M-WM-02-E-UL-XX-525
	 2	E	SEC-EDG-3M-WM-04-E-UL-XX-525
FLOOD / AREA			
	 1	F	OSQ-AAXX W/PGM-1 + OSQ-A-NM-15D-B-57K-UL-XX
	 2	J	OSQ-DAXX + OSQ-A-NM-4ME-B-57K-UL-XX
	 13	K	OSQ-DAXX + OSQ-A-NM-4ME-B-57K-UL-XX-Q6 W_OSQ-BLSMF
WALL MOUNT			
	 10	G	RA8-LED1140-XX-3 + 3SL23XX

EXCELLENCE TODAY AND INTO THE **FUTURE** ▶▶▶

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OL Series™

LED Linear Flood Luminaire

Product Description

Slim low profile design. Luminaire is constructed from rugged die cast aluminum housing and die cast end caps for superior heat dissipation and durability. Integral weather-tight LED driver compartment and high performance aluminum heat sinks. Rugged die cast mounting pads provide for solid and secure luminaire mounting. Optional field adjustable extruded mounting arms to space luminaire up to 18" (457mm) away from the mounting surface. Luminaire body is rotatable 360° in 5° increments for proper aiming and uniform illumination. Rotation is clearly marked with index marks on end caps.

Applications: Building facades, accent and sign lighting



Performance Summary

Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI (5700K); 80 CRI (3500K & 4000K)

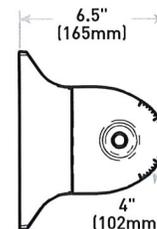
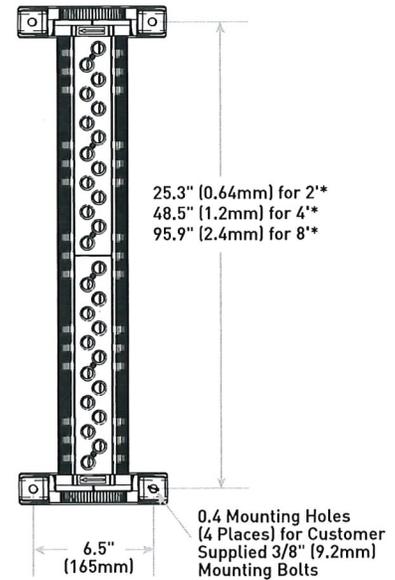
CCT: 3500K (+/- 100K), 4000K (+/- 300K), 5700K (+/- 500K) standard

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

* See <http://lighting.cree.com/warranty> for warranty terms

Accessories

Field-Installed		
9" (229mm) Extension Arm Spaces luminaire center 9" (229mm) away from the mounting surface XA-XFR9SV XA-XFR9WH XA-XFR9BK XA-XFR9BZ	12" (305mm) Extension Arm Spaces luminaire center 12" (305mm) away from the mounting surface XA-XFR12SV XA-XFR12WH XA-XFR12BK XA-XFR12BZ	18" (457mm) Extension Arm Spaces luminaire center 18" (457mm) away from the mounting surface XA-XFR18SV XA-XFR18WH XA-XFR18BK XA-XFR18BZ



* For overall dimensions add 1.7" (43mm) to the dimensions above

Ordering Information

Example: FLD-OL-2M-D2-07-E-UL-SV-350

Product	Optic	Mounting	LED Count per Foot	Series	Voltage	Color Options	Drive Current	Options
FLD-OL	2M Type II Medium 15 15° Flood 25 25° Flood 40 40° Flood N6 NEMA 6° SN Sign	D2 2' (0.6m) Direct Rotatable D4 4' (1.2m) Direct Rotatable D8 8' (2.4m) Direct Rotatable	07 14	E	UL Universal 120-277V UH Universal 347-480V - Available with 14 LEDs per foot only	BK Black BZ Bronze SV Silver WH White	350 350mA 525 525mA 700 700mA	DIM 0-10V Dimming - When ordering with D2 mount, minimum of 14 LEDs per foot required - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive current 35K 3500K Color Temperature - Color temperature per light bar - Minimum 80 CRI 40K 4000K Color Temperature - Color temperature per light bar - Minimum 80 CRI



US: lighting.cree.com

T (800) 236-6800 F (262) 504-5415

Rev. Date: V2 10/04/2018

Canada: www.cree.com/canada



T (800) 473-1234 F (800) 890-7507

OL Series™ LED Linear Flood Luminaire

Product Specifications

CONSTRUCTION & MATERIALS

- Slim low profile design
- Luminaire is constructed from rugged extruded aluminum housing and die cast end caps for superior heat dissipation and durability
- Integral weathertight LED driver compartment and high performance aluminum heat sinks
- Rugged die cast mounting pads provide for solid and secure luminaire mounting
- Optional field installable extruded aluminum arms to space luminaire up to 18" (457mm) away from the mounting surface
- Luminaire body is rotatable 360° in 5° increments for proper aiming and uniform illumination. Rotation is marked on end caps with index marks
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, bronze, black, and white are available

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- 36" (914mm) outdoor rated flexible cord provided for electrical connection
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Meets FCC Part 15, Subpart B, Class A standards for conducted and radiated emissions
- Enclosure rated IP66 per IEC 60529
- Consult factory for CE Certified products
- 10kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- RoHS Compliant
- Meets Buy American requirements within ARRA
-  **CA RESIDENTS WARNING:** Cancer and Reproductive Harm – www.p65warnings.ca.gov

Electrical Data*								
Size	LED Count per Foot	System Watts 120-480V	Total Current (A)					
			120V	208V	240V	277V	347V	480V
350mA								
2 ft. (0.6m)	07	19	0.16	0.11	0.08	0.09	N/A	N/A
	14	35	0.28	0.18	0.18	0.16	0.11	0.09
4 ft. (1.2m)	07	35	0.28	0.18	0.18	0.16	N/A	N/A
	14	64	0.54	0.32	0.28	0.25	0.15	0.19
8 ft. (2.4m)	07	64	0.54	0.32	0.28	0.25	N/A	N/A
	14	126	1.10	0.65	0.58	0.53	0.26	0.36
525mA								
2ft (0.6m)	07	25	0.21	0.16	0.11	0.09	N/A	N/A
	14	50	0.41	0.25	0.22	0.20	0.12	0.15
4ft (1.2m)	07	50	0.41	0.25	0.22	0.20	N/A	N/A
	14	94	0.81	0.48	0.41	0.37	0.28	0.21
8ft (2.4m)	07	94	0.81	0.48	0.41	0.37	N/A	N/A
	14	187	1.61	0.94	0.81	0.73	0.55	0.41
700mA								
2 ft. (0.6m)	07	37	0.32	0.23	0.17	0.18	N/A	N/A
	14	66	0.55	0.33	0.29	0.26	0.20	0.15
4 ft. (1.2m)	07	66	0.55	0.33	0.29	0.26	N/A	N/A
	14	126	1.09	0.64	0.54	0.48	0.37	0.27
8 ft. (2.4m)	07	126	1.09	0.64	0.54	0.48	N/A	N/A
	14	251	2.17	1.26	1.08	0.96	0.73	0.54

* Electrical data at 25°C (77°F)

OL Series™ Ambient Adjusted Lumen Maintenance ¹					
Ambient	Initial LMF	25K hr Projected ² LMF	50K hr Projected ² LMF	75K hr Calculated ³ LMF	100K hr Calculated ³ LMF
5°C (41°F)	1.04	1.01	0.99	0.98	0.96
10°C (50°F)	1.03	1.00	0.98	0.97	0.95
15°C (59°F)	1.02	0.99	0.97	0.96	0.94
20°C (68°F)	1.01	0.98	0.96	0.95	0.93
25°C (77°F)	1.00	0.97	0.95	0.94	0.92

¹Lumen maintenance values at 4000K and 25°C are calculated per TM-21 based on LM-80 data and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors.
²In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip
³In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip

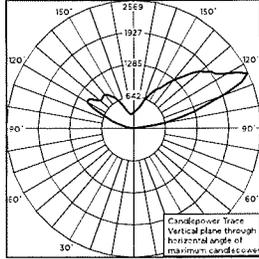


OL Series™ LED Linear Flood Luminaire

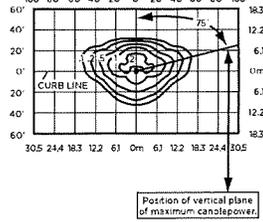
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/flood/ol-series>

2M



ITL Test Report #: 69283
 FLD-OL-2M-D2-14-D-UL-700
 Initial Delivered Lumens: 3,867



FLD-OL-2M-D2-14-E-UL-700
 Mounting Height: 15' (4.6m) A.F.G.
 Initial Delivered Lumens: 3,922
 Initial FC at grade

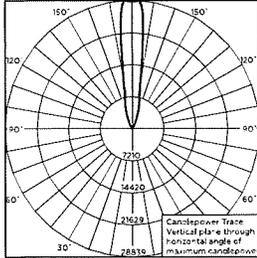
Type II Medium Distribution				
Size	LED Count per Foot	3500K	4000K	5700K
		Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
350mA				
2 ft. (0.6m)	07	896	954	1,087
	14	1,757	1,870	2,131
4 ft. (1.2m)	07	1,793	1,908	2,174
	14	3,515	3,740	4,262
8 ft. (2.4m)	07	3,585	3,816	4,348
	14	7,030	7,480	8,524
525mA				
2 ft. (0.6m)	07	1,309	1,329	1,587
	14	2,566	2,730	3,112
4 ft. (1.2m)	07	2,617	2,784	3,174
	14	5,132	5,460	6,224
8 ft. (2.4m)	07	5,235	5,568	6,348
	14	10,263	10,920	12,448
700mA				
2 ft. (0.6m)	07	1,649	1,755	2,000
	14	3,234	3,440	3,922
4 ft. (1.2m)	07	3,298	3,510	4,000
	14	6,467	6,880	7,844
8 ft. (2.4m)	07	6,597	7,020	8,000
	14	12,934	13,760	15,688

* Initial delivered lumens at 25°C (77°F)

Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/flood/ol-series>

15



ITL Test Report #: 68860
 FLD-OL-15-RD-24-14-D-UL-700
 Initial Delivered Lumens: 5,080

15° Flood Distribution				
Size	LED Count per Foot	3500K	4000K	5700K
		Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
350mA				
2 ft. [0.6m]	07	1,161	1,236	1,409
	14	2,277	2,423	2,762
4 ft. [1.2m]	07	2,323	2,472	2,818
	14	4,554	4,846	5,524
8 ft. [2.4m]	07	4,646	4,944	5,636
	14	9,109	9,692	11,048
525mA				
2 ft. [0.6m]	07	1,696	1,804	2,056
	14	3,325	3,537	4,032
4 ft. [1.2m]	07	3,391	3,608	4,112
	14	6,649	7,074	8,064
8 ft. [2.4m]	07	6,783	7,216	8,224
	14	13,299	14,148	16,128
700mA				
2 ft. [0.6m]	07	2,137	2,273	2,592
	14	4,190	4,457	5,082
4 ft. [1.2m]	07	4,274	4,546	5,184
	14	8,380	8,914	10,164
8 ft. [2.4m]	07	8,548	9,092	10,368
	14	16,760	17,828	20,328

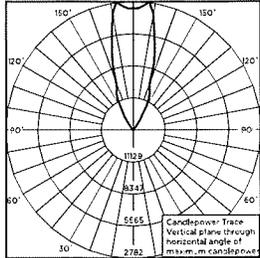
* Initial delivered lumens at 25° C (77° F)

OL Series™ LED Linear Flood Luminaire

Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/flood/ol-series>

25



ITL Test Report #: 68425
 FLD-OL-25-RD-24-14-D-UL-700
 Initial Delivered Lumens: 5,132

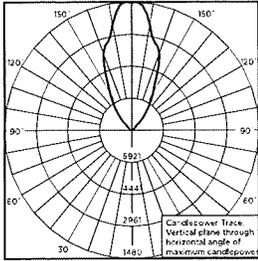
25° Flood Distribution				
Size	LED Count per Foot	3500K	4000K	5700K
		Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
350mA				
2 ft. (0.6m)	07	1,161	1,236	1,409
	14	2,277	2,423	2,762
4 ft. (1.2m)	07	2,323	2,472	2,818
	14	4,554	4,866	5,524
8 ft. (2.4m)	07	4,646	4,944	5,636
	14	9,109	9,692	11,048
525mA				
2 ft. (0.6m)	07	1,696	1,804	2,056
	14	3,325	3,537	4,032
4 ft. (1.2m)	07	3,391	3,608	4,112
	14	6,649	7,074	8,064
8 ft. (2.4m)	07	6,783	7,216	8,224
	14	13,299	14,148	16,128
700mA				
2 ft. (0.6m)	07	2,137	2,273	2,592
	14	4,190	4,457	5,082
4 ft. (1.2m)	07	4,274	4,546	5,184
	14	8,380	8,914	10,164
8 ft. (2.4m)	07	8,548	9,092	10,368
	14	16,760	17,828	20,328

* Initial delivered lumens at 25°C (77°F)

Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/flood/ol-series>

40



ITL Test Report #: 68434
 FLD-OL-40-RD-24-14-D-UL-700
 Initial Delivered Lumens: 4588

40° Flood Distribution				
Size	LED Count per Foot	3500K	4000K	5700K
		Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
350mA				
2 ft. (0.6m)	07	1,048	1,115	1,271
	14	2,054	2,186	2,492
4 ft. (1.2m)	07	2,096	2,229	2,542
	14	4,109	4,371	4,983
8 ft. (2.4m)	07	4,191	4,459	5,083
	14	8,218	8,742	9,966
525mA				
2 ft. (0.6m)	07	1,530	1,627	1,855
	14	2,999	3,191	3,638
4 ft. (1.2m)	07	3,060	3,255	3,711
	14	5,999	6,382	7,275
8 ft. (2.4m)	07	6,119	6,510	7,421
	14	11,998	12,764	14,551
700mA				
2 ft. (0.6m)	07	1,928	2,051	2,338
	14	3,780	4,021	4,584
4 ft. (1.2m)	07	3,856	4,102	4,676
	14	7,560	8,043	9,169
8 ft. (2.4m)	07	7,712	8,204	9,353
	14	15,121	16,086	18,338

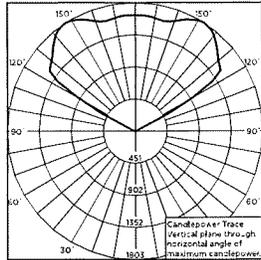
* Initial delivered lumens at 25°C (77°F)

OL Series™ LED Linear Flood Luminaire

Photometry

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N6



ITL Test Report #: 68935
 FLD-OL-N6-RD-24-14-D-UL-700
 Initial Delivered Lumens: 4,702

NEMA® 6 Distribution				
Size	LED Count per Foot	3500K	4000K	5700K
		Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
350mA				
2 ft. (0.6m)	07	1,086	1,155	1,317
	14	2,129	2,265	2,582
4 ft. (1.2m)	07	2,171	2,310	2,634
	14	4,257	4,530	5,164
8 ft. (2.4m)	07	4,343	4,620	5,268
	14	8,515	9,060	10,328
525mA				
2 ft. (0.6m)	07	1,585	1,686	1,922
	14	3,108	3,306	3,769
4 ft. (1.2m)	07	3,170	3,372	3,844
	14	6,216	6,612	7,538
8 ft. (2.4m)	07	6,340	6,744	7,688
	14	12,432	13,224	15,076
700mA				
2 ft. (0.6m)	07	1,998	2,125	2,423
	14	3,917	4,167	4,750
4 ft. (1.2m)	07	3,995	4,250	4,846
	14	7,834	8,334	9,500
8 ft. (2.4m)	07	7,991	8,500	9,692
	14	15,667	16,668	19,000

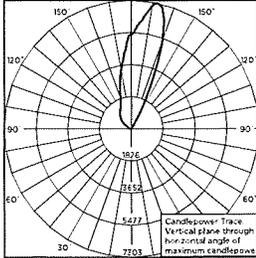
* Initial delivered lumens at 25°C (77°F)

OL Series™ LED Linear Flood Luminaire

Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/flood/ol-series>

SN



ITL Test Report #: 68433
 FLD-OL-SN-RD-24-14-D-UL-700
 Initial Delivered Lumens: 4,506

Sign Optic Distribution				
Size	LED Count per Foot	3500K	4000K	5700K
		Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
350mA				
2 ft. [0.6m]	07	1,048	1,115	1,271
	14	2,054	2,186	2,492
4 ft. [1.2m]	07	2,096	2,229	2,542
	14	4,109	4,371	4,984
8 ft. [2.4m]	07	4,191	4,459	5,084
	14	8,218	8,742	9,962
525mA				
2 ft. [0.6m]	07	1,530	1,627	1,855
	14	2,999	3,191	3,638
4 ft. [1.2m]	07	3,060	3,255	3,710
	14	5,999	6,382	7,276
8 ft. [2.4m]	07	6,119	6,510	7,420
	14	11,998	12,764	14,552
700mA				
2 ft. [0.6m]	07	1,928	2,051	2,338
	14	3,780	4,021	4,584
4 ft. [1.2m]	07	3,856	4,102	4,676
	14	7,560	8,043	9,168
8 ft. [2.4m]	07	7,712	8,204	9,352
	14	15,121	16,086	18,336

* Initial delivered lumens at 25°C (77°F)



Cree Edge™ Series

LED Pathway Luminaire

Product Description

Durable die-cast aluminum luminaire housing mounts directly to 4" (102mm) diameter pole (included) without visible mounting hardware for clean appearance. Pole mounts to rugged die cast aluminum internal flange secured by three 3/8" - 16x6" anchor bolts with 1-1/4" hook (provided). **Note:** T45 Torx 3/8" socket required for head installation. Top mounted LEDs for superior optical performance and light control.

Applications: Landscape, walk-ways and general site lighting

Performance Summary

Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

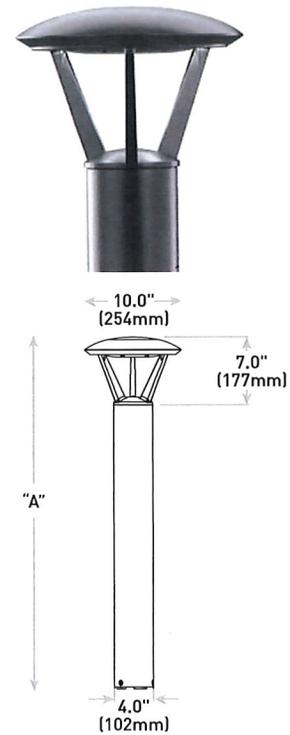
CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

* See <http://lighting.cree.com/warranty> for warranty terms

Accessories

Field-Installed
Upgrade Kit - Used for replacement of existing bollards with a bolt hole circle of 5.75" (146mm) XA-XBP8RSV XA-XBP8RWH XA-XBP8RBK XA-XBP8RBZ



Model	Dim. "A"	Weight*
Landscape [P0]	13" [330mm]	12.7 lbs. [5.8kg]
Landscape [P1]	18" [457mm]	13.3 lbs. [6.0kg]
Pathway [P3]	36" [914mm]	17.9 lbs. [8.1kg]
Pathway [P4]	42" [1068mm]	18.6 lbs. [8.4kg]
Pedestrian [P8]	96" [2438mm]	28.4 lbs [12.9kg]

* Add 4.5 lbs. (2.0kg) for 347-480V

Ordering Information

Example: PWY-EDG-2M-P0-02-E-UL-SV-350

PWY-EDG			02	E				
Product	Optic	Mounting	LED Count (x9)	Series	Voltage	Color Options	Drive Current	Options
PWY-EDG	2M Type II Medium 3M Type III Medium 5M Type V Medium 5S Type V Short	P0 13" [330mm] landscape P1 18" [457mm] landscape P3 36" [914mm] pathway P4 42" [1067mm] pathway P8 96" [2438mm] pedestrian	02	E	UL Universal 120-277V UH* Universal 347-480V - Available with P3, P4, and P8 mounts only 12 120V - Available only with TL option 27 277V - Available only with TL option	BK Black BZ Bronze SV Silver WH White	350 350mA 525 525mA - Available with P1, P3, P4, and P8 mounts only	F Fuse - When code dictates fusing, use time delay fuse - Available for U.S. applications only TL Two-Level [175/525 w/integrated sensor control] - Available with 12 or 27 voltages only - Refer to TL spec sheet for details WB Welded Base Plate - Standard on P8 mount option, available with P3 and P4 mount - Includes welded base cover 40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire

* 347-480V utilizes magnetic step-down transformer. For input power for 347-480V, refer to the Electrical Data table



US: lighting.cree.com

T (800) 236-6800 F (262) 504-5415

Rev. Date: V6 12/10/2018

Canada: www.cree.com/canada



T (800) 473-1234 F (800) 890-7507

Product Specifications

CONSTRUCTION & MATERIALS

- Durable die-cast aluminum luminaire housing mounts directly to 4" (102mm) diameter pole (included) without visible mounting hardware for clean appearance
- Pole mounts to rugged die cast aluminum internal flange secured by three 3/8" -16x6" anchor bolts with 1-1/4" hook(provided).
Note: T45 Torx 3/8" socket required for head installation
- Top mounted LEDs for superior optical performance and light control
- Open design, passive thermal management for superior lumen maintenance
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultradurable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver and white are available
- **Weight:** See Dimension and Weight Chart on pages 1 and 4

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load at 120V
- **Total Harmonic Distortion:** < 20% at full load at 120V
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- 10kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Buy American requirements within ARRA
- RoHS compliant. Consult factory for additional details
- **CA RESIDENTS WARNING:** Cancer and Reproductive Harm – www.p65warnings.ca.gov

Electrical Data*								
LED Count (x9)	System Watts 120-277V	System Watts 347-480V	Total Current (A)					
			120V	208V	240V	277V	347V	480V
350mA								
02	22	28	0.18	0.12	0.10	0.10	0.09	0.13
525mA								
02	34	40	0.29	0.19	0.17	0.15	0.12	0.13

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-480V +/- 10%

Cree Edge™ Series Ambient Adjusted Lumen Maintenance ¹					
Ambient	Initial LMF	25K hr Projected ² LMF	50K hr Projected ² LMF	75K hr Calculated ³ LMF	100K hr Calculated ³ LMF
5°C (41°F)	1.04	1.01	0.99	0.98	0.96
10°C (50°F)	1.03	1.00	0.98	0.97	0.95
15°C (59°F)	1.02	0.99	0.97	0.96	0.94
20°C (68°F)	1.01	0.98	0.96	0.95	0.93
25°C (77°F)	1.00	0.97	0.95	0.94	0.92

¹ Lumen maintenance values at 25°C (77°F) are calculated per TM-21 based on LM-80 data and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions.
² In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip
³ In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip

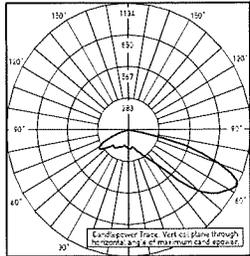


Cree Edge™ LED Pathway Luminaire

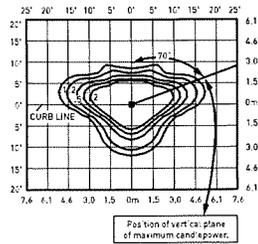
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/bollards-and-pathway/cree-edge-pathway>

2M



RESTL Test Report #: PL5758-001
 PWY-EDG-2M-**-02-E-UL-350-40K
 Initial Delivered Lumens: 1,549

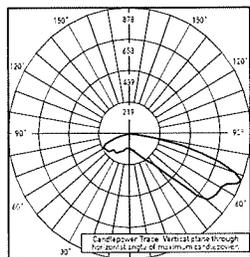


PWY-EDG-2M-**-02-E-UL-350-40K
 Mounting Height: 3' (0.9m) A.F.G.
 Initial Delivered Lumens: 1,565
 Initial FC at grade

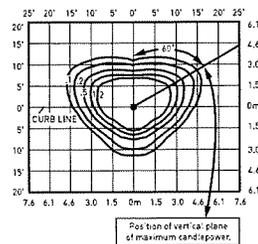
Type II Medium Distribution				
LED Count (x9)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,565	B1 U0 G1	1,625	B1 U0 G1
525mA				
02	2,191	B1 U0 G1	2,276	B1 U0 G1

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens.
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

3M



RESTL Test Report #: PL5698-001
 PWY-EDG-3M-**-02-E-UL-350-40K
 Initial Delivered Lumens: 1,470

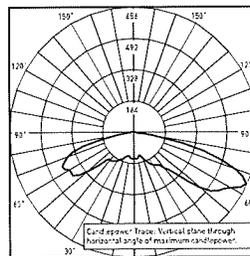


PWY-EDG-3M-**-02-E-UL-350-40K
 Mounting Height: 3' (0.9m) A.F.G.
 Initial Delivered Lumens: 1,389
 Initial FC at grade

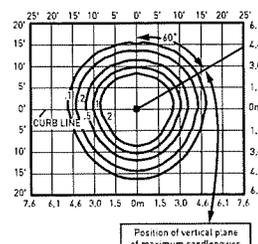
Type III Medium Distribution				
LED Count (x9)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,389	B1 U0 G1	1,442	B1 U0 G1
525mA				
02	1,944	B1 U0 G1	2,019	B1 U0 G1

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens.
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

5M



RESTL Test Report #: PL5798-001
 PWY-EDG-5M-**-02-E-UL-350-40K
 Initial Delivered Lumens: 1,780



PWY-EDG-5M-**-02-E-UL-350-40K
 Mounting Height: 3' (0.9m) A.F.G.
 Initial Delivered Lumens: 1,666
 Initial FC at grade

Type V Medium Distribution				
LED Count (x9)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,666	B1 U2 G1	1,730	B1 U2 G1
525mA				
02	2,333	B2 U2 G2	2,422	B2 U2 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens.
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

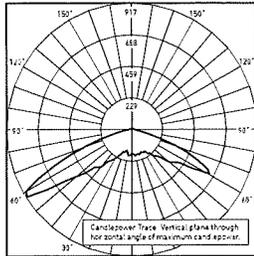


Cree Edge™ LED Pathway Luminaire

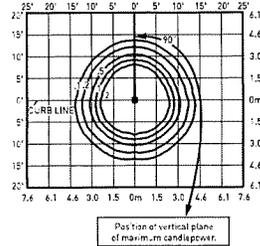
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/bollards-and-pathway/cree-edge-pathway>

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RESTL Test Report #: PL5759-001
 PWY-EDG-5S-**-02-E-UL-350-40K
 Initial Delivered Lumens: 1,897

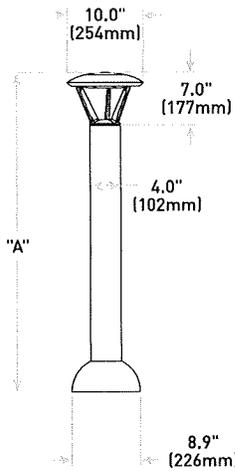


PWY-EDG-5S-**-02-E-UL-350-40K
 Mounting Height: 3' (0.9m) A.F.G.
 Initial Delivered Lumens: 1,868
 Initial FC at grade

Type V Short Distribution				
LED Count (x9)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,868	B1 U2 G1	1,940	B1 U2 G1
525mA				
02	2,615	B1 U2 G1	2,716	B1 U2 G1

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

with Welded Base



Model	Dim. "A"	Weight*
Pathway (P3)	36" (914mm)	17.9 lbs. (8.1kg)
Pathway (P4)	42" (1068mm)	18.6 lbs. (8.4kg)
Pedestrian (P8)	96" (2438mm)	28.4 lbs (12.9kg)

* Add 4.5 lbs. (2.0kg) for 347-480V



Cree Edge® Series

LED Security Wall Pack Luminaire

Rev. Date: V6 08/29/2019

Product Description

The Cree Edge® wall mount luminaire has a slim, low profile design. The luminaire end caps are made from rugged die cast aluminum with integral, weathertight LED driver compartments and high performance aluminum heat sinks specifically designed for LED applications. Housing is rugged aluminum. Includes a lightweight mounting box for installation over standard and mud ring single gang J-Boxes. Secures to wall with four 3/16" (5mm) screws (by others). Conduit entry from top, bottom, sides and rear. Allows mounting for uplight or downlight. Designed and approved for easy through-wiring. Includes leaf/debris guard.

Applications: General area and security lighting



Performance Summary

Patented NanoOptic® Product Technology

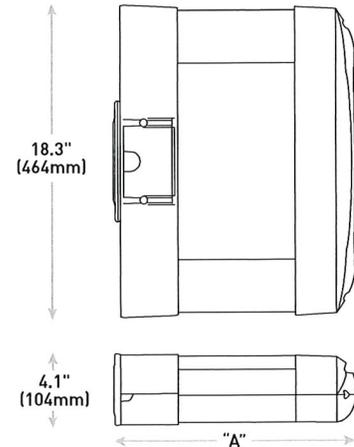
Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard

Limited Warranty¹: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

¹ See <http://creelighting.com/warranty> for warranty terms



Accessories

Field-Installed		
Bird Spikes XA-BRDSPK	Beauty Plate WM-PLT12** - 12" (305mm) Square WM-PLT14** - 14" (356mm) Square - Covers holes left by incumbent wall packs	Hand-Held Remote XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required

** Must specify color

LED Count (x10)	Dim. "A"	Weight
02	9.9" (251mm)	20 lbs. (9.1kg)
04	11.9" (303mm)	22 lbs. (10.0kg)
06	13.9" (353mm)	25 lbs. (11.3kg)
08	15.9" (404mm)	27 lbs. (12.2kg)
10	17.9" (455mm)	31 lbs. (14.1kg)
12	19.9" (505mm)	32 lbs. (14.5kg)

Ordering Information

Example: SEC-EDG-2M-WM-06-E-UL-SV-700

SEC-EDG		WM		E				
Product	Optic	Mounting	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options
SEC-EDG	2M Type II Medium 2MB Type II Medium w/BLS 2S Type II Short 2SB Type II Short w/BLS 3M Type III Medium 3MB Type III Medium w/BLS 4M Type IV Medium 4MB Type IV Medium w/BLS	WM Wall Mount	02 04 06 08 10 12	E	UL Universal 120-277V UH Universal 347-480V 34 347V	BK Black BZ Bronze SV Silver WH White	350 350mA 525 525mA -Available with 20-80 LEDs 700 700mA -Available with 20-60 LEDs	DIM 0-10V Dimming - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive current - Not available with PML option P Photocell - Must specify UL or 34 voltage PML Programmable Multi-Level - Refer to PML spec sheet for details - Intended for downlight applications with 0° tilt 40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire



US: creelighting.com (800) 236-6800
 Canada: creelighting-canada.com (800) 473-1234

CREE ⇄ LIGHTING

Cree Edge® LED Security Wall Pack Luminaire

Product Specifications

CONSTRUCTION & MATERIALS

- Slim, low profile design
- Luminaire sides are rugged die cast aluminum with integral, weathertight LED driver compartment and high performance aluminum heat sinks specifically designed for LED applications
- Housing is rugged aluminum
- Furnished with low copper, light weight mounting box designed for installation over standard and mud ring single gang J-Boxes
- Luminaire can also be direct mounted to a wall and surface wired
- Secures to wall with four 3/16" (5mm) screws (by others)
- Conduit entry from top, bottom, sides, and rear
- Allows mounting for uplight or downlight
- Designed and approved for easy through-wiring
- Includes leaf/debris guard
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultradurable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver and white are available
- **Weight:** See Dimensions and Weight Chart on page 1

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral weathertight J-Box with leads (wire nuts) for easy power hook up
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Consult factory if in-luminaire fusing is required
- **Maximum 10V Source Current:** 20 LED (350mA): 10mA; 20LED (525 & 700 mA) and 40-120 LED: 0.15mA

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Enclosure rated IP66 per IEC 60529 when ordered without P or PML options
- ANSI C136.2 10kV surge protection, tested in accordance with IEEE/ANSI C62.41.2
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- DLC qualified with select SKUs. Refer to <https://www.designlights.org/search/> for most current information
- Meets Buy American requirements within ARRA
- **CA RESIDENTS WARNING:** Cancer and Reproductive Harm – www.p65warnings.ca.gov

Electrical Data*							
LED Count (x10)	System Watts 120-480V	Total Current (A)					
		120V	208V	240V	277V	347V	480V
350mA							
02	25	0.21	0.13	0.11	0.10	0.08	0.07
04	46	0.36	0.23	0.21	0.20	0.15	0.12
06	66	0.52	0.31	0.28	0.26	0.20	0.15
08	90	0.75	0.44	0.38	0.34	0.26	0.20
10	110	0.92	0.53	0.47	0.41	0.32	0.24
12	130	1.10	0.63	0.55	0.48	0.38	0.28
525mA							
02	37	0.30	0.19	0.17	0.16	0.12	0.10
04	70	0.58	0.34	0.31	0.28	0.21	0.16
06	101	0.84	0.49	0.43	0.38	0.30	0.22
08	133	1.13	0.66	0.58	0.51	0.39	0.28
700mA							
02	50	0.41	0.25	0.22	0.20	0.15	0.12
04	93	0.78	0.46	0.40	0.36	0.27	0.20
06	134	1.14	0.65	0.57	0.50	0.39	0.29

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V +/- 10%

Cree Edge® Series Ambient Adjusted Lumen Maintenance ¹					
Ambient	Initial LMF	25K hr Reported ² LMF	50K hr Reported ² LMF	75K hr Estimated ³ LMF	100K hr Estimated ³ LMF
5°C (41°F)	1.04	1.01	0.99	0.98	0.96
10°C (50°F)	1.03	1.00	0.98	0.97	0.95
15°C (59°F)	1.02	0.99	0.97	0.96	0.94
20°C (68°F)	1.01	0.98	0.96	0.95	0.93
25°C (77°F)	1.00	0.97	0.95	0.94	0.92

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions.

² In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED

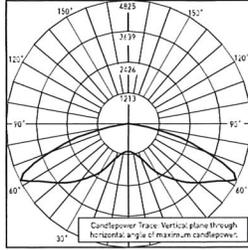
³ Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED

Cree Edge® LED Security Wall Pack Luminaire

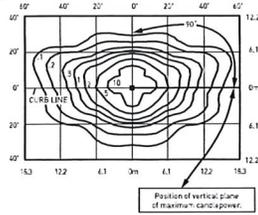
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/wall-mount/cree-edge-series-5>

2M

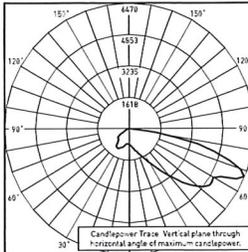


RESTL Test Report #: PL10270-004B
ARE-EDG-2M-**-06-E-UL-525-40K
Initial Delivered Lumens: 10,053

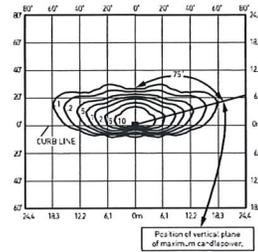


SEC-EDG-2M-**-06-E-UL-700-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 12,425
Initial FC at grade

2MB



RESTL Test Report #: PL10023-003B
ARE-EDG-2MB-**-06-E-UL-525-40K
Initial Delivered Lumens: 7,784



SEC-EDG-2MB-**-06-E-UL-700-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 9,359
Initial FC at grade

Type II Medium Distribution				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	2,501	B1 U0 G1	2,551	B1 U0 G1
04	5,003	B1 U0 G1	5,102	B1 U0 G1
06	7,418	B2 U0 G2	7,565	B2 U0 G2
08	9,891	B2 U0 G2	10,087	B2 U0 G2
10	12,334	B2 U0 G2	12,578	B2 U0 G2
12	14,801	B3 U0 G3	15,094	B3 U0 G3
525mA				
02	3,550	B1 U0 G1	3,624	B1 U0 G1
04	7,099	B2 U0 G2	7,248	B2 U0 G2
06	10,527	B2 U0 G2	10,748	B2 U0 G2
08	14,037	B3 U0 G3	14,331	B3 U0 G3
700mA				
02	4,189	B1 U0 G1	4,275	B1 U0 G1
04	8,379	B2 U0 G2	8,549	B2 U0 G2
06	12,425	B2 U0 G2	12,678	B2 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

Type II Medium Distribution w/BLS				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,884	B0 U0 G1	1,921	B0 U0 G1
04	3,768	B1 U0 G1	3,843	B1 U0 G1
06	5,588	B1 U0 G1	5,698	B1 U0 G1
08	7,450	B1 U0 G2	7,598	B1 U0 G2
10	9,291	B1 U0 G2	9,475	B1 U0 G2
12	11,149	B1 U0 G2	11,370	B1 U0 G2
525mA				
02	2,674	B0 U0 G1	2,730	B0 U0 G1
04	5,348	B1 U0 G1	5,460	B1 U0 G1
06	7,930	B1 U0 G2	8,096	B1 U0 G2
08	10,573	B1 U0 G2	10,794	B1 U0 G2
700mA				
02	3,156	B0 U0 G1	3,220	B0 U0 G1
04	6,311	B1 U0 G1	6,440	B1 U0 G1
06	9,359	B1 U0 G2	9,549	B1 U0 G2

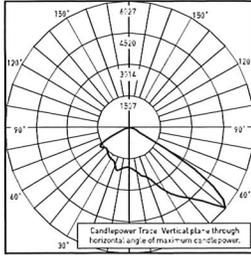
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

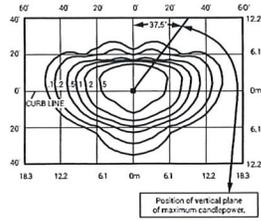
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/wall-mount/cree-edge-series-5>

25

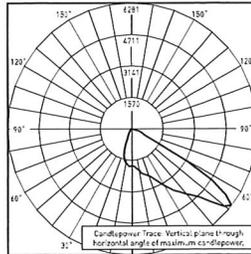


ITL Test Report #: 79175
SEC-EDG-2S-**-06-E-UL-700-40K
Initial Delivered Lumens: 11,704

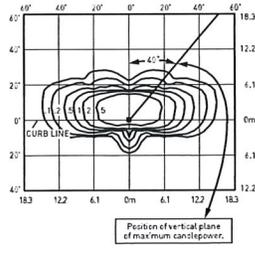


SEC-EDG-2S-**-06-E-UL-700-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 13,232
Initial FC at grade

25B



CSA Test Report #: 6454
ARE-EDG-2SB-**-06-E-UL-700-40K
Initial Delivered Lumens: 9,202



SEC-EDG-2SB-**-06-E-UL-700-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 10,166
Initial FC at grade

Type II Short Distribution				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	2,664	B1 U0 G1	2,716	B1 U0 G1
04	5,327	B2 U0 G2	5,433	B2 U0 G2
06	7,900	B2 U0 G2	8,056	B2 U0 G2
08	10,533	B3 U0 G3	10,742	B3 U0 G3
10	13,135	B3 U0 G3	13,395	B3 U0 G3
12	15,762	B3 U0 G3	16,074	B3 U0 G3
525mA				
02	3,780	B1 U0 G1	3,859	B1 U0 G1
04	7,560	B2 U0 G2	7,719	B2 U0 G2
06	11,211	B3 U0 G3	11,446	B3 U0 G3
08	14,948	B3 U0 G3	15,261	B3 U0 G3
700mA				
02	4,461	B1 U0 G1	4,552	B1 U0 G1
04	8,923	B2 U0 G2	9,104	B2 U0 G2
06	13,232	B3 U0 G3	13,501	B3 U0 G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

Type II Short Distribution w/BLS				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	2,046	B0 U0 G1	2,087	B0 U0 G1
04	4,093	B1 U0 G1	4,174	B1 U0 G1
06	6,069	B1 U0 G1	6,190	B1 U0 G1
08	8,093	B1 U0 G1	8,253	B1 U0 G1
10	10,091	B2 U0 G2	10,291	B2 U0 G2
12	12,110	B2 U0 G2	12,350	B2 U0 G2
525mA				
02	2,904	B1 U0 G1	2,965	B1 U0 G1
04	5,809	B1 U0 G1	5,930	B1 U0 G1
06	8,613	B1 U0 G1	8,794	B1 U0 G1
08	11,484	B2 U0 G2	11,725	B2 U0 G2
700mA				
02	3,428	B1 U0 G1	3,497	B1 U0 G1
04	6,855	B1 U0 G1	6,995	B1 U0 G1
06	10,166	B2 U0 G2	10,373	B2 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

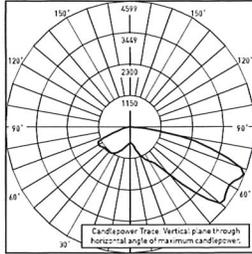
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

Cree Edge® LED Security Wall Pack Luminaire

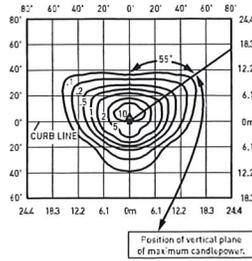
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/wall-mount/cree-edge-series-5>

3M

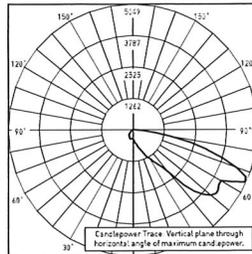


RESTL Test Report #: PL09405-001A
ARE-EDG-3M-**-06-E-UL-525-40K
Initial Delivered Lumens: 9,460

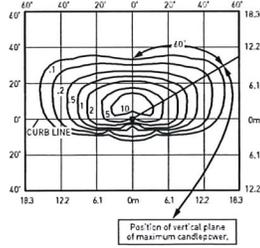


SEC-EDG-3M-**-06-E-UL-700-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 11,779
Initial FC at grade

3MB



RESTL Test Report #: PL10023-001B
ARE-EDG-3MB-**-06-E-UL-525-40K
Initial Delivered Lumens: 7,602



SEC-EDG-3MB-**-06-E-UL-700-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 8,714
Initial FC at grade

Type III Medium Distribution				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	2,371	B1 U0 G1	2,418	B1 U0 G1
04	4,743	B1 U0 G1	4,837	B1 U0 G1
06	7,033	B2 U0 G2	7,172	B2 U0 G2
08	9,377	B2 U0 G2	9,563	B2 U0 G2
10	11,693	B3 U0 G3	11,925	B3 U0 G3
12	14,032	B3 U0 G3	14,310	B3 U0 G3
525mA				
02	3,365	B1 U0 G1	3,436	B1 U0 G1
04	6,731	B2 U0 G2	6,872	B2 U0 G2
06	9,981	B3 U0 G3	10,190	B3 U0 G3
08	13,307	B3 U0 G3	13,586	B3 U0 G3
700mA				
02	3,972	B1 U0 G1	4,053	B1 U0 G1
04	7,944	B2 U0 G2	8,105	B2 U0 G2
06	11,779	B3 U0 G3	12,019	B3 U0 G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

Type III Medium Distribution w/BLS				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,754	B0 U0 G1	1,789	B0 U0 G1
04	3,508	B1 U0 G1	3,578	B1 U0 G1
06	5,202	B1 U0 G2	5,305	B1 U0 G2
08	6,936	B1 U0 G2	7,074	B1 U0 G2
10	8,650	B1 U0 G2	8,821	B1 U0 G2
12	10,380	B1 U0 G3	10,585	B1 U0 G3
525mA				
02	2,489	B0 U0 G1	2,542	B0 U0 G1
04	4,979	B1 U0 G2	5,083	B1 U0 G2
06	7,383	B1 U0 G2	7,538	B1 U0 G2
08	9,844	B1 U0 G2	10,050	B1 U0 G3
700mA				
02	2,938	B1 U0 G1	2,998	B1 U0 G1
04	5,876	B1 U0 G2	5,996	B1 U0 G2
06	8,714	B1 U0 G2	8,891	B1 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

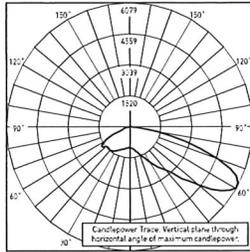
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

Cree Edge® LED Security Wall Pack Luminaire

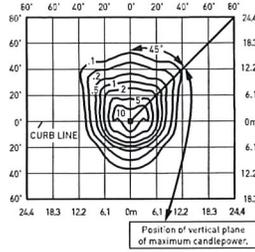
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/wall-mount/cree-edge-series-5>

4M



RESTL Test Report #: PL10270-001B
 ARE-EDG-4M-**-06-E-UL-525-40K
 Initial Delivered Lumens: 10,483



SEC-EDG-4M-**-06-E-UL-700-40K
 Mounting Height: 10' (3.0m) A.F.G.
 Initial Delivered Lumens: 12,425
 Initial FC at grade

Type IV Medium Distribution

LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	2,501	B1 U0 G1	2,551	B1 U0 G1
04	5,003	B2 U0 G1	5,102	B2 U0 G1
06	7,418	B2 U0 G2	7,565	B2 U0 G2
08	9,891	B2 U0 G2	10,087	B2 U0 G2
10	12,334	B3 U0 G3	12,578	B3 U0 G3
12	14,801	B3 U0 G3	15,094	B3 U0 G3
525mA				
02	3,550	B1 U0 G1	3,624	B1 U0 G1
04	7,099	B2 U0 G2	7,248	B2 U0 G2
06	10,527	B2 U0 G2	10,748	B2 U0 G2
08	14,037	B3 U0 G3	14,331	B3 U0 G3
700mA				
02	4,189	B1 U0 G1	4,275	B1 U0 G1
04	8,379	B2 U0 G2	8,549	B2 U0 G2
06	12,425	B3 U0 G3	12,678	B3 U0 G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

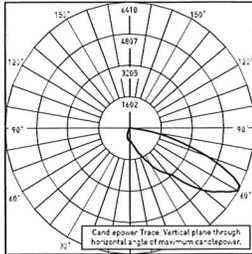
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

Cree Edge® LED Security Wall Pack Luminaire

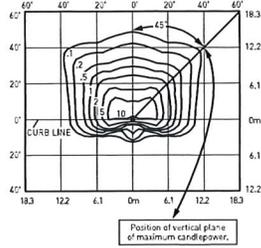
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/wall-mount/cree-edge-series-5>

4MB



RESTL Test Report #: PL01023-002B
ARE-EDG-4MB-**-06-E-UL-525-40K
Initial Delivered Lumens: 7,985



SEC-EDG-4MB-**-06-E-UL-700-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 9,359
Initial FC at grade

Type IV Medium Distribution w/BLS				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,884	B0 U0 G1	1,921	B0 U0 G1
04	3,768	B1 U0 G1	3,843	B1 U0 G1
06	5,588	B1 U0 G1	5,698	B1 U0 G2
08	7,450	B1 U0 G2	7,598	B1 U0 G2
10	9,291	B1 U0 G2	9,475	B1 U0 G2
12	11,149	B1 U0 G2	11,370	B1 U0 G2
525mA				
02	2,674	B0 U0 G1	2,730	B0 U0 G1
04	5,348	B1 U0 G1	5,460	B1 U0 G1
06	7,930	B1 U0 G2	8,096	B1 U0 G2
08	10,573	B1 U0 G2	10,794	B1 U0 G2
700mA				
02	3,156	B1 U0 G1	3,220	B1 U0 G1
04	6,311	B1 U0 G2	6,440	B1 U0 G2
06	9,359	B1 U0 G2	9,549	B1 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

OSQ Series

OSQ™ LED Area/Flood Luminaire – Medium

Rev. Date: V21 10/23/2019

Product Description

The OSQ™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weathertight LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. The 'B' Input power designator is a suitable upgrade for HID applications up to 250 Watt, and the 'K' Input power designator is a suitable upgrade for HID applications up to 400 Watt.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, tunnels, underpasses, and internal roadways

Performance Summary

NanoOptic® Precision Delivery Grid™ optic

Assembled in the U.S.A. of U.S. and imported parts

Initial Delivered Lumens: Up to 17,291

Efficacy: Up to 136 LPW

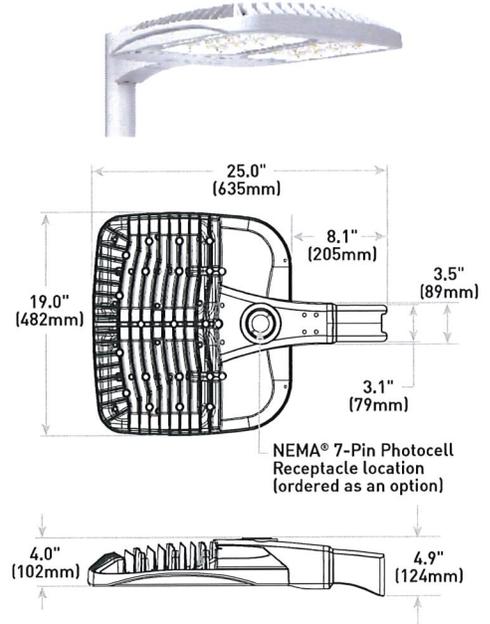
CRI: Minimum 70 CRI (3000K, 4000K & 5700K); 90 CRI (5000K)

CCT: 3000K, 4000K, 5000K, 5700K

Limited Warranty: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish/5 years on Synapse wireless control accessories/1 year on luminaire accessories

* See <http://creelighting.com/warranty> for warranty terms

DA Mount



Weight

28.9 lbs. [13.1kg]

Ordering Information

Fully assembled luminaire is composed of two components that must be ordered separately:

Example: **Mount:** OSQ-B-AASV + **Luminaire:** OSQ-A-NM-2ME-B-40K-UL-SV

Mount (Luminaire must be ordered separately)*	
OSQ-	
OSQ-B-AA Adjustable Arm OSQ-DA Direct Arm OSQ-M-TSP Transportation Mount (stainless steel; do not specify color) OSQ-TM Trunnion Mount	Color Options: SV Silver BK Black BZ Bronze WH White

* Reference EPA and pole configuration suitability data beginning on page 9

Luminaire (Mount must be ordered separately)									
OSQ	A	NM							
Product	Version	Mounting	Optic	Input Power Designator	CCT	Voltage	Color Options	Options	
OSQ	A	NM No Mount	Asymmetric 2ME* Type II Medium 4ME* Type IV Medium 3ME* Type III Medium Symmetric 5ME Type V Medium 25D 25° Flood 40D 40° Flood 5SH Type V Short 60D 60° Flood WSN Wide Sign 15D 15° Flood	B 86W K 130W Z 53W	30K 3000K, 70 CRI 40K 4000K, 70 CRI 50K 5000K, 90 CRI 57K 5700K, 70 CRI	UL Universal 120-277V UH Universal 347-480V - Available with B & K Input Power Designators only	BK Black BZ Bronze SV Silver WH White	PML Programmable Multi-Level, up to 40' Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt PML2 Programmable Multi-Level, 10-30' Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt Q9/Q6/Q5/Q4/Q3/Q2/Q1 Field Adjustable Output - Must select Q9, Q6, Q5, Q4, Q3, Q2, or Q1 - Offers full range adjustability - Refer to pages 11-12 for power and lumen values - Available with B & K Input Power Designators only - Not available with PML or PML2 options	R NEMA® 7-Pin Photocell Receptacle - 7-pin receptacle per ANSI C136.41 - Intended for downlight applications with maximum 45° tilt - Factory connected 0-10V dim leads - 18" [457mm] seven-conductor cord exits luminaire - Photocell or shorting cap by others RL Rotate Left - LED and optic are rotated to the left - Refer to RR/RL configuration diagram on page 13 for optic directionality RR Rotate Right - LED and optic are rotated to the right - Refer to RR/RL configuration diagram on page 13 for optic directionality

* Available with Backlight Shield when ordered with field-installed accessory (see table above)



US: creelighting.com (800) 236-6800

Canada: creelighting-canada.com (800) 473-1234

CREE LIGHTING

OSQ™ LED Area/Flood Luminaire – Medium

Product Specifications

CONSTRUCTION & MATERIALS

- Slim, low profile design minimizes wind load requirements
- Luminaire housing is rugged die cast aluminum with an integral, weathertight LED driver compartment and high-performance heat sink
- Convenient interlocking mounting method on direct arm mount. Mounting adaptor is rugged die cast aluminum and mounts to 3-6" (76-152mm) square or round pole, secured by two 5/16-18 UNC bolts spaced on 2" (51mm) centers
- Mounting for the adjustable arm mount adaptor is rugged die cast aluminum and mounts to 2" (51mm) IP, 2.375" (60mm) O.D. tenon
- Adjustable arm mount can be adjusted 180° in 2.5° increments
- Transportation mount is constructed of 316 stainless steel and mounts to surface with (4) 3/8" fasteners by others
- Trunnion mount is constructed of A500 and A1011 steel and is adjustable from 0-180° in 15° degree increments. Trunnion mount secures to surface with (1) 3/4" bolt or (2) 1/2" or 3/8" bolts
- Includes 18" (340mm) 18/5 or 16/5 cord exiting the luminaire. When ordered with R option, 18" (340mm) 18/7 or 16/7 cord is provided
- Designed for uplight and downlight applications
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, bronze, black, and white are available
- **Weight:** OSQ-DA: 28.9 lbs. (13.1kg); OSQ-B-AA: 28.4 lbs. (12.9kg); OSQ-M-TSP: 42 lbs. (19.1kg); OSQ-TM: 32.6 lbs. (14.8kg)

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Consult factory if in-luminaire fusing is required
- Designed with 0-10V dimming capabilities. Controls by others
- Refer to Dimming spec sheet for details
- **Maximum 10V Source Current:** 1.0mA

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Enclosure rated IP66 per IEC 60529 when ordered without R option
- Consult factory for CE Certified products
- Certified to ANSI C136.31-2001, 3G bridge and overpass vibration standards with AA, DA, TM, and TSP mounts
- ANSI C136.2 10kV surge protection, tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Buy American requirements within ARRA
- DLC and DLC Premium qualified versions available with 70 CRI. Some exceptions apply. Please refer to <https://www.designlights.org/search/> for most current information
- RoHS compliant. Consult factory for additional details
- Dark Sky Friendly, IDA Approved when ordered with 30K CCT and direct or transportation mounts only. Please refer to <https://www.darksky.org/our-work/lighting/lighting-for-industry/fsa/fsa-products/> for most current information

CA RESIDENTS WARNING: Cancer and Reproductive Harm – www.p65warnings.ca.gov

Product Specifications

SYNAPSE® SIMPLYSNAP INTELLIGENT CONTROL

The Synapse SimplySNAP platform is a highly intuitive connected lighting solution featuring zone dimming, motion sensing, and daylight harvesting with utility-grade power monitoring and support of up to 1000 nodes per gateway. The system features a reliable and robust self-healing mesh network with a browser-based interface that runs on smartphones, tablets, and PCs. The Twist-Lock Lighting Controller (TL7-B2) and Site Controller (SS450-002) take the OSQ Series to a new performance plateau, providing extreme energy productivity, code compliance and a better light experience.

Electrical Data*							
Input Power Designator	System Watts 120-480V	Total Current (A)					
		120V	208V	240V	277V	347V	480V
B	86	0.73	0.43	0.37	0.32	0.25	0.19
K	130	1.09	0.65	0.56	0.49	0.38	0.28
Z	53**	0.46	0.26	0.22	0.19	N/A	N/A

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V +/-10%
 ** Available with UL voltage only

OSQ Series Ambient Adjusted Lumen Maintenance ¹						
Ambient	Optic	Initial LMF	25K hr Reported ² LMF	50K hr Reported ² LMF	75K hr Reported ² / Estimated ³ LMF	100K hr Reported ² / Estimated ³ LMF
5°C (41°F)	Asymmetric	1.04	1.02	1.01	1.00 ³	0.99 ³
	Symmetric	1.05	1.04	1.03	1.03 ²	1.02 ²
10°C (50°F)	Asymmetric	1.03	1.01	1.00	0.99 ³	0.98 ³
	Symmetric	1.04	1.03	1.02	1.01 ²	1.00 ²
15°C (59°F)	Asymmetric	1.02	1.00	0.99	0.98 ³	0.97 ³
	Symmetric	1.02	1.02	1.01	1.00 ²	0.99 ²
20°C (68°F)	Asymmetric	1.01	0.99	0.98	0.97 ³	0.96 ³
	Symmetric	1.01	1.01	1.00	0.99 ²	0.98 ²
25°C (77°F)	Asymmetric	1.00	0.98	0.97	0.96 ³	0.95 ³
	Symmetric	1.00	0.99	0.98	0.98 ²	0.97 ²

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions.
² In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED.
³ Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED.

Accessories

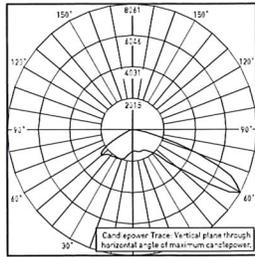
Field-Installed		
Backlight Shield OSQ-BLSMF – Front facing optics OSQ-BLSMR – Rotated optics	Hand-Held Remote XA-SENSREM – For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required	Bird Spikes OSQ-MED-BRDSPK
Synapse Wireless Control Accessories		
Twist-Lock Lighting Controller TL7-B2 – Suitable for 120-277V [UL] voltage only – Requires NEMA/ANSI C136.41 7-Pin Dimming Receptacle – Not for use with PML or Q options – Provides On/Off switching, dimming, power metering, digital sensor input, and status monitoring of luminaires	SimplySNAP On-Site Controller SS450-002 – Verizon® LTE-enabled – Designed for indoor applications Building Management System (BMS) Gateway BMS-GW – Required for BACNET integration Outdoor Antennas (Optional, for increased range, 8dB gain) KIT-ANT4205M – Kit includes antenna, 20' cable and bracket KIT-ANT360 – Kit includes antenna, 30' cable and bracket KIT-ANT600 – Kit includes antenna, 50' cable and bracket	

OSQ™ LED Area/Flood Luminaire – Medium

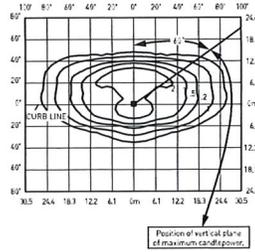
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

2ME



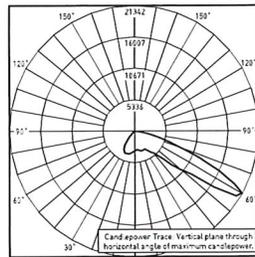
RESTL Test Report #: PL08877-001A
OSQ-A**-2ME-B-30K-UL
Initial Delivered Lumens: 10,381



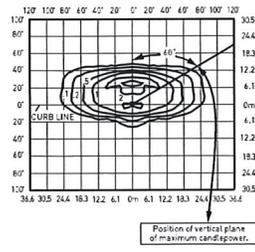
OSQ-A**-2ME-B-40K-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 11,424
Initial FC at grade

Type II Medium Distribution								
Input Power Designator	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
B	10,738	B2 U0 G2	11,424	B2 U0 G2	9,350	B2 U0 G2	11,648	B2 U0 G2
K	16,022	B3 U0 G3	16,959	B3 U0 G3	14,000	B3 U0 G2	17,291	B3 U0 G3
Z	6,481	B2 U0 G1	6,896	B2 U0 G1	5,750	B1 U0 G1	7,031	B2 U0 G1

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt



CESTL Test Report #: PL07700-001A
OSQ-A**-2ME-U-57K-UL w/OSQ-BLSLF
Initial Delivered Lumens: 22,822



OSQ-A**-2ME-B-40K-UL w/OSQ-BLSMF
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 8,779
Initial FC at grade

Type II Medium w/BLS Distribution								
Input Power Designator	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM 15 11	Initial Delivered Lumens*	BUG Ratings** Per TM 15 11	Initial Delivered Lumens*	BUG Ratings** Per TM 15 11	Initial Delivered Lumens*	BUG Ratings** Per TM 15 11
B	8,251	B2 U0 G2	8,779	B2 U0 G2	7,200	B1 U0 G1	8,950	B2 U0 G2
K	12,312	B2 U0 G2	13,032	B2 U0 G2	10,750	B2 U0 G2	13,286	B2 U0 G2
Z	4,980	B1 U0 G1	5,299	B1 U0 G1	4,420	B1 U0 G1	5,402	B1 U0 G1

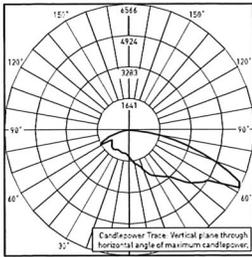
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

OSQ™ LED Area/Flood Luminaire – Medium

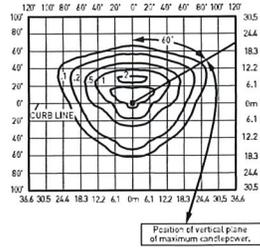
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

3ME



RESTL Test Report #: PL08876-001A
OSQ-A**-3ME-B-30K-UL
Initial Delivered Lumens: 10,421

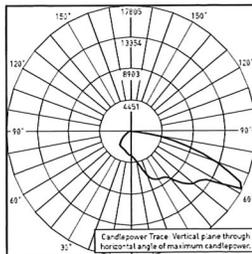


OSQ-A**-3ME-B-40K-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 11,424
Initial FC at grade

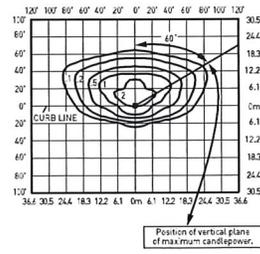
Type III Medium Distribution

Input Power Designator	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
B	10,738	B3 U0 G3	11,424	B3 U0 G3	9,350	B2 U0 G2	11,648	B3 U0 G3
K	16,022	B3 U0 G3	16,959	B3 U0 G3	14,000	B3 U0 G3	17,291	B3 U0 G3
Z	6,481	B2 U0 G2	6,896	B2 U0 G2	5,750	B2 U0 G2	7,031	B2 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt



CESTL Test Report #: PL07699-001A
OSQ-A**-3ME-U-57K-UL w/OSQ-BLSLF
Initial Delivered Lumens: 23,601



OSQ-A**-3ME-B-40K-UL w/OSQ-BLSMF
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 9,019
Initial FC at grade

Type III Medium w/BLS Distribution

Input Power Designator	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
B	8,477	B1 U0 G2	9,019	B1 U0 G2	7,400	B1 U0 G2	9,196	B1 U0 G2
K	12,649	B2 U0 G2	13,389	B2 U0 G2	11,050	B2 U0 G2	13,650	B2 U0 G2
Z	5,117	B1 U0 G1	5,444	B1 U0 G1	4,540	B1 U0 G1	5,551	B1 U0 G1

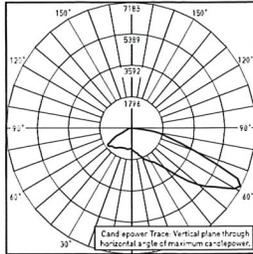
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

OSQ™ LED Area/Flood Luminaire – Medium

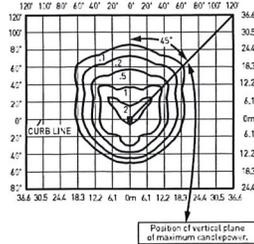
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

4ME



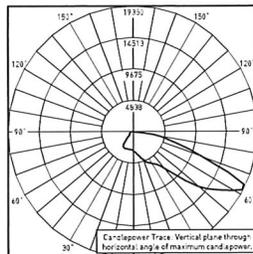
RESTL Test Report #: PL08878-001A
OSQ-A**-4ME-B-30K-UL
Initial Delivered Lumens: 10,230



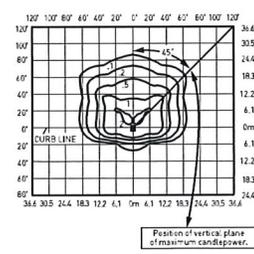
OSQ-A**-4ME-B-40K-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 11,424
Initial FC at grade

Type IV Medium Distribution								
Input Power Designator	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
B	10,738	B2 U0 G2	11,424	B2 U0 G2	9,350	B2 U0 G2	11,648	B2 U0 G2
K	16,022	B3 U0 G3	16,959	B3 U0 G3	14,000	B3 U0 G3	17,291	B3 U0 G3
Z	6,481	B2 U0 G2	6,896	B2 U0 G2	5,750	B2 U0 G1	7,031	B2 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt



CESTL Test Report #: PL07692-001A
OSQ-A**-4ME-U-57K-UL w/OSQ-BLSLF
Initial Delivered Lumens: 22,793



OSQ-A**-4ME-B-40K-UL w/OSQ-BLSMF
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 8,779
Initial FC at grade

Type IV Medium w/BLS Distribution								
Input Power Designator	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
B	8,251	B1 U0 G2	8,779	B1 U0 G2	7,200	B1 U0 G2	8,950	B1 U0 G2
K	12,312	B2 U0 G2	13,032	B2 U0 G2	10,750	B2 U0 G2	13,286	B2 U0 G2
Z	4,980	B1 U0 G1	5,299	B1 U0 G1	4,420	B1 U0 G1	5,402	B1 U0 G1

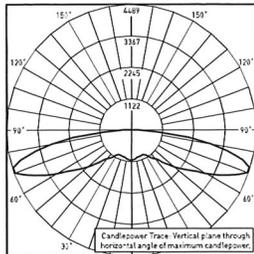
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

OSQ™ LED Area/Flood Luminaire – Medium

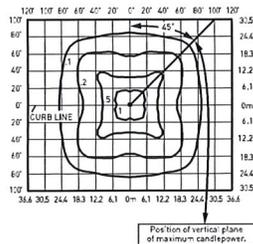
Photometry

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5ME



RESTL Test Report #: PL08534-001B
OSQ-A-**-5ME-B-40K-UL
Initial Delivered Lumens: 10,519

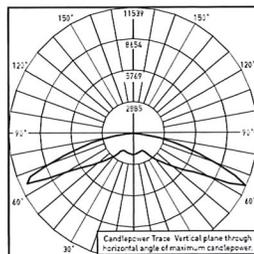


OSQ-A-**-5ME-B-40K-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 10,867
Initial FC at grade

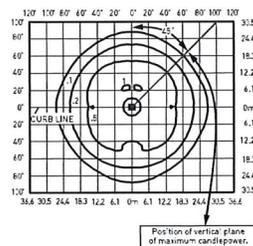
Type V Medium Distribution								
Input Power Designator	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
B	10,232	B4 U0 G3	10,867	B4 U0 G3	10,000	B4 U0 G3	11,056	B4 U0 G3
K	15,063	B4 U0 G4	15,999	B4 U0 G4	14,925	B4 U0 G4	16,277	B4 U0 G4
Z	5,257	B3 U0 G3	6,086	B3 U0 G3	6,175	B3 U0 G3	6,192	B3 U0 G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

5SH



CESTL Test Report #: PL10754-001A
OSQ-A-**-5SH-U-40K-UL
Initial Delivered Lumens: 25,679



OSQ-A-**-5SH-B-40K-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 11,478
Initial FC at grade

Type V Short Distribution								
Input Power Designator	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
B	10,806	B4 U0 G2	11,478	B4 U0 G2	10,575	B4 U0 G2	11,678	B4 U0 G2
K	15,909	B4 U0 G3	16,897	B4 U0 G3	15,800	B4 U0 G3	17,191	B4 U0 G3
Z	5,552	B3 U0 G1	6,428	B3 U0 G2	6,525	B3 U0 G2	6,539	B3 U0 G2

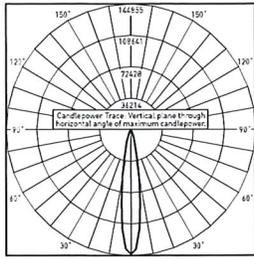
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

OSQ™ LED Area/Flood Luminaire – Medium

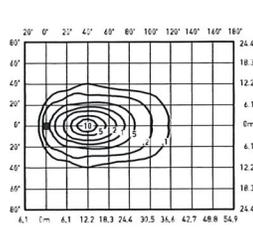
Photometry

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15D



CESTL Test Report #: PL07689-001A
OSQ-A**-15D-U-30K-UL
Initial Delivered Lumens: 23,254



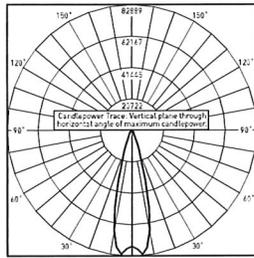
OSQ-A**-15D-B-40K-UL
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
Initial Delivered Lumens: 11,478
Initial FC at grade

15° Flood Distribution

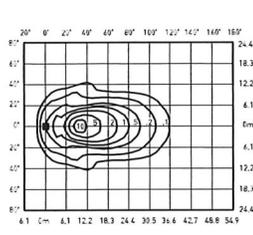
Input Power Designator	3000K (70 CRI)	4000K (70 CRI)	5000K (90CRI)	5700K (70 CRI)
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
B	10,806	11,478	10,575	11,678
K	15,909	16,897	15,800	17,191
Z	5,552	6,428	6,525	6,539

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

25D



CESTL Test Report #: PL07696-001A
OSQ-A**-25D-U-30K-UL
Initial Delivered Lumens: 23,265



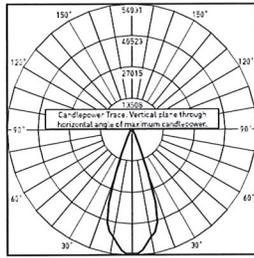
OSQ-A**-25D-B-40K-UL
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
Initial Delivered Lumens: 11,478
Initial FC at grade

25° Flood Distribution

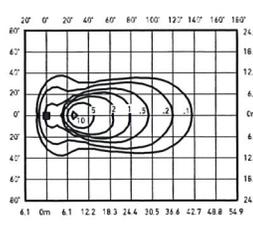
Input Power Designator	3000K (70 CRI)	4000K (70 CRI)	5000K (90CRI)	5700K (70 CRI)
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
B	10,806	11,478	10,575	11,678
K	15,909	16,897	15,800	17,191
Z	5,552	6,428	6,525	6,539

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

40D



CESTL Test Report #: PL07697-001A
OSQ-A**-40D-U-30K-UL
Initial Delivered Lumens: 22,943



OSQ-A**-40D-B-40K-UL
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
Initial Delivered Lumens: 11,478
Initial FC at grade

40° Flood Distribution

Input Power Designator	3000K (70 CRI)	4000K (70 CRI)	5000K (90 CRI)	5700K (70 CRI)
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
B	10,806	11,478	10,575	11,678
K	15,909	16,897	15,800	17,191
Z	5,552	6,428	6,525	6,539

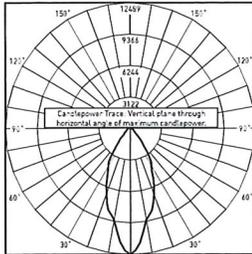
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

OSQ™ LED Area/Flood Luminaire – Medium

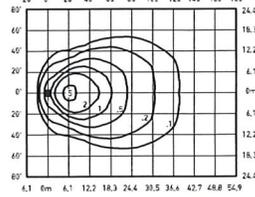
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

60D



CESTL Test Report #: PL08100-001B
OSQ-A-**-60D-B-30K-UL
Initial Delivered Lumens: 10,079

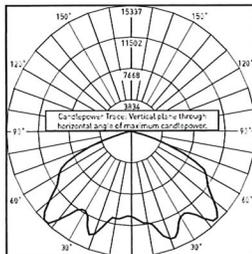


OSQ-A-**-60D-B-40K-UL
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
Initial Delivered Lumens: 11,478
Initial FC at grade

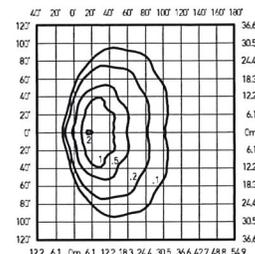
60° Flood Distribution				
Input Power Designator	3000K (70 CRI)	4000K (70 CRI)	5000K (90 CRI)	5700K (70 CRI)
		Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
B	10,806	11,478	10,575	11,678
K	15,909	16,897	15,800	17,191
Z	5,552	6,428	6,525	6,539

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

WSN



CESTL Test Report #: PL07695-001A
OSQ-A-**-WSN-U-30K-UL
Initial Delivered Lumens: 23,116



OSQ-A-**-WSN-B-40K-UL
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
Initial Delivered Lumens: 11,478
Initial FC at grade

Wide Sign Distribution				
Input Power Designator	3000K (70 CRI)	4000K (70 CRI)	5000K (90 CRI)	5700K (70 CRI)
		Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
B	10,806	11,478	10,575	11,678
K	15,909	16,897	15,800	17,191
Z	5,552	6,428	6,525	6,539

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

OSQ™ LED Area/Flood Luminaire – Medium

Luminaire EPA

Adjustable Arm Mount – OSQ-B-AA Weight: 28.4 lbs. [12.9kg]							
Single	2 @ 180°	2 @ 90°	3 @ 90°	3 @ 120°	3 @ 180°	4 @ 180°	4 @ 90°
Tenon Configuration [0°–80° Tilt]; If used with Cree Lighting tenons, please add tenon EPA with Luminaire EPA							
PB-1A*; PT-1; PW-1A3**	PB-2A*; PB-2R2.375; PD-2A4(180); PT-2(180); PW-2A3**	PB-2A*; PD-2A4(90); PT-2(90)	PB-3A*; PD-3A4(90); PT-3(90)	PB-3A*; PT-3(120)	PB-3A*; PB-3R2.375	PB-4A*(180)	PB-4A*(90); PB-4R2.375; PD-4A4(90); PT-4(90)
0° Tilt							
0.74	1.48	1.19	1.93	1.63	3.33	4.66	2.38
10° Tilt							
0.75	1.48	1.49	2.23	2.15	4.22	5.84	2.98
20° Tilt							
1.12	1.48	1.86	2.60	2.85	5.31	7.32	3.72
30° Tilt							
1.46	1.48	2.20	2.94	3.56	6.34	8.68	4.40
45° Tilt							
1.96	1.96	2.69	3.43	4.54	7.83	10.68	5.38
60° Tilt							
2.33	2.33	3.07	3.81	5.11	8.94	12.16	6.14
70° Tilt							
2.49	2.49	3.23	3.97	5.11	9.43	12.80	6.46
80° Tilt							
2.58	2.58	3.32	4.06	5.11	9.71	13.16	6.64
Tenon Configuration [90° Tilt]; If used with Cree Lighting tenons, please add tenon EPA with Luminaire EPA							
PB-1A*; PT-1; PW-1A3**	PB-2A*; PB-2R2.375; PD-2A4(180); PT-2(180); PW-2A3**	PB-2A*	PB-3A*	PB-3A*; PT-3(120)	PB-3A*; PB-3R2.375	PB-4A*(180)	PB-4A*(90); PB-4R2.375
90° Tilt							
2.61	2.61	4.44	6.05	5.11	9.79	13.28	10.39

* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation
 ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]

Tenon EPA

Part Number	EPA
PB-1A*	None
PB-2A*	0.82
PB-3A*	1.52
PB-4A*(180)	2.22
PB-4A*(90)	1.11
PB-2R2.375	0.92
PB-3R2.375	1.62
PB-4R2.375	2.32
PD Series Tenons	0.09
PT Series Tenons	0.10
PW-1A3**	0.47
PW-2A3**	0.94
WM-2	0.08
WM-4	0.25
WM-DM	None

* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation
 ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]

Tenons and Brackets† (must specify color)	
Square Internal Mount Vertical Tenons (Steel) - Mounts to 3-6" [76-152mm] square aluminum or steel poles PB-1A* – Single PB-2A* – 180° Twin PB-3A* – 180° Triple PB-4A*(90) – 90° Quad PB-4A*(180) – 180° Quad	Round External Mount Vertical Tenons (Steel) - Mounts to 2.375" [60mm] O.D. round aluminum or steel poles or tenons PB-2R2.375 – Twin PB-3R2.375 – Triple PB-4R2.375 – Quad
Square Internal Mount Horizontal Tenons (Aluminum) - Mounts to 4" [102mm] square aluminum or steel poles PD-2A4(90) – 90° Twin PD-2A4(180) – 180° Twin PD-3A4(90) – 90° Triple PD-4A4(90) – 90° Quad	Round External Mount Horizontal Tenons (Aluminum) - Mounts to 2.375" [60mm] O.D. round aluminum or steel poles or tenons - Mounts to square pole with PB-1A* tenon PT-1 – Single [Vertical] PT-2(90) – 90° Twin PT-2(180) – 180° Twin PT-3(90) – 90° Triple PT-3(120) – 120° Triple PT-4(90) – 90° Quad
Wall Mount Brackets - Mounts to wall or roof WM-2 – Horizontal for OSQ-B-AA mount WM-4 – L-Shape for OSQ-B-AA mount WM-DM – Plate for OSQ-DA mount	Mid-Pole Bracket - Mounts to square pole PW-1A3** – Single PW-2A3** – Double
	Ground Mount Post - For ground-mounted flood luminaires PGM-1 – for OSQ-B-AA mount

† Refer to the [Bracket and Tenons spec sheet](#) for more details

OSQ™ LED Area/Flood Luminaire – Medium

Luminaire EPA

Direct Arm Mount – OSQ-DA Weight: 28.9 lbs. (13.1kg)					
Single	2 @ 180°	2 @ 90°	3 @ 90°	3 @ 120°	4 @ 90°
					
0.74	1.48	1.19	1.93	1.63	2.38

Direct Mount Configurations

Compatibility with OSQ-DA Direct Mount Bracket					
Input Power Designator	2 @ 90°	2 @ 180°	3 @ 90°	3 @ 120°	4 @ 90°
3" Square					
B, K & Z	N/A	✓	N/A	N/A	N/A
3" Round					
B, K & Z	N/A	✓	N/A	N/A	N/A
4" Square					
B, K & Z	✓	✓	✓	N/A	✓
4" Round					
B, K & Z	✓	✓	✓	✓	✓
5" Square					
B, K & Z	✓	✓	✓	N/A	✓
5" Round					
B, K & Z	✓	✓	✓	✓	✓
6" Square					
B, K & Z	✓	✓	✓	N/A	✓
6" Round					
B, K & Z	✓	✓	✓	✓	✓

Luminaire EPA

Trunnion Mount – OSQ-TM Weight: 32.6 lbs. (14.8kg)	
Single	
0° Tilt	
0.75	
15° Tilt	
0.99	
30° Tilt	
1.57	
45° Tilt	
2.07	
60° Tilt	
2.46	
75° Tilt	
2.67	
90° Tilt	
2.33	

OSQ™ LED Area/Flood Luminaire – Medium

Field Adjustable Output (Q9/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings.

Q Option Power & Lumen Data – Designator B

Q Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values						Optics Qualified on DLC QPL	
			Asymmetric	5ME	5SH & Floods	2ME w/ BLS	3ME w/ BLS	4ME w/BLS	Standard	Premium
Q9 (Full Power)	30K (70 CRI)	86	10,738	10,232	10,806	8,251	8,477	8,251	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		11,424	10,867	11,478	8,779	9,019	8,779	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		9,350	10,000	10,575	7,200	7,400	7,200	TBD	TBD
	57K (70 CRI)		11,648	11,056	11,678	8,950	9,196	8,950	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q6	30K (70 CRI)	77	9,449	9,004	9,509	7,261	7,460	7,261	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		10,053	9,563	10,101	7,726	7,937	7,726	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		8,350	8,950	9,450	6,425	6,600	6,425	TBD	TBD
	57K (70 CRI)		10,250	9,729	10,277	7,876	8,092	7,876	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q5	30K (70 CRI)	72	8,913	8,492	8,969	6,848	7,036	6,848	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		9,482	9,020	9,527	7,287	7,486	7,287	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		7,525	8,050	8,525	5,775	5,950	5,775	TBD	TBD
	57K (70 CRI)		9,668	9,176	9,693	7,429	7,633	7,429	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q4	30K (70 CRI)	62	7,731	7,367	7,780	5,941	6,103	5,941	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		8,225	7,824	8,264	6,321	6,494	6,321	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		6,575	7,025	7,425	5,050	5,175	5,050	TBD	TBD
	57K (70 CRI)		8,387	7,960	8,408	6,444	6,621	6,444	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q3	30K (70 CRI)	53	6,550	6,241	6,592	5,033	5,171	5,033	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		6,969	6,629	7,002	5,355	5,502	5,355	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		5,575	5,975	6,325	4,290	4,410	4,290	TBD	TBD
	57K (70 CRI)		7,105	6,744	7,124	5,460	5,610	5,460	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q2	30K (70 CRI)	45	5,476	5,218	5,511	4,208	4,323	4,208	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		5,826	5,542	5,854	4,477	4,600	4,477	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		4,550	4,890	5,175	3,500	3,590	3,500	TBD	TBD
	57K (70 CRI)		5,940	5,639	5,956	4,565	4,690	4,565	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q1	30K (70 CRI)	34	4,188	3,990	4,214	3,218	3,306	3,218	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		4,455	4,238	4,476	3,424	3,517	3,424	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		3,500	3,770	3,980	2,690	2,760	2,690	TBD	TBD
	57K (70 CRI)		4,543	4,312	4,554	3,491	3,586	3,491	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN

Field Adjustable Output (Q9/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings.

Q Option Power & Lumen Data – Designator K

Q Option Setting	CCT/CRI	System Watts	Lumen Values						Optics Qualified on DLC QPL	
			120-480V	Asymmetric	5ME	5SH & Floods	2ME w/BLS	3ME w/BLS	4ME w/BLS	Standard
Q9 [Full Power]	30K (70 CRI)	130	16,022	15,063	15,909	12,312	12,649	12,312	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		16,959	15,999	16,897	13,032	13,389	13,032	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		14,000	14,925	15,800	10,750	11,050	10,750	TBD	TBD
	57K (70 CRI)		17,291	16,277	17,191	13,286	13,650	13,286	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q6	30K (70 CRI)	117	14,099	13,255	14,000	10,835	11,131	10,835	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		14,924	14,079	14,869	11,468	11,782	11,468	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		12,500	13,350	14,100	9,600	9,875	9,600	TBD	TBD
	57K (70 CRI)		15,216	14,324	15,128	11,692	12,012	11,692	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q5	30K (70 CRI)	110	13,298	12,502	13,204	10,219	10,499	10,219	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		14,076	13,279	14,025	10,817	11,113	10,817	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		11,250	12,050	12,725	8,650	8,900	8,650	TBD	TBD
	57K (70 CRI)		14,352	13,510	14,269	11,027	11,330	11,027	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q4	30K (70 CRI)	93	11,536	10,845	11,454	8,865	9,107	8,865	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		12,210	11,519	12,166	9,383	9,640	9,383	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		9,825	10,525	11,100	7,550	7,750	7,550	TBD	TBD
	57K (70 CRI)		12,450	11,719	12,378	9,566	9,828	9,566	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q3	30K (70 CRI)	80	9,773	9,188	9,704	7,510	7,716	7,510	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		10,345	9,759	10,307	7,950	8,167	7,950	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		8,350	8,950	9,475	6,425	6,600	6,425	TBD	TBD
	57K (70 CRI)		10,548	9,929	10,487	8,104	8,327	8,104	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q2	30K (70 CRI)	67	8,171	7,682	8,114	6,279	6,451	6,279	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		8,649	8,159	8,617	6,646	6,828	6,646	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		6,825	7,325	7,725	5,250	5,375	5,250	TBD	TBD
	57K (70 CRI)		8,818	8,301	8,767	6,776	6,962	6,776	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q1	30K (70 CRI)	51	6,249	5,875	6,205	4,802	4,933	4,802	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		6,614	6,240	6,590	5,082	5,222	5,082	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		5,250	5,650	5,975	4,030	4,150	4,030	TBD	TBD
	57K (70 CRI)		6,743	6,348	6,704	5,182	5,324	5,182	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN

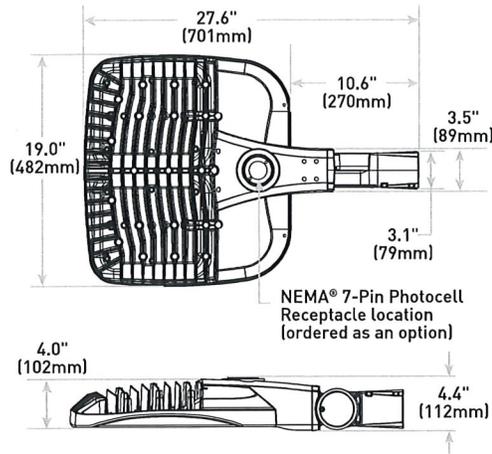
OSQ™ LED Area/Flood Luminaire – Medium

AA Mount

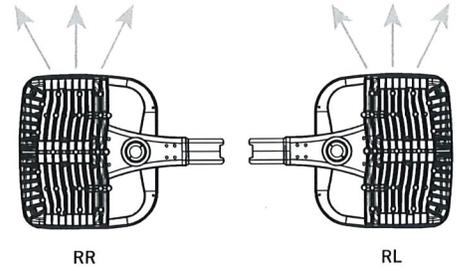


Weight

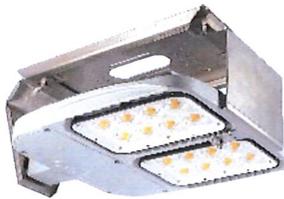
28.4 lbs. (12.9kg)



RR/RL Configuration



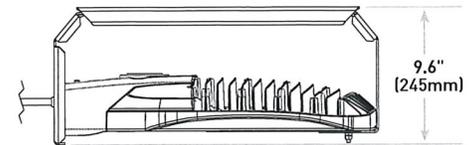
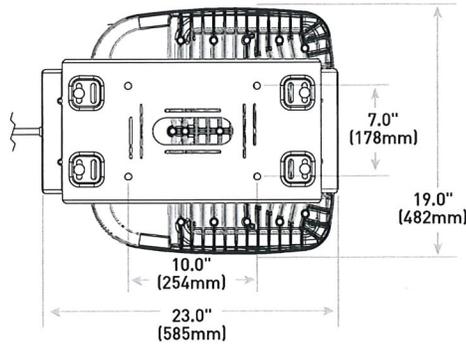
TSP Mount



Weight

42.0 lbs. (19.1kg)

OSQ Large luminaire shown.



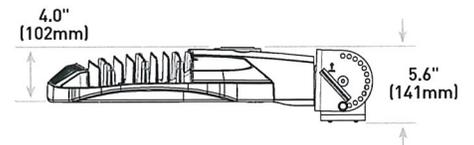
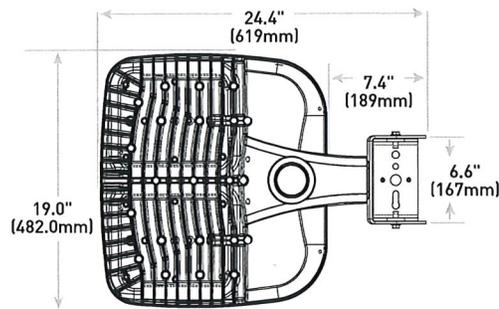
TM Mount



Weight

32.6 lbs. (14.8kg)

OSQ Large luminaire shown.



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Canada: creelighting-canada.com (800) 473-1234

CREE  **LIGHTING**

A COMPANY OF IDEAL INDUSTRIES, INC.

ANGLE REFLECTOR

Aluminum Shade
with Glass and Guard Options

Catalog #:

Project:

Type:

Date:

Notes:

Electrical

- 120V input (277V available in arm and post option only)
- Integrated power supply allows the fixture to be connected directly into line voltage
- Pre-wired and ready for install
- LED is dimmable with Incandescent/Triac dimmers

Mounting

- 1/2" or 3/4" IP for arms. Flush mount and post available only in 1/2"

Finishes

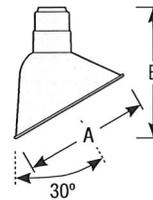
- Shade and mounting finish options
- Available in 21 standard and 2 specialty finishes with optional coastal coating to protect finish in coastal environments (add "-C" to the finish)
- Inner shade is painted gloss white
- Consult factory for custom finish options

Optional Accessories

- Glass, Cast Guard, Wire Cage or Wire Guard options available

Listing

UL listed to US and Canadian standards for wet locations



	A	B
RA8	8"	9"
RA10	10"	11"
RA12	12"	12-1/2"

Angle Reflector Order Matrix (Example: RA10MGA-2)

Diameter	Lamp / LED	Finish	Coastal Coating Option	Accessories	Mounting Type
<input type="checkbox"/> RA8 (8")	<input type="checkbox"/> M (Medium Base, 100W max.)	<input type="checkbox"/> ABL (Aegean Blue)	<input type="checkbox"/> (blank) (No coating)	<input type="checkbox"/> (blank) (No Accessories)	<input type="checkbox"/> -2 (1/2" IP)
<input type="checkbox"/> RA10 (10")	<input type="checkbox"/> GU2413 ¹ (13W GU24 / 2700K)	<input type="checkbox"/> BB (Burnished Bronze)	<input type="checkbox"/> -C ⁴ (Coating)	<input type="checkbox"/> -CG (Clear Glass)	<input type="checkbox"/> -3 (3/4" IP)
<input type="checkbox"/> RA12 (12")	<input type="checkbox"/> GU2418 ¹ (18W GU24 / 2700K)	<input type="checkbox"/> BK (Gloss Black)		<input type="checkbox"/> -FG (Frosted Glass)	<input type="checkbox"/> -F (Flush Mount)
	<input type="checkbox"/> GU2426 ¹ (26W GU24 / 2700K)	<input type="checkbox"/> BLU (Blue)		<input type="checkbox"/> -OG (Opal Glass)	
	<input type="checkbox"/> GU2432 ^{1,2} (32W GU24 / 2700K)	<input type="checkbox"/> DVG (Dove Gray)		<input type="checkbox"/> -CGG (Clear Glass w/ Cast Guard)	
	<input type="checkbox"/> GU2442 ^{1,2} (42W GU24 / 2700K)	<input type="checkbox"/> FLG (Flannel Gray)		<input type="checkbox"/> -FGG (Frosted Glass w/ Cast Guard)	
	<input type="checkbox"/> LED1127 ^{1,3} (11W LED / 2700K / 90 CRI / 1189lm)	<input type="checkbox"/> GA (Galvanized)		<input type="checkbox"/> -OGG (Opal Glass w/ Cast Guard)	
	<input type="checkbox"/> LED1130 ^{1,3} (11W LED / 3000K / 90 CRI / 1265lm)	<input type="checkbox"/> LG (Lime Green)		<input type="checkbox"/> -CGWC (Clear Glass w/ Wire Cage)	
	<input type="checkbox"/> LED1135 ^{1,3} (11W LED / 3500K / 90 CRI / 1305lm)	<input type="checkbox"/> MB (Matte Black)		<input type="checkbox"/> -FGWC (Frosted Glass w/ Wire Cage)	
	<input type="checkbox"/> LED1140 ^{1,3} (11W LED / 4000K / 90 CRI / 1364lm)	<input type="checkbox"/> MBL (Midnight Blue)		<input type="checkbox"/> -OGWC (Opal Glass w/ Wire Cage)	
	<input type="checkbox"/> LED1527 ^{1,3} (15W LED / 2700K / 90 CRI / 1620lm)	<input type="checkbox"/> PNA (Painted Natural Aluminum)		<input type="checkbox"/> -WGC (Wire Guard)	
	<input type="checkbox"/> LED1530 ^{1,3} (15W LED / 3000K / 90 CRI / 1725lm)	<input type="checkbox"/> PNC (Painted Natural Copper)			
	<input type="checkbox"/> LED1535 ^{1,3} (15W LED / 3500K / 90 CRI / 1780lm)	<input type="checkbox"/> RD (Red)			
	<input type="checkbox"/> LED1540 ^{1,3} (15W LED / 4000K / 90 CRI / 1860lm)	<input type="checkbox"/> SA (Satin Aluminum)			
		<input type="checkbox"/> SGR (Sage Green)			
		<input type="checkbox"/> SGW (Semi Gloss White)			
		<input type="checkbox"/> SND (Sand)			
		<input type="checkbox"/> SS (Satin Silver)			
		<input type="checkbox"/> TBZ (Textured Bronze)			
		<input type="checkbox"/> TGP (Textured Graphite)			
		<input type="checkbox"/> TNG (Tangerine)			
		<input type="checkbox"/> TTL (Tahitian Teal)			
		<input type="checkbox"/> WT (Gloss White)			

1. Lamp/LED included
2. Not for use in glass/cast guard/wire cage
3. Glass enclosure must be specified

4. Satin aluminum cannot be coated

KEY: Standard Finishes

<input type="checkbox"/> ABL (Aegean Blue)	<input type="checkbox"/> LG (Lime Green)	<input type="checkbox"/> SGR (Sage Green)
<input type="checkbox"/> BB (Burnished Bronze)	<input type="checkbox"/> MB (Matte Black)	<input type="checkbox"/> SGW (Semi Gloss White)
<input type="checkbox"/> BK (Gloss Black)	<input type="checkbox"/> MBL (Midnight Blue)	<input type="checkbox"/> SND (Sand)
<input type="checkbox"/> BLU (Blue)	<input type="checkbox"/> PNA (Painted Natural Aluminum)	<input type="checkbox"/> SS (Satin Silver)
<input type="checkbox"/> DVG (Dove Gray)	<input type="checkbox"/> PNC (Painted Natural Copper)	<input type="checkbox"/> TBZ (Textured Bronze)
<input type="checkbox"/> FLG (Flannel Gray)	<input type="checkbox"/> RD (Red)	<input type="checkbox"/> TGP (Textured Graphite)

Specialty Finishes

<input type="checkbox"/> GA (Galvanized)
<input type="checkbox"/> SA (Satin Aluminum)
<input type="checkbox"/> TNG (Tangerine)
<input type="checkbox"/> TTL (Tahitian Teal)
<input type="checkbox"/> WT (Gloss White)

Revised 06/01/2018



ANGLE REFLECTOR

Aluminum Shade
with Glass and Guard Options

Catalog #:

Project:

Date:

Type:

Notes:



Glass Enclosure

- Glass is available in clear (-CG), frosted (-FG) or opal (-OG)



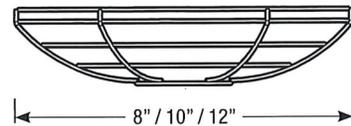
Cast Guard with Glass Enclosure

- Cast guard can be specified in all standard and specialized finishes, and will match shade finish unless otherwise specified (Note: For galvanized shade finishes, cast guard is unfinished Raw Aluminum)
- Glass is available in clear (-CGG), frosted (-FGG) or opal (-OGG)



Wire Cage with Glass Enclosure

- Wire cage can be specified in all standard and specialized finishes, and will match shade finish unless otherwise specified (Note: For galvanized shade finishes, wire cage is finished in Painted Natural Aluminum)
- Glass is available in clear (-CGWC), frosted (-FGWC) or opal (-OGWC)



Wire Guard (-WG)

- Wire cage can be specified in all standard and specialized finishes, and will match shade finish unless otherwise specified (Note: For galvanized shade finishes, wire guard is finished in Painted Natural Aluminum)

Revised 06/01/2018



ANGLE REFLECTOR

Aluminum Shade
with Glass and Guard Options

Catalog #:

Project:

Date:

Type:

Notes:

Arm Mount Order Matrix (Example: 2SL30RD)

Pipe	Arm Type	Finish	Coastal Coating Option	Input Voltage
<input type="checkbox"/> 2 (1/2" IP)	<input type="checkbox"/> SL23 (Small Loop - 23")	<input type="checkbox"/> ABL (Aegean Blue)	<input type="checkbox"/> (blank) (No coating)	<input type="checkbox"/> (blank) (120V)
<input type="checkbox"/> 3 (3/4" IP)	<input type="checkbox"/> SL30 (Small Loop - 30")	<input type="checkbox"/> BB (Burnished Bronze)	<input type="checkbox"/> -C (Coating)	<input type="checkbox"/> -27 (277V)
	<input type="checkbox"/> LL23 (Large Loop - 23")	<input type="checkbox"/> BK (Gloss Black)		
	<input type="checkbox"/> LL30 (Large Loop - 30")	<input type="checkbox"/> BLU (Blue)		
	<input type="checkbox"/> LC18 (Curve Arm - 18")	<input type="checkbox"/> DVG (Dove Gray)		
	<input type="checkbox"/> LC24 (Curve Arm - 24")	<input type="checkbox"/> FLG (Flannel Gray)		
	<input type="checkbox"/> LC30 (Curve Arm - 30")	<input type="checkbox"/> GA (Galvanized)		
	<input type="checkbox"/> LM18 (Miter Arm - 18")	<input type="checkbox"/> LG (Lime Green)		
	<input type="checkbox"/> LM24 (Miter Arm - 24")	<input type="checkbox"/> MB (Matte Black)		
	<input type="checkbox"/> LM30 (Miter Arm - 30")	<input type="checkbox"/> MBL (Midnight Blue)		
	<input type="checkbox"/> SA18 (Sign Arm - 18")	<input type="checkbox"/> PNA (Painted Natural Aluminum)		
	<input type="checkbox"/> SA23 (Sign Arm - 23")	<input type="checkbox"/> PNC (Painted Natural Copper)		
	<input type="checkbox"/> LSA23 (Large Loop Sign Arm - 23")	<input type="checkbox"/> RD (Red)		
	<input type="checkbox"/> LSA30 (Large Loop Sign Arm - 30")	<input type="checkbox"/> SA (Satin Aluminum)		
	<input type="checkbox"/> A6 (Straight Arm - 6")	<input type="checkbox"/> SGR (Sage Green)		
	<input type="checkbox"/> A12 (Straight Arm - 12")	<input type="checkbox"/> SGW (Semi Gloss White)		
	<input type="checkbox"/> A18 (Straight Arm - 18")	<input type="checkbox"/> SND (Sand)		
	<input type="checkbox"/> A24 (Straight Arm - 24")	<input type="checkbox"/> SS (Satin Silver)		
	<input type="checkbox"/> A30 (Straight Arm - 30")	<input type="checkbox"/> TBZ (Textured Bronze)		
	<input type="checkbox"/> MA18 (Modern Arm - 18")	<input type="checkbox"/> TGP (Textured Graphite)		
	<input type="checkbox"/> MA24 (Modern Arm - 24")	<input type="checkbox"/> TNG (Tangerine)		
	<input type="checkbox"/> MA30 (Modern Arm - 30")	<input type="checkbox"/> TTL (Tahitian Teal)		
		<input type="checkbox"/> WT (Gloss White)		

Standard Finishes

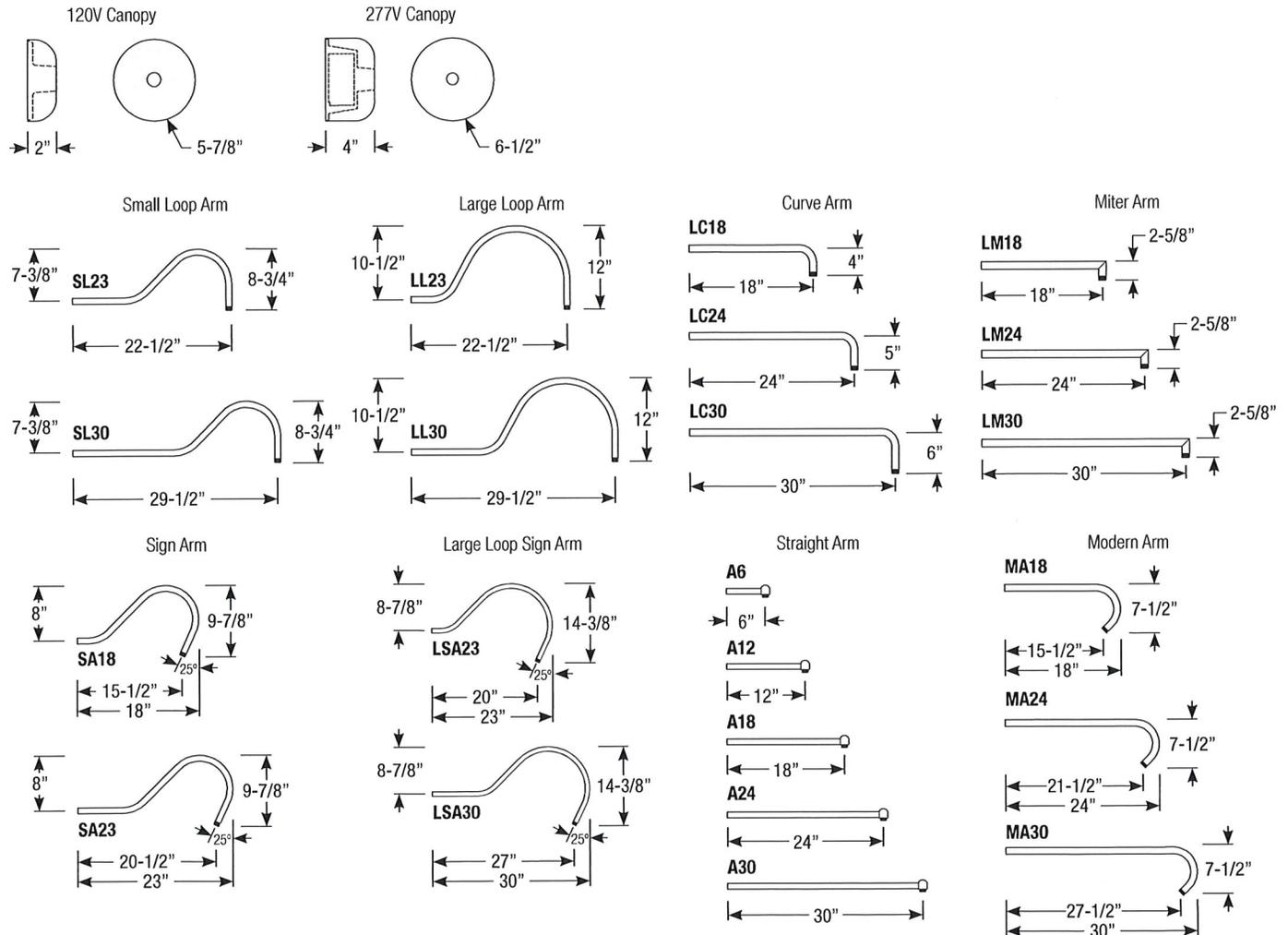
	ABL (Aegean Blue)		PNC (Painted Natural Copper)
	BB (Burnished Bronze)		RD (Red)
	BK (Gloss Black)		SGR (Sage Green)
	BLU (Blue)		SGW (Semi Gloss White)
	DVG (Dove Gray)		SND (Sand)
	FLG (Flannel Gray)		SS (Satin Silver)
	LG (Lime Green)		TBZ (Textured Bronze)
	MB (Matte Black)		TGP (Textured Graphite)
	MBL (Midnight Blue)		TNG (Tangerine)
	PNA (Painted Natural Aluminum)		TTL (Tahitian Teal)
	PNC (Painted Natural Copper)		WT (Gloss White)

Specialty Finishes

	GA (Galvanized)		SA (Satin Aluminum)
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4. Satin aluminum cannot be coated

Note: All arm mounts include canopy



Revised 06/01/2018



ANGLE REFLECTOR

Aluminum Shade
with Glass and Guard Options

Catalog #:

Project:

Date:

Type:

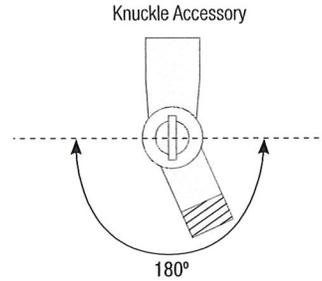
Notes:

Knuckle Accessory Order Matrix (Example: 2KNLRD)

Pipe	Finish	Finish	Coastal Coating Option
<input type="checkbox"/> 2 (1/2" IP)	KNL (Adjustable 180° Knuckle for Arm Mounts)	<input type="checkbox"/> ABL (Aegean Blue)	<input type="checkbox"/> (blank) (No coating)
<input type="radio"/> 3 (3/4" IP)		<input type="radio"/> BB (Burnished Bronze)	<input type="radio"/> -C* (Coating)
		<input type="radio"/> BK (Gloss Black)	
		<input type="radio"/> BLU (Blue)	
		<input type="radio"/> DVG (Dove Gray)	
		<input type="radio"/> FLG (Flannel Gray)	
		<input type="radio"/> GA (Galvanized)	
		<input type="radio"/> LG (Lime Green)	
		<input type="radio"/> MB (Matte Black)	
		<input type="radio"/> MBL (Midnight Blue)	
		<input type="radio"/> PNA (Painted Natural Aluminum)	
		<input type="radio"/> PNC (Painted Natural Copper)	
		<input type="radio"/> RD (Red)	
		<input type="radio"/> SA (Satin Aluminum)	
		<input type="radio"/> SGR (Sage Green)	
		<input type="radio"/> SGW (Semi Gloss White)	
		<input type="radio"/> SND (Sand)	
		<input type="radio"/> SS (Satin Silver)	
		<input type="radio"/> TBZ (Textured Bronze)	
		<input type="radio"/> TGP (Textured Graphite)	
		<input type="radio"/> TNG (Tangerine)	
		<input type="radio"/> TTL (Tahitian Teal)	
		<input type="radio"/> WT (Gloss White)	

Description

Adjustable knuckle for arm mounts that allow luminaire to be rotated up to 180°.



4. Satin aluminum cannot be coated

Standard Finishes

<input type="checkbox"/> ABL (Aegean Blue)	<input type="checkbox"/> PNC (Painted Natural Copper)
<input type="checkbox"/> BB (Burnished Bronze)	<input type="checkbox"/> RD (Red)
<input type="checkbox"/> BK (Gloss Black)	<input type="checkbox"/> SGR (Sage Green)
<input type="checkbox"/> BLU (Blue)	<input type="checkbox"/> SGW (Semi Gloss White)
<input type="checkbox"/> DVG (Dove Gray)	<input type="checkbox"/> SND (Sand)
<input type="checkbox"/> FLG (Flannel Gray)	<input type="checkbox"/> SS (Satin Silver)
<input type="checkbox"/> LG (Lime Green)	<input type="checkbox"/> TBZ (Textured Bronze)
<input type="checkbox"/> MB (Matte Black)	<input type="checkbox"/> TGP (Textured Graphite)
<input type="checkbox"/> MBL (Midnight Blue)	<input type="checkbox"/> TNG (Tangerine)
<input type="checkbox"/> PNA (Painted Natural Aluminum)	<input type="checkbox"/> TTL (Tahitian Teal)
	<input type="checkbox"/> WT (Gloss White)

Specialty Finishes

<input type="checkbox"/> GA (Galvanized)	<input type="checkbox"/> SA (Satin Aluminum)
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Revised 06/01/2018



ANGLE REFLECTOR

Aluminum Shade
with Glass and Guard Options

Catalog #:

Project:

Date:

Type:

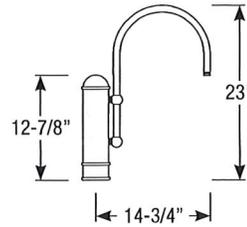
Notes:

Post / Wall Mount Order Matrix (Example: 2W1RD)

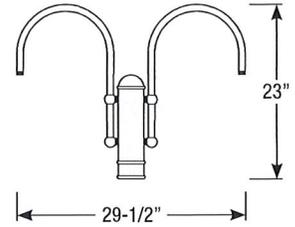
Pipe	Mount Type	Finish	Input Voltage
<input type="checkbox"/> 2 (1/2" IP)	<input type="checkbox"/> P1 (Single Post Mount)	<input type="checkbox"/> ABL (Aegean Blue)	<input type="checkbox"/> (blank) (120V)
	<input type="checkbox"/> P2 (Double Post Mount)	<input type="checkbox"/> BB (Burnished Bronze)	<input type="checkbox"/> -27 ⁵ (277V)
	<input type="checkbox"/> W1 (Traditional Wall Mount)	<input type="checkbox"/> BK (Gloss Black)	
		<input type="checkbox"/> BLU (Blue)	
		<input type="checkbox"/> DVG (Dove Gray)	
		<input type="checkbox"/> FLG (Flannel Gray)	
		<input type="checkbox"/> GA (Galvanized)	
		<input type="checkbox"/> LG (Lime Green)	
		<input type="checkbox"/> MB (Matte Black)	
		<input type="checkbox"/> MBL (Midnight Blue)	
		<input type="checkbox"/> PNA (Painted Natural Aluminum)	
		<input type="checkbox"/> PNC (Painted Natural Copper)	
		<input type="checkbox"/> RD (Red)	
		<input type="checkbox"/> SA (Satin Aluminum)	
		<input type="checkbox"/> SGR (Sage Green)	
		<input type="checkbox"/> SGW (Semi Gloss White)	
		<input type="checkbox"/> SND (Sand)	
		<input type="checkbox"/> SS (Satin Silver)	
		<input type="checkbox"/> TBZ (Textured Bronze)	
		<input type="checkbox"/> TGP (Textured Graphite)	
		<input type="checkbox"/> TNG (Tangerine)	
		<input type="checkbox"/> TTL (Tahitian Teal)	
		<input type="checkbox"/> WT (Gloss White)	

5. Post mount only

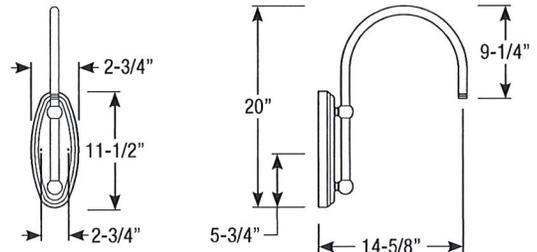
Single Post Mount



Double Post Mount



Traditional Wall Mount



Post Type Order Matrix (Example: P8683-96RD)

Post Type	Finish
<input type="checkbox"/> PM4946 (Cast Aluminum Post)	<input type="checkbox"/> ABL (Aegean Blue)
<input type="checkbox"/> P8683-96 (Cast Aluminum Base w/ 96" Aluminum Post)	<input type="checkbox"/> BB (Burnished Bronze)
<input type="checkbox"/> P8683-120 (Cast Aluminum Base w/ 120" Aluminum Post)	<input type="checkbox"/> BK (Gloss Black)
<input type="checkbox"/> P8684-96 (96" Straight Aluminum Post)	<input type="checkbox"/> BLU (Blue)
<input type="checkbox"/> P8684-120 (120" Straight Aluminum Post)	<input type="checkbox"/> DVG (Dove Gray)
<input type="checkbox"/> PM8685 (Cast Aluminum Pier Mount - must be used with straight aluminum post, P8683)	<input type="checkbox"/> FLG (Flannel Gray)
	<input type="checkbox"/> GA (Galvanized)
	<input type="checkbox"/> LG (Lime Green)
	<input type="checkbox"/> MB (Matte Black)
	<input type="checkbox"/> MBL (Midnight Blue)
	<input type="checkbox"/> PNA (Painted Natural Aluminum)
	<input type="checkbox"/> PNC (Painted Natural Copper)
	<input type="checkbox"/> RD (Red)
	<input type="checkbox"/> SA (Satin Aluminum)
	<input type="checkbox"/> SGR (Sage Green)
	<input type="checkbox"/> SGW (Semi Gloss White)
	<input type="checkbox"/> SND (Sand)
	<input type="checkbox"/> SS (Satin Silver)
	<input type="checkbox"/> TBZ (Textured Bronze)
	<input type="checkbox"/> TGP (Textured Graphite)
	<input type="checkbox"/> TNG (Tangerine)
	<input type="checkbox"/> TTL (Tahitian Teal)
	<input type="checkbox"/> WT (Gloss White)

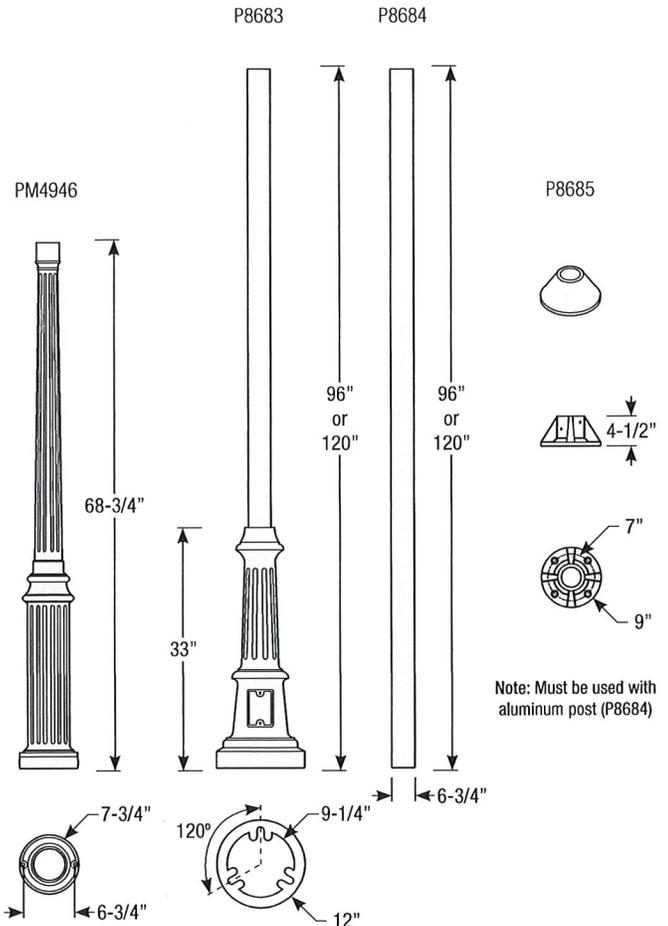
Standard Finishes

- | | |
|---|---|
| <input type="checkbox"/> ABL (Aegean Blue) | <input type="checkbox"/> PNC (Painted Natural Copper) |
| <input type="checkbox"/> BB (Burnished Bronze) | <input type="checkbox"/> RD (Red) |
| <input type="checkbox"/> BK (Gloss Black) | <input type="checkbox"/> SGR (Sage Green) |
| <input type="checkbox"/> BLU (Blue) | <input type="checkbox"/> SGW (Semi Gloss White) |
| <input type="checkbox"/> DVG (Dove Gray) | <input type="checkbox"/> SND (Sand) |
| <input type="checkbox"/> FLG (Flannel Gray) | <input type="checkbox"/> SS (Satin Silver) |
| <input type="checkbox"/> LG (Lime Green) | <input type="checkbox"/> TBZ (Textured Bronze) |
| <input type="checkbox"/> MB (Matte Black) | <input type="checkbox"/> TGP (Textured Graphite) |
| <input type="checkbox"/> MBL (Midnight Blue) | <input type="checkbox"/> TNG (Tangerine) |
| <input type="checkbox"/> PNA (Painted Natural Aluminum) | <input type="checkbox"/> TTL (Tahitian Teal) |
| | <input type="checkbox"/> WT (Gloss White) |

Specialty Finishes

- | | |
|--|--|
| <input type="checkbox"/> GA (Galvanized) | <input type="checkbox"/> SA (Satin Aluminum) |
|--|--|

Revised 06/01/2018





PLANNING COMMISSION / STAFF REPORT

CASE NUMBER: 2020-0626
REQUEST: Final Subdivision Plat
PROJECT: Belmont Place
MEETING DATE: June 3, 2020

APPLICANT/OWNER

Glenn Road Capital, LLC
6689 Dublin Center Drive
Dublin, Ohio 43017

REQUEST

2020-0626: A request by Glenn Road Capital LLC for approval of a Final Subdivision Plat for Belmont Place Section 8 containing five commercial out lots on approximately 12.88 acres zoned B-3 PMU (Community Business District with a Planned Mixed Use Overlay District) and located on Glenn Parkway and Peachblow Road.

PROPERTY LOCATION & DESCRIPTION

The subject properties are located on the east side of Glenn Parkway and north and south of Peachblow Road (four parcels north of Peachblow Road and one parcel south of Peachblow Road). The zoning of the subject properties, which is in Sub-Area A per the November 2018 rezoning (Ordinance 18-94), is B-3 PMU. The surrounding zoning to the north is B-3 PMU and the zoning to the east is R-6 and B-3 PMU in the City while the property to the west in the township is zoned I (Industrial District) and FR-1 (Farmland District) to the south. The subject development is located within the Delaware South New Community Authority, Evans Residential TIF District and Southern Point Commercial TIF District. Also, it is located within the southeast Highland Sanitary Sewer area.

BACKGROUND/PROPOSAL

On May 11, 2009 City Council approved Ordinance's 08-112 and 08-113 which approved a Conditional Use Permit and Rezoning adding a PMU Overlay District (Planned Mixed Use District) on the subject 109 acres. The PMU was divided into Sub Areas A & B which contained 62 and 47 acres respectively (now approximately 56 and 53 acres respectively). Sub Area A permits residential, office, retail services, communities' facilities and recreational/open space uses while Sub Area B permits residential, office, community facilities and recreational/open space uses.

In December 2013, Planning Commission and City Council approved Preliminary Development Plans and Preliminary Subdivision Plats (Ordinances 13-76 & 13-77) for Sections 1-3 which contained 74 single family lots on approximately 31.5 acres which also included a concept plan of today's Section 4 and 5. Then in March 2014, Planning Commission and City Council approved Final Development Plans for Sections 1-3 (Ordinance 14-16) and Final Subdivision Plat for Section 1 (Ordinance 14-17). Finally, in April 2016, Planning Commission and City Council approved Final Subdivision Plats for Sections 2 and 3 (Ordinances 16-30 & 16-31 respectively).

In June 2017, Planning Commission and City Council (Ordinances 17-45-48) approved a Preliminary Development Plan, Preliminary Subdivision Plat and Final Development Plan for Sections 4 and 5 and Final Subdivision Plat approval for Sections 4 which contained the remaining 21.5 acres of Sub-Area B with 72 single family lots which is located just north of Sections 1-3. Then in July 2018, Planning Commission and City Council approved the Final Subdivision Plat for Section 5.

In November 2018, Planning Commission and City Council approved a Development Text Amendment, Preliminary Development Plan and Preliminary Subdivision Plat for Sub-Area A (Ordinances 18-94-96), which contains approximately 50 acres and permits detached single family lots, attached single family/patio/condominium units, multi-family, commercial and office uses.

In May 2019, Planning Commission and City Council approved a Final Subdivision Plat and Final Development Plan for Sections 6 and 7 (Ordinances 19-22-25) which contained 48 single family lots on 18.48 acres and Section 7 would contain 53 single family lots on 20.46 acres.

Now the developer is proposing to advance the Final Subdivision Plat for the five commercial out lots in Section 8 which would contain the remaining approximately 12.89 acres of Belmont Place. When these out lots are developed in the future a Final Development Plan shall be required for each lot.

STAFF ANALYSIS

- **ZONING:** As mentioned above, the subject five out lots in Sub-Area A are zoned B-3 PMU. The zoning was amended in 2018 to allow the residential and commercial development. From a procedural perspective, Belmont Place Section 8 would require Final Subdivision Plat approval by the Planning Commission and City Council to initiate any construction. In addition, each out lot would require Final Development Plan approval by the Planning Commission and City Council when developed.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on a technical review by the Engineering Department once a complete plan set is submitted for review. Both water and sewer utilities would be public and would be extended through Section 8 to the furthest extent of the lot when developed. The storm sewer easement for lot 13167 shall be shown on the final plat.
- **ROADS AND ACCESS:** The proposed commercial development would have a full movement curb cut from Glenn Parkway at Crownover Way as the primary access point to the development. A private road located behind the four out lots would extend south from Crownover Way and end in a right-in/right-out on Peachblow Road. There shall be no access directly off Glenn Parkway to the commercial out lots but the possibility of a right-in/right-out only between out lot 2 and 3 may be revisited with the development of the out lots subject to City approval. If and when warranted, the City would install a traffic signal at the Glenn Parkway and Peachblow Road intersection and at Glenn Parkway at the northern most access point to the Belmont West Subdivision, per previous agreements.

Out lot 5, located south of Peachblow Road and fronting US 23, would have a full movement curb cut on Peachblow Road located just east of the retention pond and potentially a right-in/right-out curb cut located just west of retention pond depending on the type of development on lot 5 (this would be determined when the application for the subject site is submitted and reviewed by staff). The private street located on the east side of the four commercial out lots north of Peachblow Road would have to be constructed to public standards per the City Engineer.

- **SITE LAYOUT:** There are five proposed commercial out lots located along Glenn Parkway with four out lots located north of Peachblow Road (all approximately 1 acre in size) and one out lot located south of Peachblow Road which is 5.33 acres in size with an approximate 2.45 acre detention pond. The commercial out lots would have to meet the land use and bulk area and setback requirements of the approved development text. There is a reserve area behind out lots 1-4 (located east of the proposed private drive) which serves as a buffer for the residential single-family lots east of the commercial out lots and there is a retention pond located on the eastern portion of out lot 5, just south of Peachblow Road.
- **DESIGN:** The commercial buildings on the out lots would have to achieve compliance with the approved development text and would be reviewed during the Final Development Plan approval process for each out lot.
- **LANDSCAPING PLAN:** The majority of the infrastructure for the five out lots has been constructed and landscaping with the other approved sections. Therefore, the appropriate landscaping (including street trees along Glenn Parkway) would be required for each commercial out lot when they are approved through the Final Development Plan process. The buffering to the east of the out lots (east of the private drive) would be installed in Section 7. It is imperative that the Applicant coordinate the landscaping plan and street tree plan with the engineering site development plan so that the landscaping does not impeded visibility at intersections or the visibility of any traffic control signs. The Shade Tree Commission would have to review and approve any landscape plans in the Final Development Plan approval process.
- **TREE REMOVAL & REPLACEMENT:** In 2018, the applicant submitted a tree survey for Sub-Area A that indicates they are removing 79 caliper inches of trees with 19 caliper inches of trees considered dead, damaged or diseased. The proposed trees to be removed are located in out lot 4 of the commercial development. However, until the final site plan with grading for each lot is submitted and approved, the exact numbers of trees removed would not be determined. Therefore, any final tree replacement calculations would have to occur during the Final Development Plan process for the commercial out lots.

- **PEDESTRIAN CONNECTIVITY:** The applicant constructed a bike path along Peachblow Road along Section 1 of Belmont Place and the bike path shall be extended westward across Glenn Parkway per the adopted Bicycle and Pedestrians Master Plan 2027. The bike path shall extend west to Glenn Parkway along Peachblow Road (through commercial out lot 4) and shall be extended north and west through Reserve A to Glenn Parkway to connect to the City bike path network. A sidewalk shall be required along the frontage of the commercial out lots along Glenn Parkway when those lots are developed.
- **SIGNAGE:** Any signage for the commercial out lots shall achieve compliance with the approved development text and shall be submitted during the Final Development Plan process.
- **LIGHTING PLAN.** The lighting plans would be required for each commercial out lot prior to Final Development Plan approval that would have to achieve compliance with the zoning code and approved development text and be approved by the City.

STAFF RECOMMENDATION – (2020-0626 FINAL SUBDIVISION PLAT)

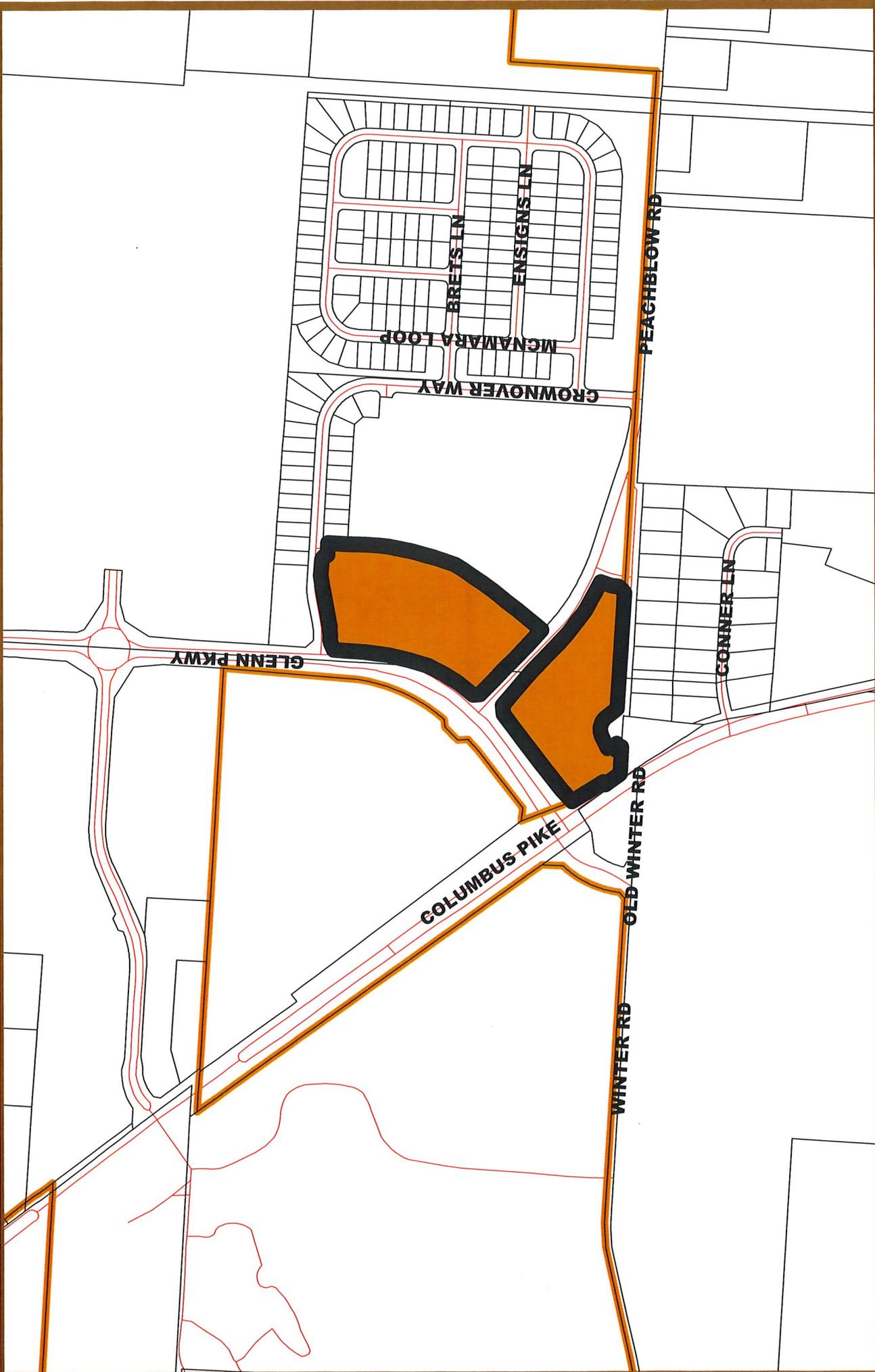
Staff recommends approval of a request by Glenn Road Capital LLC for a Final Subdivision Plat for Belmont Place Section 8 containing five commercial out lots on approximately 12.88 acres zoned B-3 PMU (Community Business District with a Planned Mixed Use Overlay District) and located on Glenn Parkway and Peachblow Road, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The private street located east of the commercial out lots shall be constructed to public standards per the City Engineer.
3. The off-site stormwater improvements shall comply with the minimum City and County regulations.
4. Both water and sewer utilities shall be public and shall be extended through Section 8 to the furthest extent of the lot when developed.
5. The storm sewer easement for lot 13167 (the lot south of Peachblow Road) shall be shown on the final plat per the City/Developer agreement.
6. The commercial buildings on the out lots shall achieve compliance with the development text and applicable sections of the current zoning code.
7. Any landscape plans shall be submitted and approved by the Shade Tree Commission.
8. Any tree removal and/or replacement requirements shall achieve compliance with Chapter 1168 Tree Preservation Regulations and shall be required prior to Final Development Plan approval for each commercial out lot.
9. The proposed bike path shall be extended west to Glenn Parkway along Peachblow Road (through commercial out lot 4) and shall be extended north and west through Reserve A to Glenn Parkway to connect to the City bike path network.
10. All lighting plans shall achieve compliance with the approved development text and current zoning code and be approved by the City during the Final Development Plan process for the commercial out lots.
11. Any signage for the commercial out lots shall achieve compliance with the approved development text and current zoning code.

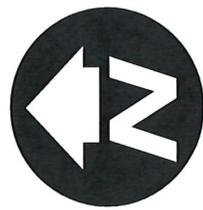
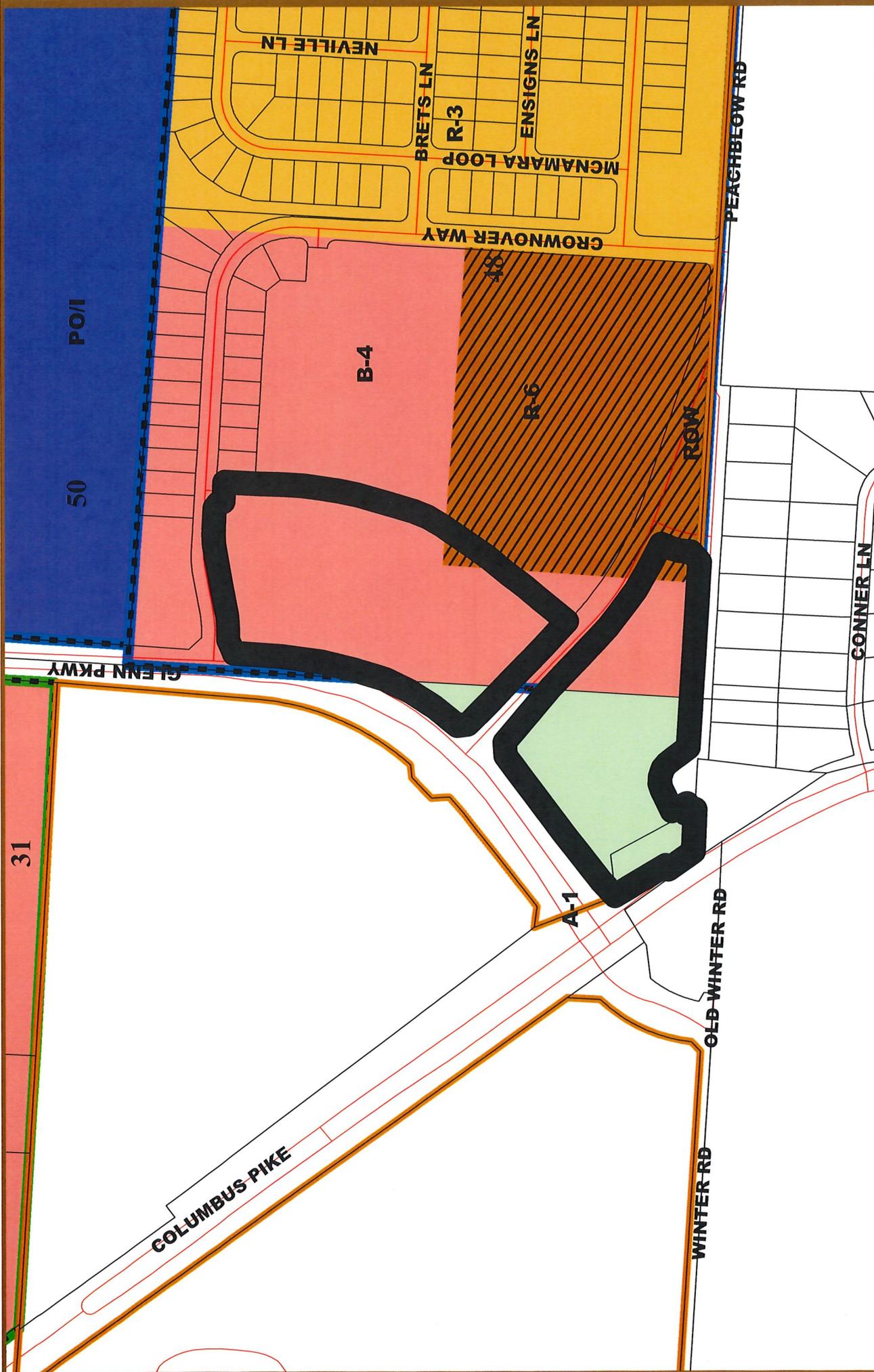
COMMISSION NOTES:

CASE NUMBER: 2020-0626
MEETING DATE: June 3, 2020
PAGE: Page 4 of 4

FILE:
ORIGINAL: 05/27/2020
REVISED:



2020-0626
Final Subdivision Plat
Belmont Place - Section 8
Location Map



2020-0626
 Final Subdivision Plat
 Belmont Place - Section 8
 Zoning Map





CROWNOVER WAY

PEACHBLOW RD

GLENN PKWY

COLUMBUS PIKE

COLUMBUS PIKE

WINTER RD



2020-0626
Final Subdivision Plat
Belmont Place - Section 8
Aerial (2016) Map





BELMONT PLACE

City of Delaware, Delaware County, Ohio

PRELIMINARY
DEVELOPMENT
PLAN

ILLUSTRATIVE SITE
PLAN

PREPARED FOR:
STAVROFF LAND &
DEVELOPMENT, LLC
5877 DUBIN CENTER PARK
DUBLIN, OHIO 43017



DATE:	SEPTEMBER 14, 2017
DESIGNED BY:	
CHECKED BY:	
APPROVED BY:	
SCALE:	
PROJECT:	



10/18/17 09:57 AM C:\Users\jstevens\Documents\Belmont Place\Drawings\Site Plan\Site Plan.dwg Plot by: jstevens, 10/18/17 09:57 AM

