

**CITY OF DELAWARE  
CITY COUNCIL  
MEETING TO BE HELD VIRTUALLY VIA CISCO Webex \*\*  
7:00 P.M. MEETING**

**AGENDA**

**7:00 P.M.**

**April 27, 2020**

1. ROLL CALL
2. INVOCATION Pastor Michael Curtis, Second Baptist Church
3. APPROVAL of the Motion Summary of the regular meeting of Council held on April 13, 2020, as recorded and transcribed.
4. CONSENT AGENDA
  - A. Acceptance of the Motion Summary of the Finance Committee meeting held on February 11, 2020, as recorded and transcribed.
5. LETTERS, PETITIONS, AND PUBLIC COMMENTS

Due to the meeting being held virtually, public comment is requested to be received either before or during the meeting through email at [emccloskey@delawareohio.net](mailto:emccloskey@delawareohio.net). Comments received on Facebook may have to be addressed by staff subsequent to the meeting.
6. PRESENTATION
  - A. Proclamation recognizing Delaware General Health District and Health Commissioner Shelia Hiddleson
7. CONSIDERATION of Ordinance No. 20-26, an ordinance approving a Final Development Plan for Delaware General Health District for a New Office Building at 470 South Sandusky Street on approximately 9.4 acres on property zoned PO/I (Planned Office/Institutional District).
8. CONSIDERATION of Ordinance No. 20-27, an ordinance approving a Final Development Plan for Delaware Development Plan LTD, for a Mixed-Use Commercial/Office Building on Lot 12724 within Sub-Area 6 of Coughlin's Crossing on approximately 2.641 acres located east of US 23, west of Coughlin Lane and just north of Hawthorn Boulevard and zoned A-1 PMU (Agricultural with a Planned Mixed-Use Overlay District).
9. CONSIDERATION of Ordinance No. 20-28, an ordinance approving a Final Development Plan for Delaware Development Plan LTD., for two Mixed-Use Commercial/Office Building within Sub-Area 5 of Coughlin's Crossing on approximately 5.752 acres located east of US 23, west of

Coughlin Lane and just south of Hawthorn Boulevard and zoned A-1 PMU (Agricultural with a Planned Mixed-Use Overlay District).

10. FINANCE DIRECTOR'S REPORT
11. CITY MANAGER'S REPORT & COVID-19 UPDATE:
  - A. John Donahue, Fire Chief
  - B. Bruce Pijanowski, Police Chief
  - C. Sean Hughes, Economic Development Director
12. COUNCIL COMMENTS
13. ADJOURNMENT

\*\* This meeting will be a virtual meeting. Residents are encouraged to view online through the City of Delaware Facebook page. To comply with the CDC recommendation prohibiting group meetings, no in person attendance by Council, staff, or the public will be available.

# RECORD OF PROCEEDINGS

BEAR GRAPHICS 800-325-8094 FORM NO. 10148

Held April 13 20 20

The regular meeting of Council was held April 13, 2020 and was called to order at 7:00 p.m. and was held remotely through Cisco Webex and streamed Live through Facebook due to the State of Emergency – Executive Order 2020-01D. The following members of Council were remotely present: First Ward Chris Jones, Second Ward Lisa Keller, Third Ward Cory Hoffman, Fourth Ward Drew Farrell, At-Large George Hellinger, Vice-Mayor Kent Shafer and Mayor Riggle who presided. The invocation was delivered by Reverend Jon Powers followed by the Pledge of Allegiance.

Staff Present Remotely: Sean Hughes, Economic Development Director, Justin Nahvi, Finance Director, Darren Shulman, City Attorney, Bruce Pijanowski, Police Chief, John Donahue, Fire Chief, Blake Jordan, Public Utilities Director, Kyle Kridler, Assistant City Manager, and Tom Homan, City Manager

**ITEM 4: APPROVAL OF MINUTES**

APPROVAL of the Motion Summary of the regular meeting of Council held on March 23, 2020, as recorded and transcribed.

APPROVAL of the Motion Summary of the special meeting of Council held on March 18, 2020, as recorded and transcribed.

**Motion:** Vice-Mayor Shafer motioned to approve the Motion Summaries of the regular meeting of Council held on March 23, 2020, and the special meeting held on March 18, 2020, as recorded and transcribed, seconded by Mr. Jones. Motion approved by a 7-0 vote.

**ITEM 5: LETTERS, PETITIONS, AND PUBLIC COMMENTS**

Tom Wolber  
Public Comment received via email

The Clerk read the email submitted by Mr. Wolber into the record. Mr. Wolber discussed the recommendation to discuss Section 505.15 of the Codified Ordinances to allow for chickens and gardens.

**ITEM 6: RESOLUTION NO. 20-30** [First Reading]

A RESOLUTION AUTHORIZING THE CITY MANAGER TO AMEND THE LEASE WITH DELAWARE COMMUNITY SPACE, LLC TO DEFER PAYMENTS CONSISTENT WITH THE GOVERNOR'S EXECUTIVE ORDER 2020-08D.

The Clerk read the resolution for the first time. Mrs. Keller informed Council that she would abstain from the vote due to having membership with CoHatch.

Mr. Hughes discussed the resolution to help defer payments for the CoHatch lease for 90 days which is consistent with the Governors Executive Order 202-08D. He discussed after 90 days staff will work with CoHatch on repayment.

**APPLICANT:**

Matt Davis  
Via Cisco Webex

Mr. Davis discussed the small businesses inside his business. He

# RECORD OF PROCEEDINGS

Minutes of

Delaware City Council

Meeting

BEAR GRAPHICS 800-325-8094 FORM NO. 10148

Held April 13 20 20

discussed their efforts to help their tenants during this time but has seen 30-40% businesses go from thriving to zero revenue. He will be working with individual tenants on their needs.

**Motion:** Vice-Mayor Shafer motioned to adopt Resolution No. 20-30, seconded by Mr. Farrell. Motion approved by a 6-0-1 (Keller) vote.

**ITEM 7: RESOLUTION NO. 20-31** [First Reading]

A RESOLUTION AUTHORIZING THE CITY MANAGER TO ESTABLISH A COVID-19 UTILITY ASSISTANCE PROGRAM.

The Clerk read the resolution for the first time.

Mr. Nahvi discussed the purpose of the legislation with a first round of allocation to those residents that are unable to pay their bill due to the impact of COVID-19. He discussed plans to waive credit card fees and repayment schedules. He discussed that there will be an application to apply for assistance for the months of April and May. Mr. Homan discussed conversation that was held with the United Way on the assistance program.

**Motion:** Vice-Mayor Shafer motioned adopt Resolution No. 20-31, seconded by Mrs. Keller. Motion approved by a 7-0 vote.

**ITEM 8: CITY MANAGER'S REPORT**

Mr. Homan reminded Council of the upcoming Finance Committee meeting to look at a strategy to address the fiscal impact to the City relating to the COVID-19 situation.

A. Fire Chief John Donahue

Chief Donahue discussed the efforts led by Delaware City Schools and the Health District to work with the City. He discussed the current goals of the Fire Department. He reviewed operational changes during the time and preventative measures the department is using to prevent exposure. Currently he has no staff placed in quarantined.

B. Police Chief Bruce Pijanowski

Chief Pijanowski discussed meeting operational goals to maintain accessibility, maintain emergency response, and maintain visible response. He discussed updates on mental health services and domestic violence concerns.

C. Ted Miller, Parks and Natural Resource Director

Mr. Miller discussed efforts to encourage social distancing. He informed Council that the trails are open. An update was provided regarding Spring Sports activities with plans to cancel recreational sports. Also canceled were social events such as the Mother Son Super-Hero Party, Easter Egg Hunt, Safety Town and other recreational events. He discussed the closing of playgrounds, dog park and golf course. The opening of the pool will depend on social distancing requirements. Mr. Miller provided an update regarding the Recreation Needs Assessment Survey that will be randomly

# RECORD OF PROCEEDINGS

Minutes of

Delaware City Council

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BEAR GRAPHICS 800-325-6094 FORM NO. 10148

Held April 13 20 20

sent out to residents and opportunities for residents to participate that do not receive surveys.

## **ITEM 9: COUNCIL COMMENTS**

Mr. Jones thanked staff for their efforts.

Mrs. Keller discussed concerns over the lack of information received by the State Government to Local Government on the plans for moving forward and reopening of the City.

Mr. Hoffman discussed concerns over lack of testing and the need for the City to participate in the testing to help reopen up the economy. He praised staff for their efforts and the continued status reports.

Mr. Farrell thanked staff for their hard work.

Mr. Hellinger discussed the issue of not having a pandemic recently to give a baseline to work off on. He discussed that this event is a learning process.

Vice-Mayor Shafer discussed the need to find a balance to keep people safe and keep businesses running.

Mayor Riggle discussed the initiative to go out at 7:00 p.m. starting April 14 and bang pots and pans, make signs, and to show ways to support our first responders and essential employees. She encouraged staff and Council to help lead the efforts.

## **ITEM 10: ADJOURNMENT**

**Motion:** Mayor Riggle motioned to adjourn the meeting. The meeting adjourned at 8:08 p.m.

\_\_\_\_\_  
Mayor Carolyn Kay Riggle

\_\_\_\_\_  
Elaine McCloskey, Council Clerk

**FINANCE COMMITTEE  
MOTION SUMMARY  
February 11, 2020**

ITEM 1. Roll Call

Chairman Hellinger called the Finance Committee meeting to order at 4:30 p.m.

Members Present: Vice-Mayor Kent Shafer, Vice-Chairman Chris Jones and Chairman George Hellinger

Staff Present: Justin Nahvi, Finance Director, Rob Alger, City Accountant, Alycia Ballone, Budget Analyst

ITEM 2. Approval of the Motion Summary for the meeting held August 19, 2019 as recorded and transcribed.

**Motion:** Vice-Mayor Shafer moved to approve the Motion Summary from August 19, 2019, as recorded and transcribed, seconded by Vice-Chairman Jones. Motion approved by a 3-0 vote.

ITEM 3. REVIEW of 2019 Year-End Financial Report and January 2020 Financial Report

Mr. Nahvi discussed the General Fund Ending Balance for 2019 at \$6,229,721, which was an increase of 1.05 million from the beginning of 2019. He discussed increases in revenues from 2018 to 2019 in the Street Maintenance and Repair Operating Fund, which was related to the funds received from the gas tax. Total expenditures other Operating Funds was at \$39,563,413 which was down from 2018. Total cash funds increased from 2018 which was related to Fire/EMS Fund, Water, Sewer, and Water and Sewer Capacity Fund. He compared the 2009 General Fund Revenue with 2019 and total income taxes collected accounted for about 67% of all revenue. Most of General Fund Expenditures are allocated to Police/911 services in the past decade. He reviewed the overall revenues by source and that there was a decline in engineering fees reimbursement. These declines were off set by capacity fees. Ms. Ballone discussed the changes in the billing of engineering fees in 2019.

A discussion was held regarding the increase in fuel sales at the airport compared to 2018. The General Fund subsidy to the airport is around \$30,000. Mr. Nahvi discussed that this subsidy has been consistent since 2017. Mr. Homan discussed the expected timeline to receive the report on the Airport Strategic Plan. Mr. Jones questioned the decline in gross profit over the past four years.

Mr. Nahvi provided information on the Golf Course Fund, and discussion of the transition of payroll from one position to a different fund and created a positive cash flow. Information was provided on the enterprise funds. He discussed the total outstanding debt, which much of the debt is contributed to water and waste-water debt, recreation debt, and general obligations. A discussion on self-funded health insurance. Staff is evaluating the best plans for future health care to determine best savings.

Mr. Nahvi reviewed the January 2020 Finance Report. He discussed the income tax was up approx. 6%. Prosecutor reimbursements were not received in January but was received in February and will be included in the February report. This reflected in a decline in the General Fund. General Fund Expenditures decline was related to no transfer to the general fund to other operating funds in January. The February report will reflect this transfer. He reviewed the past three year of income tax revenues included individual withholdings, business and personal withholdings. The Committee reviewed a new format for future reports and were supportive of the change and feels the addition of a narrative will be helpful.

#### ITEM 4. DISCUSSION of Transportation Funding Options

Mr. Nahvi summarized the current funding and expenditures for roadway maintenance. The current deficit for funding for paving is approximately \$1.6 million which was identified by Public Works. He discussed the roadway maintenance policy for the City of Marysville, which is generally 1/25<sup>th</sup> of streets should be paved every year. It was recommended that bids for paving should be issued no later than February of each year to attain cheaper pricing.

Funding mechanisms to reduce or eliminate the deficit for paving was discussed with four different potential scenarios. The first mechanism would be the reduction by Council of the Income Tax Credit. This reduction in the credit would secondarily increase annual income tax collections for the Fire/EMS and Recreation portions of the overall tax rate. The second mechanism would be to seek voter approval for a property tax levy. Mr. Nahvi discussed that a 1 mill dedicated to annual paving levy would generate an additional \$892,950 and cost \$87 per year for a residential unit valued at \$249,500. The third mechanism would be a reallocation by Council of inside millage. The final mechanism presented was a special assessment for Road Maintenance.

Ms. Ballone discussed the special assessment and discussed research from a case study in Sheboygan, WI. The program would be a cost sharing program between the City and homeowners on the road needing pavement. Mr. Hellinger discussed his preference to eliminate the tax credit and request voters to reduce the fire/ems fund. Mr. Jones discussed reducing the reserve fund percentage. Vice-Mayor Shafer discussed needing to put the funding to the public to provide their voice. Mr. Homan discussed the cost to the City for a special election and

that the cost has significantly increased. The Committee discussed the best timeline for the issue to be placed on the ballot including discussion on the General Election of 2020 or the May Primary of 2021. Chairman Hellinger discussed the need to have a back up plan to residents if one plan fails then they are aware of the next options. Vice-Mayor Shafer recommended that the property tax levy be placed on the May 2021 ballot and not before due to the upcoming school levy renewals and the emotions of the presidential election. Chairman Hellinger recommended that the levy be at 2 mill to ensure funds are there to have a successful program. He discussed that state grants are not guaranteed funding and if the funds are not approved then there will still be a deficit. The Committee was in agreement to recommend a 2 mill. The Committee had a discussion relating to the permissive fee.

Vice-Chairman Jones exited the meeting at 5:27 p.m. Chairman Hellinger recommended that the recommendations of the Finance Committee regarding road maintenance be discussed at the March Work Session.

ITEM 5. Public Comments

There were no public comments.

ITEM 6. Member Comments

There were no other member comments.

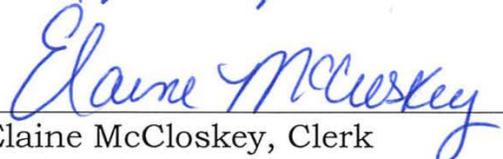
ITEM 7. Future Meeting Date

The Committee discussed having meetings every other month.

ITEM 8. Adjournment

**Motion:** Chairman Hellinger moved to adjourn the Finance Committee meeting. The Finance Committee meeting adjourned at 5:33 p.m.

  
\_\_\_\_\_  
Chairman

  
\_\_\_\_\_  
Elaine McCloskey, Clerk



## FACT SHEET

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AGENDA ITEM NO: 7

DATE: 04/27/2020

ORDINANCE NO: 20-26

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: NO

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TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN FOR DELAWARE GENERAL HEALTH DISTRICT FOR A NEW OFFICE BUILDING AT 470 SOUTH SANDUSKY STREET ON APPROXIMATELY 9.4 ACRES ON PROPERTY ZONED PO/I (PLANNED OFFICE/INSTITUTIONAL DISTRICT).

**BACKGROUND:**

See attached staff report.

**REASON WHY LEGISLATION IS NEEDED:**

To achieve compliance with Section 1129.05 Final Development Plan requirements of the zoning code.

**COMMITTEE RECOMMENDATION:**

Normally this item would be presented to the Planning Commission for review and then submitted to City Council. Under City Council's Emergency Ordinance 20-25, this case is being presented to City Council directly with the Planning Director's recommendation of approval. As always, City Council is free to approve, deny, amend or refer the case back to the Planning Commission for further review.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval

**ATTACHMENT(S)**

Staff Report

Emergency Ordinance 20-25

ORDINANCE NO. 20-26

AN ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN FOR DELAWARE GENERAL HEALTH DISTRICT FOR A NEW OFFICE BUILDING AT 470 SOUTH SANDUSKY STREET ON APPROXIMATELY 9.4 ACRES ON PROPERTY ZONED PO/I (PLANNED OFFICE/INSTITUTIONAL DISTRICT).

WHEREAS, under normal circumstances, this item would be presented to the Planning Commission for review and then submitted to City Council; under 20-25, Council's emergency ordinance (enclosed), this matter is being presented to Council directly with staff's recommendation for consideration; and

WHEREAS, City Council maintains the authority to approve, deny, amend, or refer the matter back to the Planning Commission for further review; and

WHEREAS, the Planning Director recommended approval based on emergency ordinance 20-25 of a Final Development Plan for Delaware General Health District for a New Office Building at 470 South Sandusky Street on approximately 9.4 acres on property zoned PO/I (Planned Office/Institutional District) (PC Case 2020-0519).

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Final Development Plan for Delaware General Health District for a New Office Building at 470 South Sandusky Street on approximately 9.4 acres on property zoned PO/I (Planned Office/Institutional District) is hereby confirmed, approved, and accepted with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The new office building shall utilize the existing northernmost curb cut from South Sandusky Street to access the development while the southernmost curb cut would be eliminated.
3. An emergency only curb cut shall extend from Magnolia Drive on the western portion of the site into the development. Bollards shall separate the emergency access drive from Magnolia Drive. (as approved by the Fire Department)

4. The dumpster and associated enclosure shall be enclosed by brick or stone that matches the building with wood doors painted or stained to match.
5. The subject development achieves compliance with Chapter 1168 Tree Preservation Requirements.
6. The 6-foot-high wood privacy fence in Phase 1 along the north and west property lines shall be installed prior to final building occupancy permit for the subject building.
7. The 6-foot-high privacy fence in Phase 2 along the south property line (adjacent to the existing single-family houses) shall be installed 1 year after the final building occupancy permit is approved.
8. To enhance screening along the northern property line in proximity to the proposed building, 40 evergreen trees a minimum 6 foot high at planting and spaced 10 feet apart along approximately 400 feet of the northern property line shall be installed prior to the final building occupancy permit for the subject building.
9. Any landscape plans shall be reviewed and approved by the Shade Tree Commission.
10. The lighting plan shall achieve compliance with the zoning code and approved by the City.
11. Any signage (building and ground) shall achieve compliance with the minimum zoning code requirements and the and the adopted Gateways & Corridors Plan.
12. The entire development shall achieve compliance with the minimum engineering, public works and fire department requirements.
13. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color.
14. The applicant shall submit all building elevations along with material and color samples for all building materials for staff review and approval.
15. The existing house shall to achieve compliance with the Ohio Building Code to be utilized for storage.
16. The Applicant shall provide a stormwater easement to the city along the south side of the property as required by the Public Utilities Department.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS\_\_\_NAYS\_\_\_  
ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2020

YEAS\_\_\_NAYS\_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR

**CASE NUMBER:** 2020-0591

**REQUEST:** Final Development Plan

**PROJECT:** Delaware General Health District

**MEETING DATE:** April 27, 2020

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**APPLICANT/OWNER**

Delaware County General Health District  
30 North Franklin Street  
Delaware, Ohio 43015

**REQUEST**

2020-0591: A request by the Delaware General Health District for approval of a Final Development Plan for a New Office Building at 470 South Sandusky Street on approximately 9.4 acres on property zoned PO/I (Planned Office/Institutional District).

**PROPERTY LOCATION & DESCRIPTION**

The subject 9.4 acre site is located on the west side of South Sandusky Street between English Terrace and Birch Bend at 470 South Sandusky Street. The subject site is zoned PO/I (Planned Office Institutional District) while the properties to the north and west are zoned R-3 (One-Family Residential District), the properties to the south are zoned R-3 and PO/I and the properties to the east are zoned B-3 (Community Business District).

**BACKGROUND/PROPOSAL**

In 2019, the Delaware General Health District purchased the property from Yogi Divine. This site was the former Leroy Jenkins property. The City razed the main Yogi Divine building in 2014 utilizing Moving Ohio Forward Grant money from the Ohio Attorney General's Office but the existing house on the western portion of the site was not razed.

The General Health District is moving from their current offices in downtown Delaware and are constructing a 30,000 square foot office building with the potential to expand by 10,000 square feet to accommodate their main offices at this location. The development would utilize the northern most existing curb cut on South Sandusky Street that would extend into a 212-space parking lot located east and west of the proposed building which is located in the center of the linear site. An emergency only access curb cut is located on Magnolia Drive at the western portion of the site. The existing house located on the western portion of the site would remain and be utilized for storage. A detention basin is located just south of the proposed building. In February 2020, the city approved a Preliminary Development Plan with conditions for the subject site.

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**STAFF ANALYSIS**

- **COMPREHENSIVE PLAN:** The Comprehensive Plan Future Land Use Map recommends a future land use of Institutional for the subject site in the Stratford Sub-Area which is consistent with proposed institutional use.
- **ZONING:** As previously mentioned, the zoning for the subject site is PO/I which permits an office use in this zoning district. The subject office use would require Final Development Plan approval by the city.
- **GENERAL ENGINEERING:** The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review. The Applicant shall provide a stormwater easement to the city along the south side of the property as required by the Public Utilities Department.
- **ROADS AND ACCESS:** The new office building would utilize the existing northernmost curb cut from South Sandusky Street to access the development which places it essentially at the apex of the rise in Sandusky St. facilitating safer site lines and traffic access than any other location along the frontage. The existing southernmost curb cut would be eliminated as a result. An emergency only curb cut would extend from Magnolia Drive on the western portion of the site into the development. Bollards (as approved by the Fire Department) would separate the emergency access drive from Magnolia Drive. Between the two aforementioned curb cuts is a 212-space parking lot that would provide access to three sides of office building. No traffic improvements would be required on South Sandusky Street per the City Engineer. Ultimately, the entire development would have to achieve compliance with the minimum engineering, public works and fire department requirements.

- **PEDESTRIAN CONNECTIVITY:** There are no proposed bike paths in this area per the adopted Bicycle and Pedestrian Master Plan 2017. However, there is an existing sidewalk along the frontage of the subject site along South Sandusky Street that would have to be maintained.
- **SITE CONFIGURATION:** The proposed one story 30,000 square foot office building is located in the center of the linear 9.4 acres site with the main access to the site from South Sandusky Street and an emergency access only curb cut on Magnolia Drive. The main entrance into the building is on the east elevation while there are secondary entrances on the north and west elevations. The plans identify a future 10,000 square foot expansion on the southwestern portion of the proposed building. The site would have 212 parking spaces (while only 150 parking spaces are required for an office use) with public spaces located east of the building and employee and fleet vehicle spaces located west of the building. The existing house just west of the proposed building would remain and be utilized as storage. The existing house would have to achieve compliance with the Ohio Building Code to be utilized for storage. Currently the house is approved for a residential use only from a building code perspective. A dumpster and associated enclosure are located just west of the building. The dumpster and associated enclosure shall be enclosed by a brick or stone wall that matches the building with wood doors painted or stained to match. A detention basin is located just south of the building. Along the northern and western property lines are a hodgepodge of chain link and privacy fences that will be removed. The applicant is proposing a 6-foot-high wood privacy fence along the north, west and south property lines to screen the existing single-family houses. As discussed during the Preliminary Development Plan approvals, the Applicant would likely desire to install this fence in 2 phases with the northern and western portions being constructed initially and the southern portions being constructed thereafter.
- **TREE REMOVAL & REPLACEMENT:** The applicant identified 287.5 caliper inches of trees 6 inches in caliper or larger to be removed in the project. A review by the City Arborist determined all the trees proposed to be removed are in poor condition or dead, damaged or diseased. Therefore, no tree replacement is required per Chapter 1168 Tree Preservation Requirements. In addition, the City Arborist indicated several of the trees being preserved are in poor condition or dead, damaged or diseased and should be removed. The applicant should work with the City to identify the trees that should be removed and remove them during the construction process.
- **LANDSCAPING & SCREENING:** The applicant provided a landscape and screening plan that achieves compliance with the zoning code. The applicant is installing a 6-foot-high wood privacy fence along the north, west and south perimeters of the site adjacent to the existing single-family houses per the zoning code. The applicant would request that the fence would be installed in 2 phases. In Phase 1 it would be installed along the north and west property lines prior to final building occupancy permit for the subject building while in Phase 2 it would be installed along the south property line within 1 year after the final building occupancy permit is approved. The single family houses along the southern property line are further away from the subject building and a minimum 80 feet from the parking lot while the single family houses along the northern and western property lines are significantly closer to the building and parking lot (the majority of the houses are approximately 20 feet from the parking lot). Also and in an effort to replant some of the trees that are being removed as well as provide additional buffering toward the single family residences that are closest to the building, staff is recommending 40 evergreen trees a minimum 6 foot high at planting and spaced 10 feet apart along the north property line (between the fence and the driveway/parking lot) immediately to the north of the proposed building. This would provide additional screening along approximately 400 feet of the northern property line to screen the proposed building from the existing single family houses to the north (this screen would be most effective in the future when the evergreen trees mature). Again, the fence is what is required by code and will provide good screening along all property lines when complete. The applicant is proposing the required 7 street trees along South Sandusky Street, but they would not survive because of the existing tree line (front yard trees) located along the street frontage. Staff would recommend allocating the budget for these trees to the staff recommended trees along the northern property line. All landscaping plans shall be reviewed and approved by the Shade Tree Commission.
- **GATEWAYS & CORRIDORS PLAN:** At this time, the applicant is not proposing any signage but all signage (building and ground) would have to achieve compliance with the minimum zoning code requirements and the adopted Gateways & Corridors Plan.

- **LIGHTING:** The applicant provided a lighting plan that identifies 11 light poles throughout the parking lot that would be 20 feet high with cut off style light fixtures. All the light poles would be required to be black. Also, they are also identifying lighting on the building. All lighting plans would need to be submitted, reviewed and approved by the City that achieves compliance with the minimum zoning requirements.
- **BUILDING DESIGN:** The owner is proposing a one-story 30,000 square foot modern style building with a shed roof that extends into a gable style appearance. The main entrance would be on the east elevation fronting South Sandusky Street. The main entrance would have aluminum storefront double doors and window system with an expanse of windows above the main entrance. The east (front) and north elevation would have a Delaware blue vein wainscoting while the walls of the entire building would be comprised of tan vertical metal panels. Given that the north side of building, if the recommendations of Staff are adopted, would essentially only be visible from close up and on site over time, and given that Staff is aware of the overall budget restraints expressed by the applicant, Staff would suggest that removing the stone wainscoting from the north side of the structure would not be detrimental to the overall design and would potentially allow for some additional trees therefore along the north property line. The shed roof would be pitched from north to south to create an aesthetic entrance design feature. The front elevation would have several bays off windows to provide light for the office uses. The north elevation would have a secondary entrance with a canopy for vehicles near the rear of the building with several bays of windows along the eastern portion of the elevation. The south elevation would have a secondary entrance with a large expanse of glass bookended by a bay of windows to provide an abundance of natural light on this elevation. The western elevation would serve as the of rear of the building from a function perspective and have an overhead door, man doors and windows. The pitched roof would be comprised of metal with several skylights to provide natural light to the entire building. The mechanical equipment on the roof appears to be screened from public view by louvers. The unique modern architecture design appears to provide an abundance of natural light to the office use and appears to achieve compliance with the City design guidelines for this intuitional use. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color. Also, the applicant shall submit all building elevations along with material and color samples for all building materials for staff review and approval. Overall, staff is very supportive of this use on this site which would continue the South Sandusky Street rejuvenation and provide an anchor institution to the area.

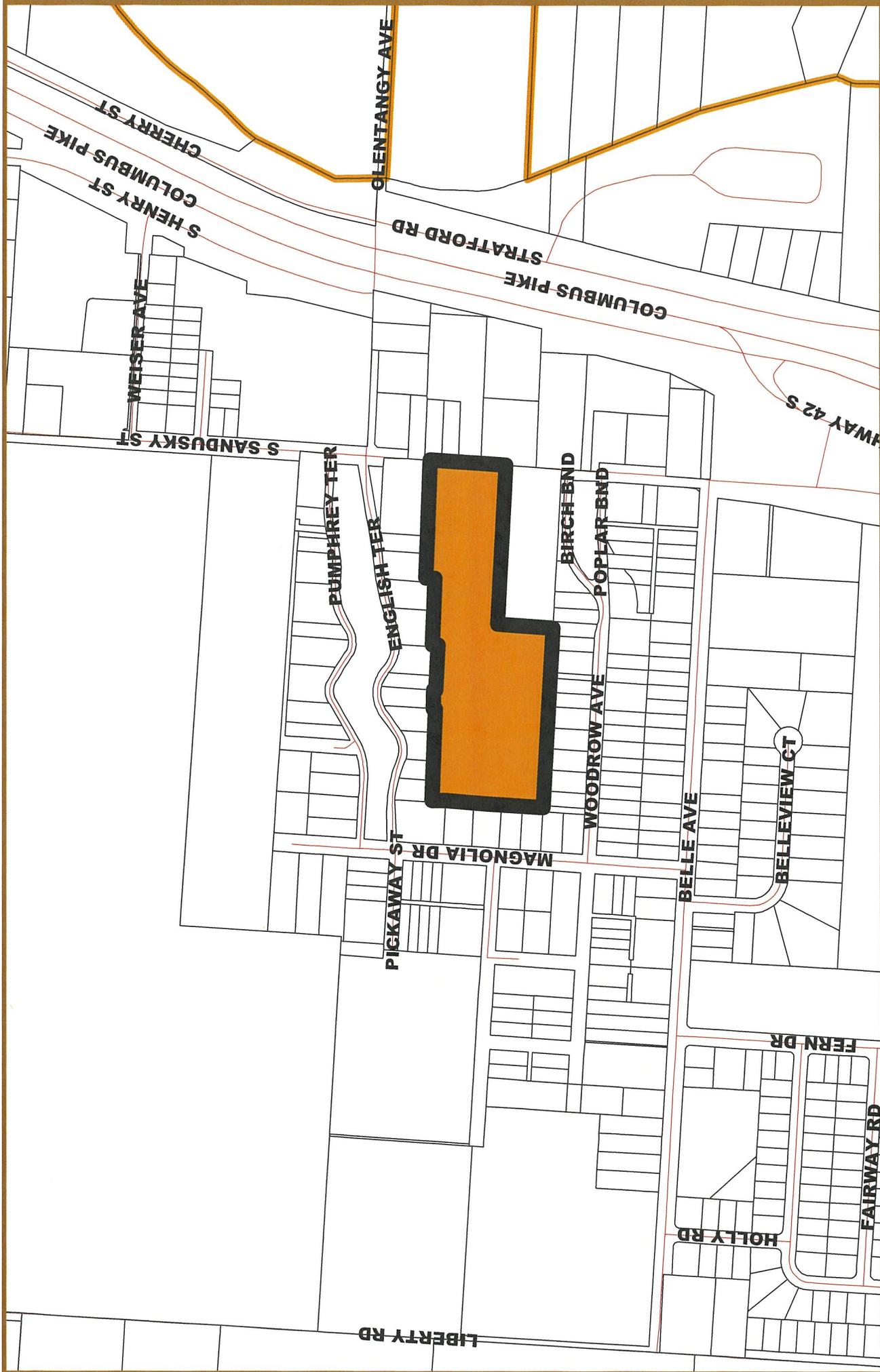
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**STAFF RECOMMENDATION (2020-0591– FINAL DEVELOPMENT PLAN)**

Staff recommends approval of a request by the Delaware General Health District for a Final Development Plan for a New Office Building at 470 South Sandusky Street on approximately 9.4 acres on property zoned PO/I (Planned Office/Institutional District), with the following conditions that:

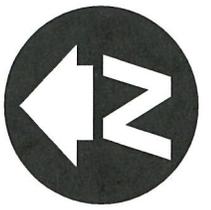
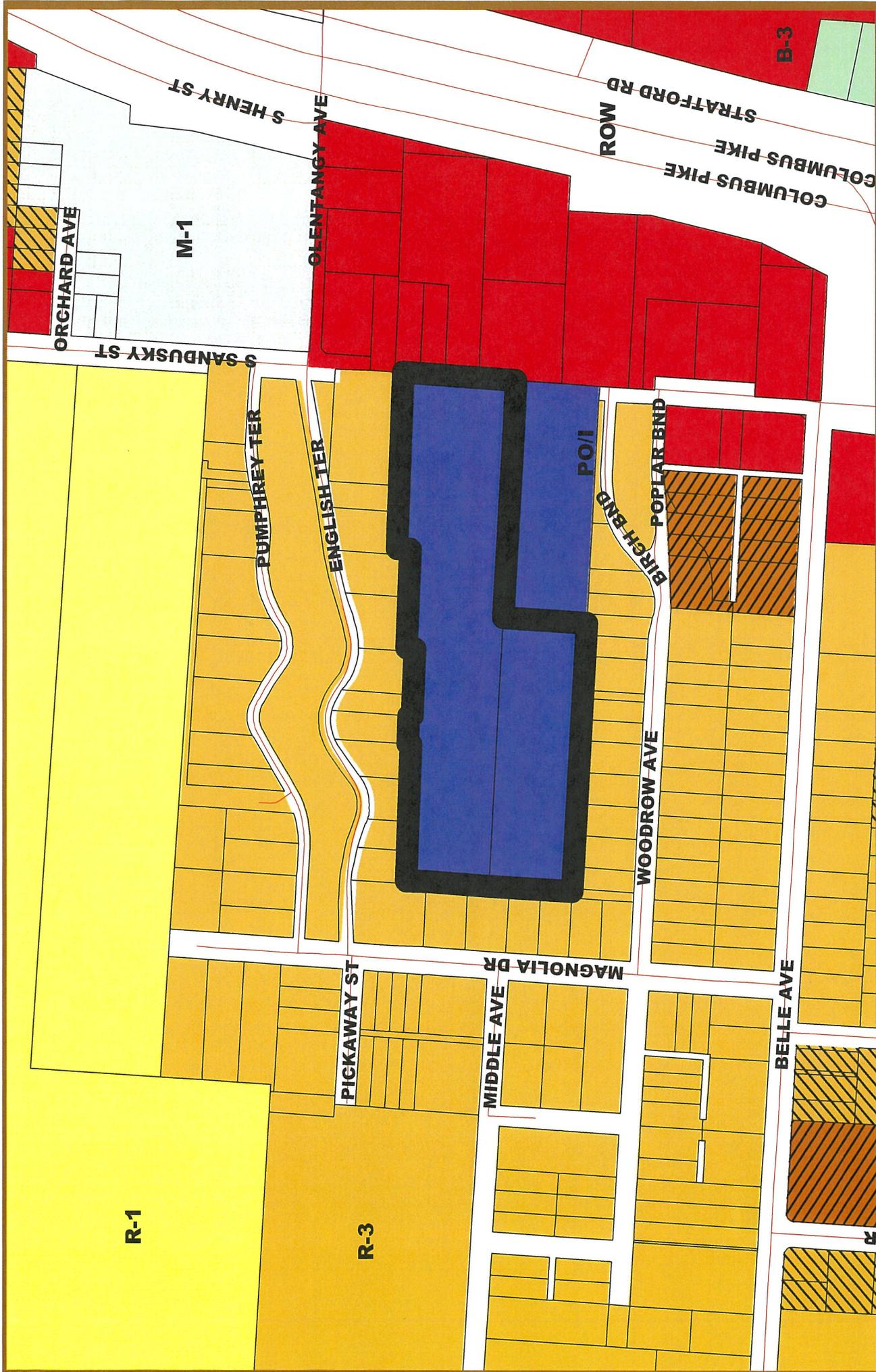
1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The new office building shall utilize the existing northernmost curb cut from South Sandusky Street to access the development while the southernmost curb cut would be eliminated.
3. An emergency only curb cut shall extend from Magnolia Drive on the western portion of the site into the development. Bollards shall separate the emergency access drive from Magnolia Drive. (as approved by the Fire Department)
4. The dumpster and associated enclosure shall be enclosed by brick or stone that matches the building with wood doors painted or stained to match.
5. The subject development achieves compliance with Chapter 1168 Tree Preservation Requirements.
6. The 6-foot-high wood privacy fence in Phase 1 along the north and west property lines shall be installed prior to final building occupancy permit for the subject building.
7. The 6-foot-high privacy fence in Phase 2 along the south property line (adjacent to the existing single-family houses) shall be installed 1 year after the final building occupancy permit is approved.





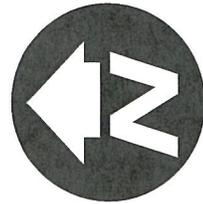
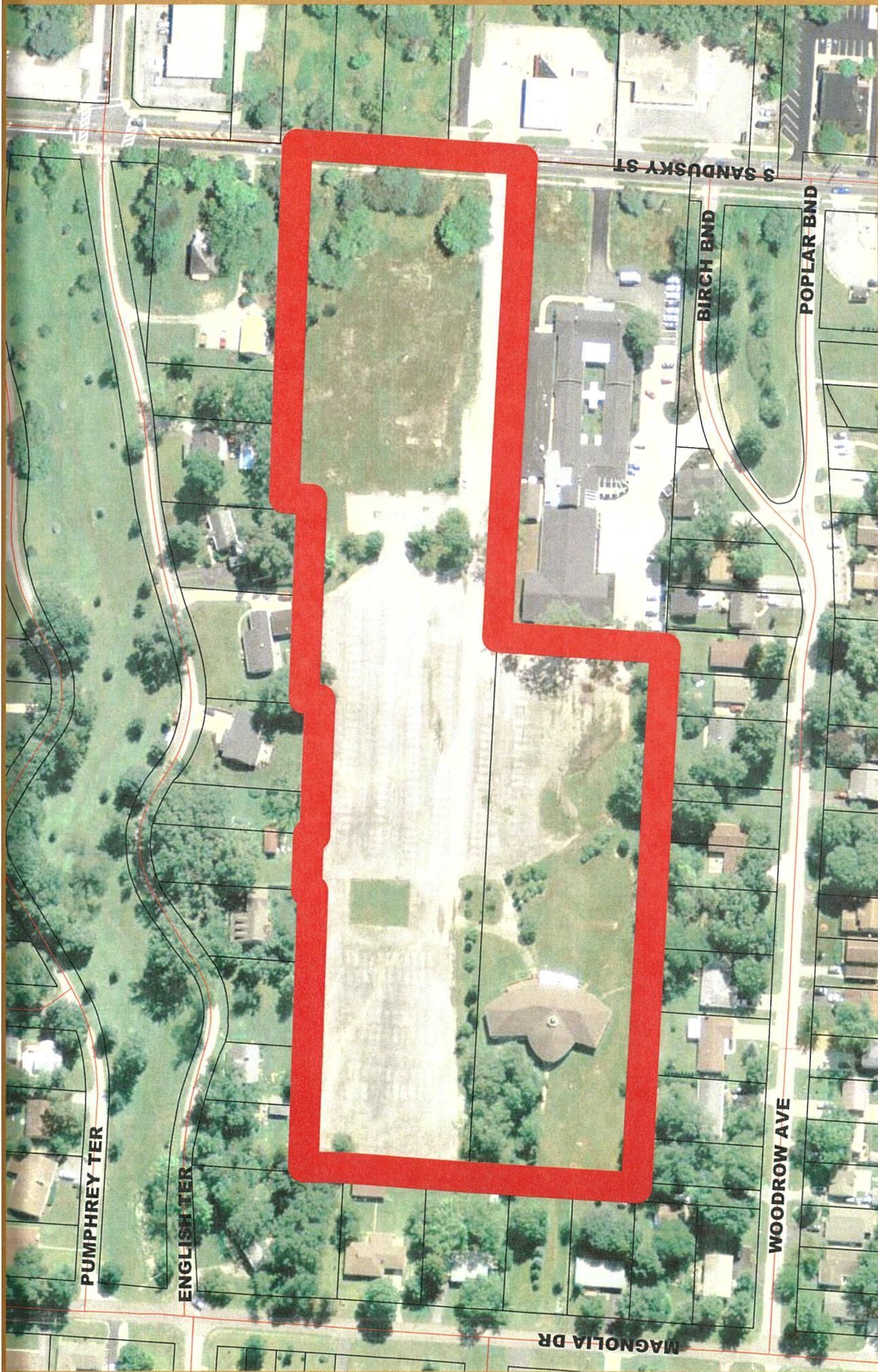
2020-0591  
 Final Development Plan  
 Delaware General Health District - 470 South Sandusky Street  
 Location Map





2020-0591  
 Final Development Plan  
 Delaware General Health District - 470 South Sandusky Street  
 Zoning Map





2020-0591  
Final Development Plan  
Delaware General Health District - 470 South Sandusky Street  
Aerial (2016) Map













**DELAWARE PUBLIC HEALTH DISTRICT**  
**NEW HEADQUARTERS BUILDING**  
 400 S. SPRUCE STREET  
 COLUMBIA, OHIO 43215  
 DELAWARE, OHIO 43001

**MOODY ENGINEERING**  
 300 SPRUCE STREET  
 400 S. SPRUCE ST  
 COLUMBIA, OHIO 43215  
 P: 614 280 8890  
 MOODY-ENG.COM

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Doc. Cont.: JKL    Job Cont.: MIRA1903

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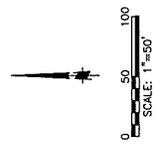
**SITE DEMOLITION PLAN**

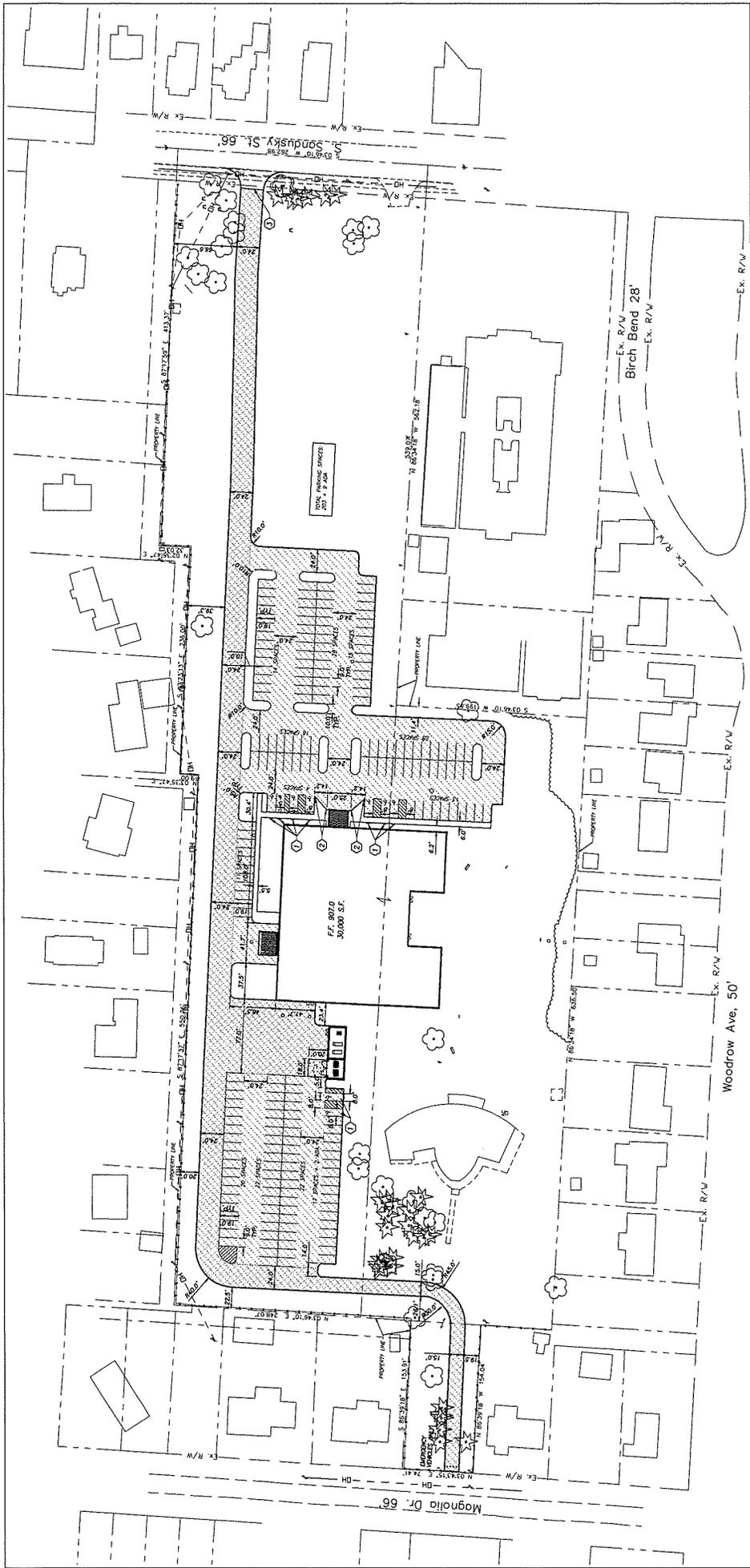
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DEVELOPMENT PLAN    MARCH 2020

TREES TO BE REMOVED
PINE TREE (HEIGHTS)
10', 10.5', 9', 10'
DECIDUOUS TREE (DIAMETERS)
16", 12", 14.5", 17.5", 17", 19", 12", 27", 14.5", 9", 11", 12", 21", 10", 10", 11.5"

- LEGEND**
- ASPHALT PAVEMENT TO BE REMOVED
  - CONCRETE TO BE REMOVED
  - GRAVEL TO BE REMOVED
- CODED NOTES**
- ① EX. STONE PLANTER TO BE REMOVED
  - ② TREES AND SHRUBS TO BE REMOVED
  - (SYMBOL OF TREE) (OWNER OF TREE)







**DELAWARE PUBLIC HEALTH DISTRICT**  
**NEW HEADQUARTERS BUILDING**  
 Delaware General Health District  
 405 S. SANDUSKY ST.  
 COLUMBIA, OHIO 43015

**MOODY ENGINEERS**  
 100 W. STATE STREET  
 SUITE 200  
 COLUMBIA, OHIO 43215  
 P. 614.280.8999  
 MOODY-ENG.COM

Drg. Coord.: J.L. Tech. Coord.:  
 MW# 19973

**6**

**SITE LAYOUT PLAN**

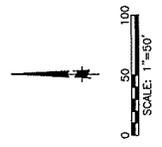
DEVELOPMENT PLAN

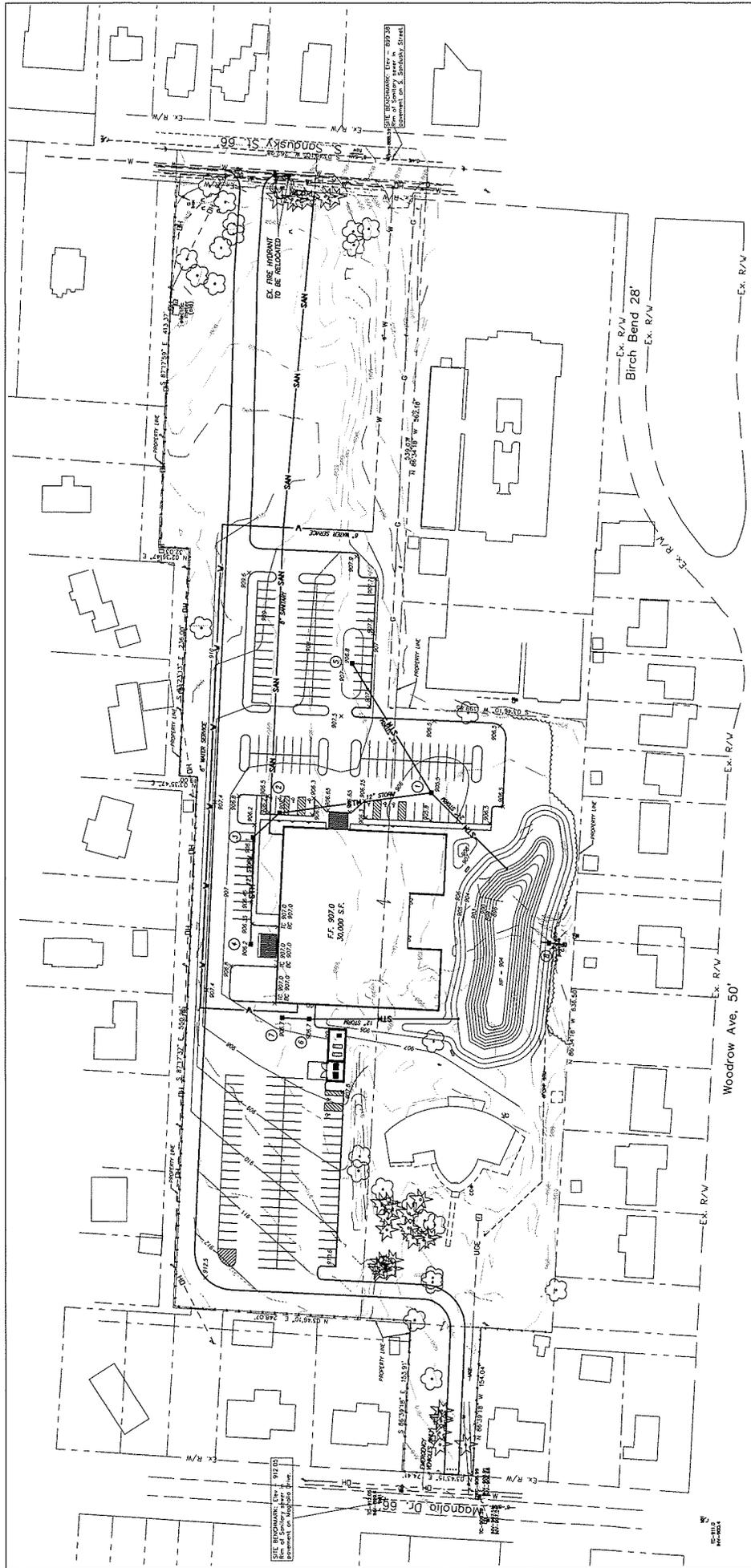
MARCH 2020

- CODED NOTES**
- ① HANDICAP SIGN, SEE DETAIL SHEET CS01
  - ② TAPER CURB HEIGHT FROM 6" TO 0"
  - ③ NEW DRIVE APPROACH PER CITY OF DELAWARE STANDARDS

**LEGEND**

	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	CONCRETE CURB





NOTE:  
 PROPOSED SOFT ELEVATIONS ARE  
 FINISH GRADES UNLESS ELEVATION  
 UNLESS NOTED OTHERWISE



**DELAWARE PUBLIC HEALTH DISTRICT**  
**NEW HEADQUARTERS BUILDING**  
 Delaware General Health District  
 300 SPRUCE STREET  
 COLUMBIA, OHIO 43215  
 TEL: 614.280.8999  
 MOODY-ENG.COM

	
300 SPRUCE STREET COLUMBIA, OHIO 43215 TEL: 614.280.8999 MOODY-ENG.COM	Del. Const. JKL Tech. Const. MWZ 19073
<b>SITE GRADING &amp; UTILITY PLAN</b>	
<b>7</b>	
MARCH 2020	



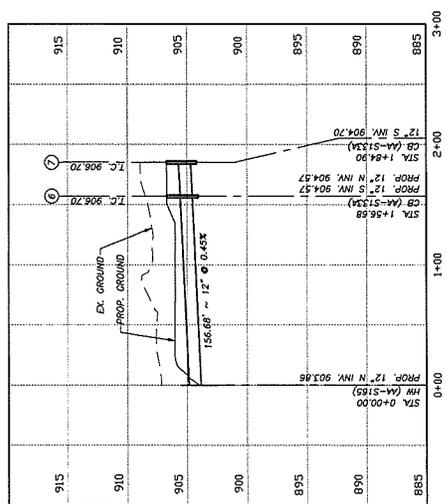
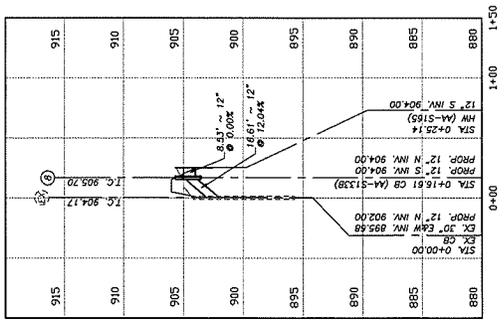
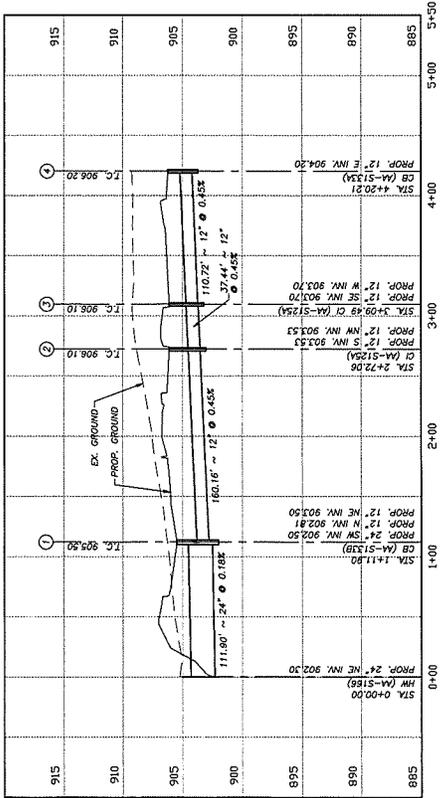
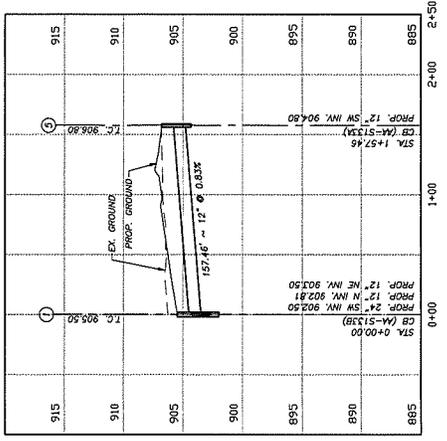
DELAWARE PUBLIC  
HEALTH DISTRICT  
NEW HEADQUARTERS  
BUILDING  
400 SPRUCE STREET  
DELAWARE, OHIO 43715

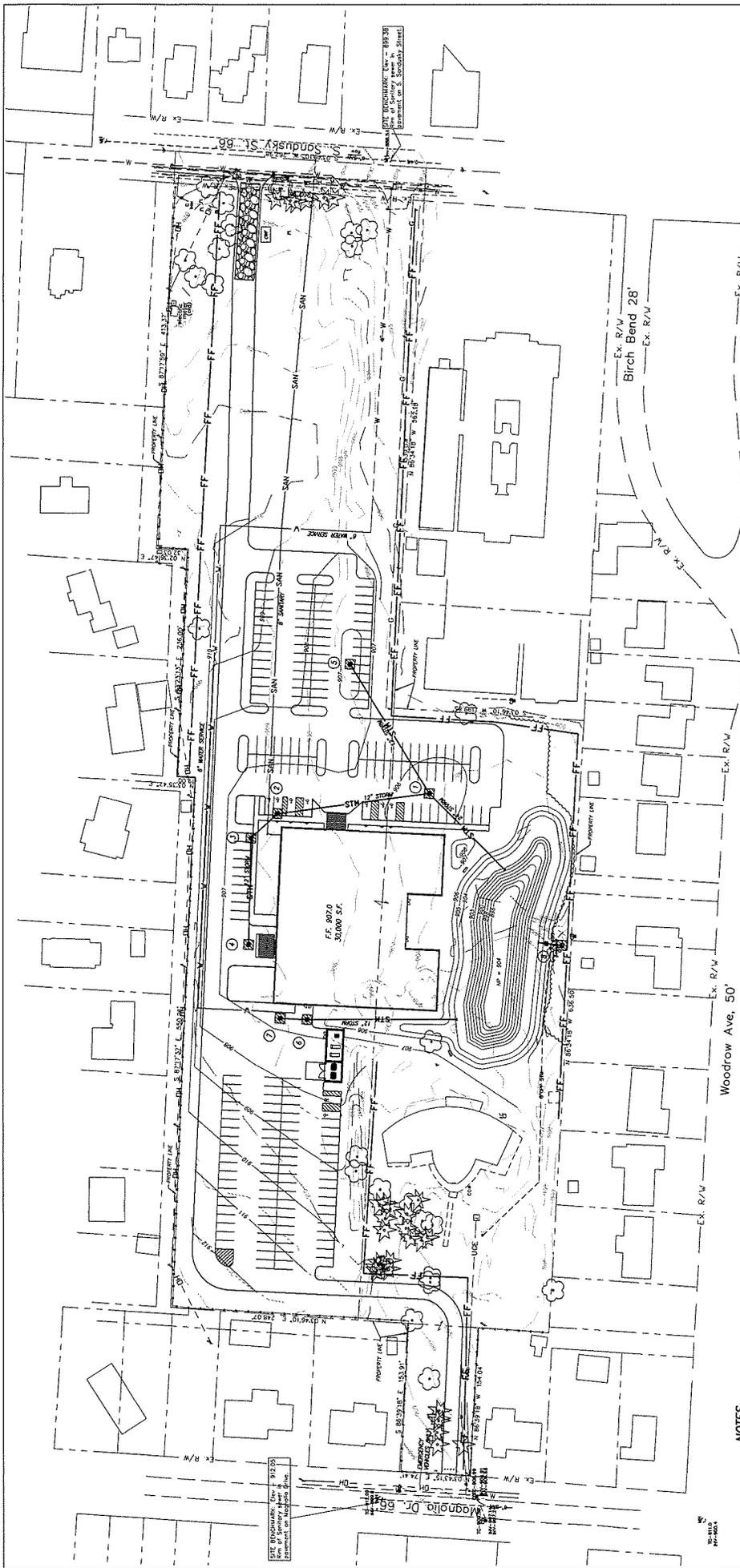


Moody General  
Engineering  
300 SPRUCE STREET  
COLUMBUS, OHIO 43215  
P: 614.280.8998  
MOODY-ENG.COM

Dist. Coord. J.K. Inch. Coord.  
MNF 1973  
**8**  
STORM SEWER  
PROFILES  
DEVELOPMENT PLAN

SCALE: 1"=50' HORIZ.  
1"=5' VERT.





**DELaware PUBLIC HEALTH DISTRICT NEW HEADQUARTERS BUILDING**  
 DELaware General Health District  
 615 S. SANDUSKY ST.  
 COLUMBIA, OHIO 43215

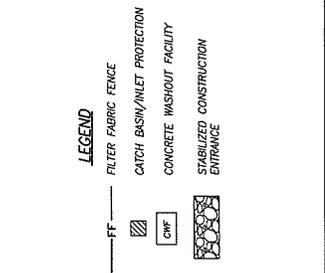
**MOODY ENGINEERING**  
 305 LEXINGTON STREET  
 COLUMBIA, OHIO 43215  
 P. 614 240 8999  
 MOODY-ENG.COM  
 DWG. COORD. J.D. TREN, COORD.  
 MWPF 19073

**EROSION CONTROL PLAN**  
 DEVELOPMENT PLAN

**9**  
 MARCH 2020

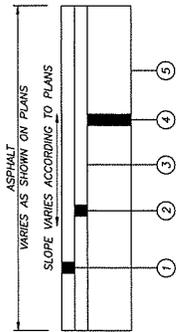
**NOTES**  
 THE USE OF STRAW MATS HAS PROVEN TO BE A VERSATILE AND EFFECTIVE ESC BMP, ESPECIALLY IN RESIDENTIAL SETTINGS. INSTALLATIONS SHOULD BE SUBSTITUTED FOR Silt FENCE IN LARGER INSTALLATIONS.  
 THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION CONTROL MEASURES ON-SITE FOR 1-YEAR TO ALLOW FULL ESTABLISHMENT OF VEGETATION.  
 THIS PLAN MUST BE POSTED ON-SITE. A COPY OF THE EROSION CONTROL PLAN SHALL BE KEPT ON-SITE AT ALL TIMES. (WITH THE SITE SPECIFIC NO. NUMBER) SHALL BE KEPT ON-SITE AT ALL TIMES.  
 STREET CLEANING (ON AN AS-NEEDED BASIS) IS REQUIRED THROUGHOUT THE CONSTRUCTION PROJECT. THIS INCLUDES CURBSIDE CLEANING, POWER CLEANING, AND (IF NECESSARY) MANUAL REMOVAL OF DIRT OR MUD IN THE STREET GUTTERS.  
 ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO THE REQUIREMENTS OF THE EROSION CONTROL PLAN OF DELAWARE AND/OR THE OHIO EPA.

**LEGEND**  
 FF FILTER FABRIC FENCE  
 CATCH BASIN/INLET PROTECTION  
 CONCRETE WASHOUT FACILITY  
 STABILIZED CONSTRUCTION ENTRANCE



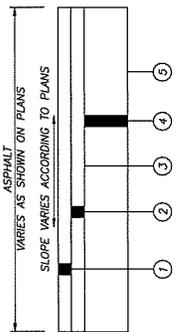
Woodrow Ave, 50'  
 Birch Bend 28'  
 S. Sandusky St. 60'





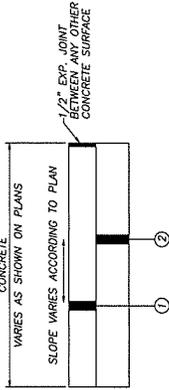
- ① ITEM 448 - 1 1/2" ASPHALT CONCRETE
- ② ITEM 448 - 1 1/2" ASPHALT CONCRETE
- ③ ITEM 408 - BITUMINOUS PRIME COAT
- ④ ITEM 304 - 8" AGGREGATE BASE
- ⑤ ITEM 204 - SUBGRADE COMPACTION

① LIGHT DUTY ASPHALT PAVEMENT SECTION  
NO SCALE



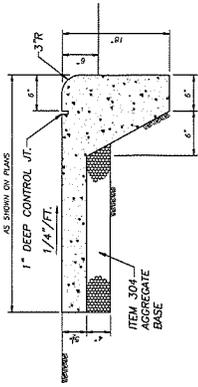
- ① ITEM 441 - 1 1/2" ASPHALT CONCRETE
- ② ITEM 441 - 2 1/2" ASPHALT CONCRETE
- ③ ITEM 408 - BITUMINOUS PRIME COAT @ 40 GAL/SY
- ④ ITEM 304 - 10" AGGREGATE BASE
- ⑤ ITEM 204 - SUBGRADE COMPACTION

② HEAVY DUTY ASPHALT PAVEMENT SECTION  
NO SCALE

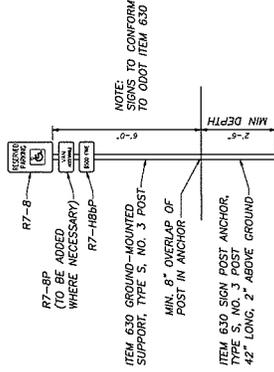


- ① ITEM 452 - 8" NON-REINFORCED CONCRETE PAVEMENT
- ② ITEM 304 - 8" AGGREGATE BASE

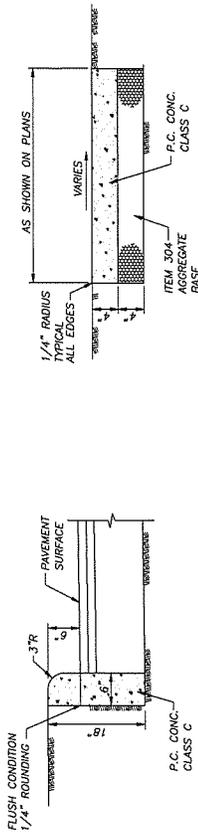
③ CONCRETE PAVEMENT SECTION  
NO SCALE



④ CONCRETE CURB W/ INTEGRAL WALK  
NO SCALE



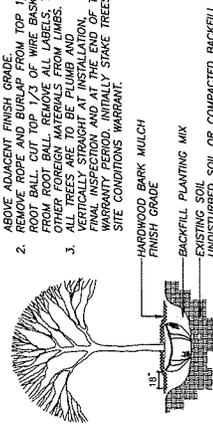
⑦ HANDICAP PARKING SIGN  
NO SCALE



⑥ CONCRETE WALKS  
NO SCALE

⑤ CONCRETE CURBS  
NO SCALE

- NOTES:
1. TOP OF ROOT BALL TO BE 2'-4" ABOVE ADJACENT FINISH GRADE.
  2. REMOVE ADJACENT MULCH AND BURLAP FROM TOP 1/3 OF ROOT BALL. CUT TOP 1/3 OF WIRE BASKET FROM ROOT BALL. REMOVE ALL LABELS, TAGS OR OTHER FOREIGN MATERIALS FROM LIMBS.
  3. VERTICALLY STRAIGHT AT INSTALLATION. FINAL INSPECTION AND AT THE END OF THE WARRANTY PERIOD. INITIALLY STAKE TREES IF SITE CONDITIONS WARRANT.



⑧ TREE PLANTING  
NO SCALE

**DELAWARE PUBLIC HEALTH DISTRICT NEW HEADQUARTERS BUILDING**

Delaware General Services Corporation  
100 SPRING STREET  
COLUMBIUS, OHIO 43215  
P: 614.280.8989  
MOODY ENGINEERING

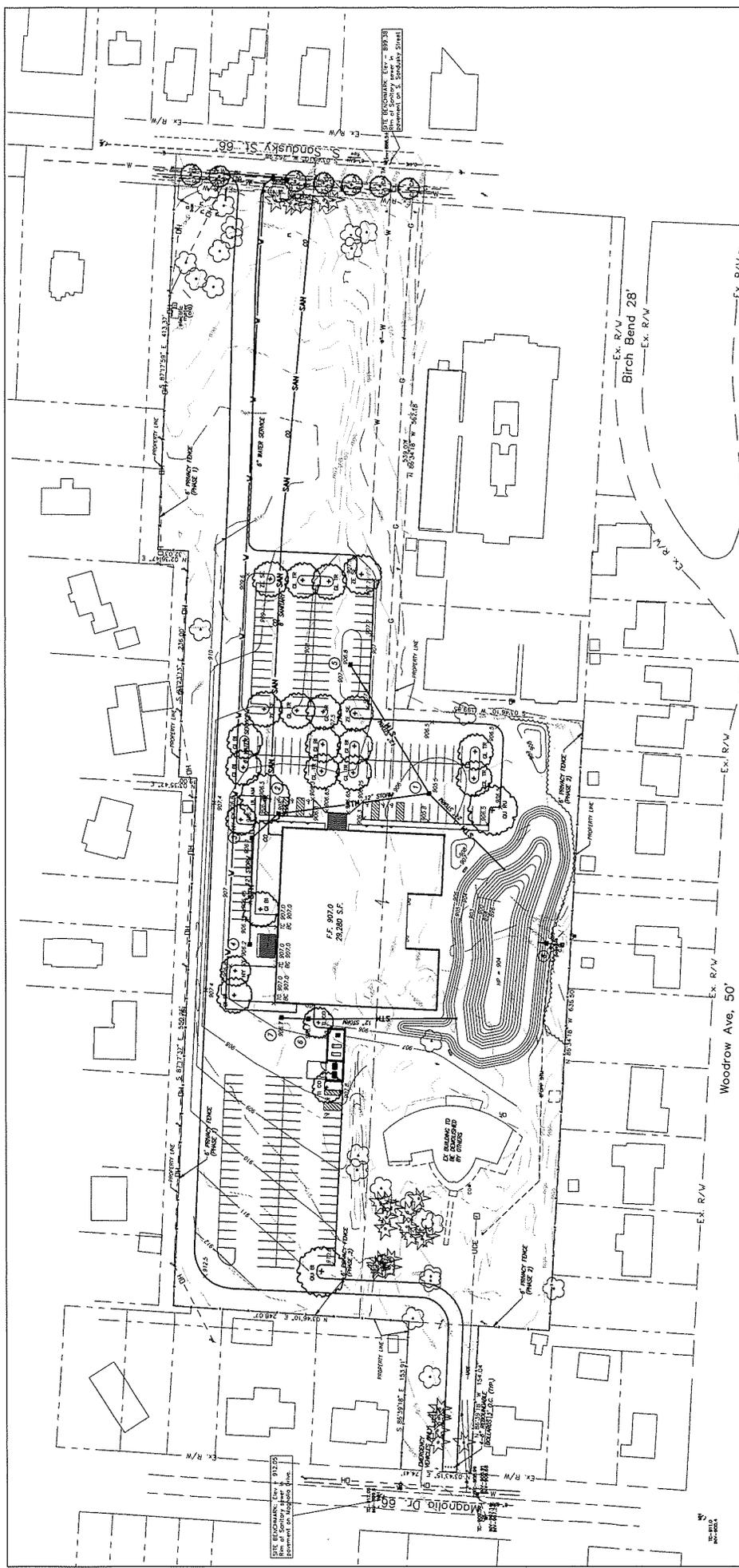
100 SPRING STREET  
SUITE 200  
COLUMBIUS, OHIO 43215  
P: 614.280.8989  
MOODY ENGINEERING

Dist. Coord.: J.R. Rees, Coord.  
DATE: 11/19/93

**SITE DETAILS**

DEVELOPMENT PLAN

MARCH 2020



**DELAWARE PUBLIC HEALTH DISTRICT NEW HEADQUARTERS BUILDING**

815 SANDHURST ST  
COLLEGE PARK, MD 20740

**MOODY ENGINEERING**  
1000 WOODROW AVENUE  
COLUMBIA, OHIO 43215  
P: 614 240 8999

MOODY ENGINEERING  
1000 WOODROW AVENUE  
COLUMBIA, OHIO 43215  
P: 614 240 8999

Doc. Coord.: JLL Tech. Coord.: JLL MVA # 19073

**LANDSCAPE PLAN**

DEVELOPMENT PLAN

**12**

MARCH 2020

**TREE LEGEND**

KEY	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION	SPACING	QUANTITY
CA	AMERICAN HORNBREAM	Carpinus caroliniana	2' Cal.	B&B	Per Plan	7
DE	SKYLINE HONEYLOCUST	Gleditsia triacanthos f. 'Inermis 'Skyline'	2' Cal.	B&B	Per Plan	6
TI	CORINTHIAN LITTLELEAF LINDEN	Tilia cordata 'Coram'	2' Cal.	B&B	Per Plan	2
GI	GINGKO	Ginkgo biloba	2 1/2' Cal.	B&B	Per Plan	5
ZI	JAPANESE ZELKOVA	Zelkova serrata	2 1/2' Cal.	B&B	Per Plan	4
OU	NORTHERN RED OAK	Quercus rubra	2' Cal.	B&B	Per Plan	1
OU	SWAMP WHITE OAK	Quercus bicolor	2' Cal.	B&B	Per Plan	1
UL	AMERICAN PRINCEBERRY	Ulmus americana 'Princeton'	2 1/2' Cal.	B&B	Per Plan	1
NY	BLACK GUM	Nyssa sylvatica	2 1/2' Cal.	B&B	Per Plan	2
					TOTAL	29

SHALL REPLACE LOST PLANT MATERIAL WITHIN 30 DAYS OF THE DATE OF LOSS AT NO ADDITIONAL COST TO OWNER.

ALL PLANT MATERIALS INCLUDING RELOCATED PLANT MATERIAL SHALL BE TYPICAL TO THE INDUSTRY STANDARDS OF THE AREA TO ASSURE COMPLETE WEATHERING AS WELL AS TO PROVIDE AN AESTHETICALLY IMPROVED PROJECT. PLANTING DETAILS FOR MINIMUM SIZE AND OTHER PLANTING REQUIREMENTS, INCLUDING STAKING, MULCHING AND FREE PRIOR TO PLANTING INSTALLATION.

REMOVE ALL PLANTING AND LANDSCAPE MATERIALS FROM THE SITE AND WASH CLEAN ALL PAVED AND FINISHED SURFACES AFFECTED BY THE LANDSCAPE INSTALLATION.

REFER TO GENERAL NOTES FOR ADDITIONAL INSTRUCTIONS.

HEALTH OF PLANT MATERIAL STORED ON SITE SHALL BE MAINTAINED AT ALL TIMES. STRIPS NO CANALS OR CABLES WILL BE ALLOWED. REMOVE UNDESIRABLE PLANT MATERIAL IMMEDIATELY FROM THE SITE.

ALL PLANT MATERIALS SHALL BE STORED IN A PROTECTED AREA TO PROTECT THEM FROM DAMAGE BY WEATHER, INSECTS, AND DEFECTS SUCH AS HADTS, DISCOLORATION, IRREGULAR BRANCHING OR INJURIES.

ALL ROOT BALLS SHALL CONFORM TO THE STANDARDS FOR TREE STOCK, AMERICAN TREE SOCIETY, AND SHALL BE PLANTED WITH WATER PRIOR TO PLANTING.

ASSURE PROPER SOIL PERCOLATION. PITS SHALL BE FURTHER EXCAVATED TO A DEPTH SUFFICIENT FOR DRAINAGE TO OCCUR DRAINAGE GRAVEL. NO ALLOWANCES SHALL BE MADE FOR PLANT MATERIALS DUE TO UNDESIRABLE DRAINAGE. CONTRACTOR SHALL VERIFY THAT ALL PLANTING PRODUCTS DELIVERED TO THE SITE MATCH WHAT IS SPECIFIED ON THE PLANS AND

PROTECT ALL PLANT MATERIAL DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALLS, TRUNKS, BRANCHES AND JOINTS. PLANT MATERIAL SHIPING WITH TRANSPARENT PLASTIC PROTECTANTS AND

**PLANTING NOTES**

- ALL PLANTING PROCEDURES ARE SUBJECT TO THE REVIEW OF THE LANDSCAPE ARCHITECT. CORRECT ANY DEFICIENCIES FOUND AT NO ADDITIONAL COST TO THE OWNER.
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### FIXTURE SCHEDULE

SYMBOL	FIXTURE NUMBER	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LAMPS	REMARKS
W	W	WALL MOUNTED EXTERNAL	LITONIA	DSW 1 LED 200 700 400 700 W/160	20W LED 4000K	12'-0" WALL MOUNTING
PH	PH	POLE MOUNTED LED SITE FIXTURE TYPE 2 DISTRIBUTION	LITONIA	DSK 1 LED 17 1/2 400 700 W/160	100W LED 4000K	20'-0" OVERALL MOUNTING HEIGHT PROVIDE 1/2" CLEARANCE TO STEEL
PI	PI	POLE MOUNTED LED SITE FIXTURE TYPE 2 DISTRIBUTION	LITONIA	DSK 1 LED 17 1/2 400 700 W/160	100W LED 4000K	20'-0" OVERALL MOUNTING HEIGHT PROVIDE 1/2" CLEARANCE TO STEEL
PA	PA	POLE MOUNTED LED SITE FIXTURE TYPE 2 DISTRIBUTION	LITONIA	DSK 1 LED 17 1/2 400 700 W/160	100W LED 4000K	20'-0" OVERALL MOUNTING HEIGHT PROVIDE 1/2" CLEARANCE TO STEEL
PM	PM	POLE MOUNTED LED SITE FIXTURE TYPE 2 DISTRIBUTION	LITONIA	DSK 1 LED 17 1/2 400 700 W/160	100W LED 4000K	20'-0" OVERALL MOUNTING HEIGHT PROVIDE 1/2" CLEARANCE TO STEEL

**WALL MOUNTED EXTERNAL**

Dimensions: 17 1/2" H x 400" W x 160" D

Mounting: 1/2" clearance to steel

Electrical: 120V AC, 50/60 Hz, 100W

Notes: 1. All dimensions are in inches unless otherwise noted. 2. Mounting hardware is not included. 3. See schedule for fixture specifications.

**POLE MOUNTED LED SITE FIXTURE TYPE 2 DISTRIBUTION**

Dimensions: 17 1/2" H x 400" W x 160" D

Mounting: 1/2" clearance to steel

Electrical: 120V AC, 50/60 Hz, 100W

Notes: 1. All dimensions are in inches unless otherwise noted. 2. Mounting hardware is not included. 3. See schedule for fixture specifications.

**POLE MOUNTED LED SITE FIXTURE TYPE 2 DISTRIBUTION**

Dimensions: 17 1/2" H x 400" W x 160" D

Mounting: 1/2" clearance to steel

Electrical: 120V AC, 50/60 Hz, 100W

Notes: 1. All dimensions are in inches unless otherwise noted. 2. Mounting hardware is not included. 3. See schedule for fixture specifications.

**POLE MOUNTED LED SITE FIXTURE TYPE 2 DISTRIBUTION**

Dimensions: 17 1/2" H x 400" W x 160" D

Mounting: 1/2" clearance to steel

Electrical: 120V AC, 50/60 Hz, 100W

Notes: 1. All dimensions are in inches unless otherwise noted. 2. Mounting hardware is not included. 3. See schedule for fixture specifications.

**POLE MOUNTED LED SITE FIXTURE TYPE 2 DISTRIBUTION**

Dimensions: 17 1/2" H x 400" W x 160" D

Mounting: 1/2" clearance to steel

Electrical: 120V AC, 50/60 Hz, 100W

Notes: 1. All dimensions are in inches unless otherwise noted. 2. Mounting hardware is not included. 3. See schedule for fixture specifications.

#	DATE	CHANGE DESCRIPTION

**DELAWARE GENERAL HEALTH DISTRICT**  
 500 SERVICE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-3881

**PROGRESS DRAWINGS FOR CONSTRUCTION**

10/2019  
 DRAWN BY: ambr  
 CHECKED BY: Debra  
 Proj. #  
**E002**  
 SCHEMATIC DESIGN

800-457-7275  
**PRAETER**  
 Engineering Associates, Inc.  
 8130 Wilcox Road  
 Columbus, OH 43241  
 PHONE: (614) 766-4888  
 FAX: (614) 766-4889

# DELAWARE PUBLIC HEALTH DISTRICT NEW HEADQUARTERS BUILDING

470 S SANDUSKY ST  
DELAWARE OHIO 43015



PREPARED BY:

 **MOODY•NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OH 43215

PHONE: (614) 461-4664 FAX: (614) 280-8881

 **MOODY  
ENGINEERING**  
MOODY ENGINEERING LLC  
300 SPRUCE ST SUITE 200  
COLUMBUS OHIO 432515

PHONE: (614) 280-8999

 **PRATER  
ENGINEERING ASSOCIATES**  
PRATER ENGINEERING ASSOCIATES, INC.  
6130 WILCOX ROAD  
DUBLIN OHIO 43016

PHONE: (614) 766-4896 FAX: (614) 766-2354

 **PAUL J. FORD  
& COMPANY**  
PAUL J FORD & COMPANY  
250 EAST BROAD STREET, SUITE 600  
COLUMBUS, OH 43215

PHONE: (614) 221-6679

## FINAL DEVELOPMENT 04/01/2020

PROGRESS  
DRAWING  
FOR  
CONSTRUCTION







**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**



Project # \_\_\_\_\_

Case # \_\_\_\_\_

Planning Commission

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Amended Final Development Plan                | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use             |
| <input type="checkbox"/> Amended Final Subdivision Plat                | <input type="checkbox"/> Final Subdivision Plat           | <input type="checkbox"/> Vacation-Alley                                   |
| <input type="checkbox"/> Amended Preliminary Development Plan          | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement                                |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat          | <input type="checkbox"/> Floodplain Permit                | <input type="checkbox"/> Vacation-Street                                  |
| <input type="checkbox"/> Annexation Review                             | <input type="checkbox"/> Lot Split                        | <b>Board of Zoning Appeals</b>  |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement         | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment                  | <input type="checkbox"/> Preliminary Development Plan     | <input type="checkbox"/> Conditional Use Permit                           |
| <input type="checkbox"/> Concept Plan                                  | <input type="checkbox"/> Preliminary Dev Plan Extension   | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit                        | <input type="checkbox"/> Preliminary Sub Plat             | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Determination of Similar Use                  | <input type="checkbox"/> Preliminary Sub Plat Extension   |   |
| <input type="checkbox"/> Development Plan Exemption                    | <input type="checkbox"/> Rezoning                         |   |
| <input checked="" type="checkbox"/> Final Development Plan             | <input type="checkbox"/> Subdivision Variance             |   |

Subdivision/Project Name DELAWARE GENERAL HEALTH DIST. Address 470 S. SANDUSKY ST. DELAWARE 43015  
 Acreage 9.4 Square Footage 30,000 Number of Lots N/A Number of Units N/A  
 Zoning District/Land Use POE Proposed Zoning/Land Use POE Parcel # 419-122-04-042-000  
419-122-04-021-000  
419-122-04-020-000

Applicant Name DELAWARE GENERAL HEALTH DISTRICT Contact Person SHELIA HIDDLESON  
 Applicant Address 1 1/2 WEST WINTER ST  
 Phone 740-368-1700 Fax 740-368-1736 E-mail SHIDDLESON@DELAWAREHEALTH.ORG  
 Owner Name DELAWARE GENERAL HEALTH DISTRICT Contact Person DAVID LETTERLE  
 Owner Address 1 1/2 WEST WINTER ST. DELAWARE OHIO 43015-0579  
 Phone 740-368-1700 Fax 740-368-1736 E-mail DLETTERLE@DELAWAREHEALTH.ORG  
 Engineer/Architect/Attorney MOODY NOLAN Contact Person WILLIAM L. SOULDERS, AIA  
 Address 300 SPRUCE ST. SUITE 300, COLUMBUS OHIO 43215  
 Phone 614-461-4664 Fax N/A E-mail BSOULDERS@MOODYNOLAN.COM

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

Shelia Hiddleson  
 Owner Signature

Shelia Hiddleson, RN, MS  
 Health Commissioner  
 Owner Printed Name

William L. Souders  
 Signature

William L. Souders  
 Agent Printed Name

Sworn to before me and subscribed in my presence this 30<sup>th</sup> day of MARCH, 2020



Daniel W. Delk  
 Notary Public, State of Ohio  
 My Commission Expires 05-27-2021  
Daniel W. Delk  
 Notary Public

ORDINANCE NO. 20-25

AN ORDINANCE AUTHORIZING EMERGENCY MEASURES IN RESPONSE TO COVID-19 VIRUS AND DECLARING AN EMERGENCY.

WHEREAS, the Coronavirus (COVID-19) is a new disease that is spread through people who are in close contact with one another and through respiratory droplets produced when an infected person coughs or sneezes; and

WHEREAS, the Centers for Disease Control (CDC) believes spread of the disease might be possible before people show symptoms and has recommended limitations on meetings of groups; and

WHEREAS, the CDC notes that COVID-19 seems to be spreading easily and sustainably in a process known as community spread (people have been infected with the virus without knowing where they became infected); and

WHEREAS, older adults and people with chronic medical conditions such as lung disease are at higher risk of getting seriously ill; and

WHEREAS, on March 10, Ohio Governor Mike DeWine recommended large, indoor gatherings be cancelled or postponed due to the potential for the coronavirus (COVID-19) exposure; and

WHEREAS, on March 11, the World Health Organization (WHO) declared COVID-19 to be a global pandemic; and

WHEREAS, Governor DeWine declared a State of Emergency in Ohio (Executive Order 01-D); and

WHEREAS, on March 13, the Ohio Attorney General's Office issued a letter indicating that based on the Ohio Department of Health's Order prohibiting mass gatherings while encouraging people to stay at home and avoid unnecessary contact with each other, City Council may "appear via teleconference or telephone" if all other requirements of the Open Meetings Act are met; and

WHEREAS, at least fifty confirmed cases of COVID-19 have been identified in Ohio; and

WHEREAS, based on the information presented so far, City Council has determined that steps should be taken to prepare for an emergency situation.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. City Council may meet remotely provided the following conditions are met:

1. Identity Verification is in place to ensure that the person participating is the city council member
2. The method of meeting is able to document any votes cast by individual members
3. If a member is cut off from the meeting, Council will cease all discussions and deliberations while an attempt is made to reconnect the member. If the member remains unavailable and they are not needed for quorum, the meeting may continue
4. The public has access to the remote meeting and may hear the discussions and deliberations.

SECTION 2. While the Governor's and CDC recommendation (and any forthcoming restriction on meetings) is in place, Boards and Commissions will not meet. Council hereby delegates the work of those commissions to city staff, with City Council taking final action on recommendations.

SECTION 3. The City Manager is hereby granted authority to declare A State of Emergency within the City of Delaware should it become necessary in order to continue to provide city services or take action to comply with an order from the State of Ohio.

SECTION 4. In the event of a State of Emergency is declared and if Council is rendered unable to meet with a quorum, the City Manager is granted the following powers in addition to the emergency powers set for in Charter Section 73 (city manager may in cases of disaster or emergency enter into contracts without competitive bidding or advertising) and Codified Ordinance Sections 351.20, 353.05 (city manager can declare emergency to prohibit parking); 913.24 (water emergency when water supply at low level):

1. Executing intergovernmental agreements
2. Actions necessary to implement state and federal requirements
3. Making budget or staffing adjustments necessary to address the emergency
4. Executing labor agreements under terms similar to those agreements already approved
5. Changes in city service levels taken to reduce potential exposure to the virus or due to staffing levels
6. Issue emergency bonds or notes pursuant to Ohio Revised Code Section 717.15
7. Extending due date for income tax filings

These powers may be exercised as long as the state of emergency exists and Council is unable to meet.

SECTION 5. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

SECTION 6. EMERGENCY CLAUSE: This ordinance is hereby declared to be an emergency measure necessary to provide for the public peace, safety, health, and welfare of the City by taking immediate steps to reduce the spread of COVID-19 and ensure the government of the City is able to function in times of emergency.

VOTE ON RULE SUSPENSION: YEAS 7 NAYS 0  
ABSTAIN 0

VOTE ON EMERGENCY CLAUSE: YEAS 7 NAYS 0  
ABSTAIN 0

PASSED: March 18, 2020 YEAS 7 NAYS 0  
ABSTAIN 0

ATTEST: Elaine McCloskey CITY CLERK  
Cathy Kaye MAYOR



## FACT SHEET

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AGENDA ITEM NO: 8

DATE: 04/27/2020

ORDINANCE NO: 20-27

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: NO

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TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN FOR DELAWARE DEVELOPMENT PLAN LTD., FOR A MIXED-USE COMMERCIAL /OFFICE BUILDING ON LOT 12724 WITHIN SUB-AREA 6 OF COUGHLIN'S CROSSING ON APPROXIMATELY 2.641 ACRES LOCATED EAST OF US 23, WEST OF COUGHLIN LANE AND JUST NORTH OF HAWTHORN BOULEVARD AND ZONED A-1 PMU (AGRICULTURAL WITH A PLANNED MIXED-USE OVERLAY DISTRICT).

**BACKGROUND:**

See attached staff report.

**REASON WHY LEGISLATION IS NEEDED:**

To achieve compliance with Section 1129.05 Final Development Plan requirements of the zoning code.

**COMMITTEE RECOMMENDATION:**

Normally this item would be presented to the Planning Commission for review and then submitted to City Council. Under City Council's Emergency Ordinance 20-25, this case is being presented to City Council directly with the Planning Director's recommendation of approval. As always, City Council is free to approve, deny, amend or refer the case back to the Planning Commission for further review.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval

**ATTACHMENT(S)**

Staff Report  
Ordinance 20-25

ORDINANCE NO. 20-27

AN ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN FOR DELAWARE DEVELOPMENT PLAN LTD., FOR A MIXED-USE COMMERCIAL /OFFICE BUILDING ON LOT 12724 WITHIN SUB-AREA 6 OF COUGHLIN'S CROSSING ON APPROXIMATELY 2.641 ACRES LOCATED EAST OF US 23, WEST OF COUGHLIN LANE AND JUST NORTH OF HAWTHORN BOULEVARD AND ZONED A-1 PMU (AGRICULTURAL WITH A PLANNED MIXED-USE OVERLAY DISTRICT).

WHEREAS, under normal circumstances, this item would be presented to the Planning Commission for review and then submitted to City Council; under 20-25, Council's emergency ordinance (enclosed), this matter is being presented to Council directly with staff's recommendation for consideration; and

WHEREAS, City Council maintains the authority to approve, deny, amend, or refer the matter back to the Planning Commission for further review; and

WHEREAS, the Planning Director recommends approval based on emergency ordinance 20-25 of a Final Development Plan for Delaware Development Plan LTD., for a Mixed-Use Commercial/Office Building on Lot 12724 within Sub-Area 6 of Coughlin's Crossing on approximately 2.641 acres located east of US 23, west of Coughlin Lane and just north of Hawthorn Boulevard and zoned A-1 PMU (PC Case 2020-0406).

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Final Development Plan for Delaware Development Plan LTD., for a Mixed-Use Commercial/Office Building on Lot 12724 within Sub-Area 6 of Coughlin's Crossing on approximately 2.641 acres located east of US 23, west of Coughlin Lane and just north of Hawthorn Boulevard and zoned A-1 PMU is hereby confirmed, approved, and accepted with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The limestone on the building and the retaining wall shall achieve compliance with the approved development text.

3. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color.
4. All roof top mechanical equipment shall be screened from public view.
5. The applicant shall submit all building elevations along with material and color samples for all building materials for staff review and approval.
6. The dumpster enclosure shall be constructed of stone to match the building and have wood doors painted or stained to match.
7. The site shall require a payment in lieu of planting trees of \$11,939.96 (2.641 acres x \$4,521 per acre) prior to the approval of construction drawings to achieve compliance with the tree replacement requirements in the approved development text.
8. All the landscape plans shall be approved by the Shade Tree Commission.
9. The lighting plan shall be reviewed and approved by the City and all lighting must meet the requirements of the approved development text and the Planning & Zoning Code.
10. All tenants shall apply for a sign permit that achieves compliance with the approved comprehensive sign plan and the Staff report.
11. A perimeter buffer shall be installed along the northern property line with a continuous screen of shrubs.
12. The hours of operation of any outdoor patio shall be between 9:00 am and 11:00pm. Also, outdoor music, amplified sound or sound systems, or outdoor entertainment shall be allowed only during the hours of operation. Trash receptacles, regular maintenance, fencing and lighting shall be provided. No signage shall be permitted in conjunction with any outdoor dining area.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS \_\_\_ NAYS \_\_\_  
 ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2020

YEAS \_\_\_ NAYS \_\_\_  
 ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
 CITY CLERK

\_\_\_\_\_  
 MAYOR

**CASE NUMBER:** 2020-0406  
**REQUEST:** Final Development Plan  
**PROJECT:** Coughlin's Crossing  
**MEETING DATE:** April 27, 2020

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**APPLICANT/OWNER**

Delaware Development Plan LTD  
P.O. Box 991  
Pataskala, Ohio 43062

**REQUEST**

2020-0406: A request by Delaware Development Plan LTD., for approval of a Final Development Plan for a Mixed Use Commercial/Office Building on Lot 12724 (within Sub-Area 6) of Coughlin's Crossing on approximately 2.641 acres located east of US 23, west of Coughlin Lane and just north of Hawthorn Boulevard and zoned A-1 PMU.

**PROPERTY LOCATION & DESCRIPTION**

The approximate 2.641-acre site is located east of US 23, west of Coughlin Lane and just north of Hawthorn Boulevard. The zoning to the north, south and east is A-1 PMU in the City and to the west is R-3.

**BACKGROUND/PROPOSAL**

In November 2016, the Planning Commission and City Council approved a Rezoning Amendment, Conditional Use Permit, an Amendment to the Comprehensive Plan, Preliminary Development Plan and Preliminary Subdivision Plat for the proposed mixed-use development.

In May 2017, Planning Commission and City Council approved a Final Development Plan for Phase 1 (Infrastructure), a Final Subdivision Plat and Street Vacation to subdivide the site and initiate construction for the subject development.

In November 2019, Planning Commission and City Council approved Development Text Amendments and Preliminary Development Plans for Sub-Areas 2, 5 and 6. Now the developer is requesting Final Development Plan for Lot 12274 in Sub-Area 6 which would yield an approximate 16,000 square foot mixed-use commercial/office building (up to 10 tenant spaces) on approximately 2.641 acres. The subject site is located just south of the recently approved Blue Sky Car Wash.

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**STAFF ANALYSIS**

- **ZONING:** As mentioned above, the site is zoned A-1 PMU and Sub-Area 6 allows the mixed-use commercial and office uses proposed for the building on Lot 12724 which encompasses 2.641 acres. Also, the drive thru's and outdoor patio on the building would be allowed as a limited use. A Preliminary Development Plan for this site has been approved by City Council. A Final Development for this subject site is the final step in the pre-development process for this site and would have to be ultimately approved by City Council.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND ACCESS:** The proposed mixed use commercial/office building would have a full movement curb cut on Coughlin Lane on the northern portion of the property to be shared with the recently approved Blue Sky Car Wash and a right-in/right-out only on the southern portion of the property. A drive thru is proposed on the northern portion of the building with stacking queue on the north and east sides of the proposed building. There would not be any direct access to US 23 and Hawthorn Boulevard. The Applicant has indicated a desire to pursue the single drive thru and patio approach but desires flexibility to be able to effectively market the property. Thus, an alternate site plan identifies at drive thru on the southside of the building with a dedicated lane for stacking spaces. With approval, the applicant could pursue both drive thru's or the patio configuration shown on either site plan. This gives the applicant flexibility in marketing the property while demonstrating compliance with code requirements for either approach.

- **PEDESTRIAN CONNECTIVITY:** A bike path is located on the east side of Coughlin Lane north of the roundabout and the bike path extends west on the north side of Hawthorn Boulevard which is located just south of this parcel. The bike path extends west across US 23.
- **SITE CONFIGURATION:** The approximate 2.641-acre site would yield a one story approximate 16,000 square foot mixed-use commercial/office building with 148 parking spaces surrounding the building (80 parking spaces are required). As mentioned above, the curb cut to the north would be shared with Blue Sky Car Wash that would allow the two parking lots to be connected. The northern tenant space could have a drive thru per the site plan with a stacking queue on the north and east sides of the building. The southern tenant space would have an option for an outdoor patio area or drive thru. A dumpster enclosure is located east of the building just north of the southernmost right-in/right-out curb cut on Coughlin Lane. The dumpster enclosure is screened from Coughlin Lane by landscaping, A 5-foot-high limestone faced retaining wall is located on the southeastern portion of the site adjacent to Hawthorn Boulevard and Coughlin Lane. Storm water would be detained in the Coughlin's Crossing regional detention basins. As mentioned above, the alternate site plan has a drive thru for the southern tenant which increases the building size to 16,800 square footage which would then yield 123 parking spaces on site (84 parking spaces are required).
- **TREE REMOVAL & REPLACEMENT:** There do not appear to be any previously unaccounted for qualifying trees (6 inches in caliper or larger) on the subject site (Lot 12724). The entire development is subject to the tree replacement requirements established with the approved development text and agreements. This site requires a payment in lieu of planting trees of \$11,939.96 (2.641 acres x \$4,521 per acre) prior to the approval of construction drawings.
- **LANDSCAPING & SCREENING:** The developer received approval for a comprehensive landscape plan with US 23 landscaping and piers, street trees, shade trees, interior parking lot landscaping, foundations plantings and perimeter landscaping per the approved development text and zoning code during the Preliminary Development Plan approval process. Street trees along Coughlin's Lane and Hawthorn Boulevard have already been installed. The proposed landscape plan achieves compliance with code except for a perimeter buffer along the northern property line that shall be planted with a continuous screen of shrubs.
- **LIGHTING:** The developer is proposing four black light poles that would be 28 feet high with gooseneck light fixtures throughout the parking lot while there would be two wall packs mounted 16 feet high on the north and south elevations. The lighting plans shall be reviewed and approved by the City and achieve compliance with the approved development text and the zoning code prior to final staff approval.
- **SIGNAGE:** The developer identifies wall signage on the east and west elevations that shall achieve compliance with the approved comprehensive sign plan. The sign plan has the following requirements: 1. The maximum sign area for each tenant space shall be 25 square feet; 2. All signs shall be mounted 14 feet to the top of the sign except for the middle two signs on the west elevation which shall be mounted at 18 feet to the top; 3. All signs shall be externally illuminated by the goose neck lights; internally illuminated signs are prohibited; 4. All signs shall be limited to five colors plus any registered trademark; 5. Signs shall be individual cut channel letters only. 6. Signs shall be located within the sign band areas shown on the sign plan for each tenant or as tenant spaces may be combined as approved by Staff. In no case shall the sign band area for an individual tenant space exceed 10 ft. wide by 2.5 ft tall. Each tenant shall submit for sign permit that shall be reviewed and approved by staff.
- **BUILDINGS:** The subject development has extensive design standards approved for this sub-area and lot by the city that is generally described as a Pennsylvania Dutch style which includes stone end walls, vertical clapboard, board and batten, cement board siding and which incorporates pitched standing seam metal roofs. The developer is proposing a 16,000 square foot one-story mixed-use commercial/office building with four-sided architecture that would emulate a barn structure with dormers and stone end walls. An alternate configuration shows a drive thru on the southern end of the building in lieu of the patio which would bring the total square footage to 16,800 square feet. The primary frontage along US 23 would have up to ten tenant spaces with aluminum storefront door and windows with a gridded transom above the windows and doors. The building would have a limestone wainscoting (Allegheny color) bookend by stone end tenant units designed with a barn style design comprised of the same limestone. The middle two bays of the front elevation would be comprised of artic white horizontal hardiplank siding while the two bays on its flank would have artic white vertical hardiplank siding. A sign band with gooseneck lighting would provide another

design element to the elevation. The rear elevation fronting Coughlin's Lane would have a limestone wainscoting with the stone end units comprised of four-inch buff cream masonry colossal block with Allegheny limestone located in the pitched roof area while the remainder of the elevation would be comprised of arctic white horizontal hardiplank lap siding. There would be a sign band for each tenant with gooseneck lights and up to ten-man doors for each tenant painted to match the wainscoting. The north elevation would have a drive thru window and aluminum storefront window with a gridded transom. The elevation would be comprised of arctic white vertical hardiplank siding. The pitched roof would have three dormers with windows with grids. The south elevation would mirror the north elevation except potentially without the drive thru window and including a patio area. The pitched and flat roofs would be comprised of brown asphalt shingles.

- **OUTDOOR PATIO:** An outdoor patio is permitted with limitations at this location (Sub-Area 6). The hours of operation shall be between 9:00 am and 11:00pm. Also, outdoor music, amplified sound or sound systems, or outdoor entertainment shall be allowed only during the hours of operation. Furthermore, trash receptacles, regular maintenance, fencing and lighting shall be provided. Finally, no signage shall be permitted in conjunction with any outdoor dining area.

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**STAFF RECOMMENDATION (2020-0406 – FINAL DEVELOPMENT PLAN)**

Staff recommends approval of a request by Delaware Development Plan LTD., for a Final Development Plan for a Mixed Use Commercial/Office Building on Lot 12724 (within Sub-Area 6) of Coughlin's Crossing on approximately 2.641 acres located east of US 23 just north of Hawthorn Boulevard and zoned A-1 PMU, with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The limestone on the building and the retaining wall shall achieve compliance with the approved development text.
3. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color.
4. All roof top mechanical equipment shall be screened from public view.
5. The applicant shall submit all building elevations along with material and color samples for all building materials for staff review and approval.
6. The dumpster enclosure shall be constructed of stone to match the building and have wood doors painted or stained to match.
7. The site shall require a payment in lieu of planting trees of \$11,939.96 (2.641 acres x \$4,521 per acre) prior to the approval of construction drawings to achieve compliance with the tree replacement requirements in the approved development text.
8. All the landscape plans shall be approved by the Shade Tree Commission.
9. The lighting plan shall be reviewed and approved by the City and all lighting must meet the requirements of the approved development text and the Planning & Zoning Code.
10. All tenants shall apply for a sign permit that achieves compliance with the approved comprehensive sign plan and this report.
11. A perimeter buffer shall be installed along the northern property line with a continuous screen of shrubs.
12. The hours of operation of any outdoor patio shall be between 9:00 am and 11:00pm. Also, outdoor music, amplified sound or sound systems, or outdoor entertainment shall be allowed only during the hours of operation. Trash receptacles, regular maintenance, fencing and lighting shall be provided. No signage shall be permitted in conjunction with any outdoor dining area.





March 4, 2020

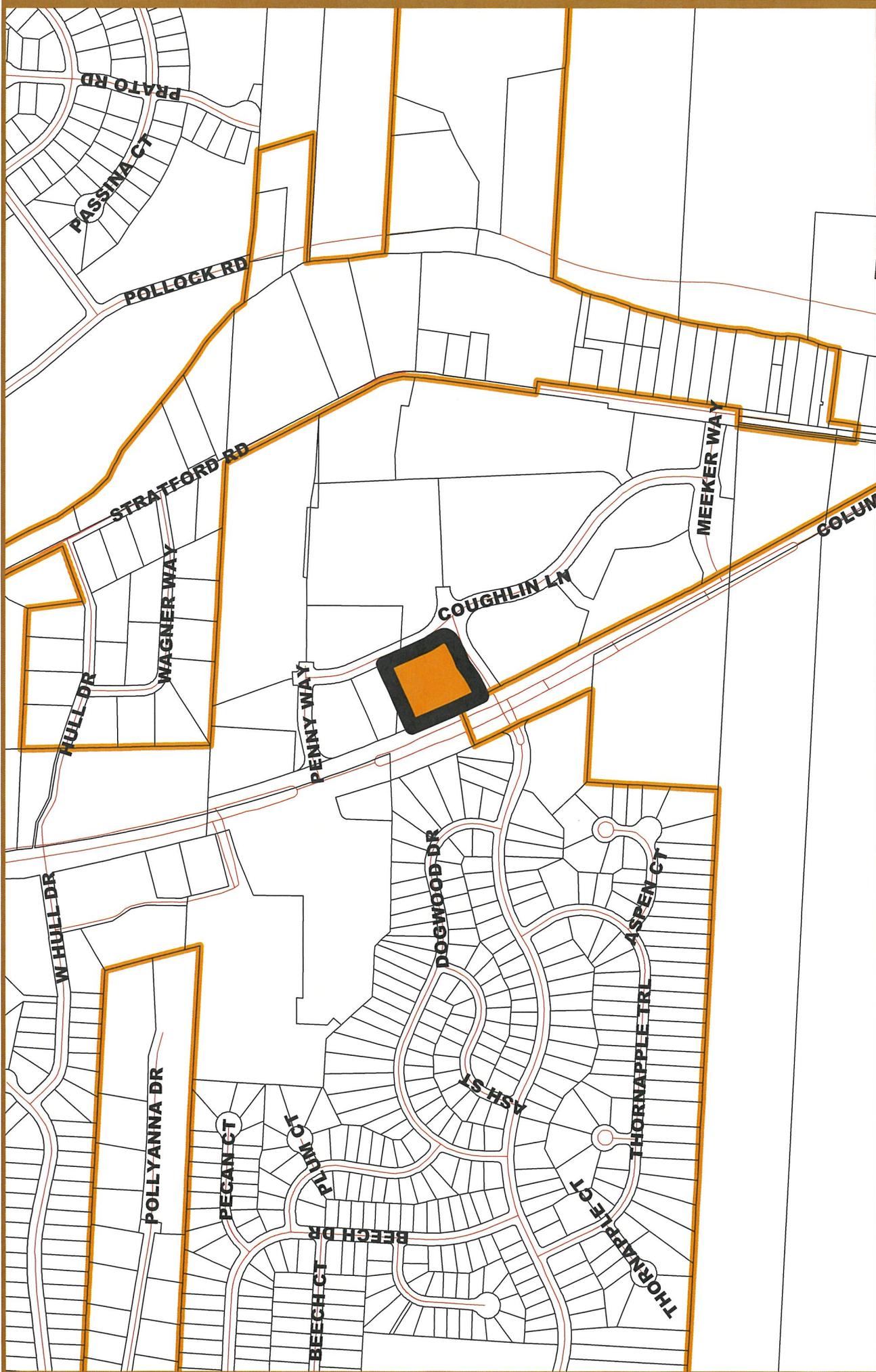
Coughlin's Crossing  
Lot 12724

Delaware Development Plan, LTD. is planning to develop a new multi-use building on Lot 12724 of the Coughlin's Crossing Development. The site improvements include the construction of a new 16,800 SF multi-use building, associated drives, parking, utilities, and landscape improvements.

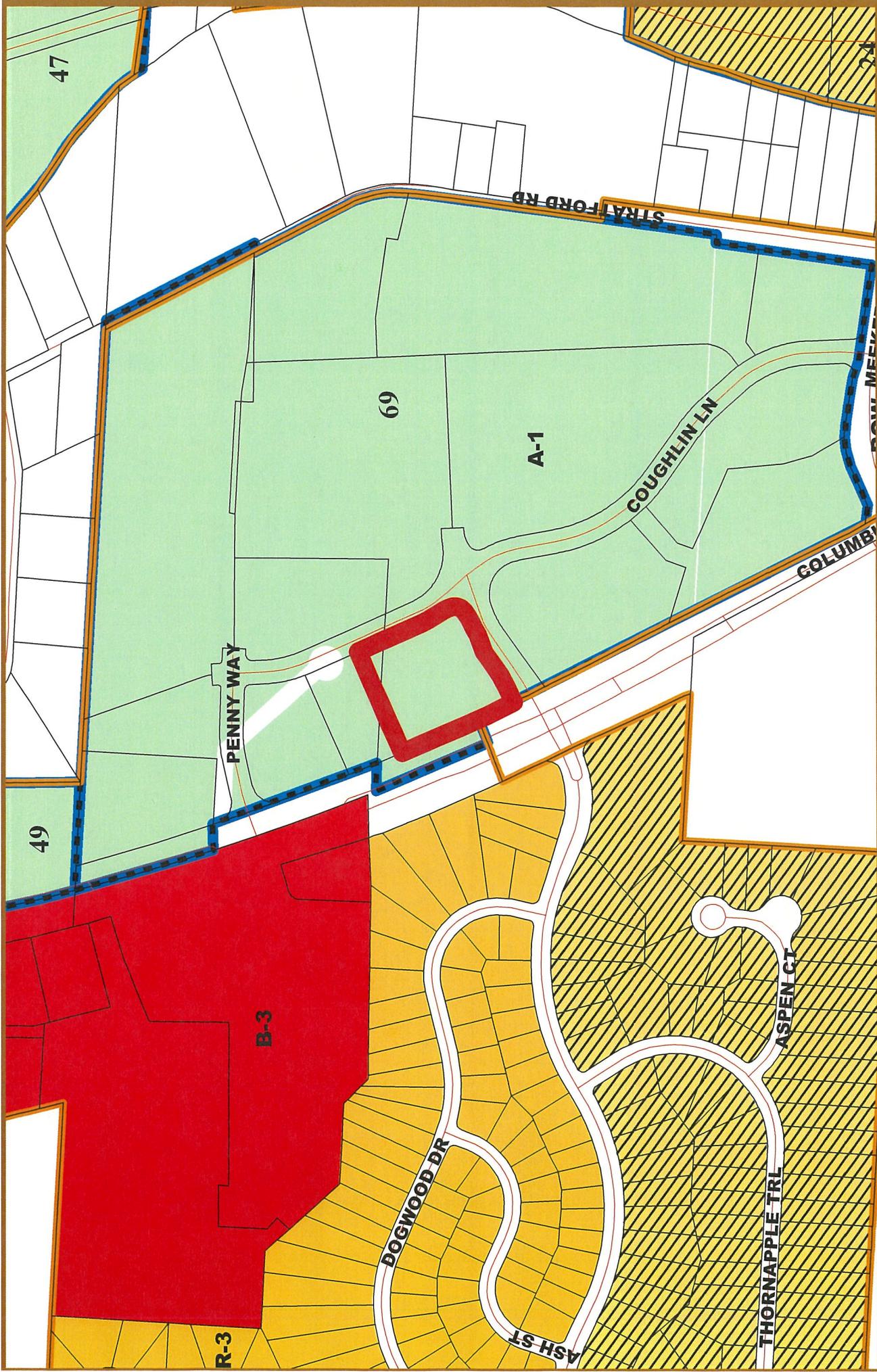
The proposed building will have a drive thru that will allow for adequate zoning required stacking spaces. The site also includes parking above the minimum required by the Coughlin's Crossing development text. There are two proposed drive entrance on to the site, both of which are accessed from Coughlin Lane. The north drive entrance will be a shared access drive with the neighboring car wash. The south drive entrance is a right-in right-out only entrance.

Drainage improvements will include the installation of onsite storm which ultimately outlets into the regional basin in the southeast corner of the development. Utility service extensions will be added as necessary, and appropriate parking lot lighting will be installed.

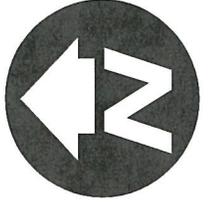
The landscape plan reflects internal trees and screening of headlights from the site. In addition, the landscape plan reflects the screening of the US23 traffic with the mound and landscaping along the west property line.



2020-0406  
 Final Development Plan  
 Coughlin's Crossing - Lot 12724  
 Location Map



2020-0406  
 Final Development Plan  
 Coughlin's Crossing - Lot 12724  
 Zoning Map



2020-0406  
Final Development Plan  
Coughlin's Crossing - Lot 12724  
Aerial (2016) Map





























NO.	DATE	BY	DESCRIPTION
1100	04/18/2010	RLV	1100 DELTA ROAD
1101	04/18/2010	RLV	1101 DELTA ROAD
1102	04/18/2010	RLV	1102 DELTA ROAD
1103	04/18/2010	RLV	1103 DELTA ROAD
1104	04/18/2010	RLV	1104 DELTA ROAD
1105	04/18/2010	RLV	1105 DELTA ROAD
1106	04/18/2010	RLV	1106 DELTA ROAD
1107	04/18/2010	RLV	1107 DELTA ROAD
1108	04/18/2010	RLV	1108 DELTA ROAD
1109	04/18/2010	RLV	1109 DELTA ROAD
1110	04/18/2010	RLV	1110 DELTA ROAD
1111	04/18/2010	RLV	1111 DELTA ROAD
1112	04/18/2010	RLV	1112 DELTA ROAD
1113	04/18/2010	RLV	1113 DELTA ROAD
1114	04/18/2010	RLV	1114 DELTA ROAD
1115	04/18/2010	RLV	1115 DELTA ROAD
1116	04/18/2010	RLV	1116 DELTA ROAD
1117	04/18/2010	RLV	1117 DELTA ROAD
1118	04/18/2010	RLV	1118 DELTA ROAD
1119	04/18/2010	RLV	1119 DELTA ROAD
1120	04/18/2010	RLV	1120 DELTA ROAD

**LEGEND**

- PR CURB & PAVEMENT
- PROPERTY LINE
- RIGHT OF WAY
- DRIVEWAY CENTERLINE
- PARKING COUNT
- \*CURB RADIUS ARE 5' UNLESS DIMENSIONED OTHERWISE

**SCORED NOTES**

1. ADA ACCESSIBLE PARKING SEE GRADING DETAILS FOR DIMENSIONS.
2. ADA ACCESSIBLE PARKING SPAW PER DETAIL ON SHEET 3.
3. ADA ACCESSIBLE PARKING SPAW PER DETAIL ON SHEET 3.
4. ADA ACCESSIBLE PARKING SPAW PER DETAIL ON SHEET 3.
5. WHEEL STOP PER DETAIL ON SHEET 3.
6. PAVEMENT CURB DIMENSIONS. SEE ARCHITECTURAL PLANS FOR DETAILS.
7. PR 18" CURB PER STANDARD DRAWING ROAD-2210.
8. PR SIDEWALK SEE SECTION ON SHEET 3.
9. PR DRIVEWAY SEE SECTION ON SHEET 3.
10. PR DRIVEWAY CONCRETE PAV. SEE DETAIL ON SHEET 3.
11. DRIVE CURB RADIUS PER STANDARD DRAWING ROAD-100.
12. DRIVE CURB RADIUS PER STANDARD DRAWING ROAD-100.
13. DRIVE CURB RADIUS PER STANDARD DRAWING ROAD-100.
14. DRIVE CURB RADIUS PER STANDARD DRAWING ROAD-100.
15. DRIVE CURB RADIUS PER STANDARD DRAWING ROAD-100.
16. DRIVE CURB RADIUS PER STANDARD DRAWING ROAD-100.
17. DRIVE CURB RADIUS PER STANDARD DRAWING ROAD-100.
18. DRIVE CURB RADIUS PER STANDARD DRAWING ROAD-100.
19. DRIVE CURB RADIUS PER STANDARD DRAWING ROAD-100.
20. DRIVE CURB RADIUS PER STANDARD DRAWING ROAD-100.

**SITE DATA**

PARCEL NUMBER: 491935400000  
 TOTAL AREA: 2.64 AC  
 TOTAL AREA: 11,600 SQ. FT.  
 IMPROVED AREA: 2,103 AC  
 BUILDING SF: 10,800  
 PARKING REQUIRED: 146  
 PARKING PROVIDED: 123  
 ZONING: PMU

**LINE TABLE**

NO.	LENGTH	BEARING
L1	17.45	S46°29'38.95"W

**CURVE TABLE**

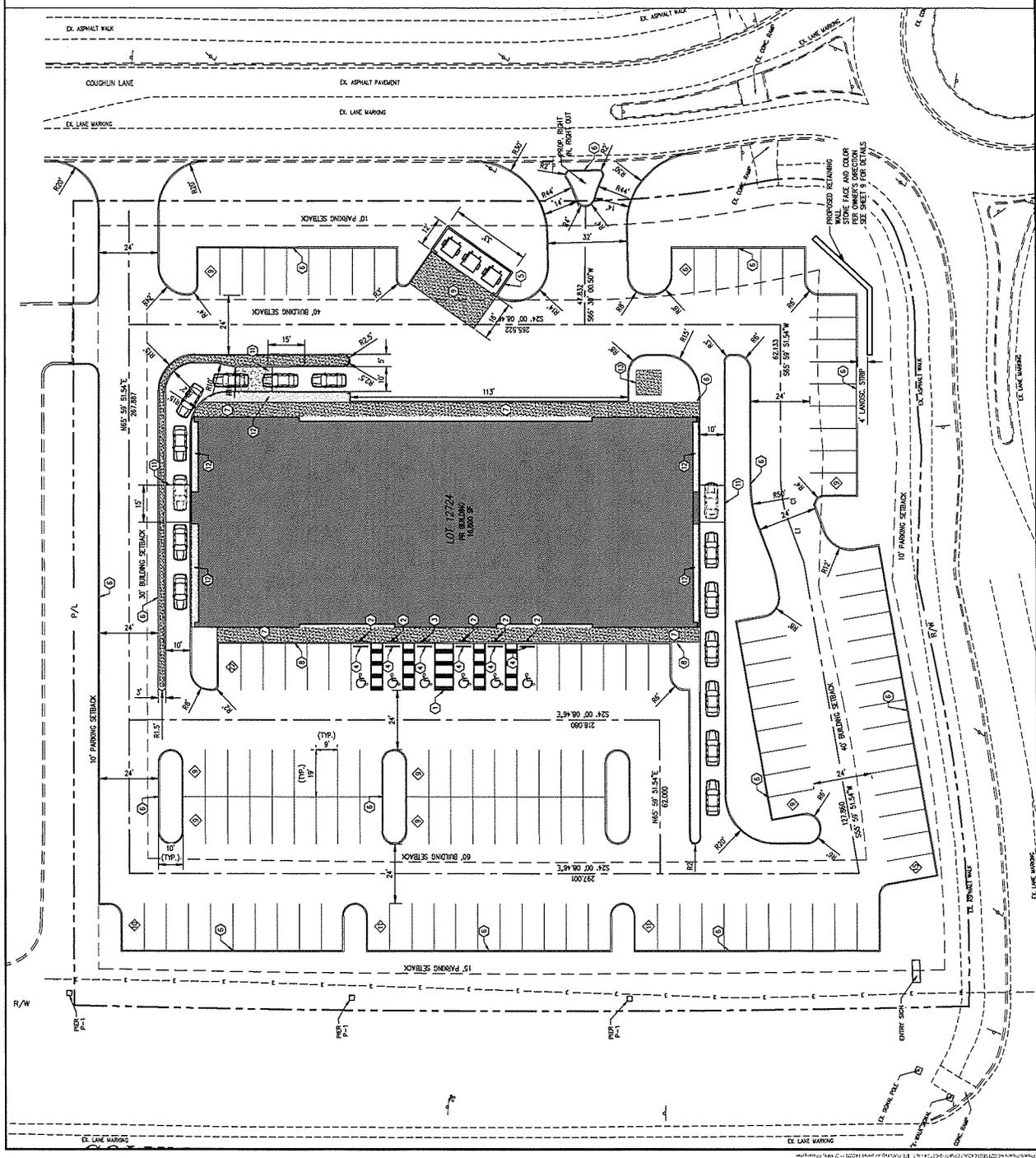
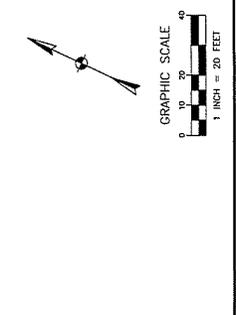
NO.	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	17.89	50	20°29'53"	17.79	S59°44'55.24"W

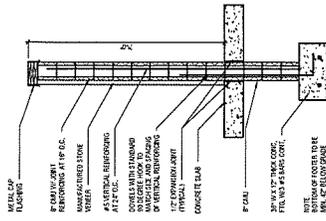
**PROPERTY LINE/RIGHT OF WAY LINE TABLE**

NO.	LENGTH	BEARING
L3	52.38	S88°08'07"W
L4	42.22	S44°17'05"W

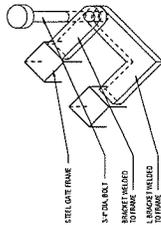
**PROPERTY LINE/RIGHT OF WAY CURVE TABLE**

NO.	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C19	75.87	305	011°17'29"	75.75	S37°39'53"E
C20	30.43	82	07°11'10"	30.26	S24°19'51"E
C21	33.15	33	05°33'13"	31.77	S14°59'41"W
C22	42.84	108	02°27'15"	42.38	S55°04'56"W
C23	46.44	305	00°54'10"	46.01	S82°36'13"W
C24	132.79	557	03°20'15"	132.48	S89°52'25"W
C25	340.04	7584	02°43'27"	340.01	N12°56'18"W

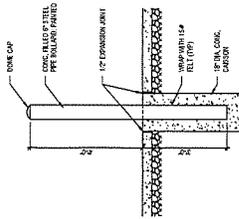




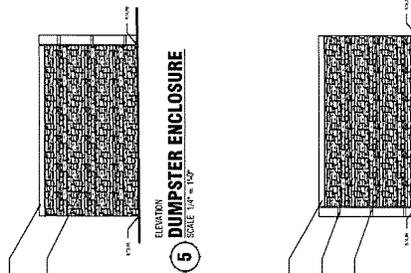
SECTION  
**6** DUMPSTER ENCLOSURE  
 SCALE: 1/2" = 1'-0"



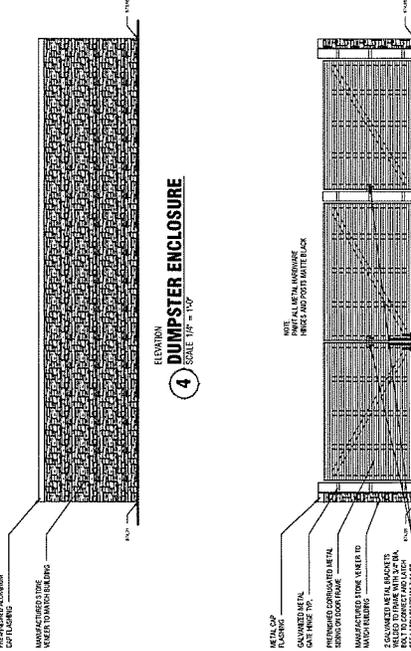
SECTION  
**7** LATCH DIAGRAM  
 SCALE: 3" = 1'-0"



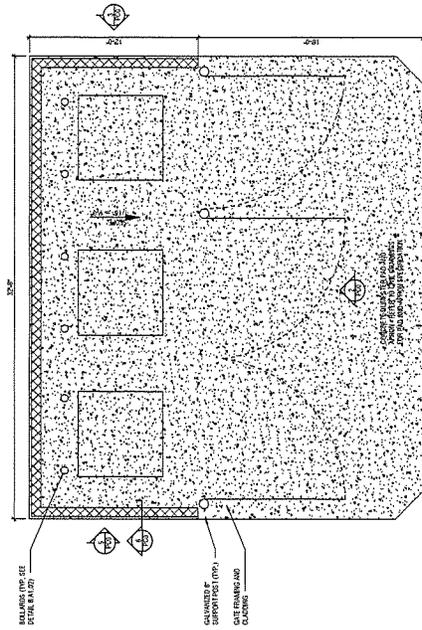
SECTION  
**8** TYPICAL BOLLARD  
 SCALE: 1/2" = 1'-0"



ELEVATION  
**3** DUMPSTER ENCLOSURE  
 SCALE: 1/4" = 1'-0"



ELEVATION  
**4** DUMPSTER ENCLOSURE  
 SCALE: 1/4" = 1'-0"



PLAN  
**1** DUMPSTER ENCLOSURE  
 SCALE: 1/4" = 1'-0"



Symbol	Quantity	Manufacturer	Catalog Number	Description	Finish	Light Level Footcandle
○	2	Visionaire Lighting LLC	ODN-2-144-LED-40	28 in. D x 23.5 in. H LED Luminaire	1	10000
○	2	Visionaire Lighting LLC	ODN-2-144-LED-40	28 in. D x 23.5 in. H LED Luminaire	1	10000
○	2	Visionaire Lighting LLC	ODN-2-144-LED-40	28 in. D x 23.5 in. H LED Luminaire	1	10000

**Note**  
Mounting Height poles lights: 28'-0"  
Mounting Height of wall mounted fixture: 16 feet

Statistics	Max	Min	Avg
Description	15.9 fc	N/A	0.8 fc
Calc Zone #2	15.9 fc	N/A	0.8 fc

**ODEN LED Specifications**



**Ordering Information**

MODEL	OPTICS	LENS	CURRENT	FEET/VA	VOLUME	HOURLY	FIXTURES	COVERAGE	OPTIC
ODN-1	11	11	11	11	11	11	11	11	11
ODN-2	22	22	22	22	22	22	22	22	22
ODN-3	33	33	33	33	33	33	33	33	33
ODN-4	44	44	44	44	44	44	44	44	44
ODN-5	55	55	55	55	55	55	55	55	55
ODN-6	66	66	66	66	66	66	66	66	66
ODN-7	77	77	77	77	77	77	77	77	77
ODN-8	88	88	88	88	88	88	88	88	88
ODN-9	99	99	99	99	99	99	99	99	99
ODN-10	100	100	100	100	100	100	100	100	100



All light fixtures and poles are to be black in color.

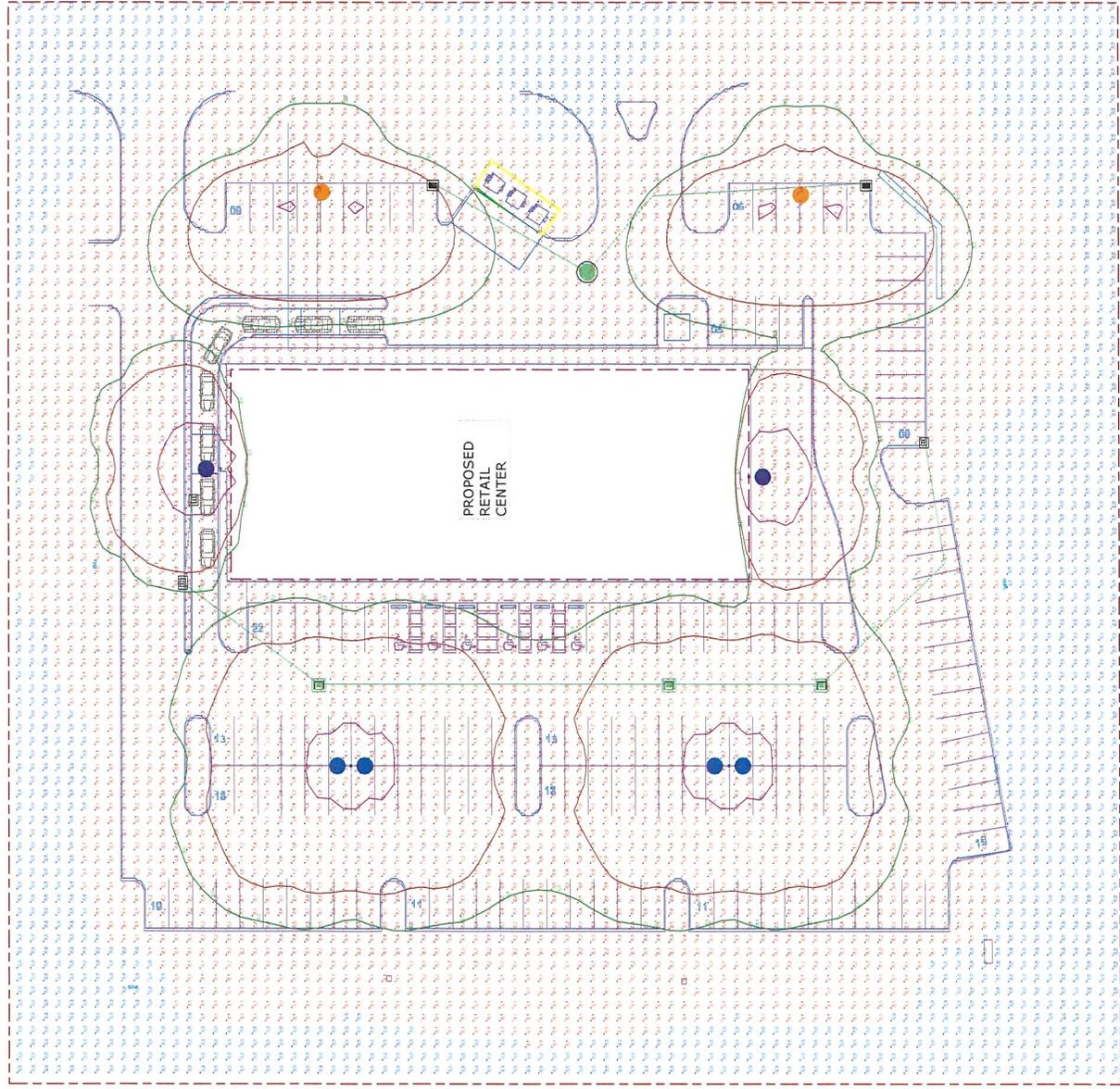
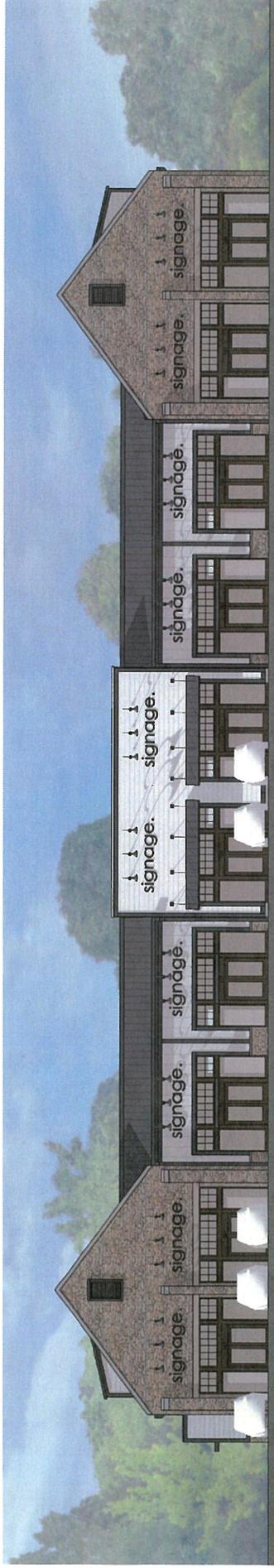
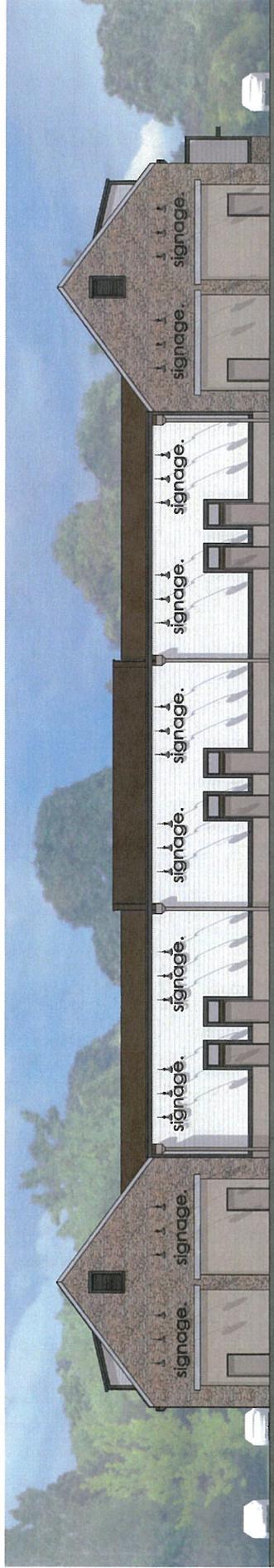


Figure 14.10

think. create. do.



**West Facade** // Scale: 1/16" = 1'-0"



**East Facade** // Scale: 1/16" = 1'-0"

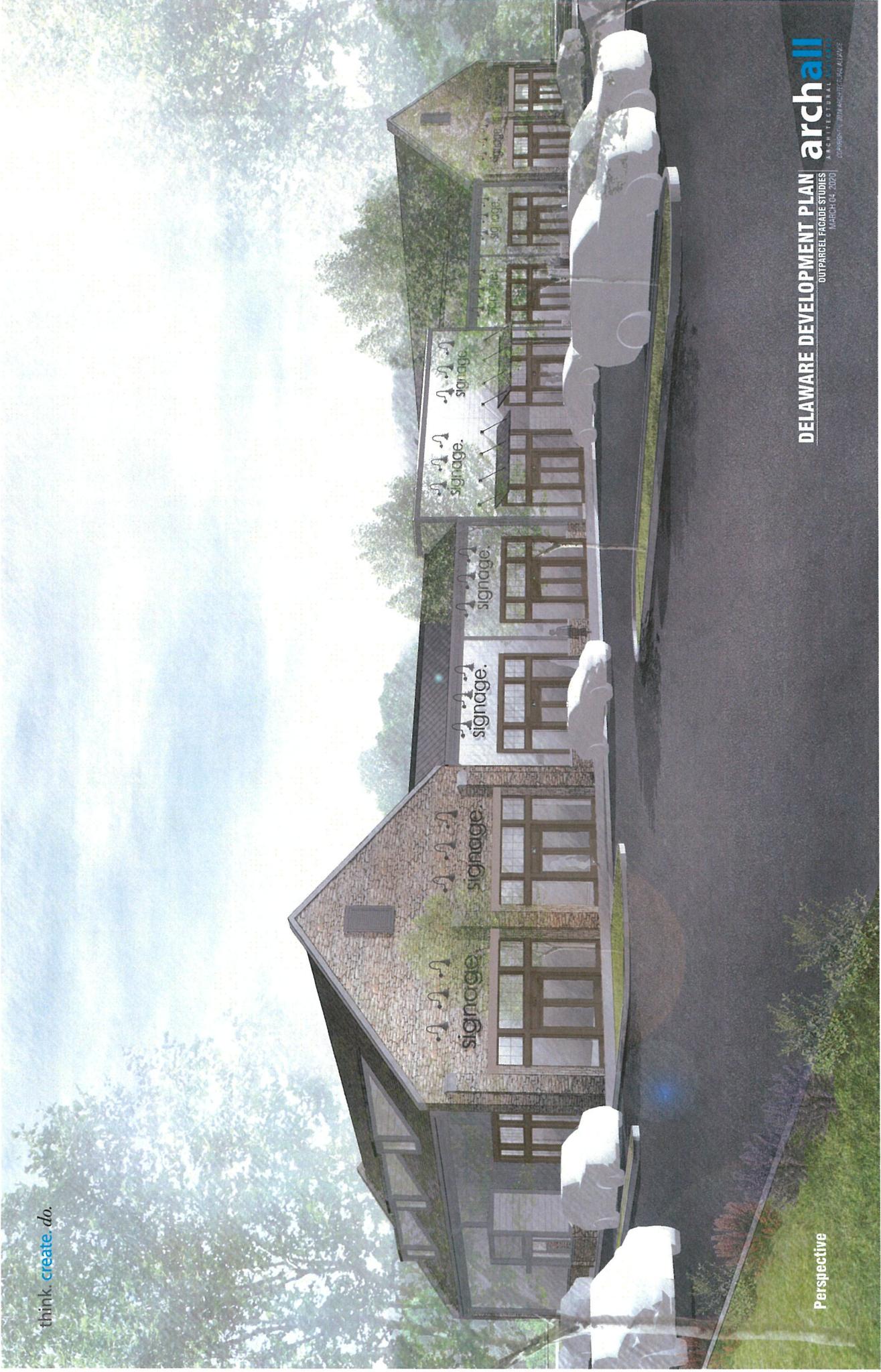


**South Facade** // Scale: 1/16" = 1'-0"



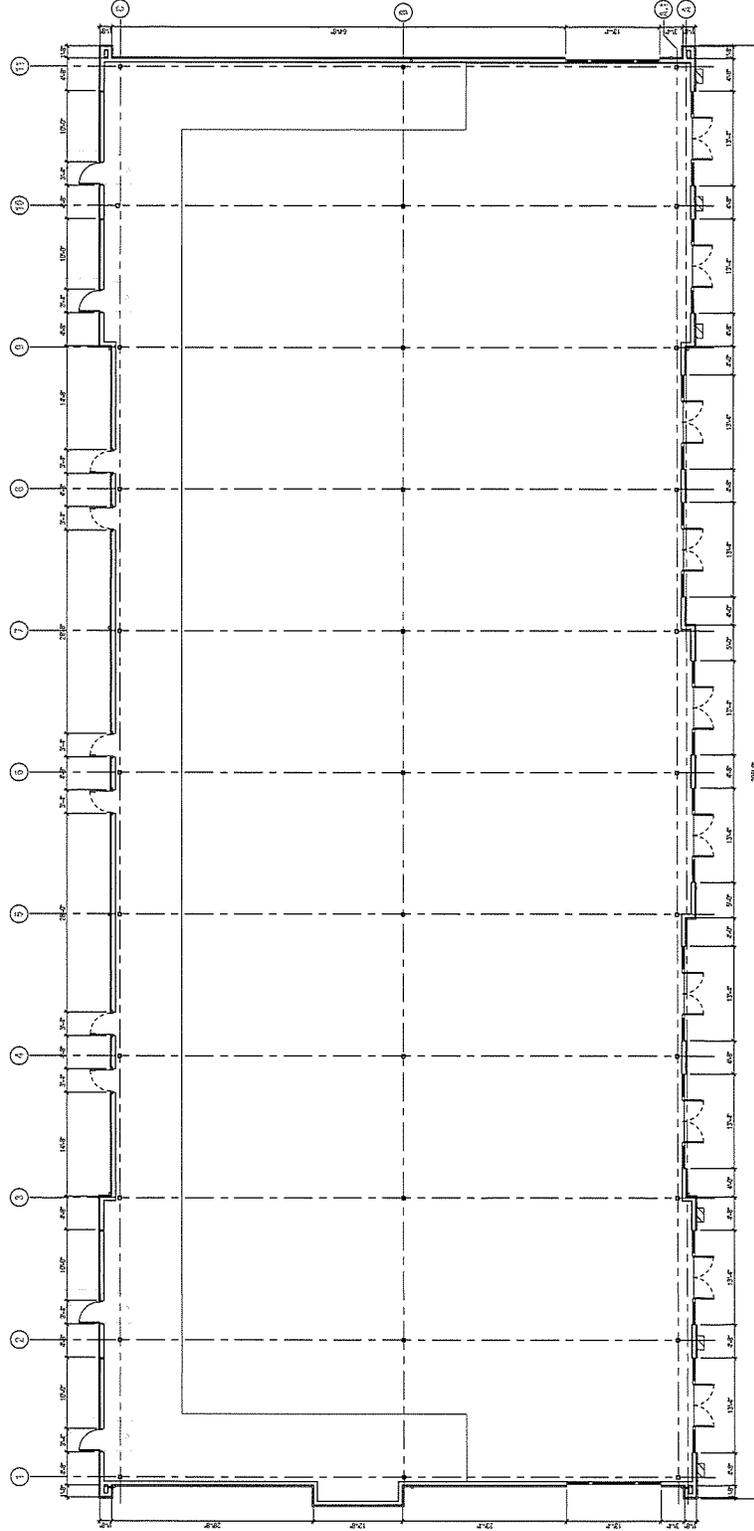
**North Facade** // Scale: 1/16" = 1'-0"

think. create. do.



Perspective

think. create. do.

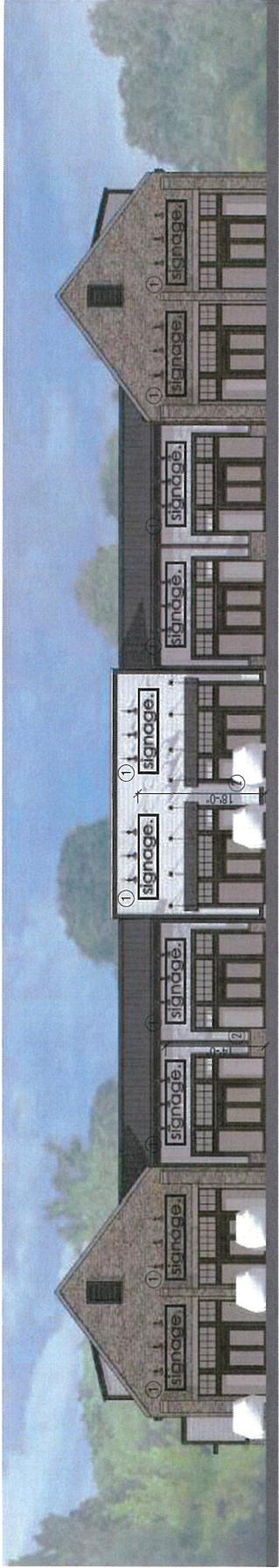


1 FIRST FLOOR - OVERALL PLAN  
SCALE: 1/8" = 1'-0"

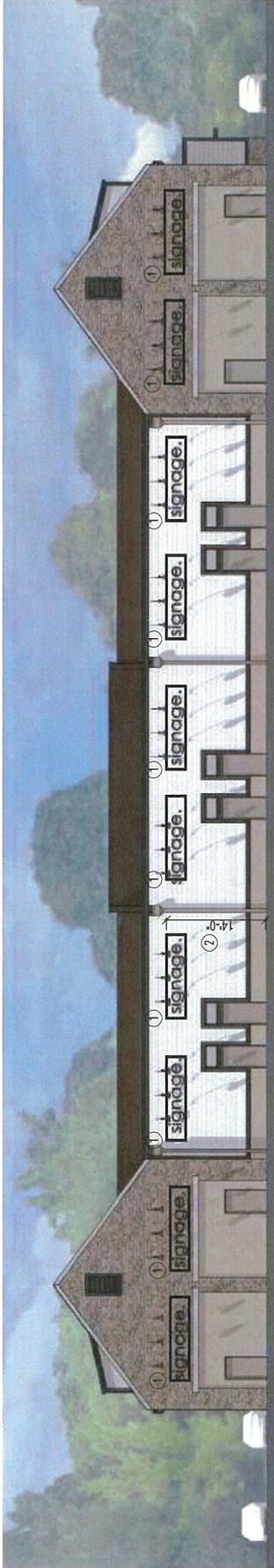
COUGHLIN CROSSING  
03/04/20

archall  
ARCHITECTURAL ALLIANCE

think. create. do.



**West Facade** // Scale: 1/16" = 1'-0"



**East Facade** // Scale: 1/16" = 1'-0"



**South Facade** // Scale: 1/16" = 1'-0"

**Area** 10' 2'-6"

**Height** 2'-6"

① MAX. SIGN AREA (TYPICAL ALL BLDG. SIGNS)

② ALL SIGNS 14'-0" TO TOP EXCEPT AS NOTED (2) @ 18'-0"

**Lighting**

③ ALL SIGNS NON-ILLUMINATED, SIGNS ILLUMINATED BY GOOSE-NECK FIXTURES ABOVE.

**Color**

④ REGISTERED TRADEMARKS ARE ALLOWED, ALL OTHER SIGN COLORS ARE LIMITED TO 5 COLORS PER SIGN.



**North Facade** // Scale: 1/16" = 1'-0"

**Type of**

⑤ SIGNS SHALL BE REVERSE CHANNEL LETTERS

**Sub Area 6 Multi-Tenant Building**

Comprehensive Sign Plan

04-01-2020

ORDINANCE NO. 20-25

AN ORDINANCE AUTHORIZING EMERGENCY MEASURES IN RESPONSE TO COVID-19 VIRUS AND DECLARING AN EMERGENCY.

WHEREAS, the Coronavirus (COVID-19) is a new disease that is spread through people who are in close contact with one another and through respiratory droplets produced when an infected person coughs or sneezes; and

WHEREAS, the Centers for Disease Control (CDC) believes spread of the disease might be possible before people show symptoms and has recommended limitations on meetings of groups; and

WHEREAS, the CDC notes that COVID-19 seems to be spreading easily and sustainably in a process known as community spread (people have been infected with the virus without knowing where they became infected); and

WHEREAS, older adults and people with chronic medical conditions such as lung disease are at higher risk of getting seriously ill; and

WHEREAS, on March 10, Ohio Governor Mike DeWine recommended large, indoor gatherings be cancelled or postponed due to the potential for the coronavirus (COVID-19) exposure; and

WHEREAS, on March 11, the World Health Organization (WHO) declared COVID-19 to be a global pandemic; and

WHEREAS, Governor DeWine declared a State of Emergency in Ohio (Executive Order 01-D); and

WHEREAS, on March 13, the Ohio Attorney General's Office issued a letter indicating that based on the Ohio Department of Health's Order prohibiting mass gatherings while encouraging people to stay at home and avoid unnecessary contact with each other, City Council may "appear via teleconference or telephone" if all other requirements of the Open Meetings Act are met; and

WHEREAS, at least fifty confirmed cases of COVID-19 have been identified in Ohio; and

WHEREAS, based on the information presented so far, City Council has determined that steps should be taken to prepare for an emergency situation.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. City Council may meet remotely provided the following conditions are met:

1. Identity Verification is in place to ensure that the person participating is the city council member
2. The method of meeting is able to document any votes cast by individual members
3. If a member is cut off from the meeting, Council will cease all discussions and deliberations while an attempt is made to reconnect the member. If the member remains unavailable and they are not needed for quorum, the meeting may continue
4. The public has access to the remote meeting and may hear the discussions and deliberations.

SECTION 2. While the Governor's and CDC recommendation (and any forthcoming restriction on meetings) is in place, Boards and Commissions will not meet. Council hereby delegates the work of those commissions to city staff, with City Council taking final action on recommendations.

SECTION 3. The City Manager is hereby granted authority to declare A State of Emergency within the City of Delaware should it become necessary in order to continue to provide city services or take action to comply with an order from the State of Ohio.

SECTION 4. In the event of a State of Emergency is declared and if Council is rendered unable to meet with a quorum, the City Manager is granted the following powers in addition to the emergency powers set for in Charter Section 73 (city manager may in cases of disaster or emergency enter into contracts without competitive bidding or advertising) and Codified Ordinance Sections 351.20, 353.05 (city manager can declare emergency to prohibit parking); 913.24 (water emergency when water supply at low level):

1. Executing intergovernmental agreements
2. Actions necessary to implement state and federal requirements
3. Making budget or staffing adjustments necessary to address the emergency
4. Executing labor agreements under terms similar to those agreements already approved
5. Changes in city service levels taken to reduce potential exposure to the virus or due to staffing levels
6. Issue emergency bonds or notes pursuant to Ohio Revised Code Section 717.15
7. Extending due date for income tax filings

These powers may be exercised as long as the state of emergency exists and Council is unable to meet.

SECTION 5. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

SECTION 6. EMERGENCY CLAUSE: This ordinance is hereby declared to be an emergency measure necessary to provide for the public peace, safety, health, and welfare of the City by taking immediate steps to reduce the spread of COVID-19 and ensure the government of the City is able to function in times of emergency.

VOTE ON RULE SUSPENSION:

YEAS 7 NAYS 0  
ABSTAIN 0

VOTE ON EMERGENCY CLAUSE:

YEAS 7 NAYS 0  
ABSTAIN 0

PASSED: March 18, 2020

YEAS 7 NAYS 0  
ABSTAIN 0

ATTEST:

Elaine McCloskey  
CITY CLERK

Candy Kaye  
MAYOR



## FACT SHEET

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AGENDA ITEM NO: 9

DATE: 04/27/2020

ORDINANCE NO: 20-28

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: NO

---

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN FOR DELAWARE DEVELOPMENT PLAN LTD., FOR TWO MIXED-USE COMMERCIAL /OFFICE BUILDING WITHIN SUB-AREA 5 OF COUGHLIN'S CROSSING ON APPROXIMATELY 5.752 ACRES LOCATED EAST OF US 23, WEST OF COUGHLIN LANE AND JUST SOUTH OF HAWTHORN BOULEVARD AND ZONED A-1 PMU (AGRICULTURAL WITH A PLANNED MIXED-USE OVERLAY DISTRICT).

**BACKGROUND:**

See attached staff report.

**REASON WHY LEGISLATION IS NEEDED:**

To achieve compliance with Section 1129.05 Final Development Plan requirements of the zoning code.

**COMMITTEE RECOMMENDATION:**

Normally this item would be presented to the Planning Commission for review and then submitted to City Council. Under City Council's Emergency Ordinance 20-25, this case is being presented to City Council directly with the Planning Director's recommendation of approval. As always, City Council is free to approve, deny, amend or refer the case back to the Planning Commission for further review.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval

**ATTACHMENT(S)**

Staff Report

Ordinance 20-25

ORDINANCE NO. 20-28

AN ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN FOR DELAWARE DEVELOPMENT PLAN LTD., FOR TWO MIXED-USE COMMERCIAL /OFFICE BUILDING WITHIN SUB-AREA 5 OF COUGHLIN'S CROSSING ON APPROXIMATELY 5.752 ACRES LOCATED EAST OF US 23, WEST OF COUGHLIN LANE AND JUST SOUTH OF HAWTHORN BOULEVARD AND ZONED A-1 PMU (AGRICULTURAL WITH A PLANNED MIXED-USE OVERLAY DISTRICT).

WHEREAS, under normal circumstances, this item would be presented to the Planning Commission for review and then submitted to City Council; under 20-25, Council's emergency ordinance (enclosed), this matter is being presented to Council directly with staff's recommendation for consideration; and

WHEREAS, City Council maintains the authority to approve, deny, amend, or refer the matter back to the Planning Commission for further review; and

WHEREAS, the Planning Director recommends approval based on emergency ordinance 20-25 of a Final Development Plan for Delaware Development Plan LTD., for Two Mixed-Use Commercial/Office Building within Sub-Area 5 of Coughlin's Crossing on approximately 5.752 acres located east of US 23, west of Coughlin Lane and just south of Hawthorn Boulevard and zoned A-1 PMU (Case 2020-0629).

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Final Development Plan for Delaware Development Plan LTD., for Two Mixed-Use Commercial/Office Building within Sub-Area 5 of Coughlin's Crossing on approximately 5.752 acres located east of US 23, west of Coughlin's Crossing on approximately 5.752 acres located east of US 23, west of Coughlin Lane and just south of Hawthorn Boulevard and zoned A-1 PMU (Case 2020-0629) is hereby confirmed, approved, and accepted with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The limestone on the building and the retaining wall shall achieve compliance with the approved development text.
3. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color.

4. All roof top mechanical equipment shall be screened from public view.
5. The applicant shall submit all building elevations along with material and color samples for all building materials for staff review and approval.
6. The dumpster enclosure shall be constructed of stone to match the building and have wood doors painted or stained to match.
7. The site shall require a payment in lieu of planting trees of \$26,004.79 (5.752 acres x \$4,521 per acre) prior to the approval of construction drawings.
8. All the landscape plans shall be approved by the Shade Tree Commission.
9. The lighting plan shall be reviewed and approved by the City and all lighting must meet the requirements of the approved development text and the Planning & Zoning Code.
10. All tenants shall apply for a sign permit that achieves compliance with the approved comprehensive sign plan and this report.
11. A perimeter buffer shall be installed along the northern property line with a continuous screen of shrubs.
12. The hours of operation of any outdoor patio shall be between 9:00 am and 11:00pm. Also, outdoor music, amplified sound or sound systems, or outdoor entertainment shall be allowed only during the hours of operation. Trash receptacles, regular maintenance, fencing and lighting shall be provided. No signage shall be permitted in conjunction with any outdoor dining area.
13. Lot consolidations and/or lot splits shall be approved administratively at the discretion of the Planning Director to allow flexibility in the planned district and in conformance with the approved Development Text.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS \_\_\_ NAYS \_\_\_  
 ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2020

YEAS \_\_\_ NAYS \_\_\_  
 ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_

CITY CLERK

\_\_\_\_\_

MAYOR

**CASE NUMBER:** 2020-0629  
**REQUEST:** Final Development Plan  
**PROJECT:** Coughlin's Crossing  
**MEETING DATE:** April 27, 2020

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**APPLICANT/OWNER**

Delaware Development Plan LTD  
P.O. Box 991  
Pataskala, Ohio 43062

**REQUEST**

2020-0629: A request by Delaware Development Plan LTD., for approval of a Final Development Plan for two Mixed Use Commercial/Office Buildings within Sub-Area 5 of Coughlin's Crossing on approximately 5.752 acres located east of US 23, west of Coughlin's Lane and just south of Hawthorn Boulevard and zoned A-1 PMU (Agricultural with a Planned Mixed Use Overlay District).

**PROPERTY LOCATION & DESCRIPTION**

The proposed two subject lots (northern lot is 3.101 acres and southern lot is 2.651 acres) contain 5.752 acres and are located east of US 23, west of Coughlin Lane and just south of Hawthorn Boulevard. The zoning to the north, south and east is A-1 PMU in the City and the zoning to the west is R-2 (One-Family Residential District).

**BACKGROUND/PROPOSAL**

In November 2016, the Planning Commission and City Council approved a Rezoning Amendment, Conditional Use Permit, an Amendment to the Comprehensive Plan, Preliminary Development Plan and Preliminary Subdivision Plat for the proposed mixed-use development.

In May 2017, Planning Commission and City Council approved a Final Development Plan for Phase 1 (Infrastructure), a Final Subdivision Plat and Street Vacation to subdivide the site and initiate construction for the subject development.

In November 2019, Planning Commission and City Council approved development text amendments and Preliminary Development Plans for Sub-Areas 2, 5 and 6. Now the developer is requesting Final Development Plan for two lots within Sub-Area 5 which would yield two approximate 19,000 square foot mixed-use commercial/office buildings with up to twelve tenants each on approximately 5.572 acres. The subject site is located just south of the proposed 16,000 square foot mixed use commercial/office building in Sub-Area 6.

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**STAFF ANALYSIS**

- **ZONING:** As mentioned above, the site is zoned A-1 PMU and Sub-Area 5 allows the mixed-use commercial and office uses proposed for the buildings which will occupy a total of 5.752 acres (two lots). Also, a drive thru and outdoor patio on each building would be allowed as a limited use. A Preliminary Development Plan for this site has been approved by City Council. A Final Development for this subject site is the final step in the pre-development process for this site and would have to be ultimately approved by City Council.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND ACCESS:** The two proposed mixed-use commercial/office building would have a two full movement curb cuts on Coughlin Lane and a right-in only curb cut on Hawthorn Boulevard. One full movement curb cut on Coughlin Lane would be located between the two subject buildings and the second curb cut would be located just south of the southernmost building and would also provide access to the future 2.813-acre parcel to the south. Each building would have a drive thru option on the north side of each with stacking queue on the north and east sides of the proposed building. There would not be any direct access for US 23 to the subject sites.

- **PEDESTRIAN CONNECTIVITY:** A bike path is located on the east side of Coughlin Lane north of the roundabout and the bike path extends west on the north side of Hawthorn Boulevard which is located just north of this development. The bike path extends west across US 23.
- **SITE CONFIGURATION:** The subject two parcels encompass approximately 5.752 acres total (the northern property is 3.101 acres and the southern property is 2.651 acres) and would yield two 19,000 square foot mixed-use commercial buildings (one on each parcels) with 351 parking spaces (190 parking spaces are required). As mentioned above there would be two full movement curb cuts on Coughlin Lane and a right-in only curb cut on Hawthorn Boulevard. The proposed buildings would mirror each other with a drive thru on the northern portion of the building with stacking queue on the north and east sides of the building and an option for an outdoor patio on the southern portion of each building. The southern portion of the parking lot would have to access drives to the future lot to the south which would encompass approximately 2.813 acres. A dumpster enclosure, comprised of limestone to match the building with metal painted doors, would be located just east of each building along Coughlin Lane. The dumpster enclosures and transformers located just north of the dumpster enclosure would be screen by landscaping from Coughlin Lane. Storm water would be detained in the Coughlin's Crossing regional detention basins.
- **TREE REMOVAL & REPLACEMENT:** There do not appear to be any previously unaccounted for qualifying trees (6 inches in caliper or larger) on the subject site. The entire development is subject to the tree replacement requirements established with the approved development text and agreements. This site requires a payment in lieu of planting trees of \$26,004.79 (5.752 acres x \$4,521 per acre) prior to the approval of construction drawings.
- **LANDSCAPING & SCREENING:** The developer received approval for a comprehensive landscape plan with US 23 landscaping and piers, street trees, shade trees, interior parking lot landscaping, foundations plantings and perimeter landscaping per the approved development text and zoning code during the Preliminary Development Plan approval process. Street trees along Coughlin's Lane and Hawthorn Boulevard have already been installed. The proposed landscape plan achieves compliance with code except for a perimeter buffer along the northern property line that shall be planted with a continuous screen of shrubs.
- **LIGHTING:** The developer is proposing six black light poles (double head) and 5 black light poles (single head) that would be 28 feet high with gooseneck light fixtures around the site to light the parking lots. There would be two wall packs mounted 14 feet high on the north and south elevations of each building. The lighting plans shall be reviewed and approved by the City that achieves compliance with the approved development text and the zoning code.
- **SIGNAGE:** The developer identifies wall signage on the east and west elevations that shall achieve compliance with the submitted comprehensive sign plan. The sign plan has the following requirements: 1. The maximum sign area for each tenant space shall be 25 square feet; 2. All signs shall be mounted 14 feet to the top of the sign except for the middle two signs on the west elevation which shall be mounted at 18 feet to the top; 3. All signs shall be externally illuminated by the goose neck lights; internally illuminated signs are prohibited; 4. All signs shall be limited to five colors plus any registered trademark; 5. Signs shall be individual cut channel letters only. 6. Signs shall be located within the sign band areas shown on the sign plan for each tenant or as tenant spaces may be combined as approved by Staff. In no case shall the sign band area for an individual tenant space exceed 10 ft. wide by 2.5 ft tall. Each tenant shall submit for sign permit that shall be reviewed and approved by staff.
- **BUILDINGS:** The subject development has extensive design standards approved for this sub-area and lot by the city that is generally described as a Pennsylvania Dutch style which includes stone end walls, vertical clapboard, board and batten, cement board siding and which incorporates pitched standing seam metal roofs. On each lot, the developer is proposing a 19,000 square foot one-story mixed-use commercial/office building with four-sided architecture that would emulate a barn structure with dormers and stone end walls. The primary frontage along US 23 would have up to twelve tenant spaces with aluminum storefront door and windows with a gridded transom above the windows and doors. The building would have a limestone wainscoting (Allegheny color) bookended by stone end tenant units designed with a barn style design comprised of the same limestone. The middle two bays of the front elevation would be comprised of artic white horizontal hardiplank siding while the two bays on its flank would have artic white vertical hardiplank siding. A sign band with gooseneck lighting would provide another design element to the elevation. The rear

elevation fronting Coughlin's Lane would have a limestone wainscoting with the stone end units comprised of four-inch buff cream masonry colossal block with Allegheny limestone located in the pitched roof area while the remainder of the elevation would be comprised of arctic white horizontal hardiplank lap siding. There would be a sign band for each tenant with gooseneck lights and up to ten-man doors for each tenant painted to match the wainscoting. The north elevation would have drive thru window and aluminum storefront window with a gridded transom. The elevation would be comprised of arctic white vertical hardiplank siding. The pitched roof would have three dormers with windows with grids. The south elevation would mirror the north elevation except it could include a patio. The pitched and flat roofs would be comprised of brown asphalt shingles.

- **OUTDOOR PATIO:** An outdoor patio is permitted with limitations at this location (Sub-Area 5). The hours of operation shall be between 9:00 am and 11:00pm. Also, outdoor music, amplified sound or sound systems, or outdoor entertainment shall be allowed only during the hours of operation. Furthermore, trash receptacles, regular maintenance, fencing and lighting shall be provided. Finally, no signage shall be permitted in conjunction with any outdoor dining area.

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**STAFF RECOMMENDATION (2020-0629 – FINAL DEVELOPMENT PLAN)**

Staff recommends approval of a request by Delaware Development Plan LTD., for approval of a Final Development Plan for two Mixed Use Commercial/Office Buildings within Sub-Area 5 of Coughlin's Crossing on approximately 5.752 acres located east of US 23, west of Coughlin's Lane and just south of Hawthorn Boulevard and zoned A-1 PMU (Agricultural with a Planned Mixed Use Overlay District), with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The limestone on the building and the retaining wall shall achieve compliance with the approved development text.
3. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color.
4. All roof top mechanical equipment shall be screened from public view.
5. The applicant shall submit all building elevations along with material and color samples for all building materials for staff review and approval.
6. The dumpster enclosure shall be constructed of stone to match the building and have wood doors painted or stained to match.
7. The site shall require a payment in lieu of planting trees of \$26,004.79 (5.752 acres x \$4,521 per acre) prior to the approval of construction drawings.
8. All the landscape plans shall be approved by the Shade Tree Commission.
9. The lighting plan shall be reviewed and approved by the City and all lighting must meet the requirements of the approved development text and the Planning & Zoning Code.
10. All tenants shall apply for a sign permit that achieves compliance with the approved comprehensive sign plan and this report.
11. A perimeter buffer shall be installed along the northern property line with a continuous screen of shrubs.
12. The hours of operation of any outdoor patio shall be between 9:00 am and 11:00pm. Also, outdoor music, amplified sound or sound systems, or outdoor entertainment shall be allowed only during the hours of operation. Trash receptacles, regular maintenance, fencing and lighting shall be provided. No signage shall be permitted in conjunction with any outdoor dining area.
13. Lot consolidations and/or lot splits shall be approved administratively at the discretion of the Planning Director to allow flexibility in the planned district and in conformance with the approved Development Text.





April 8, 2020

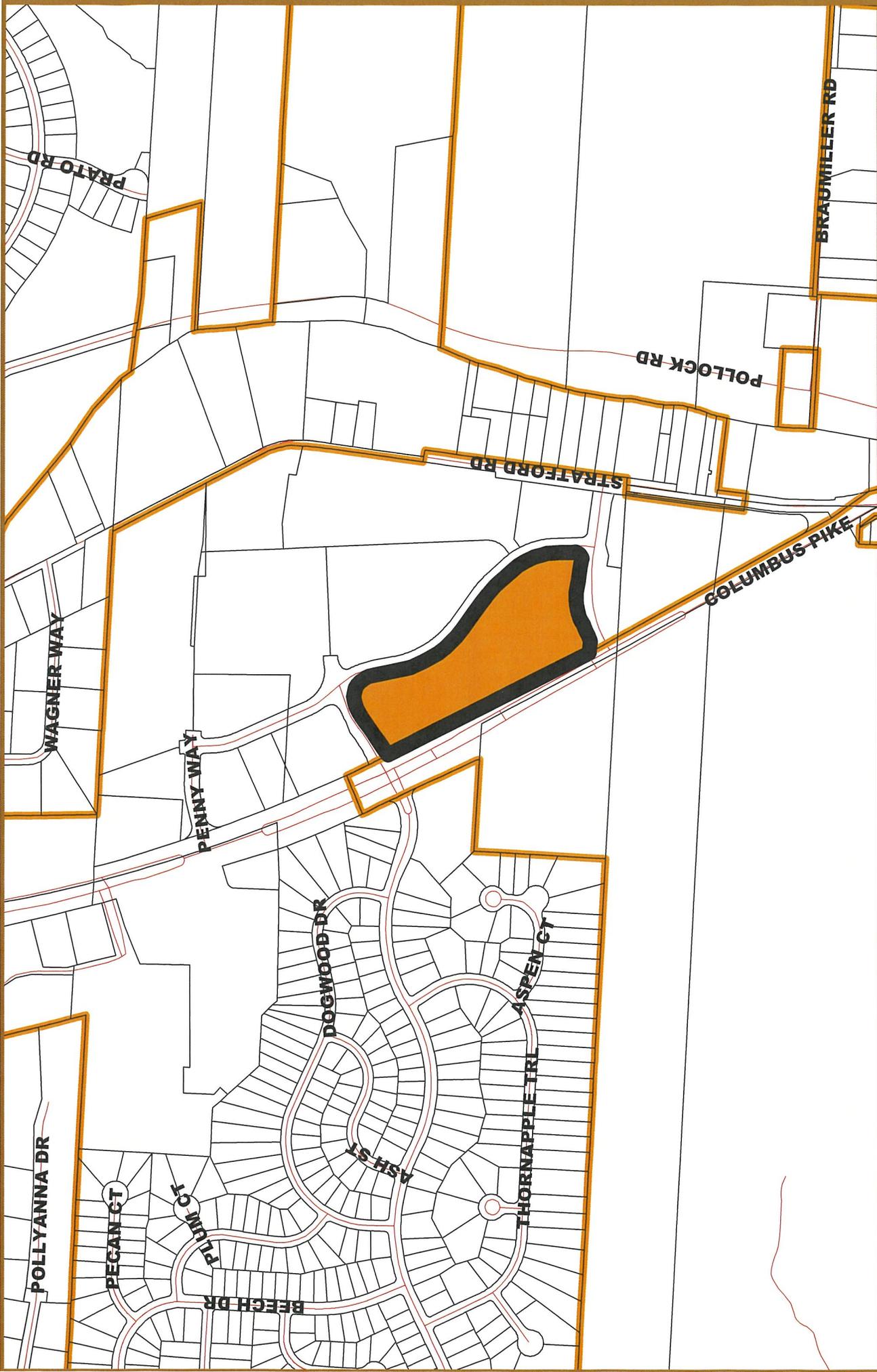
Coughlin's Crossing  
Subarea 5

Delaware Development Plan, LTD. is planning to develop two new multi-use buildings in Subarea 5 of the Coughlin's Crossing Development. The site improvements include the construction of two new 19,000 SF multi-use buildings, associated drives, parking, utilities, and landscape improvements. Site improvements also include the mass grading plan for a third lot to be developed in the future for Subarea 5.

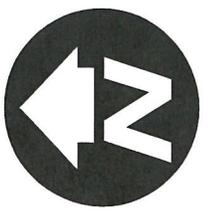
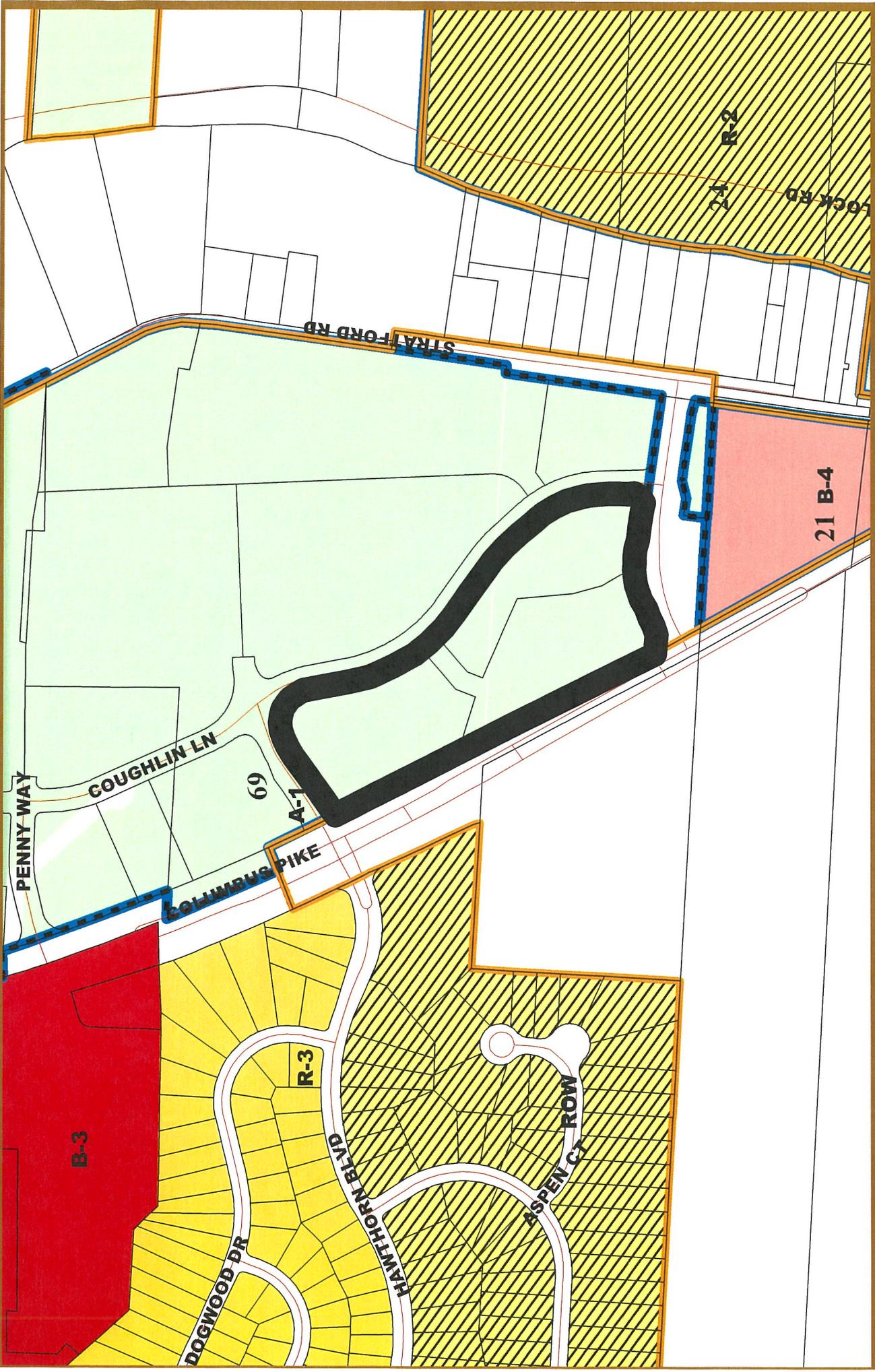
The proposed buildings will have drive thrus on the north ends that will allow for adequate zoning required stacking spaces. The site also includes parking above the minimum required by the Coughlin's Crossing development text. There are three proposed drive entrances on to the site. Two of the drive entrances on the site have access from Coughlin lane, and one drive entrance is a right in only from Hawthorn Boulevard.

Drainage improvements will include the installation of onsite storm which ultimately outlets into the proposed wet basin at the corner of Meeker Way and Coughlin Lane. There are two existing streams on site that will be filled in and conveyed with 48", 84" and 96" pipes throughout the site. The higher flows from the stream will ultimately be detained in the proposed wet basin to alleviate downstream flooding issues. Utility service extensions will be added as necessary, and appropriate parking lot lighting will be installed.

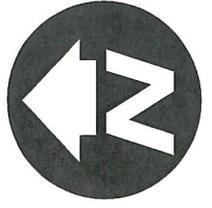
The landscape plan reflects internal trees and screening of headlights from the site. In addition, the landscape plan reflects the screening of the US23 traffic with the mound and landscaping along the west property line.



2020-0629  
 Final Development Plan  
 Coughlin's Crossing - Sub-Area 5  
 Location Map



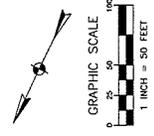
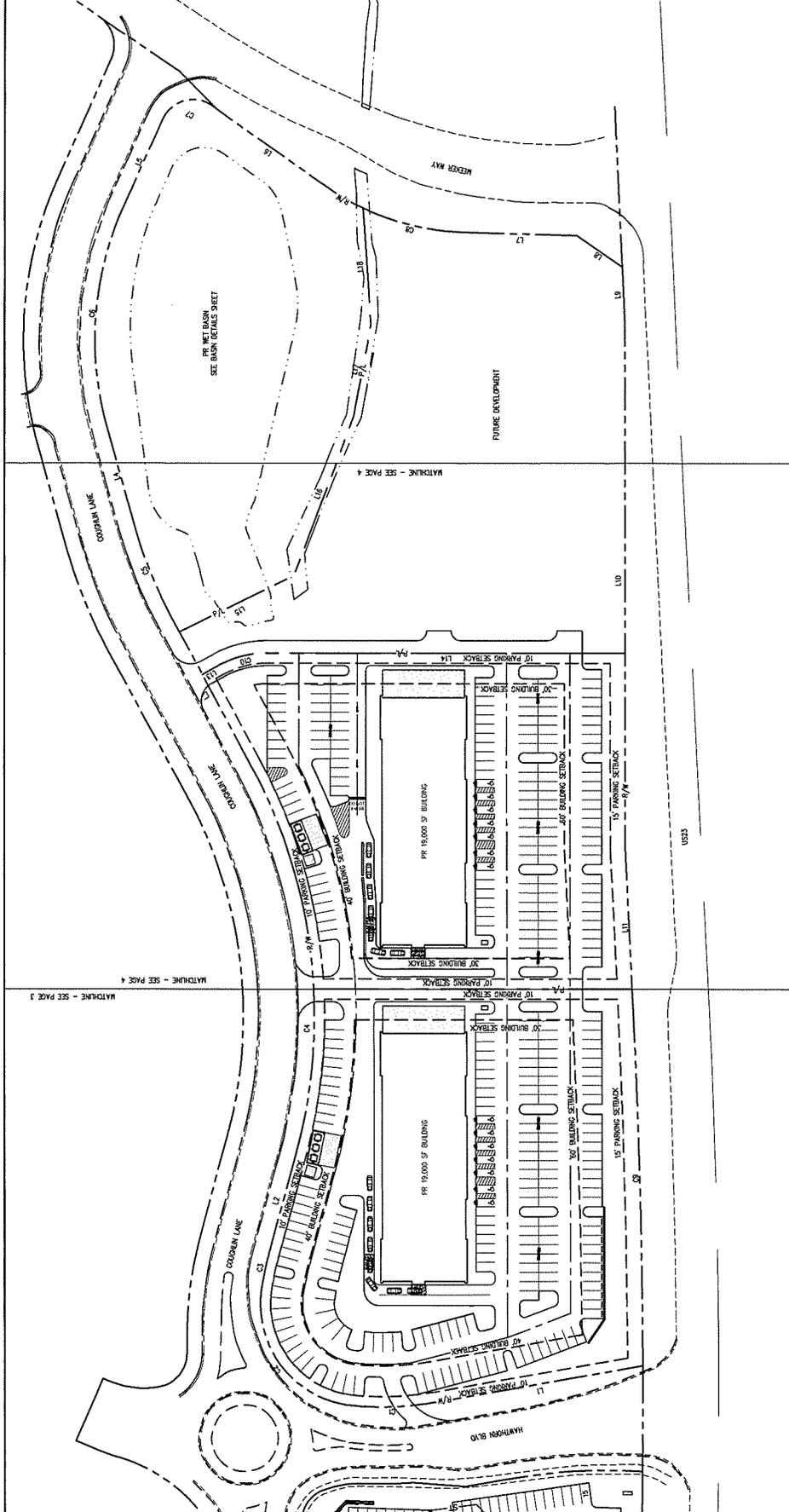
2020-0629  
 Final Development Plan  
 Coughlin's Crossing - Sub-Area 5  
 Zoning Map



2020-0629  
Final Development Plan  
Coughlin's Crossing - Sub-Area 5  
Aerial (2016) Map







PROPERTY LINE/RIGHT OF WAY CURVE TABLE

NO.	LENGTH	BEARING
L1	206.70	S84°07'15"W
L2	100.00	S90°33'51"E
L3	104.06	S84°20'01"E
L4	100.00	S17°28'30"E
L5	103.24	S87°24'52"E
L6	103.24	S87°24'52"E
L7	111.94	S85°45'53"W
L8	54.14	N88°59'46"W
L9	54.28	N88°45'55"W
L10	514.76	N28°45'55"W
L11	153.70	N28°45'55"W
L12	313.69	N64°01'47"E
L13	18.49	N85°31'56"E
L14	352.90	N64°01'47"E
L15	125.55	S38°03'50"W
L16	97.41	S60°14'02"E
L17	90.75	S152°44'E
L18	113.93	S28°59'27"E

PROPERTY LINE/RIGHT OF WAY CURVE TABLE

NO.	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	81	310.00	158°54'	81.72	N67°11'41"E
C2	194	100.00	84°03'17"	146.34	S65°27'13"E
C3	33	315.00	80°54'47"	33.89	S137°31'E
C4	390	510.00	42°51'11"	36.13	S123°37'E
C5	38	400.00	125°31'	38.4	S48°02'01"E
C6	435	315.00	39°14'42"	35.15	S151°52'E
C7	102.61	249.99	237°07"	101.88	S77°10'08"W
C8	305.66	784.43	235°22"	304.63	N27°25'04"W
C10	48.74	100	374°45'	49.33	N84°46'53"E

- LEGEND**
- P-L- PROPERTY LINE
  - R-W- RIGHT OF WAY
  - C- CENTERLINE
  - S- SETBACK

**SITE DATA**  
 TOTAL AREA: 10.88 AC  
 PERVIOUS AREA: 5.54 AC  
 IMPVIOUS AREA: 5.32 AC  
 BUILDING SF: 38,000 SF  
 PARKING REQUIRED: 322  
 PARKING PROVIDED: 331  
 ZONING: PMU

MATCHLINE - SEE PAGE 3

MATCHLINE - SEE PAGE 4

PR MET BASIN  
SEE BASIN DETAILS SHEET

FUTURE DEVELOPMENT

US33

HAMMON BLVD

KEENER WAY

COUGHLIN LANE

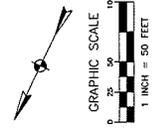
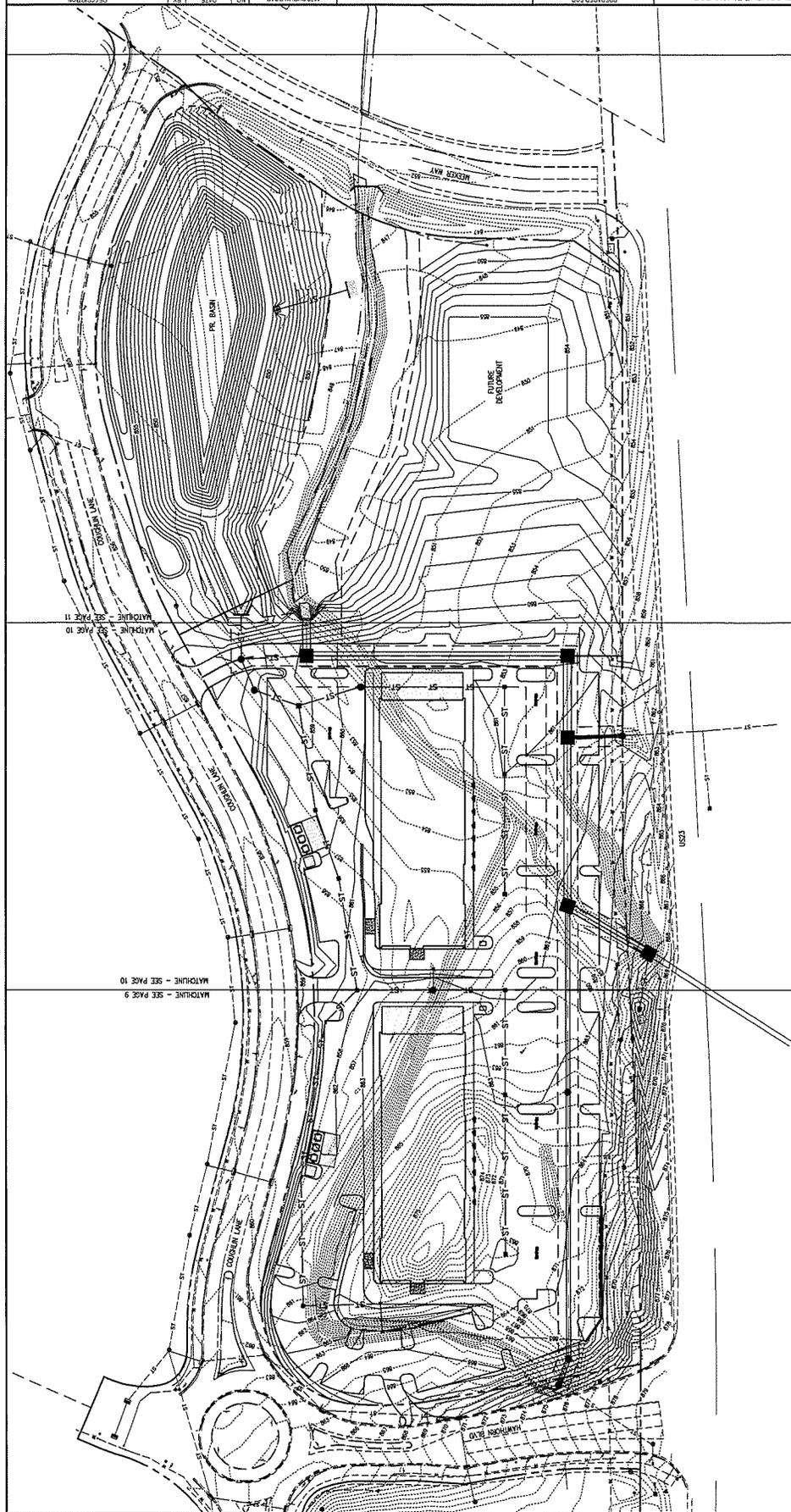












**GRADING NOTES**

1. ALL SPOTS ARE PAVERMENT ELEVATION, UNLESS OTHERWISE NOTED
2. THE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN ESTABLISHING ALL GRADES AND SLOPES IN PAVEMENT AREAS, RAMPS AND SIDEWALKS IN THE VICINITY OF INTERSECTIONS, DRIVE ENTRIES, DRIVE ENTRIES, DRIVE ENTRIES, DRIVE ENTRIES AND LOCAL CREEK. SLOPES NOT TO EXCEED 3% IN ANY DIRECTION.
3. THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE IN ALL AREAS. PAVEMENT SHALL BE TESTED FOR ANY PONDING CONDITIONS FOLLOWING CONSTRUCTION.
4. CONTRACTOR SHALL PROVIDE EVIDENCE OF THE DESIGN AND CONSTRUCTION OF ALL STRUCTURES, INCLUDING BUT NOT LIMITED TO, RETAINING WALLS, UTILITY STRUCTURES, AND EROSION CONTROL MEASURES TO THE LOCAL UTILITY OWNER.
5. SEE GRADING DETAILS SHEET FOR DRIVE ENTRANCE GRADING.
6. ALL FENCES STRUCTURES TO BE ADJUSTED TO GRADE. SEE SIGN DETAILS FOR DETAILS.

**LEGEND**

- PROPOSED CONTOUR
- - - EX CONTOUR

MATCHLINE - SEE PAGE 11

MATCHLINE - SEE PAGE 10

MATCHLINE - SEE PAGE 9















**ODEN LED Specifications**

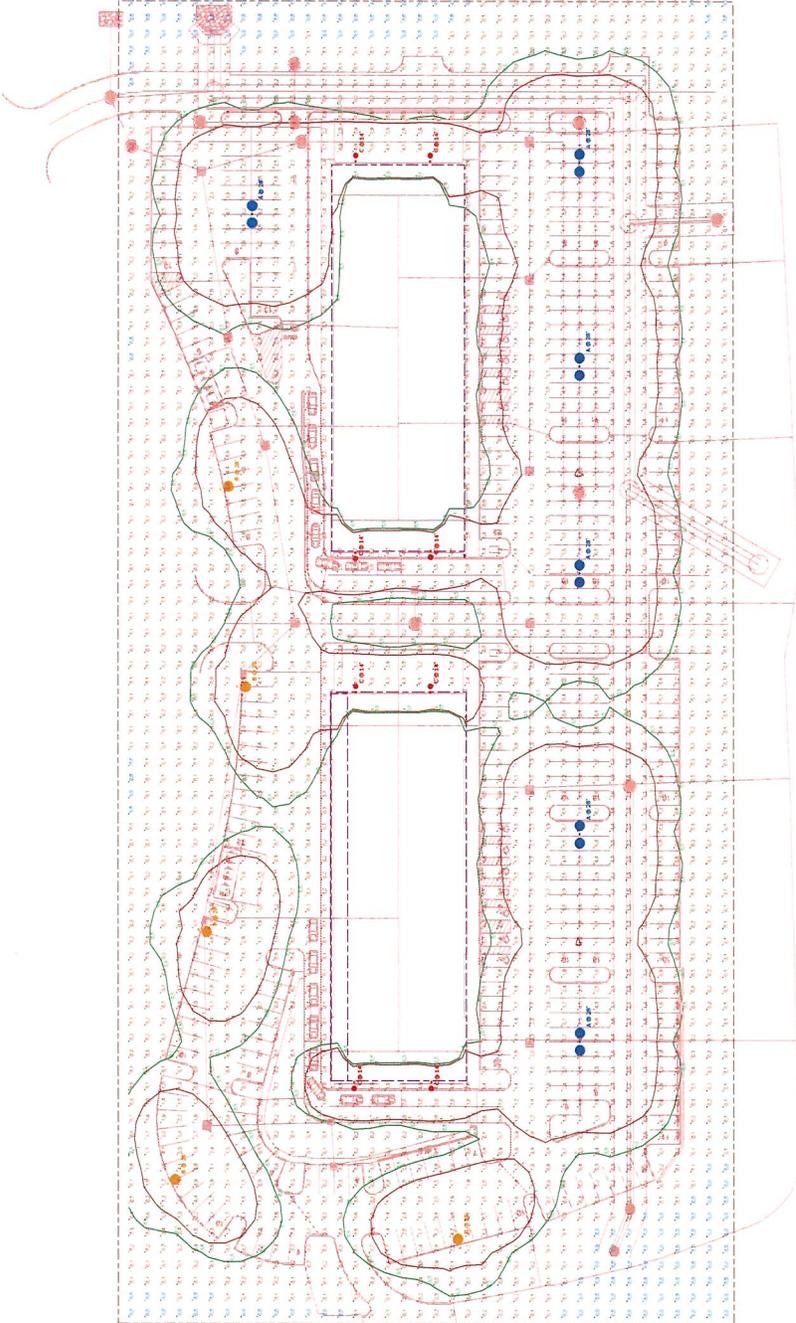
Project Name: \_\_\_\_\_  
 County Name: \_\_\_\_\_  
 Type: \_\_\_\_\_

With the high quality LEDs used in our fixtures, the Color Rendering Index (CRI) is 90+ and the color temperature is 4000K. This provides excellent color rendering for your project. The Color Rendering Index (CRI) is a measure of the ability of a light source to reveal the colors of various objects accurately and faithfully. A CRI of 90+ is considered excellent and is a key feature of our fixtures.



**Ordering Information**

MODEL	OFFICE	LEDs	COMMENT	REMARKS	VOLUME	REVISIONS	DATE	BY	CHK'D	DATE	BY	CHK'D
ODEN-1-L	10'x1'	180	180	180	180	180	180	180	180	180	180	180
ODEN-2-L	10'x1'	180	180	180	180	180	180	180	180	180	180	180
ODEN-3-L	10'x1'	180	180	180	180	180	180	180	180	180	180	180
ODEN-4-L	10'x1'	180	180	180	180	180	180	180	180	180	180	180



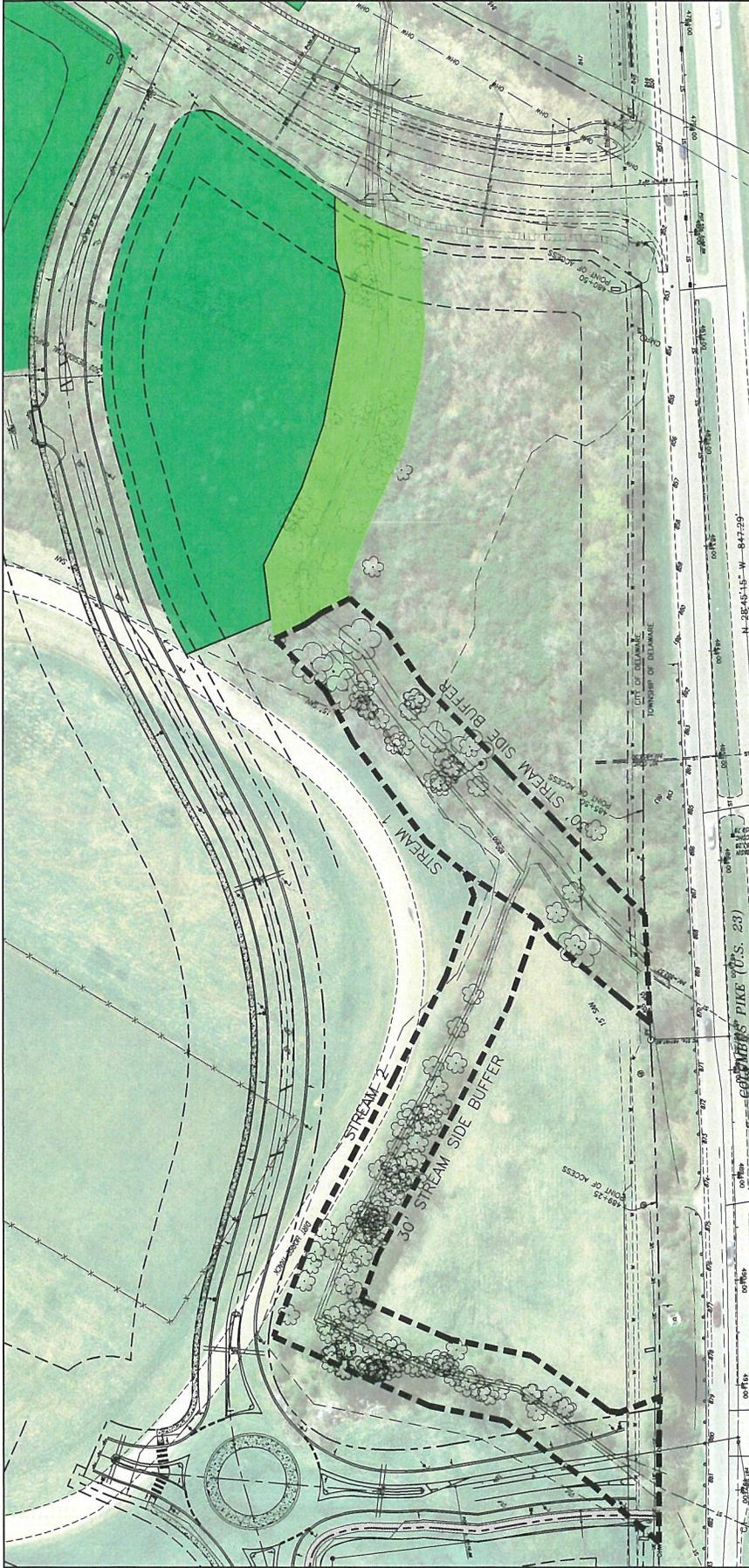
Symbol	Label	Quantity	Manufacturer	Model Number	Description	Number of Lamps	File Name	Lumens Per Lamp	Light Loss Factor	Wattage
○	A	6	Vicinity Lighting LLC	ODN-2-L-T3-64LC-7-4K	35" H x 32.5" W H LED LUMINAIRE	1	ODN-2-L-T3-64LC-7-4K.IES	16000	1	280
○	B	5	Vicinity Lighting LLC	ODN-2-L-T3-64LC-7-4K	35" H x 32.5" W H LED LUMINAIRE	1	ODN-2-L-T3-64LC-7-4K.IES	17092	1	140
○	C	6	Vicinity Lighting LLC	ODN-1-L-T1-33LC-5-4K	30" H x 17.5" W H LED LUMINAIRE	1	ODN-1-L-T1-33LC-5-4K.IES	7225	1	55

**Note**  
 Mounting Height of Poles is 28 feet - Types A and B  
 Mounting height of building mounted fixtures is 14 feet - type C

**Statistics**

Description	Symbol	Avg	Min	Max/Min	Avg/Min	Max
Calc Zone #1	+	1.1 fc	0.0 fc	N/A	N/A	9.4 fc

All light fixtures and poles are to be black in color.



**LEGEND**

- EXISTING DECIDUOUS TREE
- EXISTING EVERGREEN TREE
- LIMITS OF IMPACTS TO 30' STREAM BUFFER
- PROPOSED LOT BOUNDARIES

**OPEN SPACE LEGEND**

- LIMITS OF PRESERVATION EASEMENT
- LIMITS OF PASSIVE OPEN SPACE

**OPEN SPACE DATA**

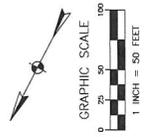
TYPE	AREA	% OF DEVELOPABLE AREA (10.88 AC.)
PASSIVE OPEN	1.94 AC.	17.83%
PRESERVATION EASEMENT	0.72 AC.	6.62%
TOTAL	2.66 AC.	24.45%

**STREAM RIPARIAN SETBACK MITIGATION**

STREAM	ZONE	AREA IN BUFFER ZONE	MITIGATION RATIO	MITIGATION ACREAGE
STREAM 1	30' STREAM SIDE BUFFER	40,412 SF - 0.93 AC.	2:1	80,824 SF - 1.86 AC.
	30' STREAM SIDE BUFFER	54,938 SF - 1.26 AC.	1:1	54,938 SF - 1.26 AC.
TOTAL MITIGATION				135,762 SF - 3.12 AC.

**SITE DATA**

SURVEY SITE AREA (STRATFORD DR.)	79.79 AC.
TOTAL SITE AREA	80.61 AC.
- EX. R/W (MECKER AVENUE)	2.48 AC.
- EX. R/W TO BE DEDICATED (US23)	1.66 AC.
- EX. R/W TO BE DEDICATED (STRATFORD RD)	1.66 AC.
- EX. R/W TO BE DEDICATED (STRATFORD RD)	0.34 AC.
- ON-SITE R/W TO BE DEDICATED	5.08 AC.
TOTAL DEVELOPMENT SITE AREA	68.25 AC.



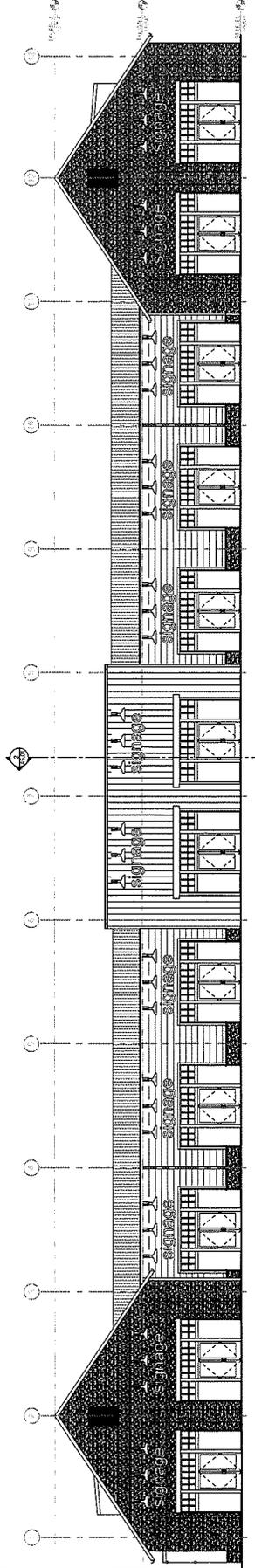
SYMBOL	DESCRIPTION
□	GLAZING
□	WALL
□	ROOF
□	FOUNDATION

SYMBOL	DESCRIPTION
▤	BRICK
▥	WOOD SIDING
▧	SHINGLE
▨	CONCRETE
▩	ASPH/FLT

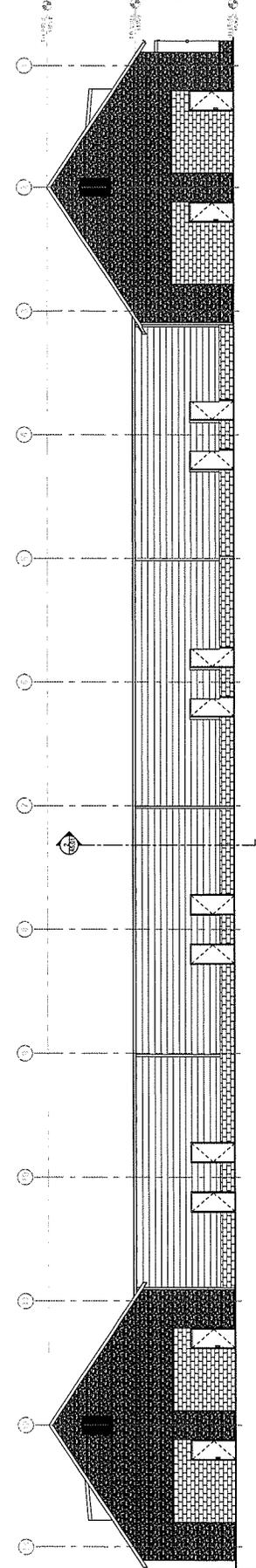
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DATE: 06/01/11  
 SHEET NO.: 00011  
 SHEET NAME: OVERALL ELEVATIONS

**A4.00**



**1** EXTERIOR ELEVATION  
 SCALE: 1/8" = 1'-0"



**2** EXTERIOR ELEVATION  
 SCALE: 1/8" = 1'-0"

UNFINISHED:

- GULLY/SEWER
- FLOOR CONCRETE
- FLOOR
- ROOF
- ROOF CEILING

FINISHED:

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**NOT FOR CONSTRUCTION**

PROJECT NUMBER: 000111  
DATE: 01/11/2020  
ELEVATIONS

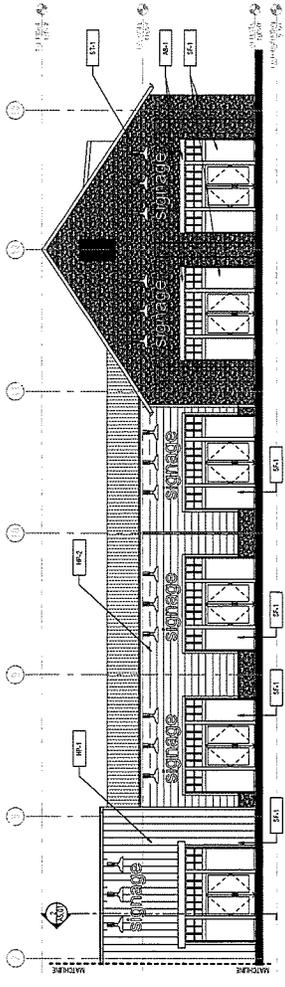
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**GENERAL NOTES**

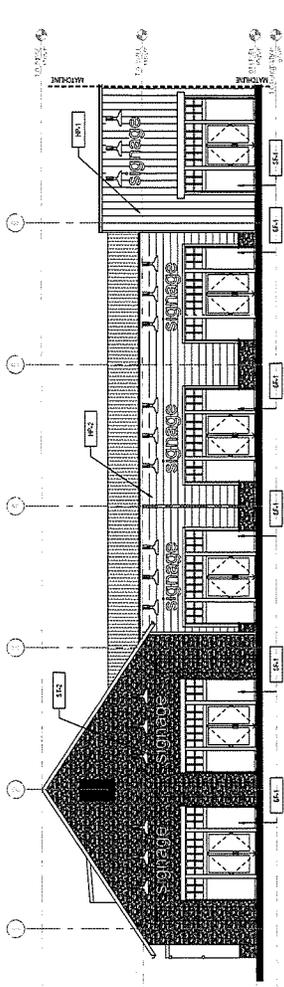
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- 3. REFER TO ALL FINISHED ELEVATIONS FOR ADDITIONAL INFORMATION REGARDING FINISHES AND MATERIALS.
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**MATERIAL LEGEND**

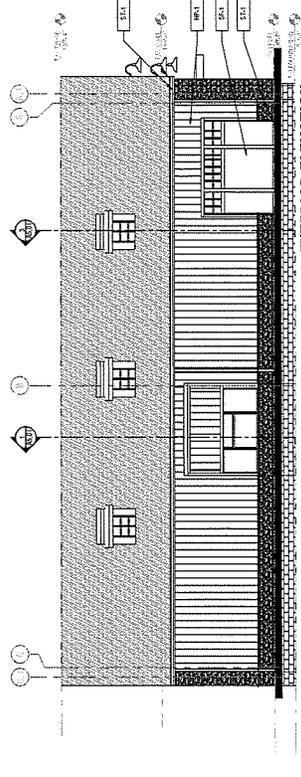
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103	INTERIOR WALL	PLASTER
104	INTERIOR WALL	PAINT
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106	INTERIOR WALL	GLASS
107	INTERIOR WALL	STONE
108	INTERIOR WALL	CEILING
109	INTERIOR WALL	FLOOR
110	INTERIOR WALL	ROOF
111	INTERIOR WALL	ROOF CEILING
112	INTERIOR WALL	ROOF FLOOR
113	INTERIOR WALL	ROOF ROOF
114	INTERIOR WALL	ROOF ROOF
115	INTERIOR WALL	ROOF ROOF
116	INTERIOR WALL	ROOF ROOF
117	INTERIOR WALL	ROOF ROOF
118	INTERIOR WALL	ROOF ROOF
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120	INTERIOR WALL	ROOF ROOF



**2B** EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"

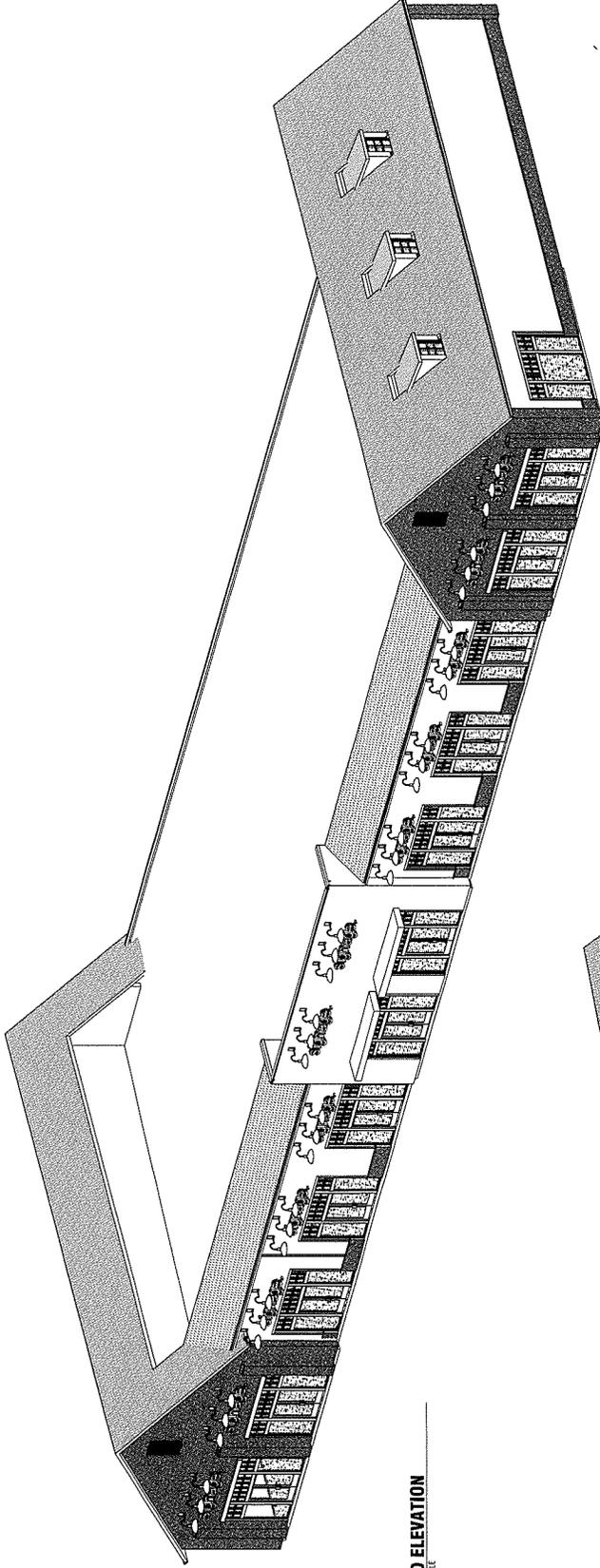


**2A** EXTERIOR ELEVATION  
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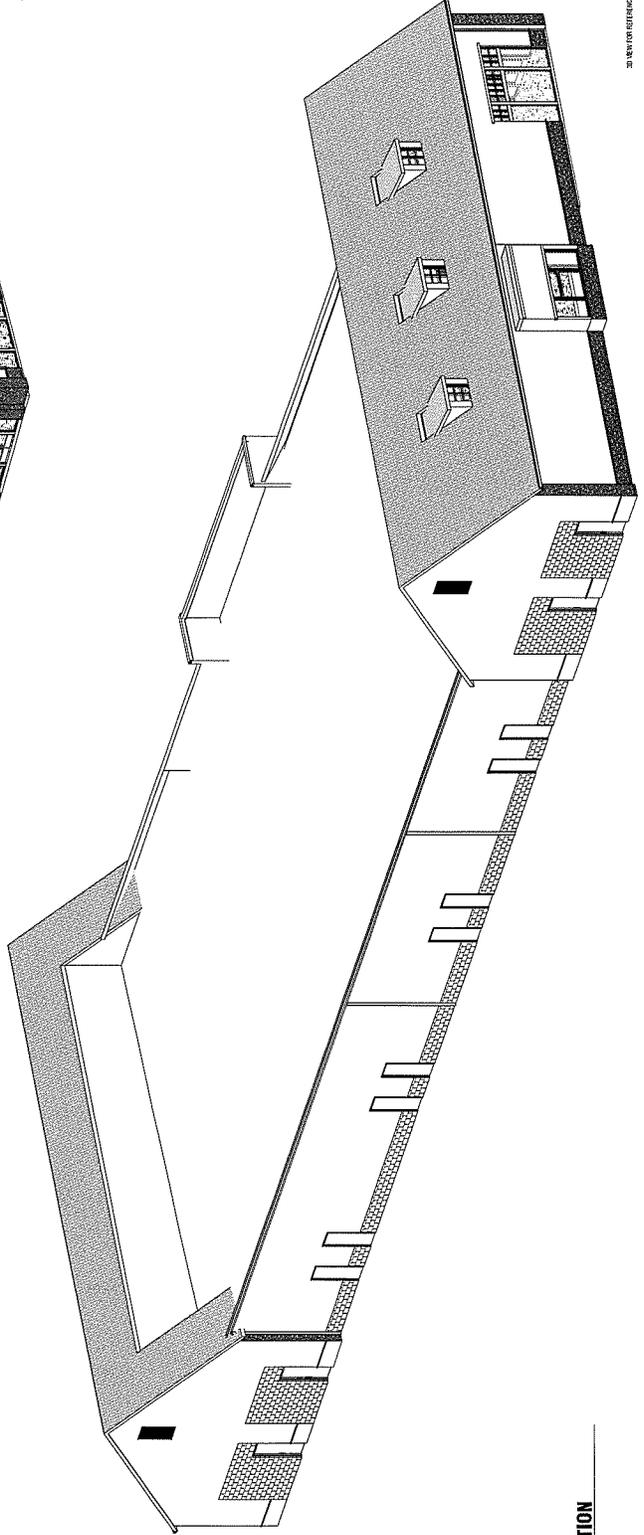


**1** EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"





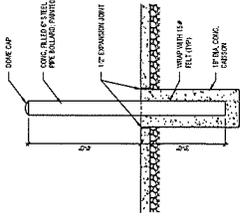
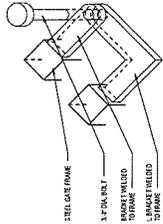
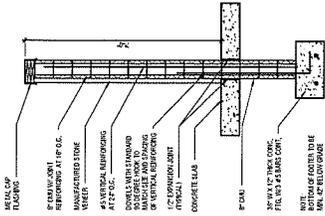
**2** 3D ELEVATION  
 SCALE



**1** 3D ELEVATION  
 SCALE

3D VIEW FOR REFERENCE ONLY

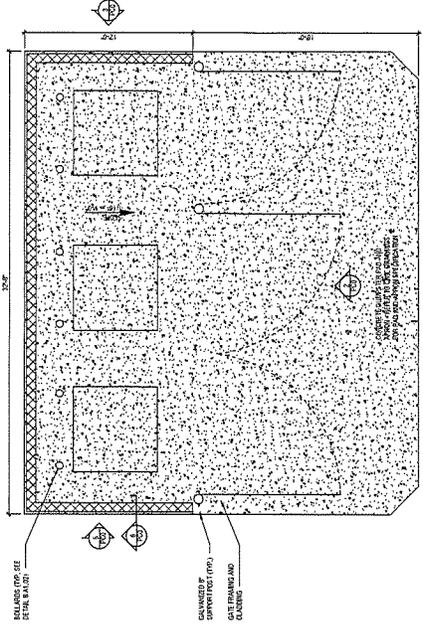
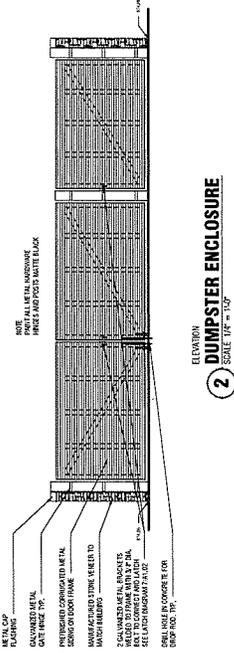
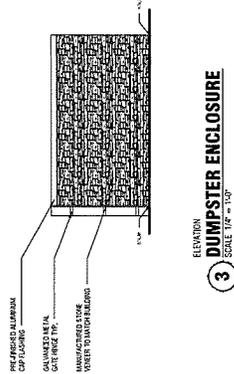
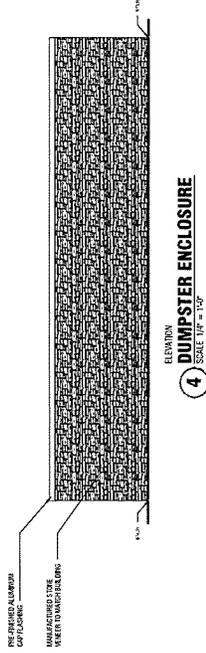
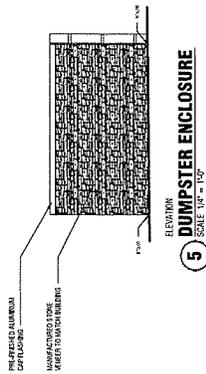
think. create. do.



SECTION 6  
DUMPSTER ENCLOSURE  
SCALE 1/2" = 1'-0"

DETAIL 7  
LATCH DIAGRAM  
SCALE 3" = 1'-0"

SECTION 8  
TYPICAL BOLLARD  
SCALE 1/2" = 1'-0"



ELEVATION 5  
DUMPSTER ENCLOSURE  
SCALE 1/4" = 1'-0"

ELEVATION 4  
DUMPSTER ENCLOSURE  
SCALE 1/4" = 1'-0"

ELEVATION 3  
DUMPSTER ENCLOSURE  
SCALE 1/4" = 1'-0"

PLAN 1  
DUMPSTER ENCLOSURE  
SCALE 1/4" = 1'-0"



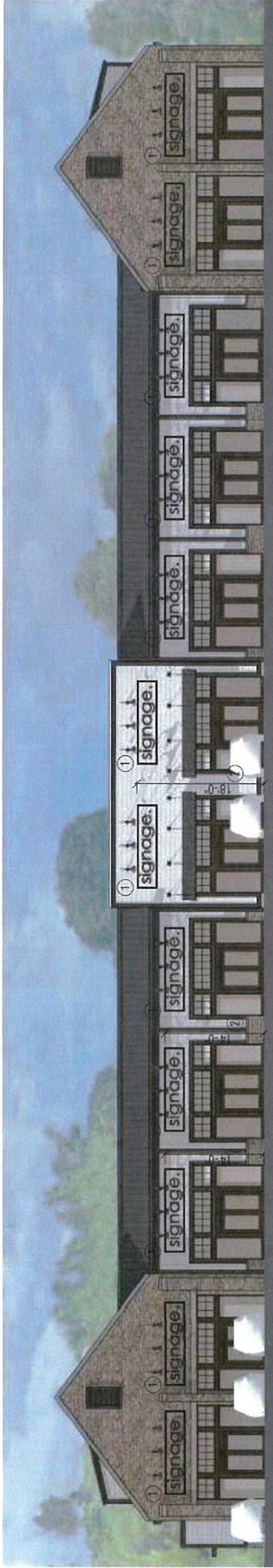
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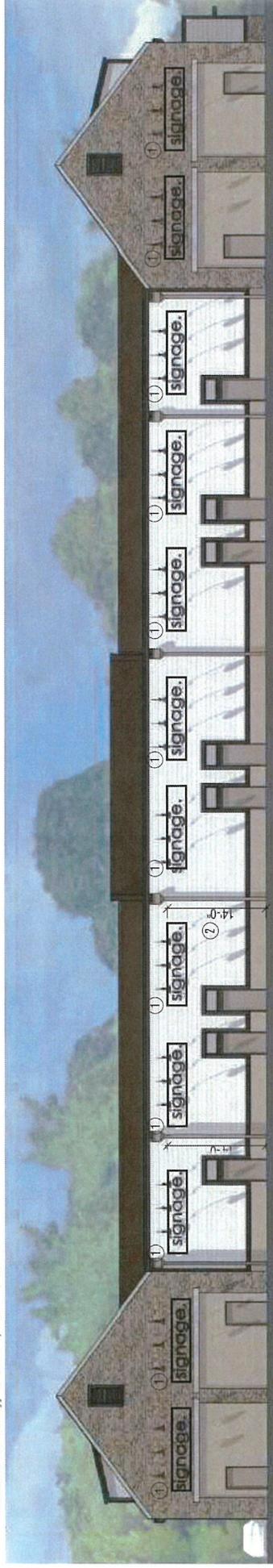
Perspective

DELAWARE DEVELOPMENT PLAN  
OUTPARCEL FACADE STUDIES  
MARCH 04, 2020  
**archall**  
ARCHITECTURAL STUDIOS  
CORPORATE AND ARCHITECTURAL PLANS

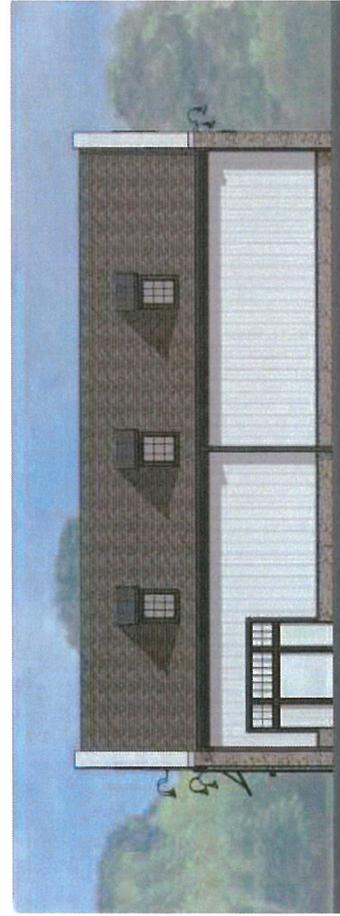
think. create. do.



**West Facade** // Scale: 1/16" = 1'-0"



**East Facade** // Scale: 1/16" = 1'-0"



**South Facade** // Scale: 1/16" = 1'-0"

**Area** 10' x 2'-6"

**Height**

- ① MAX. SIGN AREA (TYPICAL ALL BLDG. SIGNS)
- ② ALL SIGNS 14'-0" TO TOP EXCEPT AS NOTED (2) @ 18'-0"

**Lighting**

- ③ ALL SIGNS NON-ILLUMINATED. SIGNS ILLUMINATED BY GOOSE-NECK FIXTURES ABOVE.

**Color**

- ④ REGISTERED TRADEMARKS ARE ALLOWED. ALL OTHER SIGN COLORS ARE LIMITED TO 5 COLORS PER SIGN.



**North Facade** // Scale: 1/16" = 1'-0"

**Type of**

- ⑤ SIGNS SHALL BE REVERSE CHANNEL LETTERS

**Sub Area 5 Multi-Tenant Building**  
Comprehensive Sign Plan

04-08-2020



**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**



Project # \_\_\_\_\_ Case # \_\_\_\_\_

**Planning Commission**

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Amended Final Development Plan                | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non- Conforming Use            |
| <input type="checkbox"/> Amended Final Subdivision Plat                | <input type="checkbox"/> Final Subdivision Plat           | <input type="checkbox"/> Vacation-Alley                                   |
| <input type="checkbox"/> Amended Preliminary Development Plan          | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement                                |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat          | <input type="checkbox"/> Floodplain Permit                | <input type="checkbox"/> Vacation-Street                                  |
| <input type="checkbox"/> Annexation Review                             | <input type="checkbox"/> Lot Split                        | <b><u>Board of Zoning Appeals</u></b>                                     |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement         | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment                  | <input type="checkbox"/> Preliminary Development Plan     | <input type="checkbox"/> Conditional Use Permit                           |
| <input type="checkbox"/> Concept Plan                                  | <input type="checkbox"/> Preliminary Dev Plan Extension   | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit                        | <input type="checkbox"/> Preliminary Sub Plat             | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Determination of Similar Use                  | <input type="checkbox"/> Preliminary Sub Plat Extension   |   |
| <input type="checkbox"/> Development Plan Exemption                    | <input type="checkbox"/> Rezoning                         |   |
| <input checked="" type="checkbox"/> Final Development Plan             | <input type="checkbox"/> Subdivision Variance             |   |

Subdivision/Project Name Coughlin's Crossing - Subarea 5 Address Meeker Way & US23  
 Acreage 10.88 Square Footage 38,000 SF Number of Lots PMU Number of Units PMU  
 Zoning District/Land Use PMU Proposed Zoning/Land Use N/A Parcel # SEE PLAT

Applicant Name DELAWARE DEVELOPMENT PLAN Contact Person CONNIE KLEMA  
 Applicant Address P.O. BOX 991 PATASKALA OH 43062  
 Phone 614-374-8488 Fax N/A E-mail CKLEMAATTORNEY@GMAIL.COM  
 Owner Name DELAWARE DEVELOPMENT PLAN Contact Person CONNIE KLEMA  
 Owner Address P.O. BOX 991 PATASKALA OH 43062  
 Phone 614-374-8488 Fax N/A E-mail CKLEMAATTORNEY@GMAIL.COM  
 Engineer/Architect/Attorney MANNIK & SMITH GROUP, ARCHITECTURAL ALLIANCE Contact Person RANDY VANTILBURG - MSG, JOHN ONEY - ARCHITECTURAL ALLIANCE  
 Address 1160 DUBLIN ROAD SUITE 100 COLUMBUS OH 43215 - MSG, 49 EAST 3RD AVE COLUMBUS OHH 43201  
 Phone 614-441-4222 - MSG, 614-469-7500 - ARCHALL E-mail RVANTILBURG@MANNIKSMITHGROUP.COM, JONEY@ARCHALL.COM

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

\_\_\_\_\_  
 Owner Signature  
*Connie J. Klema*  
 \_\_\_\_\_  
 Agent Signature

\_\_\_\_\_  
 Owner Printed Name  
*CONNIE J. KLEMA*  
 \_\_\_\_\_  
 Agent Printed Name

Sworn to before me and subscribed in my presence this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
 Notary Stamp  
 \_\_\_\_\_  
 Notary Public

ORDINANCE NO. 20-25

AN ORDINANCE AUTHORIZING EMERGENCY MEASURES IN RESPONSE TO COVID-19 VIRUS AND DECLARING AN EMERGENCY.

WHEREAS, the Coronavirus (COVID-19) is a new disease that is spread through people who are in close contact with one another and through respiratory droplets produced when an infected person coughs or sneezes; and

WHEREAS, the Centers for Disease Control (CDC) believes spread of the disease might be possible before people show symptoms and has recommended limitations on meetings of groups; and

WHEREAS, the CDC notes that COVID-19 seems to be spreading easily and sustainably in a process known as community spread (people have been infected with the virus without knowing where they became infected); and

WHEREAS, older adults and people with chronic medical conditions such as lung disease are at higher risk of getting seriously ill; and

WHEREAS, on March 10, Ohio Governor Mike DeWine recommended large, indoor gatherings be cancelled or postponed due to the potential for the coronavirus (COVID-19) exposure; and

WHEREAS, on March 11, the World Health Organization (WHO) declared COVID-19 to be a global pandemic; and

WHEREAS, Governor DeWine declared a State of Emergency in Ohio (Executive Order 01-D); and

WHEREAS, on March 13, the Ohio Attorney General's Office issued a letter indicating that based on the Ohio Department of Health's Order prohibiting mass gatherings while encouraging people to stay at home and avoid unnecessary contact with each other, City Council may "appear via teleconference or telephone" if all other requirements of the Open Meetings Act are met; and

WHEREAS, at least fifty confirmed cases of COVID-19 have been identified in Ohio; and

WHEREAS, based on the information presented so far, City Council has determined that steps should be taken to prepare for an emergency situation.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. City Council may meet remotely provided the following conditions are met:

1. Identity Verification is in place to ensure that the person participating is the city council member
2. The method of meeting is able to document any votes cast by individual members
3. If a member is cut off from the meeting, Council will cease all discussions and deliberations while an attempt is made to reconnect the member. If the member remains unavailable and they are not needed for quorum, the meeting may continue
4. The public has access to the remote meeting and may hear the discussions and deliberations.

SECTION 2. While the Governor's and CDC recommendation (and any forthcoming restriction on meetings) is in place, Boards and Commissions will not meet. Council hereby delegates the work of those commissions to city staff, with City Council taking final action on recommendations.

SECTION 3. The City Manager is hereby granted authority to declare A State of Emergency within the City of Delaware should it become necessary in order to continue to provide city services or take action to comply with an order from the State of Ohio.

SECTION 4. In the event of a State of Emergency is declared and if Council is rendered unable to meet with a quorum, the City Manager is granted the following powers in addition to the emergency powers set for in Charter Section 73 (city manager may in cases of disaster or emergency enter into contracts without competitive bidding or advertising) and Codified Ordinance Sections 351.20, 353.05 (city manager can declare emergency to prohibit parking); 913.24 (water emergency when water supply at low level):

1. Executing intergovernmental agreements
2. Actions necessary to implement state and federal requirements
3. Making budget or staffing adjustments necessary to address the emergency
4. Executing labor agreements under terms similar to those agreements already approved
5. Changes in city service levels taken to reduce potential exposure to the virus or due to staffing levels
6. Issue emergency bonds or notes pursuant to Ohio Revised Code Section 717.15
7. Extending due date for income tax filings

These powers may be exercised as long as the state of emergency exists and Council is unable to meet.

SECTION 5. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

SECTION 6. EMERGENCY CLAUSE: This ordinance is hereby declared to be an emergency measure necessary to provide for the public peace, safety, health, and welfare of the City by taking immediate steps to reduce the spread of COVID-19 and ensure the government of the City is able to function in times of emergency.

VOTE ON RULE SUSPENSION: YEAS 7 NAYS 0  
ABSTAIN 0

VOTE ON EMERGENCY CLAUSE: YEAS 7 NAYS 0  
ABSTAIN 0

PASSED: March 18, 2020 YEAS 7 NAYS 0  
ABSTAIN 0

ATTEST: Elaine McCloskey Cathy Kaye  
CITY CLERK MAYOR



**TO:** TOM HOMAN, CITY MANAGER  
**FROM:** JUSTIN NAHVI, FINANCE DIRECTOR  
**SUBJECT:** MARCH 2020 FINANCIAL REPORT  
**DATE:** 4/6/2020

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## **BACKGROUND**

The purpose of this report is to provide a brief review of the revenues and expenditures for the following funds: General Fund, Fire/EMS Income Tax Fund, Stormwater Fund, Water Fund, Wastewater Fund, and Refuse Fund.

Actual revenues and expenditures are compared to the budget to assess potential overages/shortages in budgeted categories. Comparisons with figures from last fiscal year are also included to indicate the differences by year, since budgeting techniques remain relatively uniform from one year to the next.

Appendix A details the year-to-date activity for all of the city's active funds. It is important to note the ending balance, encumbrances, and unencumbered balance. The unencumbered balance is the amount remaining in the fund if the city were to expend all the monies listed as encumbrances. The ending balance is the amount of funds available to the city as of March 31, 2020, and ties to the amount listed in Appendix B.

Appendix B is the Financial Statement for the city as of March 31, 2020. This statement provides a listing of the city's funds held at various financial institutions. Also presented are the interest earned to date, weighted average interest rate, and the weighted average maturity (days).

Appendix C is the Debt Schedule for the city through March 31, 2020. All principal and interest payments that have been paid to date are included in the schedule.

## **GENERAL FUND**

The General Fund is the main operating fund for the city and is used to account for all financial transactions which are not reported in other funds. Major sources of revenue include income tax and property tax. Please refer to page three for a breakdown of the revenues and expenditures through March 31, 2020.

### Revenues

The General Fund revenues are performing as expected. However, the following revenue sources require additional explanations:

- Property Taxes – Settlement revenue is received after the 1<sup>st</sup> and 2<sup>nd</sup> half real estate collection periods in March and August respectively. 1<sup>st</sup> half real estate collections were \$784,702 reflecting an increase of \$15,106 or 2.0% from the same period in the prior year.
- Income Tax – Year-to-date receipts total \$3,686,555 which is \$136,511 or 3.8%, greater than amount the City received during the same period in the prior year.
- Charges for Services – Chargebacks for the General Fund related services attributed to special revenue and enterprise funds for the 1<sup>st</sup> quarter of 2020 equaled \$380,479.

### Expenditures

The General Fund expenditures are performing as expected. However, the following expenditures require additional explanations:

- Transfers – Transfers to the following funds have been made: Street Maintenance & Repair Fund (\$519,500), Capital Improvement Fund (\$462,500), Recreation Fund (\$371,919), Cemetery Fund (\$37,500), Recreation Fund (\$11,250) and the Airport Fund (\$7,500).

**GENERAL FUND  
STATEMENT OF REVENUE AND EXPENDITURES  
MARCH 2020**

	<b>2019 ACTUAL YTD MAR 31</b>	<b>2020 ACTUAL YTD MAR 31</b>	<b>2020 TOTAL BUDGET</b>	<b>2020 % of BUDGET</b>
<b>REVENUES</b>				
Property Taxes	769,596	<b>784,702</b>	1,548,000	50.69%
Intergovernmental Receipts	156,344	<b>206,366</b>	1,013,726	20.36%
Income Taxes	3,550,044	<b>3,686,555</b>	16,510,750	22.33%
Fines & Forfeitures	36,304	<b>16,034</b>	140,000	11.45%
Fees, Licenses, & Permits	510,107	<b>681,165</b>	2,998,000	22.72%
Miscellaneous	130,534	<b>48,781</b>	380,000	12.84%
Other Financing	16,175	<b>5,013</b>	0	0.00%
Earnings on Investments	82,320	<b>161,603</b>	950,000	17.01%
Charges for Services	551,037	<b>380,479</b>	2,299,603	16.55%
<b>Total Revenues</b>	<b>5,802,460</b>	<b>5,970,699</b>	25,840,079	23.11%
<b>EXPENDITURES</b>				
Council	40,792	<b>40,458</b>	187,299	21.60%
City Manager	184,718	<b>203,131</b>	927,910	21.89%
Admin Services	134,231	<b>85,767</b>	425,183	20.17%
Economic Development	76,867	<b>58,006</b>	528,655	10.97%
Legal Affairs	198,099	<b>189,829</b>	882,940	21.50%
Finance	501,767	<b>638,630</b>	2,353,870	27.13%
General Admin	1,610,575	<b>1,674,189</b>	6,508,792	25.72%
Risk Management	10,054	<b>6,255</b>	349,100	1.79%
Police	2,085,342	<b>2,194,258</b>	9,739,704	22.53%
Planning	271,014	<b>288,924</b>	1,551,146	18.63%
Engineering	381,371	<b>390,736</b>	2,349,511	16.63%
Building Maintenance	131,956	<b>122,125</b>	589,467	20.72%
<b>Total Expenditures</b>	<b>5,626,785</b>	<b>5,892,308</b>	26,393,576	22.32%

## **FIRE/EMS INCOME TAX FUND**

The Fire/EMS Income Tax Fund is a Special Revenue Fund which means that the resources are restricted to only funding expenditures that support the Fire Department. Please refer to page five for a breakdown of the revenues and expenditures through March 31, 2020.

### Revenues

Several sources of revenue support this fund, including intergovernmental as well as income tax collections.

- EMS Service Agreement - The city contracts with Delaware County to provide EMS services to certain unincorporated portions of the County. To date, the City has received \$171,931.
  - For the 2020 fiscal year, the per unit reimbursement rate will be \$220 for EMS transport and \$110 per non-transport runs.
- Income Tax – Year-to-date receipts total \$2,578,947 which is \$95,125, or 3.8%, greater than amount the City received during the same period in the prior year.

### Expenditures

Fire/EMIS Income Tax Fund expenditures are performing as expected through March 31, 2020.

**FIRE/EMS INCOME TAX FUND  
STATEMENT OF REVENUE AND EXPENDITURES  
MARCH 2020**

	<b>2019 ACTUAL YTD MAR 31</b>	<b>2020 ACTUAL YTD MAR 31</b>	<b>2020 TOTAL BUDGET</b>	<b>2020 % of BUDGET</b>
<b>REVENUES</b>				
Intergovernmental Receipts	3,575	<b>174,696</b>	752,765	23.21%
Income Taxes	2,483,822	<b>2,578,947</b>	11,500,000	22.43%
Miscellaneous	1,412	<b>632</b>	39,195	1.61%
Other Financing	0	<b>1,175</b>	0	0.00%
Transfer In	117,991	<b>0</b>	240,717	0.00%
<b>Total Revenues</b>	<b>2,606,799</b>	<b>2,755,449</b>	<b>12,532,677</b>	<b>21.99%</b>
<b>EXPENDITURES</b>				
Personal Services	1,926,940	<b>2,157,057</b>	9,501,589	22.70%
Charges & Services	183,031	<b>244,792</b>	1,138,934	21.49%
Materials & Supplies	60,697	<b>118,692</b>	447,354	26.53%
Capital Outlay	819,457	<b>30,738</b>	1,463,030	2.10%
Refunds	97,104	<b>103,055</b>	500,000	20.61%
Transfer	0	<b>0</b>	848,044	0.00%
Debt	42,087	<b>0</b>	514	0.00%
<b>Total Fire Expenditures</b>	<b>3,129,317</b>	<b>2,654,333</b>	<b>13,899,465</b>	<b>19.10%</b>

## **STORMWATER FUND**

The Stormwater Fund is an Enterprise Fund that was established to account for the costs of repairing, replacing, and improving the city's storm drainage system. User fees sustain the expenditures of this fund. Please refer to page thirteen for a breakdown of the revenues and expenditures through March 31, 2020.

### *Revenues*

The Stormwater Fund revenues are performing as expected. However, the following revenue sources require additional explanations:

- Charges for Services – Year-to-date service charges totaled \$203,473, which is \$3,092 (1.4%) greater than this period last year.

### *Expenditures*

The Stormwater Fund expenditures are performing as expected through March 31, 2020.

**STORMWATER FUND  
STATEMENT OF REVENUE AND EXPENDITURES  
MARCH 2020**

	2019 ACTUAL YTD MAR 31	2020 ACTUAL YTD MAR 31	2020 TOTAL BUDGET	2020 % of BUDGET
<b>REVENUES</b>				
Miscellaneous	630	<b>967</b>	500	193.33%
Charges for Services	227,381	<b>230,473</b>	900,200	25.60%
<b>Total Revenues</b>	<b>228,010</b>	<b>231,440</b>	900,700	25.70%
<b>EXPENDITURES</b>				
Stormwater Operations				
Personal Services	51,842	<b>62,571</b>	257,186	24.33%
Charges & Services	13,876	<b>13,005</b>	223,891	5.81%
Materials & Supplies	4,385	<b>10,181</b>	100,340	10.15%
Capital Outlay	8,524	<b>0</b>	20,000	0.00%
Refunds	9	<b>20</b>	2,000	1.01%
<b>Total Ops Expenditures</b>	<b>78,636</b>	<b>85,777</b>	603,416	14.22%
Stormwater Capital				
Capital Outlay	892	<b>133,260</b>	1,716,338	7.76%
<b>Total Cap Expenditures</b>	<b>892</b>	<b>133,260</b>	1,716,338	7.76%
<b>Total Expenditures</b>	<b>79,528</b>	<b>219,037</b>	2,319,754	9.44%

## **WATER FUND**

The Water Fund was established to account for the treatment and distribution of water to resident and commercial users. This fund is also an Enterprise Fund, with user fees financing the expenditures. Please refer to page eleven for a breakdown of the revenues and expenditures through March 31, 2020.

### Revenues

The Water Fund revenues are performing as expected. However, the following revenue sources require additional explanations:

- Charges for Services – Included in this category are Services Charges & Collections.
  - Meter Charges – Year-to-date meter charges for water consumption totaled \$1,349,421 which is \$19,041 or 1.4% greater than the same period from the prior year.
  - Capacity Fees – Year-to-date receipts total \$566,356 and these fees are deposited into the Water Capacity Fee Fund (Fund 536).

### Expenditures

The Water Fund expenditures are performing as expected through March 31, 2020.

**WATER FUND  
STATEMENT OF REVENUE AND EXPENDITURES  
MARCH 2020**

	<b>2019 ACTUAL YTD MAR 31</b>	<b>2020 ACTUAL YTD MAR 31</b>	<b>2020 TOTAL BUDGET</b>	<b>2020 % of BUDGET</b>
<b>REVENUES</b>				
Miscellaneous	11,721	<b>6,876</b>	25,000	27.50%
Other Financing	0	<b>6,549</b>	11,000	59.54%
Earnings on Investments	26,161	<b>64,362</b>	300,000	21.45%
Charges for Services	1,358,908	<b>1,382,634</b>	6,220,000	22.23%
<b>Total Revenues</b>	<b>1,396,791</b>	<b>1,460,421</b>	6,556,000	22.28%
<b>EXPENDITURES</b>				
<b>Water Administration</b>				
Personal Services	85,245	<b>71,847</b>	325,759	0.00%
Charges & Services	75,829	<b>59,015</b>	276,520	21.34%
Materials & Supplies	242	<b>71</b>	775	0.00%
Capital Outlay	0	<b>0</b>	0	0.00%
Refunds	2,884	<b>1,818</b>	27,750	6.55%
Transfers	178,963	<b>182,500</b>	2,659,783	6.86%
<b>Total Admin Expenditures</b>	<b>343,162</b>	<b>315,251</b>	3,290,587	9.58%
<b>Water Treatment</b>				
Personal Services	194,314	<b>203,205</b>	930,138	21.85%
Charges & Services	212,236	<b>236,005</b>	812,894	29.03%
Materials & Supplies	79,734	<b>85,329</b>	448,903	19.01%
Capital Outlay	17,214	<b>10,420</b>	87,045	11.97%
Refunds	0	<b>0</b>	0	0.00%
<b>Total Treat Expenditures</b>	<b>503,498</b>	<b>534,960</b>	2,278,981	23.47%
<b>Water Distribution</b>				
Personal Services	134,255	<b>132,423</b>	617,833	21.43%
Charges & Services	21,765	<b>20,211</b>	121,283	16.66%
Materials & Supplies	64,267	<b>67,175</b>	300,470	22.36%
Capital Outlay	3,500	<b>0</b>	15,000	0.00%
Refunds	0	<b>0</b>	0	0.00%
<b>Total Dist Expenditures</b>	<b>223,787</b>	<b>219,809</b>	1,054,586	20.84%
<b>Total Expenditures</b>	<b>1,070,447</b>	<b>1,070,019</b>	6,624,154	16.15%

## **WASTEWATER FUND**

The purpose of the Wastewater Fund is to provide wastewater collection and treatment service to resident and commercial users. This fund is also an Enterprise Fund, with user fees financing the expenditures. Please refer to page nine for a breakdown of the revenues and expenditures through March 31, 2020.

### Revenues

The Sewer Fund revenues are performing as expected. However, the following revenue sources require additional explanations:

- Charges for Services – Included in this category are Services Charges & Collections.
  - Meter Charges – Year-to-date meter charges for wastewater treatment totaled \$1,621,044 which is \$19,382 or 1.2% greater than the same period from the prior year.
  - Capacity Fees – Year-to-date receipts total \$538,500 and these fees are deposited into the Wastewater Capacity Fee Fund (Fund 546).

### Expenditures

The Wastewater Fund expenditures are performing as expected through March 31, 2020.

**WASTEWATER FUND  
STATEMENT OF REVENUE AND EXPENDITURES  
MARCH 2020**

	2019 ACTUAL YTD MAR 31	2020 ACTUAL YTD MAR 31	2020 TOTAL BUDGET	2020 % of BUDGET
<b>REVENUES</b>				
Miscellaneous	7	<b>2,579</b>	10,000	25.79%
Other Financing	0	<b>7,423</b>	0	0.00%
Earnings on Investments	23,037	<b>61,929</b>	275,000	22.52%
Charges for Services	1,659,044	<b>1,671,948</b>	7,426,500	22.51%
<b>Total Revenues</b>	<b>1,682,088</b>	<b>1,743,879</b>	7,711,500	22.61%
<b>EXPENDITURES</b>				
<b>Sewer Administration</b>				
Personal Services	44,443	<b>63,619</b>	323,556	0.00%
Charges & Services	38,700	<b>18,933</b>	247,743	7.64%
Materials & Supplies	379	<b>100</b>	1,000	0.00%
Capital Outlay	0	<b>0</b>	0	0.00%
Refunds	123	<b>227</b>	7,500	3.03%
Transfers	202,084	<b>205,750</b>	3,996,618	5.15%
<b>Total Admin Expenditures</b>	<b>285,729</b>	<b>288,629</b>	4,576,417	6.31%
<b>Sewer Treatment</b>				
Personal Services	208,116	<b>209,478</b>	975,531	21.47%
Charges & Services	222,959	<b>217,822</b>	1,004,447	21.69%
Materials & Supplies	51,795	<b>48,548</b>	238,770	20.33%
Capital Outlay	0	<b>0</b>	25,000	0.00%
Refunds	0	<b>0</b>	0	0.00%
<b>Total Treat Expenditures</b>	<b>482,870</b>	<b>475,848</b>	2,243,747	21.21%
<b>Sewer Collection</b>				
Personal Services	89,711	<b>61,451</b>	291,090	21.11%
Charges & Services	23,336	<b>49,645</b>	253,935	19.55%
Materials & Supplies	31,834	<b>27,970</b>	187,702	14.90%
Capital Outlay	14,300	<b>0</b>	16,100	0.00%
Refunds	0	<b>0</b>	0	0.00%
<b>Total Col Expenditures</b>	<b>159,181</b>	<b>139,067</b>	748,826	18.57%
<b>Total Expenditures</b>	<b>927,780</b>	<b>903,544</b>	7,568,991	11.94%

## **REFUSE FUND**

The Refuse Fund accounts for the costs of providing refuse services. This fund is an Enterprise Fund which means that the main source of revenue is the monthly fees charged to residents for this service. Please refer to page seven for a breakdown of the revenues and expenditures through March 31, 2020.

### Revenues

The Refuse Fund revenues are performing as expected. However, the following revenue sources require additional explanations:

- Charges for Services – Year-to-date receipts total \$909,759 which is \$11,243 or 1.3% more than the City received from the same period in the prior year.

### Expenditures

The Refuse Fund expenditures are performing as expected through March 31, 2020.

**REFUSE FUND**  
**STATEMENT OF REVENUE AND EXPENDITURES**  
**MARCH 2020**

	2019 ACTUAL YTD MAR 31	2020 ACTUAL YTD MAR 31	2020 TOTAL BUDGET	2020 % of BUDGET
<b>REVENUES</b>				
Miscellaneous	-	<b>3,365</b>	260,000	1.29%
Other Financing	-	-	-	0.00%
Earnings on Investments	1,825	<b>4,653</b>	12,000	38.78%
Charges for Services	898,516	<b>909,759</b>	3,793,350	23.98%
<b>Total Revenues</b>	<b>900,341</b>	<b>917,777</b>	4,065,350	22.58%
<b>EXPENDITURES</b>				
<b>Refuse Administration</b>				
Personal Services	0	<b>0</b>	0	0.00%
Charges & Services	20,862	<b>9,315</b>	92,834	10.03%
Materials & Supplies	0	<b>0</b>	0	0.00%
Capital Outlay	14,046	<b>5,985</b>	9,287	64.44%
Refunds	297	<b>131</b>	1,000	13.10%
Transfers	90,575	<b>92,795</b>	371,180	25.00%
<b>Total Admin Expenditures</b>	<b>125,780</b>	<b>108,226</b>	474,301	22.82%
<b>Refuse Collection</b>				
Personal Services	173,590	<b>175,155</b>	784,850	22.32%
Charges & Services	249,076	<b>275,015</b>	1,332,353	20.64%
Materials & Supplies	20,597	<b>23,427</b>	203,514	11.51%
Capital Outlay	0	<b>0</b>	731,207	0.00%
Refunds	0	<b>0</b>	0	0.00%
<b>Total Collect Expenditures</b>	<b>443,263</b>	<b>473,598</b>	3,051,924	15.52%
<b>Refuse Recycling</b>				
Personal Services	109,915	<b>106,548</b>	474,996	22.43%
Charges & Services	43,252	<b>72,157</b>	300,209	24.04%
Materials & Supplies	10,376	<b>7,213</b>	86,650	8.32%
Capital Outlay	0	<b>0</b>	513,447	0.00%
Refunds	0	<b>0</b>	0	0.00%
<b>Total Recycle Expenditures</b>	<b>163,543</b>	<b>185,919</b>	1,375,302	13.52%
<b>Total Expenditures</b>	<b>732,587</b>	<b>767,742</b>	4,901,528	15.66%

APPENDIX A

YEAR TO DATE FUND REPORT  
March 31, 2020

Fund #	FUND	BEGINNING BALANCE	YTD REVENUES	YTD EXPEND	ENDING BALANCE	ENCUMB	UNENCUMB BALANCE
101	General Fund	6,801,606.03	5,970,698.89	5,892,307.84	6,879,997.08	1,033,935.09	5,846,061.99
200	Street Maintenance & Repair	603,206.35	1,018,085.89	756,243.81	865,048.43	276,168.57	588,879.86
201	State Highway Improvement	353,397.37	42,307.28	186,086.63	209,618.02	259,937.37	(50,319.35)
202	License Fee	426,903.67	108,046.44	448,790.01	86,160.10	90,474.70	(4,314.60)
203	Stormwater	2,113,380.23	231,439.60	219,037.29	2,125,782.54	488,492.90	1,637,289.64
210	Recreation	266,459.06	473,293.91	279,666.51	460,086.46	50,627.64	409,458.82
212	Oak Grove Cemetery	276,700.20	56,021.23	53,586.43	279,135.00	152,813.37	126,321.63
215	Tree Replacement	119,237.10	32,450.00	0.00	151,687.10	0.00	151,687.10
222	Airport	184,988.85	185,397.99	195,663.77	174,723.07	53,951.79	120,771.28
223	Hangars	180,442.96	23,692.50	10,954.32	193,181.14	0.00	193,181.14
231	Fire/EMS Income Tax	9,399,949.67	2,755,449.91	2,654,332.77	9,501,066.81	1,261,322.84	8,239,743.97
233	Rec Center Income Tax	5,065,048.57	572,811.21	244,998.40	5,392,861.38	37,931.58	5,354,929.80
235	Airport TIF	136,735.75	13,326.15	0.00	150,061.90	0.00	150,061.90
236	Glenn Road TIF	2,011,525.35	439,522.80	20,617.33	2,430,430.82	623,978.32	1,806,452.50
237	Sky Climber TIF	0.00	23,619.40	0.00	23,619.40	0.00	23,619.40
238	Mill Run TIF	0.00	51,477.73	0.00	51,477.73	0.00	51,477.73
240	Municipal Court	2,861,453.86	707,352.69	640,987.37	2,927,819.18	20,421.85	2,907,397.33
241	Court IDIAM	14,674.86	9,077.23	4,997.00	18,755.09	1,000.00	17,755.09
250	Drug Enforcement	51,218.50	743.70	0.00	51,962.20	0.00	51,962.20
251	Court Alcohol Treatment	592,279.16	8,499.50	1,736.57	599,042.09	0.00	599,042.09
252	OMVI Enforcement/Education	4,520.65	270.00	0.00	4,790.65	0.00	4,790.65
253	Police Judgement	40,138.50	0.00	17,044.00	23,094.50	607.74	22,486.76
254	Police Fed Judgement	0.00	17,056.42	4,700.00	12,356.42	0.00	12,356.42
255	Park Exaction Fee	184,116.07	0.00	12,516.98	171,599.09	27,483.02	144,116.07
256	Court Computer Legal Research	757,780.68	60,184.60	33,835.15	784,130.13	65,717.99	718,412.14
257	Court Special Projects	749,712.50	60,682.91	65,276.73	745,118.68	27,632.14	717,486.54
259	Court Probation Services	614,641.81	81,071.81	5,405.86	690,307.76	4,617.55	685,690.21
261	Police Disability Pension	0.00	122,120.16	0.00	122,120.16	0.00	122,120.16
262	Fire Disability Pension	0.00	122,120.26	0.00	122,120.26	0.00	122,120.26
272	Community Promotion	84,603.77	14,147.16	64,464.75	34,286.18	6,164.60	28,121.58
291	CDBG	0.00	0.00	275.00	(275.00)	3,000.00	(3,275.00)
292	Police Fed Treasury Seizures	0.00	3,533.82	0.00	3,533.82	0.00	3,533.82
295	ED Revolving Loan	240,333.27	31,287.80	10,712.80	260,908.27	1,647.20	259,261.07
296	Housing Program Income	8,150.00	0.00	0.00	8,150.00	0.00	8,150.00

APPENDIX A

YEAR TO DATE FUND REPORT  
March 31, 2020

Fund #	FUND	BEGINNING BALANCE	YTD REVENUES	YTD EXPEND	ENDING BALANCE	ENCUMB	UNENCUMB BALANCE
300	General Bond Retirement	621,579.51	2,415.34	0.00	623,994.85	1,411.93	622,582.92
301	Park Improvement Bond	111,104.83	15,759,048.72	15,696,812.62	173,340.93	9,000.00	164,340.93
302	SE Highland Bond	0.00	207,288.37	0.00	207,288.37	0.00	207,288.37
410	Capital Improvement	4,666,224.39	1,459,748.39	2,207,889.45	3,918,083.33	4,626,337.84	(708,254.51)
415	Point Project	933,691.72	233,286.48	255,319.83	911,658.37	1,960,405.63	(1,048,747.26)
431	FAA Alloc/Improvement Grant	95,193.38	34,627.14	38,474.61	91,345.91	31,206.04	60,139.87
440	Equipment Replacement	217,510.22	416,508.00	200,087.00	433,931.22	332,542.00	101,389.22
491	Parks Impact Fee	2,067,688.56	129,530.79	0.00	2,197,219.35	32,409.50	2,164,809.85
492	Police Impact Fee	429,784.34	17,724.20	0.00	447,508.54	164.93	447,343.61
493	Fire Impact Fee	544,494.17	33,233.09	0.00	577,727.26	168.79	577,558.47
494	Municipal Impact Fee	444,342.10	37,997.09	0.00	482,339.19	7,227.12	475,112.07
496	Glenn Rd S Construction	926,595.96	133,030.75	0.00	1,059,626.71	3,429.08	1,056,197.63
498	Glenn Rd N	330,020.80	0.00	0.00	330,020.80	2,780.24	327,240.56
501	Golf Course	81,056.66	5,234.00	8,373.98	77,916.68	7,972.32	69,944.36
520	Parking Lots	52,087.14	10,845.77	10,171.61	52,761.30	14,767.28	37,994.02
530	Water	1,504,060.97	1,460,420.56	1,070,019.38	1,894,462.15	280,247.80	1,614,214.35
531	Water Construction	2,479,462.37	0.00	671,190.36	1,808,272.01	755,947.63	1,052,324.38
533	Water Reserve	2,000,000.00	0.00	0.00	2,000,000.00	0.00	2,000,000.00
536	Water Capacity Fee	10,619,956.63	566,356.30	376,422.42	10,809,890.51	167,860.94	10,642,029.57
540	Wastewater	3,724,670.38	1,743,879.10	903,543.78	4,565,005.70	411,711.56	4,153,294.14
541	Wastewater Construction	3,088,062.39	0.00	174,959.75	2,913,102.64	253,106.71	2,659,995.93
543	Wastewater Reserve	2,000,000.00	0.00	0.00	2,000,000.00	0.00	2,000,000.00
545	Water Customer Deposit	228,317.60	(107.47)	954.79	227,255.34	0.00	227,255.34
546	Wastewater Capacity Fee	6,796,915.87	538,500.00	812,195.25	6,523,220.62	1,330.00	6,521,890.62
548	SE Highland Wastewater	268,389.54	105,600.00	207,079.98	166,909.56	0.00	166,909.56
550	Refuse	1,159,867.16	917,777.01	767,742.06	1,309,902.11	719,157.54	590,744.57
601	Garage Rotary	504,994.89	199,164.00	189,203.73	514,955.16	59,555.04	455,400.12
602	IT Rotary	655,372.98	376,444.20	582,833.64	448,983.54	208,639.22	240,344.32
610	Health Insurance	522,534.62	2,531,322.05	1,355,613.84	1,698,242.83	10,140.02	1,688,102.81
620	Workers Compensation	2,626,777.89	9,515.16	15,302.34	2,620,990.71	23,968.00	2,597,022.71
701	Fire Donation	1,083.36	200.00	0.00	1,283.36	0.00	1,283.36
702	Parks/Rec Donation	13,214.03	6,500.00	9,115.00	10,599.03	3,500.00	7,099.03
703	Police Donation	10,836.60	0.00	2,000.00	8,836.60	0.00	8,836.60
704	Mayors Donation	898.15	150.00	50.00	998.15	0.00	998.15
705	Project Trust	1,129,526.94	84,316.91	12,170.00	1,201,673.85	4,130.00	1,197,543.85

APPENDIX A

**YEAR TO DATE FUND REPORT  
March 31, 2020**

707	Unclaimed Funds	18,620.57	0.00	0.00	18,620.57	0.00	18,620.57
708	Municipal Court Unclaimed Funds	86,376.18	555.02	0.00	86,931.20	0.00	86,931.20
709	Development Reserve	1,008,885.74	0.00	0.00	1,008,885.74	0.00	1,008,885.74
710	Reserve Account	1,188,864.04	0.00	0.00	1,188,864.04	0.00	1,188,864.04
711	Berkshire JEDD	84,717.65	116,793.33	85,044.33	116,466.65	414,955.67	(298,489.02)
750	Cemetery Perpetual Care	33,839.98	131.49	0.00	33,971.47	0.00	33,971.47
801	State Highway Patrol	4,866.99	14,301.94	19,168.94	(0.01)	0.00	(0.01)
803	State Building Permit	1,296.92	2,512.52	2,671.70	1,137.74	0.00	1,137.74
804	Performance Bond	694,227.73	50,800.00	122,615.24	622,412.49	0.00	622,412.49
		<b>88,121,216.74</b>	<b>40,441,439.24</b>	<b>37,621,262.95</b>	<b>90,941,393.03</b>	<b>14,831,999.09</b>	<b>76,109,393.94</b>

APPENDIX B

**CITY OF DELAWARE, OHIO  
FINANCIAL STATEMENT  
MARCH 31, 2020**

	<b>Weighted Average Interest Rate</b>	<b>YTD Interest Earned</b>	<b>Weighted Average Maturity (Days)</b>	<b>Ending Balance</b>
<u>Checking/Depository</u>				
Checking (Operating & Payroll)*		-		21,987,821
Total Bank Deposits		\$ -		\$ 21,987,821
 <u>Investments</u>				
Star Ohio	1.01%	332,916		68,953,572
Total Investments		\$ 332,916		\$ 68,953,572
 TOTAL BANK DEPOSITS & INVESTMENTS		 \$ 332,916		 \$ 90,941,393

\* The city participates in an Earning Credit Allow ance program. The City maintains a minimum balance in the checking account so that a credit is earned that then offsets the monthly service charge.

I certify that the balances stated above are true to the best of my know ledge.

*Justin Nahvi*  
Finance Director

MARCH 31, 2020  
Date

*Tom Homan*  
City Manager

MARCH 31, 2020  
Date

APPENDIX C

CITY OF DELAWARE  
DEBT SCHEDULE  
MARCH 2020

	Outstanding Balance 3/31/2020	General	Fire/EMS	Rec Levy	Police Impact Impact Fee	Municipal Impact Fee	Glenn Rd. TIF/NCA	Water User Fee	Water Capacity Fee	Sewer User Fee	Sewer Capacity Fee
2019 GO Bonds	\$20,595,000	\$ 3,491,250				\$ 508,750	\$ 6,710,000				\$ 9,885,000
2017 General Obligation Bonds	\$ 5,805,000	\$ 631,877	\$ 2,665,000					\$ 1,957,654			\$ 550,469
2015 General Obligation Bonds	\$ 5,205,000		\$ 435,000	\$ 2,345,000			\$ 2,425,000				
2013 General Obligation Bonds	\$ 5,190,000		\$ 1,855,000		\$ 587,500	\$ 1,282,500	\$ 1,465,000				
2012 General Obligation Bonds	\$ 1,890,000	\$ 847,722	\$ 172,278								\$ 870,000
OWDA Water Projects	\$29,449,933							\$18,855,372	\$10,594,561		
OWDA Sewer Projects	\$11,327,491									\$ 976,430	\$10,351,061
2020 Recreation Levy Bonds	\$13,690,000			\$13,690,000							
<b>Total Long Term Debt</b>	<b>\$93,152,424</b>	\$ 4,970,849	\$ 5,127,278	\$16,035,000	\$ 587,500	\$ 1,791,250	\$10,600,000	\$18,855,372	\$12,552,215	\$ 976,430	\$21,656,530
<b>Fund Balance Reserves 3/31/20</b>		\$ 5,846,062	\$ 8,239,744	\$ 5,354,930	\$ 447,344	\$ 475,112	\$ 1,806,453	\$ 4,666,539	\$10,642,030	\$ 8,813,290	\$ 6,521,891
<b>Annual Debt Service</b>		\$ 767,721	\$ 702,262	\$ 2,431,580	\$ 136,700	\$ 353,500	\$ 999,126	\$ 1,285,727	\$ 964,722	\$ 152,695	\$ 3,003,987
<b>2020 Revenue</b>		\$25,840,079	\$12,532,677	\$ 2,521,500	\$ 80,000	\$ 222,500	\$ 3,051,300	\$ 6,205,500	\$ 4,050,000	\$ 7,430,300	\$ 4,080,000