

**CITY OF DELAWARE
CITY COUNCIL
MEETING TO BE HELD VIRTUALLY VIA CISCO Webex **
7:00 P.M. MEETING**

AGENDA

7:00 P.M.

March 23, 2020

1. ROLL CALL
2. INVOCATION
3. PLEDGE OF ALLEGIANCE
4. APPROVAL of the Motion Summary of the regular meeting of Council held on March 9, 2020, as recorded and transcribed.
APPROVAL of the Motion Summary of the work session meeting of Council held on March 2, 2020, as recorded and transcribed.
5. CONSENT AGENDA
 - A. Resolution No. 20-26, a resolution accepting the recommendations of the Delaware City Tax Incentive Review Council (TIRC) on the status of the 2019 Community Reinvestment Area (CRA), Enterprise Zone (EZ) and Tax Increment Financing Programs (TIF).
 - B. Resolution No. 20-27, a resolution authorizing the City Manager to enter into a Mutual Aid Agreement with member departments.
 - C. Resolution No. 20-28, a resolution authorizing the City Manager to enter into an agreement with the Ohio Department of Transportation to participate in the cooperative purchase of road salt through the ODOT Winter Salt Purchase Contract (018-21).
 - D. Resolution No. 20-29, a resolution authorizing cancellation of the April City Council Meetings.
6. LETTERS, PETITIONS, AND PUBLIC COMMENTS
Due to the meeting being held virtually, public comment will be received through email at emccloskey@delawareohio.net prior to the meeting or through City Facebook Messenger while the meeting is streamed live. The public will have the opportunity to provide a phone number to be conferenced into the remote meeting.
7. COMMITTEE REPORTS

8. CONSIDERATION OF A NEW LIQUOR PERMIT
 - A. Meijer Stores Limited Partnership DBA Meijer Gas Station 249, 1138 Sunbury Road, Delaware, Ohio 43015. Permit Class C2
9. 7:30 P.M. PUBLIC HEARING AND SECOND READING of Ordinance No. 20-10, an ordinance approving a Rezoning Amendment for Terra Alta LLC., for Terra Alta Subdivision from A-1 and R-2 PMU to A-1 and R-2 PMU on approximately 472.9 acres and located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road (No zoning changes to the Stockdale Farms portion of the development).
10. 7:30 P.M. PUBLIC HEARING AND SECOND READING of Ordinance No. 20-11, an ordinance approving a Conditional Use Permit for Terra Alta LLC., allowing the placement of a Planned Mixed-Use Overlay District (PMU) for Terra Alta Subdivision on approximately 472.9 acres zoned A-1 and R-2 PMU and located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road.
11. SECOND READING of Ordinance No. 20-12, an ordinance approving an Amended Preliminary Development Plan for Terra Alta LLC., for Terra Alta Subdivision on approximately 472.9 acres on property zoned A-1 and R-2 PMU and located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road.
12. SECOND READING of Ordinance No. 20-13, an ordinance approving an Amended Subdivision Plat for Terra Alta LLC., For Terra Alta Subdivision on approximately 472.9 acres on property zoned A-1 and R-2 PMU and located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road.
13. SECOND READING of Ordinance No. 20-14, an ordinance approving a Combined Preliminary and Final Development Plan for Skilken Gold Real Estate Development for Sheetz located at 700 Sunbury Road on property zoned B-3 (Community Business District) and B-4 (General Business District) on approximately 4.6 acres.
14. SECOND READING of Ordinance No. 20-21, an ordinance supplementing the 2020 Appropriations Ordinance to provide additional funding for the Housing Program Income Fund.
15. SECOND READING of Ordinance No. 20-22, an ordinance supplementing the 2020 Appropriations Ordinance to provide additional funding for the East William Street Project and declaring an emergency.
16. SECOND READING of Ordinance No. 20-23, an ordinance supplementing

the 2020 Appropriations Ordinance to provide additional funding for water main extensions associated with the Glenn Parkway Project.

17. SECOND READING of Ordinance No. 20-24, an ordinance supplementing the 2020 Appropriations Ordinance to provide additional funding for Parkland and Trailway Development Improvements.
18. FINANCE DIRECTOR'S REPORT
19. CITY MANAGER'S REPORT
20. COUNCIL COMMENTS
21. ADJOURNMENT

** This meeting will be a virtual meeting. Residents are encouraged to view online through the City of Delaware Facebook page.

To comply with the CDC recommendation prohibiting group meetings, no in person attendance by Council, staff, or the public will be available.

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Minutes of

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BEAR GRAPHICS 800-325-8094 FORM NO. 10148

Held

March 2

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The work session meeting of Council held March 2, 2020 was called to order at 6:30 p.m., in the City Council Chambers. The following members of Council were present: First Ward Chris Jones, Second Ward Lisa Keller, Third Ward Cory Hoffman, Fourth Ward Drew Farrell, At-Large George Hellinger, and Vice-Mayor Kent Shafer who presided. Absent from the meeting was Mayor Carolyn Kay Riggle.

Staff Present: Susie Daily, IT Director, Alycia Ballone, Budget Analyst, Ted, Miller, Parks and Natural Resource Director, Blake Jordan, Public Utilities Director, Bruce Pijanowski, Police Chief, Sean Hughes, Economic Development Director, Dave Efland, Planning and Community Development Director, Kyle Kridler, Assistant City Manager, and Tom Homan, City Manager

Motion to Excuse: Mr. Jones motioned to excuse Mayor Riggle, seconded by Mrs. Keller. Motion approved by a 6-0 vote.

ITEM 2: PUBLIC COMMENT

There was no public comment.

ITEM 3: RESOLUTION NO. 20-22 [First Reading]

A RESOLUTION TO ACCEPT THE ONE OHIO MEMORANDUM OF UNDERSTANDING REGARDING OPIOID LITIGATION SETTLEMENT.

The Clerk read the resolution for the first time.

Motion: Mrs. Keller motioned to approve Resolution No. 20-22, seconded by Mr. Jones. Motion approved by a 6-0 vote.

ITEM 4: CONTINUED REVIEW AND DISCUSSION OF COUNCIL'S PRIORITIES AND CITY MANAGER'S 2020 WORK PROGRAM

Mr. Homan discussed the 4 pillars that outlined Council's priorities and the question presented by Councilwoman Keller regarding the priority to the new councilmembers. Mr. Hoffman and Mr. Farrell were in agreement to participate in the review process.

Mr. Homan discussed the Parks and Recreation Needs Assessment. He reviewed the current contract with the YMCA to contract out recreation services and that an appropriation was placed in the 2020 budget to create recreation position to look at taking over recreation services in 2021. Mr. Jones questioned the difference between the recreation center and recreation program. Mr. Homan discussed the collaboration and contractual relations of the recreational programs with the YMCA and the separate contract with the YMCA to use the building. Mrs. Keller discussed the confusion with sign ups for recreation programs and if this might be why some of the numbers are declining. Vice-Mayor Shafer recommends waiting until the assessment is completed and before a decision is made the City needs to know they can provide the services at a better level. Mrs. Keller discussed the need to promote the changes with Mingo Pool so residents know what is included in their membership. Mr. Hoffman preferred waiting to hear back from the results of the need assessment.

Chief Pijanowski discussed the Police Department Working Goals and Traffic Safety Program. Chief Pijanowski discussed putting together on a

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holistic program to work on the issues of speed and safety in residential neighborhoods. The program will incorporate education, enforcement and engineering to find solutions and how to work together. They are going to start with the more problematic streets and educate on the dangers of speeding in the neighborhood.

Mr. Jordan discussed the potential use of a water mobile station which hooks into a fire hydrant. He is working on putting this together to be used at different community events, such as, First Fridays. He provided information on the SolSmart Grant. Mr. Jordan discussed the success of the water smart meters.

Ms. Daily provided an update on the mobile app that is currently in the testing phase.

Ms. Ballone discussed the progress of the online surveying tool for citizens to use regarding the budget.

ITEM 5: DISCUSSION OF TRANSPORTATION FUNDING OPTIONS

Mr. Homan discussed the recent Finance Committee meeting where it was discussed the \$1.6 million gap in local road needs. He discussed having a short-term property tax levy and that past feedback from citizens was to keep it temporary. He discussed the need to get an agreement from Council on moving forward with this process and determining when to put it on the ballot. He explained that it would be a high cost to put the levy on a August special election and concerns raised on putting it on November during the general election with the presidential election and the school levy.

Mr. Jones voiced concerns over the property tax levy with the increase of multi-family housing and was looking at a levy based on the income tax. Vice-Mayor Shafer discussed that there are still property taxes being taken out at multi-family units.

Mr. Homan discussed that 1.8 mills would provide the \$1.6 million gap. He discussed that the school levy is a renewal in November and it is not expected that they will have a levy in the Spring on 2021. Vice-Mayor Shafer voiced concerns over the levy being on a presidential election due to the amount of issues placed on the ballot. He recommends a May 2021 ballot.

Mr. Hoffman discussed the State of Ohio Municipal Income Tax and feels that municipal income tax is not the best way to finance roads. He feels it can create an issue on who is receiving what credit and who is not receiving a credit. Mr. Homan discussed which communities provide a credit to the income tax who does not. He discussed that Gahanna provided the option to residents to pass the road levy and get a 100% credit or if it fails then lose the credit. Mr. Homan discussed the option to reduce the income tax credit. Mr. Hoffman discussed that the rent for multi-family units is usually based on the land value.

Mr. Ferrigno discussed the previously failed transportation levy and reviewed the feedback received. The community surveys showed that the supportive issue was taking care of existing street and that new street connections was not a priority. The community feedback discussed that the information was confusing. He discussed the need to have precise

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clarity on what the funds will be used for and that the public would like a say in what the funds will be spent on. He discussed the use of Access Delaware to get the message out to the public and invite public comment. Mr. Jones requested information on the top ten priorities.

Mrs. Keller discussed providing questions to residents and having Council and staff meet with residents at public events to get feedback, i.e., First Friday, Coffee with Council. She recommended forming simple questions on an iPad and at these public events to solicit feedback.

Mr. Hellinger discussed the need to have a commitment from Council that if the levy fails to have a plan on when to try again.

Mr. Homan to have follow up with the Finance Committee for a formal recommendation. Vice-Shafer discussed comments received regarding the work session topics from email.

ITEM 6: ADJOURNMENT

Motion: Councilwoman Keller motioned to adjourn the meeting. The meeting adjourned at 7:50 p.m.

Mayor Carolyn Kay Riggle

Elaine McCloskey, Council Clerk

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BEAR GRAPHICS 800-325-8094 FORM NO. 10148

Held

March 9

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The regular meeting of Council was held March 9, 2020 and was called to order at 7:00 p.m., in Council Chambers. The following members of Council were present: First Ward Chris Jones, Second Ward Lisa Keller, Third Ward Cory Hoffman, Fourth Ward Drew Farrell, At-Large George Hellinger, Vice-Mayor Kent Shafer and Mayor Riggle who presided. The invocation was delivered by Pastor Bill Benner, with Church of Christ of Christian Union, followed by the Pledge of Allegiance.

Staff Present: Alycia Ballone, Budget Analyst, Bill Ferrigno, Public Works Director/City Engineer, Blake Jordan, Public Utilities Director, Justin Nahvi, Finance Director, Darren Shulman, City Attorney, Bruce Pijanowski, Police Chief, Ted Miller, Parks and Natural Resource Director, Dave Efland, Planning and Community Development Director, Kyle Kridler, Assistant City Manager, and Tom Homan, City Manager

ITEM 4: APPROVAL OF MINUTES

APPROVAL of the Motion Summary of the regular meeting of Council held on February 24, 2020, as recorded and transcribed.

Motion: Vice-Mayor Shafer motioned to approve the Motion Summary of the regular meeting of Council held on February 24, 2020, as recorded and transcribed, seconded by Mr. Jones. Motion approved by a 7-0 vote.

ITEM 5: CONSENT AGENDA

- A. Acceptance of the Motion Summary of the Shade Tree Commission meeting held on October 22, 2019, as recorded and transcribed.
- B. Acceptance of the Motion Summary of the Historic Preservation Commission meeting held on October 23, 2019, as recorded and transcribed
- C. Acceptance of the Motion Summary of the Planning Commission meeting held on February 5, 2019, as recorded and transcribed.
- D. Resolution No. 20-23, a resolution authorizing the extension of the School Zone for Conger Elementary School to 300 feet east of the eastern most school property line on East William Street (US-36) for westbound traffic.
- E. Resolution No. 20-24, a resolution authorizing the City of Delaware to participate in the State of Ohio Cooperative Purchasing Program.
- F. Establish March 23, 2020 at 7:30 p.m. as a date and time for a public hearing and second readings for Ordinance No. 20-10, an ordinance approving a Rezoning Amendment for Terra Alta LLC., for Terra Alta Subdivision from A-1 and R-2 PMU to A-1 and R-2 PMU on approximately 472.9 acres and located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road (No zoning changes to the Stockdale Farms portion of the development) and Ordinance No. 20-11, an ordinance approving a Conditional Use Permit for Terra Alta LLC., allowing the placement of a Planned Mixed-Use Overlay District (PMU) for Terra Alta Subdivision on approximately 472.9 acres zoned A-1 and R-2 PMU and located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road.

Motion: Vice-Mayor Shafer motioned to amend Item C to reflect the date February 5, 2020, seconded by Mrs. Keller. Motion approved by a 7-0 vote

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Motion: Vice-Mayor Shafer motioned to approve the Consent Agenda as amended, seconded by Mrs. Keller. Motion approved by a 7-0 vote.

ITEM 6: LETTERS, PETITIONS, AND PUBLIC COMMENTS

Travis Irvan, Program Manager
Delaware General Health District
1 West Winter Street
Delaware, Ohio

Mr. Irvan provided an update regarding the COVID-19.

Michael Rush
778 Canal Street
Delaware, Ohio

Mr. Rush discussed scam calls received with the caller stating they were with the Social Security Administration. He also provided attention to March being Multiple Sclerosis Month.

ITEM 7: COMMITTEE REPORTS

Mr. Jones informed Council that there is a Parks and Recreation Advisory Board meeting scheduled.

Mrs. Keller provided an update on the February Historic Preservation Commission meeting and review of plans for a hotel.

Mr. Hoffman informed Council that the Board of Zoning Appeals meeting has been canceled for March. He will be participating as a guest speaker at Ohio Wesleyan University regarding Environmental Studies.

Mr. Farrell provided information regarding the February Shade Tree meeting.

Vice-Mayor Shafer will be attending a MORPC meeting on Thursday, March 12.

Mayor Riggie informed Council that she attended a COMMA meeting.

ITEM 8: ORDINANCE NO. 19-63 [Seventh Reading]
AN ORDINANCE ACCEPTING THE ANNEXATION OF 43.847± ACRES OF LAND MORE OR LESS, DESCRIPTION AND MAP ARE ATTACHED HERETO AS EXHIBITS "A" AND "B" FOR THE ANNEXATION KNOWN AS THE EVANS FARM DELAWARE LLC ANNEXATION BY ANDREW WECKER, AGENT FOR THE PETITIONERS.

The Clerk read the ordinance for the seventh time.

Mr. Homan reviewed the Sanitary Sewer Services Agreement to the area and the Comprehensive Plan. Ms. Ballone reviewed comparable income in Belmont Place from 2018 and annual income tax received from this area. Ms. Keller voiced a concern over the current Evans Farm NCA not following guidelines passed by Council in Resolution No. 19-47.

APPLICANT:
Tony Eyerman

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Evans Farm Land Development
1550 Lewis Center Road
Lewis Center, Ohio 43035

Mr. Eyerman discussed the history of the Evans Farm development and creation of the NCA. He discussed that the family was unaware of the service agreement with the City. Mr. Jordan discussed requirements needed to receive utility services within the City.

Motion: Vice-Mayor Shafer motioned to adopt Ordinance No. 19-63, seconded by Mr. Jones. Motion failed with a 3-3(Keller, Farrell, Hellinger)-1(Hoffman) vote.

ITEM 9: ORDINANCE NO. 20-05 [Third Reading]
AN ORDINANCE AMENDING SECTION 901 OF THE CITY OF DELAWARE CODIFIED ORDINANCES TO BRING THE RULES AND REGULATIONS INTO CONFORMANCE WITH THE CURRENT RIGHT OF WAY BEST MANAGEMENT PRACTICES.

The Clerk read the ordinance for the third time.

Motion: Mr. Jones motioned to adopt Ordinance No. 20-05, seconded by Vice-Mayor Shafer. Motion approved by a 7-0 vote.

ITEM 10: ORDINANCE NO. 20-06 [Third Reading]
AN ORDINANCE REVISING SECTION 909 OF THE CITY OF DELAWARE CODE OF ORDINANCES ESTABLISHING GENERAL RULES AND REGULATIONS FOR THE MAINTENANCE AND REPAIR OF SIDEWALK WITHIN PUBLIC RIGHT OF WAY.

The Clerk read the ordinance for the third time.

Motion: Vice-Mayor Shafer motioned to table Ordinance 20-06 indefinitely, seconded by Mr. Jones. Motion approved by a 7-0 vote.

ITEM 11: RESOLUTION NO. 20-20 [Second Reading]
A RESOLUTION OF NECESSITY FOR CONSTRUCTION OR REPAIR OF SIDEWALKS FOR THE 2020 DOWNTOWN SIDEWALK MAINTENANCE PROGRAM.

The Clerk read the resolution for the second time.

Motion: Mr. Farrell motioned to approve Resolution No. 20-20, seconded by Vice-Mayor Shafer. Motion approved by a 7-0 vote.

ITEM 12: RESOLUTION NO. 20-21 [Second Reading]
A RESOLUTION OF NECESSITY FOR CONSTRUCTION OR REPAIR OF SIDEWALKS FOR THE 2020 SIDEWALK MAINTENANCE PROGRAM.

The Clerk read the resolution for the second time.

Motion: Mr. Jones motioned to approve Resolution No. 20-21, seconded by Vice-Mayor Shafer. Motion approved by a 6-1 (Hoffman) vote.

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ITEM 13: RESOLUTION NO. 20-21 [First Reading]
A RESOLUTION INDICATING WHAT SERVICES THE CITY OF DELAWARE WILL PROVIDE TO 1.062± ACRES OF LAND, MORE OR LESS, DESCRIPTION AND MAP ARE ATTACHED HERETO FOR THE ANNEXATION KNOWN AS THE ALSHAHAL ENTERPRISES, LLC ANNEXATION BY MICHAEL R. SHADE, AGENT FOR THE PETITIONERS.

The Clerk read the resolution for the first time.

APPLICANT:
Michael R. Shade
236 West Central Avenue
Delaware, Ohio

Motion: Mrs. Keller motioned to approve Resolution No. 20-21, seconded by Mr. Jones. Motion approved by a 7-0 vote.

ITEM 14: ORDINANCE NO. 20-10 [First Reading]
AN ORDINANCE APPROVING A REZONING AMENDMENT FOR TERRA ALTA LLC., FOR TERRA ALTA SUBDIVISION FROM A-1 AND R-2 PMU TO A-1 AND R-2 PMU ON APPROXIMATELY 472.9 ACRES AND LOCATED NORTH OF BRAUMILLER ROAD, EAST OF POLLOCK ROAD AND WEST OF BERLIN STATION ROAD (NO ZONING CHANGES TO THE STOCKDALE FARMS PORTION OF THE DEVELOPMENT).

The Clerk read the Ordinance for the first time. A public hearing and second reading is scheduled for March 23, 2020 at 7:30 p.m.

ITEM 15: ORDINANCE NO. 20-11 [First Reading]
AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT FOR TERRA ALTA LLC., ALLOWING THE PLACEMENT OF A PLANNED MIXED-USE OVERLAY DISTRICT (PMU) FOR TERRA ALTA SUBDIVISION ON APPROXIMATELY 472.9 ACRES ZONED A-1 AND R-2 PMU AND LOCATED NORTH OF BRAUMILLER ROAD, EAST OF POLLOCK ROAD AND WEST OF BERLIN STATION ROAD.

The Clerk read the Ordinance for the first time. A public hearing and second reading is scheduled for March 23, 2020 at 7:30 p.m.

ITEM 16: ORDINANCE NO. 20-12 [First Reading]
AN ORDINANCE APPROVING AN AMENDED PRELIMINARY DEVELOPMENT PLAN FOR TERRA ALTA LLC., FOR TERRA ALTA SUBDIVISION ON APPROXIMATELY 472.9 ACRES ON PROPERTY ZONED A-1 AND R-2 PMU AND LOCATED NORTH OF BRAUMILLER ROAD, EAST OF POLLOCK ROAD AND WEST OF BERLIN STATION ROAD.

The Clerk read the Ordinance for the first time. Council to take Ordinance No. 20-12 to a second reading.

ITEM 17: ORDINANCE NO. 20-13 [First Reading]
AN ORDINANCE APPROVING AN AMENDED SUBDIVISION PLAT FOR TERRA ALTA LLC., FOR TERRA ALTA SUBDIVISION ON APPROXIMATELY 472.9 ACRES ON PROPERTY ZONED A-1 AND R-2 PMU AND LOCATED NORTH OF BRAUMILLER ROAD, EAST OF POLLOCK ROAD AND WEST OF BERLIN STATION ROAD.

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The Clerk read the Ordinance for the first time. Council to take Ordinance No. 20-13 to a second reading.

ITEM 18: ORDINANCE NO. 20-14 [First Reading]

AN ORDINANCE APPROVING A COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN FOR SKILKEN GOLD REAL ESTATE DEVELOPMENT FOR SHEETZ LOCATED AT 700 SUNBURY ROAD ON PROPERTY ZONED B-3 (COMMUNITY BUSINESS DISTRICT) AND B-4 (GENERAL BUSINESS DISTRICT) ON APPROXIMATELY 4.6 ACRES.

The Clerk read the Ordinance for the first time. Council to take Ordinance No. 20-14 to a second reading.

ITEM 19: ORDINANCE NO. 20-15 [First Reading]

AN ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN REQUEST BY PULTE HOMES FOR THE COMMUNITIES AT GLENROSS SECTION 16 CONTAINING 45 SINGLE FAMILY LOTS ON 18.21 ACRES ON PROPERTY ZONED R-2 PMU (ONE FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED-USE OVERLAY DISTRICT) AND LOCATED ON CAMBIE DRIVE, BALD EAGLE DRIVE AND SUNDIAL LANE.

The Clerk read the Ordinance for the first time. Mr. Jones informed Council he will abstain relating to work.

Motion: Mrs. Keller motioned to suspend the rules for Ordinance No. 20-15, seconded by Vice-Mayor Shafer. Motion approved by a 6-0-1 (Jones) vote.

Motion: Mrs. Keller motioned to adopt Ordinance No. 20-15, seconded by Vice-Mayor Shafer. Motion approved by a 6-0-1 (Jones) vote.

ITEM 20: ORDINANCE NO. 20-16 [First Reading]

AN ORDINANCE APPROVING A FINAL SUBDIVISION PLAT REQUEST BY PULTE HOMES FOR THE COMMUNITIES AT GLENROSS SECTION 16 PART 1 CONTAINING 36 SINGLE FAMILY LOTS ON 14.476 ACRES ON PROPERTY ZONED R-2 PMU (ONE FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED-USE OVERLAY DISTRICT) AND LOCATED ON CAMBIE DRIVE, BALD EAGLE DRIVE AND SUNDIAL LANE.

The Clerk read the Ordinance for the first time.

Motion: Mrs. Keller motioned to suspend the rules for Ordinance No. 20-16, seconded by Vice-Mayor Shafer. Motion approved by a 6-0-1 (Jones) vote.

Motion: Mrs. Keller motioned to adopt Ordinance No. 20-16, seconded by Vice-Mayor Shafer. Motion approved by a 6-0-1 (Jones) vote.

ITEM 21: ORDINANCE NO. 20-17 [First Reading]

AN ORDINANCE APPROVING A FINAL SUBDIVISION PLAT REQUEST BY PULTE HOMES FOR THE COMMUNITIES AT GLENROSS SECTION 16 PART 2 CONTAINING 9 SINGLE FAMILY LOTS ON 3.743 ACRES ON PROPERTY ZONED R-2 PMU (ONE FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED-USE OVERLAY DISTRICT) AN LOCATED ON BALD EAGLE DRIVE AND SUNDIAL LANE.

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The Clerk read the Ordinance for the first time.

Motion: Mrs. Keller motioned to suspend the rules for Ordinance No. 20-17, seconded by Vice-Mayor Shafer. Motion approved by a 6-0-1 (Jones) vote.

Motion: Mrs. Keller motioned to adopt Ordinance No. 20-17, seconded by Vice-Mayor Shafer. Motion approved by a 6-0-1 (Jones) vote.

ITEM 22: ORDINANCE NO. 20-18 [First Reading]

AN ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN REQUEST BY T&R PROPERTIES FOR THE ENCLAVE AT THE RAVINES AT OLENTANGY CONTAINING 86 SINGLE FAMILY ATTACHED UNITS AND 1 SINGLE FAMILY DETACHED UNIT ON APPROXIMATELY 14.742 ACRES ON PROPERTY ZONED R-6 PMU (MULTI-FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED-USE OVERLAY DISTRICT) AND LOCATED ON THE NORTH SIDE OF CURVE ROAD AND WEST OF ROCHDALE RUN.

The Clerk read the Ordinance for the first time.

Motion: Vice-Mayor Shafer motioned to suspend the rules for Ordinance No. 20-18, seconded by Mr. Jones. Motion approved by a 7-0 vote.

Motion: Vice-Mayor Shafer motioned to adopt Ordinance No. 20-18, seconded by Mr. Jones. Motion approved by a 7-0 vote.

ITEM 23: ORDINANCE NO. 20-19 [First Reading]

AN ORDINANCE APPROVING A FINAL SUBDIVISION PLAT REQUEST BY T&R PROPERTIES FOR THE ENCLAVE AT THE RAVINES AT OLENTANGY CONTAINING 86 SINGLE FAMILY ATTACHED UNITS AND 1 SINGLE FAMILY DETACHED UNIT ON APPROXIMATELY 14.742 ACRES ON PROPERTY ZONED R-6 PMU (MULTI-FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED-USE OVERLAY DISTRICT) AND LOCATED ON THE NORTH SIDE OF CURVE ROAD AND WEST OF ROCHDALE RUN.

Motion: Vice-Mayor Shafer motioned to suspend the rules for Ordinance No. 20-19, seconded by Mr. Jones. Motion approved by a 7-0 vote.

Motion: Vice-Mayor Shafer motioned to adopt Ordinance No. 20-19, seconded by Mr. Jones. Motion approved by a 7-0 vote.

ITEM 24: ORDINANCE NO. 20-20 [First Reading]

AN ORDINANCE PROVIDING FOR THE ISSUANCE AND SALE OF NOTES IN THE MAXIMUM PRINCIPAL AMOUNT OF \$2,000,000 IN ANTICIPATION OF THE ISSUANCE OF BONDS, FOR THE PURPOSE OF PAYING THE COST OF CONSTRUCTING GLENN ROAD BETWEEN CERTAIN TERMINI BY CONSTRUCTING, EXCAVATING, GRADING AND PAVING, INSTALLING DRAINAGE, SANITARY SEWER LATERALS, STREET LIGHTING, CONDUIT, CURBS AND GUTTERS, SIGNAGE, TRAFFIC PAVEMENT MARKINGS, STREET SIGNS, LANDSCAPING, AND ACQUIRING INTERESTS IN REAL ESTATE, TOGETHER WITH ALL NECESSARY APPURTENANCES THERETO.

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Held

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The Clerk read the ordinance for the first time.

Motion: Mrs. Keller motioned to suspend the rules for Ordinance No. 20-20, seconded by Mr. Hoffman. Motion approved by a 7-0 vote.

Motion: Mrs. Keller motioned to adopt Ordinance No. 20-20, seconded by Mr. Hoffman. Motion approved by a 7-0 vote.

ITEM 25: UPDATE AND DISCUSSION on 2020-2024 Capital Improvement Program

ITEM 26: ORDINANCE NO. 20-21 [First Reading]
AN ORDINANCE SUPPLEMENTING THE 2020 APPROPRIATIONS ORDINANCE TO PROVIDE ADDITIONAL FUNDING FOR THE HOUSING PROGRAM INCOME FUND.

The Clerk read the ordinance for the first time.

ITEM 27: ORDINANCE NO. 20-22 [First Reading]
AN ORDINANCE SUPPLEMENTING THE 2020 APPROPRIATIONS ORDINANCE TO PROVIDE ADDITIONAL FUNDING FOR THE EAST WILLIAM STREET PROJECT AND DECLARING AN EMERGENCY.

The Clerk read the ordinance for the first time.

ITEM 28: ORDINANCE NO. 20-23 [First Reading]
AN ORDINANCE SUPPLEMENTING THE 2020 APPROPRIATIONS ORDINANCE TO PROVIDE ADDITIONAL FUNDING FOR WATER MAIN EXTENSIONS ASSOCIATED WITH THE GLENN PARKWAY PROJECT.

The Clerk read the ordinance for the first time.

ITEM 29: ORDINANCE NO. 20-24 [First Reading]
AN ORDINANCE SUPPLEMENTING THE 2020 APPROPRIATIONS ORDINANCE TO PROVIDE ADDITIONAL FUNDING FOR PARKLAND AND TRAILWAY DEVELOPMENT IMPROVEMENTS.

The Clerk read the ordinance for the first time.

ITEM 30: CITY MANAGER'S REPORT
Mr. Homan informed Council that staff will be meeting with the Health Commissioner regarding the COVID-19 and to discuss a continuity plan. He provided an update on personnel changes to the Planning Department and Economic Development Department.

ITEM 31: COUNCIL COMMENTS
Mayor Riggle provided information to Council that she will be participating in a downtown study group regarding a SID.

ITEM 32: ADJOURNMENT

Motion: Mr. Jones motioned to adjourn the meeting. The meeting adjourned at 8:45 p.m.

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Mayor Carolyn Kay Riggle

Elaine McCloskey, Council Clerk



FACT SHEET

AGENDA ITEM NO: CONSENT ITEM A DATE: 03/23/2020
ORDINANCE NO: RESOLUTION NO: 20-26
READING: FIRST PUBLIC HEARING: NO

TO: Mayor and Members of City Council
FROM: R. Thomas Homan, City Manager
VIA: Sean Hughes, Economic Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

A RESOLUTION ACCEPTING THE RECOMMENDATIONS OF THE DELAWARE CITY TAX INCENTIVE REVIEW COUNCIL (TIRC) ON THE STATUS OF THE 2019 COMMUNITY REINVESTMENT AREA (CRA), ENTERPRISE ZONE (EZ) AND TAX INCREMENT FINANCING PROGRAMS (TIF).

BACKGROUND:

City of Delaware is required, under Ohio Revised Code Sections 3735.69 and 5709.68 to submit an annual report regarding the status of each Agreement by March 31, to the Director of the Ohio Development Services Agency.

REASON WHY LEGISLATION IS NEEDED:

In order to maintain and continue commercial and residential tax exemptions/abatements (Enterprise Zone, Community Reinvestment Area and Tax Increment Financing Agreements), authorized per the Ohio Revised Code and City Resolutions and Ordinances, the City of Delaware legislative authority must appoint a Tax Incentive Review Council (TIRC). The TIRC annually reviews and makes recommendations to City Council to Continue, Modify or Terminate each tax abatement agreement. City Council's decisions to accept or change the TIRC's recommendations are annually reported to the Ohio Department of Development no later than March 31.

COMMITTEE RECOMMENDATION:

Tax Incentive Review Council, 2/25/19

VOTE: Approval

All agreements were in compliance or within their 3-year grace periods. Please see attached Minutes.

FISCAL IMPACT(S):

COST: N/A

FUND SOURCES: N/A

BUDGETED: NO

DEPARTMENTS IMPACTED: Economic Development

POLICY CHANGES:

N/A

PRESENTER(S):

Sean Hughes, Economic Development Director

RECOMMENDATION:

Approval

ATTACHMENT(S)

2020 TIRC Minutes

2020 CRA Abatements Status Report Summary Spreadsheet

2020 Performance Based Economic Incentive Grant Summary Spreadsheet

2020 TIFs Status Report Summary Spreadsheet

2020 Residential CRA Abatements Status Report Summary Spreadsheet

RESOLUTION NO. 20-27

A RESOLUTION ACCEPTING THE RECOMMENDATIONS OF THE CITY OF DELAWARE TAX INCENTIVE REVIEW COUNCIL (TIRC) ON THE STATUS OF THE 2019 COMMUNITY REINVESTMENT AREA (CRA), ENTERPRISE ZONE (EZ), AND TAX INCREMENT FINANCING (TIF) PROGRAMS.

WHEREAS, the purpose of the Delaware City CRA, EZ and TIF Programs is to provide the community with an effective tool for managing and guiding economic development by enhancing the tax base, by encouraging and sustaining long term investment in the community, by enhancing the quality of life, and by preserving existing and attracting new business investment within said Programs; and

WHEREAS, the duly appointed Delaware City Tax Incentive Review Council (TIRC) met on February 25, 2020, and reviewed the status of each active agreement and made certain recommendations concerning action to either continue, modify, terminate or expire said agreements; and

WHEREAS, the City of Delaware is required, under Ohio Revised Code Sections 3735.69 and 5709.68 to submit an annual report regarding the status of each Agreement by March 31, to the Director of the Ohio Development Services Agency.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Delaware as follows:

SECTION 1: That the review and recommendations made by the TIRC in the Meeting Minutes on this Resolution's Fact Sheet and the Fact Sheet Attachments "2020 Tax Incentive Review Council Summary Tax Year 2019," "2020 Tax Incentive Review Council Tax Year 2019 City of Delaware TIF Zones" and the "2020 Residential CRA Status Report Tax Year 2019" be accepted and that these reports, and all other information required by the State of Ohio be accepted by the Council of the City of Delaware and be forwarded to the Director of the Ohio Development Services Agency, and all other appropriate entities, as noted in ORC Sections 3735.69 and 5709.68.

SECTION 2: That this Resolution shall take effect and be in force immediately after its passage.

PASSED: _____, 2020

YEAS ____ NAYS ____

ABSTAIN ____

ATTEST: _____

CITY CLERK

MAYOR



CITY OF DELAWARE TAX INCENTIVE REVIEW COUNCIL (TIRC) MINUTES

TUESDAY, FEBRUARY 25, 2020
3 P.M.
CITY HALL- CITY COUNCIL CHAMBERS

1. Call to Order

Honorable George Kaitsa called to order the 2020 TIRC at 3:04 P.M.

2. Roll Call

Members Present: Honorable George Kaitsa, Mayor Carolyn Kay Riggle, Tom Homan, Emily Hatfield, Chris Bell, Melissa Swearingen, Justin Navhi, and Tim Wells

Staff Present: Sean Hughes, Shari Baker from County Auditor's Office

George Anasis, Sky Climber; Todd King, Sky Climber

3. Consent Agenda: 2019 CRA/EZ Tax Abatement Reports

Mr. Hughes explained that 14 CRA/EZ agreements (Symmetry I, V&P Hydraulics, Sky Climber, AHP/Domtar, NABI/NFI, American Freight, Henkel, Optimum Plastics/Charter NEX, Engineered Materials Systems (2015), Midwest Acoust-A-Fiber (2016), Midwest Acoust-A-Fiber (2018), Symmetry II, COhatch, Kirby Ventures LLC and Oak & Brazen) were in compliance with their payroll goals and new and retained full time employee (FTE) goals. Ms. Swearingen made a motion to recommend COMPLIANCE on the consent agenda abatement agreements to the City Council, seconded by Ms. Hatfield and approved by an 8-0 vote. Mr. Homan made a motion to recommend CONTINUATION on the consent agenda abatement agreements to the City Council, seconded by Mr. Wells and approved by an 8-0 vote.

4. Consideration Agenda: 2nd Half Ventures CRA -

Mr. Hughes explained that 2nd Half Ventures (SmOHked) met their 9 FTE commitment with 10 new

FTEs. However, they did not meet the \$350,000 payroll goal with the creation of \$148,000 in payroll. He explained that this was more than likely due to the fact they were not in business for the entire year. They are in the 1st year of their 3-year grace period for commitments, so Hughes recommended to the TIRC to find them out of Compliance, but to Continue their abatement. Mr. Bell made a motion for recommending NON-COMPLIANCE and was seconded by Mayor Riggle. The motion was approved by an 8-0 vote. Ms. Swearingen made a motion for recommending CONTINUATION on the 2nd Half Ventures CRA to the City Council, seconded by Ms. Hatfield and approved by an 8-0 vote.

5. Consideration Agenda: Engineered Materials Systems 2018 Expansion CRA -

Mr. Hughes explained that Engineered Materials Systems was short of their new FTE goal of 8 with 2 new FTEs and that they were short of their \$700,000 new payroll goal with \$580,000 in new payroll. However, they are in the 1st year of their 3-year grace period for commitments. Mr. Wells made a motion for recommending NON-COMPLIANCE and was seconded by Ms. Hatfield. The motion was approved by an 8-0 vote. Ms. Swearingen made a motion for recommending CONTINUATION on the Engineered Materials Systems 2018 CRA to the City Council, seconded by Mr. Wells and approved by an 8-0 vote.

6. Consideration Agenda: Sky Climber Fabricating (formerly Precision Tower Products) CRA -

Mr. Hughes explained that Sky Climber Fabricating ceased operations as of August of 2018., however, Sky Climber Fabricating still owns the building and the land. Parent company Sky Climber utilizes the building for manufacturing. However, Sky Climber has only been able to hire 23 of the 35 committed FTEs and \$1,785,281 in payroll (committed to \$1,970,000). Owners George Anasis and Todd King of Sky Climber spoke about their troubles with finding adequate staffing and their plans to move more manufacturing to the Sky Climber Fabricating building from Sky Climber. Because they are in the last year of their 3-year grace period by state law, Hughes recommended NON-COMPLIANCE and CONTINUATION on the Sky Climber Fabricating CRA to the TIRC. Mr. Bell motioned for recommending NONCOMPLIANCE with a second from Mayor Riggle. The motion passed 8-0. Mr.

Homan motioned to recommend CONTINUATION to City Council with a second from Mr. Wells. The motion was approved by an 8-0 vote.

7. Consideration Agenda: KB42 LTD CRA -

Mr. Hughes explained that KB42 LTD fell short of their FTE and payroll commitment of 10 FTEs and \$600,000 in payroll with 9 FTEs and \$550,000 in payroll. KB42 LTD is in the second year of their 3-year grace period by state law. Ms. Hatfield motioned for a recommendation of NON-COMPLIANCE with a second from Mr. Bell. The motion passed 8-0. Ms. Swearingen made a motion to recommend CONTINUATION with a second from Mr. Wells. The motion passed 8-0.

8. Tax Increment Finance Districts (TIF)

Mr. Hughes reported that 10 active TIF agreements are in compliance by having had their respective payments in lieu of taxes on real property paid, distributed to the City to be deposited to the appropriate districts. Staff recommended COMPLIANCE and CONTINUATION. Mr. Bell made a motion to recommend COMPLIANCE with a second from Mayor Riggle. The motion passed 8-0. Ms. Swearingen made a motion to recommend CONTINUATION, seconded by Mr. Nahvi and approved by an 8-0 vote.

9. Residential CRA Agreements

Mr. Hughes reported that all 33 Residential CRA agreements are active and in COMPLIANCE (residential improvements had been made and remaining non-abated taxes were up to date). Mr. Nahvi made a motion to recommend COMPLIANCE with a second from Mr. Bell. The motion passed 8-0. Ms. Hatfield made a motion to recommend CONTINUATION of all Residential CRA agreements with a second from Ms. Swearingen. The motion passed 8-0.

10. School Pilot Programs

Mr. Hughes discussed that all current school pilot payments were up to date and that he would be working with both the School Treasurers to issue 2020 invoices.

Adjournment

Mr. Wells motioned for adjournment. Meeting was adjourned at 4:02 P.M.

**2020 TAX INCENTIVE REVIEW COUNCIL SUMMARY
TAX YEAR 2019**



2018 TIRC SUMMARY				JOB & PAYROLL CREATION													REAL & PERSONAL PROPERTY INVESTMENT							
CRA	Company	Years/Abatement %	Year of Expiration	Total Payroll Goal	Retained Payroll Goal	New Payroll Goal	Current Total Payroll	Current Retained Payroll	Current New Payroll	% Achieved	FTE Goal	Retained FTE Goal	New FTE Goal	Current Total FTE	Current Retained FTE	Current New FTE	% Achieved	Parcel #	Taxes Paid in 2019	Total Taxes Paid thru Last Report	Total Taxes Paid Thru 12/31/2019 (Cumulative)	Taxes Forgone in 2019	Total Taxes Forgone Thru Last Report	Total Taxes Forgone Thru 12/31/2019 (Cumulative)
CRA 17-002	Znd Half Ventures	15/100%	12/31/2033	\$350,000.00	\$0.00	\$350,000.00	\$202,000.00	\$0.00	\$202,000.00	58%	9	0	9	0	0	10	111%	51943225022000	\$604.30	\$0.00	\$604.30	\$3,701.31	\$0.00	\$3,701.31
CRA 04-004	Symmetry One	15/100%	12/31/2020	\$450,000.00	\$0.00	\$450,000.00	\$1,283,872.00	\$0.00	\$1,283,872.00	285%	15	0	15	22	0	22	147%	Multiple	\$22,099.44	\$59,077.62	\$81,177.06	\$57,680.48	\$689,010.70	\$746,691.18
CRA 06-001	V&P Hydraulics	15/50%	12/31/2022	\$2,300,000.00	\$0.00	\$2,300,000.00	\$3,440,779.93	\$0.00	\$3,440,779.93	150%	65	0	65	75	0	75	115%	41922001006003	\$30,565.14	\$211,631.41	\$242,196.55	\$24,077.42	\$171,019.96	\$195,097.38
CRA 06-002	Sky Climber	15/50%	12/31/2022	\$2,000,000.00	\$0.00	\$2,000,000.00	\$3,982,691.00	\$0.00	\$3,982,691.00	199%	45	0	45	58	0	58	129%	41922001006002	\$30,885.00	\$295,865.38	\$326,750.38	\$24,590.00	\$224,574.37	\$249,164.37
CRA 06-003	Associated Hygienic Products	15/75%	12/31/2022	\$7,480,879.00	\$0.00	\$7,480,879.00	\$11,992,823.00	\$0.00	\$11,992,823.00	160%	201	0	201	271	0	271	135%	41922002001000	\$117,717.00	\$1,215,184.57	\$1,332,901.57	\$356,817.00	\$2,978,001.41	\$3,334,818.41
CRA 07-001	NABI Parts Division	15/50%	12/31/2023	\$2,000,000.00	\$0.00	\$2,000,000.00	\$4,416,426.00	\$0.00	\$4,416,426.00	221%	45	0	45	78	0	78	173%	41922002001001	\$11,855.72	\$705,253.41	\$717,109.13	\$99,224.23	\$200,146.79	\$299,371.02
CRA 10-001	American Freight	10/50%	12/31/2021	\$2,120,000.00	\$1,870,000.00	\$250,000.00	\$8,086,040.17	\$1,870,000.00	\$6,216,040.17	381%	35	30	5	74	30	44	211%	51944403010000	\$27,612.46	\$182,061.18	\$209,673.64	\$5,800.00	\$38,880.41	\$44,680.41
CRA 10-002	Henkel	10/40%	12/31/2021	\$2,503,061.00	\$2,400,000.00	\$103,061.00	\$2,886,736.00	\$2,400,000.00	\$486,726.00	115%	47	42	5	47	42	5	100%	41921105009000 41921105022000	\$86,027.06	\$501,754.76	\$587,781.82	\$18,992.69	\$154,433.15	\$173,425.84
CRA 11-001	Optimum Plastics	10/100%	12/31/2022	\$3,000,000.00	\$2,800,000.00	\$200,000.00	\$3,016,511.00	\$2,800,000.00	\$216,511.00	108%	63	55	8	70	55	15	188%	41922001017005	\$12,430.32	\$79,622.72	\$92,053.04	\$12,430.32	\$56,319.72	\$68,750.04
CRA 15-001	Engineered Material Systems (101 Innovation Court)	15/100%	12/31/2030	\$3,400,000.00	\$2,700,000.00	\$700,000.00	\$3,978,975.51	\$2,700,000.00	\$1,278,975.51	117%	46	38	8	49	38	11	107%	41922002003002	\$13,823.98	\$53,369.42	\$67,193.40	\$99,155.77	\$432,157.48	\$531,313.25
CRA 18-003	Engineered Materials Systems 2018 Expansion	15/100%	12/31/2033	\$4,100,000.00	\$1,055,144.00	\$700,000.00	\$4,098,975.51	\$1,055,144.00	\$120,000.00	17%	57	11	8	51	11	2	25%	41922002003002	\$13,915.86	\$0.00	\$13,915.86	\$117,310.20	\$0.00	\$117,310.20
CRA 15-002	Sky Climber Fabricating	15/100%	12/31/2031	\$1,970,000.00	\$0.00	\$1,970,000.00	\$1,785,281.00	\$0.00	\$1,785,281.00	91%	35	0	35	23	0	23	66%	41922001006004	\$8,495.00	\$14,036.46	\$22,531.46	\$159,885.00	\$178,635.30	\$338,520.30
CRA 16-000	Midwest Acoust-A-Fiber	10/100%	12/31/2026	\$6,280,000.00	\$5,860,000.00	\$420,000.00	\$6,280,000.00	\$5,860,000.00	\$420,000.00	100%	176	162	14	176	162	14	100%	41921006004000	\$149,000.00	\$173,768.06	\$322,768.06	\$69,794.23	\$139,588.46	\$209,382.69
CRA 18-001	Midwest Acoust-A-Fiber 2018 Expansion	10/100%	12/31/2028	\$744,000.00	\$420,000.00	\$324,000.00	\$2,466,531.00	\$420,000.00	\$2,046,531.00	332%	23	14	9	214	14	38	226%	41921006004000	\$149,000.00	\$0.00	\$149,000.00	\$69,794.23	\$0.00	\$69,794.23
CRA 16-001	Symmetry II	15/50%	12/31/2031	\$1,300,000.00	\$0.00	\$1,300,000.00	\$1,838,951.00	\$0.00	\$1,838,951.00	141%	28	0	28	32	0	32	114%	41922002003006	\$40,362.52	\$87,540.22	\$127,902.74	\$33,721.07	\$66,996.76	\$100,717.83
CRA 18-002	Cohatch	15/100%	12/31/2033	\$960,000.00	\$0.00	\$960,000.00	\$1,658,000.00	\$0.00	\$1,658,000.00	173%	24	0	24	42	0	42	175%	51943409027000	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
CRA 17-001	Kirby Ventures LLC and OAK & BRAZEN, LLC	15/100%	12/31/2032	\$165,000.00	\$0.00	\$165,000.00	\$464,802.68	\$0.00	\$464,802.68	282%	6	0	6	12	0	12	200%	51943109002000	\$8,061.00	\$4,195.00	\$12,256.00	\$2,673.56	\$0.00	\$2,673.56
CRA 17-003	KB42 LTD	15/50%	12/31/2031	\$600,000.00	\$0.00	\$600,000.00	\$550,000.00	\$0.00	\$550,000.00	92%	10	0	10	9	0	9	90%	51943108023000	\$12,258.42	\$5,242.38	\$17,500.80	\$1,944.40	\$0.00	\$1,944.40
Total:				\$41,122,940.00	\$17,105,144.00	\$21,672,940.00	\$59,962,864.80	\$17,105,144.00	\$29,626,085.44		920	352	530	1240	352	628		\$714,393.80	\$3,579,165.21	\$3,657,440.89	\$702,469.22	\$5,123,179.29	\$6,102,843.71	

Performance Based Economic Incentive Grants

	Company	Grant Level	Anticipated full ROI Date	Total Payroll Goal	Retained Payroll Goal	New Payroll Goal	Current Total Payroll	Current Retained Payroll	Current New Payroll	% Achieved	FTE Goal	Retained FTE Goal	New FTE Goal	Current Total FTE	Current Retained FTE	Current New FTE	% Achieved	Parcel #	Income Taxes Paid for 2019	Total Income Taxes Paid to Date	Percent to Go to Development Reserve Fund	Total Reimbursed to Date	% Reimbursed to Date
PBEIG	CAMS	\$10,000	12/31/2020	\$500,000.00	\$0.00	\$500,000.00	\$0.00	\$0.00	\$560,331.89	112%	8	0	8	0	0	12	150%	41922002003006	\$10,366.14	\$10,366.14	100%	\$10,000.00	100%
PBEIG	ONDA USA, LLC	\$30,000	12/31/2020	\$2,000,000.00	\$0.00	\$2,000,000.00	\$410,424.65	\$0.00	\$410,424.65	21%	50	0	50	0	0	9	18%	41921104008000	\$7,592.86	\$0.00	1.00%	\$6,700.56	22%
Total:				\$500,000.00	\$0.00	\$500,000.00	\$410,424.65	\$0.00	\$0.00		8	0	8	0	0	0			\$0.00	\$0.00		\$16,700.56	

**2020 TAX INCENTIVE REVIEW COUNCIL
TAX YEAR 2019**



CITY OF DELAWARE TIF ZONES

Area	Total Amount Disbursed	Amount to City	Expires	Notes
Airport #527- Jet Stream, Airspace	\$0.00	\$27,549.00	2027	Improvement of intersection, utilities, ramps near airport
#565- Braumiller Subdivision	\$111,971.69	\$337,122.00	2036	Glenn Parkway addition
#562- Cheshire North	\$122,613.42	\$341,048.00	2036	Glenn Parkway addition
#563- Cheshire South	\$7,897.63	\$32,524.00	2036	Glenn Parkway addition
#564- Cheshire West	\$22,129.26	\$133,390.00	2036	Glenn Parkway addition
#566- Evans Residential	\$0.00	\$2,201.00	2036	Glenn Parkway addition
#776- Southeast Commercial	\$0.00	\$0.00	2037	For road improvements surrounding Ohio Health Blvd.
#945- Skyclimber & V&P Hydraulics	\$48,300.00	\$48,300.00	2037	Payment of costs for acquiring V&P and Skyclimber parcels
#1088- Zaremba- Mill Run Buehler's	\$151,840.00	\$151,840.00	2039	Paid to developer for Glenn Parkway Central Ave. Turn Lane Improvements
TOTAL	\$464,752.00	\$1,073,974.00		

**2018 RESIDENTIAL CRA STATUS REPORT
TAX YEAR 2018**



Name/Property Identification	Date Project Certified	Percent of Exemption	Term of Exemption	Total Project Investment	Total Real Property Investment Subject to Exemption	Date of Most Recent Council Review	Current Status	Taxes Foregone
2014-06 Dennis Ensign 5 Stilson Street 41912202005000 1 family new construction	8/28/2014	100%	7 yrs	\$87,036.54	\$87,036.54	2/21/2019	Active/Paid	\$ 1,418.11
2014-05 Christopher Shelly 56 Kurrley Street 51944307007000 1 family new construction	9/10/2014	100%	7 yrs	\$91,434.46	\$91,434.46	2/21/2019	Active/Paid	\$ 2,421.06
2014-04 David O Summers 126 Wilder Street 5194427005000 1 family new construction	5/9/2014	100%	7 yrs	137,000.00	137,000.00	2/21/2019	Active/Paid	\$ 2,589.31
2014-03 James P. Manos 9B N. Sandusky Street 519-432-25-029-000 Remodel 2nd floor to residential	4/30/2014	100%	7 yrs	50,000.00	50,000.00	2/21/2019	Active/Paid	\$ 1,184.78
2014-01 Kathleen G. Crawford 47 High Street 51943323006000 1 family new construction	1/27/2014	100%	7 yrs	111,112.80	111,112.80	2/21/2019	Active/Paid	\$ 2,091.97
2013-01 Raul and Caolina Olvera 57 Stilson Street 41912202013000 1 family new construction	6/24/2013	100%	7 yrs	102,751.49	102,751.49	2/21/2019	Active/Paid	\$ 2,313.99
2013-02 Delaware Place Senior Apartments, LLC 351 South Sandusky Street, Units A & B 41912102034000 1 family new construction	8/2/2013	100%	7 yrs	160,000 (80,000 per unit)	160,000	2/21/2019	Active/Paid	\$ 88,353.19
2013-03 Delaware Place Senior Apartments, LLC 351 South Sandusky Street, Units C & D 41912102034000 1 family new construction	8/2/2013	100%	7 yrs	160,000 (80,000 per unit)	160,000	2/21/2019	Active/Paid	combined
2013-04 Delaware Place Senior Apartments, LLC 351 South Sandusky Street, Units E & F 41912102034000 1 family new construction	8/2/2013	100%	7 yrs	160,000 (80,000 per unit)	160,000	2/21/2019	Active/Paid	combined
2013-05 Delaware Place Senior Apartments, LLC 351 South Sandusky Street, Units G & H 41912102034000 1 family new construction	8/2/2013	100%	7 yrs	160,000 (80,000 per unit)	160,000	2/21/2019	Active/Paid	combined
2013-06 Delaware Place Senior Apartments, LLC 351 South Sandusky Street, Units I & J 41912102034000 1 family new construction	8/2/2013	100%	7 yrs	160,000 (80,000 per unit)	160,000	2/21/2019	Active/Paid	combined
2013-07 Delaware Place Senior Apartments, LLC 351 South Sandusky Street Unit K & L 41912102034000 1 family new construction	8/2/2013	100%	7 yrs	160,000 (80,000 per unit)	160,000	2/21/2019	Active/Paid	combined
2013-08 Delaware Place Senior Apartments, LLC 351 South Sandusky Street Unit M & N 41912102034000 1 family new construction	8/2/2013	100%	7 yrs	160,000 (80,000 per unit)	160,000	2/21/2019	Active/Paid	combined
2013-09 Erica McCuen 85 Chamberlain Street 51944208010000 1 family new construction	11/7/2013	100%	7 yrs	113,580.12	113,580.12	2/21/2019	Active/Paid	\$ 2,569.64
2012-04 Steffan Gregory A & Karen M (formerly under KATHRYN C. RICHLEY) 81 Chamberlain Street 51944208009000 1 family new construction	12/4/2012	100%	7 yrs	99,596.63	\$99,596.63	2/21/2019	Active/Paid	\$ 2,434.66
2012-03 WALTER & TERRESA JONES, JR. 24 Eaton Street 51943311023000 1 family new construction	6/28/2012	100%	7 yrs	94,052.07	94,052.07	2/21/2019	Active/Paid	\$ 1,905.38
2012-02 FATMATA O'CONNOR		100%	7 yrs	\$97,729.26	\$97,729.26	2/21/2019	Active/Paid	\$ 2,038.67

135 S Liberty Street 51943310011000 Residential new construction	5/14/2012								
2012-01 JEFFERY & TAMMY SCOTT 91 Wilder Street 51944204007000 Residential new construction	3/23/2012	100%	7 yrs	\$97,411	\$97,411	2/21/2019	Active/Paid	\$	1,833.28
2015-05 Jamison Bryant 51 Toledo Street 51934403002000	12/21/2015	100%	7 yrs	\$107,161	\$107,161	2/21/2019	Active/Paid	\$	2,230.96
2015-04 Kiana Jones 167 Park Avenue 51943311006000	9/30/2015	100%	7 yrs	\$106,762	\$106,762	2/21/2019	Active/Paid	\$	1,866.05
2015-03 Chris and Marcia Ball as applicants, owned by Habitat for Humanity 93 W Harrison Street 51943320015000	6/18/2015	100%	7 yrs	\$110,441	\$110,441	2/21/2019	Active/Paid	\$	2,306.99
2015-02 Griswold Homes 36 Griswold Street 51943210012001	6/8/2015	100%	7 yrs	\$428,000	\$428,000	2/21/2019	Active/Paid	\$	10,665.92
2015-01 Brittany Murfield 51 Stilson Street 41912202012000	1/13/2015	100%	7 yrs	\$110,000	\$110,000	2/21/2019	Active/Paid	\$	1,964.38
2016-01 Adam Kroninger and Jessica Bittinger 55 David St. 51943324008000 New residential structure	3/10/2016	100%	7 yrs	\$102,187	102,187	2/21/2019	Active/Paid	\$	2,204.74
2016-02 Rebecca Hughes 181 S. Franklin St. 51943316008000 New residential structure	11/14/2016	100%	7 yrs	\$93,429.57	\$93,429.57	2/21/2019	Active/Paid	\$	2,016.82
2017-01 Karianne R. Wyrick 16 David St 51943312023000 New residential structure	5/3/2017	100%	7 yrs	\$128,000	\$128,000.00	2/21/2019	Active/Paid	\$	2,419.21
2017-02 COSG Investments LLC; Terry Whiteside 297 W. William St. 51943304012000 Remodel - Addition	6/12/2017	100%	7 yrs	\$150,000.00+	\$150,000.00+	2/21/2019	Active/Paid	\$	3,292.50
2017-03 Jennifer S. Long; Living Trust 535 W. William St. 51934410007000 New residential structure	6/1/2017	100%	7 yrs	\$300,000	\$300,000.00	2/21/2019	Active/Paid	\$	5,670.02
2017-04 Sara Hoover 252 S. Franklin St. 51943320034000 New residential structure	11/1/2017	100%	7 yrs	\$150,000.00	\$150,000.00	2/21/2019	Active/Paid	\$	3,669.43
2018-01 Rafael Rizo and Angelica Dominguez Morales 242 London Rd. 51943324020000 New residential structure	3/19/2018	100%	7 yrs	\$90,000	\$90,000		Active/Paid		\$3,292.50
2019-01 Leslie D. Joiner 14 Noble St. 51943322026000 New residential structure	1/10/2019	100%	7 yrs	\$100,404	\$100,404		Active/Paid		\$2,456.17
2019-02 Sara J Sepelak 136 Fair Ave. 51944218002000 New residential structure	4/24/2019	100%	7 yrs	\$108,289	\$108,289		Active/Paid	-	
2019-03 BUCKEYE LAKE STORAGE LLC @ 2 - Jim Manos 7 & 9 E. William St. 51943109021000 Residential apartment remodel	7/25/2019	100%	7 yrs	\$100,000	\$100,000		Active/Paid	-	



FACT SHEET

AGENDA ITEM NO: CONSENT ITEM B DATE: 03/23/2020
ORDINANCE NO: RESOLUTION NO: 20-27
READING: FIRST PUBLIC HEARING: NO

TO: Mayor and Members of City Council
FROM: R. Thomas Homan, City Manager
VIA: Bruce Pijanowski, Police Chief

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

A RESOLUTION AUTHORIZING THE CITY MANAGER TO ENTER INTO A MUTUAL AID AGREEMENT WITH MEMBER DEPARTMENTS.

BACKGROUND:

The Delaware Police Department work collaboratively with other law enforcement agencies in Delaware County, in both emergency and non-emergency matters. This agreement will allow interagency cooperation during both emergency and other matters. This resolution will allow the city manager to sign this agreement and any future agreement that is substantially the same.

REASON WHY LEGISLATION IS NEEDED:

Authorization is required for the City Manager to sign any inter-governmental agreement.

COMMITTEE RECOMMENDATION:

N/A

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

Bruce Pijanowski, Chief of Police

RECOMMENDATION:

Approval

ATTACHMENT(S)

Copy of Mutual Aid Agreement

MUTUAL AID AGREEMENT

This Mutual Aid Agreement (“Agreement”) is entered into this ____ day of _____, 20__ by and between the police departments for the cities of Delaware, Dublin, Powell, and Westerville; the police departments for the villages of Ashley, Ostrander, Shawnee Hills, and Sunbury; the police department for the Delaware County Preservation Parks Authority, and the Board of Trustees of Genoa Township, Delaware County, Ohio (“Board”) on behalf of the Genoa Township Police Department (hereinafter collectively the “MEMBER DEPARTMENTS”).

PURPOSE OF AGREEMENT:

The purpose of this Agreement is to state the covenants and conditions which govern mutual aid between the MEMBER DEPARTMENTS and under which the MEMBER DEPARTMENTS shall provide mutual aid to any and/or all of the other MEMBER DEPARTMENTS.

PREAMBLE:

WHEREAS, the MEMBER DEPARTMENTS are desirous of obtaining additional police protection for the citizens served by their departments by making the most efficient use possible of the police manpower of their departments; and

WHEREAS, the MEMBER DEPARTMENTS are authorized to enter into contracts for the purpose of providing emergency police protection in other political subdivisions pursuant to Sections 311.07, 505.43, 737.04, and 1545.131 of the Revised Code; and

WHEREAS, this agreement is intended to be entirely reciprocal by the MEMBER DEPARTMENTS, who are parties to this agreement, and are referred to herein more specifically as the “REQUESTING DEPARTMENT” or the “RESPONDING DEPARTMENT” as the situation may arise necessitating the mutual aid request.

AGREEMENT:

NOW, THEREFORE, FOR GOOD AND VALUABLE CONSIDERATION, RECEIPT OF WHICH IS HEREBY ACKNOWLEDGED, BE IT AGREED between the MEMBER DEPARTMENTS as follows:

- 1) The term of this Agreement shall be inclusive of _____, 20__ through December 31, 2020.
- 2) Upon written agreement of the MEMBER DEPARTMENTS, this Agreement may be renewed for successive _____ (____) year periods subject to the same terms and conditions provided herein and upon any such terms and conditions as

may be specifically agreed upon, added and/or amended in writing by the MEMBER DEPARTMENTS.

- 3) In the event of an emergency or other event requiring additional manpower, and upon the request of the REQUESTING DEPARTMENT by the highest ranking officer of the REQUESTING DEPARTMENT on duty at the time of the emergency, the RESPONDING DEPARTMENT(S) will furnish police manpower, canine, and equipment if the highest ranking officer on duty of the RESPONDING DEPARTMENT(S) is of the opinion that such police manpower and equipment is available. If the RESPONDING DEPARTMENT(S) agrees to provide mutual aid, the personnel of the RESPONDING DEPARTMENT(S) shall report to, and shall work under, the direction and supervision of the senior officer of the REQUESTING DEPARTMENT on duty at the time that the mutual aid request is made. Such police manpower and equipment may be recalled at the sole discretion of the highest ranking officer on duty of the RESPONDING DEPARTMENT(S). As used herein, the term "emergency" shall mean an actual or potential condition that poses an immediate threat to life or property, and exceeds the capability of the REQUESTING DEPARTMENT to counteract successfully. Notwithstanding the above, if mutual aid is provided, it will only be provided pursuant to the particular policy of the RESPONDING DEPARTMENT(S).
- 4) Notwithstanding the provision of Paragraph (1) above, any police officer of the RESPONDING DEPARTMENT(S) who sees a felony or misdemeanor being committed within the jurisdiction of the REQUESTING DEPARTMENT, or who sees a police officer of the REQUESTING DEPARTMENT who is in distress, shall have the authority to apprehend or attempt to apprehend the person or persons committing said felony or misdemeanor and shall have the authority to render assistance to the police officer in distress, so long as he/she shall use sound discretion and reasonable judgment.
- 5) In situations where mutual aid is utilized, radio communications should be established wherever possible through the use of a radio communications network which may be mutually available to MEMBER DEPARTMENTS.
- 6) The execution of this Agreement shall not give rise to any liability, responsibility, or cause of action for breach of contract between the parties for failure to respond to any request for assistance made pursuant to this Agreement against the RESPONDING DEPARTMENT(S) failing to respond and in favor of the REQUESTING DEPARTMENT.
- 7) This Agreement shall not be construed as or deemed to be an agreement for the benefit of any third party or parties, and no third party or parties shall have any right of action whatsoever hereunder for any cause whatsoever.

- 8) No charge shall be made to the REQUESTING DEPARTMENT for services rendered by the RESPONDING DEPARTMENT(S) under the provisions of this Agreement.
- 9) It is agreed that the consideration for this Agreement is derived from the mutual benefit to each of the parties hereto in increased police protection.
- 10) There shall be no reimbursement for loss or damage to the canine or equipment while engaged in activity in accordance with this Agreement, nor shall there be any reimbursement for any indemnity award or premium contribution assessed against the employing police department or political subdivision for workmen's compensation benefits arising by reason of injury or death to a member of either police department while engaged in rendering services under this Agreement.
- 11) It is agreed that police department employees acting outside the political subdivision in which they are employed may participate in any pension or indemnity fund established by their employer to the same extent as while acting within the employing subdivision, and they are entitled to all the rights and benefits of Chapter 4123 of the Revised Code to the same extent as while performing police services within the subdivision in which they are employed.
- 12) Chapter 2744 of the Ohio Revised Code, so far as it is applicable to the operation of law enforcement agencies, applies to the contracting political subdivisions and government units hereunder and to their law enforcement agency members when such members are rendering service outside of their own political subdivision or governmental unit pursuant to this Agreement.
- 13) It is further agreed between the MEMBER DEPARTMENTS that the individual policies and procedures, including, but not limited to Use of Force and Vehicle Pursuit policies of the MEMBER DEPARTMENTS will control the activities and responses of their respective employees, and MEMBER DEPARTMENTS will not be expected to depart from the policies and procedures of their respective departments.
- 14) The MEMBER DEPARTMENTS are governmental entities/political subdivisions and lack authority to indemnify. The MEMBER DEPARTMENTS, agree to be and shall be responsible for their own negligence, actions or omissions, and/or the negligence, actions, or omissions of their respective board members, officials, officers, employees, agents, representatives, volunteers, and/or servants resulting from the performance of this Agreement. The MEMBER DEPARTMENTS agree to be individually and solely responsible for all claims, lawsuits, liability, losses, damages, illnesses, injuries (including death), and/or related expenses that each may incur as a result of their own negligence, actions or omissions and/or the negligence, actions or omissions of their respective board members, officials, officers, employees, agents, representatives, volunteers, and/or servants in the performance of this Agreement.

- 15) Any party to this Agreement may withdraw at any time upon thirty (30) days written notice addressed to the Board and each of the Chiefs of Police or other officers in charge of each of the MEMBER DEPARTMENTS.
- 16) All notices which may be required by this Agreement or by operation of any rule of law shall be hand delivered, sent via certified United States Mail, return receipt requested, sent via a nationally recognized and reputable overnight courier, return receipt requested, or via facsimile, to the following individuals at the following addresses and shall be effective on the date received:

CITY OF DELAWARE PD

Fax: _____

CITY OF DUBLIN PD

Fax: _____

CITY OF POWELL PD

Fax: _____

CITY OF WESTERVILLE PD

Fax: _____

VILLAGE OF ASHLEY PD

VILLAGE OF OSTRANDER PD

Fax: _____

Fax: _____

VILLAGE OF SHAWNEE HILLS PD

VILLAGE OF SUNBURY PD

Fax: _____

Fax: _____

GENOA TOWNSHIP PD

DELAWARE COUNTY
PRESERVATION PARKS
AUTHORITY PD

Fax: _____

Fax: _____

City of Columbus PD

Fax: _____

- 17) In fulfilling the obligations and duties of this Agreement, the MEMBER DEPARTMENTS shall not discriminate against any employee or applicant for employment on the basis of race, religion, national origin, color, creed, gender, sexual orientation, age, Vietnam-era Veteran status, or disability, as defined in the Americans with Disabilities Act.

The MEMBER DEPARTMENTS shall ensure that applicants are hired and that employees are treated during employment without regard to any of the listed factors. Such action shall include, but not be limited to the following: employment, upgrading, demotion or transfer, recruitment or recruitment advertising, layoff or termination, rates of pay or other forms of compensation and selection for training, including apprenticeship.

The MEMBER DEPARTMENTS agree to post in conspicuous places, available to employees and applicants for employment, notices stating that the respective MEMBER DEPARTMENT complies with all applicable federal and state non-discrimination laws.

The MEMBER DEPARTMENTS respectively certify compliance with all applicable laws regarding Non-Discrimination / Equal Opportunity and will not discriminate.

- 18) The MEMBER DEPARTMENTS agrees to comply with all applicable state and federal laws regarding drug-free environment and shall have established and have in place a drug free environment policy. The Member Departments shall make a good faith effort to ensure that all of their respective employees will not purchase, use, or possess illegal drugs or alcohol or abuse prescription drugs in any way.
- 19) This Agreement shall be governed by and interpreted in accordance with the laws of the State of Ohio. Any and all legal disputes arising from this Agreement shall be filed in and heard before the courts of Delaware County, Ohio.
- 20) If any provision of this Agreement is held to be invalid or unenforceable by a court of competent jurisdiction, such holding shall not affect the validity or enforceability of the remainder of the Agreement. All provisions of this Agreement shall be deemed severable.
- 21) This Agreement (and its Attachments) shall constitute the entire understanding and agreement between the MEMBER DEPARTMENTS, shall supersede all prior understandings and agreements relating to the subject matter hereof, and may only be amended in writing with the mutual consent and agreement of all the MEMBER DEPARTMENTS.
- 22) This agreement shall become effective upon the date of the last signature appearing below.

23) This agreement may be executed in any number of counterparts, all of which together shall be considered a single document. It shall not be necessary for any counterpart to have more than one original signature. One complete copy of all counterparts shall be maintained by each department.

Although not a signatory to this Agreement, the Sheriff of Delaware County, Ohio acknowledges the existence of this Agreement and concurs with the provisions of same. Furthermore, the Sheriff of Delaware County, Ohio anticipates participation in any requests for mutual aid as either a REQUESTING DEPARTMENT or a RESPONDING DEPARTMENT, as required and/or authorized by applicable provisions of the Ohio Revised Code.

In witness hereof, we have executed this agreement on the date appearing after our signatures.

(SIGNATURES ON FOLLOWING PAGES)

DELAWARE CITY POLICE
DEPARTMENT

Chief
Date: _____

City Manager
Date: _____

Approved as to form:

Law Director

DUBLIN CITY POLICE
DEPARTMENT

Chief
Date: _____

City Manager
Date: _____

Approved as to form:

Law Director

POWELL CITY POLICE
DEPARTMENT

Chief
Date: _____

City Manager
Date: _____

Approved as to form:

Law Director

WESTERVILLE CITY
POLICE DEPARTMENT

Chief
Date: _____

City Manager
Date: _____

Approved as to form:

Law Director

VILLAGE OF ASHLEY
POLICE DEPARTMENT

Chief
Date: _____

Village Administrator
Date: _____

Approved as to form:

Law Director

VILLAGE OF
OSTRANDER POLICE
DEPARTMENT

Chief
Date: _____

Village Administrator
Date: _____

Approved as to form:

Law Director

VILLAGE OF SHAWNEE HILLS
POLICE DEPARTMENT

Chief
Date: _____

Village Administrator
Date: _____

Approved as to form:

Law Director

VILLAGE OF SUNBURY
POLICE DEPARTMENT

Chief
Date: _____

Village Administrator
Date: _____

Approved as to form:

Law Director

BOARD OF TRUSTEES,
GENOA TOWNSHIP,
DELAWARE COUNTY, OHIO

Karl Gebhardt
Trustee

Date

Connie Goodman
Trustee

Date

Renee Vaughan
Trustee

Date

Approved as to form:

Delaware County
Prosecuting Attorney

DELAWARE COUNTY
PRESERVATION PARKS
AUTHORITY

City of Columbus PD

Chief

Date: _____

Chief

Date: _____

Delaware County
Preservation Parks
Administrator

Date: _____

Title: _____

Date: _____

Approved as to form:

Approved as to form:

Legal Counsel

Legal Counsel



FACT SHEET

AGENDA ITEM NO: CONSENT ITEM C DATE: 03/23/2020
ORDINANCE NO: RESOLUTION NO: 20-28
READING: FIRST PUBLIC HEARING: NO

TO: Mayor and Members of City Council
FROM: R. Thomas Homan, City Manager
VIA: William L. Ferrigno, P.E.

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

A RESOLUTION AUTHORIZING THE CITY MANAGER TO ENTER INTO AN AGREEMENT WITH THE OHIO DEPARTMENT OF TRANSPORTATION TO PARTICIPATE IN THE COOPERATIVE PURCHASE OF ROAD SALT THROUGH THE ODOT WINTER SALT PURCHASE CONTRACT (018-21).

BACKGROUND:

The City must participate in a cooperative purchasing agreement in order to obtain road salt for winter snow and ice management operations within the city. Participation in ODOT's winter salt contract guarantees adequate supply of highway road salt. Salt is available through the program from September 1, 2020 through April 30, 2021, and at a competitive price through ODOT's public bid process. Participation provides access to up to 1,000 tons of road salt at an estimated delivered price of \$90.00 per ton. The City's five-year average use of winter road salt is 2,100 tons per year, and has ranged from 1,400 tons to 3,200 tons used in a season, though only 1028 tons of salt were used in this past winter season. Availability of additional road salt outside of participation in the ODOT program remains limited.

REASON WHY LEGISLATION IS NEEDED:

Resolution and signed agreement required by ODOT to participate in program

COMMITTEE RECOMMENDATION:

None

FISCAL IMPACT(S):

Anticipate balance of funding available in the 2020 appropriations ordinance will be sufficient to cover final cost of purchasing.

POLICY CHANGES:

This is the sixth year the City has participated in ODOT's winter salt program.

PRESENTER(S):

William L. Ferrigno, P.E., Director of Public Works/City Engineer

RECOMMENDATION:

Approval

ATTACHMENT(S)

None

RESOLUTION NO. 20 -28

A RESOLUTION AUTHORIZING THE CITY MANAGER TO ENTER INTO AN AGREEMENT WITH THE OHIO DEPARTMENT OF TRANSPORTATION TO PARTICIPATE IN THE COOPERATIVE PURCHASE OF ROAD SALT THROUGH THE ODOT WINTER SALT PURCHASE CONTRACT (018-21).

WHEREAS, the City of Delaware is responsible for operating and maintaining public highways within the corporate limits of the City; and

WHEREAS, the Ohio Department of Transportation invites all local governments and political subdivisions to partner with ODOT for the cooperative purchase of road salt through Winter Contract (018-21); and

WHEREAS, being a member of the State Cooperative Purchasing Program, the City of Delaware is eligible to participate in the ODOT program; and

WHEREAS, participation in the cooperative bidding and purchasing with ODOT will most likely ensure the best possible price and a reliable source of availability for road salt for the 2020-2021 winter seasons.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF DELAWARE, OHIO THAT:

SECTION 1. That the City Manager is hereby granted authority to participate in the Ohio Department of Transportation Winter (018-21) contracts for road salt and sign agreements as required.

SECTION 2. That the City Manager is hereby authorized to agree to and be bound by all terms and conditions as the Director of Transportation prescribes.

SECTION 3. That the City Manager is hereby authorized to agree to directly pay vendors, under each such contract of the Ohio Department of Transportation in which the City of Delaware participates, for items it receives pursuant to the contract.

SECTION 4. That the City of Delaware agrees to be responsible for resolving all claims or disputes arising out of its participation in the cooperative purchasing program under Section 5513.01(B) of the Ohio Revised Code. The City of Delaware agrees to waive any claims, actions, expenses, or other damages arising out of its participation in the cooperative purchasing program which the City of Delaware may have or claim to have against ODOT or its employees, unless such liability is the result of negligence on the part of ODOT or its employees.

SECTION 5. That this resolution shall be in force and effect immediately upon its passage.

PASSED: _____, 2020

YEAS____ NAYS____
ABSTAIN ____

ATTEST: _____
CITY CLERK

MAYOR



FACT SHEET

AGENDA ITEM NO: CONSENT ITEM D DATE: 03/23/2020
ORDINANCE NO: RESOLUTION NO: 20-29
READING: FIRST PUBLIC HEARING: NO

TO: Mayor and Members of City Council
FROM: R. Thomas Homan, City Manager
VIA: ----

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

A RESOLUTION AUTHORIZING CANCELLATION OF THE APRIL CITY COUNCIL MEETINGS.

BACKGROUND: Given the restrictions imposed to limit the spread of the COVID-19 virus, it is possible that there will be no items requiring Council action in April. This resolution allows the Mayor or Vice Mayor if the Mayor is unavailable, to cancel the meeting. In the event the meeting is canceled, the public will be provided notice using the same means the City uses to provide meeting agendas.

REASON WHY LEGISLATION IS NEEDED:

This legislation provides notice to the public of a potential deviation from the regular meeting schedule.

COMMITTEE RECOMMENDATION:

N/A

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

Carolyn Kay Riggle, Mayor

RECOMMENDATION:

Approval

ATTACHMENT(S)

**NOTICE TO LEGISLATIVE
AUTHORITY**

OHIO DIVISION OF LIQUOR CONTROL
6606 TUSSING ROAD, P.O. BOX 4005
REYNOLDSBURG, OHIO 43068-9005
(614)644-2360 FAX(614)644-3166

TO

58111440440		N		MEIJER STORES LIMITED PARTNERSHIP DBA MEIJER GAS STATION 249 1388 SUNBURY RD DELAWARE OH 43015
PERMIT NUMBER		TYPE		
02 25 2020				
ISSUE DATE		FILING DATE		
C2		PERMIT CLASSES		
21	022	B	C65987	
TAX DISTRICT		RECEIPT NO.		

FROM 02/28/2020

PERMIT NUMBER		TYPE	
ISSUE DATE		FILING DATE	
PERMIT CLASSES		TAX DISTRICT	
RECEIPT NO.			



MAILED 02/28/2020

RESPONSES MUST BE POSTMARKED NO LATER THAN. 03/30/2020

IMPORTANT NOTICE

PLEASE COMPLETE AND RETURN THIS FORM TO THE DIVISION OF LIQUOR CONTROL
WHETHER OR NOT THERE IS A REQUEST FOR A HEARING.

REFER TO THIS NUMBER IN ALL INQUIRIES

B N 5811144-0440

(TRANSACTION & NUMBER)

(MUST MARK ONE OF THE FOLLOWING)

WE REQUEST A HEARING ON THE ADVISABILITY OF ISSUING THE PERMIT AND REQUEST THAT
THE HEARING BE HELD IN OUR COUNTY SEAT. IN COLUMBUS.

WE DO NOT REQUEST A HEARING.

DID YOU MARK A BOX? IF NOT, THIS WILL BE CONSIDERED A LATE RESPONSE.

PLEASE SIGN BELOW AND MARK THE APPROPRIATE BOX INDICATING YOUR TITLE:

(Signature)

(Title)- Clerk of County Commissioner

(Date)

Clerk of City Council

Township Fiscal Officer

CLERK OF DELAWARE CITY COUNCIL
1 SOUTH SANDUSKY ST
DELAWARE OHIO 43015

Commerce Division of Liquor Control : Web Database Search

OWNERSHIP DISCLOSURE INFORMATION

This online service will allow you to obtain ownership disclosure information for issued and pending retail liquor permit entities within the State of Ohio.

Searching Instructions

Enter the known information and click the "Search" button. For best results, search only ONE criteria at a time. If you try to put too much information and it does not match exactly, the search will return a message "No records to display".

The information is sorted based on the Permit Number in ascending order.

To do another search, click the "Reset" button.

SEARCH CRITERIA

Permit Number	<input type="text" value="5811144"/>
Permit Name / DBA	<input type="text"/>
Member / Officer Name	<input type="text"/>

[Search](#)[Reset](#)[Main Menu](#)

Member/Officer Name	Shares/Interest	Office Held
Permit Number: 5811144; Name: MEIJER STORES LIMITED PARTNERSHIP; DBA: ; Address: 2929 WALKER AV NW GRAND RAPIDS 49544		
MEIJER GROUP INC		
JANET G KELLEY		SECRETARY
Permit Number: 58111440015; Name: MEIJER STORES LIMITED PARTNERSHIP; DBA: DBA MEIJERS #61; Address: 3651 A TOWNE BLVD MIDDLETOWN 45005		
JANET G KELLEY		SECRETARY

- [Ohio.Gov](#)
- [Ohio Department of Commerce](#)

[Commerce Home](#) | [Press Room](#) | [CPI Policy](#) | [Privacy Statement](#) | [Public Records Request Policy](#) | [Disclaimer](#) | [Employment](#) | [Contacts](#)



Delaware Police Department Liquor Permit Report

DPD Report Number L-20-01		Investigating Officer Detective Sean Franks #74	
Applicant (Primary Shareholder) Meijer Stores Limited Partnership		Company Name: DBA: Meijer Gas Station 249	
Common Name Meijer		Address 1388 Sunbury Road Delaware, Ohio 43015	
Applicant Phone Number		Applicant E-Mail Address:	
<input checked="" type="checkbox"/> Existing Business	Type of Business Gas Station	Notification Type:	Date of Report 03/11/2020
<input type="checkbox"/> New Business (Supplement Attached)			
Permit Type <input checked="" type="checkbox"/> C1/C2X Beer only in original sealed container for carry out only. <input type="checkbox"/> C2 Wine and mixed beverages in sealed containers for carry out. <input type="checkbox"/> D1/D2X Beer only for on premises consumption or in sealed containers for carry out. <input type="checkbox"/> D2 Wine and mixed beverages for on premises consumption or in sealed containers for carryout. <input type="checkbox"/> D4 Beer and any intoxicating liquor to members only, for on premises consumption only until 1:00am. <input type="checkbox"/> D5 Spirituous liquor for on premises consumption only, beer, wine and mixed beverages for on premises, or off premises in original sealed containers, until 2:30am. <input checked="" type="checkbox"/> Other D6			

Location Information

Churches, Libraries and or schools within 500 feet <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	School, church or library objection <input type="checkbox"/> Yes (Supplement Attached) <input checked="" type="checkbox"/> No <i>Note: Objections are only permitted for new permits.</i>
Police Calls for Service in past 12 months: 0	Number of Police Reports in past 12 months: 0
Calls for Service excluding calls not related to the business in past 12 months: 0	Location is excessive drain on Police Resources: <input type="checkbox"/> Yes (Supplement Attached) <input checked="" type="checkbox"/> No
Nuisance Abatement Pending No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>	Accessible by Law Enforcement No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
Site compliance checked by Dept. of Commerce <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Private Club (Restricted Access Door) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Applicant Information

Records Checked <input type="checkbox"/> Ohio Law Enforcement Gateway <input checked="" type="checkbox"/> Delaware Police Department Database	
Applicant has an active warrant <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Record located for Liquor Law Violation <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Local Record on file <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criminal History Checked by Dept. of Commerce <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Problem History with DPD <input type="checkbox"/> Yes (Supplement Attached) <input checked="" type="checkbox"/> No	Contact made with Applicant <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Determination on Objection

<input checked="" type="checkbox"/> The Delaware Police Department does not find a legislative basis for requesting a hearing to object to the issuance of a liquor permit for this business.
--

<input type="checkbox"/> The Delaware Police Department recommends requesting a hearing into the issuance of a liquor permit for this business, due to one or more of the following criteria for objection as set forth by the Ohio Revised Code.
<input type="checkbox"/> Site does not conform to local building, safety and health codes (excluding zoning).
<input type="checkbox"/> Law enforcement or state agents do not have ready access to the premises where alcoholic beverages are being served.
<input type="checkbox"/> Physical location causes a public nuisance.
<input type="checkbox"/> Site has been officially classified as a nuisance according to State Law.
<input type="checkbox"/> Conviction of a crime by the applicant that relates to operating a liquor establishment.
<input type="checkbox"/> Past improper operation of a location with a liquor permit.
<input type="checkbox"/> Misrepresentation of material fact on the application.
<input type="checkbox"/> Addiction of the applicant to alcohol or narcotics.
<input type="checkbox"/> Formal objection by specific types of other locations to which the site is in certain proximity.
<input type="checkbox"/> Conviction of the applicant of food stamp or WIC fraud.



**Delaware Police Department
Liquor Permit Report**

(Supplement Attached)

Supplement

Supplement Type

- New Business Description
- Police Department Objection
- Community Objection
- Other :

The Delaware Police Department has no objections to the issuance of any other permits to Meijer Gas Station.

The Meijer Gas Station has had a C1 permit since 2009, which has allowed the business to sell beer only in its original sealed container and for carry out purposes only. This notification involves an application for a C2 permit, which would now allow the establishment to sell wine and mixed beverages in sealed containers for carry out. A representative from Liquor Control advised Meijer also applied for a D6 permit as well, which would allow them to sell liquor on Sundays between 10 am and midnight.

The Delaware Police Department has had no substantial involvement with the Meijer Gas Station in the last 12 months. Outside of business checks, and a couple private property crashes, there have been no other issues. Records show there were no reported thefts, alcohol related offenses, and or any other criminal offenses that took place at the gas station in the last year.

The Ohio Department of Commerce (Division of Liquor Control) had no documented violations with this establishment in 2019. There has only been one liquor law violation with the Meijer Gas Station in the last five years (Sale to Underage Person in March 2018). That incident was resolved with an 8-day suspension of alcohol sales and a fine.

In addition to the compliance checks conducted by the Division of Liquor Control, the Delaware Police Department occasionally conducts undercover liquor law compliance checks. One such operation was conducted on October 30, 2018 and found the Meijer Gas Station was in compliance with liquor laws.

Det. Dan F. [Signature]
Investigating Officer Signature

3/12/2020
Date

Det. [Signature]
Supervisor Signature

3/16/20
Date



FACT SHEET

AGENDA ITEM NO: 9

DATE: 03/23/2020

ORDINANCE NO: 20-10

RESOLUTION NO:

READING: SECOND

PUBLIC HEARING: YES

MARCH 23, 2020 @ 7:30 p.m. **

**Due to the meeting being held virtually, public comment will be received through email at emccloskey@delawareohio.net prior to the meeting or through City Facebook Messenger while the meeting is streamed live. The public will have the opportunity to provide a phone number to be conferenced into the remote meeting.

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE APPROVING A REZONING AMENDMENT FOR TERRA ALTA LLC., FOR TERRA ALTA SUBDIVISION FROM A-1 AND R-2 PMU TO A-1 AND R-2 PMU ON APPROXIMATELY 472.9 ACRES AND LOCATED NORTH OF BRAUMILLER ROAD, EAST OF POLLOCK ROAD AND WEST OF BERLIN STATION ROAD (NO ZONING CHANGES TO THE STOCKDALE FARMS PORTION OF THE DEVELOPMENT).

BACKGROUND:

See attached staff report.

REASON WHY LEGISLATION IS NEEDED:

To achieve compliance with Chapter 1130 Amendments of the Codified Ordinances.

COMMITTEE RECOMMENDATION:

Planning Commission recommended approval by a vote of 6-0 on March 4, 2020.

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

David Efland, Planning and Community Development Director

RECOMMENDATION:

Staff recommends approval

ATTACHMENT(S)

See attached

ORDINANCE NO. 20-10

AN ORDINANCE APPROVING A REZONING AMENDMENT FOR TERRA ALTA LLC., FOR TERRA ALTA SUBDIVISION FROM A-1 AND R-2 PMU TO A-1 AND R-2 PMU ON APPROXIMATELY 472.9 ACRES AND LOCATED NORTH OF BRAUMILLER ROAD, EAST OF POLLOCK ROAD AND WEST OF BERLIN STATION ROAD (NO ZONING CHANGES TO THE STOCKDALE FARMS PORTION OF THE DEVELOPMENT).

WHEREAS, the Planning Commission at its meeting of March 4, 2020 recommended approval of a Rezoning Amendment for Terra Alta LLC., for Terra Alta Subdivision from A-1 and R-2 PMU to A-1 and R-2 PMU on approximately 472.9 acre and located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road (No zoning changes to the Stockdale Farms portion of the development) (PC Case 2020-0258).

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Rezoning Amendment for Terra Alta LLC., for Terra Alta Subdivision from A-1 and R-2 PMU to A-1 and R-2 PMU on approximately 472.9 acre and located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road (No zoning changes to the Stockdale Farms portion of the development), is hereby confirmed, approved, and accepted with the following condition that:

1. The Development Text, as currently proposed, is generally acceptable and any revisions shall require conformance to all provisions of the Development Text and the subsequent approved development plans and plats.
2. Any change of use or major modification of the plan shall require conformance to all provisions of the Development Text.
3. A \$1,000 per dwelling unit transportation contribution fee shall be collected with each building permit for needed area transportation improvements.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS ___ NAYS ___
ABSTAIN ___

PASSED: _____, 2020

YEAS ___ NAYS ___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR



FACT SHEET

AGENDA ITEM NO: 10

DATE: 03/23/2020

ORDINANCE NO: 20-11

RESOLUTION NO:

READING: SECOND

PUBLIC HEARING: YES
MARCH 23, 2020 @ 7:30 PM

****Due to the meeting being held virtually, public comment will be received through email at emccloskey@delawareohio.net prior to the meeting or through City Facebook Messenger while the meeting is streamed live. The public will have the opportunity to provide a phone number to be conferenced into the remote meeting.**

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT FOR TERRA ALTA LLC., ALLOWING THE PLACEMENT OF A PLANNED MIXED-USE OVERLAY DISTRICT (PMU) FOR TERRA ALTA SUBDIVISION ON APPROXIMATELY 472.9 ACRES ZONED A-1 AND R-2 PMU AND LOCATED NORTH OF BRAUMILLER ROAD, EAST OF POLLOCK ROAD AND WEST OF BERLIN STATION ROAD.

BACKGROUND:

See attached staff report.

REASON WHY LEGISLATION IS NEEDED:

To achieve compliance with Section 1148 Conditional Use Regulations of the zoning code.

COMMITTEE RECOMMENDATION:

Planning Commission recommended approval by a vote of 6-0 on March 4, 2020.

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

David Efland, Planning and Community Development Director

RECOMMENDATION:

Staff recommends approval

ATTACHMENT(S)

See attached

ORDINANCE NO. 20-11

AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT FOR TERRA ALTA LLC., ALLOWING THE PLACEMENT OF A PLANNED MIXED-USE OVERLAY DISTRICT (PMU) FOR TERRA ALTA SUBDIVISION ON APPROXIMATELY 472.9 ACRES ZONED A-1 AND R-2 PMU AND LOCATED NORTH OF BRAUMILLER ROAD, EAST OF POLLOCK ROAD AND WEST OF BERLIN STATION ROAD.

WHEREAS, the Planning Commission at its meeting of March 4, 2020 recommended approval of a Conditional Use Permit for Terra Alta LLC., allowing the placement of a Planned Mixed-Use Overlay District (PMU) for Terra Alta Subdivision on approximately 472.9 acre zoned A-1 and R-2 PMU and located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road (PC Case 2020-0259).

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Conditional Use Permit for Terra Alta LLC., allowing the placement of a Planned Mixed-Use Overlay District (PMU) for Terra Alta Subdivision on approximately 472.9-acre zoned A-1 and R-2 PMU and located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road, is hereby confirmed, approved, and accepted.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS___NAYS___
ABSTAIN ___

PASSED: _____, 2020

YEAS___NAYS___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR



FACT SHEET

AGENDA ITEM NO: 11

DATE: 03/23/2020

ORDINANCE NO: 20-12

RESOLUTION NO:

READING: SECOND

PUBLIC HEARING: NO

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE APPROVING AN AMENDED PRELIMINARY DEVELOPMENT PLAN FOR TERRA ALTA LLC., FOR TERRA ALTA SUBDIVISION ON APPROXIMATELY 472.9 ACRES ON PROPERTY ZONED A-1 AND R-2 PMU AND LOCATED NORTH OF BRAUMILLER ROAD, EAST OF POLLOCK ROAD AND WEST OF BERLIN STATION ROAD.

BACKGROUND:

See attached report

REASON WHY LEGISLATION IS NEEDED:

To achieve compliance with Section 1129 requirements of the zoning code.

COMMITTEE RECOMMENDATION:

Planning Commission approved this case 6-0 on March 4, 2020.

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

David Efland, Planning and Community Development Director

RECOMMENDATION:

Staff recommends approval as submitted with the documented conditions.

ATTACHMENT(S)

See attached

ORDINANCE NO. 20-12

AN ORDINANCE APPROVING AN AMENDED PRELIMINARY DEVELOPMENT PLAN FOR TERRA ALTA LLC., FOR TERRA ALTA SUBDIVISION ON APPROXIMATELY 472.9 ACRES ON PROPERTY ZONED A-1 AND R-2 PMU AND LOCATED NORTH OF BRAUMILLER ROAD, EAST OF POLLOCK ROAD AND WEST OF BERLIN STATION ROAD.

WHEREAS, the Planning Commission at its meeting of March 4, 2020 recommended approval of an Amended Preliminary Development Plan for Terra Alta LLC;, for Terra Alta Subdivision on approximately 472.9 acre on property zoned A-1 and R-2 PMU and located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road (PC 2020-0260).

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Amended Preliminary Development Plan for Terra Alta LLC;, for Terra Alta Subdivision on approximately 472.9 acre on property zoned A-1 and R-2 PMU and located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road, is hereby confirmed, approved, and accepted with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department. In addition, County Engineer's approval would be required for roadway and storm water issues that are located within their jurisdiction.
2. All the streets shall achieve compliance with the minimum radii requirements or per the City Engineer.
3. All public utilities shall be extended to stub to the adjacent property lines and appropriate sections within the development.
4. The developer shall be responsible for any improvements and/or financial obligations of the traffic impact study per the City Engineer and/or County Engineer.
5. A \$1,000 per dwelling unit transportation contribution fee shall be collected with each building permit for needed area transportation improvements.

6. Terra Alta Drive shall be connected to its intersection with Berlin Station Road no later than the 166th building permit is requested for the construction of a dwelling unit in Sub-Area 1, 4 and 10.
7. An agreement between the developer and the City shall be executed to allow the adjacent properties to access the regional lift station per the City Engineer requirements.
8. The multi-use path shown along the north-south stream corridor shall be improved by the developer prior to starting Section 2 and shall be maintained by the homeowner's association with an easement dedicated to the City for public use. Every effort shall be made by the developer to relocate the bike path from the front of homes in Sub-Area 3 and 9.
9. The off-site stormwater improvements shall comply with the minimum City and County regulations.
10. The proposed bike paths shall be constructed during the subject section it is located in.
11. The proposed bike path along Braumiller Road shall be installed per City requirements within an easement dedicated to the City and shall be maintained by the Homeowner's Association. The bike path along Braumiller Road shall be constructed with the roadway improvements during the subject Phase it is located in.
12. Sidewalks shall be provided on both sides of all public streets. Sidewalks are not required to be extended along Pollock Road due to topographic and area considerations that make a pedestrian connection along Pollock infeasible. However, at least one sidewalk shall be extended from the western portion of the subdivision to Pollock Road to provide a connection to the river parkland. The sidewalk shall be constructed during the subject section it is located in.
13. Prior to or concurrent with the submittal of the Final Development Plan and Final Subdivision Plat for the first section (not included with this submittal), a Parkland and Open Space Improvement Plan must be submitted for review and approval detailing the improvements to be made to the parkland and privately maintained open spaces scattered throughout the neighborhood.
14. A minimum four-foot-high mound with landscaping that is a minimum 60% opaque year-round and with a landscaping height of no less than 10 feet high shall be located adjacent to Berlin Station Road to buffer the residential lots per the approved development text.
15. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
16. The single-family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.

17. A minimum 3-6-foot-high mound with landscaping shall be located along Braumiller Road except adjacent to lots 88-90 in Phase 2. An easement on the rear of lots 88-90 shall be recorded to require the aforementioned mounding and landscaping.
18. The maintenance of all mounds, landscaping and amenities in the parkland and open space areas shall be the responsibility of the Homeowner's Association with an easement to the City dedicating them open to the public. In addition, all evergreen trees shall be a minimum 6-foot-high at installation and the deciduous trees shall be a minimum 1.75-inch caliper.
19. Landscaping shall be installed adjacent to the proposed detention basin along Pollock Road.
20. All landscape plans shall be submitted, reviewed and approved by the Shade Tree Commission.
21. The 4.06-acre open space along the Olentangy River shall be dedicated to the City with Section 1 of the Final Subdivision Plat (former Stockdale Farms).
22. For each single-family house, a \$500 fee shall be paid for each single-family lot at time of building permit issuance to achieve compliance with Chapter 1168 Tree Preservation Regulations.
23. For each cluster home unit, \$200 fee shall be paid for each cluster home unit at time of building permit issuance to achieve compliance with Chapter 1168 Tree Preservation Regulations.
24. The street lighting plan shall be submitted, reviewed and approved by the Chief Building Official achieves compliance with all zoning requirements prior to construction drawing approval.
25. A comprehensive sign plan with all permanent and temporary signage including all public opens spaces shall be submitted reviewed and approved prior construction drawing approval.
26. The proposed phasing of the development shall be reviewed by staff to ensure roadway connectivity for Phase 1 (former Stockdale Farms portion of the development).
27. Conservation easements shall be provided over the entire length of all the existing streams on the site and shall be recorded with each final plat.
28. A second permanent access point for the east side of the site to the subdivision along Braumiller Road shall be required on or before the development of the 65th lot (during Phase 2 per submitted plans former Stockdale Farms portion of the development) or per the City Engineer for safety considerations.
29. A dense landscape buffer along the eastern portion of the proposed cluster homes adjacent to the large lot single family residences shall be submitted and approved with the Final Development Plan.
30. A Del Co water line transverses the rear of lots 4-6 which could impact the building pads of the future houses and shall limit the construction of any accessory structures (decks, etc.) on these lots.

31. A temporary emergency access point shall be located from Braumiller Road north between lots 15 and 16 to Skipton Loop. The design and access of the emergency access point shall achieve compliance with the fire department requirements. When Phase 1, 2 and 3 are completed, the aforementioned emergency access point can be converted to a bike path or the like to be determined by the Homeowners Association.
32. In Sub-Area 9, the developer shall plant several 8-foot-high Norway spruce trees to form a continuous buffer along the rear of lots 323-325 to screen the adjacent single-family home in addition to the tree line that exists in this location already
33. In Sub-Area 3, the developer shall plant several 8 foot high Norway spruce trees to form a continuous buffer along the rear of lots 165-172 along the northwestern portion of the site to screen the adjacent single family home in addition to the tree line that exists in this location already.
34. The developer shall submit a revised sign plan and wayfinding plan for the entire development.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS ___ NAYS ___
 ABSTAIN ___

PASSED: _____, 2020

YEAS ___ NAYS ___
 ABSTAIN ___

ATTEST: _____
 CITY CLERK

 MAYOR



FACT SHEET

AGENDA ITEM NO: 12

DATE: 03/23/2020

ORDINANCE NO: 20-13

RESOLUTION NO:

READING: SECOND

PUBLIC HEARING:NO

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE APPROVING AN AMENDED PRELIMINARY SUBDIVISION PLAT FOR TERRA ALTA LLC., FOR TERRA ALTA SUBDIVISION ON APPROXIMATELY 472.9 ACRES ON PROPERTY ZONED A-1 AND R-2 PMU AND LOCATED NORTH OF BRAUMILLER ROAD, EAST OF POLLOCK ROAD AND WEST OF BERLIN STATION ROAD.

BACKGROUND:

See attached report

REASON WHY LEGISLATION IS NEEDED:

To achieve compliance with Section 1111 Platting requirements of the zoning code.

COMMITTEE RECOMMENDATION:

Planning Commission approved this case 6-0 on March 4, 2020.

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

David Efland, Planning and Community Development Director

RECOMMENDATION:

Staff recommends approval as submitted with the documented conditions.

ATTACHMENT(S)

See attached

ORDINANCE NO. 20-13

AN ORDINANCE APPROVING AN AMENDED PRELIMINARY SUBDIVISION PLAT FOR TERRA ALTA LLC., FOR TERRA ALTA SUBDIVISION ON APPROXIMATELY 472.9 ACRES ON PROPERTY ZONED A-1 AND R-2 PMU AND LOCATED NORTH OF BRAUMILLER ROAD, EAST OF POLLOCK ROAD AND WEST OF BERLIN STATION ROAD.

WHEREAS, the Planning Commission at its meeting of March 4, 2020 recommended approval of an Amended Preliminary Subdivision Plat for Terra Alta LLC;, for Terra Alta Subdivision on approximately 472.9 acre on property zoned A-1 and R-2 PMU and located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road (PC 2020-0261).

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Amended Preliminary Subdivision Plat for Terra Alta LLC;, for Terra Alta Subdivision on approximately 472.9 acre on property zoned A-1 and R-2 PMU and located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road, is hereby confirmed, approved, and accepted with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department. In addition, County Engineer's approval would be required for roadway and storm water issues that are located within their jurisdiction.
2. All the streets shall achieve compliance with the minimum radii requirements or per the City Engineer.
3. All public utilities shall be extended to stub to the adjacent property lines and appropriate sections within the development.
4. The developer shall be responsible for any improvements and/or financial obligations of the traffic impact study per the City Engineer and/or County Engineer.
5. A \$1,000 per dwelling unit transportation contribution fee shall be collected with each building permit for needed area transportation improvements.
6. Terra Alta Drive shall be connected to its intersection with Berlin Station Road no later than the 166th building permit is requested for the construction of a dwelling unit in Sub-Area 1, 4 and 10.

7. An agreement between the developer and the City shall be executed to allow the adjacent properties to access the regional lift station per the City Engineer requirements.
8. The multi-use path shown along the north-south stream corridor shall be improved by the developer prior to starting Section 2 and shall be maintained by the homeowner's association with an easement dedicated to the City for public use. Every effort shall be made by the developer to relocate the bike path from the front of homes in Sub-Area 3 and 9.
9. The off-site stormwater improvements shall comply with the minimum City and County regulations.
10. The proposed bike paths shall be constructed during the subject section it is located in.
11. The proposed bike path along Braumiller Road shall be installed per City requirements within an easement dedicated to the City and shall be maintained by the Homeowner's Association. The bike path along Braumiller Road shall be constructed with the roadway improvements during the subject Phase it is located in.
12. Sidewalks shall be provided on both sides of all public streets. Sidewalks are not required to be extended along Pollock Road due to topographic and area considerations that make a pedestrian connection along Pollock infeasible. However, at least one sidewalk shall be extended from the western portion of the subdivision to Pollock Road to provide a connection to the river parkland. The sidewalk shall be constructed during the subject section it is located in.
13. Prior to or concurrent with the submittal of the Final Development Plan and Final Subdivision Plat for the first section (not included with this submittal), a Parkland and Open Space Improvement Plan must be submitted for review and approval detailing the improvements to be made to the parkland and privately maintained open spaces scattered throughout the neighborhood.
14. A minimum four-foot-high mound with landscaping that is a minimum 60% opaque year round and with a landscaping height of no less than 10 feet high shall be located adjacent to Berlin Station Road to buffer the residential lots per the approved development text.
15. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
16. The single-family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
17. A minimum 3-6-foot-high mound with landscaping shall be located along Braumiller Road except adjacent to lots 88-90 in Phase 2. An easement on the rear of lots 88-90 shall be recorded to require the aforementioned mounding and landscaping.

18. The maintenance of all mounds, landscaping and amenities in the parkland and open space areas shall be the responsibility of the Homeowner's Association with an easement to the City dedicating them open to the public. In addition, all evergreen trees shall be a minimum 6-foot-high at installation and the deciduous trees shall be a minimum 1.75-inch caliper.
19. Landscaping shall be installed adjacent to the proposed detention basin along Pollock Road.
20. All landscape plans shall be submitted, reviewed and approved by the Shade Tree Commission.
21. The 4.06-acre open space along the Olentangy River shall be dedicated to the City with Section 1 of the Final Subdivision Plat (former Stockdale Farms).
22. For each single-family house, a \$500 fee shall be paid for each single-family lot at time of building permit issuance to achieve compliance with Chapter 1168 Tree Preservation Regulations.
23. For each cluster home unit, \$200 fee shall be paid for each cluster home unit at time of building permit issuance to achieve compliance with Chapter 1168 Tree Preservation Regulations.
24. The street lighting plan shall be submitted, reviewed and approved by the Chief Building Official achieves compliance with all zoning requirements prior to construction drawing approval.
25. A comprehensive sign plan with all permanent and temporary signage including all public opens spaces shall be submitted reviewed and approved prior construction drawing approval.
26. The proposed phasing of the development shall be reviewed by staff to ensure roadway connectivity for Phase 1 (former Stockdale Farms portion of the development).
27. Conservation easements shall be provided over the entire length of all the existing streams on the site and shall be recorded with each final plat.
28. A second permanent access point for the east side of the site to the subdivision along Braumiller Road shall be required on or before the development of the 65th lot (during Phase 2 per submitted plans former Stockdale Farms portion of the development) or per the City Engineer for safety considerations.
29. A dense landscape buffer along the eastern portion of the proposed cluster homes adjacent to the large lot single family residences shall be submitted and approved with the Final Development Plan.
30. A Del Co water line transverses the rear of lots 4-6 which could impact the building pads of the future houses and shall limit the construction of any accessory structures (decks, etc.) on these lots.
31. A temporary emergency access point shall be located from Braumiller Road north between lots 15 and 16 to Skipton Loop. The design and access of the emergency access point shall achieve compliance with the fire department requirements. When Phase 1, 2 and 3 are completed, the aforementioned

emergency access point can be converted to a bike path or the like to be determined by the Homeowners Association.

- 32. In Sub-Area 9, the developer shall plant several 8-foot-high Norway spruce trees to form a continuous buffer along the rear of lots 323-325 to screen the adjacent single-family home in addition to the tree line that exists in this location already
- 33. In Sub-Area 3, the developer shall plant several 8 foot high Norway spruce trees to form a continuous buffer along the rear of lots 165-172 along the northwestern portion of the site to screen the adjacent single family home in addition to the tree line that exists in this location already.
- 34. The developer shall submit a revised sign plan and wayfinding plan for the entire development.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS___NAYS___
ABSTAIN ___

PASSED: _____, 2020

YEAS___ NAYS___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR



PLANNING COMMISSION / STAFF REPORT

CASE NUMBERS: 2020-0258-0261

REQUEST: Multiple Requests

PROJECT: Terra Alta

MEETING DATE: March 4, 2020

APPLICANT/OWNER

Terra Alta LLC
148 West Schrock Road
Westerville, Ohio 43081

REQUESTS

2020-0258: A request by Terra Alta LLC for a Rezoning Amendment for Terra Alta from A-1 and R-2 PMU to A-1 and R-2 PMU on approximately 472.9 acres and located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road (No zoning changes to the Stockdale Farms portion of the development).

2020-0259: A request by Terra Alta LLC for a Conditional Use Permit allowing the Placement of a Mixed-Use Overlay District (PMU) for Terra Alta on 472.9 acres zoned A-1 and R-2 PMU located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road.

2020-0260: A request by Terra Alta LLC for an Amended Preliminary Development Plan for Terra Alta on approximately 472.9 acres on property zoned A-1 and R-2 PMU and located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road.

2020-0261: A request by Terra Alta LLC for an Amended Preliminary Subdivision Plat for Terra Alta on approximately 472.9 acres on property zoned A-1 and R-2 PMU and located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road.

PROPERTY LOCATION & DESCRIPTION

The subject 472.9-acre development is located north of Braumiller Road, west of Pollock Road and east of Berlin Station Road. The zoning of the development is divided into three districts. The current Terra Alta development (northern portion of the development) is zoned A-1 PMU and the current Stockdale Farms (southern portion of the development) is zoned R-2 PMU while the 68.275 acres located between the two developments (known as the Rogers Property) is zoned A-1. The surrounding zoning is R-6 and A-1 PMU to the west and A-1 to the south in the City while the majority of the development is surrounded by FR-1 zoning district (Farm Residential) in Delaware Township.

BACKGROUND

The developer is proposing to amend the A-1 PMU zoning for Terra Alta and incorporate the R-2 PMU zoning for Stockdale Farms while rezoning the existing 68.275 acres (known as the Rogers Property) located between Terra Alta and Stockdale Farms to A-1 PMU and combine the above developments into one coordinated and master planned community to be known as Terra Alta. The development would consist of detached single-family homes, attached and or detached single family condominiums, duplexes and patio homes with several parks programmed with amenities and several open spaces. The property will be developed into 12 Sub-Areas with specific development standards for each Sub-Area. The development would have a total 870 single family units with 657 single family lots and 213 condominium, patio home and duplex units on 472.9 acres.

Terra Alta (rezoned in 2008) and Stockdale Farms (last rezoned in 2014) have a long and extensive history in the City that were approved by different developers and now a single developer purchased both subdivisions along with the "Rogers Property" land between both developments to create a master planned development under one name. The Stockdale Farms development would remain the same as approved in the 2014 Rezoning and the 2018 Amended Preliminary Development Plan and Amended Preliminary Subdivision Plat except for the addition of a pool and pool house in an park area. The Terra Alta development would be revised with a mix of housing types divided into 7 Sub-Areas and a club house with a pool. Sub-Area 1 (Section 1 Part 1 & 2) have been previously developed and platted with single family lots that have been or are currently being constructed and would remain as approved in 2014. The 68.275 acre "Rogers Property" is proposed to be developed with mostly larger single family lots nestled within the wooded and topographic environment of this site. Overall, the combination of these three developments into a single master planned community would be more user friendly for the residents, developer and staff.

STAFF ANALYSIS

- **ZONING:** As mentioned above, the zoning for Terra Alta is A-1 PMU which was approved in 2008 and the zoning for Stockdale Farms is R-2 PMU which was approved in 2014. The developer is proposing to amend the zoning for the “Rogers Property” to A-1 PMU to be consistent with the developments to the north and south. Also, the entire development would not only be combined from a land perspective but from a zoning procedural perspective with one development text, an Amended Preliminary Development Plan and Amended Preliminary Subdivision Plat for the entire development. Each subsequent section would require Final Development Plan and Final Subdivision Plat approval by the Planning Commission and City Council
- **DEVELOPMENT TEXT:** As mentioned above the development text for Terra Alta, Stockdale Farms and the “Rogers Property” would be combined into a single document for the entire development. Being proposed as a PMU Overlay, the Development Text sets forth the development standards and requirements for this development. Staff has reviewed the text and is in support of the revised text to combine the entire development into one. It should be noted that this text allows for a much higher quality development from both a site planning and architectural design standpoint than that which would be permitted in base zoning.
- **LAND USE:** The Comprehensive Plan Land Use Designation for Terra Alta is Very Low-Density Single Family (1-2 units per acre) while the Comprehensive Land Use Designation for Stockdale Farms is Low Density Single Family (2-2.25 units per acre).

The “Rogers Property” which is being rezoned to A-1 PMU has a land use designation of Very Low-Density Single Family and the proposed 72 single family lots on approximately 68.275 acres (1.05 units per acre) would be consistent with the land use plan and the approved developments to the north and south (Terra Alta and Stockdale Farms).

- **REZONING:** The “Roger Property” which is being rezoned encompasses approximately 68.275 acres and includes Sub-Area 7 and 9. The developer is proposing 72 single family lots (61 – 90-foot-wide lots in Sub-Area 9 and 11 – 70-foot-wide lots in Sub-Area 7) on the 68.275acre site that would yield a density of 1.05 units per acre. Sub-Area 9 with 61 single family lots (90-foot-wide lots) would be accessed from Stockdale Farms Drive from the north and south. Sub-Area 7 with 11 single family lots (70-foot-wide lots) would be accessed from Prato Court from Sub-Area 1 (existing Section 1 of Terra Alta). The “Rogers Property” is a heavily wooded property with a lot of topography which lends itself to the proposed larger lots.
- **ENGINEERING** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. It is especially important that the applicant work with the City and County Engineering Departments to resolve any issues related to the proposed roadway network and any traffic improvements and financial obligations. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on a technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND TRAFFIC:** The access to Terra Alta to the north and Stockdale Farms to the south were approved when the subject site received Rezoning, Preliminary Development Plan and Preliminary Subdivision Plat approval in 2008 and 2014 respectively. The Rogers property is located between the two subject developments and Sub-Area 9 would have access from both Terra Alta and Stockdale Farms while Sub-Area 7 would have access from Terra Alta.

For Terra Alta, the development is served initially by Pollock Road and, with future phases, Berlin Station Road. Two public streets extend into the “Rogers Property” while there are not any street stubs to the north because Preservation Parks owns the property to the north and does not want any stubs into their parkland property. A traffic impact study (TIS) was approved by the Engineering Department with recommendations required per the City Engineer. Consistent with the recommendations of the Comprehensive Plan, which recommends retaining the two-lane scenic nature of Pollock Road with only necessary structural improvements will be made to Pollock Road. Terra Alta Drive would extend and provide an east/west connection with Berlin Station Road. Per the City Engineer, Terra Alta Drive shall be connected to its intersection with Berlin Station Road no later than when the 166th building permit is requested for the construction of a dwelling unit in Sub-Area 1, 4 and 10.

For Stockdale Farms, the City, County and Township approved a traffic impact study that required specific improvements. The result of the traffic study determined a roundabout on Braumiller Drive as the preferred design, which would serve as the main entrance into the development, and a right-in/right-out curb cut on the eastern portion of the development would be the secondary access point into the proposed development. The previously approved full access point on the western most portion of Braumiller Road has been converted to an emergency only access point. The developer would be responsible for any improvements and/or financial obligations the subject residential development would have in the area per the City and/or County Engineer. The second access point to the subdivision along Braumiller Road would be required after 64 lots (during Phase 2 per submitted plans) or per the City Engineer for safety considerations. Also, a temporary emergency access point would be located from Braumiller Road north between lots 15 and 16 to Skipton Loop. The design and access of the emergency access point would have to achieve compliance with the fire department requirements. When Phases 1, 2 and 3 (which equals 186 single family lots) are completed, the aforementioned emergency access point can be converted to a bike path or the like to be determined by the Homeowners Association

All streets would have to achieve compliance with the minimum engineering standards. Also as part of the original approval, the applicant has agreed to a transportation contribution of \$1,000 per dwelling unit due upon building permit approval for each unit. In addition, the developer would be responsible for any roadway improvements and/or financial obligations the subject residential development would have in the area per the City and/or County Engineer.

- **SITE LAYOUT:** The Terra Alta and “Roger’s Property“ (northern portion development) is a heavily wooded site with a rolling topography and several drainage courses, presents several challenges in maximizing tree preservation and minimizing alterations to the topography, both requirements of the Zoning Code and the carefully crafted PMU zoning text. In the opinion of Staff, the Applicant has done a very good job planning this site given these constraints. Development in the existing open farmland has been maximized while limiting, to the extent possible, development in wooded areas, particularly those areas with steep slopes.

Where development does occur in the wooded areas, large tree preservation easements will be placed over single-family lots and the condominium areas are designed to allow the clustering of homes to maximize tree preservation. This configuration also allows the proposed lots to maximize view sheds and treed lots typically considered premium lot types. Additionally, as required by the Zoning Code and the Ohio Environmental Protection Agency (OEPA) General Permit for the Olentangy Watershed, several drainage courses will be protected by a Stream Protection Zone (conservation easement). A preliminary analysis by City Staff indicates that the proposed layout is likely to accommodate the State imposed requirements which were developed after City approval of the zoning and preliminary plan in this case.

For the Stockdale Farms portion of the development (southern portion of the development), a stream bisects the site in a north/south orientation with two smaller branches that extend to the east and the proposed plan is sensitive to the existing streams located on the property and minimizes the grading to preserve the natural topography which is unique to the site. Several lots back-up to the aforementioned streams to maximize the rear yard views. In addition, a 150-foot-wide overhead transmission easement bisects the site in an east/west orientation that creates a physical barrier. Also, along the western portion of the development there are several lots that are located on a bluff and the rear of the houses would have a nice view of the Olentangy River. The remainder of the subdivision is a typical design with doubled load streets primarily on open farm ground today. Several open spaces, a neighborhood park, pocket parks, a tot lot and a pool house with pool are clustered where the stream bed and transmission line intersects in the “center” of the development to achieve compliance with open space and park requirements. In addition, the transmission easement has been creatively worked in the design yielding mostly linear open space and stream corridor preserves, reducing cost but providing a superior overall layout. There is no change to the approved tree preservation/removal requirements for Stockdale Farms and Terra Alta. The Rogers Property would follow the same standards as proposed.

- **SUB-AREAS:** The development is divided into 12 Sub-Areas which includes development standards such as permitted uses, density, minimum lot area, setbacks, minimum square footage and maximum building height.
 - **Sub-Area 1** – This Sub-Area consists of Section 1 Part 1 Phase A and B, Section 1 Part 2, Reserve A, B, C and E of the existing Terra Alta Subdivision all of which have been previously developed and

platted and which single family homes have been or are currently being constructed. The development standards for this Sub-Area would be governed by the approved Final Development Plans and Final Subdivision Plats for this area. There is no change proposed to these from the current zoning text. The current development standards for Sub-Area 1 are:

- Permitted Uses – Single family homes
- Maximum Density – 73 lots
- Minimum lot area – 9,100 square feet
- Minimum Lot Width at Building Line – 70 feet
- Front Yard Setback/Building line – 30 feet
- Side Yard Setback –
 - 70-foot lots
 - 7.5 feet
 - 80 -foot lots
 - 10 feet
- Rear Yard Setback – 30 feet
- Minimum Square Footage
 - 70-foot lots
 - One Story - 1,600 square feet
 - Two story – 1,800 square feet
 - 80-foot lots
 - One Story - 1,800 square feet
 - Two Story – 2,000 square feet

Maximum Building Height – 35 feet

○ **Sub-Area 2, 3 and 6**

- Permitted Uses – Single family homes
- Maximum Density – 298 lots
- Minimum lot area – 9,100 square feet
- Minimum Lot Width at Building Line – 70 feet
- Front Yard Setback/Building line
 - Sub-Area 2
 - 25 feet – maximum house depth is 45 feet
 - Sub-Area 3 and 6
 - 30 feet
- Side Yard Setback – 10 feet
- Rear Yard Setback – 30 feet
- Minimum Square Footage
 - One Story – 1,800 square feet
 - Two=Story – 2,000 square feet
- Maximum Building Height – 35 feet

○ **Sub-Area 4**

- Permitted Uses – Single family homes
- Maximum Density – 92 lots
- Minimum lot area – 7,540 square feet

- Minimum Lot Width at Building Line – 58 feet
- Front Yard Setback/Building line – 30 feet
- Side Yard Setback – 6 feet
- Rear Yard Setback – 30 feet
- Minimum Square Footage
 - 1,400 square feet – lots 103, 106, 111, 149, 151, 153, 159, 162, 165
 - 1,500 square feet – remainder of the lots
- Maximum Building Height – 35 feet
- **Sub-Area 5**
 - Permitted Uses – Single family homes
 - Maximum Density – 62 lots
 - Minimum lot area – 8,060 square feet
 - Minimum Lot Width at Building Line – 62 feet
 - Front Yard Setback/Building line – 25 feet – maximum house depth is 45 feet
 - Side Yard Setback – 6 feet
 - Rear Yard Setback – 30 feet
 - Minimum Square Footage
 - One Story – 1,700 square feet
 - Two=Story – 2,000 square feet
 - Maximum Building Height – 35 feet
- **Sub-Area 7 and 8**
 - Permitted Uses – Single family homes
 - Maximum Density – 71 lots
 - Lot 304 shall be eliminated per the City Engineer and Fire Department
 - Minimum lot area – 10,400 square feet
 - Minimum Lot Width at Building Line – 80 feet
 - Front Yard Setback/Building line – 30 feet
 - Side Yard Setback – 10 feet
 - Rear Yard Setback – 30 feet
 - Minimum Square Footage
 - One Story – 2,000 square feet
 - Two=Story – 2,300 square feet
 - Maximum Building Height – 35 feet
- **Sub-Area 9**
 - Permitted Uses – Single family homes
 - Maximum Density – 61 lots
 - Minimum lot area – 12,600 square feet
 - Minimum Lot Width at Building Line – 90 feet
 - Front Yard Setback/Building line – 30 feet
 - Side Yard Setback – 10 feet
 - Rear Yard Setback – 35 feet
 - Minimum Square Footage
 - One Story – 2,000 square feet

- Two=Story – 2,300 square feet
 - Maximum Building Height – 35 feet
 - **Sub-Area 10, 11 and 12**
 - Permitted Uses – Condominiums, single family cluster homes (patio homes) and duplexes
 - Maximum Density – 213 dwelling units
 - Minimum Square Footage – 1,200 square feet per unit
 - Private streets constructed to public standards are permitted
- **RESIDENTIAL DESIGN STANDARDS:** Being a PMU Overlay, specific Development Text sets forth the development standards and requirements for this development. It should be noted that this text allows for a much higher quality development from both a site planning and architectural design standpoint than that which would be permitted by either base or PRD zoning. Not only would the houses, condominiums, patio homes and duplexes have to meet the minimum standards of the Residential Development Design Criteria and Performance Standards in Chapter 1171 but also the more restrictive residential architectural standards in the approved PMU (Planning Mixed Use Overlay District) development text which was modeled after the text approved for the Terra Alta development. Some of the upgrades for the single-family houses include: 1.) At least 35% (stone or brick) of the front elevation of all homes shall consist of an approved natural material as defined in the text; 2.) Fiber cement siding, EIFS, stucco or similar products are prohibited as defined as a natural material but can be used as a non-natural building material; 3.) Dimensional shingles on all homes; 4.) Upgraded garage door standards for doors that face a public street. 5.) No blank walls.

Some of the upgrades for condominiums, patio homes and duplexes in the development text include: 1.) At least 35% (stone or brick) of the front elevation of all homes shall consist of an approved natural material as defined in the text; 2.) Fiber cement siding, EIFS, stucco or similar products are prohibited as defined as a natural material but can be used as a non-natural building material; 3.) Dimensional shingles on all units; 4.) Higher end architectural grade vinyl siding.,
- **PARKLAND AND OPEN SPACE:** The entire development has approximately 179.28 acres of open space (37.8%). The Terra Alta and Rogers Property (north section of the development) have approximately 133 acres of open space in 18 reserve areas (A-R). Reserve A (approximately 24.5 acres) is located just east of the river and would be dedicated to the City for a park. Reserve B (approximately 8.9 acres), Reserve C (approximately 8.0 acres), Reserve D (approximately 1.2 acres) and Reserve E (approximately 6.8 acres) are located in Sub-Area 1 and is open space along Pollock Road and north and south of Sub-Area 1 and primarily serves as detention basins and buffering. In Sub-Area 2 there are 6 reserve areas with two active park areas with amenities. Reserve F (approximately 1.2 acres) located just north of Terra Alta drive located in Sub-Area 2 and would be the location of a club house, pool and parking lot for the entire development while Reserve I (approximately 4.2 acres) is located south of Terra Alta Drive and is neighborhood park area with programmed amenities. The amenities shall be reviewed and approved by staff prior to approval of the development plan and plat for Sub-Area 2. The remainder of the reserves in Sub-Area 2 (Reserve G approximately 10.4 acres, Reserve H approximately 0.4 acres – Reserve J approximately 5.4 acres, Reserve M approximately 20.4 acres) are dedicated opens spaces with detention basins and buffering. In Sub-Area 5 is Reserve K (approximately 6.8 acres) which is located just north of Terra Alta Drive at the entrance of the development from Berlin Station Road which is open space. In Sub-Area 9 are three reserve areas that are opens spaces with a lot of trees (Reserve N approximately 3.9acres – Reserve O approximately 22 acres and Reserve P approximately 5.4 acres). In Sub-Area 7 there is Reserve Q (approximately 2.5 acres) and Reserve R (approximately 0.2 acres) which serve as open space and buffering from Pollock Road and Reserve S (approximately 0.4 acres) which is located on the river and will be dedicated to the City for parkland.

The Stockdale Farms development has 45.98 acres of open space and parkland in 18 reserve areas. Of the open space and parkland, 31.05 acres or approximately 63.33% is considered open space and 14.93 acres or approximately 33.67% is considered parkland. Reserve “T” (1.30 acres), Reserve “U” (1.21 acres) Reserve “V” (0.37 acres) and Reserve “W” (0.29 acres) are opens spaces located behind and between and on lots on the eastern portion of the development. Reserve “X” (5.28 acres) is open located along Braumiller Road east of the main entrance and would be buffering the houses along the roadway. Reserve “Y” (12.56 acres) is open

space used as buffering located between Pollock Road and the rear of the adjacent lots on the western portion of the site. Reserve "Z" (1.30 acres) is open space while Reserve "AA" (1.85 acres) is a tot lot that should be programmed located on the western portion of the development. Reserve "BB" (0.24 acres) is located on the northern portion of the site along a creek bed that stubs into the Rogers Property. Reserve "CC" (1.92 acres) is the located of the pool and pool house just east of the Stockdale Farms Drive while Reserve "DD" (2.25 acres) is open space located just west of the pool area. Reserve "EE" (3.80 acres) and Reserve "FF" (4.84 acres) are parking areas located west of Stockdale Farms Drive. Reserve "JJ" (2.52 acres) is a park area located just east of Stockdale Farms Drive. All the park areas shall be programmed with amenities during the Final Development Plan process. Amenities for these parks should include open playfield (soccer, baseball, football, etc.), play equipment, half-court basketball, benches, etc. Reserve "HH" is the open space along the west side of Pollock Road (approximately 4.06 acres) and is being dedicated to the City for a Park within the floodplain similar to the Terra Alta development and provide linear trail opportunities Reserves "II" (1.26 acres), "JJ" (0.20 acres) and "KK" (0.73 acres) are open spaces located in Sub-Area. The parks shall all be owned and maintained by the Homeowners Association but open to the public. Furthermore, open space conservation easements are provided along each of the stream beds within the development. Overall, the plan has been and continues to incorporate linear, connected open spaces with area for open play and active parks with play equipment and other amenities. There is no change to Terra Alta or Stockdale Farms with the exception of adding a clubhouse and pool.

- **LANDSCAPING AND SCREENING:** The Terra Alta and Rogers Property development would require a comprehensive landscaping plat that would include street trees, perimeter landscaping and park and open space landscaping for each Final Development Plan and Final Subdivision Plat. There are some critical areas where perimeter buffering would be required per the development text. In Sub-Area 2 and 5 along Berlin Station Road east and north of the Terra Alta Road intersection, an earth mound no less than 4 feet in height as measured from proposed average finish grade elevations of the adjacent dwelling with a mix of deciduous and coniferous plantings, providing, at the time of installation, a minimum 60% year round opacity at a combined mound and landscaping height of no less than 10 feet at planting shall be provided. Such mounding shall not interfere with any required sight distance. Also, in Sub-Area 9, several 8-foot-high Norway spruce trees to form a continuous buffer along the rear of lots 323-325 to screen the adjacent single-family home in addition to the tree line that exists in this location already. The said spruce trees shall be located within an easement and maintained by the homeowner's association. Furthermore, permanent conservation easements shall be placed around the tree stands and stream corridors in this area.

For Stockdale Farms, a comprehensive landscaping plan that includes street trees, perimeter landscaping and park and open space landscaping was submitted and approved. The applicant is proposing a 3 to 6-foot-high mound with landscaping adjacent to Braumiller Road to screen the rear yards of the houses abutting the roadway except for the rear of lots 88-90. An easement on lots 88-90 shall allow for the aforementioned mounding and landscaping and the lots are oversized as a result. Buffering along Pollock Road is not necessary because of the significant grade change (approximately 10 to 30 feet) between Pollock Road and the rear of the lots adjacent to Pollock Road. Except for adjacent to the proposed detention basins along Pollack Road. In Sub-Area 3, the developer is proposing several 8-foot-high Norway spruce trees to form a continuous buffer along the rear of lots 165-168 along the northwestern portion of the site to screen the adjacent single family home in addition to the tree line that exists in this location already. Significant landscaping features along with signage are proposed at the main entrance north of the roundabout into the subdivision along Braumiller Road and the easternmost right-in/right out curb cut on Braumiller Road (secondary access curb cut). Also, staff recommends appropriate buffering along the eastern portion of the proposed cluster homes adjacent to the large lot single family residences. Furthermore, permanent conservation easements shall be placed around the tree stands and stream corridors as indicated on the plans. The evergreen trees shall be a minimum 6-foot-high at installation (except where specified larger) and the deciduous trees shall be a minimum 1.75-inch caliper. The maintenance of the mound and associated landscaping shall be the responsibility of the Homeowners Association. It is imperative that the Applicant coordinate the landscaping plan and street tree plan with the engineering site development plan so that the landscaping does not impact any utility lines or impede visibility at intersections, or the visibility of any traffic control signs. The Shade Tree Commission would have to review and approve the aforementioned plans. Also, the developer shall submit a revised sign plan and wayfinding plan for the entire development

- **BIKE PATHS AND PEDESTRIAN ROUTES:** The applicant has provided a bike path/pedestrian plan from Braumiller Road north thru to the development to stub into the Preservation Park property located just north of the development which is an important alignment in the adopted Bicycle and Pedestrian Master Plan 2027. The majority of the bike path is located in the creek beds, open space and/or reserve areas of the stream corridors except for two locations in Sub-Area 2 and 9 which is located in the public right-of-way on front of approximately 18 single family homes. Staff recommends the developer make every effort to relocate the bike path from the front of the single-family houses into a reserve area. Also, a bike path is required along the north side of Braumiller Road to the roundabout to coincide with the required roadway improvements. All bike paths must be in a 10 foot wide public access easement that is owned and maintained by the Homeowner's Association with an easement dedicated to the City for public use. Sidewalks will be provided on both sides of all public streets in the subdivision. Sidewalks are not required to be extended along Pollock Road due to topographic and area considerations. However, a sidewalk shall be extended from the western portion of the subdivision at Terra Alta Drive and along the southern portion of the site to provide a connection to the river parkland.
- **EASEMENTS:** As noted above conservation easements have been provided over the entire length of all the existing streams on the site and should be recorded with each final plat.
- **TREE PRESERVATION:** The development is proposed in a manner that maximizes tree preservation on the site while allowing for reasonable development. Consistent with the methodology acceptable in other recent approvals this has already been approved within the approved zoning text and remains in effect. The tree replacement plan requires the following fees at building permit approval:
 - At the time of permit issuance, a \$500 fee shall be paid for each single-family lot in Sub-Area 1-9 which would total 657 single family lots (657 x \$500 total \$328,500).
 - At the time of permit issuance, a \$200 fee shall be paid for each condominium, patio homes and duplex unit in Sub-Areas 10-12 for a total of 213 units (213 x \$200 total \$42,600).

Staff recommends that utilities should not be located within tree preservation easements and ensure the subject lots impacted could yield a maximum size house with an acceptable deck. House depths in Sub-Area 2 and 5 would be restricted to a maximum 45 feet

- **UTILITIES:** The site would be serviced by City sanitary sewer and water that would have to be extended by the developer to stub to the adjacent properties. The developer would be responsible for reimbursement of any private sanitary sewer capacity agreements which may be levied on the subject property. In addition, a Del Co water line transverses the rear of lots 4-6 (Stockdale Farms) which could impact the building pads of the future houses and will limit the construction of any accessory structures (decks, etc.) on these lots. The City engineers have previously reviewed the utility layout and are generally supportive of the layout as proposed but reserves the right to review such infrastructure in detail as preliminary and final plans and plats are submitted for future phases.
- **LIGHTING PLAN:** A lighting plan would need to be submitted, reviewed and approved by the City that would achieve compliance with the zoning code during the Final Subdivision Plat process for each section.
- **FIRE DEPARTMENT:** The proposed development would need to be capable of supporting and allowing the full maneuverability of the fire department ladder truck along with complying with all other fire department requirements.
- **PHASING:** Because Section 1 and 2 of Terra Alta has been recorded the remainder of the development shall be developed in sections from a consistency perspective. Also, the sections shall be constructed to be consistent with street extension requirements, street improvement requirements, fire department requirements, etc. that are documented in the development text and staff report.

STAFF RECOMMENDATION (2020-0258 – REZONING)

Staff recommends approval of a request by Terra Alta LLC for a Rezoning Amendment for Terra Alta from A-1 and R-2 PMU to A-1 and R-2 PMU on approximately 472.9 acres and located north of Braumiller Road, west of Pollock Road and east of Berlin Station Road (No zoning changes to the Stockdale Farms portion of the development), with the following conditions:

1. The Development Text, as currently proposed, is generally acceptable and any revisions shall require conformance to all provisions of the Development Text and the subsequent approved development plans and plats.
2. Any change of use or major modification of the plan shall require conformance to all provisions of the Development Text.
3. A \$1,000 per dwelling unit transportation contribution fee shall be collected with each building permit for needed area transportation improvements.

STAFF RECOMMENDATION (2020-0259 –CONDITIONAL USE PERMIT)

Staff recommends approval of a request by Terra Alta LLC for a Conditional Use Permit allowing the Placement of a Mixed-Use Overlay District (PMU) for Terra Alta on 472.9 acres zoned A-1 and R-2 PMU located north of Braumiller Road, west of Pollock Road and east of Berlin Station Road.

STAFF RECOMMENDATION – (2020-0260 AMNENED PRELIMINARY DEVELOPMENT PLAN)

Staff recommends approval of request by Terra Alta LLC for an Amended Preliminary Development Plan for Terra Alta on approximately 472.9 acres on property zoned A-1 and R-2 PMU and located north of Braumiller Road, west of Pollock Road and east of Berlin Station Road, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department. In addition, County Engineer's approval would be required for roadway and storm water issues that are located within their jurisdiction.
2. All the streets shall achieve compliance with the minimum radii requirements or per the City Engineer.
3. All public utilities shall be extended to stub to the adjacent property lines and appropriate sections within the development.
4. The developer shall be responsible for any improvements and/or financial obligations of the traffic impact study per the City Engineer and/or County Engineer.
5. A \$1,000 per dwelling unit transportation contribution fee shall be collected with each building permit for needed area transportation improvements.
6. Terra Alta Drive shall be connected to its intersection with Berlin Station Road no later than the 166th building permit is requested for the construction of a dwelling unit in Sub-Area 1, 4 and 10.
7. An agreement between the developer and the City shall be executed to allow the adjacent properties to access the regional lift station per the City Engineer requirements.
8. The multi-use path shown along the north-south stream corridor shall be improved by the developer prior to starting Section 2 and shall be maintained by the homeowner's association with an easement dedicated to the City for public use. Every effort shall be made by the developer to relocate the bike path from the front of homes in Sub-Area 3 and 9.
9. The off-site stormwater improvements shall comply with the minimum City and County regulations.
10. The proposed bike paths shall be constructed during the subject section it is located in.
11. The proposed bike path along Braumiller Road shall be installed per City requirements within an easement dedicated to the City and shall be maintained by the Homeowner's Association. The bike

path along Braumiller Road shall be constructed with the roadway improvements during the subject Phase it is located in.

12. Sidewalks shall be provided on both sides of all public streets. Sidewalks are not required to be extended along Pollock Road due to topographic and area considerations that make a pedestrian connection along Pollock infeasible. However, at least one sidewalk shall be extended from the western portion of the subdivision to Pollock Road to provide a connection to the river parkland. The sidewalk shall be constructed during the subject section it is located in.
13. Prior to or concurrent with the submittal of the Final Development Plan and Final Subdivision Plat for the first section (not included with this submittal), a Parkland and Open Space Improvement Plan must be submitted for review and approval detailing the improvements to be made to the parkland and privately maintained open spaces scattered throughout the neighborhood.
14. A minimum four-foot-high mound with landscaping that is a minimum 60% opaque year round and with a landscaping height of no less than 10 feet high shall be located adjacent to Berlin Station Road to buffer the residential lots per the approved development text.
15. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
16. The single-family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
17. A minimum 3-6-foot-high mound with landscaping shall be located along Braumiller Road except adjacent to lots 88-90 in Phase 2. An easement on the rear of lots 88-90 shall be recorded to require the aforementioned mounding and landscaping.
18. The maintenance of all mounds, landscaping and amenities in the parkland and open space areas shall be the responsibility of the Homeowner's Association with an easement to the City dedicating them open to the public. In addition, all evergreen trees shall be a minimum 6-foot-high at installation and the deciduous trees shall be a minimum 1.75-inch caliper.
19. Landscaping shall be installed adjacent to the proposed detention basin along Pollock Road.
20. All landscape plans shall be submitted, reviewed and approved by the Shade Tree Commission.
21. The 4.06-acre open space along the Olentangy River shall be dedicated to the City with Section 1 of the Final Subdivision Plat (former Stockdale Farms).
22. For each single-family house, a \$500 fee shall be paid for each single-family lot at time of building permit issuance to achieve compliance with Chapter 1168 Tree Preservation Regulations.
23. For each cluster home unit, \$200 fee shall be paid for each cluster home unit at time of building permit issuance to achieve compliance with Chapter 1168 Tree Preservation Regulations.
24. The street lighting plan shall be submitted, reviewed and approved by the Chief Building Official achieves compliance with all zoning requirements prior to construction drawing approval.
25. A comprehensive sign plan with all permanent and temporary signage including all public opens spaces shall be submitted reviewed and approved prior construction drawing approval.
26. The proposed phasing of the development shall be reviewed by staff to ensure roadway connectivity for Phase 1 (former Stockdale Farms portion of the development).
27. Conservation easements shall be provided over the entire length of all the existing streams on the site and shall be recorded with each final plat.
28. A second permanent access point for the east side of the site to the subdivision along Braumiller Road shall be required on or before the development of the 65th lot (during Phase 2 per submitted plans former Stockdale Farms portion of the development) or per the City Engineer for safety considerations.
29. A dense landscape buffer along the eastern portion of the proposed cluster homes adjacent to the large lot single family residences shall be submitted and approved with the Final Development Plan.
30. A Del Co water line transverses the rear of lots 4-6 which could impact the building pads of the future houses and shall limit the construction of any accessory structures (decks, etc.) on these lots.
31. A temporary emergency access point shall be located from Braumiller Road north between lots 15 and 16 to Skipton Loop. The design and access of the emergency access point shall achieve

compliance with the fire department requirements. When Phase 1, 2 and 3 are completed, the aforementioned emergency access point can be converted to a bike path or the like to be determined by the Homeowners Association.

32. In Sub-Area 9, the developer shall plant several 8-foot-high Norway spruce trees to form a continuous buffer along the rear of lots 323-325 to screen the adjacent single-family home in addition to the tree line that exists in this location already
33. In Sub-Area 3, the developer shall plant several 8 foot high Norway spruce trees to form a continuous buffer along the rear of lots 165-172 along the northwestern portion of the site to screen the adjacent single family home in addition to the tree line that exists in this location already.
34. The developer shall submit a revised sign plan and wayfinding plan for the entire development.

STAFF RECOMMENDATION – (2020-0261 AMENDED PRELIMINARY SUBDIVISION PLAT)

Staff recommends approval of a request by Terra Alta LLC for an Amended Preliminary Subdivision Plat for Terra Alta on approximately 472.9 acres on property zoned A-1 and R-2 PMU and located north of Braumiller Road, west of Pollock Road and east of Berlin Station Road, with the following conditions:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department. In addition, County Engineer's approval would be required for roadway and storm water issues that are located within their jurisdiction.
2. All the streets shall achieve compliance with the minimum radii requirements or per the City Engineer.
3. All public utilities shall be extended to stub to the adjacent property lines and appropriate sections within the development.
4. The developer shall be responsible for any improvements and/or financial obligations of the traffic impact study per the City Engineer and/or County Engineer.
5. A \$1,000 per dwelling unit transportation contribution fee shall be collected with each building permit for needed area transportation improvements.
6. Terra Alta Drive shall be connected to its intersection with Berlin Station Road no later than the 166th building permit is requested for the construction of a dwelling unit in Sub-Area 1, 4 and 10.
7. An agreement between the developer and the City shall be executed to allow the adjacent properties to access the regional lift station per the City Engineer requirements.
8. The multi-use path shown along the north-south stream corridor shall be improved by the developer prior to starting Section 2 and shall be maintained by the homeowner's association with an easement dedicated to the City for public use. Every effort shall be made by the developer to relocate the bike path from the front of homes in Sub-Area 3 and 9.
9. The off-site stormwater improvements shall comply with the minimum City and County regulations.
10. The proposed bike paths shall be constructed during the subject section it is located in.
11. The proposed bike path along Braumiller Road shall be installed per City requirements within an easement dedicated to the City and shall be maintained by the Homeowner's Association. The bike path along Braumiller Road shall be constructed with the roadway improvements during the subject Phase it is located in.
12. Sidewalks shall be provided on both sides of all public streets. Sidewalks are not required to be extended along Pollock Road due to topographic and area considerations that make a pedestrian connection along Pollock infeasible. However, at least one sidewalk shall be extended from the western portion of the subdivision to Pollock Road to provide a connection to the river parkland. The sidewalk shall be constructed during the subject section it is located in.

13. Prior to or concurrent with the submittal of the Final Development Plan and Final Subdivision Plat for the first section (not included with this submittal), a Parkland and Open Space Improvement Plan must be submitted for review and approval detailing the improvements to be made to the parkland and privately maintained open spaces scattered throughout the neighborhood.
14. A minimum four-foot-high mound with landscaping that is a minimum 60% opaque year round and with a landscaping height of no less than 10 feet high shall be located adjacent to Berlin Station Road to buffer the residential lots per the approved development text.
15. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
16. The single-family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
17. A minimum 3-6-foot-high mound with landscaping shall be located along Braumiller Road except adjacent to lots 88-90 in Phase 2. An easement on the rear of lots 88-90 shall be recorded to require the aforementioned mounding and landscaping.
18. The maintenance of all mounds, landscaping and amenities in the parkland and open space areas shall be the responsibility of the Homeowner's Association with an easement to the City dedicating them open to the public. In addition, all evergreen trees shall be a minimum 6-foot-high at installation and the deciduous trees shall be a minimum 1.75-inch caliper.
19. Landscaping shall be installed adjacent to the proposed detention basin along Pollock Road.
20. All landscape plans shall be submitted, reviewed and approved by the Shade Tree Commission.
21. The 4.06-acre open space along the Olentangy River shall be dedicated to the City with Section 1 of the Final Subdivision Plat (former Stockdale Farms).
22. For each single-family house, a \$500 fee shall be paid for each single-family lot at time of building permit issuance to achieve compliance with Chapter 1168 Tree Preservation Regulations.
23. For each cluster home unit, \$200 fee shall be paid for each cluster home unit at time of building permit issuance to achieve compliance with Chapter 1168 Tree Preservation Regulations.
24. The street lighting plan shall be submitted, reviewed and approved by the Chief Building Official achieves compliance with all zoning requirements prior to construction drawing approval.
25. A comprehensive sign plan with all permanent and temporary signage including all public opens spaces shall be submitted reviewed and approved prior construction drawing approval.
26. The proposed phasing of the development shall be reviewed by staff to ensure roadway connectivity for Phase 1 (former Stockdale Farms portion of the development).
27. Conservation easements shall be provided over the entire length of all the existing streams on the site and shall be recorded with each final plat.
28. A second permanent access point for the east side of the site to the subdivision along Braumiller Road shall be required on or before the development of the 65th lot (during Phase 2 per the submitted plans former Stockdale Farms portion of the development) or per the City Engineer for safety considerations.
29. A dense landscape buffer along the eastern portion of the proposed cluster homes adjacent to the large lot single family residences shall be submitted and approved with the Final Development Plan.
30. A Del Co water line transverses the rear of lots 4-6 which could impact the building pads of the future houses and shall limit the construction of any accessory structures (decks, etc.) on these lots.
31. A temporary emergency access point shall be located from Braumiller Road north between lots 15 and 16 to Skipton Loop. The design and access of the emergency access point shall achieve compliance with the fire department requirements. When Phase 1, 2 and 3 are completed, the aforementioned emergency access point can be converted to a bike path or the like to be determined by the Homeowners Association.
32. In Sub-Area 9, the developer shall plant several 8-foot-high Norway spruce trees to form a continuous buffer along the rear of lots 323-325 to screen the adjacent single-family home in addition to the tree line that exists in this location already
33. In Sub-Area 3, the developer shall plant several 8 foot high Norway spruce trees to form a continuous

**TERRA ALTA
PLANNED MIXED USE DEVELOPMENT TEXT
DELAWARE, OHIO**

1. DESCRIPTION OF DEVELOPMENT & RELATIONSHIP TO THE CITY OF DELAWARE COMPREHENSIVE PLAN

Developer is amending the PMU zonings for the developments known as “Terra Alta” zoned in 2008 and “Stockdale Farms” zoned in 2014 and is rezoning to a Planned Mixed Use (PMU) Overlay District within the existing Agricultural A-1 zoning district the property known as “Rogers” located between Terra Alta and Stockdale, in order that all three properties (collectively, the “Property”) become part of one coordinated and comprehensive Planned Community known as “Terra Alta”, consisting of detached single-family homes, attached/detached single-family condominiums, duplexes and cluster single family (patio homes), together with related amenities. For all purposes hereof, “duplexes” shall mean single family homes on platted lots containing two connected dwelling units with a zero lot line/common wall, and “cluster single family (patio homes)” shall mean homes located on subdivided lots generally having a first floor master suite, 1 ½ stories, catering to purchasers desiring a more carefree lifestyle with certain maintenance provided, and governed by a homeowner’s association. The Property will be developed in a series of Sub-Areas, as defined and provided in Section 3 and elsewhere herein, reserves and open spaces.

All former references in the Stockdale Farms rezoning to “Stockdale Farms” shall be re-designated as a part of Terra Alta such that the entire Property shall be known as “Terra Alta”. The Developer believes that these amendments will provide for the highest and best use of the Property, thereby permitting quality housing stock to be constructed within the City of Delaware. Additionally, as further discussed below, the Developer believes that such amendments are in accordance with the City of Delaware Comprehensive Plan.

The purpose of this Development Text is to set forth all supplemental information required by the Zoning Code and set forth in textual form certain development standards that will apply to the Property. Accompanying this Development Text is an Amended Preliminary Development Plan for the Property (the “Preliminary Development Plan”). All terms and conditions of the Preliminary Development Plan are incorporated in this Development Text by this reference.

The Property consists of approximately 472.9 acres located north of Braumiller Road between Pollock Road and Berlin Station Road, being located in the Highlands Subarea of the City’s Land Use Element incorporated in the Comprehensive Plan. The Property has been designated for development as residential housing in the City’s Future Land Use Map and has been earmarked as one of the City’s Priority Growth Areas (PGAs) for development. The PGAs establish the City’s geographic preference for development and drive the City’s infrastructure investment program. See, GM19 and GM19.3 of the Growth Management

Element of the City's Comprehensive Plan. The proposed amendments are in keeping with the goals and policies established by the Comprehensive Plan for the following reasons:

- a. The Property will be developed as residential housing as contemplated by the Land Use Element incorporated in the Comprehensive Plan.
- b. The use of the Planned Mixed Use (PMU) Overlay District is consistent with the City's Objectives and Strategies in maintaining a reasonable land use balance to reflect the vision of the Comprehensive Plan. As stated in LU6.7 of the Land Use Element, planned district zoning "should be used as a flexible tool to meet the City's gross density requirements while providing a creative development plan with a mix of units, densities, and housing values within individual developments."
- c. The Comprehensive Plan anticipates supporting residential development in the Highlands Subarea and encourages mixing densities and unit types, as well as small open spaces to create interest and a sense of place within neighborhoods. See, LU22.2 of the Land Use Element.
- d. Being designated as a PGA, development of the Property is consistent with the City's Capital Improvement Plan as required by the Comprehensive Plan's Growth Management Element at GM20 and as the City, in past, has already made a huge investment in the Southeast Highlands trunk sewer that would serve this property.
- e. Residential development in the Highlands Subarea will be served by the Southeast Highlands Sanitary Trunk. See, LU22.1 of the Land Use Element.
- f. The policies set forth in the Comprehensive Plan concerning expansion to the City's wastewater treatment system and storm water management system will be implemented in connection with development of the Property.
- g. The policies set forth in the Comprehensive Plan concerning parks and recreational facilities for Delaware residents will be implemented with development of the Property.
- h. The residential development and parkland dedication consisting of approximately 28.96 acres abutting the Olentangy River is consistent with the Rivers & Streams section of the Environmental Resources Element of the Comprehensive Plan at ER9.

In summary, by the amendments to the current PMU zonings for Terra Alta and Stockdale and amendment to the Zoning Ordinance for Rogers in connection with the development of all of the Property as a Planned Mixed Use (PMU) development, the goals and objectives of the Comprehensive Plan will be met. This development will provide the City of Delaware an opportunity to obtain quality housing stock in one of the City's Priority Growth Areas and will preserve in a park like setting approximately 28.96 acres abutting the Olentangy River together with other open space and reserves throughout the Property which will be owned and maintained by the Homeowners Association and open to the public less the pool and clubhouses which may be private.

2. GENERAL DEVELOPMENT STANDARDS

- a. **Purpose and Intent.** It is the intent of this development to provide a mixed residential use development with compatible and common architectural design, streetscape, signage, lighting, and pedestrian amenities throughout the entire development, together with certain amenities such as walking/biking trails, pools and clubhouses. Architectural and site design that is not consistent with this purpose and intent will not be accepted. This Development Text represents the zoning requirements for the entirety of the Property unless otherwise noted.
- b. **Conformance with Codified Ordinances and City Policy.** Unless noted otherwise within this Development Text or the Preliminary Development Plan, all development will be constructed and provided in conformance with the then current Codified Ordinances and City Policy in effect at the time of application.
- c. **Limitations.** Nothing in this Development Text shall prohibit additional restrictions or requirements from being placed on the approval of any Final Development Plan consistent with this Development Text or the Preliminary Development Plan.
- d. **Major Modifications.** Once a Final Development Plan for a Sub-Area has been approved by City Council, any subsequent major modification to that plan shall only be permitted by resubmission and approval of a revised Final Development Plan for such Sub-Area through the procedures set forth in the Zoning Code. Major modification for the purposes of this Development Text shall mean any modification of the approved Final Development Plan for a Sub-Area, as determined by the Director of Planning & Community Development, that results in:
 - Any major increase in the number of or change in the type and/or mix of dwelling units or any major increase in the non-residential building area.
 - Major change in the approved location of land uses or land use sub-areas.
 - Substantial alteration of the basic geometry, including right-of-way width, and/or operation characteristics of any element of the approved public and private street pattern, access points, parking facilities, service access, trash storage facilities, and system of pedestrian paths that results in a change in operating characteristics or character.
- e. **Minor Modifications.** Once a Final Development Plan for a Sub-Area has been approved by City Council, any subsequent minor modification to that plan shall only be permitted by resubmission and approval by the Director of Planning and Community Development of a revised Final Development Plan for such Sub-Area. Minor modification for the purposes of this Development Text shall mean any modification of the approved Final Development Plan for a Sub-Area, as determined by the Director of Planning & Community Development, that results in:
 - Any modification that is not considered a major modification by this Development Text or by determination of the Director of Planning & Community Development.

- Any minor increase in the number of or change in the type and/or mix of dwelling units less than 5% in the total number of dwelling units.
 - Minor change in the approved location of land uses or land use sub-areas.
 - Minor alteration of the basic geometry, including right-of-way width, and/or operation characteristics of any element of the approved public and private street pattern, access points, parking facilities, service access, trash storage facilities, and system of pedestrian paths that results in a change in operating characteristics or character.
 - Minor structural alterations that do not alter the overall design intent of the building.
- f. **Tree Removal and Replacement.** The Property is a unique development opportunity for the City of Delaware and the Developer. While certain portions of the Property are heavily treed, the Developer working in concert with the City desires to create a high-quality subdivision taking advantage of the topography of the site while saving as many trees as possible. At the preliminary development plan stage, for planning purposes only, the Developer for purposes of tree removal has assumed clear cutting of Sub-Areas 10,11 and 12 to be developed with condominiums and/or cluster single family homes (patio homes). However, every effort will be made to save as many trees as possible on such condominium/cluster single family home (patio home) parcels, especially on the perimeter of such condominium/cluster single family home (patio home) parcels. It is assumed that at the time of development, certain tree parcels, reserves and preservation easements will be created. It should also be noted that in connection with single family lot development, every effort has been extended to create tree buffers along boundaries and in backyards. Consequently, the following Tree Replacement Plan specific to the overall Terra Alta development and reflective of the diverse and unique site elements which are present at this particular site shall be implemented. The Tree Replacement Plan enumerated herein creates an innovative and unique approach to the issue of saving trees on this particular Property. Instead of focusing on the economics and environmental issues of trees lost to development, this Tree Replacement Plan focuses on efforts to save trees (particularly large, mature trees), providing an incentive to permanently save large, mature trees, compensating for trees lost, and, ultimately, creating a higher quality development for the City of Delaware than would be expected under a standard subdivision. Notwithstanding the following Tree Replacement Plan, the City acknowledges compliance to date by the Developer with all trees removed or replaced on the Property.

The following Tree Replacement Plan shall be the controlling regulation for the Terra Alta development:

- (1) *Tree Survey.* An estimate of the total number, type, size, and health of trees to be preserved and replaced has been provided according to a set of representative tree survey sites as determined and verified by the City of Delaware and as authorized by the current Zoning Code. Included as Sheets 9-13 of the Preliminary Development Plan is an estimate of overall tree impact based on the Tree Replacement Plan.

(2) *Calculation of Replacement Trees.* Only trees six (6) caliper inches and greater that are removed in the development of the Property and construction of housing units shall be replaced according to the following schedule:

- A. Trees considered in good health as determined by a Certified Arborist and verified by the City of Delaware shall be replaced on a 100% replacement schedule meaning every good tree removed shall be replaced with tree(s) that have a total caliper equal to or greater than the total caliper of the tree removed.
- B. Trees considered in fair health as determined by a Certified Arborist and verified by the City of Delaware shall be replaced on a 50% replacement schedule meaning every fair tree removed shall be replaced with tree(s) that have a total caliper equal to or greater than 50% of the total caliper of the tree removed.
- C. Trees considered in poor health or ash trees as determined by a Certified Arborist and verified by the City of Delaware shall be exempt from replacement. However, to the maximum extent allowed by local, state, and federal regulations, poor trees and ash trees located in areas that are not required for development shall be left undisturbed on-site provided such trees are not considered hazardous to life or property as determined by the City of Delaware Arborist.

(3) *Tree Preservation.* The Developer will include a significant amount of tree preservation areas, distributed throughout the Property, which shall be recorded on each individual final subdivision plat as applicable and will be permanently recorded with such. The Preliminary Development Plan notes the tree preservation areas preliminarily contemplated, subject to change with the detailed investigation that occurs with final submission. The City will consider reasonable proposed changes at the time of final submission.

(4) *Tree Replacement Fee.*

- A. Single-Family Lots (Sub-Areas 1-9). A \$500 per single-family detached dwelling unit tree replacement fee shall be charged on each single-family detached dwelling unit at the time of building permit application. This fee is to be paid per the usual and customary procedures of the City, which currently requires payment of all required building and zoning permit fees prior to issuance of the permit but not at the time of application. Assuming approval of 657 such housing units x \$500 = \$328,500 paid to the City specifically for its Tree Fund.
- B. Condominium Patio Home and Duplex Units (Sub-Areas 10, 11 & 12). A \$200 per dwelling unit tree replacement fee shall be charged on each condominium, cluster single family home (patio home) or duplex dwelling unit at the time of building permit application. This fee is to be paid per the usual and customary procedures of the City, which currently requires payment of all required building and zoning permit fees prior to issuance of the permit but not at the time of application. Assuming approval of 213 such condominium, patio home and duplex units x \$200 = \$42,600 paid to the City specifically for its Tree Fund.

- (5) *Required Trees Not Considered Replacement Trees.* Trees that are required by the Zoning Code, such as but not limited to street trees and front yard trees, shall not be considered Replacement Trees.
- (6) *Replacement Tree Criteria.* To receive credit as a Replacement Tree, a tree shall be required to have a minimum caliper of two (2) inches. Evergreen (pine for example) trees shall be calculated as two (2) feet in height equals one (1) inch in caliper with a minimum required height of six (6) feet. For example, a pine tree six (6) feet in height would net three (3) caliper inches of replacement tree credit. Trees meeting this criterion are referred to herein as "Replacement Trees."
- (7) *Single Family Home Tree Replacement Requirement.* At the time of construction of each single-family home, the builder shall be required to plant and install two (2) replacement trees on each such lot.
- (8) *Condominium, Cluster Single Homes (Patio Home) and Duplex Tree Replacement Requirement.* At the time of construction of each building housing condominium, cluster single home (patio home) or duplex unit, the builder shall be required to plant and install two (2) replacement trees for each condominium unit in each building, cluster single homes (patio home) unit or duplex unit.
- (9) *Credit for Tree Preservation.* In recognition of the Developer's efforts to save trees in the design, layout and development of the Property through the provisions of this Tree Replacement Plan, the Developer shall receive credit against the replacement required by Section 2 of this Tree Replacement Plan for all single family home tree replacement pursuant to Section 7, all condominium, cluster single family homes (patio home) and duplex tree replacement pursuant to Section 8, and in accordance with the following schedule for permanently preserved trees:

A. Good Tree Credit Schedule

- (1) Trees six (6) caliper inches but less than twelve (12) caliper inches saved shall receive one (1) caliper inch credit for each caliper inch saved.
- (2) Trees twelve (12) caliper inches but less than eighteen (18) caliper inches saved shall receive two (2) caliper inches credit for each caliper inch saved.
- (3) Trees eighteen (18) caliper inches but less than twenty-four (24) caliper inches saved shall receive three (3) caliper inches credit for each caliper inch saved.
- (4) Trees greater than (24) caliper inches saved shall receive four (4) caliper inches for each caliper inch saved.

B. Fair Tree Credit Schedule

- (1) Trees six (6) caliper inches but less than twelve (12) caliper inches saved shall receive one-half (1/2) caliper inch credit for each caliper inch saved.
- (2) Trees twelve (12) caliper inches but less than eighteen (18) caliper inches saved shall receive one (1) caliper inch credit for each caliper inch saved.

- (3) Trees eighteen (18) caliper inches but less than twenty-four (24) caliper inches saved shall receive one and one-half (1-1/2) caliper inches credit for each caliper inch saved.
 - (4) Trees greater than (24) caliper inches saved shall receive two (2) caliper inches for each caliper inch saved.
- (10) *Credit for Removal of Ash Trees.* The removal of ash trees from the Property that would not otherwise be removed as a result of development (i.e., ash trees removed from Reserves and preservation easements) shall be given a credit of one (1) caliper inch for every \$100 cost of ash tree removal as submitted by the Developer and as certified by the City Arborist.
- (11) *Replacement Completion.* Fulfillment of this Tree Replacement Plan as written and in total shall result in no additional “fees-in-lieu” or other tree replacement, tree banking or other payments being required by the City unless the basis of tree removal or preservation is amended through the development process in which the tree replacement plan shall be amended accordingly.
- g. **Expiration.** These tree replacement requirements shall expire upon the completion of the entire Terra Alta Subdivision development. The completion of development shall be considered the acceptance of final public improvements and expiration of any required maintenance period for Terra Alta as it relates to the tree replacement aspects of this Tree Replacement Plan, however, the provisions of Sections 4, 5, 6, 7 and 8 shall continue in full force and effect with respect to each dwelling unit until such time as each dwelling unit in the Terra Alta Subdivision receives a Final Certificate of Occupancy. After the completion of development or receipt of a Final Certificate of Occupancy, as applicable, the tree preservation and replacement requirements of the then current Zoning Code shall apply.
- h. **New Community Authority.** A New Community Authority (“NCA”) has previously been established for the entire Terra Alta development. The NCA will own and maintain all Reserves (except Reserve A, Reserve S and Reserve HH which will be deeded to the City) entrance features, common open spaces and amenities including pools and clubhouses serving the Terra Alta development.
- i. **Master Association.** A master homeowners association will be created for the entire Terra Alta Subdivision. The master homeowner’s association shall include all single family home owners, duplex owners, condominium owners and cluster single family home (patio home) owners in the Terra Alta development and shall impose various assessments. The master homeowner’s association declaration shall be reviewed and approved by the City prior to the recording of the declaration. By majority vote of the property owners, the master association shall be transferred to the homeowners when 75% of the units have received a certificate of occupancy, unless the Developer establishes to the satisfaction of the City Director of Planning and Community Development that less than 75% of the units have been sold to third party buyers, in which event such transfer shall be deferred at the election of the Developer until such time as 75% of the units have been sold to third party buyers.

- j. **Common Open Space.** The common open space for the development of the Property shall consist of Reserves A through KK located on the Terra Alta, Rogers and Stockdale Farms tracts. containing approximately 179.28 acres. All open space and reserves (except reserves A, S and HH) will be owned and maintained by the NCA subject to all necessary easements and agreements in connection with the overall development of the Property. Reserves A through KK shall satisfy all common open space requirements. All common open space shall be improved, if improvements are necessary or required, concurrent with the public improvements with the respective phase in which the improvement is located. Reserve A, Reserve S and Reserve HH shall be deeded to the City and the Developer shall not be required to make any improvements to or maintain these reserves.
- k. **Parkland.** Parkland requirements shall be satisfied in part by the dedication of Reserves A, S and HH consisting of approximately 28.96 acres of land abutting the Olentangy River at the western edge of the Property. The City may subsequently grant any covenants, easements, or restrictions to a third party for the purposes of holding the same. Additionally, the Parkland grant will be satisfied by the development improvements shown on the Preliminary Development Plan and maintained by the homeowner's association. This results in approximately 179.28 of open space and parkland. The Developer shall grant an easement allowing public access to use the bike path as depicted on the Preliminary Development Plan and as designed and constructed by Developer. Prior to or concurrent with the submittal of each Preliminary Subdivision Plat, the Developer shall submit for review and approval a Parkland and Open Space Improvement Plan for the portion of the Property subject to each Preliminary Subdivision Plat for a Sub-Area. All parkland shall be improved, if improvements are necessary or required, concurrent with the public improvements with the respective phase in which the improvement is located. The aforementioned calculations include all of the Property (Terra Alta, Rogers and Stockdale). All parkland and improvements shall be maintained by the HOA and open to the public use with the exception of the pools and clubhouses which maybe private.
- l. **Utilities to be Located Underground.** All new utilities serving the Terra Alta Subdivision shall be located underground except for the existing transmission line located approximately 1,000 feet north of Braumiller Road and traversing the Property west to east. Additionally, and if determined to be economically feasible, any existing utilities that will serve the Terra Alta Subdivision that are located above ground, including those along either side of Pollock Road, the west side of Berlin Station Road adjacent to the site or the north side of Braumiller Road adjacent to the Property, shall be relocated underground. Developer and the City shall work together to ensure that any technical and financial information provided by the respective utility company is fair and reasonable.
- m. **Composite Utility Plan Required.** Prior to the installation of any non-City owned utility, a composite utility plan shall be submitted for review and approval by the City. Such plan shall depict the location and type of all non-City owned utilities including the location and type of any above ground pedestal, transformer, meter, cabinet, and other

such above ground structures that support the respective utility. Any above ground structure shall be inconspicuously located, dark green in color, and if located in any front yard shall be screened with landscaping as approved by the City.

- n. **Removal of Existing Farm Fencing.** Unless demonstrated to the City that such fencing is not in the ownership of Developer, all existing farm fencing and barbed wire fencing shall be removed from the Property at minimum on a lot by lot basis.
- o. **Construction Trailers.** Construction trailers shall meet all requirements of the Zoning Code and shall be removed once construction activity has moved to another non-adjacent phase of the development. For example, once the public improvements have been accepted in Phase 2 any construction trailer located in Phase 1 serving Phase 2 shall be relocated to Phase 2 provided the respective builder is or will be constructing lots in the subsequent phase.
- p. **Sidewalks and Multi-Use Paths.** Multi-use paths will be constructed and accepted concurrently with the public improvements in which the multi-use path is located. Sidewalks will be constructed concurrently with the construction of a home on each lot. However, once ninety percent (90%) of the lots in a respective phase have obtained a certificate of occupancy, any sidewalk not yet installed in the respective phase shall be installed within one (1) year from the date of issuance of the certificate of occupancy establishing the ninety percent (90%) lot completion. Sidewalks along Terra Alta Drive and part of a condominium or cluster single family homes (patio homes) development shall be installed prior to the issuance of the first certificate of occupancy for the condominium or patio home development. Sidewalks and multi-use paths located within a condominium or cluster single family home (patio home) development shall be installed with each respective phase of the development as shown on the approved Final Development Plan.

3. SUB-AREAS GENERALLY

Terra Alta Subdivision is separated into a number of sub-areas (each a "Sub-Area") to represent the distinct areas of development, the types of housing products and amenities to be developed therein and certain Development Standards applicable thereto. Each Sub-Area is developed therein and certain Development Standards applicable thereto. Each Sub-Area is identified on the Preliminary Development Plan and the Development Standards applicable to such Sub-Area are as contained herein and on the Preliminary Development Plan. The following Single-Family Home Standards and Condominium, Cluster Single Family Home (Patio Home) and Duplex Standards set forth in the immediately following Sections 4, 5 and 6 will apply to the housing products permitted in each applicable Sub-Area.

4. SINGLE-FAMILY HOME STANDARDS

- a. **Uses.** The following uses shall be considered permitted or conditionally permitted in all Sub-Areas permitting single family homes, as represented in the chart below by P (Permitted Use) or C (Conditional Use), respectively, and as defined by attached Chapter 1121 of the Zoning Code. Any use not listed in the chart shall be considered a prohibited

use unless amended by action of the Planning Commission and City Council through a Zoning Amendment process.

- b. **Permitted Uses.** Permitted uses are permitted by-right and shall meet all development standards specified within this Development Text and the Zoning Code, as applicable.
- c. **Conditionally Permitted Uses.** In addition to all standards specified within this Development Text, uses listed as conditionally permitted uses shall meet all the then current Zoning Code standards for approval of a Conditional Use Permit current at the time of application for the specific conditional use as well as any other regulations contained within the Zoning Code and applicable to the conditional use.
- d. **Accessory Uses and Structures.** Although not specified in the chart below, accessory uses, which are considered allowed uses, include those items that are customarily incidental and secondary to the principal use of the land. Such items include but are not limited to signs, fences, trash receptacles and enclosures, and off-street parking areas.

Land Use Category	Terra Alta Uses
(a) Residential	
(1) Detached single-family dwelling	P
(2) Minor home occupation	P
(b) Recreational/Open Space/Reserves	
(1) Park, playground, pool, clubhouse	P
(2) Non-commercial recreation facility (including NCA and homeowner association-controlled facilities)	P

- e. **Density & Mix of Dwelling Unit Type.** The overall Sub-Area density and mix of dwelling unit types shall not exceed that approved on the Preliminary Development Plan for each Sub-Area.
- f. **Lot Standards.** The minimum lot sizes and frontages shall be determined by Sub-Area (see Section 6).
- g. **Building Setback Standards.** The minimum principal building setbacks (including accessory structures attached to the principal structure) for each Sub-Area are set forth in Section 6; provided that: (i) side and rear yard setbacks shall not apply to minor architectural projections such as eaves, chimneys and bay windows (typically up to 2.5 feet); and (ii) patios and attached decks may extend up to five (5) feet into a rear setback, except with respect to Sub-Area 4 where such permitted encroachment is extended to ten (10) feet provided such encroachment does not adversely affect any easement.

- h. **Maximum Building Height.** The maximum height of any principal building or structure within each Sub-Area shall be as set forth in Section 6.
- i. **Building Design.** Unless otherwise modified within this Development Text, all dwellings shall meet the building design requirements of Chapter 1171, R-2 District standards for detached single-family dwellings.
 - (1) To create a cohesive and unified design throughout the entire development yet provide a diversity of housing types within each Sub-Area, each building within a Sub-Area shall be consistent in overall design, color, material, and architectural pattern and include a similar and/or repeating pattern of design elements such as architectural styles, roof and building massing, window proportion, or other elements as determined through the Final Development Plan review process for such Sub-Area.
 - (2) Representative home elevations (all sides) for each Sub-Area shall be reviewed and approved by the Planning Commission as part of the Final Development Plan for such Sub-Area. Minor variations thereafter shall be potentially administratively approvable as written in this Development Text.
 - (3) Exterior Material and Trim Standards.
 - A. At least 35% of the front elevation of all homes constructed on the Property (excluding foundations, garage doors, entry doors, roofs, gutters, downspouts and windows) will consist of brick, stone or cultured stone.
 - B. All vinyl siding products used on homes constructed on the Property shall be architectural grade, Vinyl Siding – Higher End, as defined in Chapter 1171.08 (c) on all elevations.
 - C. Trim board around all corners, windows, and doors shall be a minimum of 4 inches all around.
 - D. Standing seam metal roofs are encouraged on select architectural elements of front elevations, such as porches or front entrance features.
 - E. EIFS or similar products are prohibited as an exterior material.
 - F. All exposed foundation walls shall be brick patterned concrete.
 - G. Frieze trim a minimum of 4 inches wide is required under all overhangs and gables.
 - H. All home elevations shall be reviewed and approved by the Director of Planning & Community Development to establish compliance with the Building Design requirements of this Development Text.
 - I. All homes will have, at a minimum, dimensional shingles.
 - (4) Design Standards
 - A. Materials on each home within a Sub-Area shall be varied to provide variety throughout the Sub-Area.
 - B. All front elevations shall include a variety of styles, colors, and/or materials types of materials including as an example, but not limited to, vinyl shake siding.
 - C. All homes will have not less than a 2-car attached garage.

- D. The principal roof structure on all homes will have a roof pitch of not less than 6/12.
 - E. The principal roof structure on all homes will have an overhang of not less than 12 inches and an end rake of not less than 8 inches.
 - F. Lintels and sills in masonry walls shall be brick soldier course, limestone, or sandstone, along with other manufactured stone products.
 - G. Although porch railing and column details are encouraged to vary from home to home, porch columns shall have a minimum 6 x 6-inch cross section or diameter.
 - H. Treated lumber shall be painted or stained, except when used on outdoor decks.
 - I. Where wood burning fireplaces are utilized the exposed chimney shall be faced with brick or stone at a minimum. All direct vent fireplaces shall be located in a side or rear yard and screened from view when visible from a public street.
 - J. All homes shall provide an identifiable entry with entry coverings and stoops being a minimum of 3 feet deep or the minimum necessary for building code regulations, whichever is greater. Any porch shall be a minimum depth of 5 feet.
 - K. Front elevations shall be designed to emphasize the visual impact of the garage. All garage doors facing a public street shall be architecturally upgraded to include design elements consistent with the design of the home and development including, incorporate a glass course, add trim packages to give the appearance of stable doors, man doors, hinged swing doors, and other similar architectural elements.
 - L. Side elevations shall include multiple windows and design elements that provide visual interest as well as allow light into the unit.
 - M. Rear elevations facing a public right-of-way shall have a minimum of two windows.
- j. **Accessory Structures.** Fences (other than decorative fencing along front entrance paths and front porches) are prohibited in any front yard and must meet the standard fence specifications included in the master declaration for Terra Alta. Fences shall be constructed only of black painted aluminum in two styles, "Black Aeo Gadian Doria-Option 1" and "Black Residential Innsbruck-Option". No fence or wall shall be constructed in excess of 54 inches above finished grade, provided however, if other provisions of this declaration or a governmental agency exercising jurisdiction over the property on which the fence or wall is to be constructed requires a minimum height in excess of 54 inches for certain fences or wall in certain areas, or for safety reasons (i.e. swimming pool enclosure), such fences or wall may exceed 54 inches above finished grade but only to the extent necessary to meet the provided or governmentally required minimum.
- Privacy fences are prohibited except to screen outdoor hot tubs and spas. Attached decks may extend up to five (5) feet into a required rear setback provided the encroachment does not adversely impact any easement. All other accessory structures shall meet the requirements of the Zoning Code.

- k. **Landscaping and Screening.** All landscaping shall meet the requirements of the then current Zoning Code and the Gateways & Corridors Plan unless modified herein.
- (1) All street tree plantings shall meet the requirements and approval process of the Zoning Code unless modified in this Development Text.
 - (2) Street trees shall be a minimum of 1.75 caliper inches as measured at breast height at the time of installation.
 - (3) Along the Berlin Station Road, an earth mound, no less than 4 feet in height as measured from the proposed average finish grade elevations of the adjacent dwelling with a mix of deciduous and coniferous plantings providing, at the time of installation, a minimum 60% year round opacity at a combined mound and landscaping height of no less than 10 feet at planting shall be provided. Such mounding shall not interfere with any required sight distance.
 - (4) Along Braumiller Road, an earth mound, no less than 3 feet and not more than 6 feet in height as measured from the proposed average finish grade elevations of the adjacent dwelling units with a mix of deciduous and coniferous plantings, providing, at the time of installation, a minimum 60% year round opacity at a combined mound and landscape height of no less than 10 feet at planting shall be provided. Such mounding shall not interfere with any required sight distance. An easement on the rear of lots 88-90 shall be recorded to require the aforementioned mounding and landscaping
 - (5) A typical landscaping plan for each unit type within a Sub-Area shall be submitted and approved with the Final Development Plan for such Sub-Area. This typical landscaping shall set forth the minimum amount of required landscaping for each unit type at the time of building of each structure prior to the issuance of a Certificate of Occupancy. Landscaping species may be varied on a permit by permit basis.
 - (6) Ground mounted equipment shall be screened from view using plant materials providing 100%-year round opacity. Air conditioning units shall be located in manner that minimizes the view from the public right-of-way.
 - (7) For the purposes of aesthetics and aquatic health, all ponds shall have a fountain or aerator.
 - (8) In Sub-Area 9, the developer shall plant several 8-foot-high Norway spruce trees to form a continuous buffer along the rear of lots 323-325 to screen the adjacent single-family home in addition to the tree line that exists in this location already
 - (9) In Sub-Area 3, the developer shall plant several 8 foot high Norway spruce trees to form a continuous buffer along the rear of lots 165-168 along the northwestern portion of the site to screen the adjacent single family home in addition to the tree line that exists in this location already.
1. **Pedestrian Connectivity.** Pedestrian connectivity shall be provided throughout the Sub-Area with stub connections to other sub-areas and future development. Concrete sidewalks, 5 feet in width, shall be provided on both sides of all public streets and multi-use paths of appropriate width and material shall be provided as shown on the approved Final Development Plan for each Sub-Area.
- m. **Open Spaces.** With the exception of Reserves A, S and HH which are to be deeded to the City in its "as is, where is" condition, open spaces shall be landscaped and designed in a

manner consistent with the overall development. Landscaping and design plans for all open spaces shall be submitted and approved with the Final Development Plan for each Sub-Area and adjacent Reserve(s) being developed and include, at a minimum, the following:

- (1) Sidewalks or multi-use paths shall be provided throughout the open space to link the amenities of the open space to the adjacent public sidewalk or pathway network and provide active recreation throughout.
 - (2) Crosswalks leading to open spaces and public parkland shall be defined with special paving or alternative pavement coloring acceptable to the City Engineer.
 - (3) Amenities such as benches, gazebos, or other such features are encouraged in the open spaces.
 - (4) All open spaces shall be constructed with the public infrastructure with the respective phase in which the open space is located. Landscaping shall be installed at the first time of year in which it is appropriate to install such plant material provided the acceptance of public improvements occurs during an inappropriate time for planting and the incomplete landscaping is bonded with the City.
 - (5) Reserve F and Reserve CC shall contain a pool and clubhouse while Reserves I, AA, CC, EE, FF and GG shall contain programmed amenities approved by staff.
 - (6) The remainder of the Reserve areas are designated opens open spaces
- n. **Entry Features and Signs.** With each Sub-Area Final Development Plan, a comprehensive entry feature and signage plan shall be submitted. All signs shall be designed and located in a manner that is appropriate and consistent with the overall design of the Sub-Area. Internally illuminated signs are prohibited. The entry feature and signage for the entrance to Terra Alta Subdivision from Pollock Road installed in connection with the development of Sub-Area 1 which is already completed and approved as built.

5. CONDOMINIMUM, CLUSTER SINGLE FAMILY HOME (PATIO HOME) AND DUPLEX STANDARDS

- a. **Uses.** The following uses shall be considered permitted or conditionally permitted in all Sub-Areas allowing the development of condominiums, cluster single family homes (patio homes) and duplexes as represented in the chart below by P (Permitted Use) or C (Conditional Use), respectively, and as defined by Chapter 1121 of the Zoning attached hereto as Exhibit 1. Any use not listed in the chart shall be considered a prohibited use unless amended by action of the Planning Commission and City Council through a Zoning Amendment process.
- b. **Permitted Uses.** Permitted uses are permitted by right and shall meet all development standards specified within this Development Text and the Zoning Code, as applicable.
- c. **Conditionally Permitted Uses.** In addition to all standards specified within this Development Text, uses listed as conditionally permitted uses shall meet all the then current Zoning Code standards for approval of a Conditional Use Permit current at the

time of application for the specific conditional use as well as any other regulations contained within the Zoning Code and applicable to the conditional use.

- d. **Accessory Uses and Structures.** Although not specified in the chart below, accessory uses, which are considered allowed uses, include those items that are customarily incidental and secondary to the principal use of the land. Such items include but are not limited to signs, fences, trash receptacles and enclosures, and off-street parking areas.

Land Use Category	Terra Alta Uses
(c) Residential	
(1) Detached single-family dwelling in a condominium or cluster single family home (patio home) setting	P
(2) Attached single-family dwelling in a condominium or duplex setting	P
(3) Minor home occupation	P
(d) Recreational/Open Space	
(1) Park, playground	P
(2) Non-commercial recreation facility (including NCA or homeowner association-controlled facilities)	P

- e. **Density & Mix of Dwelling Unit Type.** The overall Sub-Area density and mix of dwelling unit types shall not exceed that approved on the Preliminary Development Plan for each Sub-Area.
- f. **Building Setback Standards.** The minimum principal building setbacks (including accessory structures attached to the principal structure) for each Sub-Area are set forth in Section 6; provided that: (i) side and rear yard setbacks shall not apply to minor architectural projections such as eaves, chimneys and bay windows (typically up to 2.5 feet) ; and (ii) patios and attached decks may extend up to five (5) feet into a rear setback, provided such encroachment does not adversely affect any easement.
- g. **Maximum Building Height.** The maximum height of any principal building or structure within each Sub-Area shall be as set forth in Section 6.
- h. **Building Design.** Unless otherwise modified within this Development Text, all dwellings shall meet the building design requirements of Chapter 1171, R-5 and R-6 District standards for detached single-family dwellings and R-5 and R-6 District multi-family standards for attached single-family dwellings.
- (1) To create a cohesive and unified design throughout a Sub-Area yet provide a diversity of housing types each building within a Sub-Area shall be consistent in overall design, color, material, and architectural pattern and include a similar and/or

repeating pattern of design elements such as architectural styles, roof and building massing, window proportion, or other elements as determined through the Final Development Plan review process for such Sub-Area.

- (2) All home elevations (all sides) shall be reviewed and approved by the Planning Commission as part of the Final Development Plan. Minor variations thereafter shall be potentially administratively approvable as written in this Development Text.
- (3) Exterior Material and Trim Standards.
 - A. At least 35% of the front elevation of all buildings (excluding foundations, garage doors, entry doors, roofs, gutters, downspouts and windows) will consist of brick, stone or cultured stone.
 - B. All vinyl siding products used on buildings shall be architectural grade, Vinyl Siding – Higher End, as defined in Chapter 1171.08 (c) on all elevations.
 - C. Trim board around all corners, windows, and doors shall be a minimum of 4 inches all around.
 - D. Standing seam metal roofs are encouraged on select architectural elements of front elevations, such as porches or front entrance features.
 - E. EIFS or similar products are prohibited as an exterior material.
 - F. All exposed foundation walls shall be brick pattern concrete.
 - G. Frieze trim a minimum of 4 inches wide is required under all overhangs and gables.
 - H. All building elevations shall be reviewed and approved by the Director of Planning & Community Development to establish compliance with the Building Design requirements of this Development Text.
 - I. All buildings will have, at a minimum, dimensional shingles.
- (5) Design Standards
 - A. Exterior Materials on each building shall be varied to provide variety throughout each Sub-Area.
 - B. All condominium units and cluster single family homes (patio homes) will have not less than a 1 car attached garage.
 - C. The principal roof structure on all buildings will have a roof pitch of not less than 6/12.
 - D. The principal roof structure on all buildings will have an overhang of not less than 12 inches and an end rake of not less than 8 inches.
 - E. Lintels and sills in masonry walls shall be brick soldier course, limestone, or sandstone, along with other manufactured stone products.
 - F. Although porch railing and column details are encouraged to vary from home to home, porch columns shall have a minimum 6 x 6 inch cross section or diameter.
 - G. Treated lumber shall be painted or stained, except when used on exterior decks.
 - H. Where wood burning fireplaces are utilized the exposed chimney shall be faced with brick or stone at a minimum. All direct vent fireplaces shall be located in a side or rear yard and screened from view when visible from a public street.

- I. All housing or condominium units shall provide an identifiable entry with entry coverings and stoops being a minimum of 3 feet deep or the minimum necessary for building code regulations, which ever is greater. Any porch shall be a minimum depth of 4 feet.
 - J. Front elevations shall be designed to emphasize the visual impact of the garage. All garage doors facing a public street shall be architecturally upgraded to include design elements consistent with the design of the home and development including, incorporate a glass course, add trim packages to give the appearance of stable doors, man doors, hinged swing doors, and other similar architectural elements.
 - K. Side elevations shall include multiple windows and design elements that provide visual interest as well as allow light into the unit.
 - L. Rear elevations facing a public right-of-way shall have a minimum of two windows.
- i. **Accessory Structures.** Fences (other than decorative fencing along front entrance paths and front porches) are prohibited in any front yard and must meet the standard fence specifications included in the master declaration for Terra Alta. Fences shall be constructed only of black painted aluminum in two styles, "Black Arco Gradian Doria-Option 1" and "Black Residential Innsbruck-Option". No fence or wall shall be constructed in excess of 54 inches above finished grade, provided however, if other provisions of this declaration or a governmental agency exercising jurisdiction over the property on which the fence or wall is to be constructed requires a minimum height in excess of 54 inches for certain fences or wall in certain areas, or for safety reasons (i.e. swimming pool enclosure), such fences or wall may exceed 54 inches above finished grade but only to the extent necessary to meet the provided or governmentally required minimum.
- Privacy fences are prohibited except to screen outdoor hot tubs and spas. Attached decks may extend up to five (5) feet into a required rear setback provided the encroachment does not adversely impact any easement. All other accessory structures shall meet the requirements of the Zoning Code.
- j. **Landscaping and Screening.** All landscaping shall meet the requirements of the then Zoning Code and the Gateways & Corridors Plan unless modified herein.
- (1) All street tree plantings shall meet the requirements and approval process of the Zoning Code unless modified in this Development Text.
 - (2) Street trees shall be a minimum of 1.75 caliper inches as measured at breast height at the time of installation.
 - (3) A typical landscaping plan for each Sub-Area shall be submitted and approved with the Final Development Plan for such Sub-Area. This typical landscaping shall set forth the minimum amount of required landscaping for each unit at the time of building of each structure prior to the issuance of a Certificate of Occupancy. Landscaping species may be varied on a permit by permit basis.
 - (4) Ground mounted equipment shall be screened from view using plant materials providing 100%-year-round opacity. Air conditioning units shall be located in manner that minimizes the view from the public right-of-way.

- (5) For the purposes of aesthetics and aquatic health, all ponds shall have a fountain or aerator.
 - (6) In Sub-Area 3, the developer shall plant several 8 foot high Norway spruce trees to form a continuous buffer along the rear of lots 165-172 along the northwestern portion of the site to screen the adjacent single family home in addition to the tree line that exists in this location already.
 - (7) In Sub-Area 9, the developer shall plant several 8-foot-high Norway spruce trees to form a continuous buffer along the rear of lots 323-325 to screen the adjacent single-family home in addition to the tree line that exists in this location already
- k. **Pedestrian Connectivity.** Pedestrian connectivity shall be provided throughout each Sub-Area with stub connections to other sub-areas, adjacent Reserves, as appropriate, and future development. Concrete sidewalks, 5 feet in width, shall be provided on both sides of all public streets and as appropriate and necessary on private streets and multi-use paths of appropriate width and material shall be provided as shown on approved Final Development Plan.
- l. **Open Spaces.** Open spaces shall be landscaped and designed in a manner consistent with the overall development. Landscaping and design plans for all open spaces shall be submitted and approved with the Final Development Plan and include, at a minimum, the following:
- (1) Sidewalks or multi-use paths shall be provided throughout the open space to link the amenities of the open space to the adjacent public sidewalk and provide active recreation throughout.
 - (2) Crosswalks leading to open spaces and public parkland shall be defined with special paving or alternative pavement coloring acceptable to the City Engineer.
 - (3) Amenities such as benches, gazebos, or other such features are encouraged in the open spaces.
 - (4) All open spaces shall be constructed with the public infrastructure with the respective phase in which the open space is located. Landscaping shall be installed at the first time of year in which it is appropriate to install such plant material provided the acceptance of public improvements occurs during an inappropriate time for planting and the incomplete landscaping is bonded with the City.
 - (5) For the purposes of aesthetics and aquatic health, all ponds shall have a fountain or aerator.
 - (6) All opens spaces shall be maintained by the Homeowners Association but open to the public less the two pool houses and pools.
- m. **Entry Features and Signs.** With the Final Development Plan for each Sub-Area, a comprehensive entry feature and signage plan shall be submitted. All signs shall be designed and located in a manner that is appropriate and consistent with the overall design of the Sub-Area. Internally illuminated signs are prohibited.
- n. **Condominium Association.** All units and property developed as a condominium regime shall be governed by a condominium declaration and bylaws as reviewed and approved

by the City. By majority vote of the condominium owners, the association shall be transferred to the homeowners when 75% of the units have received a certificate of occupancy, unless the Developer establishes to the satisfaction of the Director of Planning and Community Development that less than 75% of the units have been sold to third party buyers, in which event such transfer shall be deferred at the election of the Developer until such time as 75% of the units have been sold to third party buyers.

- o. **Cluster Single Family Home (Patio Home) Homeowners Association.** All cluster single family homes (patio homes) developed within a Sub-Area shall be governed by a homeowner's association as reviewed and approved by the City. By majority vote of the patio home owners, the association shall be transferred to the homeowners when 75% of the patio homes have received a certificate of occupancy, unless the Developer establishes to the satisfaction of the Director of Planning and Community Development that less than 75% of the patio homes have been sold to third party buyers, in which event such transfer shall be deferred at the election of the Developer until such time as 75% of the patio homes have been sold to third party buyers.
- p. **Private Street Width.** All interior streets within Sub-Areas containing condominiums or patio homes shall be permitted to have private streets and in the case of cluster single family homes (patio homes), such cluster single family homes (patio homes) shall be located on platted subdivided lots adjacent to such private streets. All private streets shall have a width (including gutters) of 28 feet unless parking is restricted to one side of street, in which event, such width is reduced to 24 feet. All private streets shall be constructed to public standards while be maintained by the condominium or homeowner's association for such Sub-Area unless the City otherwise agrees.

6. SUB-AREA STANDARDS

- a. **General.** Each Sub-Area with the Terra Alta Subdivision is identified on the Preliminary Development Plan and shall maintain the following Development Standards set forth in this Section 6.
- b. **Sub-Area 1** - Sub-Area 1 consists of Section 1, Part 1, Phase A, Section 1, Part 1, Phase B, Section 1, Part 2, Reserve A, Reserve B, Reserve C and Reserve E of Terra Alta Subdivision, all of which have been previously developed and platted and on which (other than Reserves) single family homes have been or are currently being constructed. Consequently, no amendments to the area within Sub-Area 1 shall be implemented as a consequence of this Development Text,
 - c. The current development standards for Sub-Area 1 are:
 - Permitted Uses – Single family homes
 - Maximum Density – 73 lots
 - Minimum lot area – 9,100 square feet
 - Minimum Lot Width at Building Line – 70 feet
 - Front Yard Setback/Building line – 30 feet
 - Side Yard Setback –

- 70-foot lots
 - 7.5 feet
- 80 -foot lots
 - 10 feet
- Rear Yard Setback – 30 feet
- Minimum Square Footage
- 70-foot lots
 - One Story - 1,600 square feet
 - Two story – 1,800 square feet
- 80-foot lots
 - One Story - 1,800 square feet
 - Two Story – 2,000 square feet

Maximum Building Height – 35 feet

d. Sub-Areas 2, 3 and 6:

- Permitted Units – Single family homes
- Maximum Density – 298 Lots
- Minimum Lot Area – 9,100 sf
- Minimum Lot Width at Building Line – 70’
- Front Yard Setback/Building Line
 - Sub-Area 2
 - 25’ – maximum house depth is 45’
 - Sub-Area 3 and 6
 - 30’
- Side Yard Setback – 10’ each side
- Rear Yard Setback – 30’
- Minimum Square Footage
 - One story ranch – 1,800 sf
 - Two story – 2,000 sf
- Maximum Building Height – 35’

e. Sub-Area 4:

- Permitted Uses – Single family homes
- Maximum Density – 92 Lots
- Minimum Lot Area – 7,540 sf
- Minimum Lot Width at Building Line – 58’
- Front Yard Setback/Building Line – 30’
- Side Yard Setback – 6’ each side
- Rear Yard Setback – 30’
- Minimum Square Footage –
 - 1,400 square feet – lots 103, 106, 111, 149, 151, 153, 159, 162, 165
 - 1,500 square feet – remainder of the lots.
- Maximum Building Height – 35’

f. Sub-Area 5:

- Permitted Uses – Single family homes
- Maximum Density – 62 Lots
- Minimum Lot Area – 8,060 sf
- Minimum Lot Width at Building Line – 62’
- Front Yard Setback/Building Line – 25’ – maximum house depth is 45’
- Side Yard Setback – 6’ each side
- Rear Yard Setback – 30’
- Minimum Square Footage
 - One story ranch – 1,700 sf
 - Two story – 2,000 sf
- Maximum Building Height – 35’

g. Sub-Areas 7 and 8:

- Permitted Uses – Single family homes
- Maximum Density – 71 Lots
 - Lot 304 shall be eliminated per City Engineer and Fire Department
- Minimum Lot Area – 10,400 sf
- Minimum Lot Width at Building Line – 80’
- Front Yard Setback/Building Line – 30’
- Side Yard Setback – 10’ each side
- Rear Yard Setback – 30’
- Minimum Square Footage
 - One story ranch – 2,000 sf
 - Two story – 2,300 sf
- Maximum Building Height – 35’

h. Sub-Area 9:

- Permitted Uses – Single family homes
- Maximum Density – 61 Lots
- Minimum Lot Area – 12,600 sf
- Minimum Lot Width at Building Line – 90’
- Front Yard Setback/Building Line – 30’
- Side Yard Setback – 10’ each side
- Rear Yard Setback – 35’
- Minimum Square Footage
 - One story ranch – 2,000 sf
 - Two story – 2,300 sf
- Maximum Building Height – 35’

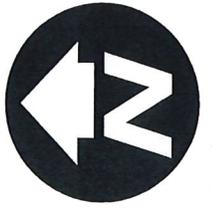
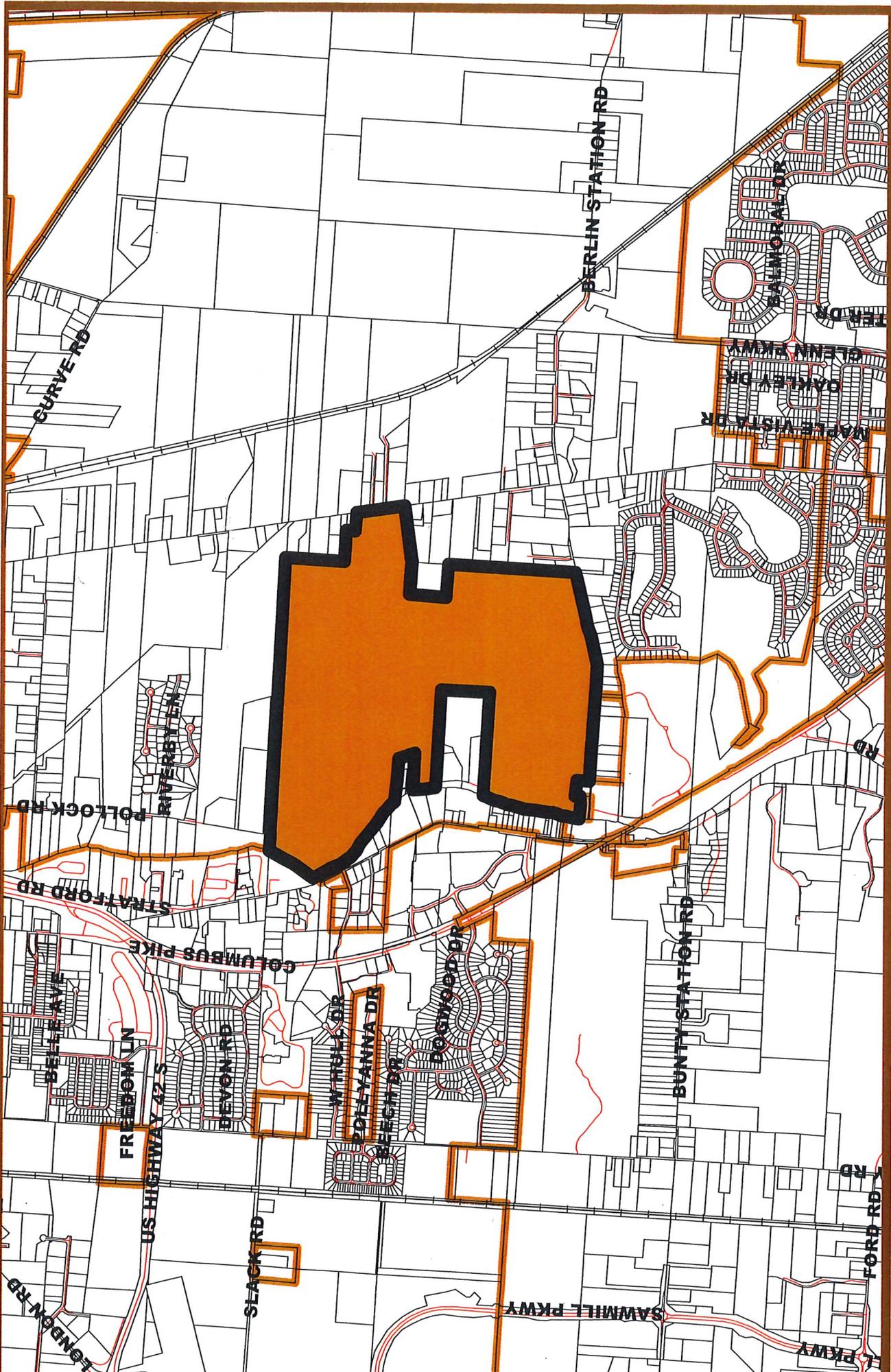
i. Sub-Areas 10, 11 and 12:

- Permitted Uses – Condominiums, cluster single family homes (patio homes) and duplexes
- Maximum Density – 213 units

- Minimum Square Footage – 1,200 sf
- Private streets permitted

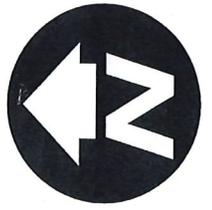
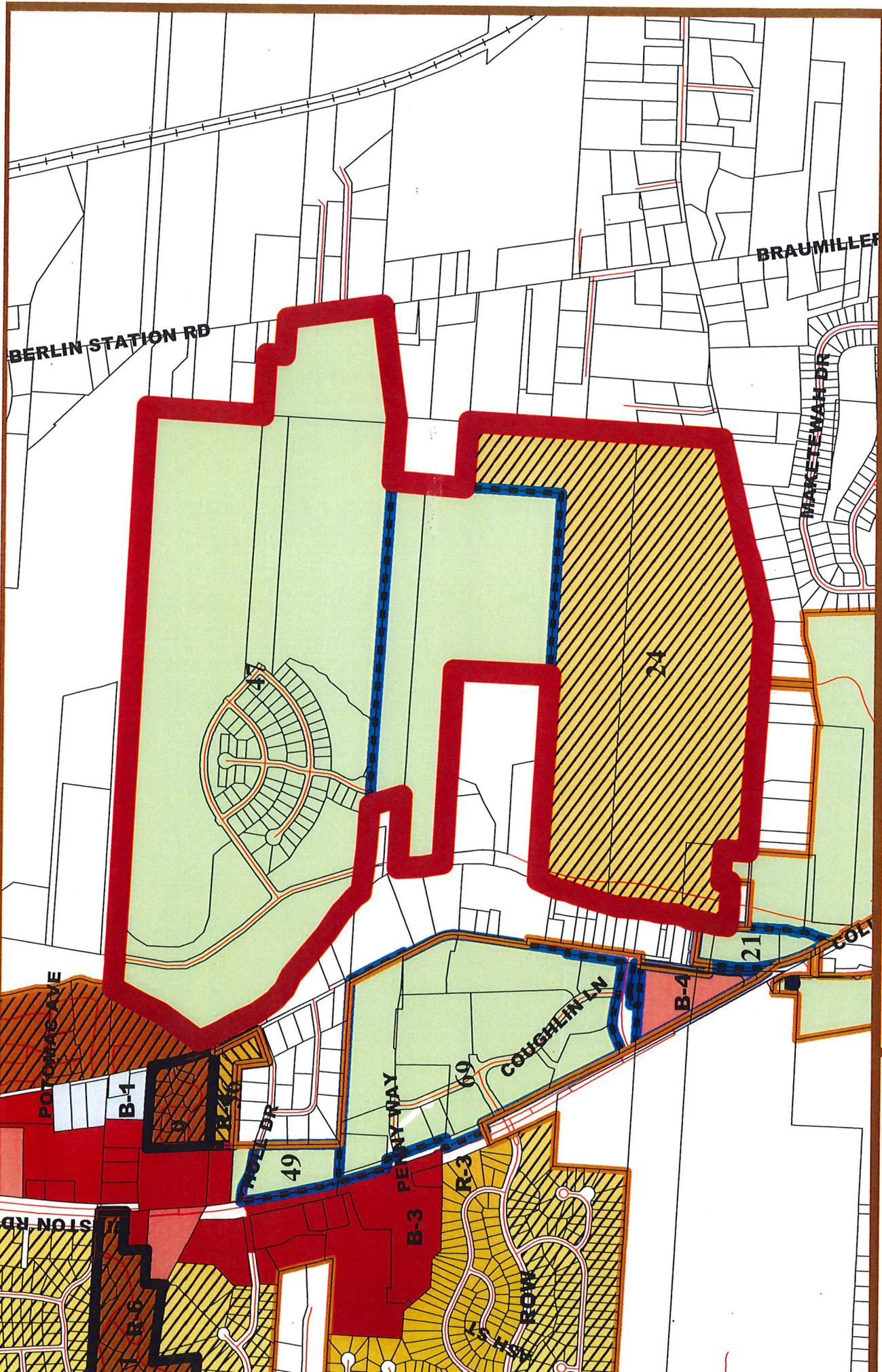
7. OTHER DEVELOPMENT REQUIREMENTS

- a. **Completion of Terra Alta Drive:** Terra Alta Drive shall be connected to its intersection with Berlin Station Road no later than at such time as the 166th building permit is requested for the construction of a dwelling unit in Sub-Areas 1, 4 and 10.
- b. **Talla Road Parking:** No parking shall be permitted along the curves at the western end of Talla Road within Sub-Area 4.
- c. **Temporary Emergency Access:** Until such time as Terra Alta Drive is connected to its intersection with Berlin Station Road, an emergency access to Pollock Road shall be maintained within Sub-Area 4 at a location agreed to be the City Engineer and not home shall be built on the lot containing such emergency access until such emergency access is no longer required.
- d. **Reserve A, S & HH Conveyance:** Reserve A shall be conveyed to the City at such time as a plat containing Reserve A is approved by the City and recorded.
- e. **Prato Court On Street Parking:** No on street parking shall be permitted on Prato Court south of the intersection of Prato Court and Passina Road to the cul-de-sac located at the southern end of Prato Court.
- f. **Mail Kiosks:** Cluster mailbox kiosks shall be identified and located on the engineering plans for each Sub-Area in compliance with United States Postal Service standards and requirements and as approved by the City Engineer.
- g. **Braumiller Road Improvements:** A permanent access point for the east side of the site to the subdivision along Braumiller Road shall be required on or before the development of the 65th lot (during Phase 2 per the submitted plans for former Stockdale Farms portion of the development) or per the City Engineer for safety considerations.



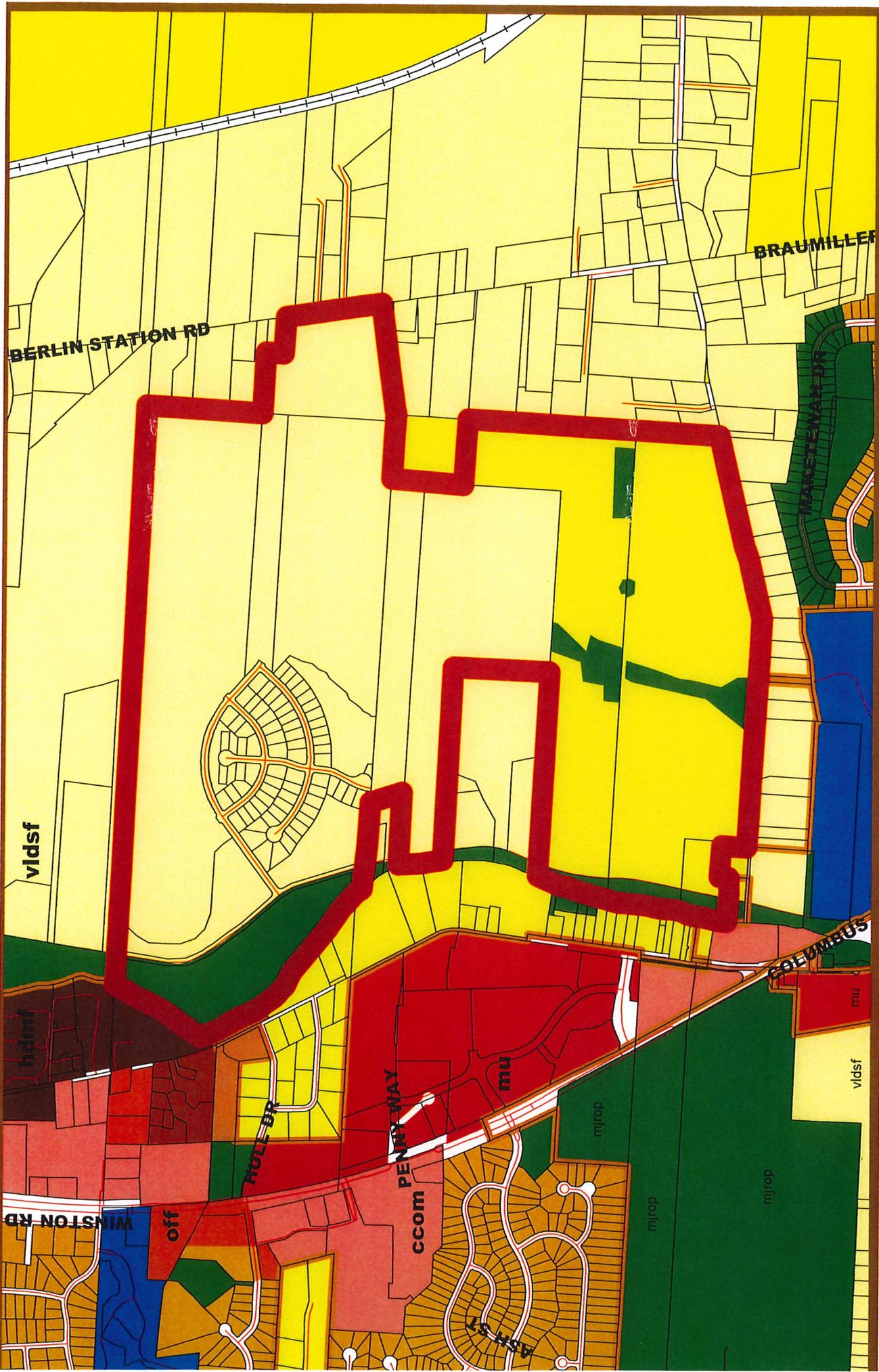
2020-0258-0261
 Rezoning Amendment, Conditional Use Permit,
 Amended Preliminary Development Plan & Subdivision Plat
 Terra Alta
 Location Map





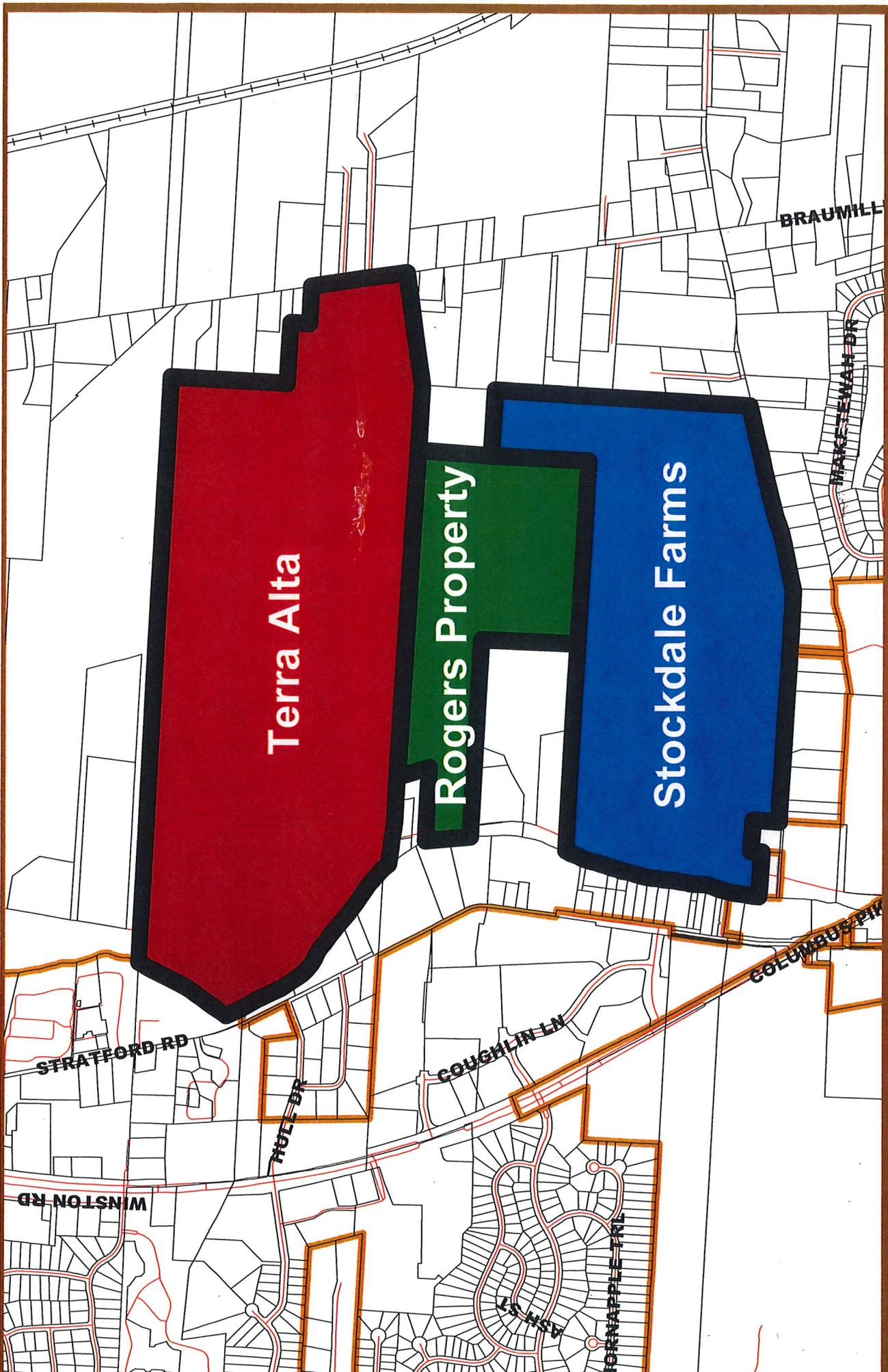
2020-0258-0261
 Rezoning Amendment, Conditional Use Permit,
 Amended Preliminary Development Plan & Subdivision Plat
 Terra Alta
 Zoning Map





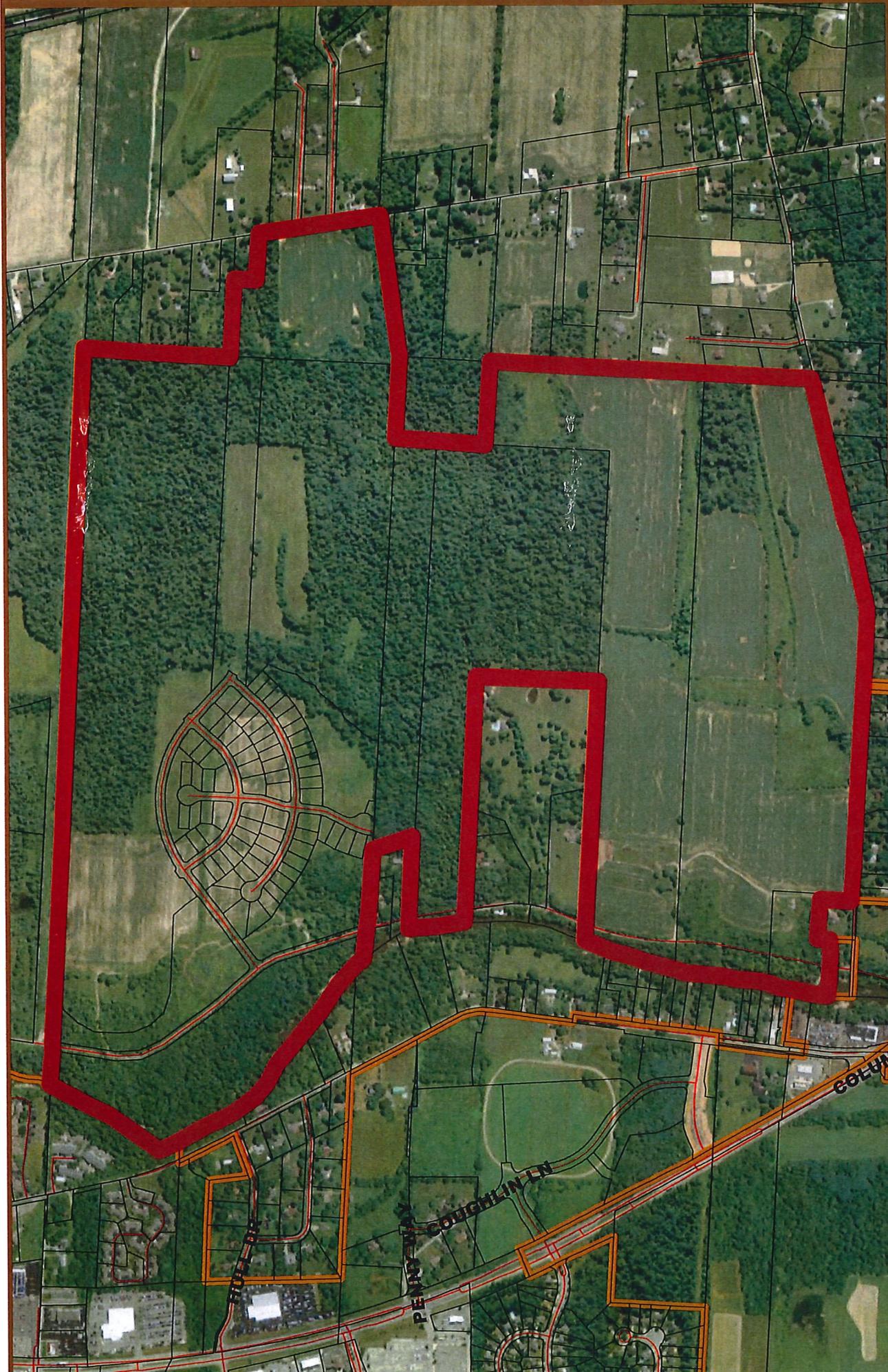
2020-0258-0261
 Rezoning Amendment, Conditional Use Permit,
 Amended Preliminary Development Plan & Subdivision Plat
 Terra Alta
 Comprehensive Plan Map





2020-0258-0261
Rezoning Amendment, Conditional Use Permit,
Amended Preliminary Development Plan & Subdivision Plat
Terra Alta
Original Subdivision Reference Map





2020-0258-0261
 Rezoning Amendment, Conditional Use Permit,
 Amended Preliminary Development Plan & Subdivision Plat
 Terra Alta
 Aerial (2016) Map

EST 1808
 CITY OF
DELAWARE
 OHIO

TERRA ALTA / STOCKDALE FARMS

City of Delaware, Delaware County, Ohio

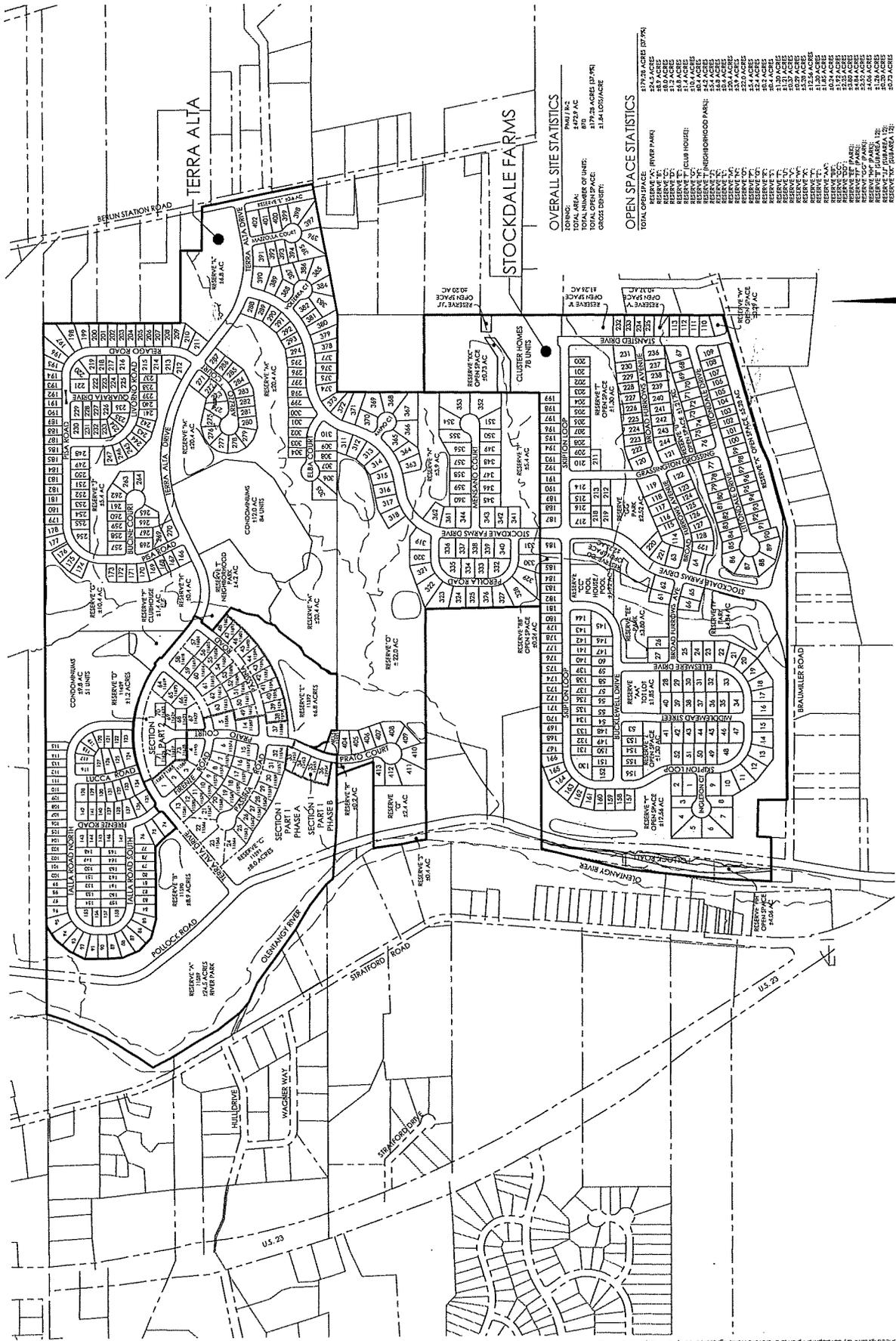
AMENDED
PRELIMINARY
DEVELOPMENT PLAN

OVERALL SITE
PLAN

TERRA ALTA LLC,
10 WEST CHEVROE ROAD
WESERVILLE OH 43081



DATE	DESCRIPTION
1/13/2020	PRELIMINARY PLAN
1/13/2020	REVISION #1
1/13/2020	REVISION #2
1/13/2020	REVISION #3
1/13/2020	REVISION #4
1/13/2020	REVISION #5
1/13/2020	REVISION #6
1/13/2020	REVISION #7
1/13/2020	REVISION #8
1/13/2020	REVISION #9
1/13/2020	REVISION #10
1/13/2020	REVISION #11
1/13/2020	REVISION #12



OVERALL SITE STATISTICS

TOTAL OPEN SPACE: 179.28 ACRES (87.7%)

TOTAL NUMBER OF UNITS: 870

TOTAL OPEN SPACE: 179.28 ACRES (87.7%)

OVERALL DENSITY: 1.34 UNITS/ACRE

OPEN SPACE STATISTICS

RESERVE #	RESERVE NAME	ACRES
RESERVE #1	RESERVE #1	179.28
RESERVE #2	RESERVE #2	179.28
RESERVE #3	RESERVE #3	179.28
RESERVE #4	RESERVE #4	179.28
RESERVE #5	RESERVE #5	179.28
RESERVE #6	RESERVE #6	179.28
RESERVE #7	RESERVE #7	179.28
RESERVE #8	RESERVE #8	179.28
RESERVE #9	RESERVE #9	179.28
RESERVE #10	RESERVE #10	179.28
RESERVE #11	RESERVE #11	179.28
RESERVE #12	RESERVE #12	179.28
RESERVE #13	RESERVE #13	179.28
RESERVE #14	RESERVE #14	179.28
RESERVE #15	RESERVE #15	179.28
RESERVE #16	RESERVE #16	179.28
RESERVE #17	RESERVE #17	179.28
RESERVE #18	RESERVE #18	179.28
RESERVE #19	RESERVE #19	179.28
RESERVE #20	RESERVE #20	179.28
RESERVE #21	RESERVE #21	179.28
RESERVE #22	RESERVE #22	179.28
RESERVE #23	RESERVE #23	179.28
RESERVE #24	RESERVE #24	179.28
RESERVE #25	RESERVE #25	179.28
RESERVE #26	RESERVE #26	179.28
RESERVE #27	RESERVE #27	179.28
RESERVE #28	RESERVE #28	179.28
RESERVE #29	RESERVE #29	179.28
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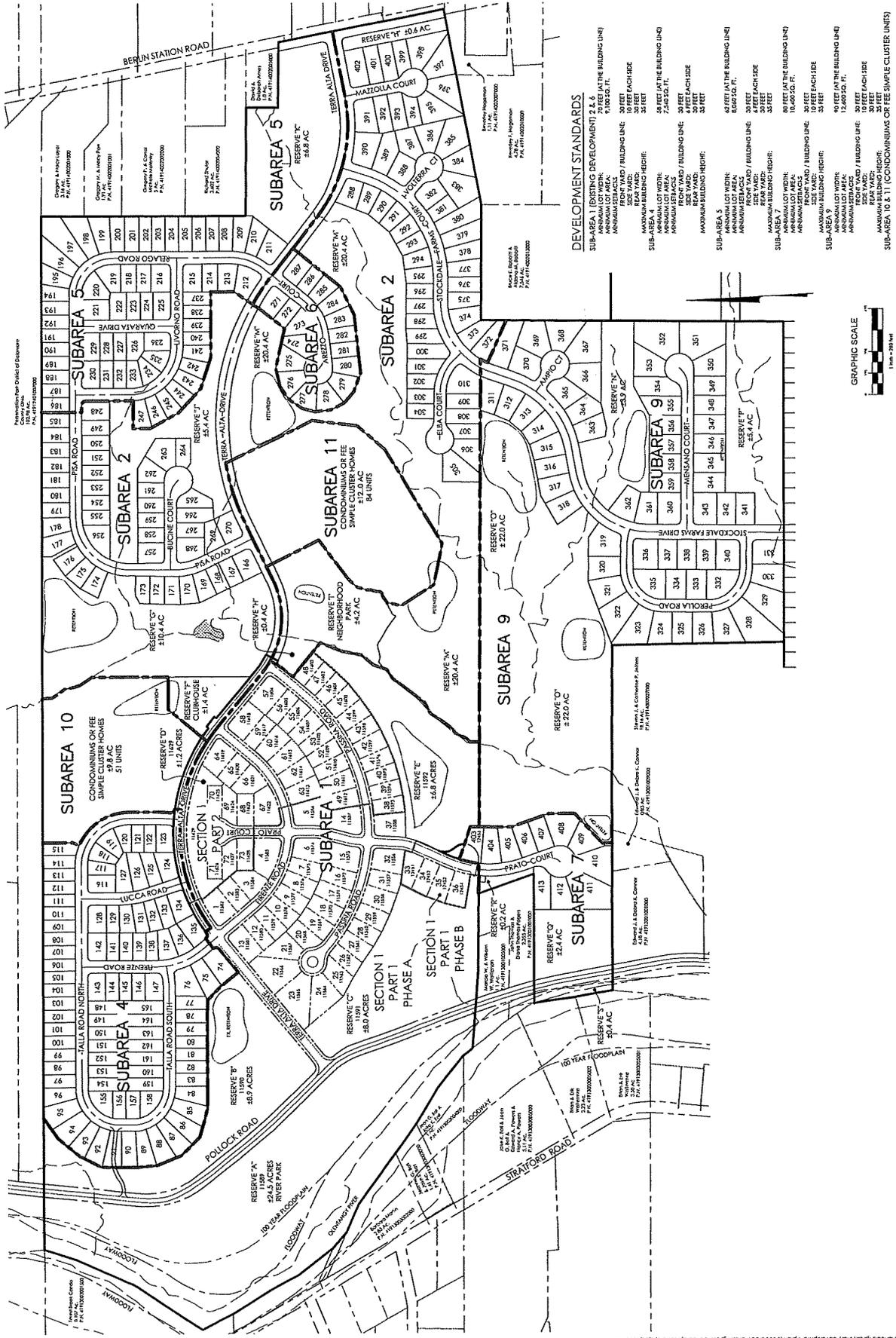
AMENDED
PRELIMINARY
DEVELOPMENT PLAN
SUBAREA PLAN

TERRA ALTA LLC
142 WEST CHERRY ROAD
WESTERVILLE OH 43081



DATE	REVISION
11/14/2023	1. PRELIMINARY DEVELOPMENT PLAN
11/14/2023	2. PRELIMINARY DEVELOPMENT PLAN
11/14/2023	3. PRELIMINARY DEVELOPMENT PLAN
11/14/2023	4. PRELIMINARY DEVELOPMENT PLAN
11/14/2023	5. PRELIMINARY DEVELOPMENT PLAN
11/14/2023	6. PRELIMINARY DEVELOPMENT PLAN
11/14/2023	7. PRELIMINARY DEVELOPMENT PLAN
11/14/2023	8. PRELIMINARY DEVELOPMENT PLAN
11/14/2023	9. PRELIMINARY DEVELOPMENT PLAN
11/14/2023	10. PRELIMINARY DEVELOPMENT PLAN

SHEET
5
13
TOTAL SHEETS



DEVELOPMENT STANDARDS

SUB-AREA 1 (EXISTING DEVELOPMENT 2 & 6)
 MINIMUM LOT WIDTH: 100.00 FT.
 MINIMUM LOT AREA: 7,100.00 SQ. FT.
 MINIMUM FRONT YARD / BUILDING LINE: 30 FEET
 MINIMUM SIDE YARD: 10 FEET EACH SIDE
 MINIMUM REAR YARD: 30 FEET
 MAXIMUM BUILDING HEIGHT: 30 FEET
 MINIMUM LOT WIDTH: 72.00 FT.
 MINIMUM LOT AREA: 5,184.00 SQ. FT.
 MINIMUM FRONT YARD / BUILDING LINE: 30 FEET
 MINIMUM SIDE YARD: 10 FEET EACH SIDE
 MINIMUM REAR YARD: 30 FEET
 MAXIMUM BUILDING HEIGHT: 30 FEET

SUB-AREA 4
 MINIMUM LOT WIDTH: 72.00 FT.
 MINIMUM LOT AREA: 5,184.00 SQ. FT.
 MINIMUM FRONT YARD / BUILDING LINE: 30 FEET
 MINIMUM SIDE YARD: 10 FEET EACH SIDE
 MINIMUM REAR YARD: 30 FEET
 MAXIMUM BUILDING HEIGHT: 30 FEET

SUB-AREA 5
 MINIMUM LOT WIDTH: 65.00 FT.
 MINIMUM LOT AREA: 4,225.00 SQ. FT.
 MINIMUM FRONT YARD / BUILDING LINE: 30 FEET
 MINIMUM SIDE YARD: 10 FEET EACH SIDE
 MINIMUM REAR YARD: 30 FEET
 MAXIMUM BUILDING HEIGHT: 30 FEET

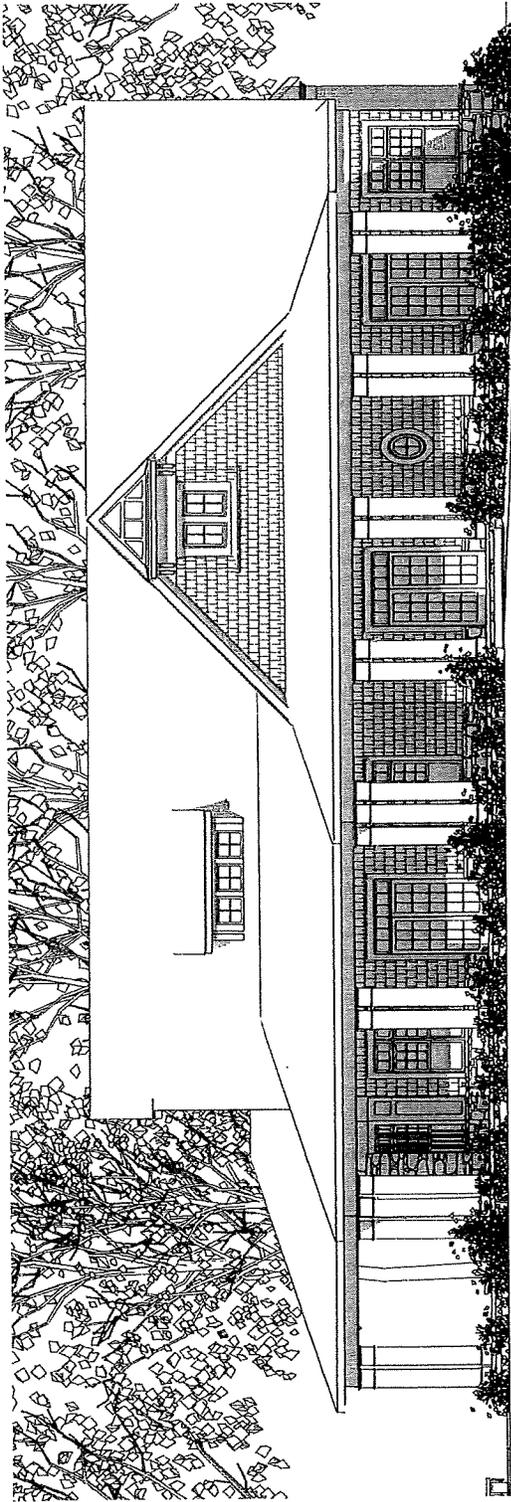
SUB-AREA 7
 MINIMUM LOT WIDTH: 65.00 FT.
 MINIMUM LOT AREA: 4,225.00 SQ. FT.
 MINIMUM FRONT YARD / BUILDING LINE: 30 FEET
 MINIMUM SIDE YARD: 10 FEET EACH SIDE
 MINIMUM REAR YARD: 30 FEET
 MAXIMUM BUILDING HEIGHT: 30 FEET

SUB-AREA 9
 MINIMUM LOT WIDTH: 65.00 FT.
 MINIMUM LOT AREA: 4,225.00 SQ. FT.
 MINIMUM FRONT YARD / BUILDING LINE: 30 FEET
 MINIMUM SIDE YARD: 10 FEET EACH SIDE
 MINIMUM REAR YARD: 30 FEET
 MAXIMUM BUILDING HEIGHT: 30 FEET

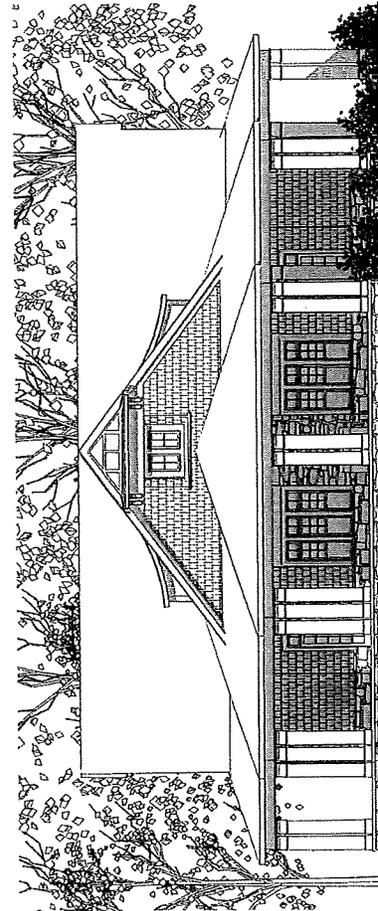
SUB-AREA 10 & 11 (CONDOMINIUMS OR FEESIMPLE CLUSTER UNITS)



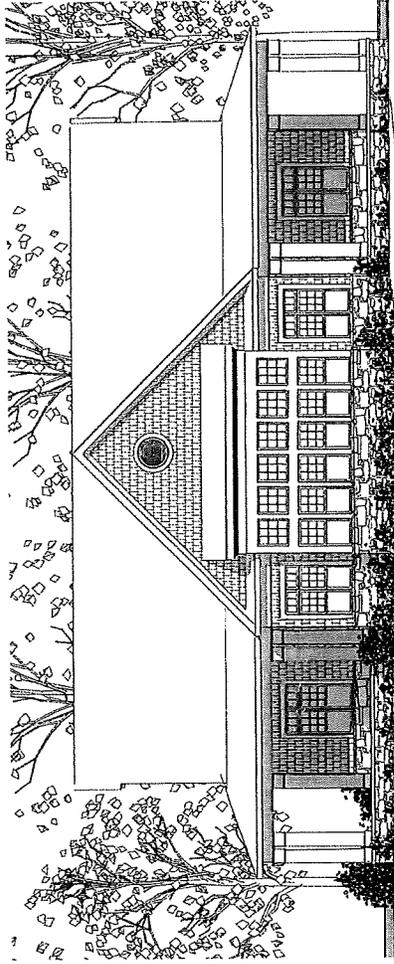
Conservation Plan District of Delaware
 2023-01-01
 PA 191-0000000



FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

ELEVATIONS



Rossmore & Hughes

Architects and Engineers

1000 North Main Street, Suite 1000

Wilmington, Delaware 19801

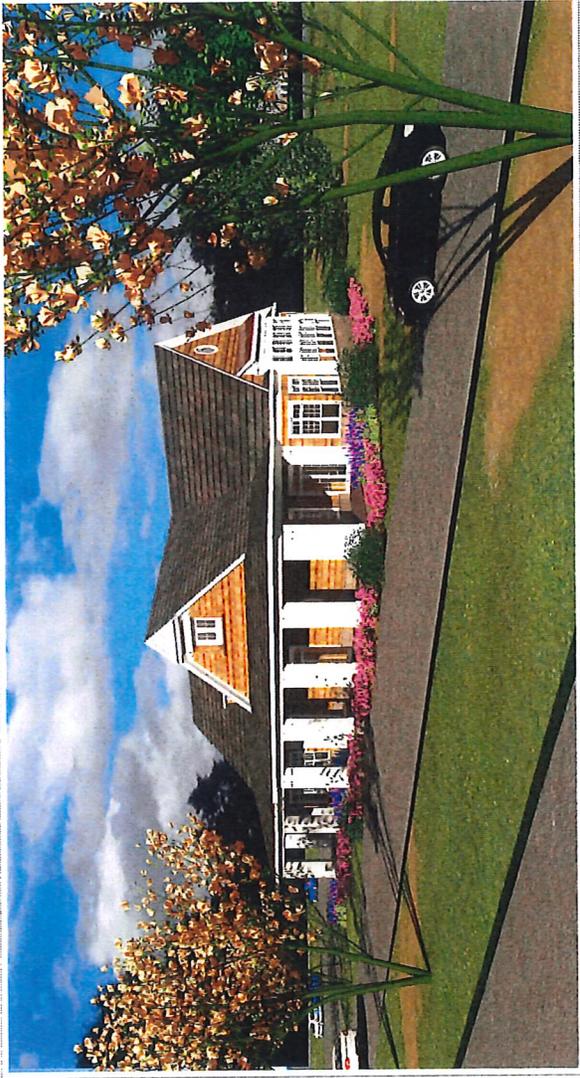
Phone: 302.426.1100

Fax: 302.426.1101

Website: www.rossmoreandhughes.com

Project Name	
Client	
Address	
City	
State	
Zip	
Scale	
Date	
Drawn By	
Checked By	
Project No.	
Sheet No.	
Sheet Title	

REG. ARCH. & ENGINEER



FRONT VIEW

RH

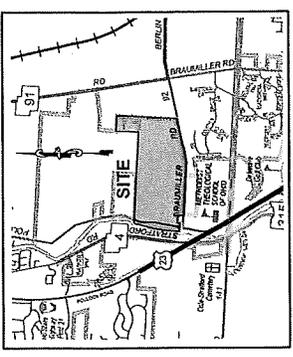
Remaselli & Hughes

Architectural Firm
 10000 N. 10th Street, Suite 100
 Phoenix, AZ 85020
 Phone: (602) 998-1111
 Fax: (602) 998-1112
 Email: info@remaselliandhughes.com

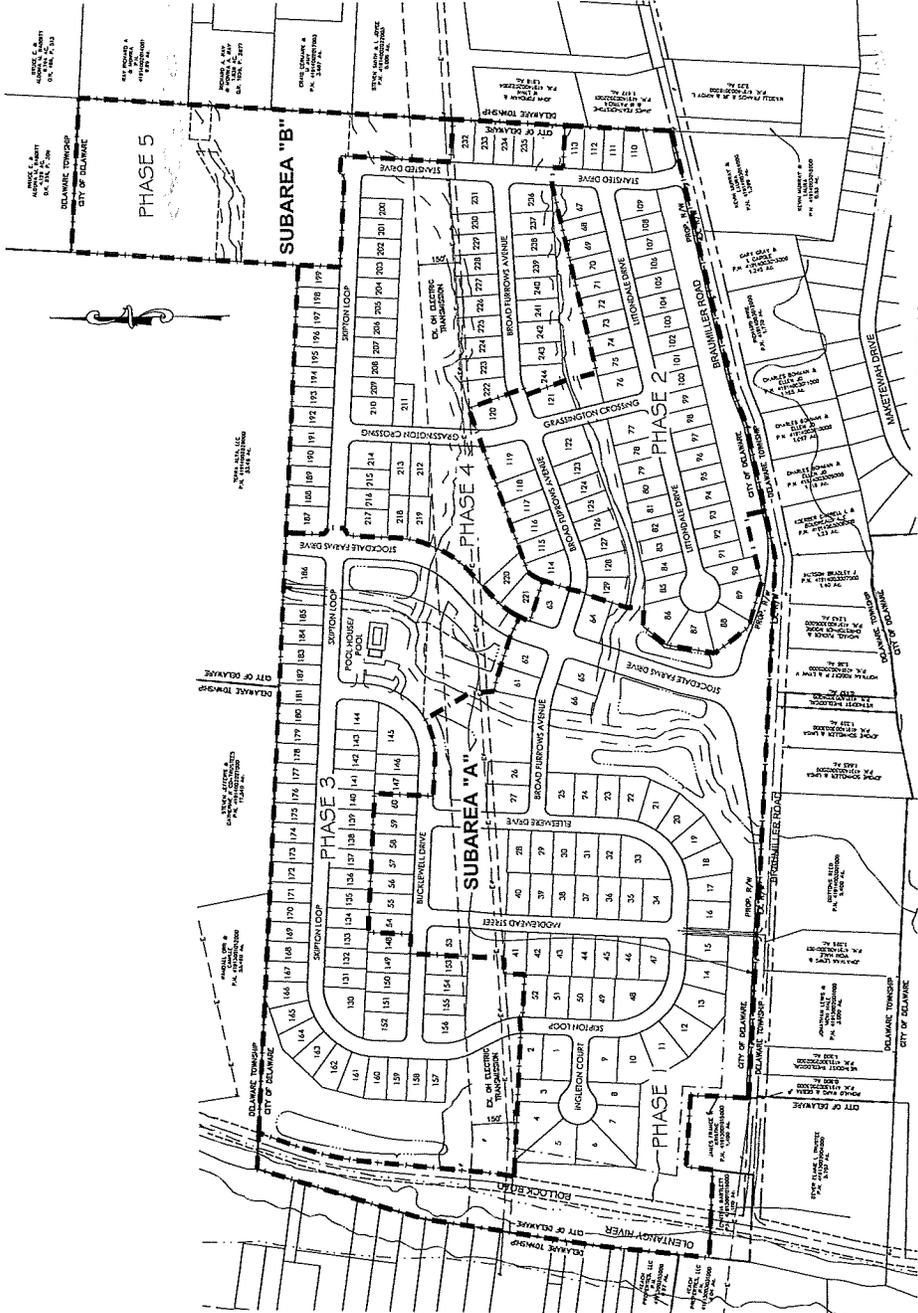
PREPARED BY: _____
 DATE: _____
 PROJECT: _____
 SHEET NO.: _____
 TOTAL SHEETS: _____

PERVA AUTO - CLUBHOUSE

CITY OF DELAWARE, DELAWARE COUNTY OHIO PRELIMINARY DEVELOPMENT PLAN FOR STOCKDALE FARMS



- INDEX OF SHEETS**
- 1 SITE SHEET
 - 2 EXISTING CONDITIONS
 - 3 PHASING & OPEN SPACE PLAN
 - 4 UTILITIES
 - 5 TYPICAL SERVICES & DETAILS
 - 6 MULTI-FACED PARK PLAN



VICINITY MAP

PRELIMINARY DEVELOPMENT PLAN
FOR
STOCKDALE FARMS
TITLE SHEET

TERRA ALTA, LLC
148 W. SCHROCK RD
WESTERVILLE, OH
43081

PLM PREPARED FOR
PLM PREPARED BY
ADVANCED
CIVIL DESIGN
422 Rouse Rd
Columbus, OH 43228
614.818.2525

SITE STATISTICS - B-3 PDU DEVELOPMENT

TOTAL SITE: 1,155.53 ACRES
 PHASE 1: 155.53 ACRES
 PHASE 2: 238 ACRES
 PHASE 3: 238 ACRES
 PHASE 4: 238 ACRES
 PHASE 5: 238 ACRES
 NET SITE AREA: 1,155.53 ACRES
 PROPOSED OPEN SPACE: 30.75 ACRES
 PROPOSED PARK SPACE: 15.33 ACRES
 CLUSTER HOUSES: 78 LOTS
 SINGLE FAMILY HOMES (OPTIONAL): 184 LOTS
 TOTAL UNITS: 262 UNITS
 GROSS DENSITY: 228 DU/ACRE

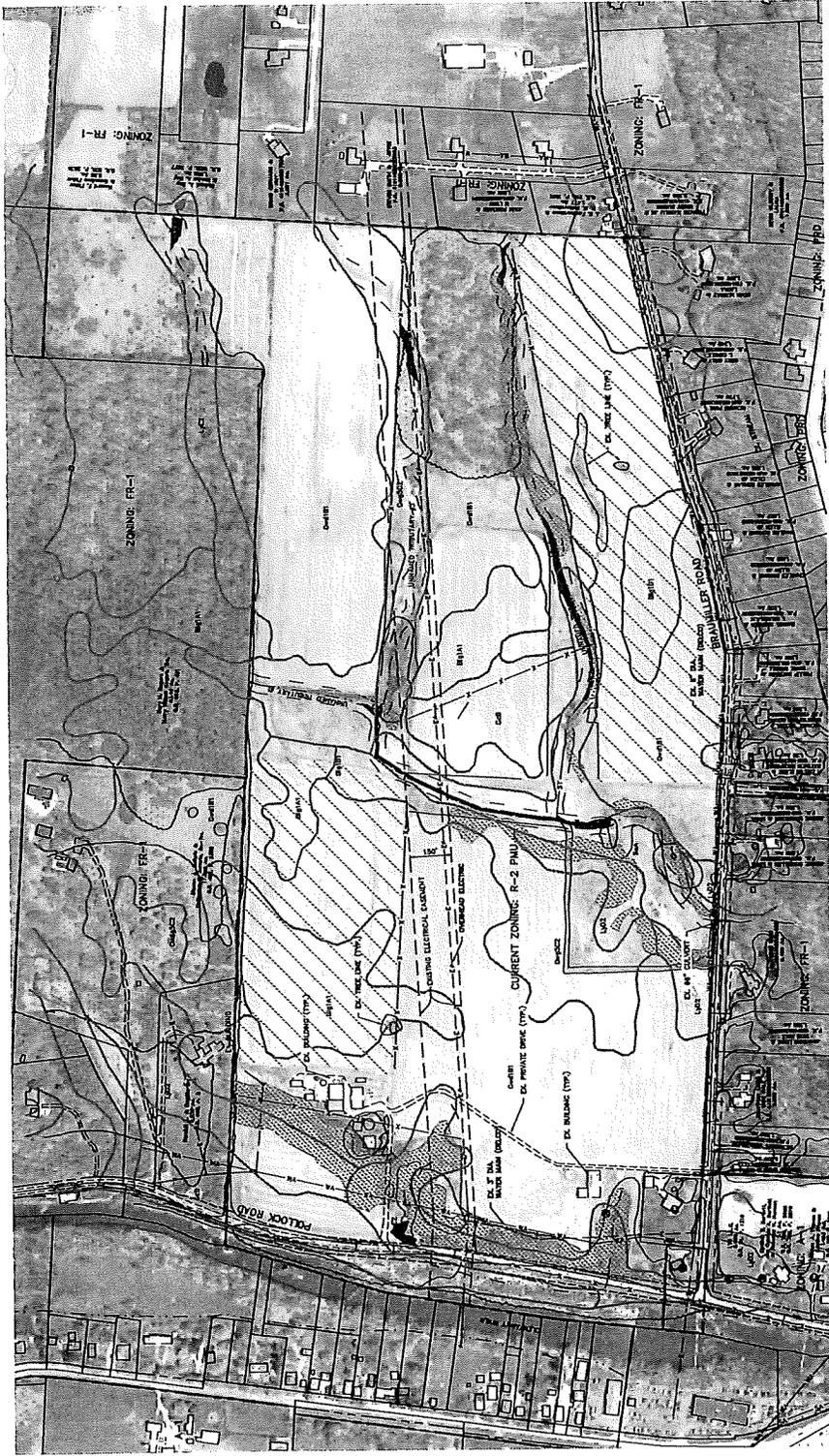
Ohio
Utilities Engineering
1000-302-2766 or 8-1-1
www.ohio.gov

OWNER / DEVELOPER
TERRA ALTA, LLC
148 WEST SCHROCK ROAD
WESTERVILLE, OH 43081
PHONE: 614-818-2525

ENGINEER
ADVANCED CIVIL DESIGN
422 Rouse Road
Columbus, OH 43228
PHONE: 614-818-2525

LANDSCAPE ARCHITECT
TERRA ALTA, LLC
148 WEST SCHROCK ROAD
WESTERVILLE, OH 43081
PHONE: 614-818-2525

Date: 04/16/2019
Scale: As Shown
Drawn By: [Blank]
Checked By: [Blank]
Project Number: 15-0022-149
Drawing Number: 1/6



LEGEND

- SOIL MAP BOUNDARY
- EXISTING BUILDING
- EXISTING WOODED AREA
- EXISTING SLOPES GREATER THAN 15%

GENERAL NOTES

1. A SEARCH OF DELAWARE COUNTY SOIL AND WATER INFORMATION ON THIS SUBJECT PROPERTY IS BEING OBTAINED AND WILL BE SUBMITTED TO THE CITY ENGINEER.

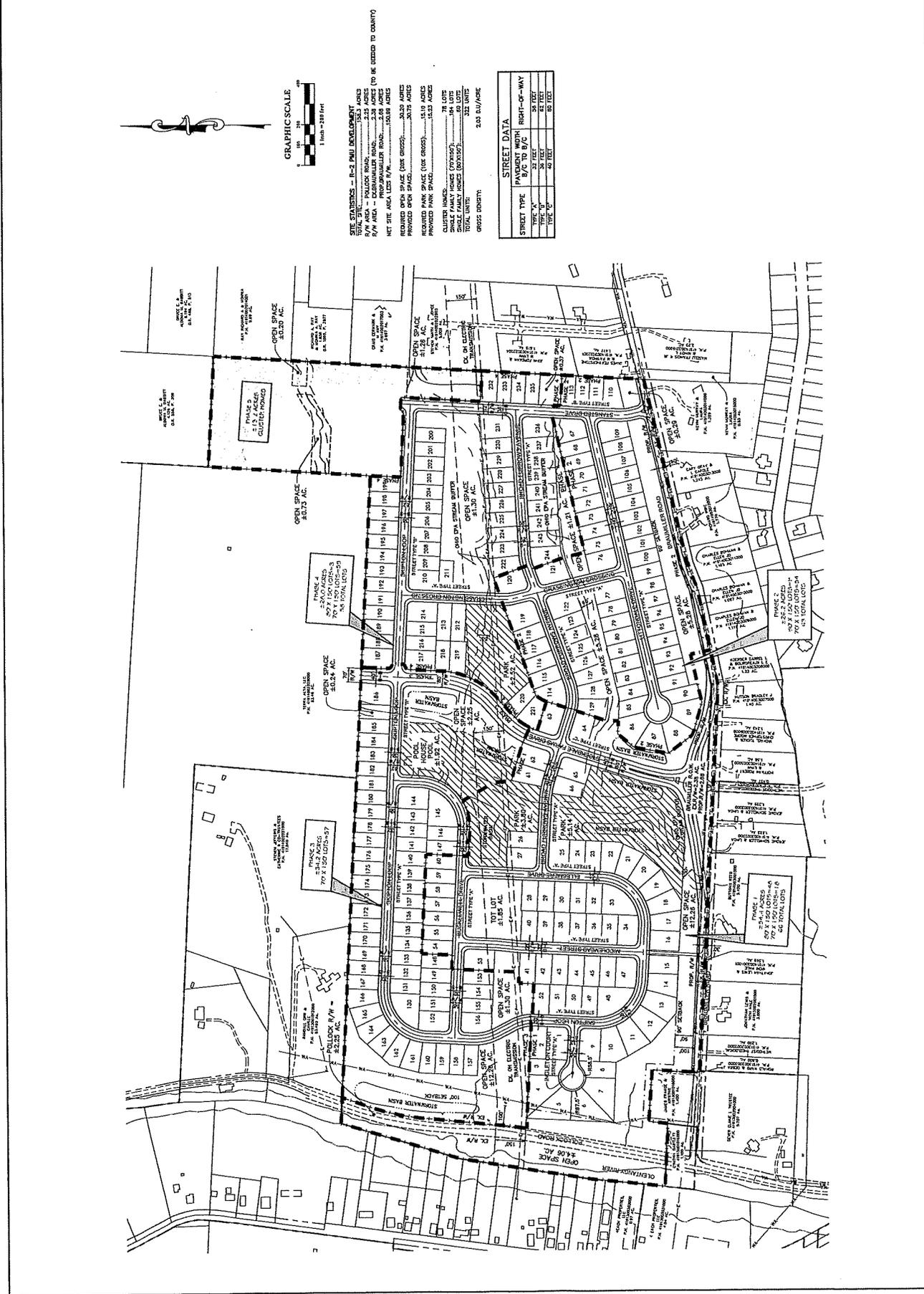
2. THE SUBJECT PROPERTY IS LOCATED IN ZONE X OR FEMA'S FLOOD HAZARD ZONE MAP APPROPRIATE.

MAP UNIT LEGEND

MAP UNIT SYMBOL	PHYSIOLOGIC DIVISION
	SOIL MAP UNIT D
	SOIL MAP UNIT B
	SOIL MAP UNIT C
	SOIL MAP UNIT E
	SOIL MAP UNIT F
	SOIL MAP UNIT G
	SOIL MAP UNIT H
	SOIL MAP UNIT I
	SOIL MAP UNIT J
	SOIL MAP UNIT K
	SOIL MAP UNIT L
	SOIL MAP UNIT M
	SOIL MAP UNIT N
	SOIL MAP UNIT O
	SOIL MAP UNIT P
	SOIL MAP UNIT Q
	SOIL MAP UNIT R
	SOIL MAP UNIT S
	SOIL MAP UNIT T
	SOIL MAP UNIT U
	SOIL MAP UNIT V
	SOIL MAP UNIT W
	SOIL MAP UNIT X
	SOIL MAP UNIT Y
	SOIL MAP UNIT Z

ZONING LEGEND

ZONING SYMBOL	ZONING TYPE
FR-1	FRONT RESIDENTIAL DISTRICT
FR-2 PMU	FRONT RESIDENTIAL DISTRICT



GRAPHIC SCALE

 1 inch = 200 feet

STREET DATA

 STREET TYPE: PARKWAY

 WIDTH: 30 FEET

 RIGHT-OF-WAY: 50 FEET

PHASING & OPEN SPACE PLAN

 PHASE 1: 20 LOTS, 21.85 AC

 PHASE 2: 20 LOTS, 21.85 AC

 PHASE 3: 20 LOTS, 21.85 AC

 PHASE 4: 20 LOTS, 21.85 AC

 PHASE 5: 20 LOTS, 21.85 AC

 PHASE 6: 20 LOTS, 21.85 AC

 PHASE 7: 20 LOTS, 21.85 AC

 PHASE 8: 20 LOTS, 21.85 AC

 PHASE 9: 20 LOTS, 21.85 AC

 PHASE 10: 20 LOTS, 21.85 AC

OPEN SPACE

 OPEN SPACE 1: 1.00 AC

 OPEN SPACE 2: 1.00 AC

 OPEN SPACE 3: 1.00 AC

 OPEN SPACE 4: 1.00 AC

 OPEN SPACE 5: 1.00 AC

 OPEN SPACE 6: 1.00 AC

 OPEN SPACE 7: 1.00 AC

 OPEN SPACE 8: 1.00 AC

 OPEN SPACE 9: 1.00 AC

 OPEN SPACE 10: 1.00 AC

NET SITE AREA

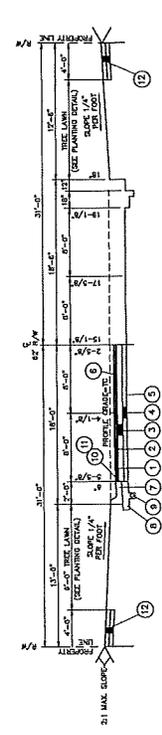
 NET SITE AREA: 100.00 AC

 TOTAL LOTS: 200

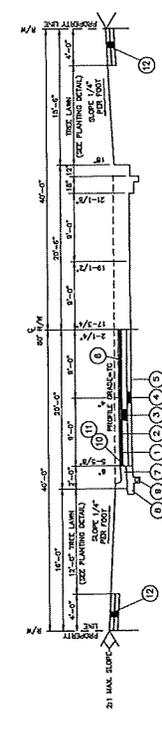
 GROSS DENSITY: 2.00 DU/AC

STATIONING

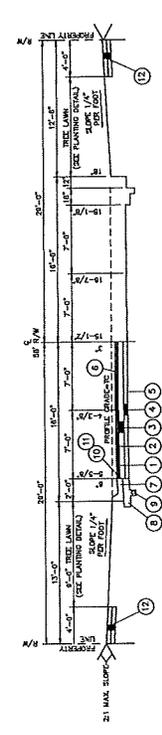
 STATIONING: 1+00 TO 1+00



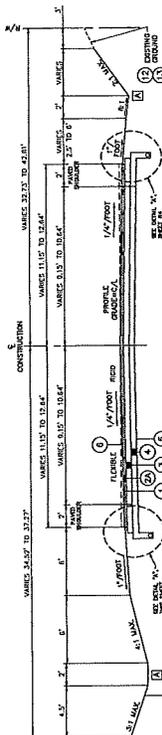
- 38' STREET TYPE "B"**
 TYPICAL SECTION (62' R.O.W.)
 WITH CONCRETE COMBINED CURB & GUTTER
 (REFER TO CITY OF DELAWARE STD. DWG. RDW-2-23)
 NO SCALE
- 1 1 1/2" ASPHALT CONCRETE, ITEM 448 TYPE 1 (MEDIUM TRAFFIC) PG 64-22
 - 2 ASPHALT CONCRETE, ITEM 448 TYPE 2 (MEDIUM TRAFFIC) PG 64-22
 - 3 COMBINATION CONCRETE CURB AND GUTTER (SEE PLANTING DETAIL)
 - 4 UNDERDRAN, ITEM 605
 - 5 ASPHALT CONCRETE BASE, ITEM 301, PG 64-22
 - 6 CRACK SEAL, ITEM 423 (EDGE JOINTS)
 - 7 CONCRETE WALK, ITEM 608 OR ITEM 304 AGG. BASE (BY LOT DEVELOPER UNDER SEPARATE CONTRACT)
 - 8 SUBGRADE COMPACTION, ITEM 203
 - 9 ASPHALT REINFORCEMENT PER SUPPLEMENTAL SPEC 1540
 - 10 TACK COAT, ITEM 407 (FACE/CURB PRIOR TO PAVING)
 - 11 UNDERDRAN, ITEM 605
 - 12 CRACK SEAL, ITEM 423 (EDGE JOINTS)



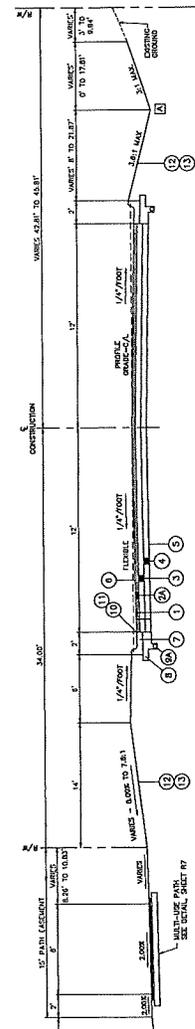
- 40' STREET TYPE "C"**
 TYPICAL SECTION (80' R.O.W.)
 WITH CONCRETE COMBINED CURB & GUTTER
 (REFER TO CITY OF DELAWARE STD. DWG. RDW-3-0)
- 1 1 1/2" ASPHALT CONCRETE, ITEM 448 TYPE 1 (MEDIUM TRAFFIC) PG 64-22
 - 2 ASPHALT CONCRETE, ITEM 448 TYPE 2 (MEDIUM TRAFFIC) PG 64-22
 - 3 COMBINATION CONCRETE CURB AND GUTTER (SEE PLANTING DETAIL)
 - 4 UNDERDRAN, ITEM 605
 - 5 ASPHALT CONCRETE BASE, ITEM 301, PG 64-22
 - 6 CRACK SEAL, ITEM 423 (EDGE JOINTS)
 - 7 CONCRETE WALK, ITEM 608 OR ITEM 304 AGG. BASE (BY LOT DEVELOPER UNDER SEPARATE CONTRACT)
 - 8 SUBGRADE COMPACTION, ITEM 203
 - 9 ASPHALT REINFORCEMENT PER SUPPLEMENTAL SPEC 1540
 - 10 TACK COAT, ITEM 407 (FACE/CURB PRIOR TO PAVING)
 - 11 UNDERDRAN, ITEM 605
 - 12 CRACK SEAL, ITEM 423 (EDGE JOINTS)



- 32' STREET TYPE "A"**
 TYPICAL SECTION (60' R.O.W.)
 WITH CONCRETE COMBINED CURB & GUTTER
 (REFER TO CITY OF DELAWARE STD. DWG. RDW-1-0)
 NO SCALE
- 1 1 1/2" ASPHALT CONCRETE, ITEM 448 TYPE 1 (MEDIUM TRAFFIC) PG 64-22
 - 2 ASPHALT CONCRETE, ITEM 448 TYPE 2 (MEDIUM TRAFFIC) PG 64-22
 - 3 COMBINATION CONCRETE CURB AND GUTTER (SEE PLANTING DETAIL)
 - 4 UNDERDRAN, ITEM 605
 - 5 ASPHALT CONCRETE BASE, ITEM 301, PG 64-22
 - 6 CRACK SEAL, ITEM 423 (EDGE JOINTS)
 - 7 CONCRETE WALK, ITEM 608 OR ITEM 304 AGG. BASE (BY LOT DEVELOPER UNDER SEPARATE CONTRACT)
 - 8 SUBGRADE COMPACTION, ITEM 203
 - 9 ASPHALT REINFORCEMENT PER SUPPLEMENTAL SPEC 1540
 - 10 TACK COAT, ITEM 407 (FACE/CURB PRIOR TO PAVING)
 - 11 UNDERDRAN, ITEM 605
 - 12 CRACK SEAL, ITEM 423 (EDGE JOINTS)



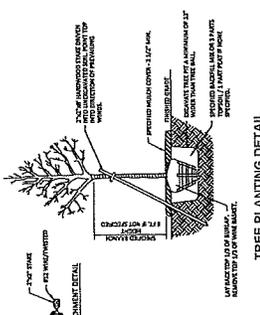
- BRAUMILLER ROAD DITCH SECTION**
 NO SCALE
- 1 1 1/2" ASPHALT CONCRETE, ITEM 448 TYPE 1 (MEDIUM TRAFFIC) PG 64-22
 - 2 ASPHALT CONCRETE, ITEM 448 TYPE 2 (MEDIUM TRAFFIC) PG 64-22
 - 3 COMBINATION CONCRETE CURB AND GUTTER (SEE PLANTING DETAIL)
 - 4 UNDERDRAN, ITEM 605
 - 5 ASPHALT CONCRETE BASE, ITEM 301, PG 64-22
 - 6 CRACK SEAL, ITEM 423 (EDGE JOINTS)
 - 7 CONCRETE WALK, ITEM 608 OR ITEM 304 AGG. BASE (BY LOT DEVELOPER UNDER SEPARATE CONTRACT)
 - 8 SUBGRADE COMPACTION, ITEM 203
 - 9 ASPHALT REINFORCEMENT PER SUPPLEMENTAL SPEC 1540
 - 10 TACK COAT, ITEM 407 (FACE/CURB PRIOR TO PAVING)
 - 11 UNDERDRAN, ITEM 605
 - 12 CRACK SEAL, ITEM 423 (EDGE JOINTS)



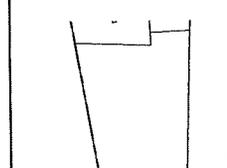
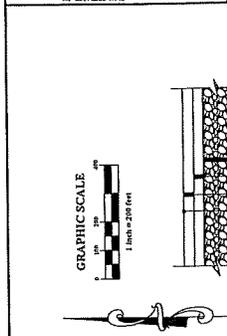
- BRAUMILLER ROAD CURB & GUTTER SECTION**
 NO SCALE
- 1 1 1/2" ASPHALT CONCRETE, ITEM 448 TYPE 1 (MEDIUM TRAFFIC) PG 64-22
 - 2 ASPHALT CONCRETE, ITEM 448 TYPE 2 (MEDIUM TRAFFIC) PG 64-22
 - 3 COMBINATION CONCRETE CURB AND GUTTER (SEE PLANTING DETAIL)
 - 4 UNDERDRAN, ITEM 605
 - 5 ASPHALT CONCRETE BASE, ITEM 301, PG 64-22
 - 6 CRACK SEAL, ITEM 423 (EDGE JOINTS)
 - 7 CONCRETE WALK, ITEM 608 OR ITEM 304 AGG. BASE (BY LOT DEVELOPER UNDER SEPARATE CONTRACT)
 - 8 SUBGRADE COMPACTION, ITEM 203
 - 9 ASPHALT REINFORCEMENT PER SUPPLEMENTAL SPEC 1540
 - 10 TACK COAT, ITEM 407 (FACE/CURB PRIOR TO PAVING)
 - 11 UNDERDRAN, ITEM 605
 - 12 CRACK SEAL, ITEM 423 (EDGE JOINTS)

BRAUMILLER ROAD TYPICAL SECTION LEGEND

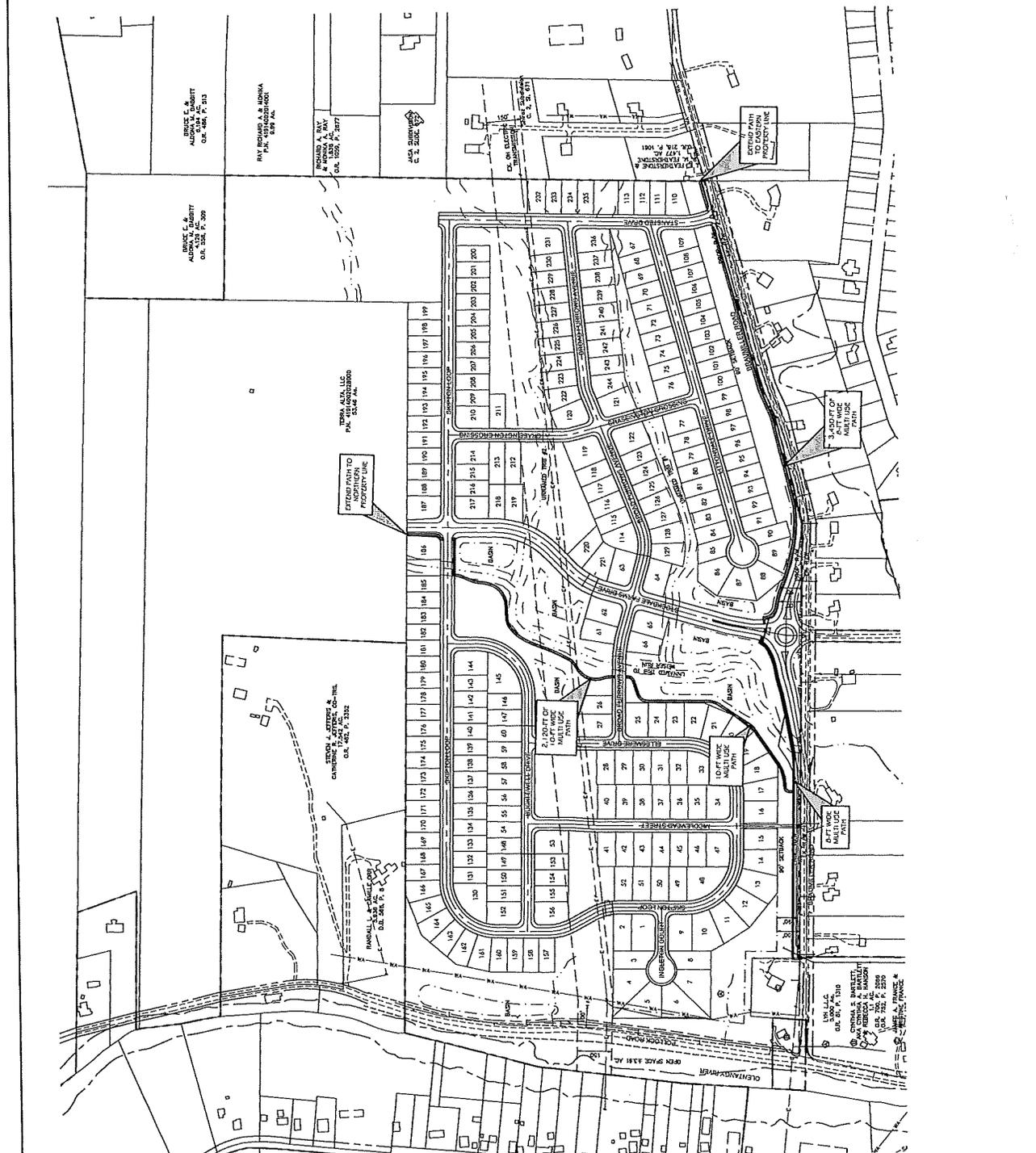
- 1 1 1/2" ASPHALT CONCRETE, ITEM 448 TYPE 1, SURFACE COURSE (MEDIUM TRAFFIC) PG 64-22
- 2 ASPHALT CONCRETE, ITEM 448 TYPE 2, INTERMEDIATE COURSE (MEDIUM TRAFFIC) PG 64-22
- 3 1 1/2" ASPHALT CONCRETE, ITEM 448 TYPE 2, INTERMEDIATE COURSE (MEDIUM TRAFFIC) PG 64-22
- 4 ASPHALT CONCRETE BASE, ITEM 304
- 5 PORTLAND CEMENT CONCRETE BASE, CLASS "C", ITEM 305 OR RCC SUPPLEMENTAL SPEC 1523
- 6 SUBGRADE COMPACTION, ITEM 204
- 7 ASPHALT REINFORCEMENT PER SUPPLEMENTAL SPEC 1540
- 8 STANDARD CONCRETE COMBINED CURB & GUTTER, ITEM 609 (PER RDW-30-0).
- 9 NO. 8 OR NO. 57 AGGREGATE
- 4" UNDERDRAN, ITEM 605
- 6" UNDERDRAN, ITEM 605
- TACK COAT, ITEM 407 (FACE OF CURB PRIOR TO PAVING)
- CRACK SEAL, ITEM 423 (EDGE JOINTS)



- TREE PLANTING DETAIL**
 NO SCALE
- 1 1 1/2" ASPHALT CONCRETE, ITEM 448 TYPE 1 (MEDIUM TRAFFIC) PG 64-22
 - 2 ASPHALT CONCRETE, ITEM 448 TYPE 2 (MEDIUM TRAFFIC) PG 64-22
 - 3 COMBINATION CONCRETE CURB AND GUTTER (SEE PLANTING DETAIL)
 - 4 UNDERDRAN, ITEM 605
 - 5 ASPHALT CONCRETE BASE, ITEM 301, PG 64-22
 - 6 CRACK SEAL, ITEM 423 (EDGE JOINTS)
 - 7 CONCRETE WALK, ITEM 608 OR ITEM 304 AGG. BASE (BY LOT DEVELOPER UNDER SEPARATE CONTRACT)
 - 8 SUBGRADE COMPACTION, ITEM 203
 - 9 ASPHALT REINFORCEMENT PER SUPPLEMENTAL SPEC 1540
 - 10 TACK COAT, ITEM 407 (FACE/CURB PRIOR TO PAVING)
 - 11 UNDERDRAN, ITEM 605
 - 12 CRACK SEAL, ITEM 423 (EDGE JOINTS)



SITE STATISTICS - B-2 PAU DEVELOPMENT
 TOTAL SITE AREA: 353.3 ACRES
 TOTAL PAU AREA: 100.0 ACRES
 P/W AREA - EXHIBITABLE PARK: 2.8 ACRES
 PROPRIETARY ROAD: 15.8 ACRES
 NET SITE AREA LEFT TO COUNTY (TO BE DEDED TO COUNTY)
 REQUIRED OPEN SPACE (USE GROUP): 20.50 ACRES
 PROVIDED PARK SPACE: 15.83 ACRES
 CUL-DE-SACS: 74 LOTS
 SINGLE FAMILY HOMES (SFR) LOTS: 184 LOTS
 MULTIFAMILY HOMES (MFL) LOTS: 322 UNITS
 TOTAL LOTS: 258 LOTS
 DENSITY: 2.62 UNITS/ACRE



16-0022-149-PRELIMINARY DEVELOPMENT PLAN FOR STOCKPILE FARMS
 APR 18, 2013 - 10:02:13am

REVISIONS	

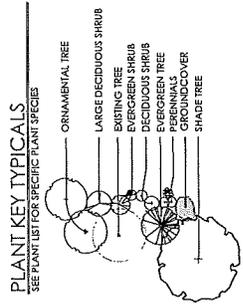
STREET TREE
PLAN

STOCKDALE FARMS
LTH, LLC
5655 W. KERRY ROAD
DUBLIN, OH 43019

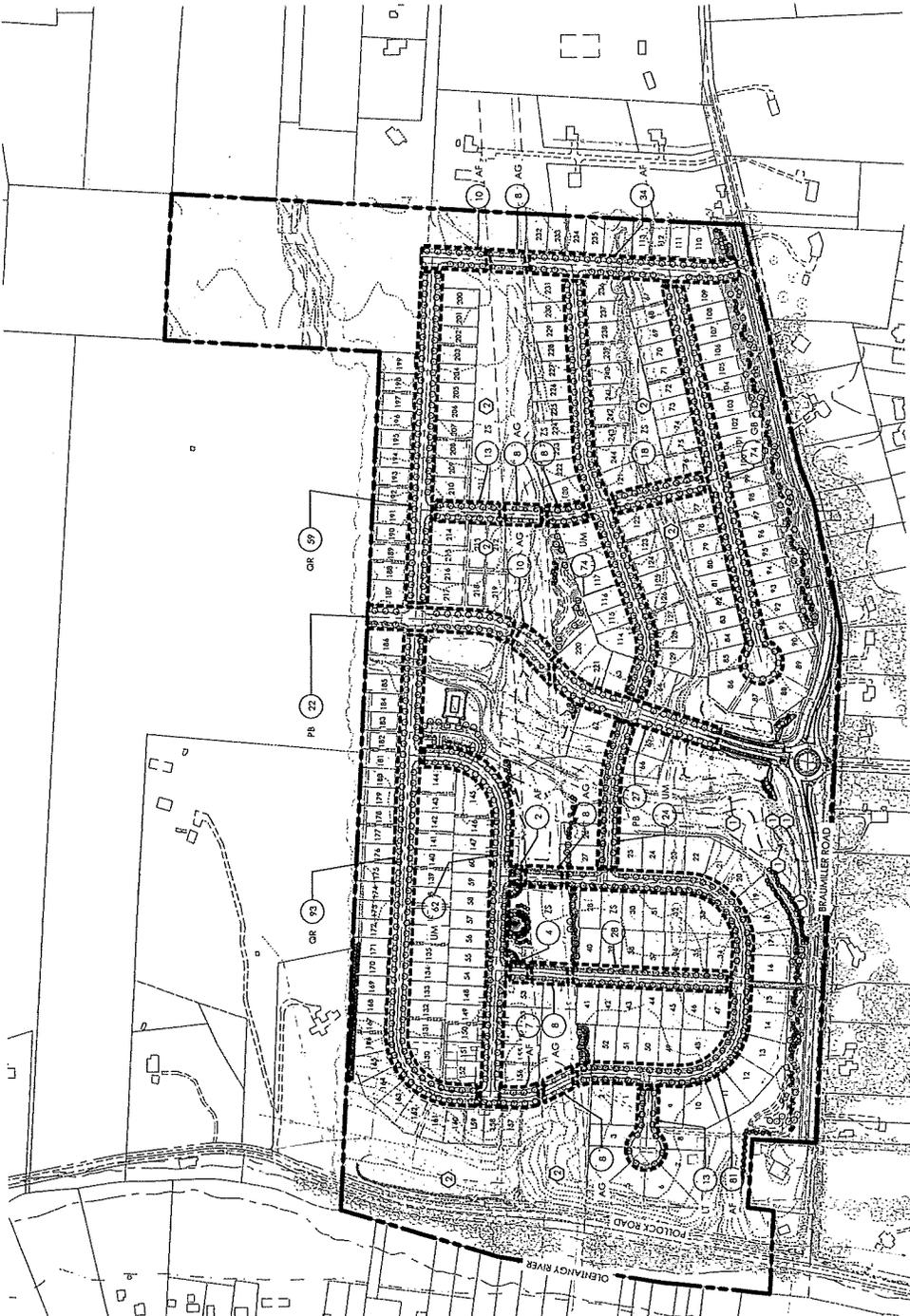
Farris Planning & Design
LANDSCAPE ARCHITECTS
5178 431
2431, 251 Street
Columbus, OH 43215
www.farrisplanningdesign.com
p (614) 493-1944

DATE	4/19/2019
PROJECT	15027
SHEET	

EX-D.1



CONSTRUCTION NOTES:
 ① LANDSCAPE LIGHTING - LOW VOLTAGE LED BY KICHLER
 ② 12.4 WATT, 19.52 AC
 ③ MEADOW SEED MIX



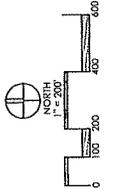
PLANT LIST
(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	LET	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARK
134	AF	Acer x freemantii 'Janna's Glen'	SIENNA GLEN MAPLE	1 3/4" CAL.	BAB	MATCH FORM
50	AG	Acer ginnala	AMUR MAPLE	1 3/4" CAL.	BAB	MATCH FORM
74	GB	Ginkgo biloba 'Autumn Gold'	AUTUMN GOLD GINKGO	1 3/4" CAL.	BAB	MATCH FORM
13	IL	Illicium tulipifera	BLACKSPOOD LONDON PLANE TREE	1 3/4" CAL.	BAB	MATCH FORM
152	CB	Chorizanthe rubra 'Bloodgood'	BLOODGOOD	1 3/4" CAL.	BAB	MATCH FORM
160	UM	Ulmus 'Mallory'	RED OAK	1 3/4" CAL.	BAB	MATCH FORM
71	ZS	Zelkova serrata 'Green Vase'	MCRICON ELM	1 3/4" CAL.	BAB	MATCH FORM
			GREEN VASE ZELKOVA	1 3/4" CAL.	BAB	MATCH FORM

*SPECIES / LOCATION TO BE APPROVED BY ELECTRIC BASEMENT OWNER

GENERAL NOTES

- TREES ARE TO BE MEASURED AT BREAST HEIGHT



NO.	REVISIONS

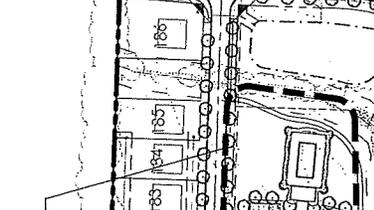
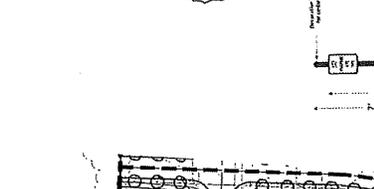
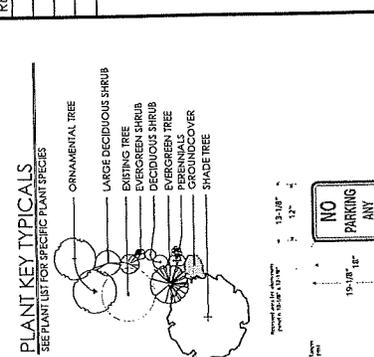
STOCKDALE FARMS
 5695 AVERY ROAD
 DUBLIN, OH 43016
 LTH, LLC
 LANDSCAPE ARCHITECTURE
 2134 25th Street
 Columbus, OH 43215
 (614) 471-1844
 www.stockdalefarms.com

FAIR'S PLANNING & DESIGN
 LANDSCAPE ARCHITECTURE
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 Columbus, OH 43215
 (614) 471-1844
 www.fairsp.com

DATE 4/19/2019
 PROJECT 15027

EX-D.2

BUFFER & SCREENING
 LANDSCAPE PLAN
 - WESTERN HALF



NOTES:
 - FENCE BOARDS - BOARDS SHALL BE 1" X 6" X 16' POPLAR, PRESSURE TREATED, THE BOARDS SHALL BE SOUND, STRAIGHT AND FREE OF KNOTS AND SHAKES
 - PAINTING SHALL BE A 30 MIN. STAINLESS GALVANIZED
 - FASTENERS SHALL BE 1/2" DIA. STAINLESS GALVANIZED

1 EMERGENCY ACCESS FIRE LANE SIGNAGE
 (OR PER DELAWARE FIRE DEPT. STANDARD)

2 2-RAIL FENCE
 N.T.S.

PLANT LIST - REPLACEMENT
 (CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARK
10	PAR	Ficus alba	NORWAY SPRUCE	8' HT.	B&B	
30	PGR	Ficus alba	WHITE SPRUCE	8' HT.	B&B	
17	UMR	Ulmus 'Wortoni'	MORTON ELM	3/2" CAL.	B&B	
685.5 CAL. IN.						

PLANT LIST - BUFFER
 (CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

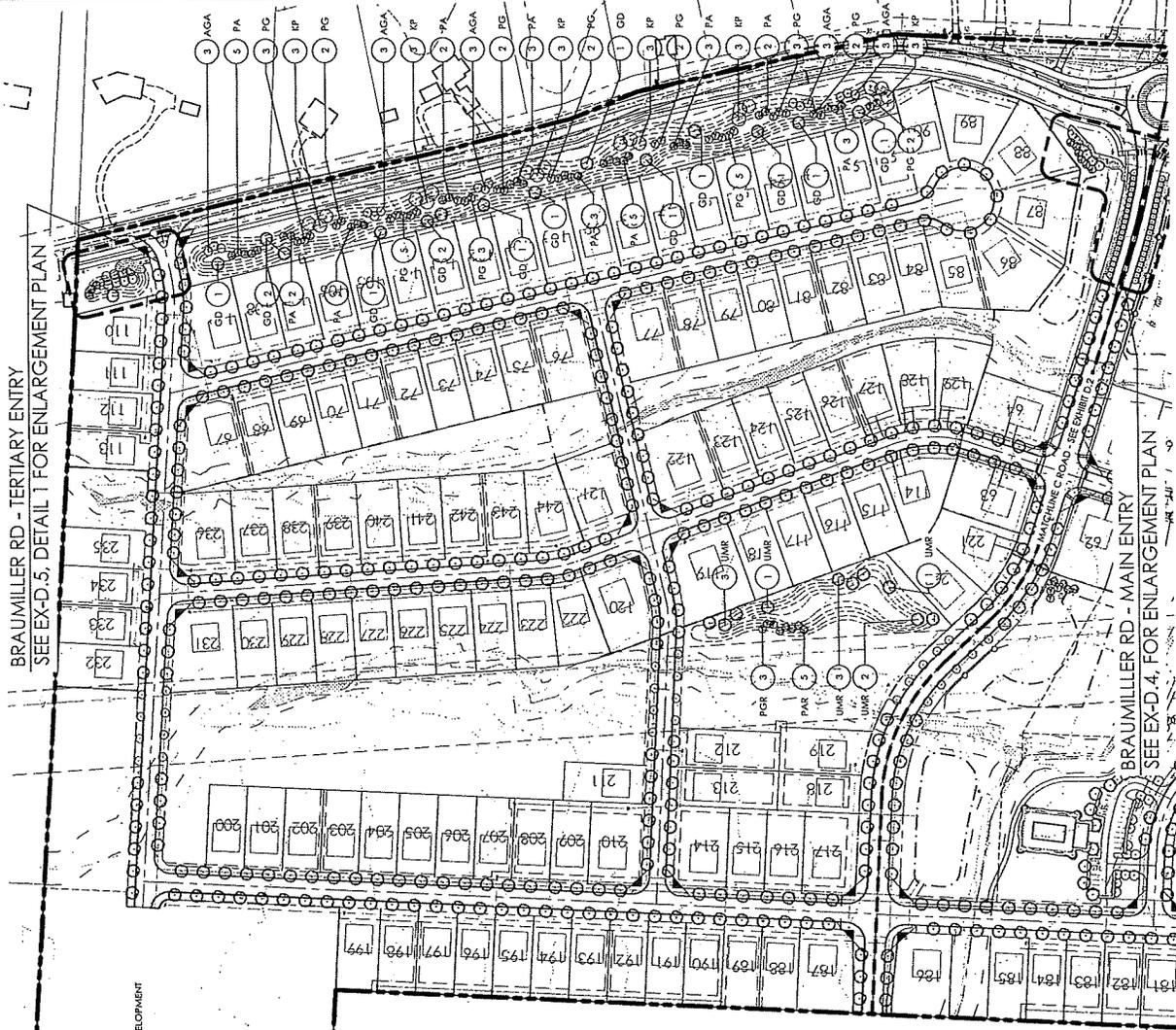
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARK
15	AGA	Amelanchier x grandiflora 'Autumn Brilliance'	AUTUMN BRILLIANCE SERVICEBERRY	6' HT.	B&B	
10	GD	Gymnocladus dioica	KENTUCKY COFFEE TREE	1 1/2" CAL.	B&B	
6	KP	Koeleria paniculata	GOLDEN RAIN TREE	8' HT.	B&B	
20	PA	Ficus alba	NORWAY SPRUCE	8' HT.	B&B	
21	PG	Ficus alba	WHITE SPRUCE	8' HT.	B&B	
PERENNIAL / ORNAMENTAL GRASSES						
25	MS	Miscanthus sinensis 'Gracillimus'	GRACILLIMUS MARDEN GRASS	NO. 2	CONT.	



POOL HOUSE AND POOL
 SEE EX-D.5, DETAIL 2 FOR ENLARGEMENT PLAN

TOT LOT
 SEE EX-D.5.1 FOR ENLARGEMENT PLAN

BRAUMILLER ROAD - MAIN ENTRY
 SEE EX-D.4 FOR ENLARGEMENT PLAN



BRAUMILLER RD - TERTIARY ENTRY
 SEE EX-D.5, DETAIL 1 FOR ENLARGEMENT PLAN

BRAUMILLER RD - MAIN ENTRY
 SEE EX-D.4, FOR ENLARGEMENT PLAN

PLANT LIST - REPLACEMENT

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	SET	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARK
5	BAR	<i>Picea canadensis</i>	NORWAY SPRUCE	8' HT.	B&S	
3	FR	<i>Picea glauca</i>	WHITE SPRUCE	8' HT.	B&S	
10	UMR	<i>Ulmus 'Morton'</i>	MORTON ELM	3 1/2" CAL.	B&S	
87	CALL INCHES					

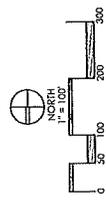
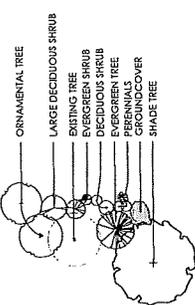
PLANT LIST - BUFFER

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	SET	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARK
15	AGA	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	AUTUMN BRILLIANCE SERVICEBERRY	6' HT.	B&S	
14	GD	<i>Gymnocladia dioica</i>	KENTUCKY COFFEE TREE	3 1/2" CAL.	B&S	CULMP
18	FR	<i>Fraxinus pennsylvanica</i>	GOLDEN YAHN TREE	1 1/2" CAL.	B&S	
31	PA	<i>Picea canadensis</i>	NORWAY SPRUCE	8' HT.	B&S	
31	PG	<i>Picea glauca</i>	WHITE SPRUCE	8' HT.	B&S	

PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



NO.	REVISIONS

**BRAUMILLER ROAD
- MAIN ENTRY
ENLARGEMENT PLAN**

STOCKDALE FARMS
LTH, LLC
4455 AVENUE ROAD
DUBLIN, OH 43015

Faris Planning & Design
LANDSCAPE ARCHITECTURE
Site #01
2414 2813RD
P.O. BOX 122184
COLUMBUS, OH 43212
www.farisplanninganddesign.com

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PROJECT	15027
SHEET	

EX-D.4

PLANT LIST - REPLACEMENTS
(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

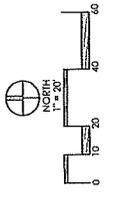
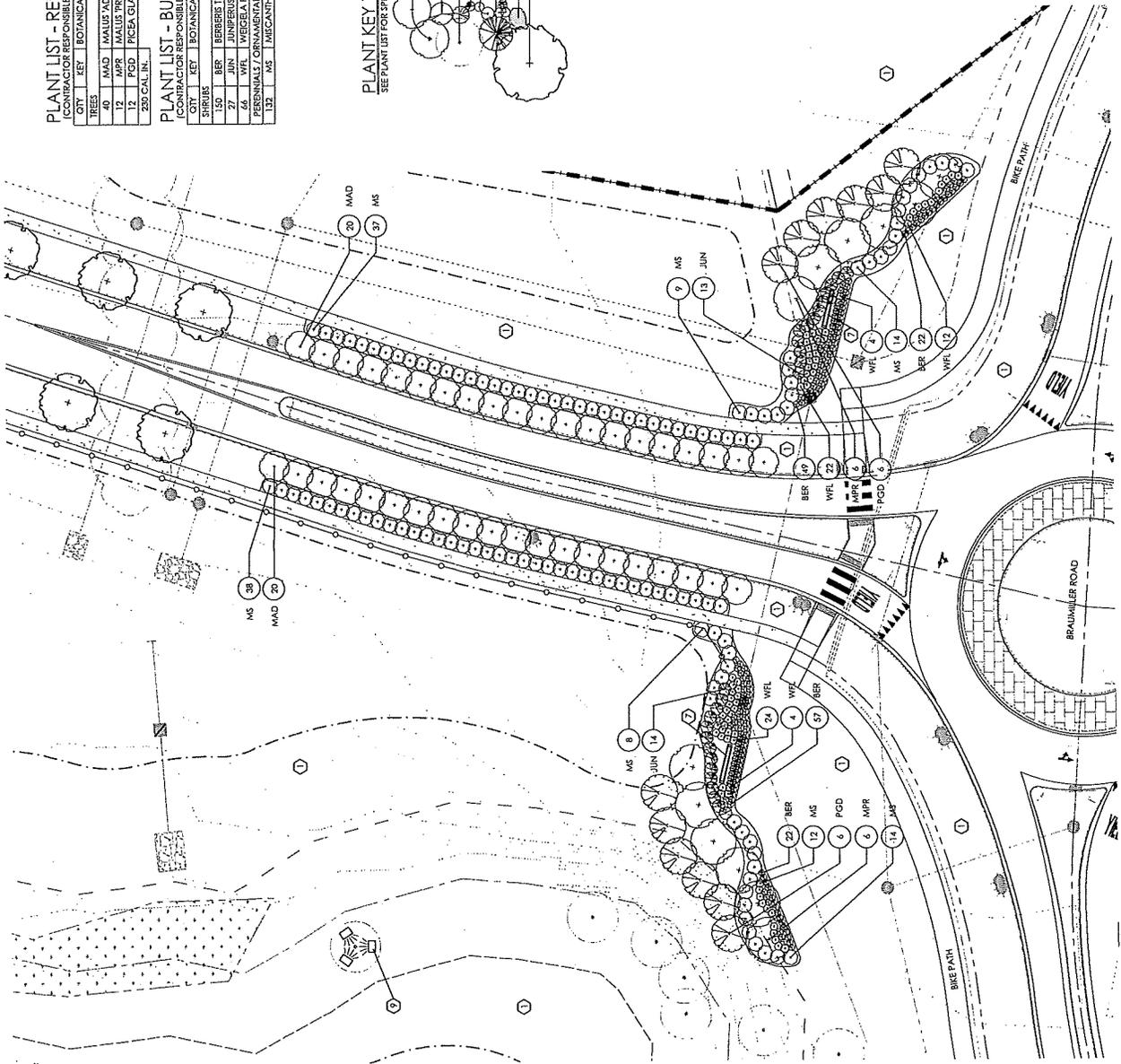
QTY	KEY	BOTANICAL NAME	COMMON NAME	SEE	COND.	REMARK
40	MAD	MALUS 'ADIRONDACK'	LABURNAGE CRABAPPLE	3 1/2" CALL	B&B	MATCH FORA
12	MPR	PRUNUS 'COLUMBIANA'	PRUNUS COLUMBIANA	3 1/2" CALL	B&B	MATCH FORA
12	PCD	PRUNUS 'SABINA'	WHIE PRUNCE	8" HT.	B&B	
250	CALL INL.					

PLANT LIST - BUFFER
(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SEE	COND.	REMARK
50	BER	Berberis thunbergii 'BOGOTAN'	BONANZA GOLD BARBERRY	12" SPR.	CONT.	
35	JUN	Juniperus virginiana 'GREY OWL'	GREY OWL JUNIPER	18" SPR.	B&B	
44	WFL	Wiegelia florida 'TANGCO'	TANGCO WIEGELA	18" HT.	CONT.	
132	MS	Miscanthus sinensis 'ORACULUMIS'	ORACULUMIS MAIDEN GRASS	NO. 2	CONT.	

- CONSTRUCTION NOTES:**
- LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES
 - NOT USED
 - CONCRETE PAD
 - STONE BENCH, SEE DETAIL 5, SHEET EX-D.4
 - GOLD DUST AGGREGATE PAVING, SEE DETAIL, SHEET EX-D.5
 - SHELTER, SEE DETAIL 5, SHEET EX-D.7
 - MAIN ENTRY SIGN, SEE DETAILS 1, 2, & 4, SHEET EX-D.6
 - STACKPILED GRANITE BOULDER SLOPE REINFORCEMENT
 - LANDSCAPE LIGHTING - LOW VOLTAGE LED BY KICHLER 12.4 WATT, 15752 AIT

- PLANT KEY TYPICALS**
SEE PLANT LIST FOR SPECIFIC PLANT SPECIES
- ORNAMENTAL TREE
 - LARGE DECIDUOUS SHRUB
 - EXISTING TREE
 - EVERGREEN SHRUB
 - DECIDUOUS SHRUB
 - EVERGREEN TREE
 - PERENNIALS
 - SHADE TREE



REVISED	DATE	DESCRIPTION

POOL HOUSE / POOL & TERTIARY ENTRY ENLARGEMENT PLANS

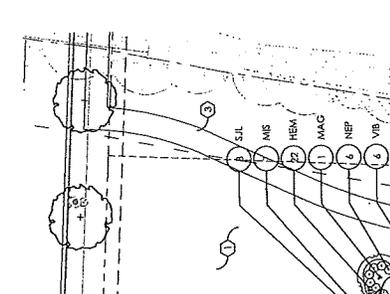
STOCKDALE FARMS
LTH, LLC
5455 AUSTIN ROAD
DUBLIN, OH 43016

LAND PLANNING
LANDSCAPE ARCHITECTURE
5455 AUSTIN ROAD
DUBLIN, OH 43016
P (614) 481-1944
www.landplanninganddesign.com

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SHEET

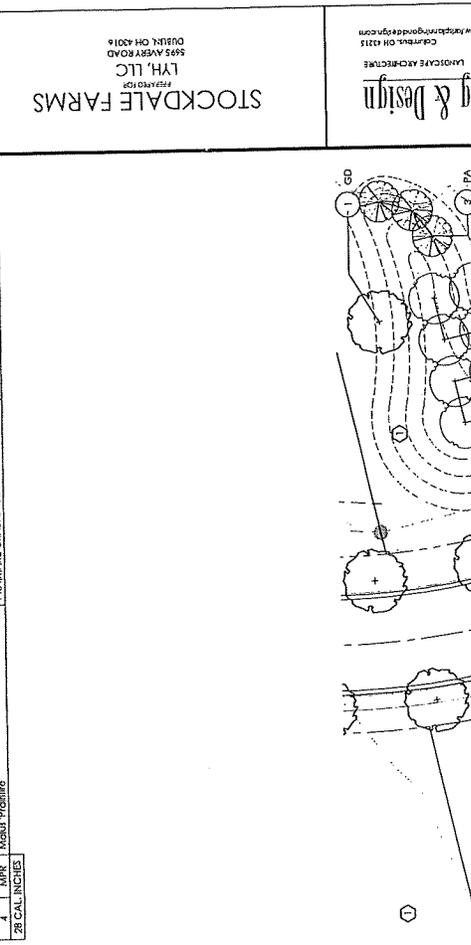
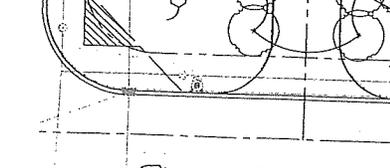
EX-D.5

CONSTRUCTION NOTES:
 ① LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES
 ② ASPHALT PATH
 ③ SECONDARY SIGN, SEE DETAIL 3 AND 4, SHEET EX-D.4



PLANT LIST - REPLACEMENT
 (CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARK
1	MAG	Japanese Crabapple	JAPANESE CRABAPPLE	3 1/2" CAL.	B&B	MATCH FORM
4	MFR	Prairrie Crabapple	PRAIRRIE CRABAPPLE	3 1/2" CAL.	B&B	MATCH FORM
4	MFR	Prairrie Crabapple	PRAIRRIE CRABAPPLE	3 1/2" CAL.	B&B	MATCH FORM
28				28 CAL. INCHES		



PLANT LIST - BUFFER
 (CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARK
4	GB	Shorea robusta	AULIUM GOLD GINKGO	1 1/2" CAL.	B&B	
4	GB	Camellia japonica	KENTUCKY COFFEE TREE	1 1/2" CAL.	B&B	
4	MAG	Maecadia virginiana	SWEET BAY MAGNOLIA	1 1/2" CAL.	B&B	
4	MFR	Malus floribunda	JAPANESE CRABAPPLE	1 1/2" CAL.	B&B	
13	MFR	Malus 'Prairrie'	PRAIRRIE CRABAPPLE	1 1/2" CAL.	B&B	
4	RS	Zelkova serrata	Green Vase'	6" HT.	B&B	
3	PA	Ficus sibirica	NORWAY SPRUCE	6" HT.	B&B	
42	BT	Isotria medeolae	BONANNA GOLD BARBERRY	18" SPR.	CONT.	
72	BUX	Boxwood	GREEN VELVET BOXWOOD	18" SPR.	CONT.	
72	HYD	Hydrangea	OAKLEAF HYDRANGEA	36" HT.	CONT.	
16	IRV	Ilex	HENRY'S GARNIE SWIRESPICE	24" HT.	CONT.	
8	ROS	Rosa x 'Rozalux'	DOUBLE KNOCKOUT ROSE	18" HT.	CONT.	
16	SIL	Spirea japonica	LITTLE PRINCESS SPIREA	36" HT.	CONT.	
24	WF	Wormwood	BLUE JOURNEY VIBURNUM	36" HT.	CONT.	
8	WF	Waldenia	TANGO VEGGIA	36" HT.	CONT.	
90	HEM	Hemerocallis	STELLA DE GLO DAVELY	NO. 1	CONT.	
22	SK	Sedum	SILVER SUNKISS LITURBE	NO. 1	CONT.	
33	SK	Sedum	ADAGIO MAIDEN GRASS	NO. 2	CONT.	
33	MS	Miscanthus	VARIEGATED MAIDEN GRASS	NO. 1	CONT.	
24	MS	Miscanthus	WALKER'S LOW CRANTM	NO. 1	CONT.	
48	RUD	Rudbeckia	BLACK EYED SUSAN	NO. 1	CONT.	

NO.	DATE	DESCRIPTION

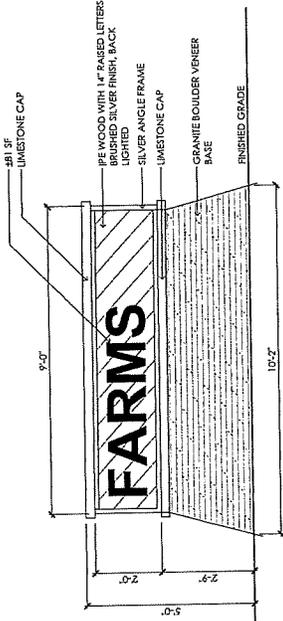
SITE ENTRY
ELEVATIONS

STOCKDALE FARMS
LYH, LLC
655 ALBERT ROAD
HUBERSBURG, PA 17033
(717) 433-7444
www.fairisplanninganddesign.com

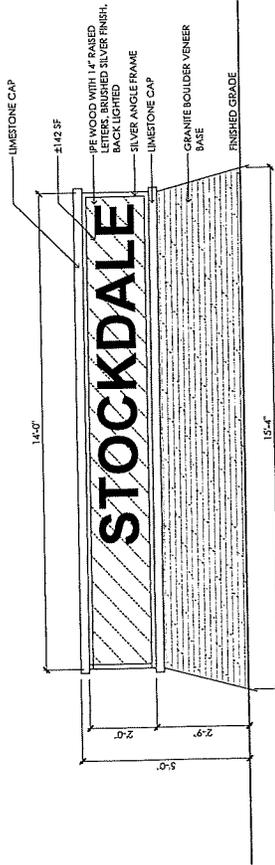
Fairis Planning & Design
LAND PLANNING
1450 SCARF AVE. SUITE 401
CANTON, OH 43115
www.fairisplanninganddesign.com

DATE	4/19/2019
PROJECT	15027
SHEET	

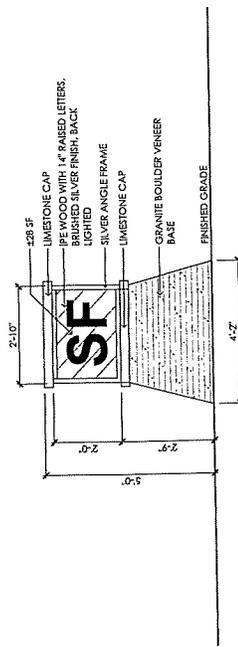
EX-D.6



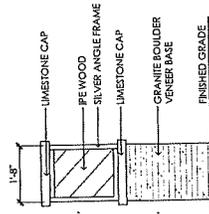
2 BRAUMILLER / POLLOCK ROAD SIGN ELEVATION
FARMS SIGN
SCALE: 1"=20'



1 BRAUMILLER / POLLOCK ROAD SIGN ELEVATION
STOCKDALE SIGN
SCALE: 1"=20'

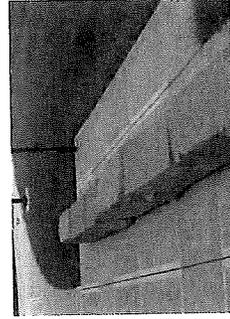


3 BRAUMILLER ROAD - SECONDARY ENTRY ELEVATION
SCALE: 1"=20'



SIDE VIEW

4 ENTRY SIGN ELEVATION
SCALE: 1"=20'



5 PROPOSED STONE BENCH
(OR OWNER APPROVED EQUAL)



GRANITE COBBLE BASE EXAMPLE
SCALE: N.T.S.

REVISIONS	

TREE PRESERVATION
PLAN
- WESTERN HALF

STOCKDALE FARMS
LYH, LLC
5695 AVERY ROAD
DUBLIN, OH 43016

LAND PLANNING
LANDSCAPE ARCHITECTURE
Fairs Planning & Design
2315 N. STATE ST.
COLUMBUS, OH 43215
www.fairsplanninganddesign.com
p: 614.431.1848

DATE	4/19/2019
PROJECT	1.5027
SHEET	

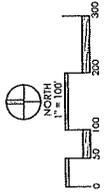
EX-E.1



PLAN KEY:

- EXISTING TREE TO BE PRESERVED
- ⊗ EXISTING TREE TO BE REMOVED

*CROSS-REFERENCE TREE NUMBER ON PLAN WITH INDEX ON EX-E.3 FOR MORE INFORMATION REGARDING SPECIFIC TREES.



REVISIONS

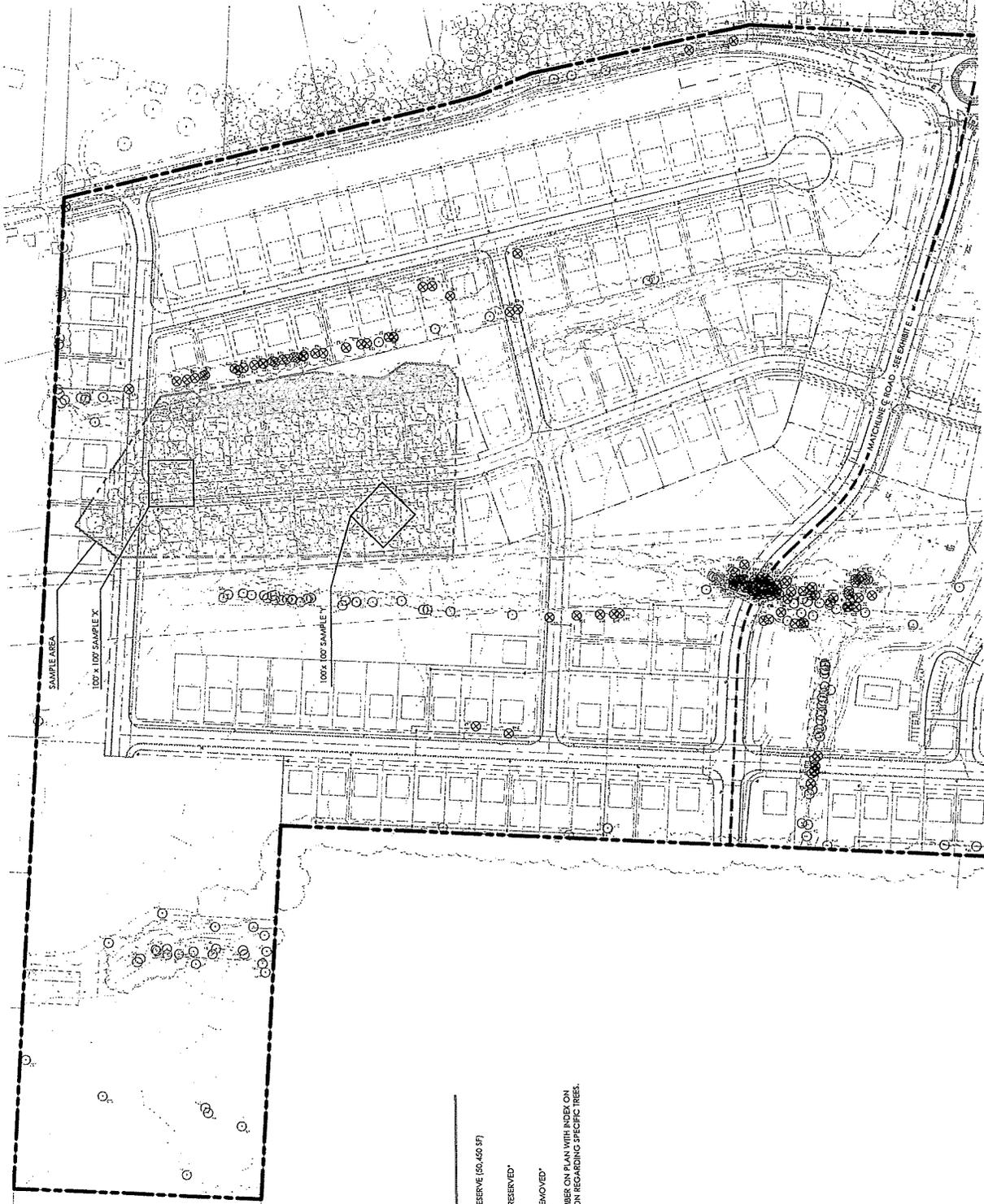
TREE PRESERVATION
PLAN
- EASTERN HALF

STOCKDALE FARMS
PROPERTY
LYH, LLC
5685 AVELEY ROAD
DUBLIN, OH 43016

Paris Planning & Design
LANDSCAPE ARCHITECTURE
Suite 101
2141 25th Street
Columbus, OH 43215
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Phone 614.421.1944

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SHEET	

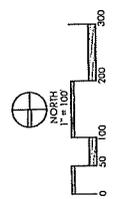
EX-E.2



PLAN KEY:

-  SAMPLE AREA TREE PRESERVE (250,450 SF)
-  EXISTING TREE TO BE PRESERVED*
-  EXISTING TREE TO BE REMOVED*

*GROSS-REFERENCE TREE NUMBER ON PLAN WITH INDEX ON EX-E.3 FOR MORE INFORMATION REGARDING SPECIFIC TREES.



REVISIONS

NO.	DATE	DESCRIPTION

EXISTING TREE
INDEX AND
REPLACEMENT
SCHEDULE

STOCKDALE FARMS
LTH, LLC
5695 AVERY ROAD
DUBLIN, OH 43016

Paris Planning & Design
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Suite 401
2431 Elm Street
Columbus, OH 43215
p (614) 451-1844
www.parisplanninganddesign.com

DATE 4/19/2019
PROJECT 15027
SHEET
EX-E.3

NO.	DATE	DESCRIPTION	BY	CHKD	DATE	NO.	DATE	DESCRIPTION	BY	CHKD	DATE
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2						2					
3						3					
4						4					
5						5					
6						6					
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STATUS KEY
 1 = New
 2 = Existing
 3 = Proposed
 4 = To be removed
 5 = To be preserved
 6 = To be planted
 7 = To be maintained
 8 = To be monitored
 9 = To be protected
 10 = To be replaced
 11 = To be relocated
 12 = To be transplanted
 13 = To be pruned
 14 = To be topped
 15 = To be cut back
 16 = To be removed and replaced
 17 = To be removed and replaced with a different species
 18 = To be removed and replaced with a different size
 19 = To be removed and replaced with a different form
 20 = To be removed and replaced with a different color
 21 = To be removed and replaced with a different texture
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 83 = To be removed and replaced with a different color
 84 = To be removed and replaced with a different texture
 85 = To be removed and replaced with a different height
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 87 = To be removed and replaced with a different depth
 88 = To be removed and replaced with a different density
 89 = To be removed and replaced with a different species
 90 = To be removed and replaced with a different size
 91 = To be removed and replaced with a different form
 92 = To be removed and replaced with a different color
 93 = To be removed and replaced with a different texture
 94 = To be removed and replaced with a different height
 95 = To be removed and replaced with a different width
 96 = To be removed and replaced with a different depth
 97 = To be removed and replaced with a different density
 98 = To be removed and replaced with a different species
 99 = To be removed and replaced with a different size
 100 = To be removed and replaced with a different form

NO.	DATE	DESCRIPTION	BY	CHKD	DATE	NO.	DATE	DESCRIPTION	BY	CHKD	DATE
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REVISIONS

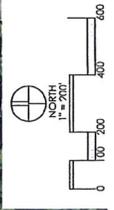
ILLUSTRATIVE
PLAN

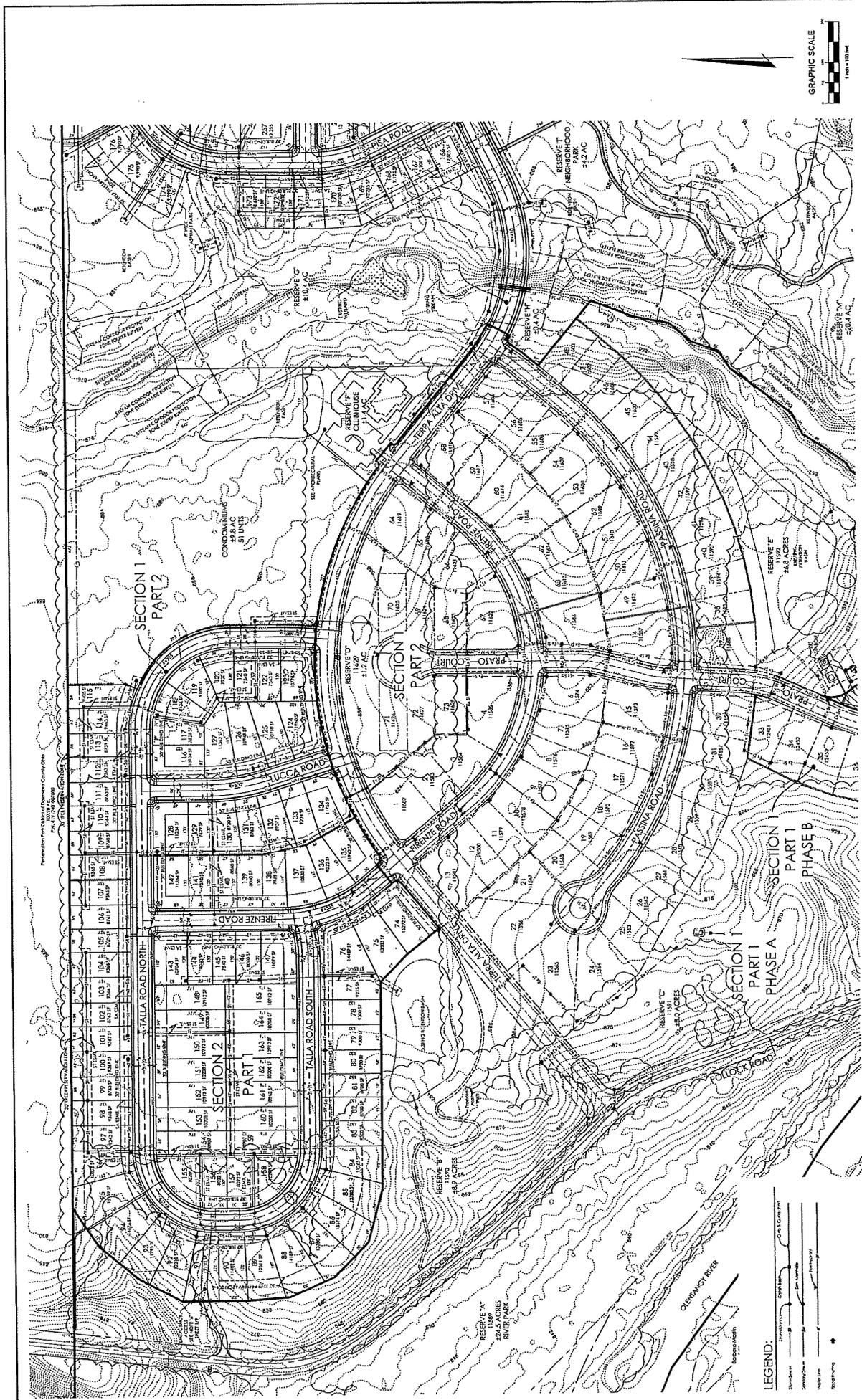
STOCKDALE FARMS
LYH, LLC
545 AVERY ROAD
DUBLIN, OH 43018

Harris Planning & Design
ARCHITECTURE
2615 N. STATE
COLUMBUS, OH 43215
www.harrisplanning.com
614.892.1844

DATE	4/19/2019
PROJECT	15027
SHEET	

ILL





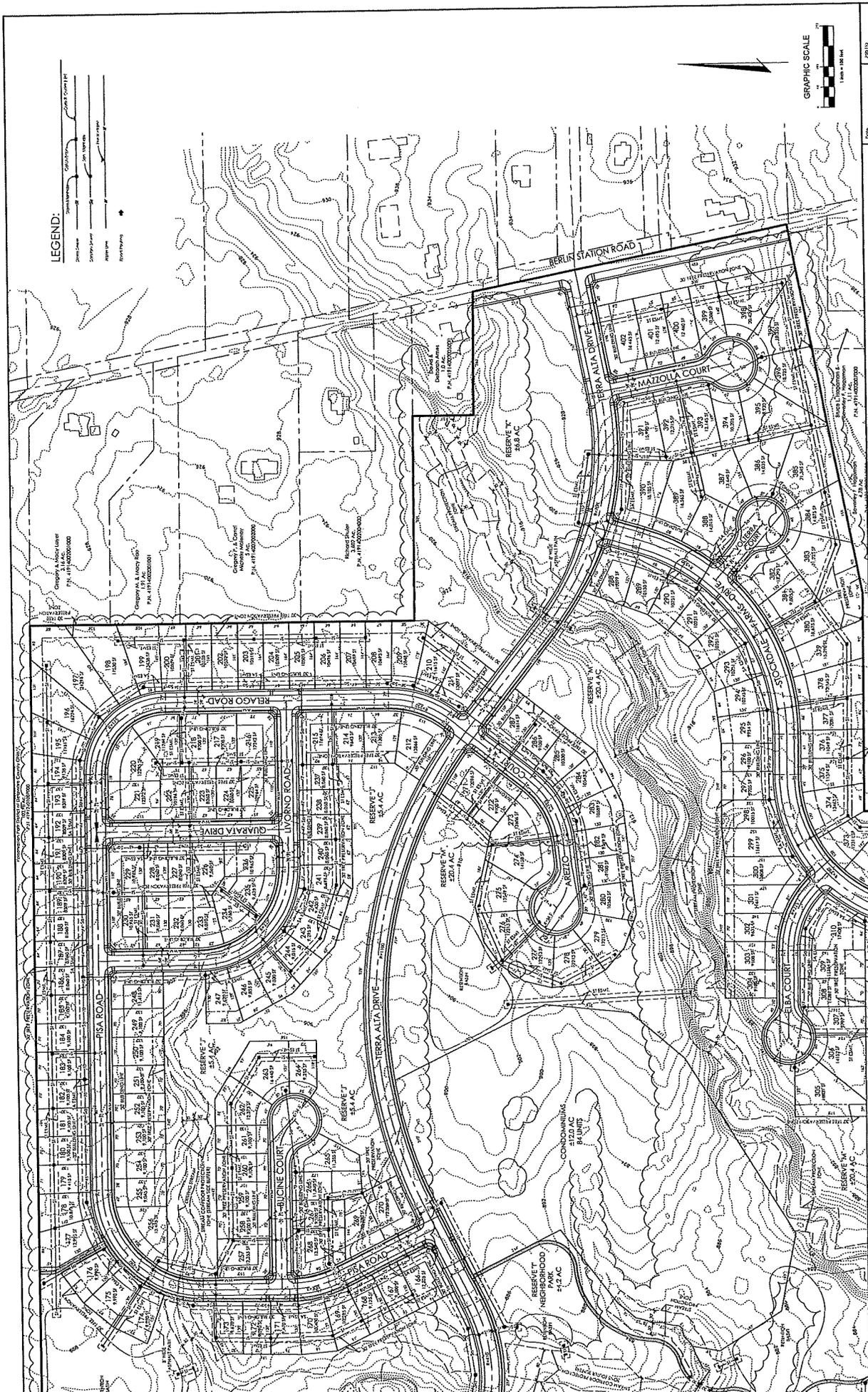
CITY OF DELAWARE, DELAWARE COUNTY, OHIO PRELIMINARY PLAT (AMENDED) FOR TERRA ALTA SITE PLAN	LOCATED IN: FARM LOT P IN SECTION 1, TOWNSHIP 4, RANGE 19 UNITED STATES MILITARY LANDS TOWNSHIP OF DELAWARE, COUNTY OF DELAWARE, STATE OF OHIO	DATE: FEBRUARY 4, 2020	PROJECT: 2010057
	TERRA ALTA LLC. 142 WEST LOROCK ROAD WESTERVILLE, OH 43081	SCALE: 1"=100'	SHEET: 2/19

REVISIONS	
NO.	DESCRIPTION



LEGEND:
 --- PROPERTY BOUNDARY
 --- LOT BOUNDARY
 --- ROAD CENTERLINE
 --- ROAD RIGHT-OF-WAY
 --- RESERVE BOUNDARY
 --- QUINNOT RIVER
 --- NEIGHBORHOOD PARK
 --- CLUBHOUSE

GRAPHIC SCALE
 1"=100' (H)

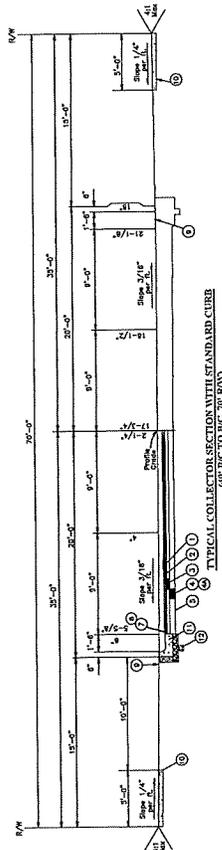


LEGEND:

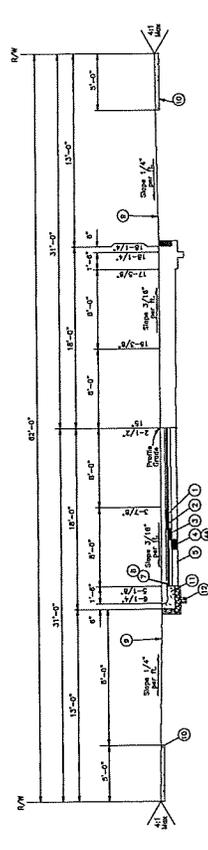
- Easement
- Utility Line
- Right of Way
- Road Right of Way



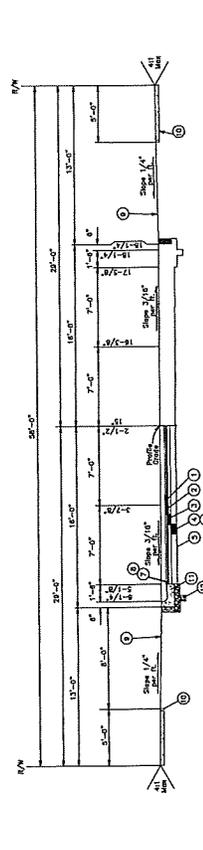
<p>EMHT Engineering, Mapping & Technology, Inc. 10000 W. 12th Street, Suite 100 Overland Park, KS 66213 Tel: 913.666.1100 Fax: 913.666.1101 www.emht.com</p>	<p>TERRA ALTA LLC. 10000 W. 12th Street, Suite 100 Overland Park, KS 66213</p>	<p>CITY OF DELAWARE, DELAWARE COUNTY, OHIO PRELIMINARY PLAN (AMENDED)</p> <p>TERRA ALTA OR SIE PLAN</p>	<p>LOCATED IN: FARM LOT # IN SECTION 1, TOWNSHIP 4, RANGE 19 UNITED STATES MILITARY LANDS TOWNSHIP OF DELAWARE, COUNTY OF DELAWARE, STATE OF OHIO</p>	<p>Date: FEBRUARY 15, 2020 Sheet: 3/9 Scale: 1" = 100'</p>					
	<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION				<p>DATE: FEBRUARY 15, 2020</p>	<p>PROJECT: TERRA ALTA</p>
NO.	DATE	DESCRIPTION							



TYPICAL COLLECTION SECTION WITH STANDARD CURB
(32' R/C TO R/C, 62' R/W)
NO SCALE

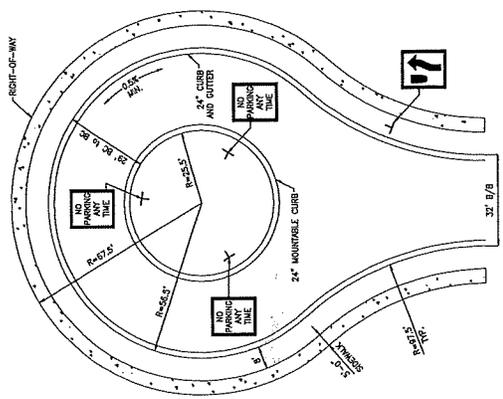


TYPICAL PRIMARY SECTION WITH STANDARD CURB
(32' R/C TO R/C, 62' R/W)
NO SCALE



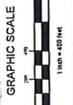
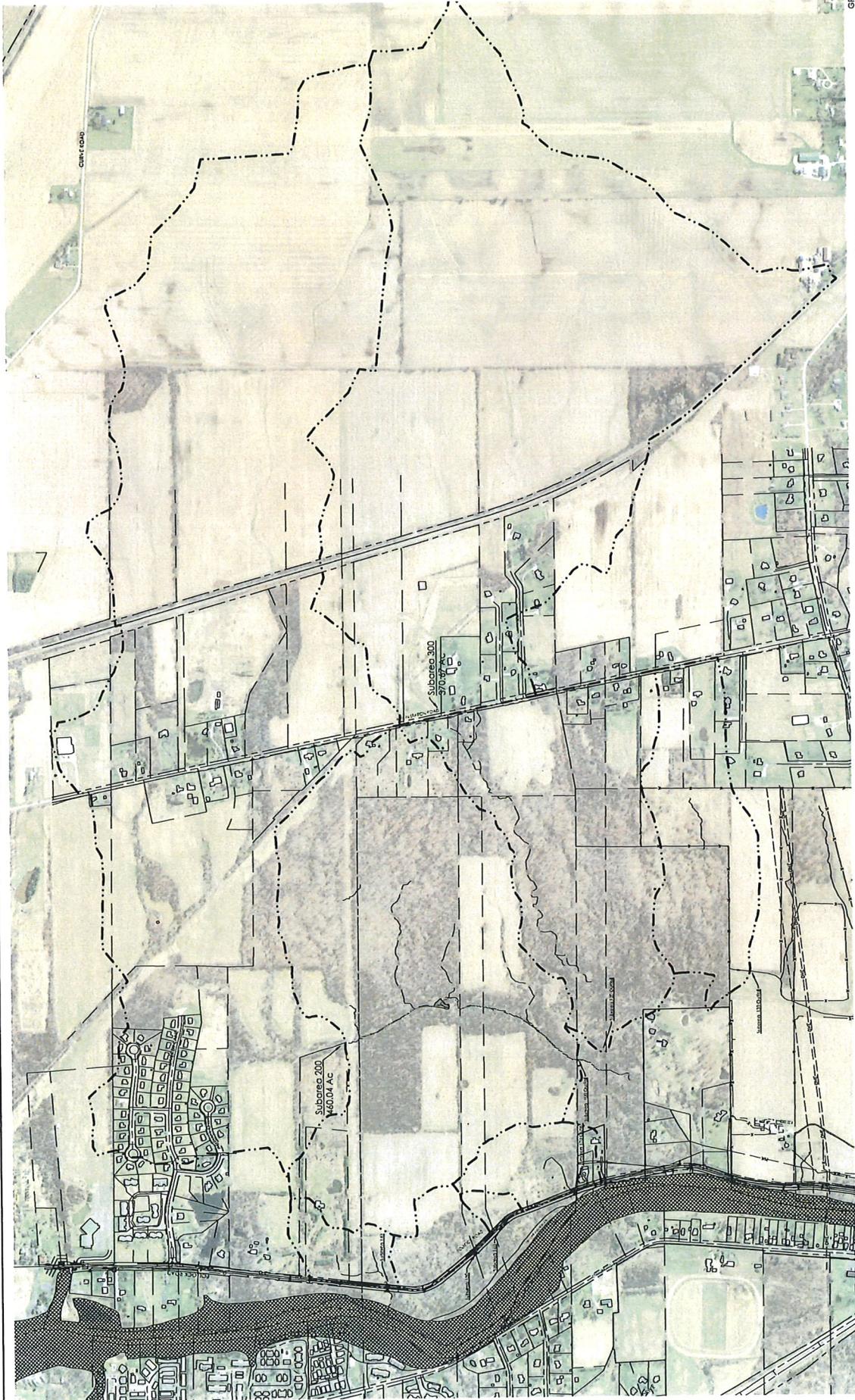
TYPICAL SECONDARY & CUL-DE-SAC SECTIONS WITH STANDARD CURB
(32' R/C TO R/C, 58' R/W)
NO SCALE

- PAVEMENT LEGEND**
- 1. 1/2" Asphalt Concrete, Item 448 Type 1 (Medium Traffic) PG 64-22
 - 2. Asphalt Concrete, Item 448 Type 2 - Intermediate Course (Medium Traffic) PG 64-22
 - 3. Asphalt Concrete Base, Item 301, PG 64-22
 - 4. Aggregate Base, Item 304
 - 5. Portland Cement Concrete Base, Class 'C', Item 305 Or R/C Supplemental SPEC 1523
 - 6. Subgrade compaction, Item 203
 - 7. Asphalt Reinforce Per Supplemental SPEC 1540
 - 8. ITEM 407, Tack Coat Or Curb Primer To Paving
 - 9. ITEM 423, Crack Seal Edge Joints
 - 10. Item 659, Sealing & Patching (See Erosion and Sedimentation Control Plan)
 - 11. Item 660, Concrete Sidewalk (By Home Builder Under Contractor's Supervision)
 - 12. Concrete Curb & Gutter, Item 609
 - 13. 4" Pipe Curb Underdrain, Item 605



TYPICAL CUL-DE-SAC DETAIL
NO SCALE
(Unless otherwise noted without fabric or larger in size)

<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>		NO.	DATE	DESCRIPTION				<p>EMHT Engineering, Mechanical, Hydraulic & Traffic 142 WEST CHERRY ROAD WESTERVILLE, OH 43081 PH: 614.891.1100 WWW.EMHT.COM</p>	<p>TERRA ALTA I.L.C. 142 WEST CHERRY ROAD WESTERVILLE, OH 43081</p>	<p>CITY OF DELAWARE, DELAWARE COUNTY, OHIO FEDERALLY UNINCORPORATED FOR TERRA ALTA TYPICAL SECTIONS</p>	<p>LOCATED IN: FARM LOT P IN SECTION 1, TOWNSHIP 4 RANGE 19 UNITED STATES MILITARY LANDS TOWNSHIP OF DELAWARE, COUNTY OF DELAWARE, STATE OF OHIO</p>	<p>DATE: FEBRUARY 4, 2020</p>	<p>DATE: 20180227</p>
NO.	DATE	DESCRIPTION											
<p>NO SCALE</p>	<p>7" x 11"</p>	<p>5/9</p>											



100 yr Floodway

DATE	20/11/15
DATE	FEBRUARY 6, 2020
DATE	7/20/17
DATE	1/11/07
DATE	6/19

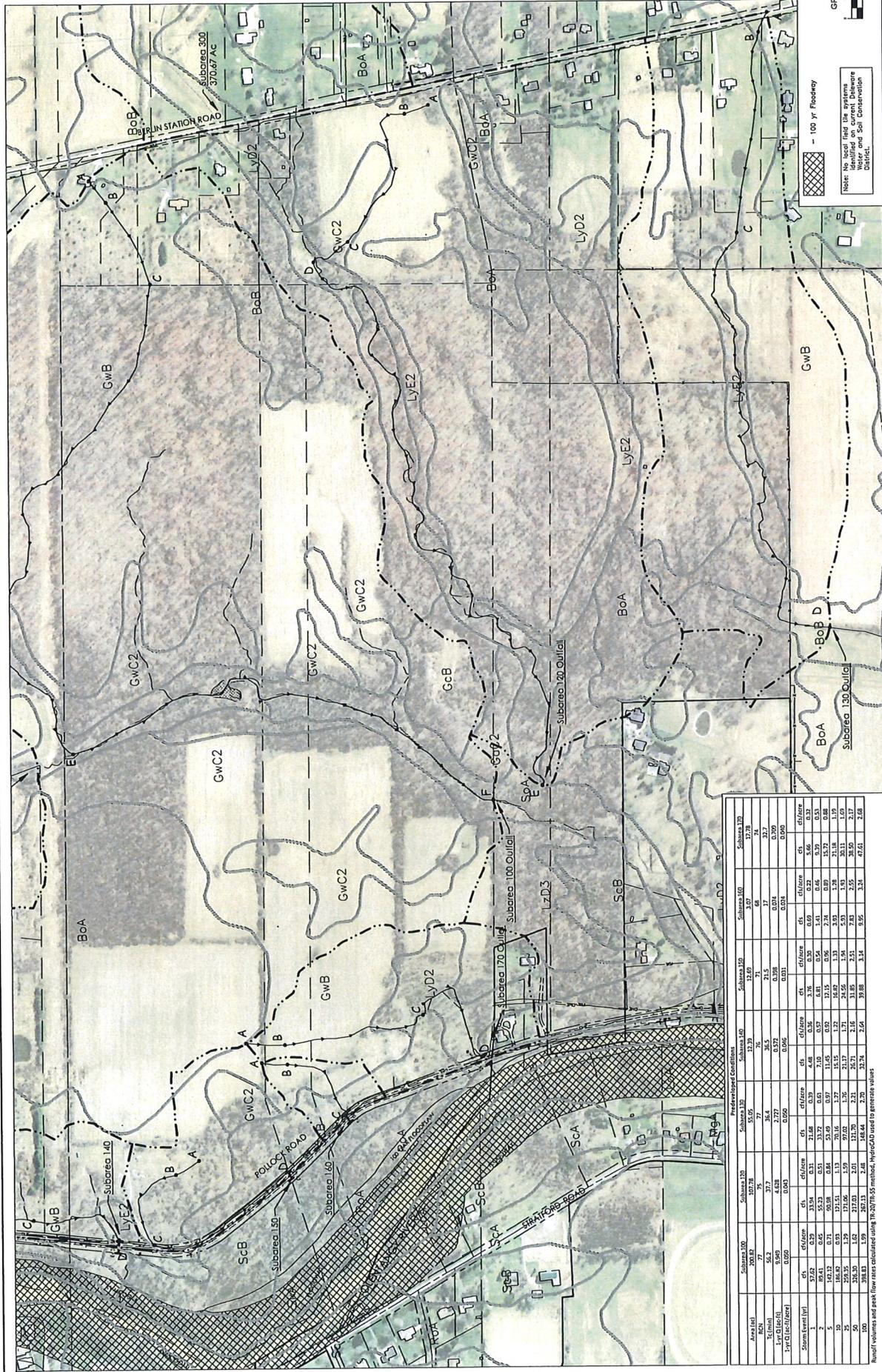
LOCATED IN:
FARM LOT # IN SECTION 11, TOWNSHIP 4, RANGE 19
UNITED STATES MILITARY LANDS
TOWNSHIP OF DELAWARE, COUNTY OF DELAWARE, STATE OF OHIO

CITY OF DELAWARE, DELAWARE COUNTY, OHIO
PRELIMINARY (AMENDED)
FOR
TERRA ALTA
STORMWATER MASTER PLAN - FLOODPLAIN HYDROLOGY

TERRA ALTA LLC,
141 WESCHEROCK ROAD
WESTERVILLE OH 43081



NO.	DATE	REVISIONS



DATE: FEBRUARY 4, 2020
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 APPROVED BY: [Signature]

LOCATED IN:
 FARM LOT P IN SECTION 1, TOWNSHIP 4, RANGE 19
 UNITED STATES MILITARY LANDS
 TOWNSHIP OF DELAWARE, COUNTY OF DELAWARE, STATE OF OHIO

CITY OF DELAWARE, TOWNSHIP OF DELAWARE, COUNTY OF DELAWARE, OHIO
 PRELIMINARY PLAN (AMENDED)
TERRA ALTA
 STORMWATER MASTER PLAN - EXISTING CONDITIONS

TERRA ALTA LLC.
 142 WEST SCHOCK ROAD
 WESTERVILLE OH 43081

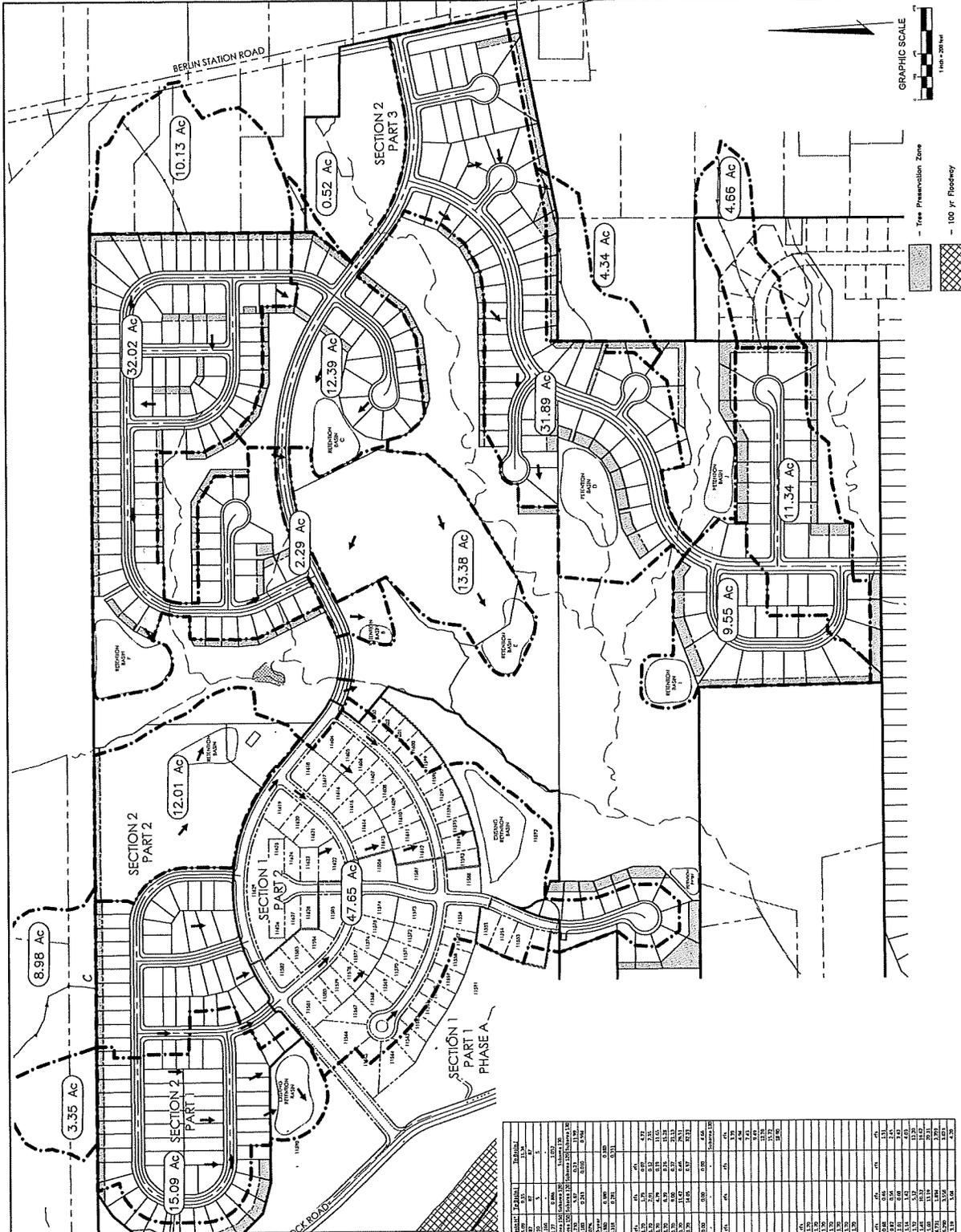
EMHT
 Environmental Management & Technology, Inc.
 10000 North State Road, Suite 100
 Westerville, Ohio 43081
 Phone: 614.885.1100
 Fax: 614.885.1101
 Email: info@emht.com

Subarea	Area (Ac)	Volume (cu ft)	Peak Flow (cfs)	Peak Time (min)	100 yr Flood Elev. (ft)
Subarea 120	29.77	1,015,000	37	37	17.0
Subarea 130	56.4	1,950,000	38.4	38.4	17.5
Subarea 140	56.4	1,950,000	38.4	38.4	18.0
Subarea 150	56.4	1,950,000	38.4	38.4	18.5
Subarea 160	56.4	1,950,000	38.4	38.4	19.0
Subarea 170	56.4	1,950,000	38.4	38.4	19.5
Subarea 180	56.4	1,950,000	38.4	38.4	20.0
Subarea 190	56.4	1,950,000	38.4	38.4	20.5
Subarea 200	56.4	1,950,000	38.4	38.4	21.0
Subarea 210	56.4	1,950,000	38.4	38.4	21.5
Subarea 220	56.4	1,950,000	38.4	38.4	22.0
Subarea 230	56.4	1,950,000	38.4	38.4	22.5
Subarea 240	56.4	1,950,000	38.4	38.4	23.0
Subarea 250	56.4	1,950,000	38.4	38.4	23.5
Subarea 260	56.4	1,950,000	38.4	38.4	24.0
Subarea 270	56.4	1,950,000	38.4	38.4	24.5
Subarea 280	56.4	1,950,000	38.4	38.4	25.0
Subarea 290	56.4	1,950,000	38.4	38.4	25.5
Subarea 300	56.4	1,950,000	38.4	38.4	26.0

REVISIONS

NO.	DATE	DESCRIPTION

REVISIONS AND PEAK FLOW AREA CALCULATED USING THE 2018-85 METHOD, HYDRCAD USED TO GENERATE VALUES



DATE: FEBRUARY 2, 2020
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT: 20180007
 SHEET: 8/9
 TITLE: PRELIMINARY PLAN

LOCATED IN:
 FARM LOT P IN SECTION 1, TOWNSHIP 4, RANGE 19
 UNITED STATES MILITARY LANDS
 TOWNSHIP OF DELAWARE, COUNTY OF DELAWARE, STATE OF OHIO

CITY OF DELAWARE, DELAWARE COUNTY, OHIO
 PRELIMINARY PLAN (AMENDED)
TERRA ALTA
 FOR
 STORMWATER MASTER PLAN - PROPOSED CONDITIONS

TERRA ALTA LLC.
 142 WEST FORECROCK ROAD
 WESTERVILLE, OH 43081

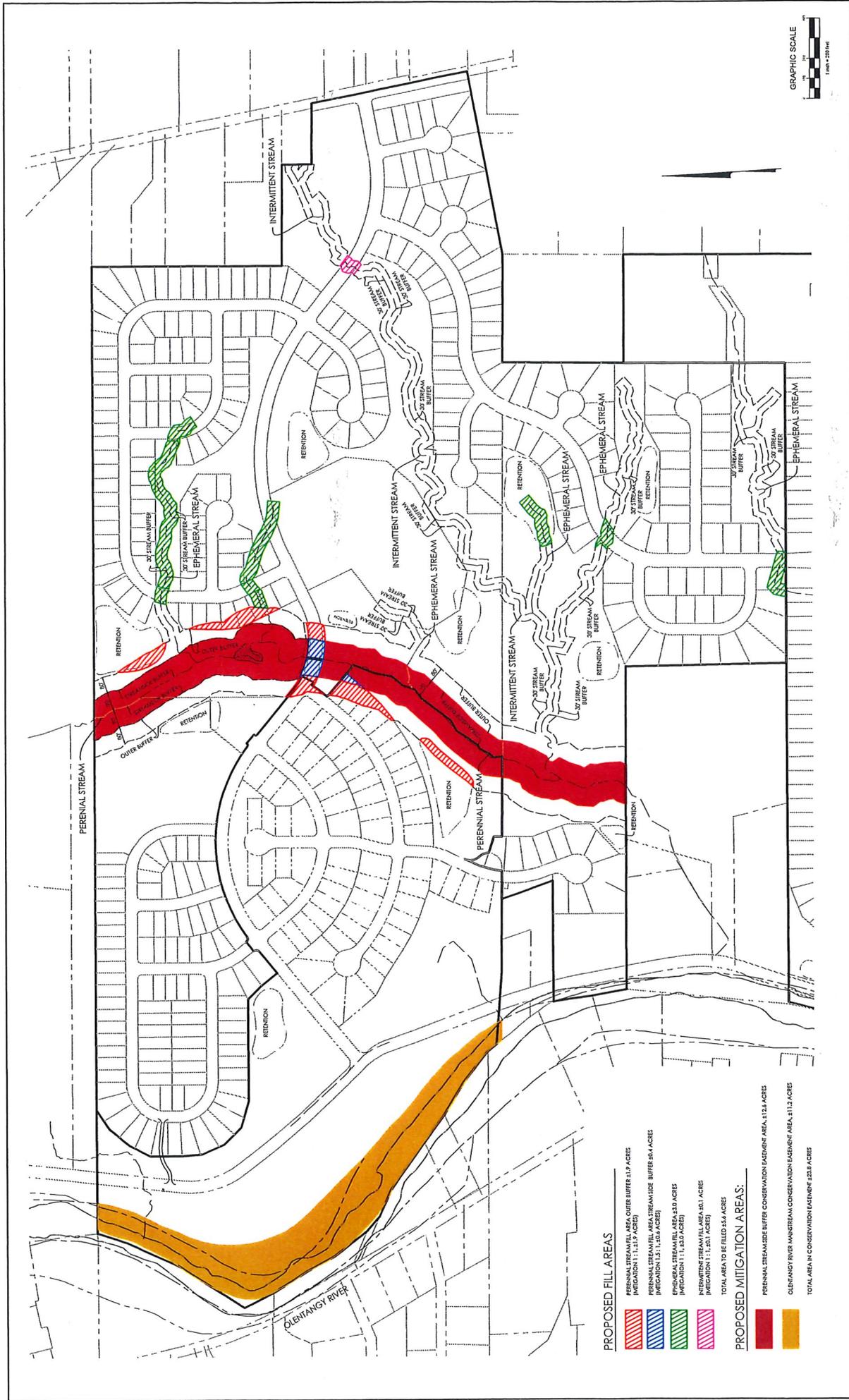


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PROPOSED FILL AREAS

- PERENNIAL STREAM TEL AREA OUTER BUFFER 11.7 ACRES
(MITIGATION 1:1,117 ACRES)
- PERENNIAL STREAM TEL AREA STREAM SIDE BUFFER 5.4 ACRES
(MITIGATION 1:1,156 ACRES)
- EPHEMERAL STREAM TEL AREA 13.0 ACRES
(MITIGATION 1:1,132 ACRES)
- INTERMITTENT STREAM TEL AREA 4.1 ACRES
(MITIGATION 1:1,141 ACRES)
- TOTAL AREA TO BE FILLED 34.4 ACRES

PROPOSED MITIGATION AREAS:

- PERENNIAL STREAM SIDE BUFFER CONSERVATION EASEMENT AREA 312.4 ACRES
- CLERMANDY RIVER MAINSTREAM CONSERVATION EASEMENT AREA 112.2 ACRES
- TOTAL AREA IN CONSERVATION EASEMENT 424.6 ACRES

	DATE: FEBRUARY 6, 2020 DRAWN: JPH/16 SCALE: 1"=200' SHEET: 9/9	PROJECT: TERRA ALTA LOCATION: LOCATED IN: FARM LOT P IN SECTION 11, TOWNSHIP 4, RANGE 19 UNITED STATES MILITARY LANDS TOWNSHIP OF DELAWARE, COUNTY OF DELAWARE, STATE OF OHIO	CITY OF DELAWARE, DELAWARE COUNTY, OHIO PRELIMINARY PLAN (AMENDED) TERRA ALTA MITIGATION PLAN
		CLIENT: TERRA ALTA LLC. 142 WEST CORDECK ROAD WESTERVILLE, OH 43081	EMHT <small>Environmental Mitigation & Technology, Inc. 10000 North State Road, Suite 100 Westerville, Ohio 43081 614.885.1111 www.emht.com</small>

CITY OF DELAWARE, OHIO PRELIMINARY PLAT FOR STOCKDALE FARMS FARM LOTS Q, R & T, SECTION 1, TOWNSHIP 4, RANGE 19, UNITED STATES MILITARY LANDS TOWNSHIP OF DELAWARE, DELAWARE COUNTY, OHIO

Reference to the State of Ohio, County of Delaware, City of Delaware, Quarter Township 4, Range 19, U.S.M.L., and being all of that 5,000 acre tract conveyed to UHN LLC of UHN LLC of record in Official Record 81, Page 1310 and all of that 91,272 acre tract conveyed to UHN LLC of record in Official Record 81, Page 1307, and described as follows:

Beginning at the southwest corner of said 91,272 acre tract, in the centerline of the following tract:

S 75° 53' 31" W, 929.44 feet;
S 75° 07' 37" W, 130.87 feet;
S 75° 07' 37" W, 495.59 feet;
N 85° 46' 32" W, 1809.68 feet;
N 03° 21' 16" E, 2381.11 feet;
N 85° 45' 47" W, 254.49 feet;
S 08° 55' 59" W, 964.59 feet;
S 87° 01' 33" W, 209.87 feet to the southwest corner of said 5,000 acre tract, in the center of the following tract:

These along the west perimeter of said 5,000 acre, 61,983 acre and 91,272 acre tracts, the following tracts:

N 08° 15' 06" E, 403.28 feet;
N 08° 15' 26" E, 630.57 feet;
N 18° 49' 53" E, 611.69 feet to the southwest corner of said 61,983 acre tract, in the center of the following river:

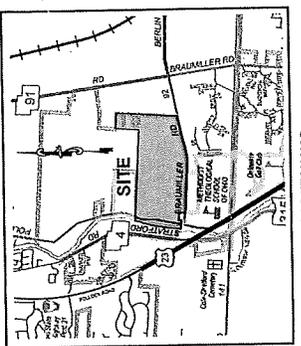
These along the north perimeter of said 61,983 acre tract, the following course:

S 88° 59' 24" E, 3191.68 feet;
N 03° 20' 56" E, 801.83 feet;
S 84° 51' 30" E, 562.59 feet to the northeast corner of said 61,983 acre tract.

These along the east perimeter of said 61,983 acre and 91,272 acre tracts, the following course:

S 03° 23' 55" W, 1983.01 feet;
S 02° 41' 46" W, 1828.83 feet to the Point of Beginning.

Containing any and all restrictions or less, and subject to all legal encumbrances. All references used in this description can be found at the Recorder's Office, Delaware County, Ohio.



INDEX OF SHEETS

TITLE SHEET: THIS SHEET
UNIT AND DIMENSION PLAN: 1-18
UNIT PLAN: 1-19

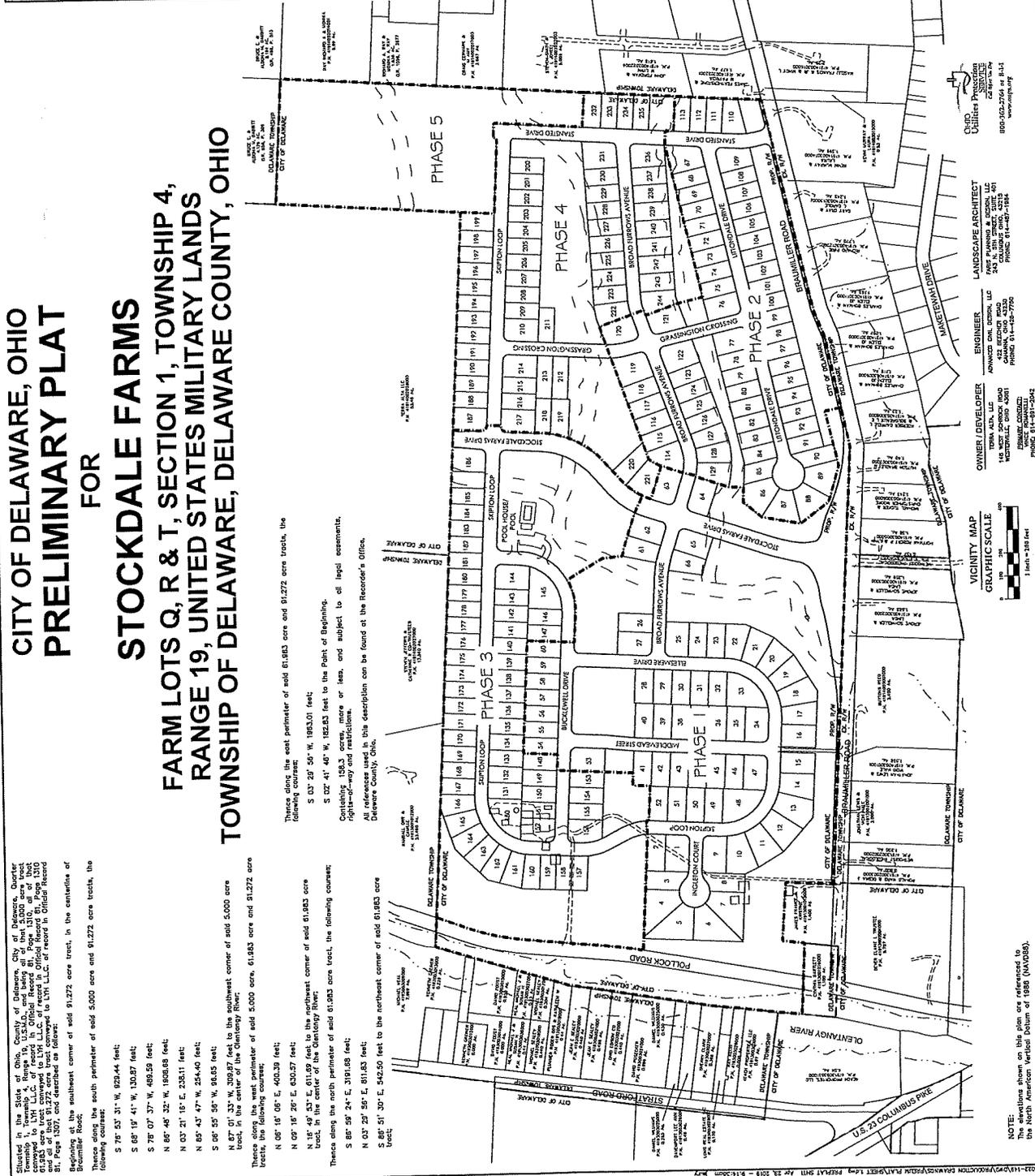
SITE STATISTICS - R-2 PMJ DEVELOPMENT

TOTAL SITE: 5,000 ACRES
TOTAL PAVED PARK SPACE: 238 ACRES
TOTAL UNPAVED PARK SPACE: 2,762 ACRES
TOTAL PARK SPACE: 3,000 ACRES
TOTAL IMPROVED PARK SPACE: 2,762 ACRES
TOTAL UNIMPROVED PARK SPACE: 238 ACRES
TOTAL LOTS: 74 LOTS
TOTAL UNITS: 252 UNITS
TOTAL GROSS AREA: 238 ACRES
TOTAL NET AREA: 2,762 ACRES

APPROVAL:

The City of Delaware Signatures On This Plan Signify Only Concurrence With The General Purpose And Character Of The Plan. It is Not A Guarantee Of The Professional Engineer Who Prepared And Certified These Plans.

Date	Name	Title
	City Clerk, Delaware, Ohio	
	City Manager, Delaware, Ohio	
	Planning and Community Development Director, Delaware, Ohio	
	City Engineer, Delaware, Ohio	
	Utilities Director, Delaware, Ohio	
	Public Works Director, Delaware, Ohio	
	Auditor, Delaware, Ohio	



OWNER / DEVELOPER: TERRA ALTA, LLC
148 W. SCHRACK RD, WESTERVILLE, OHIO 43081
PHONE: 614-847-7778
FAX: 614-847-7778

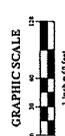
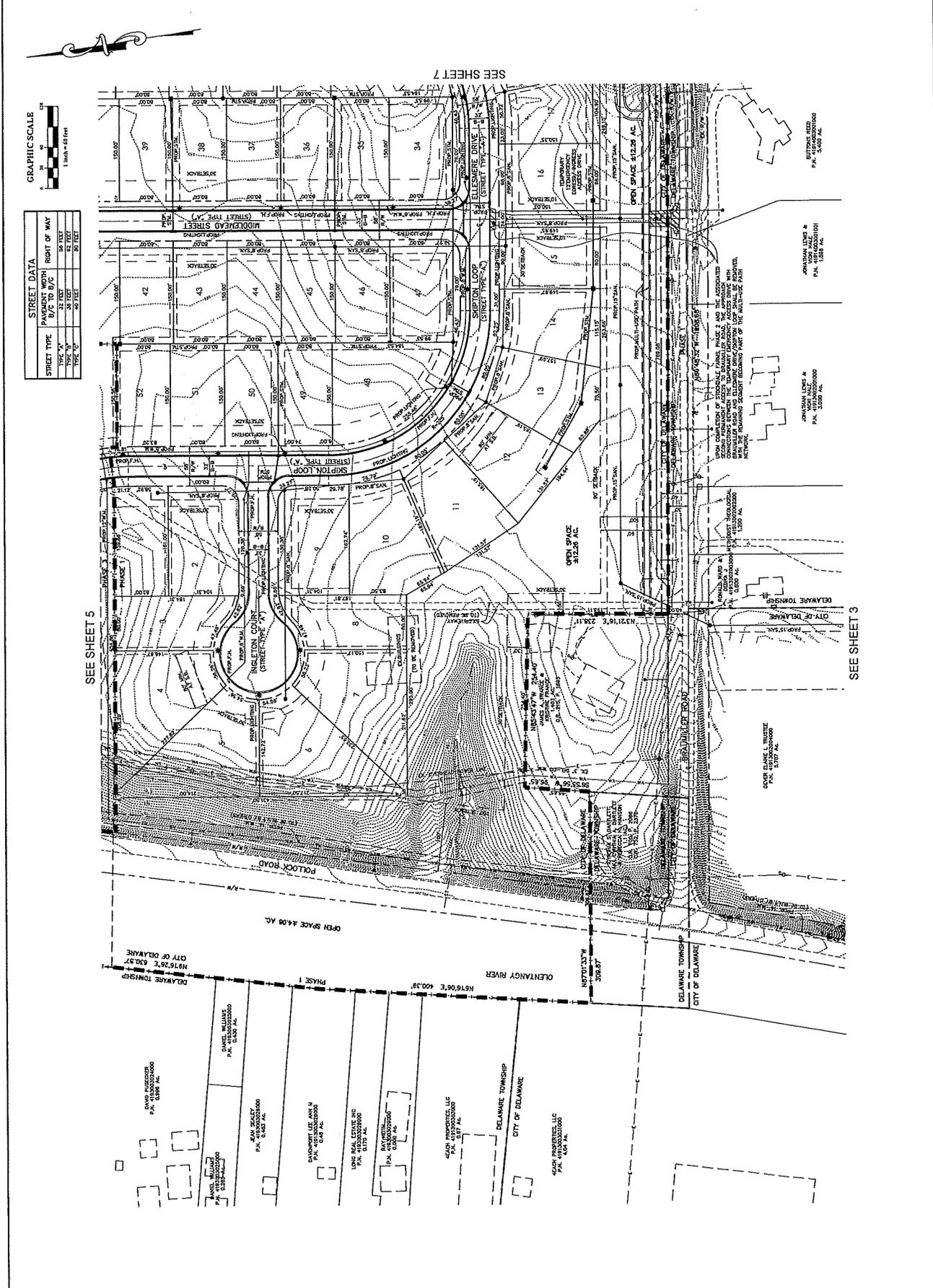
ENGINEER: ADVANCED CIVIL DESIGN, LLC
148 W. SCHRACK RD, WESTERVILLE, OHIO 43081
PHONE: 614-847-7778
FAX: 614-847-7778

LANDSCAPE ARCHITECT: CHLOE P. STAVI
148 W. SCHRACK RD, WESTERVILLE, OHIO 43081
PHONE: 614-847-7778
FAX: 614-847-7778

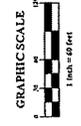
VICINITY MAP: GRAPHIC SCALE: 1 inch = 300 feet

DATE: 09/29/2018
PROJECT NUMBER: 16-002-149
DRAWING NUMBER: 1/11

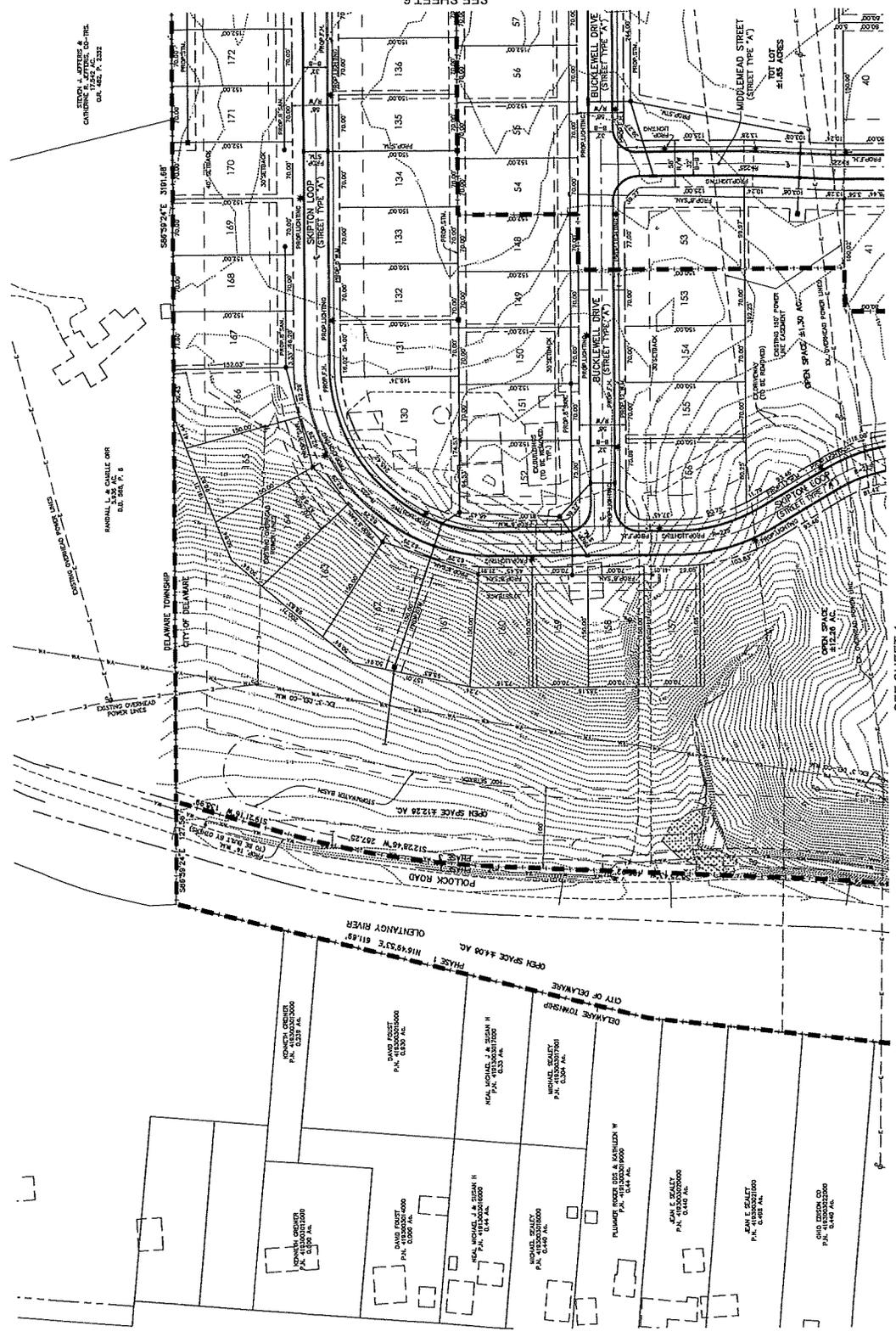
NOTE: The elevations shown on this plan are referred to the North American Vertical Datum of 1988 (NAVD88).



STREET DATA	
STREET TYPE	PAVEMENT WIDTH
TYPE 'A'	32 FEET
TYPE 'B'	30 FEET
TYPE 'C'	28 FEET
TYPE 'D'	26 FEET
TYPE 'E'	24 FEET
TYPE 'F'	22 FEET
TYPE 'G'	20 FEET
TYPE 'H'	18 FEET
TYPE 'I'	16 FEET
TYPE 'J'	14 FEET
TYPE 'K'	12 FEET
TYPE 'L'	10 FEET
TYPE 'M'	8 FEET
TYPE 'N'	6 FEET
TYPE 'O'	4 FEET

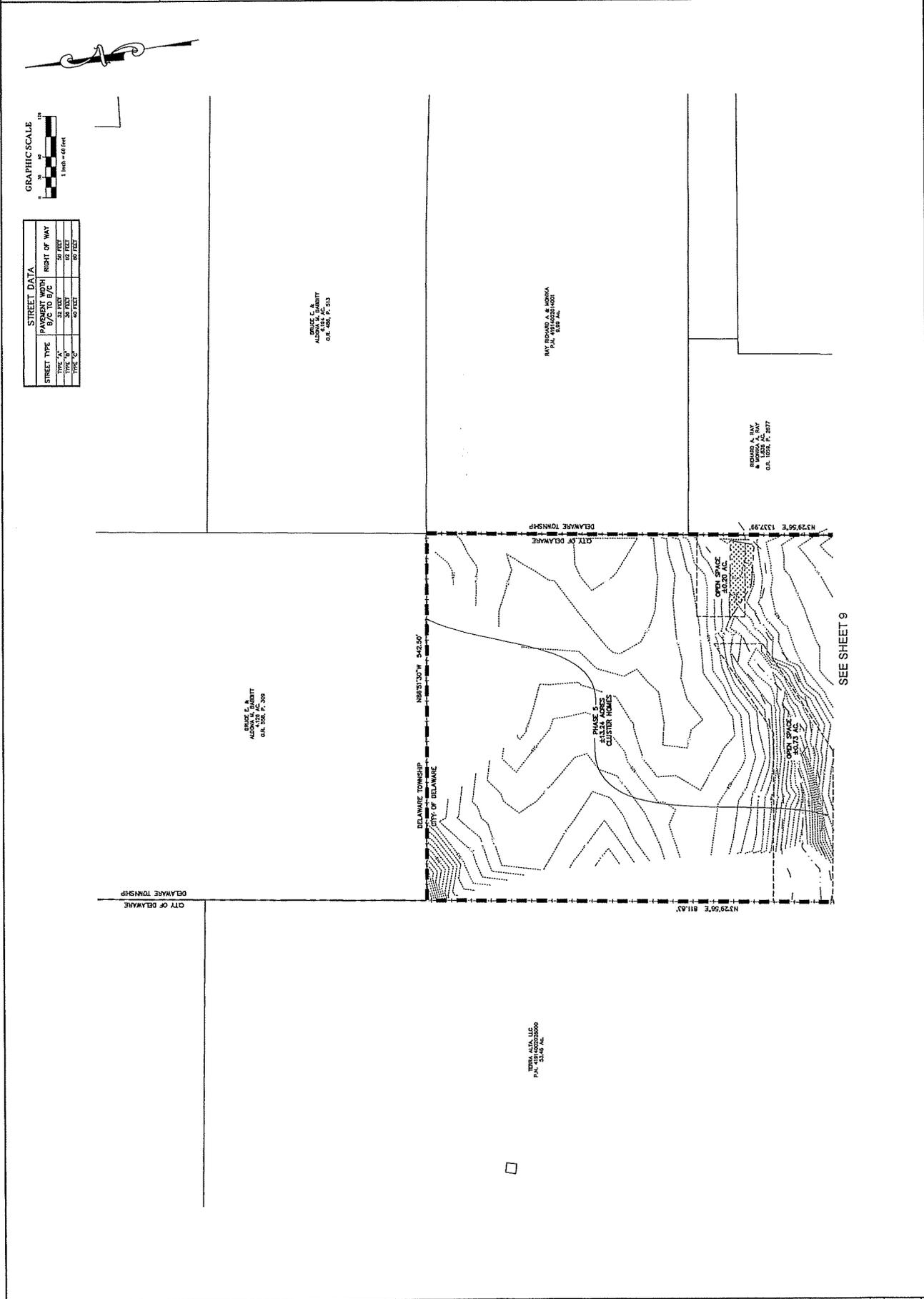


STREET DATA	
STREET TYPE	PAVEMENT WIDTH B/C TO B/C
TYPE "A"	30 FEET
TYPE "B"	40 FEET
TYPE "C"	50 FEET
TYPE "D"	60 FEET



SEE SHEET 6

SEE SHEET 4



STREET DATA		
STREET TYPE	PAVING WIDTH	RIGHT OF WAY
TYPE 'A'	30 FEET	50 FEET
TYPE 'B'	30 FEET	50 FEET
TYPE 'C'	40 FEET	60 FEET

SEE SHEET 9

PHASE 5
 41324 ADDRES
 CLUSTER HOMES

OPEN SPACE
 20.53 AC.

OPEN SPACE
 20.53 AC.

N137°56'E 1327.09'

N88°13'00" W 545.50"

N137°56'E 811.67'

DELAWARE TOWNSHIP
 CITY OF DELAWARE



**CITY OF DELAWARE, OHIO
PLANNING & COMMUNITY DEVELOPMENT
MASTER APPLICATION FORM**



Project # _____

Case # _____

Planning Commission

- Amended Final Development Plan
- Amended Final Subdivision Plat
- Amended Preliminary Development Plan
- Amended Preliminary Subdivision Plat
- Annexation Review
- Combined Preliminary & Final Development Plan
- Comprehensive Plan Amendment
- Concept Plan
- Conditional Use Permit
- Determination of Similar Use
- Development Plan Exemption
- Final Development Plan

- Final Development Plan Extension
- Final Subdivision Plat
- Final Subdivision Plat Extension
- Floodplain Permit
- Lot Split
- Pre-annexation Agreement
- Preliminary Development Plan
- Preliminary Dev Plan Extension
- Preliminary Sub Plat
- Preliminary Sub Plat Extension
- Rezoning
- Subdivision Variance

- Substitution of a Non-Conforming Use
- Vacation-Alley
- Vacation-Easement
- Vacation-Street

Board of Zoning Appeals

- Appeal Administrative Decision or Interpretation
- Conditional Use Permit
- Substitution of Equal or Less Non-Conforming Use
- Variance

Subdivision/Project Name Terra Alta Address Pollock Rd + Braumiller Rd.

Acreage 472.9 Square Footage Varies Number of Lots ~778 Number of Units ~870

Zoning District/Land Use PMU A-1 Proposed Zoning/Land Use PMU Parcel # see attached

Applicant Name Terra Alta LLC Contact Person Jim Ohlin

Applicant Address 148 W. Schrock Rd, Westerville, OH 43081

Phone 614-891-2042 Fax 614-891-2045 E-mail johlin@rh-homes.com

Owner Name same as applicant Contact Person "

Owner Address _____

Phone _____ Fax _____ E-mail _____

Engineer/Architect/Attorney EMH&T / Kephart Fisher LLC Contact Person Jeff Strung / David Fisher

Address EMH&T: 5500 New Albany Rd, Columbus OH 43054 / KF: 207 N. Fourth St. Columbus OH 43215

Phone EMH&T: 614-989-8748 / KF: 614-469-1882 Fax KF: 614-469-1887 E-mail jstrung@emht.com / david.fisher@kephartfisher.com

The undersigned do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

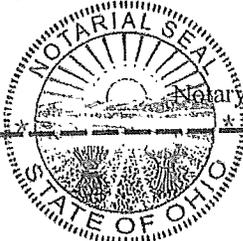
By: [Signature]
Owner Signature

David W. Fisher - Mark
Owner Printed Name

Agent Signature

Agent Printed Name

Sworn to before me and subscribed in my presence this 5 day of February, 2020



Sara J. Radcliffe, Attorney At Law
NOTARY PUBLIC - STATE OF OHIO
my commission has no expiration date
Sec. 147.03 R.C.

[Signature]
Notary Public

Delaware County
The Grantor Has Complied With
Section 319.202 Of The R.C.
DATE 6-8-17 Transfer Tax Paid \$ 3,554.10
TRANSFERRED OR TRANSFER NOT NECESSARY
Delaware County Auditor By TB


Doc ID: 011508250005 Type: OFF
Kind: DEED
Recorded: 06/08/2017 at 11:54:41 AM
Fee Amt: \$52.00 Page 1 of 5
Workflow# 0000143222-0004
Delaware County, OH
Melissa Jordan County Recorder
File# 2017-00015802
BK **1507** PG **228-232**
CROWN SEARCH BOX

Deed of Executor, Administrator, Trustee, Guardian, Receiver or Commissioner

JOHN ROGERS, TRUSTEE OF THE MAKI ROGERS FAMILY LEGACY TRUST,
by the powers conferred by the Trust Agreement, and every other power, for valuable
consideration paid, grants, with fiduciary covenants, to TERRA ALTA LLC, an Ohio
Limited Liability Company, whose tax-mailing address is 148 W. Schrock Road, Westerville,
Ohio 43081, the following **REAL PROPERTY**:

Situated in the State of Ohio, County of Delaware, City of Delaware and bounded and
described as follows:

See attached for complete description

Auditor's Parcel Nos. 41914002028000 and 41914002029000

Known as 2065 Pollock Road, Delaware, Ohio 43015

Source of Title: Official Record 662, Page 491 and Official Record 1231, Page 340

Subject to taxes and assessments which are now or may hereafter become liens on said
premises and except conditions, restrictions and easements, if any

Executed by the Fiduciary on this 31 day of MAY, 2017.

THE MAKI ROGERS FAMILY LEGACY TRUST

By: [Signature]
John Rogers, Trustee

STATE OF OHIO, COUNTY OF FRANKLIN, SS:

BE IT REMEMBERED, That on this 31 day of MAY, 2017, before me, the subscriber, a Notary Public, in and for said state, personally came John Rogers, Trustee of the Maki Rogers Family Legacy Trust, the Grantor in the foregoing deed, and acknowledged the signing thereof to be his voluntary act and deed.

IN TESTIMONY THEREOF, I have hereunto subscribed my name and fixed my official seal on the day and year last aforesaid.

[Signature]
Notary Public



MEGAN ELIZABETH KOSMAC
Attorney at Law
Notary Public, State of Ohio
My Commission Has No Expiration
Section 147.03 R.C.

Instrument prepared by: Alban & Alban, LLP, 7100 N. High St., #102, Worthington, Ohio 43085, (614) 340-4044



SCIOTO LAND SURVEYING SERVICE

175 North Broadway Street
Delaware, Ohio 43015

Phone: 740-598-1017
Fax: 740-552-1011

Surveyors
Jason B. Coleman, P.E. 7816
John H. Bailey, P.E. 8163
Richard Frank Cobb, P.E. 5514

Description of a 69.685 acre Tract
for John Rogers, Trustee

March 17, 2015

Situated in the City of Delaware, County of Delaware, State of Ohio, being part of Lots P and Q, Quarter-Township 1, Township 4, Range 19 in the United States Military Lands, being all of the remainder of Tracts 1 and 2 conveyed to John Rogers, Trustee in Official Records Volume 1231, Page 240, and being more particularly described as follows:

COMMENCING at a MAG nail set at the intersection of the centerline of Township Road 101 (Pollock Road) and the north line of Lot S, also being the south line of Lot Q, also being on the north line of a 61.983 acre tract (Tract 1) conveyed to LYH, LLC in Official Records Volume 91, Page 1310;

RECORDATION OFFICE ONLY
This document is subject to recording in the Delaware County Recorder's Office.
3/25/15

thence along the said north line of Lot S, also being the said south line of Lot Q, also being the said north line of the 61.983 acre tract South 85° 38' 32" West 1890.65 feet to an iron bar set, being the southeast corner of a 17.542 acre tract (Parcel 1) conveyed to Steven J. and Catherine R. Jettiford, Co-Trustees in Official Records Volume 483, Page 2352, also being the TRUE POINT OF BEGINNING of the following described tract;

thence along the east line of the 17.542 acre tract North 04° 18' 38" East 809.45 feet to an iron bar set;

thence along the north line of the said 17.542 acre tract, and along the north line of a 0.304 acre tract (Parcel 2), and along the north line of a 4.650 acre tract (Parcel 1) conveyed to Edward J. and Debra K. Connor in Deed Book 607, Page 356, and along the north line of a 1.151 acre tract conveyed to Charles William Keller, Jr. and Kathleen M. Keller in Official Records Volume 1148, Page 558 North 85° 34' 16" West 1828.85 feet to a point in the center of the Olentangy River (passing a 2/4" iron pipe found at 1499.03 feet and a 5/8" iron bar found at 1549.08 feet), being on the east line of a 3.50 acre tract conveyed to Lynn O. Wattermire in Official Records Volume 1046, Page 93;

DESCRIPTION APPROVED
FOR TRANSFER
Chris Bauserman
Delaware County Engineer

thence along the said center of the Olentangy River, also being the said east line of the 3.50 acre tract, and along the east line of a 3.23 acre tract conveyed to Lynn O. Wattermire, Trustee in Official Records Volume 906, Page 1089 North 02° 38' 51" West 277.19 feet, being the southwest corner of a 2.355 acre tract conveyed to John Thomas Rogers in Deed Book 882, Page 768, and Official Records Volume 832, Page 1027;

thence along the south line of the said 2.355 acre tract South 83° 58' 59" East 522.20 feet to a 5/8" iron bar found (Patridge) (passing a MAG nail set at 62.36 feet);

thence along the east line of this said 2.355 acre tract North 13° 41' 55" West 287.48 feet to an iron bar set, being on the south line of a 101.38 acre tract (Tract 2) conveyed to Pifflek Venture LLC in Official Records Volume 593, Page 1701;

thence along the said south line of the 101.38 acre tract South 88° 00' 00" East 2882.01 feet to a 5/8" iron bar found (Shores) being the northeast corner of a 3.420 acre tract conveyed to Bruce E. and Aldona M. Babbitt in Deed Book 615, Page 387;

Poor Copy As Presented To The
DELAWARE COUNTY RECORDER

Printed in Delaware, Ohio and in Kentucky

Description of a 69.685 acre Tract
for John Rogers; Trustee

Page Two

thence along the west line of the said 3.426 acre tract South 04° 10' 10" West 274.12 feet to a 3/8" iron bar found (SLS5), being the northwest corner of a 4.126 acre tract conveyed to Bruce E. and Aldona M. Gubbitt in Deed Book 558, Page 309, also being on the south line of Lot P and the north line of Lot Q;

thence along the west line of the said 4.126 acre tract South 04° 37' 01" West 331.17 feet to a 1/2" iron pipe found (SLS5), being a northwest corner of the aforesaid 61.983 acre tract;

thence along a west line of the said 61.983 acre tract South 04° 52' 51" West 811.70 feet to a wood corner post found, being on the north line of Lot S, also being the south line of Lot Q;

thence along the said north line of Lot S, also being the said south line of Lot Q, also being the said north line of the 61.983 acre tract North 85° 28' 41" West 1804.65 feet to the TRUE POINT OF BEGINNING;

containing 69.685 acres, more or less;

subject to all assessments, restrictions, and rights-of-way, if any, of record;

Surveyed by Karen S. Coffman, Surveyor, Registration No. 7845 on March 17, 2015. Basis of bearings is the north line of the said property (S 85° 00' 00" E), per Official Records Volume 1231, Page 340. All iron bars set are 3/8" in diameter and are set with a plastic cap marked "SLS5 PS 7845".


Karen S. Coffman, Surveyor
Registration No. 7845



Poor Copy As Presented To The
DELAWARE COUNTY RECORDER

Doc ID: 011568190009 Type: OFF
Kind: DEED
Recorded: 08/03/2017 at 11:25:27 AM
Fee Amt: \$84.00 Page 1 of 9
Workflow# 0000146888-0004
Delaware County, OH
Melissa Jordan County Recorder
File# 2017-00021841
BK 1518 PG 1449-1457
CROWN SEARCH BOX

Delaware County
The Grantor Has Complied With
Section 319.202 Of The R.C.
DATE 8-3-17 Transfer Tax Paid 0
~~TRANSFERRED OR TRANSFER NOT NECESSARY~~
Delaware County Auditor By CM

QUIT CLAIM DEED ^{17115-UT} Crown-TTA-C^{CD}

POLLOCK VENTURE LLC, an Ohio limited liability company, (the "Grantor"), for valuable consideration paid, grants to TERRA ALTA LLC, an Ohio limited liability company (the "Grantee), whose tax mailing address is 148 W. Schrock Road, Westerville, Ohio 43081, all of Grantor's interest in and to the real property described in Exhibit "A" attached hereto and incorporated by reference herein.

Prior Instrument References: Deed Book Volume 0593, Page 1689,
Deed Book Volume 0593, Page 1701,
Deed Book Volume 1429, Page 838
Recorder's Office, Delaware County, Ohio

Parcel Numbers: 419-140-02-006-000, 419-130-01-001-000,
419-130-01-002-000, 419-130-01-003-000,
419-130-01-004-000, 419-140-02-024-000,
419-140-02-025-000, 419-140-02-024-001
419-130-01-014-000

IN WITNESS WHEREOF, the Grantor has caused the execution of this Quit Claim Deed this 3rd day of July, 2017.

POLLOCK VENTURE LLC, an Ohio limited liability company
By: Vincent Romanelli
Vincent Romanelli, Managing Member

[Acknowledgement Contained on Next Page]

STATE OF OHIO

)
)§

COUNTY OF ~~FRANKLIN~~)
Delaware

The foregoing instrument was acknowledged before me this 31st day of July, 2017 by Vincent Romanelli, Managing Member of Pollock Venture LLC, an Ohio limited liability company, on behalf of such company.

Jeffrey A. Auker

Notary Public

This Instrument prepared by:
David W. Fisher, Esq.
Kephart Fisher LLC
207 North Fourth Street
Columbus, OH 43215



JEFFREY A. AUKER,
ATTORNEY AT LAW
NOTARY PUBLIC, STATE OF OHIO
My commission has no expiration date,
Section 147.03 R.C.

EXHIBIT 'A'

17115-UT

LEGAL DESCRIPTION

Situated in the Township of Delaware, County of Delaware, State of Ohio, and is described as follows:

Situated in the County of Delaware, in the State of Ohio, and in the Township of Delaware, and bounded and described as follows:

TRACT ONE:

Being in Range 19, Township 4, Section 1, Lot 10, USM Lands, and bounded and described as follows:

Beginning in the center of the Olentangy River in the northwest corner of Lot 10; thence S 85 degrees E. 289.42 poles to a stone; thence S 5 degrees 8' W 57.19 poles;

Thence N 85 degrees 5' W 236.22 poles; Thence S 75 degrees 35' W 59.09 poles to the center of the Olentangy River; thence up the center of the Olentangy Rive with the meanderings thereof, N 36 degrees 47' W 17.05 poles; thence N 31 degrees 7' W 12.68 poles; thence N 13 degrees 48' E 16.76 poles;

Thence N 33 degrees 25' E 23.62 poles; thence N 29 degrees 50' E 19.31 poles to the place of beginning, containing 113.27 acres of land more or less.

TRACT TWO:

The following real estate situated in the County of Delaware, State of Ohio, and in the Township of Delaware, bounded and described as follows:

A part of the south end of Lot #10 and a part of the north end of Lot P in the first section of Delaware Township, in Township 4, Range 19, United States Military Lands.

Beginning on the east bank of Olentangy Rive, which is also known as Whetstone Creek or River, at the northwest corner of land now or formerly owned by William Johnston;

Thence with Johnston's line, south 87 degrees 30' east, passing the center of the public road at 5.50 rods, in all 229.00 rods to a post and stone on an old lot line at the southwest corner of a 16.12 acre tract sold off from the original 133.00 acre tract, of which this is a part;

Thence north 2 degrees 43' east, passing the northwest corner of said 16.12 acre tract at 54.80 rods, passing the northwest corner of a 4.12 acre tract, sold off from said original 133.00 acre tract, of which this is a part, at 68.05 rods, in all 69.68 rods to the southeast corner of a 113.27 acre orchard farm, formerly owned by Earl L. Miller et al;

Thence with two of Miller's line, north 87 degrees 30' west 236.22 rods to a stone and post and south 73 degrees 10' west, passing the center of the public road at about 22.00 rods, in all 59.09 rods to the east bank of the Olentangy River;

Thence along said river bank, south 52 degrees east 68.00 rods and south 35 degrees 45' east 13.00 rods to the place of beginning, containing 112.86 acres, more or less.

EXCEPTING THE FOLLOWING DESCRIBED TRACT:

Situated in Delaware County, State of Ohio, Township of Delaware, and being in Range 19, Township 4, Section 1, Lot P, USM Lands and beginning at a railroad spike at the southeast corner of a 13.98 acre tract, Deed Book 285, page 505;

Thence S 38 degrees 45' E along the center line of said County Road No. 101 (Pollock Road) 403.33 feet to the point of curvature of a 20 degrees 47' curve to the right (radius 275.68 feet);

DESCRIPTION FOR CLOSING U.L.
RPC Approval Required
Municipal Approval Required
Delaware County Engineer

DESCRIPTION APPROVED FOR TRANSFER
Chris Bauserman
Delaware County Engineer

Exhibit A continued

Thence along said curve, arc distance 114.03 feet to the point of tangency; thence S 15 degrees 03' E 636.26 feet to a steel pin; thence N 82 degrees 18' W 168.91 feet to the center of the Olentangy River;

Thence N 48 degrees 58' W along the center of said river 999.88 feet to a point; thence N 42 degrees 53' W 258.62 feet to a point being the southwest corner of said 13.98 acre tract; thence N 75 degrees 35' E 649.10 feet to the point of beginning, containing 11.478 acres.

The above described property being subject to all legal highways and easements of record.

TRACT THREE:

Being in Range 19, Township 4, Section 1, Lot P, USM Lands and beginning at a railroad spike at the point of intersection of the north line of Lot P and the centerline of Delaware County Road No. 101 (Pollock Road), being the southeast corner of a 13.98 acre tract, Deed Book 285, page 505;

Thence S 38 degrees 45' E along the center line of said County Road No. 101 (Pollock Road) 403.33 feet to the point of curvature of a 20 degrees 47' curve to the right (radius 275.68 feet); thence along said curve, arc distance 114.03 feet to the point of tangency;

Thence S 15 degrees 03' E 636.26 feet to a steel pin; thence N 82 degrees 18' W 168.91 feet to the center of the Olentangy River; thence N 48 degrees 58' W along the center of said river 999.88 feet to a point; thence N 42 degrees 53' W 258.62 feet to a point being the southwest corner of said 13.98 acre tract being the north line of Lot P;

Thence N 75 degrees 35' E 649.10 feet to the point of beginning, containing 11.478 acres.

Being that part of Parcel No. 2 described in deed of record in Deed Book 285, page 507, Delaware County, Ohio Recorder's Office, lying between the center of the Pollock Road and the center of the Olentangy River.

Both of the above described tracts being subject to all legal highways and easements of record.

TRACT FOUR:

Situated in the City of Delaware, County of Delaware, State of Ohio, is described as follows:

Being a part of Lot 10, Lot P, Lot D and Lot C, Section 1, Township 4 and Range 19, U.S.M. Lands;

Beginning at a bolt found set over an old corner stone in the centerline of County Road 91 (Berlin Station Road) where it intersects the common line between Lot D and Lot C; thence along the centerline of said County Road 91, south 10 degrees 53' 05" east a distance of 740.45 feet to a railroad spike set on the northeast corner of an 8.0 acre tract of land owned by Raymond C. and Dorothy Hagaman as described in Deed Book 209 page 487;

Thence along the north line of said 8.0 acre tract, south 79 degrees 46' 40" west (passing over an iron pipe set at 30.00 feet) a total distance of 929.94 feet to an old corner stone found on the westerly line of Lot C; thence north 80 degrees 58' 20" west a distance of 53.62 feet to an iron pipe set on the easterly line of a 74.33 acre tract of land owned by Jack G. Schmidt as described in Deed Book 336, page 1;

Thence along the east line of said 74.33 acre tract and the east line of a 25.0 acre tract North 0 degrees 13' east a distance of 1114.98 feet to an iron pipe set at the southwesterly corner of a tract of land owned by Charles Donovan; thence south 89 degrees 08' 16" east along the south line of said Donovan tract, a distance of 507.09 feet to an iron pipe set on the northwest corner of a 1.00 acre tract of land now or formerly owned by Maude I. Spence as described in Deed Book 327, page 685, Delaware County Recorder's Office;

Thence south 0 degree 45' 45" west a distance of 150.43 feet to an iron pipe set on the southwest corner of aforementioned 1.0 acre tract; thence along the southerly line of said 1.0 acre tract south 89 degrees 08' 16" east (passing over an iron pipe set at 275.26 feet) a total distance of 305.91 feet to a bolt found over an old corner stone in the centerline of County Road 91;

Exhibit A Continued

Thence along the centerline of said County Road 91, south 10 degrees 53' 05" east a distance of 69.83 feet to the place of beginning.

Containing 20.04 acres more or less of which 0.24 of an acre is in Lot 10, 3.00 acres are in Lot D, 1.03 acres are in Lot P and 14.77 acres are in Lot C.

Subject to all easements and rights-of-way of record.

Surveyed by Franklin D. Stults, Registered Surveyor No. 4873.

For Informational Purposes only:
Property Address: Pollock Road and Berlin Station Rd Delaware, Ohio 43015
Parcel No.:

EXHIBIT A - Continued

TRACT II: (91.272 acres)

Situated in the State of Ohio, County of Delaware, Township of Delaware, being a part of Farm Lots Sand T, Section 1, Township 4, Range 19, United States Military Lands, and being a 42 acre tract (Tract III) and a 51.76 acre tract (Tract IV), both conveyed to Evelyn J. Stockdale in Deed Book (D.B.) 524, Page 539, Delaware County Recorder's Office;

All records referred to are those of record in the Delaware County Recorder's Office;

Beginning at a found 3/4" Iron pipe (poor condition) at the intersection of the east line of the said Farm Lot T and the centerline of Braumiller Road (60 feet wide), as shown on a survey for David Weiser, found in Surveyors Record 10, Page 48, being the southeast corner of the said 42 acre tract, the southwest corner of a 0.351 acre tract (Tract I) conveyed to Howard Edward Fisher II in D.B. 638, Page 304, the northeast corner of a 6.728 acre tract (Tract I) and the northwest corner of a 3.294 acre tract (Tract II), both conveyed to John A. and Lois Jeanne Mason in D.B. 487, Page 841;

Thence along the centerline of the said Braumiller Road and a south line of the said 42 acre tract the following three (3) courses;

South 78 degrees 13 minutes 03 seconds West, 929.44 feet to a found railroad spike;

South 69 degrees 39 minutes 13 seconds West, 130.87 feet to a set "Mag" nail;

South 79 degrees 27 minutes 09 seconds West, 489.59 feet to a found 5/8" iron pin;

Thence North 85 degrees 29 minutes 00 seconds West, 1688.40 feet, along the centerline of the said Braumiller Road, and a south line of the said 42 acre tract, and a south line of the said 51.76 acre tract, to a set "Mag" nail, being the southeast corner of a 5.000 acre tract conveyed to Michael F. and Terry E. Stockdale in D.B. 523, Page 559;

Thence North 04 degrees 14 minutes 48 seconds East, 636.51 feet, crossing the said 51.76 acre tract and along the east line of the said 5.000 acre tract, passing a set iron pin at 30.00 feet, to a set iron pin, being the northeast corner of the said 5.000 acre tract;

Thence North 64 degrees 50 minutes 18 seconds West, 586.14 feet, crossing the said 51.76 acre tract and along the north line of the said 5.000 acre tract, passing a found 5/8" iron pin at 15.28 feet, passing a found 3/4" iron pipe with a cap stamped "Stults & Assocs." at 386.92 feet, passing a set "Mag" nail at 417.17 feet, to a point in the centerline of the Olenlangy River, being the northwest corner of the said 5.000 acre tract and a corner of the said 51.76 acre tract;

Thence North 10 degrees 35 minutes 58 seconds East, 630.57 feet, along a west line of the said 51.76 acre tract and the centerline of the said Olenlangy River, to a point, being the northwest corner of the said 51.76 acre tract, the southwest corner of a 50.356 acre tract (Tract I) conveyed to Michael F. and Terry E. Stockdale in D.B. 537, Page 388;

Thence South 85 degrees 39 minutes 52 seconds East, 3876.25 feet, along the north line of the said 51.76 acre tract and of the said 42 acre tract, and the south line of the said 50.356 acre tract, passing a set iron pin at 128.69 feet, a set "Mag" nail at 158.70 feet, and a set iron pin at 188.72 feet, to a set iron pin, being the northeast corner of the said 42 acre tract, the southeast corner of the said 50.356 acre tract, a point in the east line of the said Lot S, and a point in the west line of Lot R and in a west line of a 9.841 acre tract (Tract II) conveyed to Howard Edward Fisher II in D.B. 638, Page 304;

Thence South 04 degrees 49 minutes 28 seconds West, 558.43 feet, along an east line of the said 42 acre tract, the east line of the said Lot S, and along the west line of the said Lot R and of the said 9.841 acre tract, to a point referenced by a found 1" square iron pin (2.03 feet N, 0.43 feet E, 1.2 feet above grade), said point being a corner of the said 42 acre tract, the southeast corner of the said Lot S, the southwest corner of the said 9.841 acre tract and of the said Lot R, the northeast corner of the said Lot T, and the northwest corner of Lot U and of the said 0.351 acre tract;

DESCRIPTION FOR CLOSING ONLY
 RPC Approval Required
 Municipal Approval Required
 Delaware County Engineer
7-28-17

DESCRIPTION FOR CLOSING ONLY
 RPC Approval Required
 Municipal Approval Required
 Delaware County Engineer

DESCRIPTION FOR CLOSING ONLY
 RPC Approval Required
 Municipal Approval Required
 Delaware County Engineer

Exhibit A - Continued

Thence South 04 degrees 01 minutes 18 seconds West, 182.83 feet, along an east line of the said 42 acre tract, the east line of the said Lot T, and the west line of the said Lot U and of the said 0.351 acre tract, passing a set iron pin at 151.85 feet, to the True Point of Beginning, containing 3,976,804 square feet or 91.272 acres, of which 41.232 acres are in Lot T and 50.040 acres are in Lot S, according to a survey by J & J Surveying Services, Inc. in February of 2000;

The basis of bearings is the centerline of Braumiller Road as being North 85 degrees 29 minutes 00 seconds West, as shown on the plat of the said Butler Addition, and is used to denote angles only. All iron pins set are 3/8" in diameter, 30" long, with a cap stamped "J & J SURVEYING".

TRACT II: (61.983 acres)

Situated in the State of Ohio, County of Delaware, Township of Delaware, being a part of Farm Lots Q and S, Section 1, Township 4, Range 19, United States Military Lands, and being all of a 50.356 acre tract (Tract I) and all of a 10 acre tract (Tract II), both conveyed to Michael F. and Terry E. Stockdale in Deed Book (D.B.) 537, Page 388, Delaware County Recorder's Office;

All records referred to are those of record in the Delaware County Recorder's Office;

Beginning at a found 3/4" iron pipe (poor condition) at the intersection of the east line of Farm Lot T and the centerline of Braumiller Road (80 feet wide), as shown on a survey for David Welser, found in Surveyors Record 10, Page 48, being the southeast corner of a 42 acre tract conveyed to Evelyn J. Stockdale in D.B. 521, Page 539, the southwest corner of a 0.351 acre tract (Tract I) conveyed to Howard Edward Fisher II in D.B. 638, Page 304, the northeast corner of a 6.726 acre tract (Tract I) and the northwest corner of a 3.294 acre tract (Tract II), both conveyed to John A. and Lois Jeanne Mason in D.B. 487, Page 841;

Thence North 04 degrees 01 minutes 18 seconds East, 182.83 feet, along the east line of the said Farm Lot T, an east line of the said 42 acre tract, the west line of the said Farm Lot U and the said 0.351 acre tract, passing a set iron pin at 31.18 feet, to a point referenced by a found 1" square iron pin (2.03 feet N, 0.43' E, 1.2' above grade), said point being a corner of the said 42 acre tract, the northeast corner of the said Farm Lot T, the northwest corner of the said Farm Lot U and the said 0.351 acre tract, the southeast corner of Farm Lot S, and the southwest corner of Farm Lot R and of a 9.841 acre tract (Tract II) conveyed to Howard Edward Fisher II in D.B. 638, Page 304;

Thence North 04 degrees 49 minutes 28 seconds East, 558.43 feet, along an east line of the said 42 acre tract, the east line of the said Farm Lot S, and the west line of the said Farm Lot R and of the said 9.841 acre tract, to a set iron pin, being the northeast corner of the said 42 acre tract and the southeast corner of the said 50.356 acre tract, and being the True Point of Beginning;

Thence North 85 degrees 39 minutes 52 seconds West, 3875.25 feet, along the south line of the said 50.356 acre tract, the north line of the said 42 acre tract, the north line of a 51.76 acre tract (Tract IV) conveyed to Evelyn J. Stockdale in D.B. 521, Page 329, crossing the said Farm Lot S, passing a set iron pin at 3886.54 feet, a set "Mag" nail at 3716.55 feet, and a set iron pin at 3746.66 feet, to a point in the centerline of the Olentangy River, being the southwest corner of the said 50.356 acre tract, the northwest corner of the said 61.76 acre tract, and a corner of the said Farm Lot S;

Thence North 18 degrees 09 minutes 25 seconds East, 611.69 feet, along the centerline of the said Olentangy River, the west line of the said 50.356 acre tract, and a west line of the said Farm Lot S, to a point, being the northwest corner of the said 50.356 acre tract and of the said Farm Lot S, and being the southwest corner of a 5.938 acre tract conveyed to Randall L. and Camille Orr in D.B. 668, Page 8 and of Farm Lot Q;

Thence South 85 degrees 39 minutes 52 seconds East, 3191.68 feet, along the north line of the said 50.356 acre tract and of the said Farm Lot S, and along the south lines of a 5.938 acre tract conveyed to Randall L. and Camille Orr in D.B. 668, Page 8, of a 17.542 acre tract conveyed to Steven J. and Catherine R. Jefferis in D.B. 572, Page 813, of a 53.46 acre tract conveyed to Mary Maxine Rogers in D.B. 402, Page 692, and of the said Farm Lot Q, to a set iron pin, being the southeast corner of the said 53.46 acre tract and the southwest corner of the said 10 acre tract;

Exhibit A - Continued

Thence North 04 degrees 49 minutes 28 seconds East, 811.83 feet, along the west line of the said 10 acre tract and the east line of the said 53.46 acre tract, crossing the said Farm Lot Q; to a found 3/4" iron pipe with a cap stamped "SLSS RS6612", being the northwest corner of the said 1 0 acre tract and the southwest corner of a 4.126 acre tract conveyed to Bruce E. and Aldana M. Babbitt in D.B. 559, Page 309;

Thence South 85 degrees 31 minutes 58 seconds East, 542.50 feet, along the north line of the said 10 acre tract and the south line of the said 4.126 acre tract, crossing the said Farm Lot Q, to a found 1" square iron pin (slightly bent), being the northeast corner of the said 1 0 acre tract, the southeast corner of the said 4.126 acre tract, the southwest corner of a 6.194 acre tract conveyed to Bruce E. and Aldana M. Babbitt in D.B. 488, Page 513, the northwest corner of a 8.502 acre tract conveyed to Howard F. and Genevieve Fisher in D.B. 415, Page 435, and a point in the east line of the said Farm Lot Q and in the west line of the said Farm Lot R;

Thence South 04 degrees 49 minutes 28 seconds West, 1404.58 feet, along the east line of the said 10 acre tract, the east line of the said 50.356 acre tract, the east line of the said Farm Lots Q and S, the west line of the said 8.602 acre tract, the west line of a 7.863 acre tract conveyed to Howard F. and Genevieve Fisher in D.B. 640, Page 332, the west line of a 8.370 acre tract conveyed to M. H. Dakhteh Co., Inc. in D.B. 687, Page 340, the west line of the said 9.841 acre tract, and the west line of the said Farm Lot R, to the True Point of Beginning, containing 2,699,993 square feet or 61,983 acres, of which 10,103 acres are in Farm Lot Q and 51,880 acres are in Farm Lot S, according to a survey by J & J Surveying Services, Inc. in February of 2000;

The basis of bearings is the centerline of Braumiller Road as being North 85 degrees 29 minutes 00 seconds West, as shown on the plat of the said Butler Addition, and is used to denote angles only. All iron pins set are 5/8" in diameter, 30" long, with a cap stamped "J&J SURVEYING".

TRACT III: (5.000 acres)

Situated in the State of Ohio, County of Delaware, Township of Delaware, being a part of Farm Lot T, Section 1, Township 4, Range 19, United States Military Lands, and being all of a 5.000 acre tract conveyed to Michael F. and Terry E. Stockdale in Deed Book (O.B.) 523, Page 559, Delaware County Recorder's Office;

All records referred to are those of record in the Delaware County Recorder's Office;

Beginning at a found 3/4" iron pipe (poor condition) at the intersection of the east line of Farm Lot T and the centerline of Braumiller Road (60 feet wide), as shown on a survey for David Welser, found in Surveyors Record 10, Page 48, being the southeast corner of a 42 acre tract (Tract III) conveyed to Evelyn J. Stockdale in D.B. 521, Page 539, the southwest corner of a 0.351 acre tract (Tract I) conveyed to Howard Edward Fisher II in D.B. 638, Page 304, the northeast corner of a 8.728 acre tract (Tract I) and the northwest corner of a 3.294 acre tract (Tract I), both conveyed to John A. and Lois Jeanne Mason in D.B. 467, Page 641;

Thence along the centerline of the said Braumiller Road and a south line of the said 42 acre tract the following three (3) courses;

South 78 degrees 13 minutes 03 seconds West, 929.44 feet to a found railroad spike;

South 69 degrees 39 minutes 13 seconds West, 130.87 feet to a set "Mag" nail;

South 79 degrees 27 minutes 09 seconds West, 489.59 feet to a found 5/8" iron pin;

Thence North 85 degrees 29 minutes 00 seconds West, 1868.40 feet, along the centerline of the said Braumiller Road, a south line of the said 42 acre tract, and a south line of 51.76 acre tract (Tract IV) conveyed to Evelyn J. Stockdale in D.E. 521, Page 329, to a set "Mag" nail, being the southeast corner of the said 5.000 acre and the True Point of Beginning;

Thence North 85 degrees 29 minutes 00 seconds West, 40.28 feet, along the centerline of the said Braumiller Road and a south line of the said 5.000 acre tract, to a found railroad spike, being a corner of the said 5.000 acre tract and the southeast corner of a 1.403 acre tract conveyed to Michael F. and Terry Elaine Stockdale in D.B. 463, Page 618;

Exhibit A-- Continued

Thence North 04 degrees 40 minutes 48 seconds East, 238.72 feet, along a line of the said 5.000 acre tract and the east line of the said 1.403 acre tract, to a set iron pin, being a corner of the said 5.000 acre tract and the northeast corner of the said 1.403 acre tract;

Thence North 84 degrees 24 minutes 15 seconds West, 254.40 feet, along a south line of the said 5.000 acre tract and the north line of the said 1.403 acre tract, to a set iron pin, being a corner of the said 5.000 acre tract and the northwest corner of the said 1.403 acre tract;

THENCE South 08 degrees 15 minutes 28 seconds West, 96.77 feet, along a line of the said 5.000 acre tract and the west line of the said 1.403 acre tract, to a set iron pin, being a corner of the said 5.000 acre tract and the northeast corner of a 1.1 acre tract conveyed to Marjorie J. Smale in D.B. 484, Page 65;

Thence North 85 degrees 42 minutes 01 seconds West, 309.84 feet, along a south line of the said 5.000 acre tract and the north line of the said 1.1 acre tract, passing a set "Mag" nail at 174.60 feet and a set iron pin at 204.90 feet, to a point, being the southwest corner of the said 5.000 acre tract and the northwest corner of the said 1.1 acre tract, and being a point in the centerline of the Olentangy River and in the west line of the said Farm Lot T;

Thence North 07 degrees 35 minutes 38 seconds East, 399.90 feet, along the centerline of the said Olentangy River, the west line of the said Farm Lot T, and the west line of the said 5.000 acre tract, to a point, being the northwest corner of the said 5.000 acre tract and a corner of the said 51.76 acre tract;

Thence South 84 degrees 50 minutes 18 seconds East, 586.14 feet, along the north line of the said 5.000 acre tract and crossing the said 51.76 acre tract, passing a set "Mag" nail at 169.97 feet, a found 3/4" iron pipe with a cap stamped "Stults and Assocs." at 189.23 feet, and a found 5/8" iron pin at 570.86 feet, to a set iron pin, being the northeast corner of the said 5.000 acre tract;

Thence South 04 degrees 14 minutes 48 seconds West, 538.51 feet, along the east line of the said 5.000 acre tract and crossing the said 51.76 acre tract, passing a set iron pin at 508.51 feet, to the True Point of Beginning, containing 217,819 square feet or 5.000 acres, according to a survey by J & J Surveying Services, Inc. in February of 2000;

The basis of bearings is the centerline of Braumiller Road as being North 85 degrees 29 minutes 00 seconds West, as shown on the plat of the said Butler Addition, and is used to denote angles only. All iron pins set are 5/8" in diameter, 30" long, with a cap stamped "J&J SURVEYING."

245.867 ACRES

Situated in the State of Ohio, County of Delaware, Township of Delaware, United States Military Lands, being all of those 113.27 10, C, D, and P Section 1, Township 4, Range 19, United States Military Lands, being all of those 113.27 acre, 11.478 acre, and 20.04 acre tracts conveyed to Pollock Venture LLC by deeds of record in Official Record 593, Page 1701 and Official Record 593, Page 1689 (all references refer to the Records of the Recorder's Office, Delaware County, Ohio), and being described as follows:

BEGINNING at a magnetic nail set at a southeasterly corner of said 20.04 acre tract, that 5.001 acre tract conveyed to Susan M. Cope, Jean Audrey Cope and Jerald C. Cope by deed of record in Official Record 863, Page 974, that 1.941 acre tract conveyed to Constance D. Shicks by deed of record in Official Record 27, Page 544 and that 1.142 acre tract conveyed to Bruce L. and Beverly Hageman by deed of record in Deed Book 209, Page 487, being the centerline of Berlin Station Road;

thence South 82°25'11" West, with the northern line of said 1.142 acre tract, with the northern line of that 4.78 acre tract conveyed to Bruce L. and Beverly Hageman by deed of record in Deed Book 514, Page 512, a distance of 929.69 feet to an iron pin set at a northeasterly corner of that 3.420 acre tract conveyed to Bruce E. and Aldona M. Babbitt by deed of record in Deed Book 615, Page 387;

thence North 86°31'09" West, with the southerly line of said 76.380 acre tract, the northerly line of said 3.420 acre tract, with the northerly line of that 2.355 acre tract conveyed to John Thomas Rogers by deeds of record in Deed Book 562, Page 768 and Official Record 932, Page 1027, the northerly line of those tracts conveyed as Parcel I and Parcel II to William W. And Marcia W. Waterson by deed of record in Official Record 612, Page 2504, a distance of 3923.53 feet to a point set in the centerline of Olenangy River;

thence with the centerline of said Olenangy River, the following courses and distances:

North 32°50'30" West, a distance of 4.64 feet to a point;

North 35°30'00" West, a distance of 80.37 feet to a point;

North 48°00'32" West, a distance of 193.02 feet to a point;

North 55°23'22" West, a distance of 196.23 feet to a point;

North 50°43'36" West, a distance of 464.44 feet to a point;

North 62°55'36" West, a distance of 144.47 feet to a point;

North 45°55'36" West, a distance of 97.98 feet to a point;

North 34°22'11" West, a distance of 204.75 feet to a point;

North 25°14'27" West, a distance of 142.52 feet to a point;

North 28°37'34" West, a distance of 216.82 feet to a point;

North 24°15'58" West, a distance of 163.13 feet to a point;

North 35°48'32" East, a distance of 394.10 feet to a point;

North 26°50'25" East, a distance of 280.06 feet to a point and;

North 21°25'50" East, a distance of 164.33 feet to a point at a southeasterly corner of that 107.991 acre tract conveyed to Susan J. Logan by deed of record in Official Record 889, Page 471;

thence South 86°55'32" East, with the northerly line of said 113.27 acre tract, the southerly line of said 107.991 acre tract, (passing a found railroad spike at 277.60') a total distance of 4824.44 feet to an iron pin set at a northwesterly corner of that 3.161 acre tract as conveyed to Seth Nuzum by deed of record in Official Record 1140, Page 2034;

thence South 03°17'31" West, with the easterly line of said 113.27 acre tract, the westerly line of said 3.161 acre tract, the westerly line of that 5.071 acre tract conveyed to Susan Murphy by deed of record in Deed Book 516, Page 75, the westerly line of that 5.00 acre tract as conveyed to Gregory P.

Malenky and Michele E. Carroll by deed of record in Official Record 774, page 1236, and the westerly line of that 3.598 acre tract conveyed to Richard a. Shuler by deed of record in Official Record 1222, Page 2246, a distance of 955.25 feet to an iron pin set at a corner southwestly corner of said 3.598 acre tract;

thence South 86°36'23" East, with the northerly line of said 20.04 acre tract, the southerly line of said 3.598 acre tract, a distance of 506.59 feet to an iron pin set at a northwesterly corner of that 1 acre tract conveyed to David G. and Deborah B. Ames by deed of record in Official Record 773, page 2517;

thence South 03°24'16" West, with the easterly line of said 20.04 acre tract, the westerly line of said 1 acre tract, a distance of 150.03 feet to an iron pin set;

thence South 86°29'45" East, the northerly line of said 20.04 acre tract, the southerly line of said 1 acre tract, a distance of 305.91 feet to an iron pin set in the centerline of said Berlin Station Road;

thence South 08°14'08" East, with the easterly line of said 20.04 acre tract, with the centerline of said Berlin Station Road, a distance of 810.29 feet to the POINT OF BEGINNING and containing 245.687 acres of land, more or less.

Subject, however, to all legal rights-of-ways and/or easements, if any, of previous record.

Iron pins set, where indicated, are iron pipes, thirteen sixteenths (13/16) inch inside diameter, thirty (30) inches long with a plastic plug placed in the top bearing the initials EMHT INC.

This description is based on existing records and an actual field survey performed in January 2004.

The bearings are based on the Centerline of Stratford Road, North 11°16'37" West, as surveyed and described by David B. McCoy in Deed Book 637, Page 28, Recorder's Office, Delaware County, Ohio.

EVANS, MECHWART, HAMBLETON & TILTON, INC.

Edward J. Miller
Registered Surveyor No. 8250

COMMUNITY IMPACT ASSESSMENT

Pursuant to Chapter 1191
City of Delaware Zoning Code

TERRA ALTA SUBDIVISION

Applicant and Owner:
Terra Alta LLC
148 W. Schrock Road
Westerville, Ohio 43081

Submitted by:
Kephart Fisher LLC
207 N. Fourth Street
Columbus, Ohio 43215

and

EMH&T
5500 New Albany Road
Columbus, Ohio 43054

Dated: February 5, 2020

BACKGROUND AND INTRODUCTION:

This Community Impact Assessment has been prepared in compliance with Chapter 1191 City of Delaware Zoning Code, as in effect on the date hereof (the “Code”). All section references, paragraph numbering and lettering contained herein correspond to Section 1191.03 of the Code.

This Community Impact Assessment is being submitted in connection with a “Master Application” for rezoning and preliminary development plan approval filed with the City of Delaware, Ohio (“City”) by Terra Alta LLC, an Ohio limited liability company (“Developer”), pertaining to an overall development consisting of three tracts of land as follows; approximately 245.9 acres located between Pollock Road and Berlin Station Road, Delaware, Ohio to be known as “Terra Alta Property”, approximately 69.685 acres located between Pollock Road and Berlin Station Road, Delaware, Ohio to be known as “Rogers Property” and approximately 158.255 acres located at the corner of Pollock Road and Braumiller Road, Delaware, Ohio to be known as “Stockdale Property” (“Terra Alta Property”, “Rogers Property” and “Stockdale Property” are sometimes collectively referred to herein as “Property”). References herein to the “Preliminary Development Plan(s)” and “Traffic Study” refer to those documents, as filed in connection with the Master Application, submitted and on file with the City.

1191.03(a) SITE SPECIFIC INFORMATION:

- (1) **Legal Description.** See attached Addendum 1 for a metes and bounds legal description of the Terra Alta Property, Rogers Property and Stockdale Property.
 - A. **Plat Book and Ownership.** A portion of the Terra Alta Property is platted. The Rogers Property and Stockdale Property are not currently platted. Current record owner of the Property is Terra Alta LLC, an Ohio limited liability company, who acquired title to Terra Alta Property and Stockdale Property in Book 1518, Page 1449 of the Delaware County, Ohio Recorder’s Office and acquired title to Rogers Property in Book 1507, Page 228 of the Delaware County, Ohio Recorder’s Office.
 - B. **Current Land Assessment.** The total current tax assessed value of Terra Alta Property is \$5,840,000, Rogers Property is \$1,184,700 and Stockdale Property is \$4,814,200.
 - C. **Adjacent Parcels Including Ownership.** See attached Addendum 2 for each Terra Alta Property, Rogers Property and Stockdale Property.
 - D. **Covenants, Existing and Proposed.** The Terra Alta Property and Stockdale Property are currently zoned Planned Mixed Use (PMU) Overlay District. The Rogers Property is currently in agricultural use and not subject to any existing covenants and restrictions, however, a rezoning to a Planned Mixed Use (PMU) Overlay District within the existing Agricultural A-1 zoning district for Rogers Property has been filed with the City. A master declaration of covenants, conditions and restrictions will be placed on the Property creating a master homeowner’s association and setting forth various restrictive covenants and various assessments

for the benefit of the entire Property once developed. A New Community Authority ("NCA") has previously been established for the Property. The NCA will own and maintain all Reserves (except Reserve "A" and Reserve "GG"), entrance features, common open spaces and amenities including pools and clubhouses serving the final, developed Property.

(2) **Location and Access.** The Property consists of approximately 472.9 acres located on the east side of the Olentangy River. Large multi-acre rural residential property borders the Property along its eastern boundary. Pollock Road traverses the Property near its western boundary. The Terra Alta Property has been partially developed and is currently used for residential purposes. Significant portions of the Property are wooded and in their undisturbed natural condition. Several streams are located on the Property including several that originate on the Property and one that traverses the Property in a general north/south direction generally through the western edge of the Property. The Olentangy River borders the Property along its western boundary.

(3) **Adjacent Land Uses.** Lands adjacent to the Property are generally being used for agricultural purposes and large multi-acre rural residential purposes, as shown on the submitted Preliminary Development Plans. The land assessment data for adjoining parcels is set forth on attached Addendum 2.

(4) **Existing Site Land Use.** The Terra Alta Property is currently being developed and used for residential purposes. A significant portion of the Property is forested and in its undisturbed natural state. The Preliminary Development Plan depicts existing land use patterns and current conditions.

(5) **Maps, Charts and Illustrations.** See the Preliminary Development Plan. Reference is also made to the entire Master Application and all its attachments for additional information. The Preliminary Development Plan shows an aerial photograph of existing conditions of the Property.

(6) **Environmental Impacts.**

A. **Topography and Drainage.**

The Property has a rolling topography which drains into five streams. The Preliminary Development Plan shows the location of streams present on the Property. A series of retention basins have been provided on the Preliminary Development Plan and they will meet the detention requirements for the Property as well as providing the final, developed Property with aesthetic features. The preliminary engineering analysis anticipates a storage volume requirement of approximately 28.8 acre feet for the Terra Alta Property and approximately 11.5 acre feet for the Rogers Property, including all off site volumes. The slopes present vary greatly and range between approximately 3% and 50%, with those most dramatic being along the stream banks. Preservation easements are being provided along all streams being protected, thereby precluding the final, developed Property from impacting those areas with the highest slopes.

Of the Terra Alta Property, approximately 8.6 acres are located in floodway, approximately 2.9 acres are in the 100 year floodplain and approximately 1.5 acres are in the 500 year floodplain, as defined by the Federal Emergency Management Agency (FEMA). Of the Rogers Property, approximately 0.2 acres are located in floodway, approximately 0.2 acres are in the 100 year floodplain and approximately 0.2 acres are in the 500 year floodplain, as defined by the Federal Emergency Management Agency (FEMA). Of the Stockdale Property, approximately 2.2 acres are located in floodway, approximately 1.2 acres are in the 100 year floodplain and approximately 0.4 acres are in the 500 year floodplain, as defined by the Federal Emergency Management Agency (FEMA). All acreage within the floodway or floodplains of the Terra Alta Property are located in the approximately 24.5 acres River Park that lies between the Olentangy River and Pollock Road. All acreage within the floodway or floodplains of the Rogers Property are located in Reserve "Q", consisting of approximately 2.4 acres, owned and maintained by the NCA. All acreage within the floodway or floodplains of the Stockdale Property are located in open spaces, consisting of approximately 12.56 acres on the east side of Pollock Road (Reserve "X") owned and maintained by the NCA and approximately 4.06 acres on the west side of Pollock Road (Reserve "GG"), to be dedicated to the City. All development of the Property, except for utilities and associated improvements to Pollock Road, will occur on the east side of Pollock Road and is outside of any regulated floodway, one-hundred year and five-hundred year flood boundary.

B. Vegetation.

There are areas of woodland interspersed throughout the Property. A tree survey has been prepared for the Property and is shown in the Preliminary Development Plan.

C. Soils.

Soils are indicated for the Property on the submitted Preliminary Development Plans. With the use of central sewer and water, it is anticipated that there will not be any structural limitations for the Development due to soils.

D. Ecology.

The Property has both wooded areas and areas without any significant vegetation dispersed across its acreage in a patchwork like pattern. The Development incorporates the wooded areas along with the natural drainage channels into the open space to take best advantage of them as community amenities. Tree preservation zones will be utilized to protect as many of the existing trees as possible. During construction, protective construction fencing will be placed at the drip line of those trees to be saved. Care will be taken to install appropriate erosion control measures to limit any impact to the jurisdictional waters of the United States being protected on the Property.

(7) **Air and Noise Pollution.** Development of the Property will not result in the generation, creation, cause or sustaining of air and noise pollution other than the effects usual and customary to a residential neighborhood. During site development and construction of dwelling units on the Property, there will be occasional dust created and those noises typically associated with the equipment and manpower necessary to develop the Property and construct dwelling units thereon. These noises will be limited generally to daylight working hours.

(8) **Sanitary Sewers and Storm Drainage.** In connection with the development of the Property as a planned residential community, sanitary sewer service will be provided to the entire Property by connection to the City wastewater treatment plant. This connection will occur through the Southeast Highland Sewer. A regional lift station was constructed as a part of the Terra Alta Property within Reserve "E" Section 1 Part 1 Phase A. The Terra Alta Property and Rogers Property is serviced by a gravity sanitary sewer that is extended to the site from the regional lift station. The Stockdale Property is serviced by a 15-inch gravity sanitary sewer that is extended to the site from the existing 30-inch sanitary sewer located east of U.S. 23 Columbus Pike at Pollock Road. Quantities of wastewater generated from the Property will be consistent with residential development.

Stormwater will be managed on site through a system of retention and detention basins, with planned release rates to the streams currently located on the Property. The preliminary engineering analysis done for Terra Alta Property and Rogers Property anticipates a storage volume requirement of approximately 28.8 acre feet for the entire site, including all off site volumes. The quantity and quality of stormwater generated from the Property is consistent with residential development and will be managed in accordance with all City and County water quality regulations.

(9) **Traffic and Parking.** The Property will be developed with a street system generally in accordance with the Preliminary Development Plan. Each single family lot planned for the Property will have at least a 2-car garage and an adjoining driveway to permit on-site parking for multiple vehicles. The condominium and cluster home regimes to be developed on the Property will provide for on-site parking for all vehicles in garages and designated parking areas, as well as visitor parking as may be required by the City. Interior streets on the Property will permit on-street parking of vehicles, with the exception of certain restricted no parking areas to be developed with the City for traffic control and safety purposes. There will be no mass transit available to the Property, consequently, there will be no need for bus stops, weather shelters, etc. There will be a system of sidewalks, walking paths and bike paths throughout the Property as depicted on the Preliminary Development Plans.

Two stub streets along the southern boundary of Terra Alta Property will provide for interconnectivity between Terra Alta Property and future development on adjoining Rogers Property and Stockdale Property. Parking throughout the Property will generally be consistent with residential development. Two stub streets along the southern boundary of Stockdale Property will provide as an exit to the south onto Braumiller Road. All parking will be designed and developed taking into consideration storm runoff, tree preservation

and erosion prevention. Projected traffic counts are included in the Traffic Study delivered to the City with the Master Application.

(10) **View Interference.** That portion of the Property between Pollock Road and Olentangy River, along the western portion of the Property, will be left undeveloped and thus preserving that area in its current natural state and preserving traditional views in the area. Due to the topography of the site east of Pollock Road, much of the site directly abutting Pollock Road to the east will be left undeveloped. A 150 foot building setback has been provided from the centerline of Pollock Road to protect the natural view shed for the Terra Alta Property and the Rogers Property. A 70-foot building setback has been provided from the centerline of Pollock Road to protect the natural view shed for the Stockdale Property. Combined with the rear building line for each lot, dwelling units on the Terra Alta Property will be no closer than 180 feet from the centerline of Pollock Road, for the Rogers Property will be no closer than 300 feet from the centerline of Pollock Road and dwelling units on the Stockdale Property will be no closer than 100 feet from the centerline of Pollock Road, as depicted on the Preliminary Development Plans. Reserves, as shown on the Preliminary Development Plan, will be located on all boundaries of the Property, thus preserving views of the Property from adjoining lands. The stream traversing the Property through its midsection in a generally north/south direction will be maintained with preservation easements. A bike path easement will be dedicated to the City along the open space adjacent to the stream, as depicted on the Preliminary Development Plan.

(11) **Historic Sites.** There are no historic sites or buildings located on the Property or on land adjacent to the Property.

(12) **Compatibility.**

A. The Property will be developed as a planned residential community with compatible but diverse architectural styles in keeping with the final approved development text and the City's goal to provide high quality housing stock to the residents of the City. No buildings will be constructed on the Property in excess of two stories and building massing and proportion will be in keeping with residential development standards of the City. Architectural styles employed on the Property will be compatible with adjoining properties. The Property will be developed with large open spaces throughout, as depicted on the Preliminary Development Plans. A system of sidewalks and pathways will provide for pedestrian access throughout the Property.

B. The Property is being planned and developed consistent with the City's current Comprehensive Plan and will result in a planned residential development in keeping with the City's planning policies.

1191.03(b) IMPACT ON PUBLIC SERVICES.

(1) **Tax Effect.** Tax effects to the City from and after full build out of 870 dwelling units are as follows:

(a) **Real Estate Taxes** –

- i. The Terra Alta Property has a current valuation of \$5,840,000 and full real estate taxes for the 2019 tax year are \$161,000. At full build out, the final, developed Terra Alta Property will have a project value of approximately \$162,000,000. Based on the current system of taxation in the State of Ohio, whereby real property is assessed at 35% of its market value, at full build out, the final, developed Terra Alta Property will have an assessed value for real estate tax purposes of \$56,700,000, an increase of \$54,656,000 over current assessed valuation. Based on the Delaware County Auditor's certified tax rates for 2019 of 2.36% of value, at full build out, the Terra Alta Property will generate real estate tax revenues of \$3,823,200 an increase of approximately \$3,662,200.
- ii. The Rogers Property has a current valuation of \$1,184,700. Full real estate taxes for the 2019 tax year was approximately \$25,650.84. At full build out, the final, developed Rogers Property will have a total sale valuation of \$41,975,000. Based on the current system of taxation in the State of Ohio, whereby real property is assessed at 35% of its market value, at full build out, the final, developed Rogers Property will have an assessed value for real estate tax purposes of \$14,490,000, an increase of \$14,075,355 over current assessed valuation. Based on the Delaware County Auditor's certified tax rates for 2019 of 2.51% of value, at full build out the Rogers Property will generate real estate tax revenues of \$1,053,572.50, an increase of approximately \$1,027,921.66.
- iii. The Stockdale Property is currently assessed for real estate tax purposes on Current Agricultural Use Valuation (CAUV). The Property has a current total valuation of \$4,814,200. Full real estate taxes for the 2019 tax year are \$8,000. At full build out, the final, developed Stockdale Property will have a total sale valuation of \$143,200,000. Based on the current system of taxation in the State of Ohio, whereby real property is assessed at 35% of its market value, at full build out, the final, developed Stockdale Property will have an assessed value for real estate tax purposes of \$50,120,000 an increase of \$48,435,000 over current assessed valuation. Based on the Delaware County Auditor's certified tax rates for 2019, having an effective rate of 2.51%, at full build out, the final, developed Stockdale Property will generate real estate tax revenues of \$3,594,320 an increase of approximately \$3,586,320.

(b) **Income Taxes** – The Delaware City Income Tax is currently 1.85%.

- i. Terra Alta Property and Rogers Property. Assuming full build out of 548 dwelling units, each single family household having an average combined earned income of \$165,000, each empty nester patio household having an average combined earned income of \$140,000 and each condominium household having an average combined earned income of \$140,000, the income tax collected for each household shall be \$3,052.50 for single family and \$2,590 for empty nester patio and condominium households, for a total of approximately \$1,610,332.50 annual income tax collected from the Terra Alta Property and Rogers Property combined.
- ii. Stockdale Property. Assuming full build out of 322 dwelling units, each single family household having a combined earned income of \$200,000 and each empty nester household having a combined earned income of \$150,000, the income tax collected for each household shall be \$3,700 for single family and \$2,775 for empty nester, for a total of \$1,119,250 annual income tax collected from the Stockdale Property.

(2) **Police and Fire.** Police and fire protection needs will be consistent with similar residential developments in the vicinity of the Property.

(3) **Schools.** It is assumed that each single family dwelling unit developed on the Property will generate approximately 1.8 students, each empty nester dwelling unit will generate approximately 0.1 student and each condominium dwelling unit will generate approximately 0.5 students.

- a. Terra Alta Property. Dwelling units within the Terra Alta Property will be served by the Delaware City School District. This will result in an additional 459 students generated for the Delaware City School District from the Terra Alta Property at full build out. The Terra Alta Property is in Precinct 3E of the Delaware City School District and will be served by Conger Elementary School. Students will be transported in accordance with transportation policies of the Delaware City School District.
- b. Rogers Property and Stockdale Property. Dwelling units within the Rogers Property and Stockdale Property will be served by the Olentangy Local School District. This will result in an additional 578.4 additional students generated for the Olentangy School District. Students will be transported in accordance with transportation policies of the Olentangy Local School District.

(4) **Parks and Recreation.** Approximately ±24.5 acres known as Reserve "A" located along the western boundary of the Terra Alta Property abutting the Olentangy River will be dedicated to the City as parkland. Additionally, the Developer shall dedicate to the City ±4.06 acres on the west side of Pollock Road of the Stockdale Property and approximately

0.58 acres on the west side of Pollock Road abutting the Olentangy River of the Rogers Property.

(5) **Traffic Control.** The final, developed Property will be accessed from Terra Alta Drive from the east off of Pollock Road, from the west off of Berlin Station Road and from Braumiller Road to the south. There will be no need for temporary roads or traffic signal improvements. The traffic volumes expected to be generated by the Property will warrant the installation of a 345 foot northbound left turn lane on Berlin Station Road and the installation of a roundabout at Braumiller Road. The new traffic volumes generated are not expected to result in significant impact to intersection operations. There have been some off-site roadway improvements made to Berlin Station Road per Delaware County. A traffic study was submitted to the City with the Master Application.

1191.03(c) GENERAL REQUIREMENTS

(1) **Financial Interest.** At final build out, the Property will have a combined 870 dwelling units and a total estimated project value of \$346,600,000. The Property is owned by Terra Alta LLC, an Ohio limited liability company. Vincent Romanelli is the Managing Member and principal officer of Terra Alta LLC. There is no involvement in the ownership or development of the Property by any elected or appointed official.

A. **Local government assistance requested** – A New Community Authority (“NCA”) has previously been established for the entire Terra Alta development. The NCA will own and maintain all Reserves except Reserve A, entrance features, common open spaces and amenities including pools and clubhouses serving the Terra Alta development.

B. **Future development** – The entire Property will be developed in a series of phases as a planned residential community. Certain sections of the Property may be sold, developed and financed by others during the development cycle.

(2) **Coordination.** The Developer has been working with the City Development Department Staff and various City departments throughout the last year on the Development. The Master Application and its associated materials reflect the outcome of these discussions. The Property has no need to coordinate health services or mass transit.

(3) **Economic Impact.** The development of the Property is consistent with the City’s current Comprehensive Plan by providing high quality housing stock for this planning area of the City. Growth continues in this corridor of the City and this development will help satisfy that need. As discussed elsewhere herein, development of the Property will create a need for increased police and fire protection in this area. Development of the Property will also add users to the City’s wastewater treatment and water systems. Additional short term and long term economic impacts are as follows:

Short Term –

- Construction jobs providing job opportunities to persons residing in the City, County and Region.
- Materials purchased for development and construction providing opportunities for local business and tax revenues to the City, County and Region.
- Increased real property values (see Tax Effect above).
- Capacity Fees paid to the City for sewer and water taps are estimated to be \$4,695,720 and \$4,926,800, respectively.
- Impact fees paid to the City are estimated to be \$1,700,550.

Long Term –

- Increased income taxes to the City (as set forth in Tax Effect Section 1(b) above).
- At full build out, increased real property taxes to the City (see Tax Effect Section 1(a) above).
- The Property will generate approximately \$7,517,929 in property tax revenue to be split as follows: \$235,820 for Delaware Township, \$153,448 for the City of Delaware and approximately \$7,128,660 for the local school districts, of which \$3,294,617 for the Delaware City School District and \$3,834,042.83 to Olentangy Local School District.

(4) **Construction Scheduling.** It is currently contemplated that site work on the Property for the first phase of the development would commence within 3 months after the City has approved the rezoning and preliminary development plan for the Property. The development of the Property would proceed in phases thereafter. The Property will be developed in approximately 10 phases and full build out should be accomplished in approximately 12 years.

(5) **Adjacent Development.** In planning for the development of the Property, the Developer has provided 2 street connections along the eastern and western boundary of the Property (from Berlin Station Road and Pollock Road, respectively) and two stub streets along the southern boundary of the Property. Utility connections will also be made available to adjoining properties in accordance with City policies. These connections will permit adjoining properties to develop in accordance with the City's current Comprehensive Plan.

(6) **Alternatives.** Given the location of the Property, its proximity to other developments and the City's 2003-2008 Comprehensive Plan requirements for this Planning Area, no alternatives to planned residential development were considered.

ADDENDUM 1

TERRA ALTA PROPERTY – Legal Description - 245.867 ACRES

Situated in the State of Ohio, County of Delaware, Township of Delaware, located in Farm Lots 10, C, D, and P, Section 1, Township 4, Range 19, United States Military Lands, being all of those 113.27 acre, 11.478 acre, 76.380 acre and 20.04 acre tracts conveyed to Pollock Venture LLC by deeds of record in Official Record 593, Page 1701 and Official Record 593, Page 1689 (all references refer to the Records of the Recorder's Office, Delaware County, Ohio), and being described as follows:

BEGINNING at a magnetic nail set at a southeasterly at a common corner of said 20.04 acre tract, that 5.001 acre tract conveyed to Susan M. Cope, Jean Audrey Cope and Jerald C. Cope by deed of record in Official Record 863, Page 974, that 1.941 acre tract conveyed to Constance D. Shicks by deed of record in Official Record 27, Page 544 and that 1.142 acre tract conveyed to Bruce L. and Beverly Hagaman by deed of record in Deed Book 209, Page 487, being the centerline of Berlin Station Road;

thence South 82°25'11" West, with the northerly line of said 1.142 acre tract, with the northerly line of that 4.78 acre tract conveyed to Bruce L. and Beverly Hagaman by deed of record in Deed Book 514, Page 512, a distance of 929.69 feet to an iron pin set at a northeasterly corner of that 3.420 acre tract conveyed to Bruce E. and Aldona M. Babbitt by deed of record in Deed Book 615, Page 387;

thence North 86°31'09" West, with the southerly line of said 76.380 acre tract, the northerly line of said 3.420 acre tract, with the northerly line of that 2.355 acre tract conveyed to John Thomas Rogers by deeds of record in Deed Book 562, Page 768 and Official Record 932, Page 1027, the northerly line of those tracts conveyed as Parcel 1 and Parcel II to William W. And Marcia W. Watterson by deed of record in Official Record 612, Page 2504, a distance of 3923.53 feet to a point set in the centerline of Olentangy River;

thence with the centerline of said Olentangy River, the following courses and distances:

North 32°50'30" West, a distance of 4.64 feet to a point;

North 35°30'00" West, a distance of 80.37 feet to a point;

North 48°00'32" West, a distance of 193.02 feet to a point;

North 55°23'22" West, a distance of 196.23 feet to a point;

North 50°43'36" West, a distance of 464.44 feet to a point;

North 62°55'36" West, a distance of 144.47 feet to a point;

North 45°55'36" West, a distance of 97.98 feet to a point;

North 34°22'11" West, a distance of 204.75 feet to a point;

North 25°14'27" West, a distance of 142.52 feet to a point;

North 28°37'34" West, a distance of 216.82 feet to a point;

North 24°15'58" West, a distance of 163.13 feet to a point;

North 35°48'32" East, a distance of 394.10 feet to a point;

North 26°50'25" East, a distance of 280.06 feet to a point and;

North 21°25'50" East, a distance of 164.33 feet to a point at a southeasterly corner of that 107.991 acre tract conveyed to Susan J. Logan by deed of record in Official Record 889, Page 471;

thence South 86°55'32" East, with the northerly line of said 113.27 acre tract, the southerly line of said 107.991 acre tract, (passing a found railroad spike at 277.60') a total distance of 4824.44 feet to an iron pin set at a northwesterly corner of that 3.161 acre tract as conveyed to Seth Nuzum by deed of record in Official Record 1140, Page 2034;

thence South 03°17'31" West, with the easterly line of said 113.27 acre tract, the westerly line of said 3.161 acre tract, the westerly line of that 5.071 acre tract conveyed to Susan Murphy by deed of record in Deed Book 516, Page 75, the westerly line of that 5.00 acre tract as conveyed to Gregory P. Malenky and Michele E. Carroll by deed of record in Official Record 774, page 1236, and the westerly line of that 3.598 acre tract conveyed to Richard a. Shuler by deed of record in Official Record 1222, Page 2246, a distance of 955.25 feet to an iron pin set at a corner southwesterly corner of said 3.598 acre tract;

thence South 86°36'23" East, with the northerly line of said 20.04 acre tract, the southerly line of said 3.598 acre tract, a distance of 506.59 feet to an iron pin set at a northwesterly corner of that 1 acre tract conveyed to David G. and Deborah B. Ames by deed of record in Official Record 773, page 2517;

thence South 03°24'16" West, with the easterly line of said 20.04 acre tract, the westerly line of said 1 acre tract, a distance of 150.03 feet to an iron pin set;

thence South 86°29'45" East, the northerly line of said 20.04 acre tract, the southerly line of said 1 acre tract, a distance of 305.91 feet to an iron pin set in the centerline of said Berlin Station Road;

thence South 08°14'08" East, with the easterly line of said 20.04 acre tract, with the centerline of said Berlin Station Road, a distance of 810.29 feet to the POINT OF BEGINNING and containing 245.687 acres of land, more or less.

Subject, however, to all legal rights-of-ways and/or easements, if any, of previous record.

Iron pins set, where indicated, are iron pipes, thirteen sixteenths (13/16) inch inside diameter, thirty (30) inches long with a plastic plug placed in the top bearing the initials EMHT INC.

This description is based on existing records and an actual field survey performed in January 2004.

The bearings are based on the Centerline of Stratford Road, North 11°16'37" West, as surveyed and described by David B. McCoy in Deed Book 637, Page 28, Recorder's Office, Delaware County, Ohio.

EVANS, MECHWART, HAMBLETON & TILTON, INC.

Edward J. Miller
Registered Surveyor No. 8250

ROGERS PROPERTY – Legal Description



SCIOTO LAND SURVEYING SERVICE

Surveyors

170 North Sandusky Road
Delaware, Ohio 43015

Phone: 740-348-7577
Fax: 740-348-7677

James S. Colwell, P.E. 7848
Robert Gajay, P.E. 8183
Hildre, Frank Cole, P.E. 8412

Description of a 69.683 acre Tract
for John Rogers, Trustee

March 17, 2015

Situated in the City of Delaware, County of Delaware, State of Ohio, being part of Lots P and Q, Quarter-Township 1, Township 4, Range 19 in the United States Military Lands, being all of the remainder of Tracts 1 and 2 conveyed to John Rogers, Trustee in Official Records Volume L231, Page 240, and being more particularly described as follows:

COMMENCING at a MAG nail set at the intersection of the centerline of Township Road 101 (Peacock Road) and the north line of Lot S, also being the south line of Lot Q, also being on the north line of a 61.983 acre tract (Tract 1) conveyed to LVH, LLC in Official Records Volume 81, Page 1310;

thence along the said north line of Lot S, also being the said south line of Lot Q, also being the said north line of the 61.983 acre tract South 85° 38' 01" East 1590.63 feet to an iron bar set, being the southeast corner of a 17.542 acre tract (Parcel 1) conveyed to Steven J. and Catherine R. Jeffrey, Co-Trustees in Official Records Volume 482, Page 2352, also being the TRUE POINT OF BEGINNING of the following described tract;

thence along the east line of the 17.542 acre tract North 04° 18' 38" East 809.43 feet to an axi found;

thence along the north line of the said 17.542 acre tract, and along the north line of a 0.304 acre tract (Parcel 2), and along the north line of a 4.650 acre tract (Parcel 1) conveyed to Edward J. and Debra M. Connor in Deed Book 407, Page 356, and along the north line of a 1.151 acre tract conveyed to Charles William Keller, Jr. and Kathleen M. Keller in Official Records Volume 1148, Page 558 North 43° 34' 18" West 1825.35 feet to a point in the center of the Olentangy River (passing a 3/4" iron pipe found at 1479.00 feet and a 5/8" iron bar found at 1549.00 feet), being on the east line of a 3.50 acre tract conveyed to Lynn O. Walkermire in Official Records Volume 1044, Page 93;

thence along the said center of the Olentangy River, also being the said east line of the 3.50 acre tract, and along the east line of a 3.23 acre tract conveyed to Lynn O. Walkermire, Trustee in Official Records Volume 906, Page 1089 North 62° 38' 51" West 377.19 feet, being the southwest corner of a 2.355 acre tract conveyed to John Thomas Rogers in Deed Book 542, Page 748, and Official Records Volume 932, Page 1027;

thence along the south line of the said 2.355 acre tract South 83° 58' 59" East 622.70 feet to a 5/8" iron bar found (Patriage) (passing a MAG nail set at 62.56 feet);

thence along the east line of the said 2.355 acre tract North 13° 42' 05" West 287.48 feet to an iron bar set, being on the south line of a 101.38 acre tract (Tract 2) conveyed to Puleck Venture LLC in Official Records Volume 593, Page 1701;

thence along the said south line of the 101.38 acre tract South 85° 00' 00" East 2652.01 feet to a 5/8" iron bar found (Shorrs) being the northwest corner of a 3.420 acre tract conveyed to Bruce E. and Aldona M. Babbitt in Deed Book 613, Page 387;

RECORDED FOR DELAWARE COUNTY
 RECORDER
 3-25-15

DESCRIPTION APPROVED
 FOR TRANSFER
 Chris Bauserman
 Delaware County Engineer

Poor Copy As Presented To The
DELAWARE COUNTY RECORDER

Ernie H. Decker, Attorney at Law

Description of a 69.685 acre Tract
for John Rogers; Trustee

Page Two

thence along the west line of the said 3.420 acre tract South 04° 10' 16" West 274.12 feet to a 3/8" Iron bar found (SLSS), being the northwest corner of a 4.126 acre tract conveyed to Bruce E. and Aldona M. Babbitt in Deed Book 558, Page 309, also being on the south line of Lot P and the north line of Lot Q;

thence along the west line of the said 4.126 acre tract South 04° 37' 01" West 331.17 feet to a 1/2" Iron pipe found (SLSS), being a northwest corner of the aforesaid 61.983 acre tract;

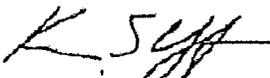
thence along a west line of the said 61.983 acre tract South 04° 53' 51" West 811.70 feet to a wood corner post found, being on the north line of Lot S, also being the south line of Lot Q;

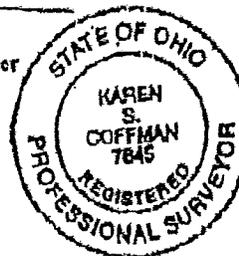
thence along the said north line of Lot S, also being the said south line of Lot Q, also being the said north line of the 61.983 acre tract North 85° 25' 43" West 1504.55 feet to the TRUE POINT OF BEGINNING;

containing 69.685 acres, more or less;

subject to all easements, restrictions, and rights-of-way, if any, of record;

Surveyed by Karen S. Coffman, Surveyor, Registration No. 7845 on March 17, 2015. Basis of bearings is the north line of the said property (S 85° 00' 00" E), per Official Records Volume 1231, Page 340. All iron bars set are 5/8" in diameter and are set with a plastic cap marked "SLSS PS 7845".


Karen S. Coffman, Surveyor
Registration No. 7845



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STOCKDALE PROPERTY – Legal Description

EXHIBIT A – Continued

TRACT I: (91.272 acres)

Situated in the State of Ohio, County of Delaware, Township of Delaware, being a part of Farm Lots Sand T, Section 1, Township 4, Range 19, United States Military Lands, and being a 42 acre tract (Tract III) and a 51.76 acre tract (Tract IV), both conveyed to Evelyn J. Stockdale in Dead Book (D.B.) 521, Page 639, Delaware County Recorder's Office;

All records referred to are those of record in the Delaware County Recorder's Office;

Beginning at a found 3/4" iron pipe (poor condition) at the intersection of the east line of the said Farm Lot T and the centerline of Braumiller Road (60 feet wide), as shown on a survey for David Welsler, found in Surveyors Record 10, Page 48, being the southeast corner of the said 42 acre tract, the southwest corner of a 0.351 acre tract (Tract I) conveyed to Howard Edward Fisher II in D.B. 638, Page 304, the northeast corner of a 6.726 acre tract (Tract I) and the northwest corner of a 3.294 acre tract (Tract II), both conveyed to John A. and Lois Jeanne Mason in D.B. 487, Page 841;

Thence along the centerline of the said Braumiller Road and a south line of the said 42 acre tract the following three (3) courses;

South 78 degrees 13 minutes 03 seconds West, 929.44 feet to a found railroad spike;

South 69 degrees 39 minutes 13 seconds West, 130.87 feet to a set "Mag" nail;

South 79 degrees 27 minutes 09 seconds West, 489.59 feet to a found 5/8" iron pin;

Thence North 85 degrees 29 minutes 00 seconds West, 1868.40 feet, along the centerline of the said Braumiller Road, and a south line of the said 42 acre tract, and a south line of the said 51.76 acre tract, to a set "Mag" nail, being the southeast corner of a 5.000 acre tract conveyed to Michael F. and Terry E. Stockdale in D.B. 623, Page 559;

Thence North 04 degrees 14 minutes 48 seconds East, 538.51 feet, crossing the said 51.76 acre tract and along the east line of the said 5.000 acre tract, passing a set iron pin at 30.00 feet, to a set iron pin, being the northeast corner of the said 5.000 acre tract;

Thence North 84 degrees 50 minutes 18 seconds West, 586.14 feet, crossing the said 51.76 acre tract and along the north line of the said 5.000 acre tract, passing a found 5/8" iron pin at 15.28 feet, passing a found 3/4" iron pipe with a cap stamped "Stults & Assocs." at 386.92 feet, passing a set "Mag" nail at 417.17 feet, to a point in the centerline of the Olentangy River, being the northwest corner of the said 5.000 acre tract and a corner of the said 51.76 acre tract;

Thence North 10 degrees 35 minutes 58 seconds East, 630.57 feet, along a west line of the said 51.76 acre tract and the centerline of the said Olentangy River, to a point, being the northwest corner of the said 51.76 acre tract, the southwest corner of a 50.356 acre tract (Tract I) conveyed to Michael F. and Terry E. Stockdale in D.B. 637, Page 388;

Thence South 85 degrees 39 minutes 52 seconds East, 3876.25 feet, along the north line of the said 51.76 acre tract and of the said 42 acre tract, and the south line of the said 50.356 acre tract, passing a set iron pin at 128.69 feet, a set "Mag" nail at 158.70 feet, and a set iron pin at 188.72 feet, to a set iron pin, being the northeast corner of the said 42 acre tract, the southeast corner of the said 50.356 acre tract, a point in the east line of the said Lot S, and a point in the west line of Lot R and in a west line of a 9.841 acre tract (Tract II) conveyed to Howard Edward Fisher II in D.B. 638, Page 304;

Thence South 04 degrees 49 minutes 28 seconds West, 558.43 feet, along an east line of the said 42 acre tract, the east line of the said Lot S, and along the west line of the said Lot R and of the said 9.841 acre tract, to a point referenced by a found 1" square iron pin (2.03 feet N, 0.43 feet E, 1.2 feet above grade), said point being a corner of the said 42 acre tract, the southeast corner of the said Lot S, the southwest corner of the said 9.841 acre tract and of the said Lot R, the northeast corner of the said Lot T, and the northwest corner of Lot U and of the said 0.351 acre tract;

DESCRIPTION FOR CLOSING ONLY
RPC Approval Required
Municipal Approval Required
Delaware County Engineer

7.28.17

DESCRIPTION FOR CLOSING ONLY
RPC Approval Required
Municipal Approval Required
Delaware County Engineer

DESCRIPTION FOR CLOSING ONLY
RPC Approval Required
Municipal Approval Required
Delaware County Engineer

Thence South 04 degrees 01 minutes 18 seconds West, 182.83 feet, along an east line of the said 42 acre tract, the east line of the said Lot T, and the west line of the said Lot U and of the said 0.351 acre tract, passing a set iron pin at 151.65 feet, to the True Point of Beginning, containing 3,975,804 square feet or 81.272 acres, of which 41.232 acres are in Lot T and 60.040 acres are in Lot S, according to a survey by J & J Surveying Services, Inc. in February of 2000;

The basis of bearings is the centerline of Braumiller Road as being North 85 degrees 29 minutes 00 seconds West, as shown on the plat of the said Butler Addition, and is used to denote angles only. All iron pins set are 5/8" in diameter, 30" long, with a cap stamped "J & J SURVEYING".

TRACT II: (81.983 acres)

Situated in the State of Ohio, County of Delaware, Township of Delaware, being a part of Farm Lots Q and S, Section 1, Township 4, Range 19, United States Military Lands, and being all of a 50.356 acre tract (Tract I) and all of a 10 acre tract (Tract II), both conveyed to Michael F. and Terry E. Stockdale in Deed Book (D.B.) 537, Page 388, Delaware County Recorder's Office;

All records referred to are those of record in the Delaware County Recorder's Office;

Beginning at a found 3/4" iron pipe (poor condition) at the intersection of the east line of Farm Lot T and the centerline of Braumiller Road (60 feet wide), as shown on a survey for David Weiser, found in Surveyors Record 10, Page 48, being the southeast corner of a 42 acre tract conveyed to Evelyn J. Stockdale in D.B. 521, Page 538, the southwest corner of a 0.351 acre tract (Tract I) conveyed to Howard Edward Fisher II in D.B. 638, Page 304, the northeast corner of a 6.726 acre tract (Tract I) and the northwest corner of a 3.294 acre tract (Tract II), both conveyed to John A. and Lois Jeanne Mason in D.B. 487, Page 841;

Thence North 04 degrees 01 minutes 18 seconds East, 182.83 feet, along the east line of the said Farm Lot T, an east line of the said 42 acre tract, the west line of the said Farm Lot U and the said 0.351 acre tract, passing a set iron pin at 31.18 feet, to a point referenced by a found 1" square iron pin (2.03 feet N, 0.43' E, 1.2' above grade), said point being a corner of the said 42 acre tract, the northeast corner of the said Farm Lot T, the northwest corner of the said Farm Lot U and the said 0.351 acre tract, the southeast corner of Farm Lot S, and the southwest corner of Farm Lot R and of a 9.841 acre tract (Tract II) conveyed to Howard Edward Fisher II in D.B. 638, Page 304;

Thence North 04 degrees 49 minutes 28 seconds East, 558.43 feet, along an east line of the said 42 acre tract, the east line of the said Farm Lot S, and the west line of the said Farm Lot R and of the said 9.841 acre tract, to a set iron pin, being the northeast corner of the said 42 acre tract and the southeast corner of the said 50.356 acre tract, and being the True Point of Beginning;

Thence North 85 degrees 39 minutes 52 seconds West, 3875.25 feet, along the south line of the said 50.356 acre tract, the north line of the said 42 acre tract, the north line of a 51.76 acre tract (Tract IV) conveyed to Evelyn J. Stockdale in D.B. 521, Page 329, crossing the said Farm Lot S, passing a set iron pin at 3688.54 feet, a set "Mag" nail at 3718.55 feet, and a set iron pin at 3746.56 feet, to a point in the centerline of the Olentangy River, being the southwest corner of the said 50.356 acre tract, the northwest corner of the said 51.76 acre tract, and a corner of the said Farm Lot S;

Thence North 18 degrees 09 minutes 25 seconds East, 611.69 feet, along the centerline of the said Olentangy River, the west line of the said 50.356 acre tract, and a west line of the said Farm Lot S, to a point, being the northwest corner of the said 50.356 acre tract and of the said Farm Lot S, and being the southwest corner of a 5.936 acre tract conveyed to Randall L. and Camille Orr in D.B. 588, Page 8 and of Farm Lot Q;

Thence South 85 degrees 39 minutes 52 seconds East, 3191.68 feet, along the north line of the said 50.356 acre tract and of the said Farm Lot S, and along the south lines of a 5.936 acre tract conveyed to Randall L. and Camille Orr in D.B. 668, Page 8, of a 17.542 acre tract conveyed to Steven J. and Catherine R. Jefferis in D.B. 572, Page 813, of a 53.46 acre tract conveyed to Mary Maxine Rogers in D.B. 402, Page 692, and of the said Farm Lot Q, to a set iron pin, being the southeast corner of the said 53.46 acre tract and the southwest corner of the said 10 acre tract;

Thence North 04 degrees 49 minutes 28 seconds East, 811.83 feet, along the west line of the said 10 acre tract and the east line of the said 53.46 acre tract, crossing the said Farm Lot Q; to a found 3/4" iron pipe with a cap stamped "SL55 R56812", being the northwest corner of the said 10 acre tract and the southwest corner of a 4.126 acre tract conveyed to Bruce E. and Aldana M. Babbitt in D.B. 558, Page 309;

Thence South 85 degrees 31 minutes 58 seconds East, 542.50 feet, along the north line of the said 10 acre tract and the south line of the said 4.126 acre tract, crossing the said Farm Lot Q, to a found 1" square iron pin (slightly bent), being the northeast corner of the said 10 acre tract, the southeast corner of the said 4.126 acre tract, the southwest corner of a 6.194 acre tract conveyed to Bruce E. and Aldana M. Babbitt in D.B. 486, Page 513, the northwest corner of a 6.502 acre tract conveyed to Howard F. and Genevieve Fisher in D.B. 415, Page 435, and a point in the east line of the said Farm Lot Q and in the west line of the said Farm Lot R;

Thence South 04 degrees 49 minutes 28 seconds West, 1404.58 feet, along the east line of the said 10 acre tract, the east line of the said 50.356 acre tract, the east line of the said Farm Lots Q and S, the west line of the said 6.502 acre tract, the west line of a 7.963 acre tract conveyed to Howard F. and Genevieve Fisher in D.B. 640, Page 332, the west line of a 8.370 acre tract conveyed to M. H. Dakhteh Co., Inc. in D.B. 667, Page 340, the west line of the said 9.841 acre tract, and the west line of the said Farm Lot R, to the True Point of Beginning, containing 2,699,993 square feet or 61.983 acres, of which 10.103 acres are in Farm Lot Q and 51.880 acres are in Farm Lot S, according to a survey by J & J Surveying Services, Inc. in February of 2000;

The basis of bearings is the centerline of Braumiller Road as being North 85 degrees 29 minutes 00 seconds West, as shown on the plat of the said Butler Addition, and is used to denote angles only. All iron pins set are 5/8" in diameter, 30" long, with a cap stamped "J&J SURVEYING".

TRACT III: (5,000 acres)

Situated in the State of Ohio, County of Delaware, Township of Delaware, being a part of Farm Lot T, Section 1, Township 4, Range 19, United States Military Lands, and being all of a 5,000 acre tract conveyed to Michael F. and Terry E. Stockdale in Deed Book (O.B.) 523, Page 559, Delaware County Recorder's Office;

All records referred to are those of record in the Delaware County Recorder's Office;

Beginning at a found 3/4" iron pipe (poor condition) at the intersection of the east line of Farm Lot T and the centerline of Braumiller Road (60 feet wide), as shown on a survey for David Weiser, found in Surveyors Record 10, Page 46, being the southeast corner of a 42 acre tract (Tract III) conveyed to Evelyn J. Stockdale in D.B. 521, Page 539, the southwest corner of a 0.361 acre tract (Tract I) conveyed to Howard Edward Fisher II in D.B. 639, Page 304, the northeast corner of a 6.728 acre tract (Tract I) and the northwest corner of a 3.294 acre tract (Tract II), both conveyed to John A. and Lois Jeanné Mason in D.B. 487, Page 841;

Thence along the centerline of the said Braumiller Road and a south line of the said 42 acre tract the following three (3) courses;

South 78 degrees 13 minutes 03 seconds West, 929.44 feet to a found railroad spike;

South 69 degrees 39 minutes 13 seconds West, 130.87 feet to a set "Mag" nail;

South 79 degrees 27 minutes 09 seconds West, 489.59 feet to a found 5/8" iron pin;

Thence North 85 degrees 29 minutes 00 seconds West, 1668.40 feet, along the centerline of the said Braumiller Road, a south line of the said 42 acre tract, and a south line of 51.76 acre tract (Tract IV) conveyed to Evelyn J. Stockdale in D.E. 521, Page 329, to a set "Mag" nail, being the southeast corner of the said 5,000 acre and the True Point of Beginning;

Thence North 85 degrees 29 minutes 00 seconds West, 40.28 feet, along the centerline of the said Braumiller Road and a south line of the said 5,000 acre tract, to a found railroad spike, being a corner of the said 5,000 acre tract and the southeast corner of a 1.403 acre tract conveyed to Michael F. and Terry Elaine Stockdale in D.B. 463, Page 618;

Thence North 04 degrees 40 minutes 48 seconds East, 238.72 feet, along a line of the said 5.000 acre tract and the east line of the said 1.403 acre tract, to a set iron pin, being a corner of the said 5.000 acre tract and the northeast corner of the said 1.403 acre tract;

Thence North 84 degrees 24 minutes 15 seconds West, 254.40 feet, along a south line of the said 5.000 acre tract and the north line of the said 1.403 acre tract, to a set iron pin, being a corner of the said 5.000 acre tract and the northwest corner of the said 1.403 acre tract;

THENCE South 08 degrees 15 minutes 28 seconds West, 96.77 feet, along a line of the said 5.000 acre tract and the west line of the said 1.403 acre tract, to a set iron pin, being a corner of the said 5.000 acre tract and the northeast corner of a 1.1 acre tract conveyed to Marjorie J. Smale in D.B. 484, Page 85;

Thence North 85 degrees 42 minutes 01 seconds West, 309.84 feet, along a south line of the said 5.000 acre tract and the north line of the said 1.1 acre tract, passing a set "Mag" nail at 174.60 feet and a set iron pin at 204.90 feet, to a point, being the southwest corner of the said 5.000 acre tract and the northwest corner of the said 1.1 acre tract, and being a point in the centerline of the Olentangy River and in the west line of the said Farm Lot T;

Thence North 07 degrees 35 minutes 38 seconds East, 399.90 feet, along the centerline of the said Olentangy River, the west line of the said Farm Lot T, and the west line of the said 5.000 acre tract, to a point, being the northwest corner of the said 5.000 acre tract and a corner of the said 51.76 acre tract;

Thence South 84 degrees 50 minutes 18 seconds East, 586.14 feet, along the north line of the said 5.000 acre tract and crossing the said 51.76 acre tract, passing a set "Mag" nail at 168.97 feet, a found 3/4" iron pipe with a cap stamped "Stults and Assoc." at 199.23 feet, and a found 5/8" iron pin at 570.86 feet, to a set iron pin, being the northeast corner of the said 5.000 acre tract;

Thence South 04 degrees 14 minutes 48 seconds West, 538.51 feet, along the east line of the said 5.000 acre tract and crossing the said 51.76 acre tract, passing a set iron pin at 508.51 feet, to the True Point of Beginning, containing 217,819 square feet or 5.000 acres, according to a survey by J & J Surveying Services, Inc. in February of 2000;

The basis of bearings is the centerline of Braumiller Road as being North 85 degrees 29 minutes 00 seconds West, as shown on the plat of the said Butler Addition, and is used to denote angles only. All iron pins set are 5/8" in diameter, 30" long, with a cap stamped "J&J SURVEYING."

ADDENDUM 2

Terra Alta Property Adjacent Owners

Jesse Jake & Jean G Ball
1989 Stratford Road
Delaware, Ohio 43015
Parcel # 419-130-03-004-000
- Market Value: \$288,200
Parcel # 419-130-03-003-000
- Market Value: \$25,700

Barbara L Martin
1901 Stratford Road
Delaware, Ohio 43015
Parcel # 419-130-03-002-000
- Market Value: \$176,700

Forest Brooke Investment LLC
1515 Lake Shore Drive
Columbus, Ohio 43204
Parcel # 419-130-03-001-567
- Market Value: \$64,100

Arlington Avenue Holdings LLC
7226 Kathleen Circle
Reynoldsburg, Ohio 43068
Parcel # 419-124-02-015-516
- Market Value: \$46,300

Preservation Park District of Delaware
County Ohio
2656 Hogback Road
Sunbury, Ohio 43074
Parcel # 419-124-01-007-000
- Market Value: \$1,618,700

Gregory and Macy Layer
1496 Berlin Station Road
Delaware, Ohio 43015
Parcel # 419-140-02-001-000
- Market Value: \$197,700
Parcel # 419-140-02-001-001
- Market Value: \$50,200

Gregory P Malenky and Michele E Carroll
1520 Berlin Station Road
Delaware, Ohio 43015
Parcel # 419-140-02-002-000
- Market Value: \$251,100

Richard A Shuler
1544 Berlin Station Road
Delaware, Ohio 43015
Parcel # 419-140-02-004-000
- Market Value: \$74,800

David G and Deborah B Ames
PO Box 527
Delaware, Ohio 43015
Parcel # 419-140-02-005-000
- Market Value: \$153,500

Eileen M Rhonemus Trustee
1573 Berlin Station Road
Delaware, Ohio 43015
Parcel # 419-140-01-004-000
- Market Value: \$309,800

Jeffrey and Bliss Osick
1593 Berlin Station Road
Delaware, Ohio 43015
Parcel # 419-140-01-005-000
- Market Value: \$280,600

Gebhard W Jr and Shirley M Keny
1609 Berlin Station Road
Delaware, Ohio 43015
Parcel # 419-140-01-005-005
- Market Value: \$257,800

Joseph and Sandra J Hamilton
1627 Berlin Station Road
Delaware, Ohio 43015
Parcel # 419-140-01-005-006
- Market Value: \$410,300

Michael G and Patricia M McGee
1653 Berlin Station Road
Delaware, Ohio 43015
Parcel # 419-140-01-005-001
- Market Value: \$312,800

Mor Cohen
1675 Berlin Station Road
Delaware, Ohio 43015
Parcel # 419-140-01-006-001
- Market Value: \$19,400

Beverly Hagan
1686 Berlin Station Road
Delaware, Ohio 43015
Parcel # 419-140-02-008-000
- Market Value: \$205,700
Parcel # 419-140-02-007-000
- Market Value: \$14,500
Parcel # 419-140-02-010-000
- Market Value: \$56,100

Bruce E and Aldona M Babbitt Trustees
1720 Berlin Station Road
Delaware, Ohio 43015
Parcel # 419-140-02-013-000
- Market Value: \$65,400

Terra Alta LLC
148 W Schrock Road
Westerville, Ohio 43081
Parcel #419-140-02-029-000
- Market Value: \$259,100

John Thomas Rogers
2065 Pollock Road
Delaware, Ohio 43015
Parcel # 419-130-01-007-000
- Market Value: \$274,200

William W and Marcia W Watterson
2041 Pollock Road
Delaware, Ohio 43015
Parcel # 419-130-01-005-000
- Market Value: \$358,900
Parcel # 419-130-01-006-000
- Market Value: \$9,900

Lots already sold within Terra Alta:

Parcel Number: 41913030010000
Owner Name: METZ MELINDA & BRIAN
Address: 235 PASSINA CT, DELAWARE
43015
Acreage: 0.491
Market Value: \$78,000

Parcel Number: 41913030009000
Owner Name: GREGORY ASHLEY MARIE &
KENNETH CHARLES
Address: 233 PASSINA CT, DELAWARE
43015
Acreage: 0.311
Market Value: \$74,300

Parcel Number: 41913030007000
Owner Name: GARRITANO PETRINA &
CHASTAIN ROBERT
Address: 223 PASSINA CT, DELAWARE
43015
Acreage: 0.288
Market Value: \$67,500

Parcel Number: 41913030005000
Owner Name: NVR INC
Address: 215 PASSINA CT, DELAWARE
43015
Acreage: 0.288
Market Value: \$67,500

Parcel Number: 41913030004000
Owner Name: PARISI JOSEPH V & DONNA J
Address: 211 PASSINA CT, DELAWARE
43015
Acreage: 0.323
Market Value: \$67,500

Parcel Number: 41913030014000
Owner Name: NVR INC
Address: 230 PASSINA CT, DELAWARE
43015
Acreage: 0.284
Market Value: \$74,300

Parcel Number: 41913030015000
Owner Name: MILLER JAY RICHARD &
CHRISTINA J
Address: 224 PASSINA CT, DELAWARE
43015
Acreage: 0.301
Market Value: \$67,500

Parcel Number: 41913030026000
Owner Name: NVR INC
Address: 106 FIRENZE RD, DELAWARE
43015
Acreage: 0.259
Market Value: \$67,500

Parcel Number: 41913026003000
Owner Name: CHALTON NICHOLAS E C
Address: 107 FIRENZE RD, DELAWARE
43015
Acreage: 0.279
Market Value: \$170,000

Parcel Number: 41913026007000
Owner Name: LOPRESTI DEBORAH C &
DOMINIC J TRUSTEES
Address: 517 PRATO CT, DELAWARE 43015
Acreage: 0.259
Market Value: \$74,300

Parcel Number: 41913026006000
Owner Name: ALLEN KEITH EDWARD &
MAUREEN KELLEY
Address: 523 PRATO CT, DELAWARE 43015
Acreage: 0.250
Market Value: \$74,300

Parcel Number: 41913026011000
Owner Name: FINLEY DANIEL S & LAURA
R
Address: 512 PRATO CT, DELAWARE 43015
Acreage: 0.275
Market Value: \$67,500

Parcel Number: 41913026010000
Owner Name: NVR INC
Address: 518 PRATO CT, DELAWARE 43015
Acreage: 0.259
Market Value: \$74,300

Parcel Number: 41913026009000
Owner Name: SHAW KIMBERLY J
Address: 524 PRATO CT, DELAWARE 43015
Acreage: 0.250
Market Value: \$74,300

Parcel Number: 41913026014000
Owner Name: ROCKFORD HOMES INC
Address: 181 FIRENZE RD, DELAWARE
43015
Acreage: 0.279
Market Value: \$67,500

Parcel Number: 41913027007000
Owner Name: ROCKFORD HOMES INC
Address: 190 FIRENZE RD, DELAWARE
43015
Acreage: 0.379
Market Value: \$67,500

Parcel Number: 41913027002000
Owner Name: ROCKFORD HOMES INC
Address: 160 FIRENZE RD, DELAWARE
43015
Acreage: 0.345
Market Value: \$67,500

Parcel Number: 41913029009000
Owner Name: ROCKFORD HOMES INC
Address: 342 PASSINA RD, DELAWARE
43015
Acreage: 0.288
Market Value: \$67,500

Parcel Number: 41913029010000
Owner Name: BRENNER JUSTIN & BROOKE
Address: 348 PASSINA RD, DELAWARE
43015
Acreage: 0.288
Market Value: \$67,500

Parcel Number: 41913031001000
Owner Name: GILLIGAN CHARLES A &
BONNIE L
Address: 326 PRATO RD, DELAWARE 43015
Acreage: 0.286
Market Value: \$67,500

Rogers Property Adjacent Owners

John Thomas Rogers
2065 Pollock Road
Delaware, Ohio 43015
Parcel # 419-130-01-007-000

William w and Marcia W Watterson
2041 Pollock Road
Delaware, Ohio 43015
Parcel # 419-130-01-005-000

Terra Alta LLC
148 W Schrock Road
Westerville, Ohio 43081
Parcel # 419-130-30-001-000
Parcel # 419-130-31-004-000
Parcel # 419-130-31-003-000
Parcel # 419-130-31-005-000
Parcel # 419-130-29-001-000
Parcel # 419-130-01-003-000
Parcel # 419-140-02-025-000

Bruce E and Aldona M Babbitt Trustees
1720 Berlin Station Road
Delaware, Ohio 43015
Parcel # 419-140-02-013-000

Steven J and Catherine R Jefferis Trustees
2325 Pollock Road
Delaware, Ohio 43015
Parcel # 419-140-02-027-000

Edward J and Debra K Connor
2251 Pollock Road
Delaware, Ohio 43015
Parcel # 419-130-01-008-000
Parcel # 419-130-01-009-000

Jesse R and Laurie C Ada
2234 Pollock Road
Delaware, Ohio 43015
Parcel # 419-130-01-011-000

Brian and Erik Waltermire
2209 Stratford Road
Delaware, Ohio 43015
Parcel # 419-130-03-005-001
Parcel # 419-130-03-005-002

Jessie Jake K and Jean G Ball
1989 Stratford Road
Delaware, Ohio 43015
Parcel # 419-130-03-005-000

Stockdale Property Adjacent Owners

Parcel Number: 41914002028000
Owner Name: TERRA ALTA LLC
Address: POLLOCK RD DELAWARE OH 43015
Acreage: 53.460
Market Value: \$925,600

Parcel Number: 41914002027000
Owner Name: JEFFERIS STEVEN J & CATHERINE R CO-TRUSTEES
Address: 2325 POLLOCK RD, DELAWARE 43015
Acreage: 18.160
Market Value: \$572,400

Parcel Number: 41913001012000
Owner Name: ORR RANDALL L CAMILLE
Address: 2341 POLLOCK RD, DELAWARE 43015
Acreage: 5.936
Market Value: \$574,200

Parcel Number: 41914002013000
Owner Name: BABBITT BRUCE E & ALDONA M TRUSTEES
Address: BERLIN STATION RD DELAWARE OH 43015
Acreage: 7.546
Market Value: \$65,400

Parcel Number: 41914002012000
Owner Name: BABBITT BRUCE E & ALDONA M TRUSTEES
Address: BERLIN STATION RD DELAWARE OH 43015
Acreage: 6.550
Market Value: \$75,100

Parcel Number: 41914002014001
Owner Name: RAY RICHARD A & MONIKA
Address: 1778 BERLIN STATION RD, DELAWARE 43015
Acreage: 9.990
Market Value: \$202,400

Parcel Number: 41914002016002
Owner Name: RAY RICHARD A & MONIKA A
Address: BERLIN STATION RD DELAWARE OH 43015
Acreage: 1.838
Market Value: \$14,400

Parcel Number: 41914002017003
Owner Name: CERMAK CRAIG R & AMY M
Address: 1838 BERLIN STATION RD, DELAWARE 43015
Acreage: 3.667
Market Value: \$355,500

Parcel Number: 41914002022003
Owner Name: SMITH STEVEN L & JOYCE L
Address: 1557 BRAUMILLER RD, DELAWARE 43015
Acreage: 5.006
Market Value: \$356,600

Parcel Number: 41914002022004
Owner Name: WALSH COURTNEY & DANIEL E
Address: 1553 BRAUMILLER RD, DELAWARE 43015
Acreage: 1.618
Market Value: \$286,100

Parcel Number: 41914002022001
Owner Name: FEATHERSTONE JAMES E & PATRICIA M
Address: 1501 BRAUMILLER RD, DELAWARE 43015
Acreage: 1.477
Market Value: \$148,300

Parcel Number: 41914003016000
Owner Name: MASELLI FRANCIS R JR & MINDY L
Address: 1478 BRAUMILLER RD, DELAWARE 43015
Acreage: 2.200
Market Value: \$290,000

Parcel Number: 41914003015000
Owner Name: SOMMER ALLAN J & ERIN W
Address: BRAUMILLER RD DELAWARE OH 43015
Acreage: 0.526
Market Value: \$8,400

Parcel Number: 41914003014000
Owner Name: SOMMER ALLAN J & ERIN W
Address: 1420 BRAUMILLER RD, DELAWARE 43015
Acreage: 4.210
Market Value: \$268,900

Parcel Number: 41914003013000
Owner Name: GRAY GARY W & CAROLE L
Address: 1320 BRAUMILLER RD, DELAWARE 43015
Acreage: 1.245
Market Value: \$203,900

Parcel Number: 41914003012000
Owner Name: PIRIE RICHARD W & KIMBERLY M
Address: 1232 BRAUMILLER RD, DELAWARE 43015
Acreage: 1.770
Market Value: \$371,300

Parcel Number: 41914003011000
Owner Name: BOHMAN CHARLES & JO ELLEN
Address: 0
Acreage: 1.165
Market Value: \$24,800

Parcel Number: 41914003010000
Owner Name: BOHMAN CHARLES & JO ELLEN
Address: 1100 BRAUMILLER RD, DELAWARE 43015
Acreage: 1.097
Market Value: \$315,500

Parcel Number: 41914003009000
Owner Name: BOHMAN CHARLES & JO ELLEN
Address: 0
Acreage: 1.116
Market Value: \$23,800

Parcel Number: 41914003008000
Owner Name: KOERBER DARREL L & BOUDREAUX L E
Address: 998 BRAUMILLER RD, DELAWARE 43015
Acreage: 1.232
Market Value: \$281,000

Parcel Number: 41914003007000
Owner Name: HUTSON BRADLEY J
Address: 960 BRAUMILLER RD, DELAWARE 43015
Acreage: 1.399

Parcel Number: 41914003006000
Owner Name: TUCKER MICHAEL
Address: 884 BRAUMILLER RD, DELAWARE 43015
Acreage: 1.243
Market Value: \$272,600

Parcel Number: 41914003005000
Owner Name: HOFFMAN ROBERT P & LYNN V
Address: 862 BRAUMILLER RD, DELAWARE 43015
Acreage: 1.380
Market Value: \$244,700

Parcel Number: 41914003004000
Owner Name: METHODIST THEOLOGICAL SCHOOL IN OHIO
Address: BRAUMILLER RD DELAWARE OH 43015
Acreage: 0.457
Market Value: \$6,900

Parcel Number: 41914003003000
Owner Name: SCHWELLER JEROME C & LINDA A
Address: 0
Acreage: 1.359
Market Value: \$58,200

Parcel Number: 41914003002000
Owner Name: SCHWELLER JEROME C & LINDA A
Address: 752 BRAUMILLER RD, DELAWARE 43015
Acreage: 1.685
Market Value: \$211,200

Parcel Number: 41914003001000
Owner Name: REED BUTTONS A
Address: 520 BRAUMILLER RD, DELAWARE 43015
Acreage: 5.400
Market Value: \$295,000

Parcel Number: 41914003001001
Owner Name: LEWIS JONATHAN C & VICKI J
Address: BRAUMILLER RD DELAWARE OH 43015
Acreage: 1.598
Market Value: \$55,900

Parcel Number: 41913002001000
Owner Name: LEWIS JONATHAN C & HALE VICKI J
Address: 464 BRAUMILLER RD, DELAWARE 43015
Acreage: 3.000
Market Value: \$242,900

Parcel Number: 41913002002000
Owner Name: METHODIST THEOLOGICAL SCHOOL IN OHIO
Address: BRAUMILLER RD DELAWARE OH 43015
Acreage: 1.200
Market Value: \$36,200

Parcel Number: 41913002003000
Owner Name: WARD RONALD P & DEBRA J
Address: 386 BRAUMILLER RD, DELAWARE 43015
Acreage: 0.800
Market Value: \$144,400

Parcel Number: 41913002004000
Owner Name: DEVER ELAINE L TRUSTEE
Address: 2885 POLLOCK RD, DELAWARE 43015
Acreage: 5.707
Market Value: \$268,500

Parcel Number: 41913001015000
Owner Name: FRANCE JAMES A & KRISTINE
Address: 357 BRAUMILLER RD, DELAWARE 43015
Acreage: 1.400
Market Value: \$219,500

Parcel Number: 41913001016000
Owner Name: BARTLETT CYNTHIA S & HANSON REBECCA H
Address: 2753 POLLOCK RD, DELAWARE 43015
Acreage: 1.100

Parcel Number: 41913003031000
Owner Name: 4EACH PROPERTIES LLC
Address: 2815 STRATFORD RD, DELAWARE 43015
Acreage: 4.040
Market Value: \$2,863,800

Parcel Number: 41913003030000
Owner Name: 4EACH PROPERTIES LLC
Address: 2723 STRATFORD RD, DELAWARE 43015
Acreage: 0.966
Market Value: \$408,400

Parcel Number: 41913003029000
Owner Name: RAY KEITH
Address: 2691 STRATFORD RD, DELAWARE 43015
Acreage: 0.000
Market Value: \$170,900

Parcel Number: 41913003028000
Owner Name: LONG REAL ESTATE INC
Address: 2683 STRATFORD RD, DELAWARE 43015
Acreage: 0.170
Market Value: \$45,900

Parcel Number: 41913003027000
Owner Name: CLARK SHERRY
Address: 2665 STRATFORD RD, DELAWARE 43015
Acreage: 0.388
Market Value: \$78,700

Parcel Number: 41913003026000
Owner Name: DAVENPORT LEE ANN M
Address: 2643 STRATFORD RD, DELAWARE 43015
Acreage: 0.483
Market Value: \$126,600

Parcel Number: 41913003025001
Owner Name: WILLIAMS DANIEL J & GINGER SEALEY
Address: STRATFORD RD DELAWARE OH 43015
Acreage: 0.430
Market Value: \$1,200

Parcel Number: 41913003024000
Owner Name: PUSECKER DAVID E & PATRICIA M
Address: 2609 STRATFORD RD, DELAWARE 43015
Acreage: 0.996

Parcel Number: 41913003022000
Owner Name: DELAWARE COUNTY HISTORICAL SOCIETY INC
Address: 2571 STRATFORD RD, DELAWARE 43015
Acreage: 0.761
Market Value: \$42,000

Parcel Number: 41913003021000
Owner Name: SEALEY JEAN E
Address: 2545 STRATFORD RD, DELAWARE 43015
Acreage: 0.498
Market Value: \$116,600

Parcel Number: 41913003020000
Owner Name: SEALEY JEAN E
Address: 2523 STRATFORD RD, DELAWARE 43015
Acreage: 0.440
Market Value: \$94,500

Parcel Number: 41913003019000
Owner Name: PLUMMER ROGER DDS & KATHLEEN W
Address: 2505 STRATFORD RD, DELAWARE 43015
Acreage: 0.440
Market Value: \$145,200

Parcel Number: 41913003017001
Owner Name: SEALEY MICHAEL N & SANDRA L
Address: STRATFORD RD DELAWARE OH 43015
Acreage: 0.304
Market Value: \$600

Parcel Number: 41913003017000
Owner Name: NEAL MICHAEL J & SUSAN H
Address: STRATFORD RD DELAWARE OH 43015
Acreage: 0.329
Market Value: \$1,100

Parcel Number: 41913003015000
Owner Name: FOUST DAVID
Address: STRATFORD RD DELAWARE OH 43015
Acreage: 0.930
Market Value: \$1,200

Parcel Number: 41913003013000
Owner Name: GREINER KENNETH H MARTHA R
Address: STRATFORD RD DELAWARE OH 43015
Acreage: 0.239
Market Value: \$3,200

Parcel Number: 41913003009000
Owner Name: NEAL MICHAEL J & SUSAN H
Address: 2367 STRATFORD RD, DELAWARE 43015
Acreage: 7.869
Market Value: \$371,000

Parcel Number: 41913001012000
Owner Name: ORR RANDALL L CAMILLE
Address: 2341 POLLOCK RD, DELAWARE 43015
Acreage: 5.936
Market Value: \$574,200

Parcel Number: 41914002027000
Owner Name: JEFFERIS STEVEN J & CATHERINE R CO-TRUSTEES
Address: 2325 POLLOCK RD, DELAWARE 43015
Acreage: 18.160
Market Value: \$572,400



FACT SHEET

AGENDA ITEM NO: 13

DATE: 03/23/2020

ORDINANCE NO: 20-14

RESOLUTION NO:

READING: SECOND

PUBLIC HEARING: NO

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE APPROVING A COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN FOR SKILKEN GOLD REAL ESTATE DEVELOPMENT FOR SHEETZ LOCATED AT 700 SUNBURY ROAD ON PROPERTY ZONED B-3 (COMMUNITY BUSINESS DISTRICT) AND B-4 (GENERAL BUSINESS DISTRICT) ON APPROXIMATELY 4.6 ACRES.

BACKGROUND:

See attached staff report.

REASON WHY LEGISLATION IS NEEDED:

To achieve compliance with Section 1129.05 Final Development Plan requirements of the zoning code.

COMMITTEE RECOMMENDATION:

Planning Commission recommended approval by a vote of 6-0 on March 4, 2020.

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

David Efland, Planning and Community Development Director

RECOMMENDATION:

Staff recommends approval

ATTACHMENT(S)

See attached

ORDINANCE NO. 20-14

AN ORDINANCE APPROVING A COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN FOR SKILKEN GOLD REAL ESTATE DEVELOPMENT FOR SHEETZ LOCATED AT 700 SUNBURY ROAD ON PROPERTY ZONED B-3 (COMMUNITY BUSINESS DISTRICT) AND B-4 (GENERAL BUSINESS DISTRICT) ON APPROXIMATELY 4.6 ACRES.

WHEREAS, the Planning Commission at its meeting of March 4, 2020 recommended approval of a Combined Preliminary and Final Development Plan for Skilken Gold Real Estate Development for Sheetz located at 700 Sunbury Road on property zoned B-3 (Community Business District) and B-4 (General Business District) on approximately 4.6 acres (PC Case 2020-0225).

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Combined Preliminary and Final Development Plan for Skilken Gold Real Estate Development for Sheetz located at 700 Sunbury Road on property zoned B-3 (Community Business District) and B-4 (General Business District) on approximately 4.6 acres, is hereby confirmed, approved, and accepted with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The developer is required to perform a Traffic Impact Study that shall be approved by the City Engineer with any improvements being the responsibility of the applicant.
3. The applicant shall dedicate right-of-way along Sunbury Road and Mill Run Crossing per the Planning and Community Development Director.
4. The backage road shall be designed and constructed to meet public road standards including a five-foot sidewalk on the north or south side of the road per the City Public Works Department. The backage road shall be constructed to the western property line of the subject development.
5. Along Mill Run Crossing, the applicant shall remove the sidewalk and

construct a 8-foot-wide asphalt bike path to connect to the existing bike path to the south of the existing curb cut per the adopted Bicycle and Pedestrian Master Plan 2027

6. The dumpster shall be screened from public view by a wall constructed of brick or stone that matches the new building with wood doors painted or stained to match or compliment the overall building.
7. The proposed development achieves compliance with Chapter 1168 Tree Preservation Requirements.
8. The Shade Tree Commission shall review and approve the submitted street tree plans.
9. The limestone on the building, the stone canopy columns, and the ground sign bases shall be Delaware blue vein limestone (or cultured stone) or equivalent as approved by Staff.
10. All building and fuel canopy appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building material color.
11. All roof top mechanical equipment shall be completely screened from public view.
12. The Applicant shall submit all building, fuel canopy, and sign elevations along with material and color samples for all building materials for staff review and approval after approval of the Final Development Plan and prior to any building permit issuance.
13. On the building sign, the red sign box shall be opaque and the only light to shine thru would be thru the "SHEETZ" letters as approved by staff.
14. A lighting plan that achieves compliance with the zoning code shall be submitted, reviewed and approved by the City. All lights shall be fully recessed and cut off and the light poles shall be black.
15. The two ice boxes on the front elevation shall be painted to match the building.
16. No Video dispensers, ATM machines, or any other merchandise shall be permitted to be outside the building unless located within a defined designated area and buffered from Sunbury Road and Mill Run Crossing.
17. The applicant shall make a shall make a payment in lieu of 7 street trees which totals \$525 along Sunbury Road.
18. The applicant shall plant 4 street trees along Mill Run Crossing to achieve compliance with the zoning code.
19. The development shall achieve compliance with Fire Department requirements.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those

formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS ___ NAYS ___

ABSTAIN ___

PASSED: _____, 2020

YEAS ___ NAYS ___

ABSTAIN ___

ATTEST: _____

CITY CLERK

MAYOR



PLANNING COMMISSION/STAFF REPORT

CASE NUMBER: 2020-0225

REQUEST: Combined Preliminary & Final Development Plan

PROJECT: Sheetz

MEETING DATE: March 4, 2020

APPLICANT/OWNER

Skilken Gold Real Estate Development
4270 Morse Road
Columbus, Ohio 43230

REQUEST

2020-0225: A request by Skilken Gold Real Estate Development for approval of a Combined Preliminary and Final Development Plan for Sheetz located at 700 Sunbury Road (US 36/37) on property zoned B-3 (Community Business District) and B-4 (General Business District) on approximately 4.6 acres.

PROPERTY LOCATION & DESCRIPTION

The subject two properties are located on the southwest corner of Sunbury Road (US 36/37) and Mill Run Crossing at 700 Sunbury Road. The subject site is zoned B-4 (General Business District) along Sunbury Road (approximately 350 feet from right-of-way) and B-3 (Community Business District) for the remainder of the property. The zoning to the north, south and east is B-3 while the zoning to the west is B-4 and B-3.

BACKGROUND

The applicant is proposing to the raze the existing two buildings (former Delaware Marine and tobacco shop) on the site and construct an approximate 6,007 square foot gas station and restaurant with a drive thru on the 4.6-acre site. The gas station would be accessed by a right-in/right-out curb cut on Sunbury Road (US 36/37) and a full movement curb cut on Mill Road Run Crossing. The drive thru for the restaurant would be on the southern elevation of the building. The gas station would have four fueling islands (8 gas pumps) and 47 parking spaces which would accommodate the gas station and restaurant. A dumpster and retention basin is located on the southern portion of the site.

STAFF ANALYSIS

- **ZONING:** As previously mentioned, the subject property is zoned B-4 and B-3. The first 350 feet from the right-of-way of Sunbury Road thru the site is zoned B-4 and the remainder of the site is zoned B-3. The site plan for the gas station and restaurant with a drive thru is located with the B-4 zoning designation. Therefore, the proposed development would be required to have a Combined Preliminary and Final Development Plan approved by the Planning Commission and City Council.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND ACCESS:** The developer is required to perform a Traffic Impact Study that shall be approved by the City Engineer with any improvements being the responsibility of the applicant. The site plan identifies two curb cuts to the new gas station and restaurant. A right-in/right-out would be located on Sunbury Road (US 36/37) on the western portion of the site while the existing curb cut on the eastern portion of the site would be eliminated. A full movement curb cut would be located on Mill Run Crossing adjacent to the existing curb cut that provides access to Glenwood Commons. The curb cut on Mill Run Crossing would be the start of a public backage road that would extend west to access the adjacent properties and would be constructed by each parcel owner as development occurs. Therefore, the backage road shall be designed and constructed to meet public road standards including a 5-foot sidewalk on the north or south side of the road as per the City Public Works Department. Also, the applicant shall dedicate the required right-of-way along Sunbury Road (US 36/37) per the Planning and Community Development Director.

- **PEDESTRIAN CONNECTIVITY:** The Bicycle and Pedestrian Master Plan 2027 identifies a proposed bike path along the south side of Sunbury Road and the bike path would be installed as part of the “Point” project but the applicant would have to dedicate the appropriate right-of-way and grade the bike path alignment per the Planning and Community Development Director. Currently there is a sidewalk along Mill Run Crossing from Sunbury Road south to the existing curb cut and the applicant needs to remove the sidewalk and construct a 8 foot wide asphalt bike path to connect to the existing bike path located to the south of the existing curb cut per the adopted Bicycle and Pedestrian Master Plan 2027. Also, the backage road would require a sidewalk on one side of the road per the Public Works Department.
- **SITE CONFIGURATION:** The applicant would raze the two existing buildings and construct an approximate 6,077 square foot gas station and restaurant with a drive thru that would front Sunbury Road just east of the proposed right-in/right-out curb cut. There would be an outdoor patio on the north and east elevations with tables and chairs with a fence for protection. The gas station would have 4 vehicular fueling islands (8 gas pumps) fronting Sunbury Road that would be covered with a flat canopy roof (slightly pitched from south to north). The proposed 47 parking spaces (31 required) are located north, east and west of the building, A drive thru window is located on the southern building elevation while the order box and dedicated drive thru lane is located along the western property line. The minimum building and parking setbacks for the entire development are more than required. A dumpster and retention basin would be located south of the building. The dumpster enclosure shall be constructed of brick or stone with wood doors painted or stained to match. The applicant is identifying two ice boxes on the north elevation and propane gas boxes on the west elevation. Staff would require the ice boxes be painted to match the building because they are on the front elevation. No Video dispensers, ATM machines, or any other merchandise shall be permitted to be outside the building unless located with a defined designated area and buffered from Sunbury Road and Mill Run Crossing.
- **BUILDING DESIGN:** The one story 6,077 square foot building would be oriented towards Sunbury Road (US 36/37) with the fueling canopy located between the building and Sunbury Road, The front elevation (north) would be comprised mainly of brick (Windsor color) with a limestone wainscoting (Delaware blue vein) with a typical aluminum storefront entrance door and windows with a flat roof. A red standing seam pitched metal roof would be located above the main entrance and each aluminum store front window would have a red fabric awning. The east elevation would be similar to the north elevation design with an aluminum storefront entrance door and windows and in building materials and color. There would be two main doors on the southern portion of the elevation. The west elevation would have a secondary access door with a man door on southern portion of the elevation. The entrance door would be flanked with limestone along with a limestone wainscoting while the remainder of the elevation would be comprised of brick (Windsor color). The rear elevation (south) would be comprised of a limestone wainscoting capped off with brick (Windsor color) that matches the other elevations. There would be two drive thru pick-up windows on this elevation. A dark bronze metal panel roof screen would screen the mechanical equipment from public view. The canopy would be a flat with a minor pitch from south to north with a red ACM composite aluminum panel roof. The columns supporting the canopy would be comprised of limestone to 6 feet in height and then be a steel tube wrapped with a dark bronze ACE aluminum composite material that would extend to the canopy. Staff would need submittal of each building material with color samples to ensure compliance is achieved with any Final Development Plan requirements. Overall the building design, material and color are aesthetically pleasing and compatible with the recently approved buildings in the area.
- **TREE REMOVAL & REPLACEMENT:** The applicant submitted a tree survey that indicates there are trees mostly in the southern portion of the site. The tree survey identified 3 qualifying trees (6 inches in caliper or larger) that yields 18 caliper inches that would be removed with the development. The applicant is installing 10 trees that yield 30 calipers inches that is above and beyond the required landscaping to replace the removed trees to achieve compliance with Chapter 1168 Tree Preservation Regulations.
- **LANDSCAPING & SCREENING:** The development would require street, front yard, parking lot buffering, interior parking lot and foundation landscaping. The 280 feet of frontage (less 50 foot curb cut) along Sunbury Road requires 7 street trees and 6 front yard trees while no street trees are proposed and 6 shade trees are proposed. Because street trees will be planted along Sunbury Road during the “The Point Project”, the applicant shall make a payment in lieu of 7 street trees which totals \$525. The 390 feet of frontage along Mill Run Crossing (less 50-foot curb cut) and portion of site not being developed) requires 10 street trees and 8 front yard trees while no street trees are provided (6 are existing) and 8 front yard trees are proposed. The

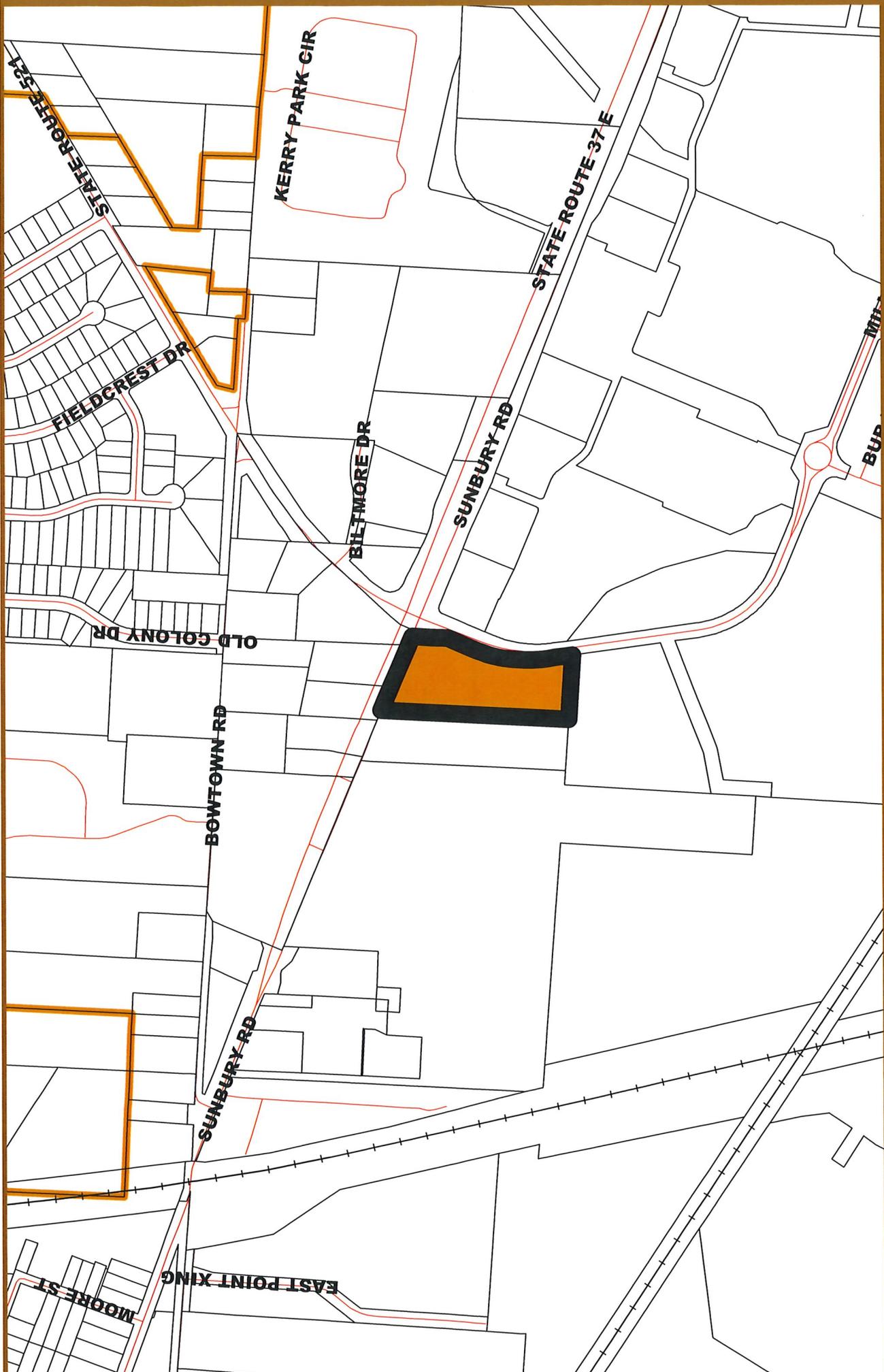
applicant shall plant 4 street trees along Mill Run Crossing to achieve compliance with the zoning code. The landscape plan achieves compliance with the parking lot buffering requirements of shrubs and interior parking lot trees. The applicant is not proposing any foundation landscaping. The Shade Tree Commission would have to approve all landscape plans.

- **SIGNAGE:** The owner is proposing building, fuel canopy, ground and drive thru signage. The applicant is proposing an almost 26 square foot internally illuminated wall mounted box sign on the north and east elevation above the entrance doors. Staff would support this proposal if the red sign box is opaque and the only light to shine thru would be thru the "SHEETZ" letters. The applicant is proposing the same almost 26 square foot box sign on the east elevation of the canopy facing Mill Run Crossing and on the underside of the canopy facing Sunbury Road. These signs would be permitted on the canopy. A ground sign is proposed on the northeast corner of the site at the Sunbury Road and Mill Run Crossing intersection. The ground sign would be 9 feet tall with a 3.8 feet high limestone base with brick columns extending to the top sign cap. The sign area would encompass approximately 36 square feet with two gas prices capped off with gas station name. The drive thru would have the typical menu board and associated signage that would achieve compliance with other recently approved drive thru signage. Any direction signage shall not be illuminated.
- **LIGHTING:** The applicant is proposing a comprehensive lighting plan with light poles, building lighting and under the canopy lighting. The applicant is proposing 19 light poles throughout the site that shall not exceed 28 feet high with cut off style fixtures. Additionally, any light poles shall be black in color. Also, there would be 12 wall pack lights and under the canopy lighting. The lighting plans would have to achieve compliance with the minimum zoning requirements and would have to be approved by the City.

STAFF RECOMMENDATION (2020-0225 – COMBINED PRELIMINARY & FINAL DEVELOPMENT PLAN)

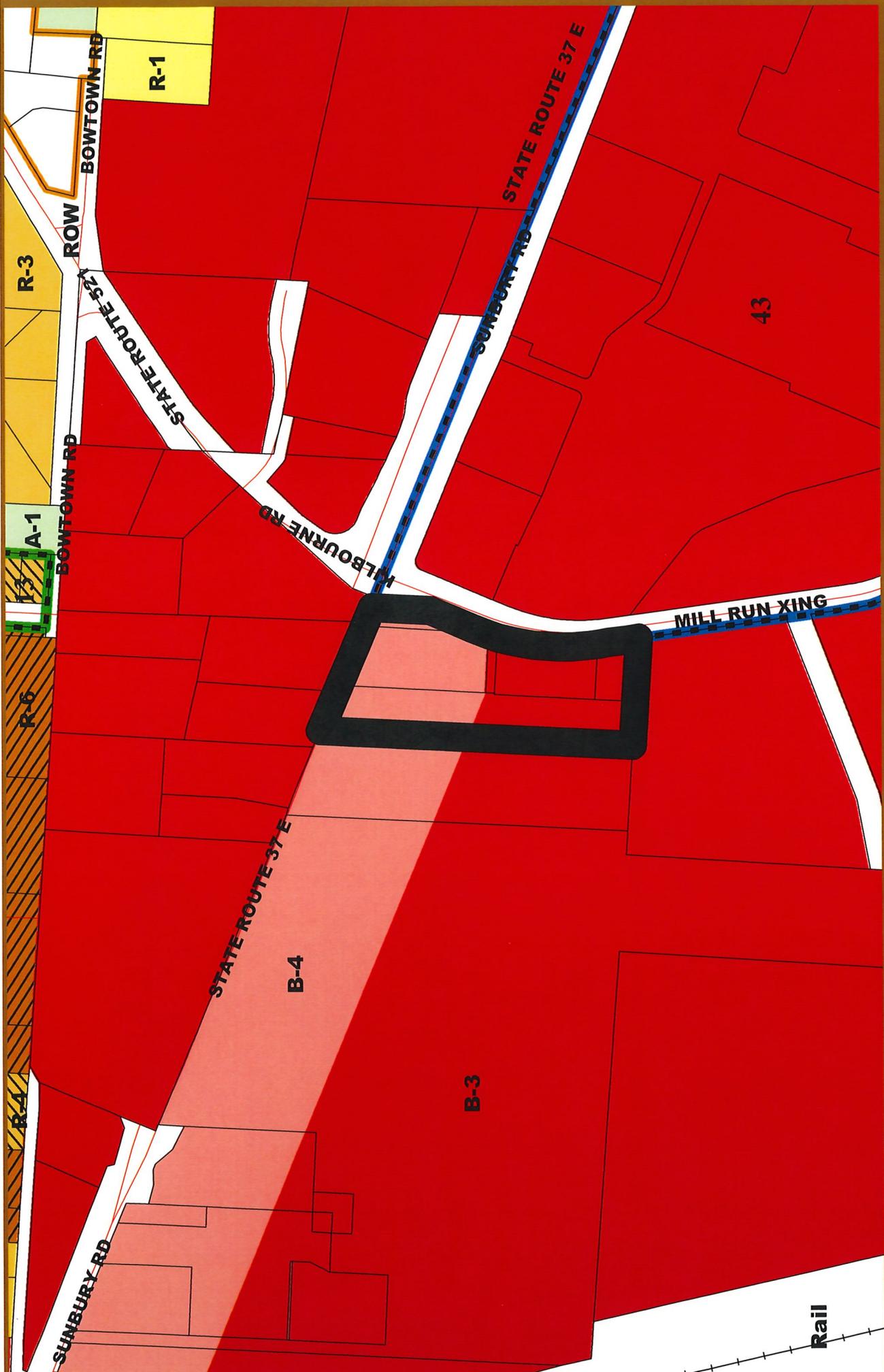
Staff recommends approval of a request by Skilken Gold Real Estate Development for approval of a Combined Preliminary and Final Development Plan for Sheetz located at 700 Sunbury Road (US 36/37) on property zoned B-3 (Community Business District) and B-4 (General Business District) on approximately 4.6 acres, with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The developer is required to perform a Traffic Impact Study that shall be approved by the City Engineer with any improvements being the responsibility of the applicant.
3. The applicant shall dedicate right-of-way along Sunbury Road and Mill Run Crossing per the Planning and Community Development Director.
4. The backage road shall be designed and constructed to meet public road standards including a five-foot sidewalk on the north or south side of the road per the City Public Works Department. The backage road shall be constructed to the western property line of the subject development.
5. Along Mill Run Crossing, the applicant shall remove the sidewalk and construct a 8-foot-wide asphalt bike path to connect to the existing bike path to the south of the existing curb cut per the adopted Bicycle and Pedestrian Master Plan 2027
6. The dumpster shall be screened from public view by a wall constructed of brick or stone that matches the new building with wood doors painted or stained to match or compliment the overall building.
7. The proposed development achieves compliance with Chapter 1168 Tree Preservation Requirements.
8. The Shade Tree Commission shall review and approve the submitted street tree plans.
9. The limestone on the building, the stone canopy columns, and the ground sign bases shall be Delaware blue vein limestone (or cultured stone) or equivalent as approved by Staff.
10. All building and fuel canopy appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building material color.
11. All roof top mechanical equipment shall be completely screened from public view.



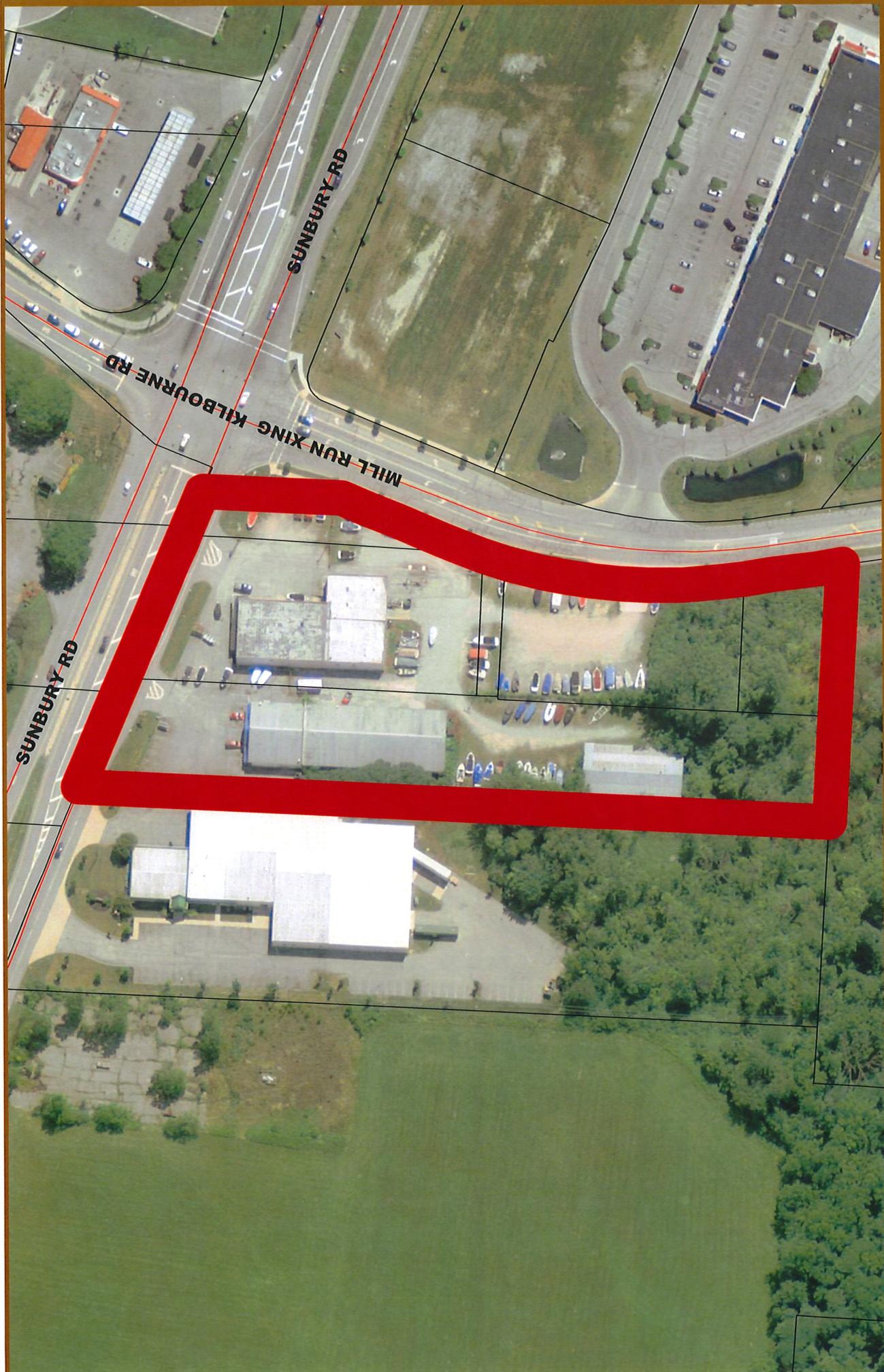
2020-0225
Combined Preliminary and Final Development Plan
Sheetz - 700 Sunbury Road
Location Map





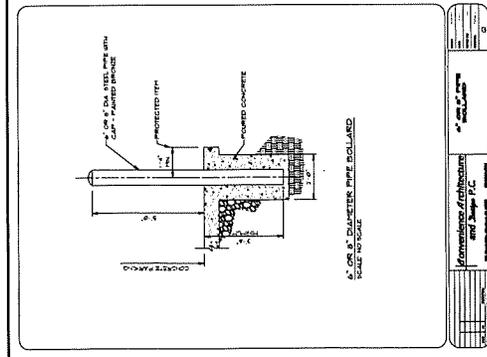
2020-0225
 Combined Preliminary and Final Development Plan
 Sheetz - 700 Sunbury Road
 Zoning Map



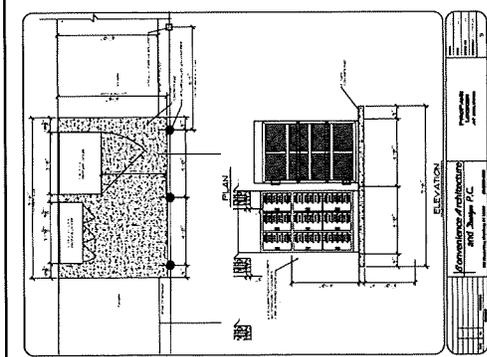


2020-0225
Combined Preliminary and Final Development Plan
Sheetz - 700 Sunbury Road
Aerial (2016) Map

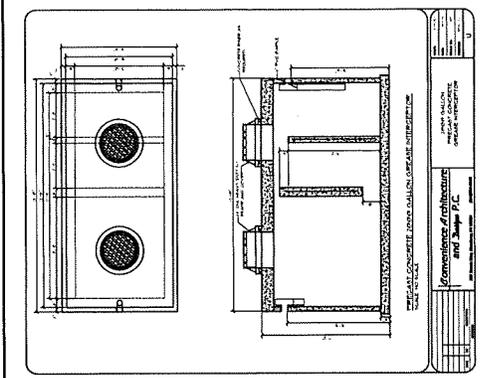




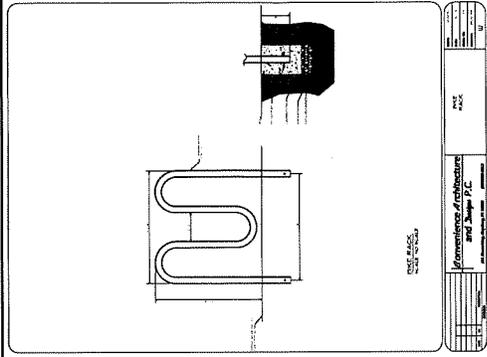
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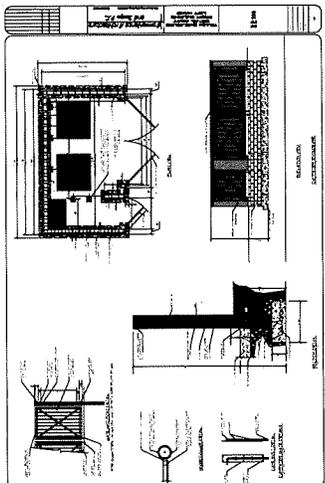
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SHEETZ
700 - 710 SUNBURY ROAD
DELAWARE, OH 43015

SHEETZ DETAILS (CONT.)

SCALE: N/A | CDS/JAS | DATE: 06/24/2019 | JOB NO.: 19-10755

- LEGEND**
- PROPOSED CONCRETE PAVEMENT PER DETAIL ON SHEET 3.
 - PROPOSED BRICK PAVEMENT.
 - PROPOSED ASPHALT PAVEMENT PER DETAIL ON SHEET 3.
 - PROPOSED SAYOUT LINE.

CODED NOTES

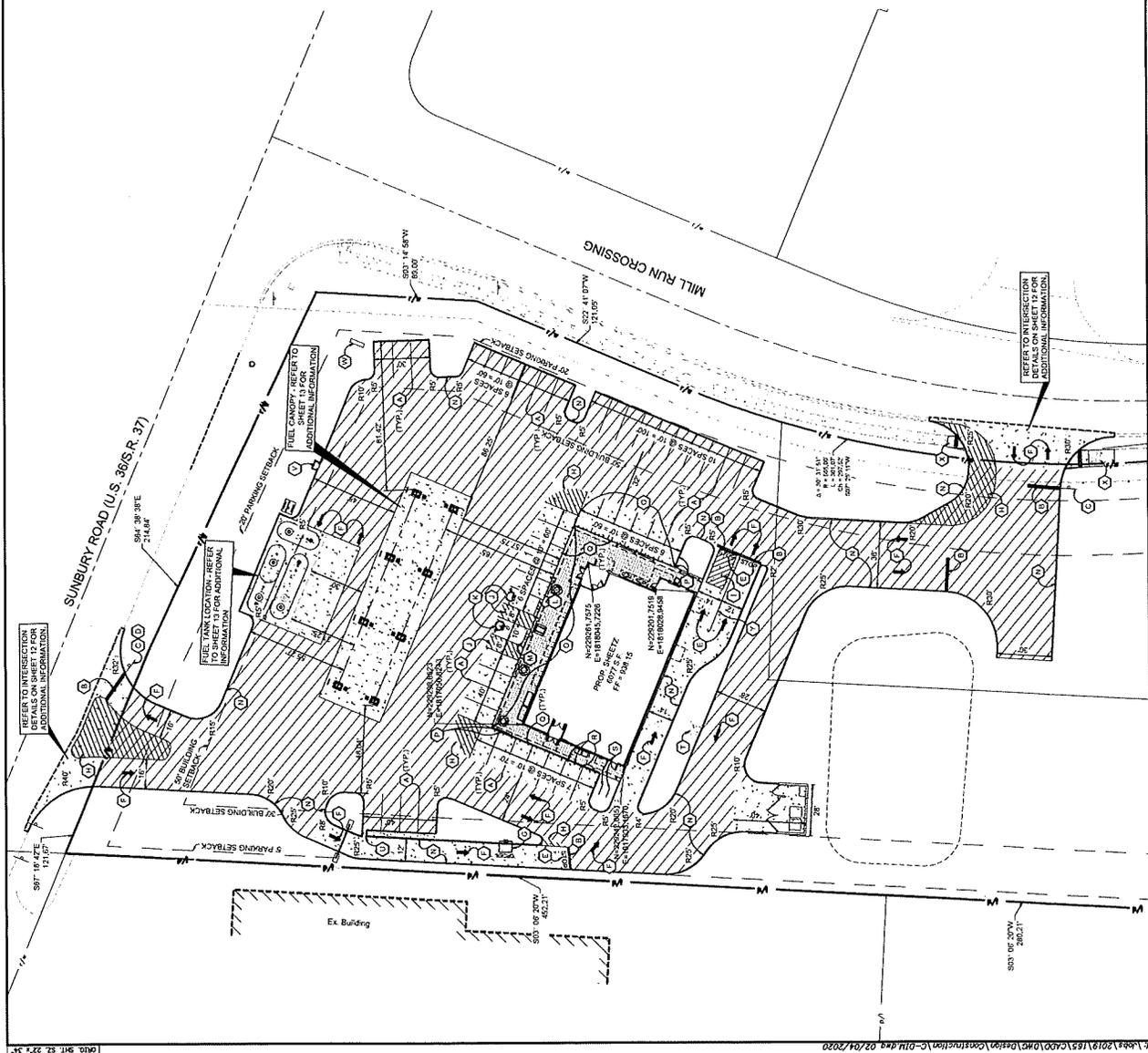
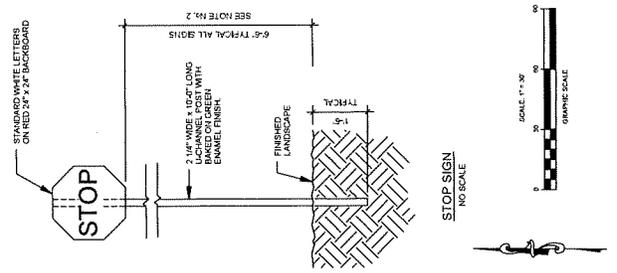
- ① 4" YELLOW CHANNELING LINE FOR PARKING STALL.
- ② 2" WHITE STOP BAR.
- ③ STOP SIGN PER DETAIL ON THIS SHEET.
- ④ "RIGHT TURN ONLY" SIGN.
- ⑤ WORD ON PAVEMENT "STOP".
- ⑥ ARROW ON PAVEMENT (YELLOW).
- ⑦ ORDER BOX / MDSK SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.
- ⑧ YELLOW TRANSVERSE STRIPING FOR NO PARKING AREA.
- ⑨ RED TRANSVERSE STRIPING FOR DRIVE THRU PICKUP ZONE.
- ⑩ BLUE TRANSVERSE STRIPING FOR HANDICAP AREA.
- ⑪ BLUE HANDICAP SYMBOL PER DETAIL ON SHEET 3.
- ⑫ HANDICAP PARKING SIGN PER DETAIL ON SHEET 3.
- ⑬ "VAN ACCESSIBLE" HANDICAP PARKING SIGN PER DETAIL ON SHEET 3.
- ⑭ STRAIGHT 1" CONCRETE CURB PER DETAIL ON SHEET 4.
- ⑮ CONCRETE WALK TO BE CONSTRUCTED FLUSH WITH PROPOSED ASPHALT PAVEMENT ACROSS THIS AREA.
- ⑯ TAPER CURB FROM 6" REVEAL TO 0" ACROSS THIS AREA.
- ⑰ STONEFRONT BUMPER POST PER DETAIL ON SHEET 4.
- ⑱ STEEL PIPE ROLLAD PER DETAIL ON SHEET 5.
- ⑲ BIKE RACK PER DETAIL ON SHEET 5.
- ⑳ 8" x 8" TRANSFORMER PAD PER UTILITY COMPANY'S SPECIFICATIONS BY CONTRACTOR.
- ㉑ 2" WIDE CONCRETE CURB CUT. REFER TO SHEET 11 FOR MORE INFORMATION.
- ㉒ AIR MACHINE AND PAD PER DETAIL ON SHEET 5.
- ㉓ PROPOSED MONUMENT SIGN. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.
- ㉔ PROPOSED CURB RAMP.
- ㉕ 4" YELLOW LANE LINE.



SHEETZ
700 - 710 SUNBURY ROAD
DELAWARE, OH 43015

**SITE DIMENSION, STRIPING, SIGNAGE,
AND PAVING PLAN**

SCALE: 1" = 30'
DRAWING: TCD2545 | DATE: 02/04/2020 | JOB NO.: 11

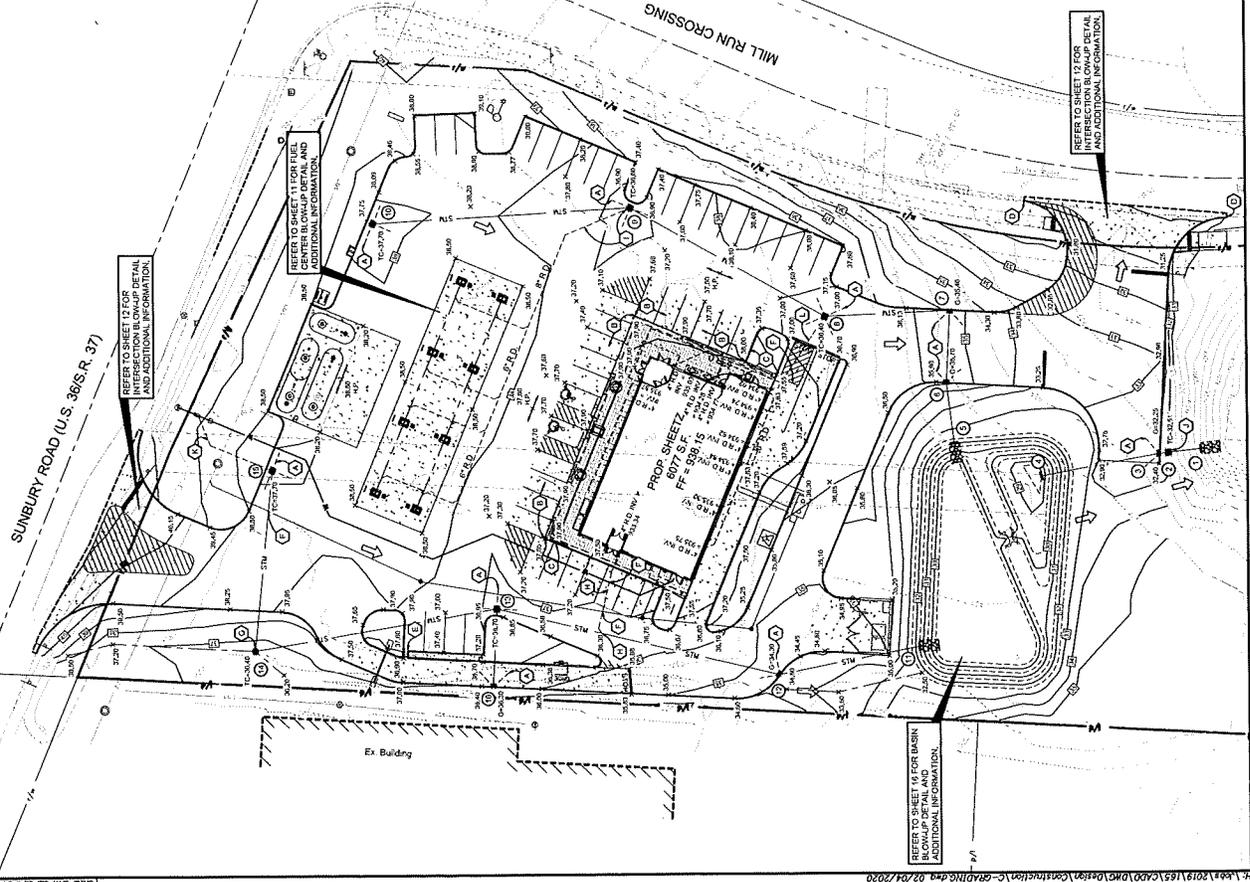


STORM AND GRADING LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING STORM MANHOLE
- PROPOSED STORM MANHOLE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING VALVE
- PROPOSED VALVE
- INDICATES DIRECTION OF MAXIMUM FLOOD ROUTING GREATER THAN 100 - YEAR STORM

CODED NOTES

- (A) INSTALL 10 FOOT LENGTHS WHERE ALLOWED BY PERFORATED P.V.C. DETAIL THE UNDERDRAIN IS TO BE INSTALLED AT A 1.0% GRADE TOWARD THE STRUCTURE WITH THE UNDERDRAIN TO BE PROTECTED FROM INSTALLATION. THE UNDERDRAIN SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC AFTER INSTALLATION.
- (B) BRICK PAVERS TO BE CONSTRUCTED FLUSH WITH PROPOSED CONCRETE PAVEMENT ACROSS THIS AREA.
- (C) TYPICAL CURB FROM REVEAL TO 9" ACROSS THIS AREA.
- (D) MATCH EXISTING CURB LOCATION AND ELEVATION.
- (E) PROPOSED 2" WIDE CURB CUT.
- (F) MAINTAIN 1' OF VERTICAL CLEARANCE (OUTSIDE OF PIPE TO OUTSIDE OF PIPE) BETWEEN PROPOSED STORM AND UTILITY.
- (G) PROPOSED 4" WIDE CURB CUT.
- (H) PROPOSED 4" ROOF DRAIN TO BE SLOPED TAPPED INTO PROPOSED STORM SEWER. PROPOSED INVERT = 51.84.
- (I) PROPOSED 4" ROOF DRAIN TO BE SLOPED INTO PROPOSED STORM STRUCTURE AT INVERT = 54.00.
- (J) PROPOSED OUTLET CONTROL STRUCTURE PER DETAIL ON SHEET X.
- (K) PROPOSED 4" DRAIN FROM METER VAULT TO BE CORED INTO PROPOSED STORM STRUCTURE. PROPOSED INVERT = 51.50. DRAIN SHALL BE RUN AT A MINIMUM SLOPE OF 1.0%.
- (L) PROPOSED 4" ROOF DRAIN TO BE CORED INTO PROPOSED STORM STRUCTURE AT INVERT = 63.00.



NOTE: ALL CATCH BASINS AND CURB INLETS PROPOSED WITHIN PAVEMENT AREAS, CONCRETE OR ASPHALT, SHALL BE CONSTRUCTED TO MEET THE CDDT SPECIFICATIONS.

NOTE: ROOF DRAINS TO MAINTAIN A MINIMUM SLOPE OF 1.0% UNLESS OTHERWISE SPECIFIED.

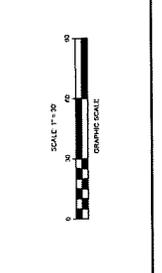
NOTE: ALL ELEVATIONS ARE PAVEMENT GRADES UNLESS OTHERWISE NOTED. ADD 5' FOR TOP OF CURB ELEVATIONS.

Bird+Bull
 Engineers & Surveyors
 3500 Columbus Ave. #2025
 Ft. Worth, TX 76104
 WWW.BIRDBULL.COM

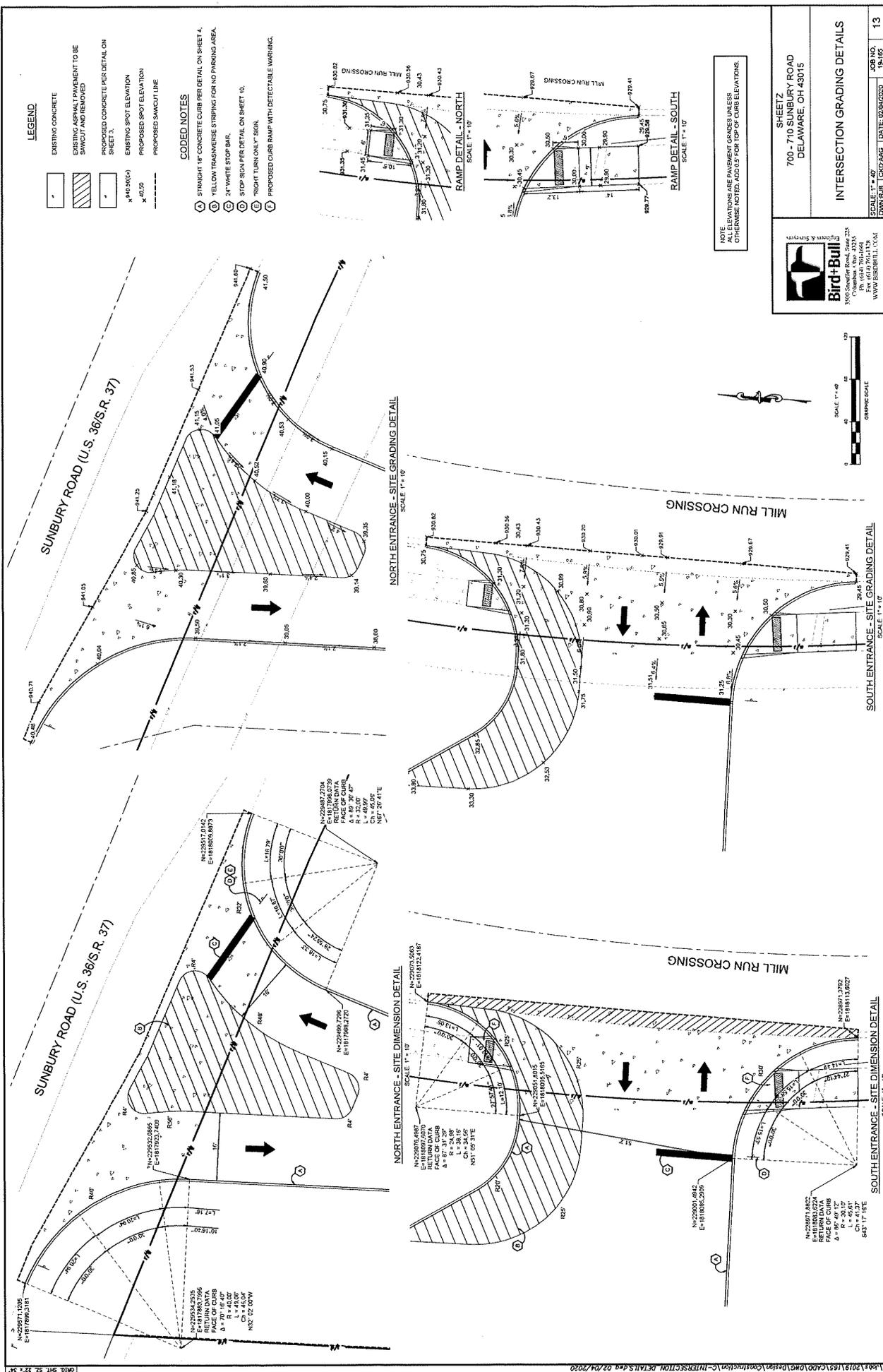
SHEET 7
 700 - 710 SUNBURY ROAD
 DELAWARE, OH 43015

STORM SEWER AND GRADING PLAN

SCALE: 1" = 30'
 DRAWING: TCD2046G [DATE: 03/04/2020] JOB NO.: 12
 DWG: 03/04/2020



DATE: 03/04/2020
 TIME: 10:45 AM
 PROJECT: 700 - 710 SUNBURY ROAD
 SHEET: 7



LEGEND

- EXISTING CONCRETE
- EXISTING ASPHALT PAVEMENT TO BE SAWCUT AND REPAIRED
- PROPOSED CONCRETE PER DETAIL ON SHEET 3.
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED SAWCUT LINE

CODED NOTES

- Ⓐ STRAIGHT 18" CONCRETE CURB PER DETAIL ON SHEET 4.
- Ⓑ YELLOW TRANSVERSE STRIPING FOR NO PARKING AREA.
- Ⓒ 2" WHITE STOP BAR.
- Ⓓ STOP SIGN PER DETAIL ON SHEET 10.
- Ⓔ "RIGHT TURN ONLY" SIGN.
- Ⓕ PROPOSED CURB RAMP WITH DETECTABLE WARNING.

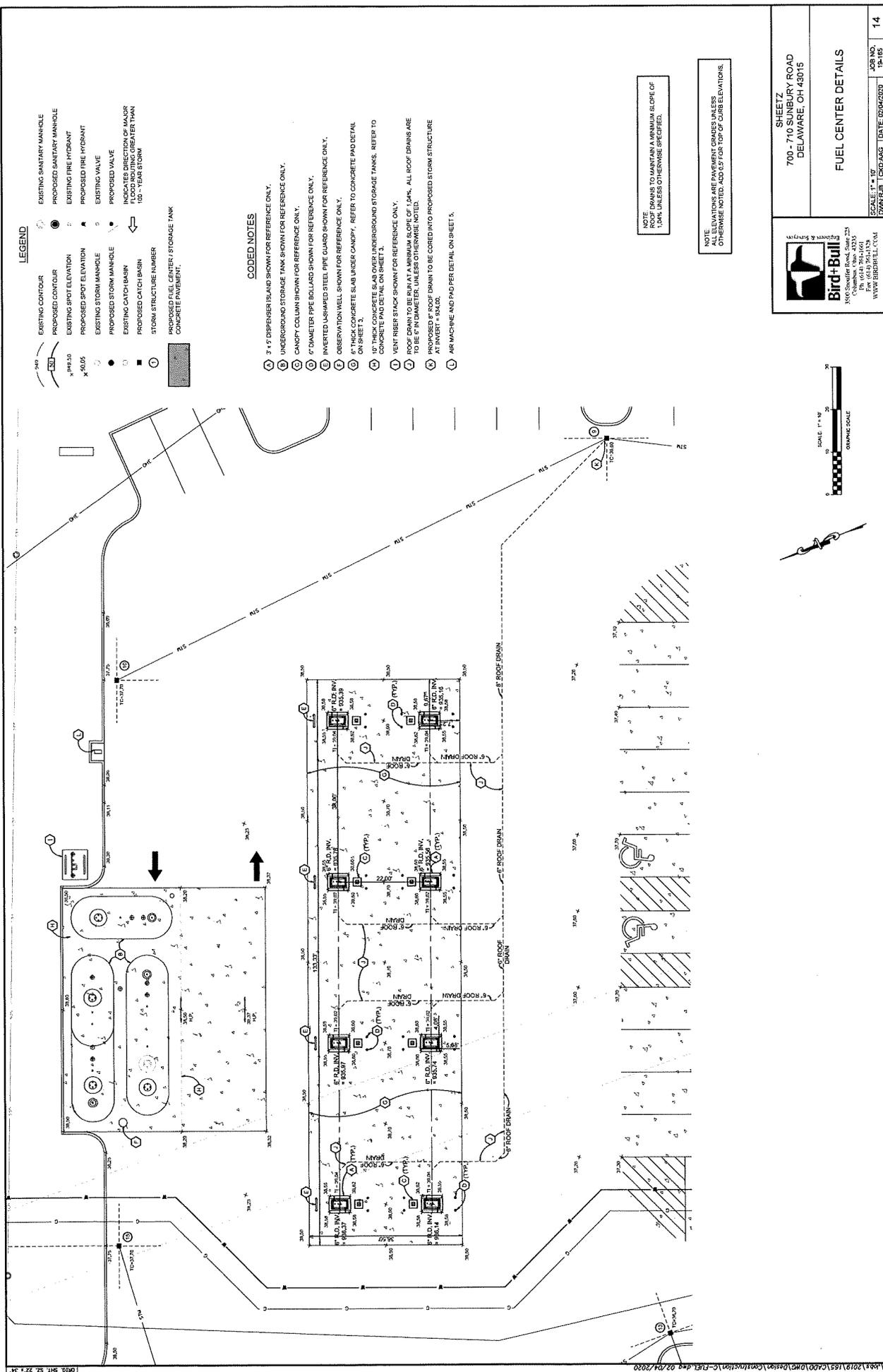
NOTE
ALL ELEVATIONS ARE PAVEMENT GRADES UNLESS OTHERWISE NOTED. ADD 0.5' FOR TOP OF CURB ELEVATIONS.

Bird+Bull
 Engineers & Surveyors
 175 North 70th Street
 Columbus, Ohio 43235
 WWW.BIRDBULL.COM

SHEET 7
 700 - 710 SUNBURY ROAD
 DELAWARE, OH 43015

INTERSECTION GRADING DETAILS

SCALE: 1" = 40'
 DATE: 08/20/2020
 JOB NO.: 13
 DRAWN BY: TCR/2455

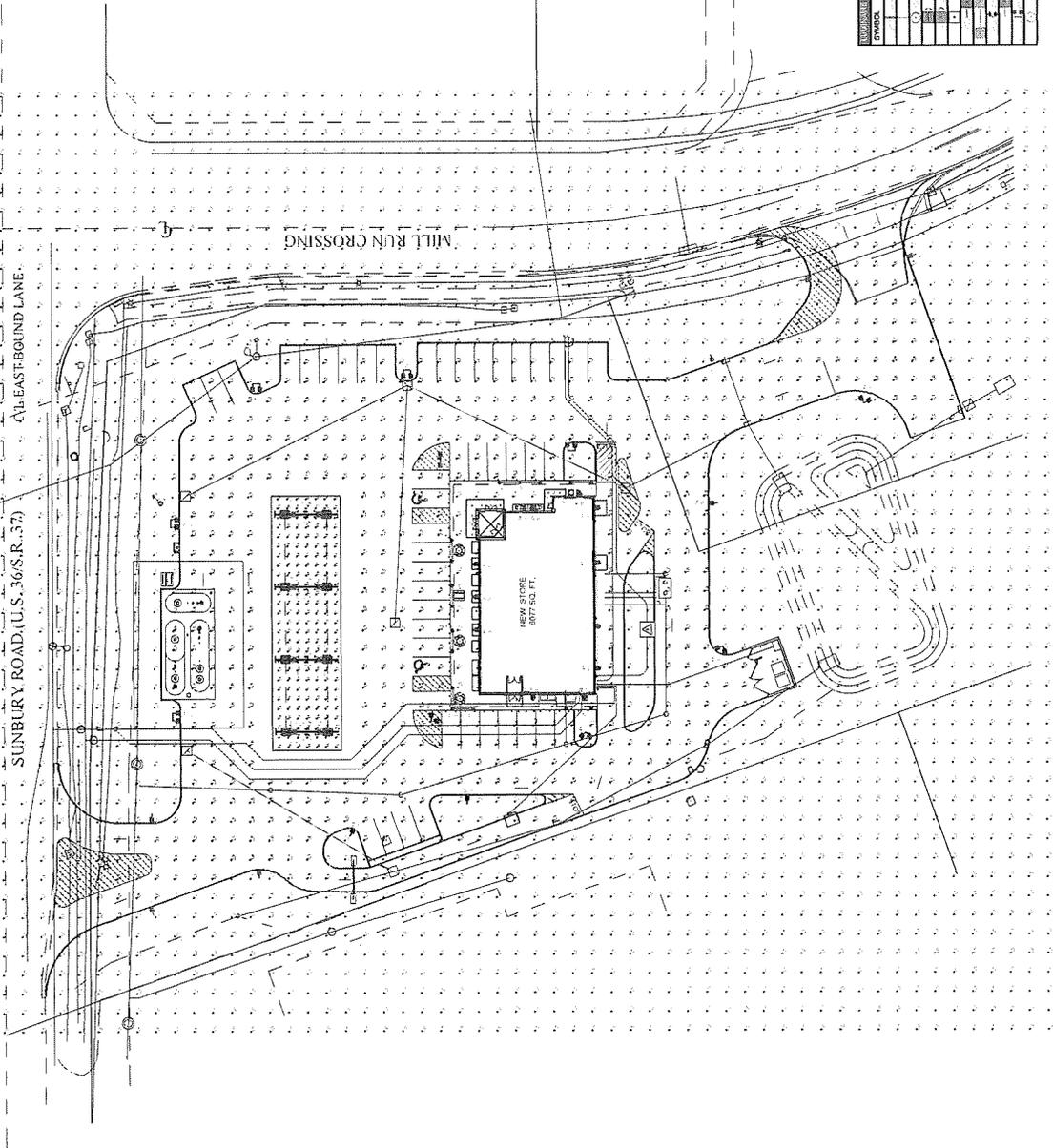


Bird+Bull
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SHEETZ
 700 - 710 SUNBURY ROAD
 DELAWARE, OH 43015

FUEL CENTER DETAILS

DATE: 02/24/2020 | JOB NO.: 10' | SHEET: 14



LUM. NO.	LABEL	MTG. HT.
1-8	A	15.83
9-24	B	15.83
25-40	C	3
41-42	D	9.33
43-47	D	1.2
48-49	E	1.2
50-51	E	10
52	E	12
53	F	1
54-56	G	23
57	H	23
58-61	J	23
62-63	K	23
64-72	L	23
73-74	M	11.03

NOTE:
 -ALL AREA LIGHTS ON NEW 28 FT. POLE MOUNTED ON 3 FT. CONCRETE BASE

LABEL	AVG	MAX	MINI	AUGMIN	MAXMIN
BUILDING PERIMETER WALKWAY	9.33	2.9	4.2	2.15	5.93
SITE PAVED AREA	10.8	17.5	9.9	8.28	12.8
UNDER CANOPY	31.25	51	8	3.31	18.50



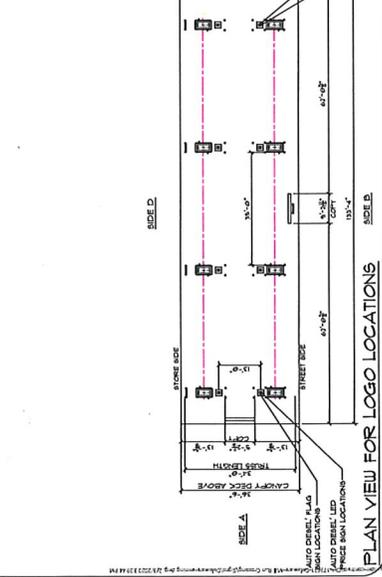
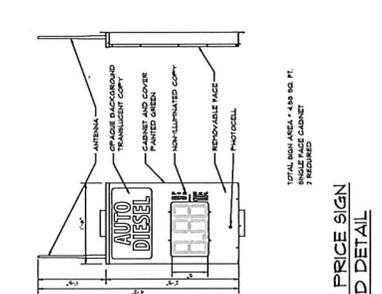
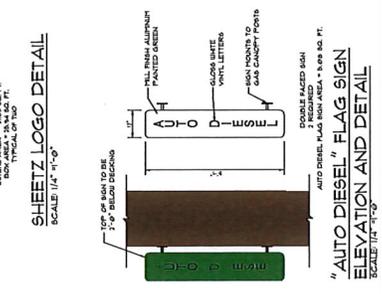
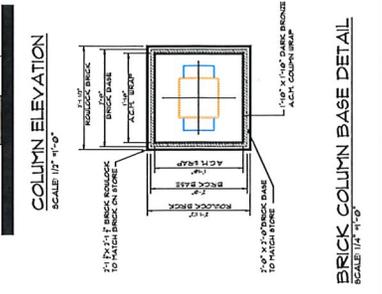
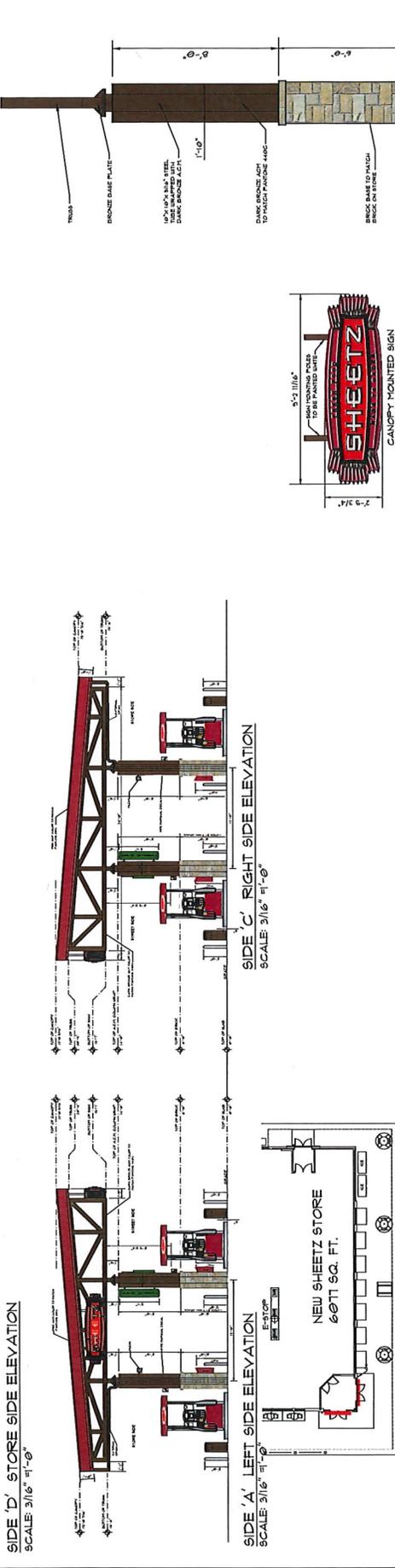
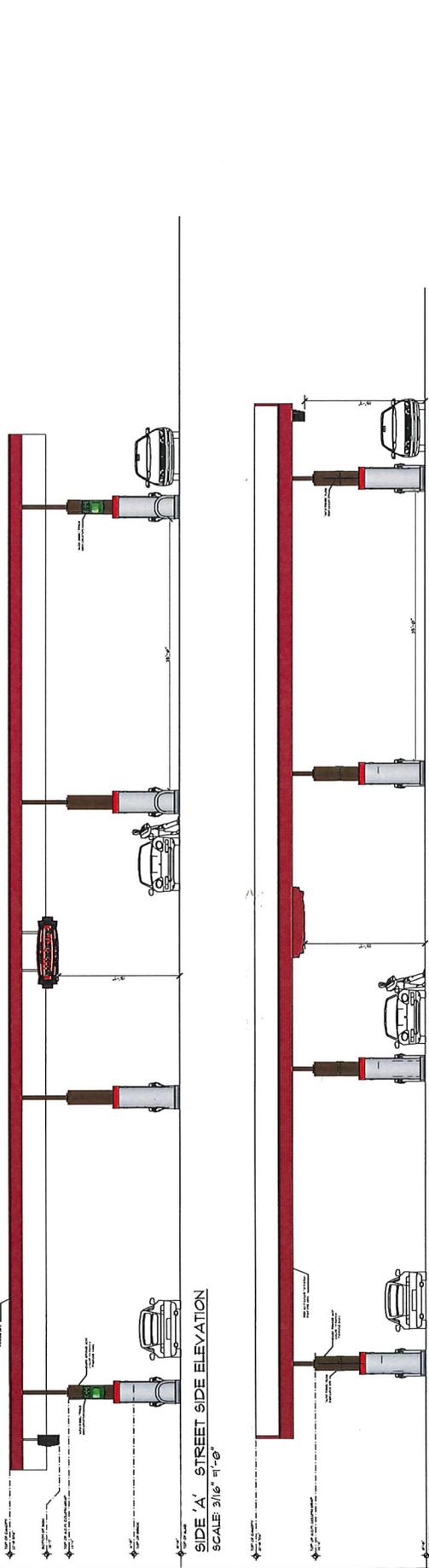
NORTH

GRAPHIC SCALE



SYMBOL	DESCRIPTION	QTY	UNIT	MANUFACTURER	ITEM NO.	ITEM DESCRIPTION	ITEM PRICE	TOTAL PRICE	NOTES
1	1 FT. SQUARE	688	SQ. FT.	CHIEF INC.	1000	1000	1.00	688.00	
2	2 FT. SQUARE	144	SQ. FT.	CHIEF INC.	1000	1000	2.00	288.00	
3	3 FT. SQUARE	96	SQ. FT.	CHIEF INC.	1000	1000	3.00	288.00	
4	4 FT. SQUARE	66	SQ. FT.	CHIEF INC.	1000	1000	4.00	264.00	
5	5 FT. SQUARE	48	SQ. FT.	CHIEF INC.	1000	1000	5.00	240.00	
6	6 FT. SQUARE	36	SQ. FT.	CHIEF INC.	1000	1000	6.00	216.00	
7	7 FT. SQUARE	24	SQ. FT.	CHIEF INC.	1000	1000	7.00	168.00	
8	8 FT. SQUARE	18	SQ. FT.	CHIEF INC.	1000	1000	8.00	144.00	
9	9 FT. SQUARE	12	SQ. FT.	CHIEF INC.	1000	1000	9.00	108.00	
10	10 FT. SQUARE	9	SQ. FT.	CHIEF INC.	1000	1000	10.00	90.00	
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13	13 FT. SQUARE	3	SQ. FT.	CHIEF INC.	1000	1000	13.00	39.00	
14	14 FT. SQUARE	2	SQ. FT.	CHIEF INC.	1000	1000	14.00	28.00	
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100	100 FT. SQUARE	1	SQ. FT.	CHIEF INC.	1000	1000	100.00	100.00	

DATE	BY	REVISION



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DATE	BY	REVISION

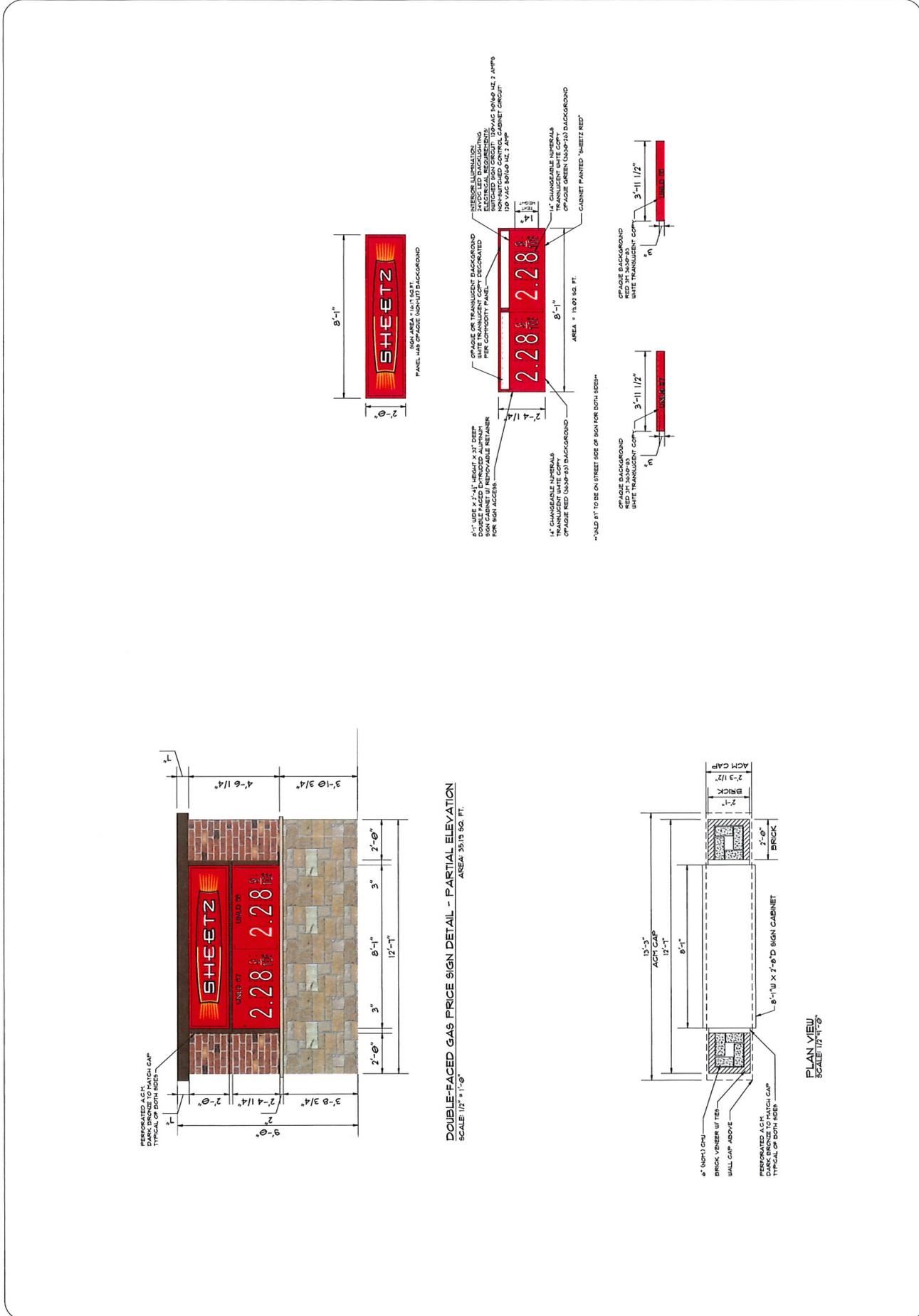
351 Sheetz Way, Claysburg, PA 16825
(814) 339 6013

Convenience Architecture
and Design P.C.

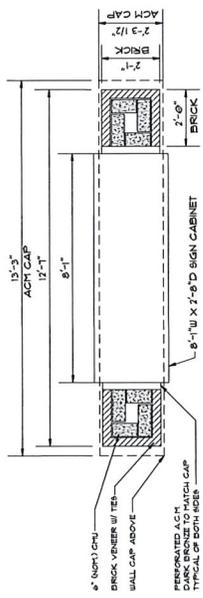
GAS PRICE
MONUMENT SIGN
DETAILS

NEW SHEETZ STORE
DELAWARE
CITY OF HILL RUN CROSSING
AND SPRINGFIELD RD
CITY OF DELAWARE, OHIO

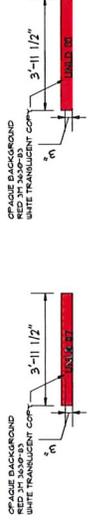
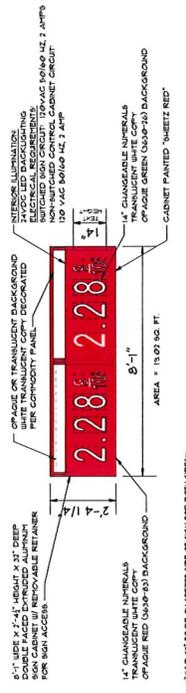
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DATE:	07/26/20
DRAWN BY:	MS
FILE NAME:	CONVENIENCE MONUMENT



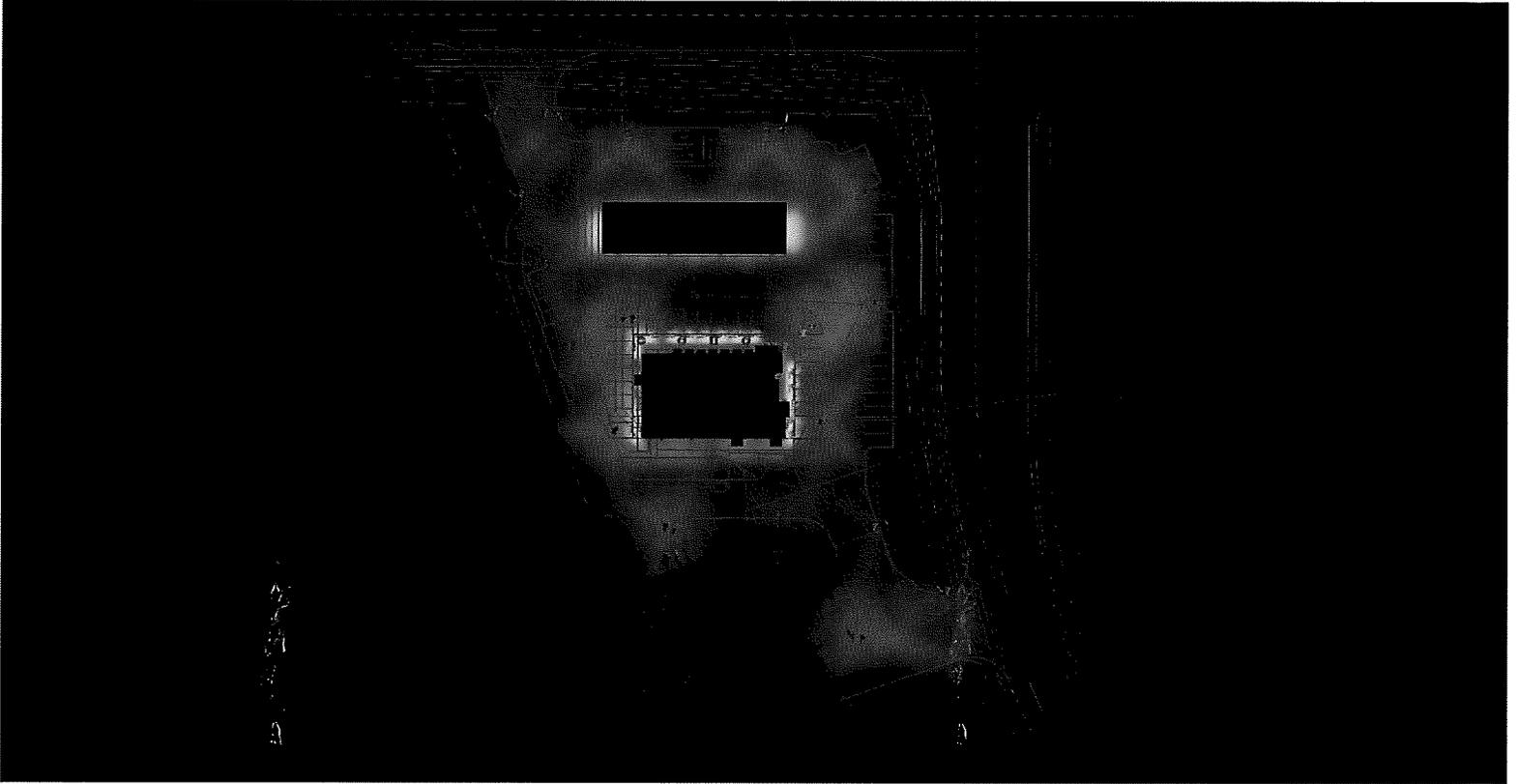
DOUBLE-FACED GAS PRICE SIGN DETAIL - PARTIAL ELEVATION
SCALE 1/2" = 1'-0"
AREA 3513 SQ. FT.



PLAN VIEW
SCALE 1/2\"/>













PRODUCT	QTY	LABEL	DESCRIPTION
CANOPY			
	 8	A	FLD-OL-15-D2-14-E-UL-XX-700 W/XA-XFR9XX
	 16	B	FLD-OL-40-D4-07-E-UL-XX-700 W/XA-XFR9XX
PATHWAY			
	 16	C	PWY-EDG-3M-P3-02-E-UL-XX-350-57K
WALL MOUNT			
	 7	D	SEC-EDG-3M-WM-02-E-UL-XX-525
	 5	E	SEC-EDG-3M-WM-04-E-UL-XX-525
AREA			
	 1	F	OSQ-AAXX W/PGM-1 + OSQ-A-NM-15D-B-57K-UL-XX
	 3	G	OSQ-DAXX + OSQ-A-NM-4ME-B-57K-UL-XX
	 1	H	OSQ-DAXX + OSQ-A-NM-4ME-B-57K-UL-XX
	 4	J	OSQ-DAXX + OSQ-A-NM-4ME-B-57K-UL-XX
	 6	K	OSQ-DAXX + OSQ-A-NM-4ME-B-57K-UL-XX W_OSQ-BLSMF
	 5	L	OSQ-DAXX + OSQ-A-NM-4ME-B-57K-UL-XX W_OSQ-BLSMF

EXCELLENCE TODAY AND INTO THE **FUTURE** 

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FACT SHEET

AGENDA ITEM NO: 14

DATE: 03/23/2020

ORDINANCE NO: 20-21

RESOLUTION NO:

READING: SECOND

PUBLIC HEARING: NO

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: Justin Nahvi, Finance Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE SUPPLEMENTING THE 2020 APPROPRIATIONS ORDINANCE TO PROVIDE ADDITIONAL FUNDING FOR THE HOUSING PROGRAM INCOME FUND.

BACKGROUND:

The City of Delaware has previously participated in the HOME grant program that provides funding to rehab residential properties for homeowners that qualify for the grant based on their income level. A stipulation of these grants requires the homeowner to refund a portion of the grant award back to the City if the property is refinanced or sold to another owner. The City recently received \$8,150 from a homeowner that previously received a HOME grant and the funds were issued as the property was conveyed to a new owner. The State of Ohio does not require that this repayment be transferred back to the State agency that administers these grants. As such, the Planning and Community Development Department has proposed releasing these funds to Habitat for Humanity of Delaware & Union Counties to assist the organization in meeting its objectives in the community with regards to housing.

REASON WHY LEGISLATION IS NEEDED:

The enclosed ordinance has been submitted for Council consideration as there are no appropriations allocated in the 2020 budget within the Housing Program Income Fund (Fund 296) to accommodate the distribution of these monies to Habitat for Humanity.

COMMITTEE RECOMMENDATION:

Not Applicable

FISCAL IMPACT(S):

This proposed distribution of the \$8,150 will have no negative impact on the Housing Program Income Fund (Fund 296).

POLICY CHANGES:

Not Applicable

PRESENTER(S):

Justin Nahvi, Finance Director

RECOMMENDATION:

Approval

ATTACHMENT(S):

None

ORDINANCE NO. 20-21

AN ORDINANCE SUPPLEMENTING THE 2020 APPROPRIATIONS ORDINANCE TO PROVIDE ADDITIONAL FUNDING FOR THE HOUSING PROGRAM INCOME FUND.

WHEREAS the City of Delaware has historically received HOME grant funding that is awarded to residents for housing rehabilitation assistance based on eligibility requirements generally associated with household income; and

WHEREAS these grant awards to homeowners include stipulations that if a property is refinanced or sold within a pre-defined period of time that a portion of the grant will need to be repaid to the City; and

WHEREAS the City of Delaware recently received \$8,150 from a past award recipient in relation to the transfer of ownership for a property; and

WHEREAS these monies are not required to be released back to the State of Ohio and the Planning & Community Development Department has proposed releasing these funds to Habitat for Humanity of Delaware & Union Counties, an eligible grantee, in support of the organization's mission to provide housing for individuals or families in need of assistance within the City of Delaware.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1: That there is hereby appropriated from the unencumbered balance of the Housing Program Income Fund (Fund 296) \$8,150 increasing the following account:

HOME Expenditures (296.2960.5520)	\$8,150
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SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS ___ NAYS ___
ABSTAIN ___

PASSED: _____, 2020

YEAS ___ NAYS ___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR



FACT SHEET

AGENDA ITEM NO: 15

DATE: 03/23/2020

ORDINANCE NO: 20-22

RESOLUTION NO:

READING: SECOND

PUBLIC HEARING: NO

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: Justin Nahvi, Finance Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE SUPPLEMENTING THE 2020 APPROPRIATIONS ORDINANCE TO PROVIDE ADDITIONAL FUNDING FOR THE EAST WILLIAM STREET PROJECT AND DECLARING AN EMERGENCY.

BACKGROUND:

The Public Works Department is currently administering roadway improvements to E William Street for which \$4,250,000 in project costs were outlined in the 2020 Capital Improvement Plan. Of the total project costs, the local funding allocation was \$971,382 of which \$300,000 would be financed through City utility funds and the balance, \$671,382 would be financed by City capital improvement funds.

REASON WHY LEGISLATION IS NEEDED:

In relation to increasing materials and labor costs, coupled with an insufficient budget allocation for contingency funding on the project, the Public Works Department has identified a need for \$300,000 in supplemental appropriations from the Capital Improvement Fund (Fund 410) to financially sustain the roadway improvements. In addition, through ongoing construction improvements to East William Street, the Public Works Department has also identified a need for \$100,000 in unexpected utility related improvements requiring supplemental appropriations from the Storm Sewer Fund (Fund 203). Council may recall City Engineer and Public Works Director, Bill Ferrigno

bringing up the possibility of this supplemental during the budget review on December 9, 2019.

COMMITTEE RECOMMENDATION:

N/A

FISCAL IMPACT(S):

The unencumbered cash balance in the Storm Sewer Fund (Fund 203) is currently \$1.5 million and this increase of \$100,000 in project costs will not negatively impact the cash sufficiency balance for this enterprise fund. In addition, there is a sufficient cash balance in the Capital Improvement Fund (Fund 410) to absorb the referenced project increase in the amount of \$300,000 per this fact sheet.

POLICY CHANGES:

N/A

PRESENTER(S):

Justin Nahvi, Finance Director
Bill Ferrigno, City Engineer & Public Works Director

RECOMMENDATION:

Approval

ATTACHMENT(S)

None

ORDINANCE NO. 20-22

AN ORDINANCE SUPPLEMENTING THE 2020 APPROPRIATIONS ORDINANCE TO PROVIDE ADDITIONAL FUNDING FOR THE EAST WILLIAM STREET PROJECT AND DECLARING AN EMERGENCY.

WHEREAS \$4,250,000 in project costs were outlined in the 2020 Capital Improvement Plan for improvements to East William Street; and

WHEREAS of the total project costs for the roadway improvements, \$300,000 would be drawn from City Utility funds and \$671,382 from City Capital Improvement funds equaling a total local share of the project in the amount of \$971,382; and

WHEREAS due to increasing material and labor costs, coupled with an insufficient budget allocation in contingency funding for this project, the Public Works Department has identified the need for \$300,000 in supplemental appropriations to be drawn from the Capital Improvement Fund (Fund 410) to finalize this project; and

WHEREAS during the current construction progress to East William Street, the Public Works Department has also identified the need for an additional \$100,000 in stormwater improvements for utility related repairs to be drawn from the Storm Sewer Fund (Fund 203).

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1: That there is hereby appropriated from the unencumbered balance of the Capital Improvement Fund increasing the following account:

US 36/E. William St. Corridor (410.4104.5541)	\$300,000
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SECTION 2: That there is hereby appropriated from the unencumbered balance of the Storm Sewer Fund increasing the following account:

US 36/E. William St. Corridor (203.0204.5541)	\$100,000
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SECTION 3. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

SECTION 4. EMERGENCY CLAUSE. That this ordinance is hereby declared to be an emergency measure necessary to provide for the public peace, safety, health and welfare of the City and for the further reason to provide for a sufficient level of appropriations to complete the roadway improvements for East William Street and as such will be in full force and effect immediately upon its passage.

VOTE ON RULE SUSPENSION:

YEAS ___ NAYS ___
ABSTAIN ___

VOTE ON EMERGENCY CLAUSE

YEAS ___ NAYS ___
ABSTAIN ___

PASSED: _____, 2020

YEAS ___ NAYS ___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR



FACT SHEET

AGENDA ITEM NO: 16

DATE: 03/23/2020

ORDINANCE NO: 20-23

RESOLUTION NO:

READING: SECOND

PUBLIC HEARING: NO

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: Justin Nahvi, Finance Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE SUPPLEMENTING THE 2020 APPROPRIATIONS ORDINANCE TO PROVIDE ADDITIONAL FUNDING FOR WATER MAIN EXTENSIONS ASSOCIATED WITH THE GLENN PARKWAY PROJECT.

BACKGROUND:

The Public Works Department will be coordinating on the extension of Glenn Parkway to Berlin Station in 2020 which will include the extension of water lines for this project. Appropriations were separately allocated in the 2019 fiscal year for the water line extension, however; this specific portion of the overall project was not executed in the prior year.

REASON WHY LEGISLATION IS NEEDED:

Appropriations for water line extensions were not included in the 2020 Approved Budget within the Water Capacity Fee Fund (Fund 536). The estimated cost of extending this utility in relation to the Glenn Parkway project is \$636,000 which would need to be appropriated in the current year to finalize this roadway project.

COMMITTEE RECOMMENDATION:

N/A

FISCAL IMPACT(S):

The unencumbered cash balance in the Water Capacity Fee Fund (Fund 536) is currently \$10.3 million and this project will have no negative impact on the cash sufficiency for the fund.

POLICY CHANGES:

N/A

PRESENTER(S):

Justin Nahvi, Finance Director
Bill Ferrigno, City Engineer & Public Works Director
Blake Jordan, Public Utilities Director

RECOMMENDATION:

Approval

ATTACHMENT(S)

None

ORDINANCE NO. 20-23

AN ORDINANCE SUPPLEMENTING THE 2020 APPROPRIATIONS ORDINANCE TO PROVIDE ADDITIONAL FUNDING FOR WATER MAIN EXTENSIONS ASSOCIATED WITH THE GLENN PARKWAY PROJECT.

WHEREAS in prior fiscal years appropriations were allocated for the costs associated with waterline extensions attributed to the Glenn Parkway project; and

WHEREAS this waterline project was not executed in the 2019 fiscal year and the subsequent appropriations were not included for the 2020 budget period; and

WHEREAS the estimated cost for the waterline extension portion of the Glenn Parkway project are \$636,000 to be drawn from the Water Capacity Fee Fund (Fund 536); and

WHEREAS supplemental appropriations are needed to sustain the completion of this project.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1: That there is hereby appropriated from the unencumbered balance of the Water Capacity Fee Fund increasing the following account:

Glenn Rd Waterline Extension (536.5316.5536) \$636,000

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS___ NAYS___
ABSTAIN ___

PASSED: _____, 2020

YEAS___ NAYS___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR



FACT SHEET

AGENDA ITEM NO: 17

DATE: 03/23/2020

ORDINANCE NO: 20-24

RESOLUTION NO:

READING: SECOND

PUBLIC HEARING: NO

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: Justin Nahvi, Finance Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE SUPPLEMENTING THE 2020 APPROPRIATIONS ORDINANCE TO PROVIDE ADDITIONAL FUNDING FOR PARKLAND AND TRAILWAY DEVELOPMENT IMPROVEMENTS.

BACKGROUND:

The 2019 Capital Improvement Plan included planned funding allocation for the Ross Street Park in the amount \$175,000, while inadvertently the 2020 Capital Improvement Plan included planned funding allocation of only \$75,000 for this project. The estimates for the first phase (parking area with storm improvements, building removal and landscaping) came in at \$175,000.

The 2020 Capital Improvement Plan did not include any work related to Delaware Run. The Parks Department is requesting \$64,000 in funding be appropriated to complete the CSX review, feasibility study and design work.

REASON WHY LEGISLATION IS NEEDED:

Park's CIP projects that were not approved within the 2020 Budget include \$64,000 for design services relating to the Delaware Run future trail way improvements as well as \$100,000 for park improvements to the Ross Street Park. These two projects would be budgeted from the Park Impact Fees Improvement Fund (Fund 491) for a total cost of \$164,000.

COMMITTEE RECOMMENDATION:

Not Applicable

FISCAL IMPACT(S):

The Park Impact Fees Improvement Fund (Fund 491) currently has an unencumbered cash balance of \$2.1 million and the additional capital expenditures in 2020 will not have an impact on the cash sufficiency balance in the fund.

POLICY CHANGES:

Not Applicable

PRESENTER(S):

Justin Nahvi, Finance Director
Ted Miller, Parks & Natural Resources Director

RECOMMENDATION:

Approval

ATTACHMENT(S):

None

ORDINANCE NO. 20-24

AN ORDINANCE SUPPLEMENTING THE 2020 APPROPRIATIONS ORDINANCE TO PROVIDE ADDITIONAL FUNDING FOR PARKLAND AND TRAILWAY DEVELOPMENT IMPROVEMENTS.

WHEREAS, the 2019 Capital Improvement Plan included planned funding allocation for the Ross Street Park in the amount \$175,000, while inadvertently the 2020 Capital Improvement Plan included planned funding allocation of only \$75,000 for this project; and

WHEREAS, the 2020 Capital Improvement Plan did not include any funding allocation for work related to the Delaware Run trail feasibility study, a cost of \$64,000; and

WHEREAS, the Parks Department has requested a total of \$164,000 in supplemental appropriations from the Park Impact Fees Improvement Fund (Fund 491) to support these projects.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1: That there is hereby appropriated from the unencumbered balance of the Park Impact Fees Improvement Fund increasing the following account:

Professional Services	(491.4910.5230)	\$64,000
Ross St. Parkland Improvements	(491.4910.5546)	\$100,000

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION: YEAS___ NAYS___ ABSTAIN ___

PASSED: _____, 2020 YEAS___ NAYS___ ABSTAIN ___

ATTEST: _____ CITY CLERK

_____ MAYOR



TO: TOM HOMAN, CITY MANAGER
FROM: JUSTIN NAHVI, FINANCE DIRECTOR
SUBJECT: FEBRUARY 2020 FINANCIAL REPORT
DATE: 3/14/2020

BACKGROUND

The purpose of this report is to provide a brief review of the revenues and expenditures for the following funds: General Fund, Fire/EMS Income Tax Fund, Stormwater Fund, Water Fund, Wastewater Fund, and Refuse Fund.

Actual revenues and expenditures are compared to the budget to assess potential overages/shortages in budgeted categories. Comparisons with figures from last fiscal year are also included to indicate the differences by year, since budgeting techniques remain relatively uniform from one year to the next.

Appendix A details the year-to-date activity for all of the city's active funds. It is important to note the ending balance, encumbrances, and unencumbered balance. The unencumbered balance is the amount remaining in the fund if the city were to expend all the monies listed as encumbrances. The ending balance is the amount of funds available to the city as of February 29, 2020, and ties to the amount listed in Appendix B.

Appendix B is the Financial Statement for the city as of February 29, 2020. This statement provides a listing of the city's funds held at various financial institutions. Also presented are the interest earned to date, weighted average interest rate, and the weighted average maturity (days).

Appendix C is the Debt Schedule for the city through February 29, 2020. All principal and interest payments that have been paid to date are included in the schedule.

GENERAL FUND

The General Fund is the main operating fund for the city and is used to account for all financial transactions which are not reported in other funds. Major sources of revenue include income tax and property tax. Please refer to page three for a breakdown of the revenues and expenditures through February 29, 2020.

Revenues

The General Fund revenues are performing as expected. However, the following revenue sources require additional explanations:

- Property Taxes – Settlement revenue is received after the 1st and 2nd half real estate collection periods in March and August respectively. Updated collection information on this revenue source will be included in the March 2020 financial report.
- Income Tax – Year-to-date receipts total \$24,459,014 which is \$90,126, or 3.8%, greater than amount the City received during the same period in the prior year.
- Charges for Services – Chargebacks for the General Fund related services attributed to special revenue and enterprise funds for the 1st quarter of 2020 equaled \$294,208.

Expenditures

The General Fund expenditures are performing as expected. However, the following expenditures require additional explanations:

- Transfers – Transfers to the following funds have been made: Street Maintenance & Repair Fund (\$346,333), Capital Improvement Fund (\$308,333), Recreation Fund (\$247,946), Cemetery Fund (\$25,000), Tree Fund (\$7,500) and the Airport Fund (\$5,000).

**GENERAL FUND
STATEMENT OF REVENUE AND EXPENDITURES
FEBRUARY 2020**

	2019 ACTUAL YTD FEB 29	2020 ACTUAL YTD FEB 29	2020 TOTAL BUDGET	2020 % of BUDGET
REVENUES				
Property Taxes	0	0	1,548,000	0.00%
Intergovernmental Receipts	109,348	149,414	1,013,726	14.74%
Income Taxes	2,368,888	2,459,014	16,510,750	14.89%
Fines & Forfeitures	25,457	14,358	140,000	10.26%
Fees, Licenses, & Permits	304,112	437,958	2,998,000	14.61%
Miscellaneous	106,314	20,470	380,000	5.39%
Other Financing	2,250	20,013	0	0.00%
Earnings on Investments	82,301	118,624	950,000	12.49%
Charges for Services	288,698	294,208	2,299,603	12.79%
Total Revenues	3,287,367	3,514,060	25,840,079	13.60%
EXPENDITURES				
Council	28,722	29,502	187,299	15.75%
City Manager	132,328	155,602	927,910	16.77%
Admin Services	114,963	67,628	425,183	15.91%
Economic Development	62,084	44,300	528,655	8.38%
Legal Affairs	143,330	145,578	882,940	16.49%
Finance	327,669	423,523	2,353,870	17.99%
General Admin	1,063,226	1,091,158	6,508,792	16.76%
Risk Management	897	5,905	349,100	1.69%
Police	1,445,475	1,628,125	9,739,704	16.72%
Planning	196,171	222,911	1,551,146	14.37%
Engineering	281,092	271,570	2,349,511	11.56%
Building Maintenance	81,135	86,851	589,467	14.73%
Total Expenditures	3,877,090	4,172,654	26,393,576	15.81%

SECURITY OF PERSONS & PROPERTY FUND

The Fire/EMS Income Tax Fund is a Special Revenue Fund which means that the resources are restricted to only funding expenditures that support the Fire Department. Please refer to page five for a breakdown of the revenues and expenditures through February 29, 2020.

Revenues

Several sources of revenue support this fund, including intergovernmental as well as income tax collections.

- EMS Service Agreement - The city contracts with Delaware County to provide EMS services to certain unincorporated portions of the County. To date, the City has received \$171,931.
 - For the 2020 fiscal year, the per unit reimbursement rate will be \$220 for EMS transport and \$110 per non-transport runs.
- Income Tax – Year-to-date receipts total \$1,720,442 which is \$63,057, or 3.8%, greater than amount the City received during the same period in the prior year.

Expenditures

Fire/EMIS Income Tax Fund expenditures are performing as expected through February 29, 2020.

**FIRE/EMS INCOME TAX FUND
STATEMENT OF REVENUE AND EXPENDITURES
FEBRUARY 2020**

	2019 ACTUAL YTD FEB 29	2020 ACTUAL YTD FEB 29	2020 TOTAL BUDGET	2020 % of BUDGET
REVENUES				
Intergovernmental Receipts	3,575	174,696	752,765	23.21%
Income Taxes	1,657,385	1,720,442	11,500,000	14.96%
Miscellaneous	187	30	39,195	0.08%
Other Financing	0	1,175	0	0.00%
Transfer In	0	0	240,717	0.00%
Total Revenues	1,661,147	1,896,343	12,532,677	15.13%
EXPENDITURES				
Personal Services	1,317,356	1,534,861	9,501,589	16.15%
Charges & Services	163,703	219,968	1,138,934	19.31%
Materials & Supplies	51,148	91,185	447,354	20.38%
Capital Outlay	721,120	25,747	1,463,030	1.76%
Refunds	42,660	26,746	500,000	5.35%
Transfer	0	0	848,044	0.00%
Debt	514	0	514	0.00%
Total Fire Expenditures	2,296,500	1,898,507	13,899,465	13.66%

STORMWATER FUND

The Stormwater Fund is an Enterprise Fund that was established to account for the costs of repairing, replacing, and improving the city's storm drainage system. User fees sustain the expenditures of this fund. Please refer to page thirteen for a breakdown of the revenues and expenditures through February 29, 2020.

Revenues

The Stormwater Fund revenues are performing as expected. However, the following revenue sources require additional explanations:

- Charges for Services – Year-to-date service charges totaled \$158,393, which is \$2,786 (1.8%) greater than this period last year.

Expenditures

The Stormwater Fund expenditures are performing as expected through February 29, 2020.

**STORMWATER FUND
STATEMENT OF REVENUE AND EXPENDITURES
FEBRUARY 2020**

	2019 ACTUAL YTD FEB 29	2020 ACTUAL YTD FEB 29	2020 TOTAL BUDGET	2020 % of BUDGET
REVENUES				
Miscellaneous	210	718	500	143.60%
Charges for Services	155,607	158,393	900,200	17.60%
Total Revenues	155,817	159,111	900,700	17.67%
EXPENDITURES				
Stormwater Operations				
Personal Services	37,177	41,990	257,186	16.33%
Charges & Services	9,468	12,035	223,891	5.38%
Materials & Supplies	3,582	9,713	100,340	9.68%
Capital Outlay	8,524	0	20,000	0.00%
Refunds	7	9	2,000	0.45%
Total Ops Expenditures	58,759	63,747	603,416	10.56%
Stormwater Capital				
Capital Outlay	892	129,884	1,616,338	8.04%
Total Cap Expenditures	892	129,884	1,616,338	8.04%
Total Expenditures	59,651	193,631	2,219,754	8.72%

WATER FUND

The Water Fund was established to account for the treatment and distribution of water to resident and commercial users. This fund is also an Enterprise Fund, with user fees financing the expenditures. Please refer to page eleven for a breakdown of the revenues and expenditures through February 29, 2020.

Revenues

The Water Fund revenues are performing as expected. However, the following revenue sources require additional explanations:

- Charges for Services – Included in this category are Services Charges & Collections.
 - Meter Charges – Year-to-date meter charges for water consumption totaled \$917,397 which is \$56,336 or 6.5% greater than the same period from the prior year.
 - Capacity Fees – Year-to-date receipts total 344,650 and these fees are deposited into the Water Capacity Fee Fund (Fund 536).

Expenditures

The Water Fund expenditures are performing as expected through February 29, 2020.

**WATER FUND
STATEMENT OF REVENUE AND EXPENDITURES
FEBRUARY 2020**

	2019 ACTUAL YTD FEB 29	2020 ACTUAL YTD FEB 29	2020 TOTAL BUDGET	2020 % of BUDGET
REVENUES				
Miscellaneous	3,678	4,883	25,000	19.53%
Other Financing	0	6,549	11,000	59.54%
Earnings on Investments	26,161	47,761	300,000	15.92%
Charges for Services	879,410	940,262	6,220,000	15.12%
Total Revenues	909,250	999,456	6,556,000	15.24%
EXPENDITURES				
Water Administration				
Personal Services	62,095	54,770	325,759	0.00%
Charges & Services	70,620	58,529	276,520	21.17%
Materials & Supplies	125	41	775	0.00%
Capital Outlay	0	0	0	0.00%
Refunds	2,265	706	27,750	2.55%
Transfers	119,308	121,667	2,659,783	4.57%
Total Admin Expenditures	254,413	235,714	3,290,587	7.16%
Water Treatment				
Personal Services	140,490	154,053	930,138	16.56%
Charges & Services	139,940	174,477	812,894	21.46%
Materials & Supplies	69,401	37,186	448,903	8.28%
Capital Outlay	11,956	0	87,045	0.00%
Refunds	0	0	0	0.00%
Total Treat Expenditures	361,786	365,715	2,278,981	16.05%
Water Distribution				
Personal Services	99,529	101,341	617,833	16.40%
Charges & Services	18,711	18,012	121,283	14.85%
Materials & Supplies	52,803	61,848	300,470	20.58%
Capital Outlay	3,500	0	15,000	0.00%
Refunds	0	0	0	0.00%
Total Dist Expenditures	174,543	181,201	1,054,586	17.18%
Total Expenditures	790,743	782,630	6,624,154	11.81%

WASTEWATER FUND

The purpose of the Wastewater Fund is to provide wastewater collection and treatment service to resident and commercial users. This fund is also an Enterprise Fund, with user fees financing the expenditures. Please refer to page nine for a breakdown of the revenues and expenditures through February 29, 2020.

Revenues

The Sewer Fund revenues are performing as expected. However, the following revenue sources require additional explanations:

- Charges for Services – Included in this category are Services Charges & Collections.
 - Meter Charges – Year-to-date meter charges for wastewater treatment totaled \$1,019,566 which is \$9,371 or 0.9% less than the same period from the prior year.
 - Capacity Fees – Year-to-date receipts total 328,485 and these fees are deposited into the Wastewater Capacity Fee Fund (Fund 546).

Expenditures

The Wastewater Fund expenditures are performing as expected through February 29, 2020.

**WASTEWATER FUND
STATEMENT OF REVENUE AND EXPENDITURES
FEBRUARY 2020**

	2019 ACTUAL YTD FEB 29	2020 ACTUAL YTD FEB 29	2020 TOTAL BUDGET	2020 % of BUDGET
REVENUES				
Miscellaneous	7	1,127	10,000	11.27%
Other Financing	0	7,423	0	0.00%
Earnings on Investments	23,037	45,675	275,000	16.61%
Charges for Services	1,078,196	1,146,774	7,426,500	15.44%
Total Revenues	1,101,240	1,200,999	7,711,500	15.57%
EXPENDITURES				
Sewer Administration				
Personal Services	33,545	46,595	323,556	0.00%
Charges & Services	38,167	18,392	247,743	7.42%
Materials & Supplies	204	0	1,000	0.00%
Capital Outlay	0	0	0	0.00%
Refunds	96	101	7,500	1.34%
Transfers	134,723	137,167	3,996,618	3.43%
Total Admin Expenditures	206,734	202,254	4,576,417	4.42%
Sewer Treatment				
Personal Services	148,229	156,900	975,531	16.08%
Charges & Services	132,655	133,462	1,004,447	13.29%
Materials & Supplies	27,322	29,363	238,770	12.30%
Capital Outlay	0	0	25,000	0.00%
Refunds	0	0	0	0.00%
Total Treat Expenditures	308,207	319,725	2,243,747	14.25%
Sewer Collection				
Personal Services	64,532	46,385	291,090	15.94%
Charges & Services	19,154	32,020	253,935	12.61%
Materials & Supplies	29,135	25,522	187,702	13.60%
Capital Outlay	14,300	0	16,100	0.00%
Refunds	0	0	0	0.00%
Total Col Expenditures	127,122	103,928	748,826	13.88%
Total Expenditures	642,062	625,906	7,568,991	8.27%

REFUSE FUND

The Refuse Fund accounts for the costs of providing refuse services. This fund is an Enterprise Fund which means that the main source of revenue is the monthly fees charged to residents for this service. Please refer to page seven for a breakdown of the revenues and expenditures through February 29, 2020.

Revenues

The Refuse Fund revenues are performing as expected. However, the following revenue sources require additional explanations:

- Charges for Services – Year-to-date receipts total \$613,736 which is \$18,983 or 3.2% more than the City received from the same period in the prior year.

Expenditures

The Refuse Fund expenditures are performing as expected through February 29, 2020.

**REFUSE FUND
STATEMENT OF REVENUE AND EXPENDITURES
FEBRUARY 2020**

	2019 ACTUAL YTD FEB 29	2020 ACTUAL YTD FEB 29	2020 TOTAL BUDGET	2020 % of BUDGET
REVENUES				
Miscellaneous	-	3,365	260,000	1.29%
Other Financing	-	-	260,000	0.00%
Earnings on Investments	1,825	3,336	12,000	27.80%
Charges for Services	594,753	613,736	3,793,350	16.18%
Total Revenues	596,578	620,438	4,325,350	14.34%
EXPENDITURES				
Refuse Administration				
Personal Services	0	0	0	0.00%
Charges & Services	14,240	9,262	92,834	9.98%
Materials & Supplies	0	0	0	0.00%
Capital Outlay	12,545	5,985	9,287	64.44%
Refunds	284	47	1,000	4.69%
Transfers	60,383	61,863	371,180	16.67%
Total Admin Expenditures	87,452	77,157	474,301	16.27%
Refuse Collection				
Personal Services	128,314	134,272	784,850	17.11%
Charges & Services	179,561	209,103	1,332,353	15.69%
Materials & Supplies	14,833	17,304	203,514	8.50%
Capital Outlay	0	0	731,207	0.00%
Refunds	0	0	0	0.00%
Total Collect Expenditures	322,707	360,678	3,051,924	11.82%
Refuse Recycling				
Personal Services	79,711	78,856	474,996	16.60%
Charges & Services	19,079	50,445	300,209	16.80%
Materials & Supplies	7,124	4,851	86,650	5.60%
Capital Outlay	0	0	513,447	0.00%
Refunds	0	0	0	0.00%
Total Recycle Expenditures	105,915	134,152	1,375,302	9.75%
Total Expenditures	516,074	571,988	4,901,528	11.67%

APPENDIX A

YEAR TO DATE FUND REPORT
February 29, 2020

Fund #	FUND	BEGINNING BALANCE	YTD REVENUES	YTD EXPEND	ENDING BALANCE	ENCUMB	UNENCUMB BALANCE
101	General Fund	6,801,606.03	3,514,059.75	4,172,654.96	6,143,010.82	789,309.90	5,353,700.92
200	Street MainTenance & Repair	603,206.35	710,480.82	616,837.63	696,849.54	279,956.16	416,893.38
201	State Highway Improvement	353,397.37	28,281.29	157,532.03	224,146.63	288,491.97	(64,345.34)
202	License Fee	426,903.67	72,679.82	398,354.41	101,229.08	90,690.30	10,538.78
203	Stormwater	2,113,380.23	159,111.27	193,631.06	2,078,860.44	484,169.15	1,594,691.29
210	Recreation	266,459.06	258,133.91	217,310.70	307,282.27	49,378.67	257,903.60
212	Oak Grove Cemetery	276,700.20	39,520.82	33,482.20	282,738.82	161,492.62	121,246.20
215	Tree Replacement	119,237.10	29,150.00	0.00	148,387.10	0.00	148,387.10
222	Airport	184,988.85	105,855.30	114,780.01	176,064.14	133,048.51	43,015.63
223	Hangars	180,442.96	16,912.50	10,578.39	186,777.07	0.00	186,777.07
231	Fire/EMS Income Tax	9,399,949.67	1,896,342.61	1,898,507.10	9,397,785.18	1,160,465.50	8,237,319.68
233	Rec Center Income Tax	5,065,048.57	383,285.41	7,088.64	5,441,245.34	37,543.00	5,403,702.34
235	Airport TIF	136,735.75	0.00	0.00	136,735.75	0.00	136,735.75
236	Glenn Road TIF	2,011,525.35	5,786.34	8,979.88	2,008,331.81	329,618.17	1,678,713.64
237	Sky Climber TIF	0.00	0.00	0.00	0.00	0.00	0.00
238	Mill Run TIF	0.00	0.00	0.00	0.00	0.00	0.00
240	Municipal Court	2,861,453.86	552,214.70	476,087.28	2,937,581.28	20,723.20	2,916,858.08
241	Court IDIAM	14,674.86	6,174.77	4,997.00	15,852.63	2,252.00	13,600.63
250	Drug Enforcement	51,218.50	518.70	0.00	51,737.20	0.00	51,737.20
251	Court Alcohol Treatment	592,279.16	5,063.25	0.00	597,342.41	0.00	597,342.41
252	OMVI Enforcement/Education	4,520.65	195.00	0.00	4,715.65	0.00	4,715.65
253	Police Judgement	40,138.50	0.00	17,044.00	23,094.50	607.74	22,486.76
254	Police Fed Judgement	0.00	17,044.00	1,500.00	15,544.00	2,375.00	13,169.00
255	Park Exaction Fee	184,116.07	0.00	12,516.98	171,599.09	27,483.02	144,116.07
256	Court Computer Legal Research	757,780.68	38,541.00	32,631.86	763,689.82	65,603.23	698,086.59
257	Court Special Projects	749,712.50	38,639.31	61,068.11	727,283.70	15,274.78	712,008.92
259	Court Probation Services	614,641.81	46,038.34	2,928.63	657,751.52	3,436.84	654,314.68
261	Police Disability Pension	0.00	0.00	0.00	0.00	0.00	0.00
262	Fire Disability Pension	0.00	0.00	0.00	0.00	0.00	0.00
272	Community Promotion	84,603.77	9,527.92	61,911.48	32,220.21	6,164.60	26,055.61
291	CDBG	0.00	0.00	275.00	(275.00)	3,000.00	(3,275.00)
292	Police Fed Treasury Seizures	0.00	3,530.27	0.00	3,530.27	0.00	3,530.27
295	ED Revolving Loan	240,333.27	22,960.20	10,712.80	252,580.67	1,647.20	250,933.47
296	Housing Program Income	8,150.00	0.00	0.00	8,150.00	0.00	8,150.00

APPENDIX A

YEAR TO DATE FUND REPORT
February 29, 2020

Fund #	FUND	BEGINNING BALANCE	YTD REVENUES	YTD EXPEND	ENDING BALANCE	ENCUMB	UNENCUMB BALANCE
300	General Bond Retirement	621,579.51	1,788.03	0.00	623,367.54	1,411.93	621,955.61
301	Park Improvement Bond	111,104.83	319.60	0.00	111,424.43	0.00	111,424.43
302	SE Highland Bond	0.00	138,053.32	0.00	138,053.32	0.00	138,053.32
410	Capital Improvement	4,666,224.39	1,284,314.31	2,030,077.29	3,920,461.41	4,816,177.00	(895,715.59)
415	Point Project	933,691.72	233,286.48	244,055.27	922,922.93	1,971,670.19	(1,048,747.26)
431	FAA Alloc/Improvement Grant	95,193.38	0.00	0.00	95,193.38	69,680.65	25,512.73
440	Equipment Replacement	217,510.22	416,508.00	163,709.00	470,309.22	326,517.00	143,792.22
491	Parks Impact Fee	2,067,688.56	79,507.89	0.00	2,147,196.45	30,409.50	2,116,786.95
492	Police Impact Fee	429,784.34	10,956.31	0.00	440,740.65	164.93	440,575.72
493	Fire Impact Fee	544,494.17	20,406.29	0.00	564,900.46	168.79	564,731.67
494	Municipal Impact Fee	444,342.10	23,238.19	0.00	467,580.29	7,227.12	460,353.17
496	Glenn Rd S Construction	926,595.96	112,965.49	0.00	1,039,561.45	3,429.08	1,036,132.37
498	Glenn Rd N	330,020.80	0.00	0.00	330,020.80	2,780.24	327,240.56
501	Golf Course	81,056.66	2,943.50	6,362.91	77,637.25	6,000.00	71,637.25
520	Parking Lots	52,087.14	7,939.31	9,803.71	50,222.74	12,787.93	37,434.81
530	Water	1,504,060.97	999,455.86	782,630.33	1,720,886.50	230,952.43	1,489,934.07
531	Water Construction	2,479,462.37	0.00	668,105.48	1,811,356.89	750,557.51	1,060,799.38
533	Water Reserve	2,000,000.00	0.00	0.00	2,000,000.00	0.00	2,000,000.00
536	Water Capacity Fee	10,619,956.63	344,650.00	376,422.42	10,588,184.21	167,860.94	10,420,323.27
540	Wastewater	3,724,670.38	1,200,999.30	625,906.18	4,299,763.50	424,289.35	3,875,474.15
541	Wastewater Construction	3,088,062.39	0.00	143,816.75	2,944,245.64	192,149.71	2,752,095.93
543	Wastewater Reserve	2,000,000.00	0.00	0.00	2,000,000.00	0.00	2,000,000.00
545	Water Customer Deposit	228,317.60	(851.40)	786.88	226,679.32	0.00	226,679.32
546	Wastewater Capacity Fee	6,796,915.87	328,485.00	812,195.25	6,313,205.62	1,330.00	6,311,875.62
548	SE Highland Wastewater	268,389.54	48,000.00	138,053.32	178,336.22	0.00	178,336.22
550	Refuse	1,159,867.16	620,437.69	571,987.63	1,208,317.22	735,939.11	472,378.11
601	Garage Rotary	504,994.89	199,164.00	110,093.51	594,065.38	106,271.79	487,793.59
602	IT Rotary	655,372.98	376,444.20	297,300.72	734,516.46	173,928.55	560,587.91
610	Health Insurance	522,534.62	2,452,849.84	902,606.16	2,072,778.30	6,817.52	2,065,960.78
620	Workers Compensation	2,626,777.89	9,515.16	13,580.94	2,622,712.11	24,907.00	2,597,805.11
701	Fire Donation	1,083.36	200.00	0.00	1,283.36	0.00	1,283.36
702	Parks/Rec Donation	13,214.03	6,500.00	2,615.00	17,099.03	10,000.00	7,099.03
703	Police Donation	10,836.60	0.00	2,000.00	8,836.60	0.00	8,836.60
704	Mayors Donation	898.15	100.00	0.00	998.15	0.00	998.15
705	Project Trust	1,129,526.94	67,000.00	1,750.00	1,194,776.94	13,530.00	1,181,246.94

APPENDIX A

**YEAR TO DATE FUND REPORT
February 29, 2020**

707	Unclaimed Funds	18,620.57	0.00	0.00	18,620.57	0.00	18,620.57
708	Municipal Court Unclaimed Funds	86,376.18	555.02	0.00	86,931.20	0.00	86,931.20
709	Development Reserve	1,008,885.74	0.00	0.00	1,008,885.74	0.00	1,008,885.74
710	Reserve Account	1,188,864.04	0.00	0.00	1,188,864.04	0.00	1,188,864.04
711	Berkshire JEDD	84,717.65	76,694.22	85,044.33	76,367.54	414,955.67	(338,588.13)
750	Cemetery Perpetual Care	33,839.98	97.34	0.00	33,937.32	0.00	33,937.32
801	State Highway Patrol	4,866.99	8,928.34	9,013.14	4,782.19	0.00	4,782.19
803	State Building Permit	1,296.92	1,621.05	2,119.40	798.57	0.00	798.57
804	Performance Bond	694,227.73	50,800.00	122,615.24	622,412.49	0.00	622,412.49
		88,121,216.74	17,083,919.64	16,634,061.01	88,571,075.37	14,454,645.50	74,116,429.87

APPENDIX B

**CITY OF DELAWARE, OHIO
FINANCIAL STATEMENT
FEBRUARY 29, 2020**

	Weighted Average Interest Rate	YTD Interest Earned	Weighted Average Maturity (Days)	Ending Balance
<u>Checking/Depository</u>				
Checking (Operating & Payroll)*		-		4,705,032
Total Bank Deposits		\$ -		\$ 4,705,032
 <u>Investments</u>				
Star Ohio	1.77%	245,387		83,866,043
Total Investments		\$ 245,387		\$ 83,866,043
 TOTAL BANK DEPOSITS & INVESTMENTS		 \$ 245,387		 \$ 88,571,075

* The city participates in an Earning Credit Allow ance program. The City maintains a minimum balance in the checking account so that a credit is earned that then offsets the monthly service charge.

I certify that the balances stated above are true to the best of my know ledge.

Justin Nahvi
Finance Director

FEBRUARY 29, 2020
Date

Tom Homan
City Manager

FEBRUARY 29, 2020
Date

APPENDIX C

**CITY OF DELAWARE
DEBT SCHEDULE
FEBRUARY 2020**

	Outstanding Balance 2/29/2020	General	Fire/EMS	Rec Levy	Police Impact Impact Fee	Municipal Impact Fee	Glenn Rd. TIF/NCA	Water User Fee	Water Capacity Fee	Sewer User Fee	Sewer Capacity Fee
2019 GO Bonds	\$20,595,000	\$ 3,491,250				\$ 508,750	\$ 6,710,000				\$ 9,885,000
2017 General Obligation Bonds	\$ 5,805,000	\$ 631,877	\$ 2,665,000						\$ 1,957,654		\$ 550,469
2015 General Obligation Bonds	\$ 5,205,000		\$ 435,000	\$ 2,345,000			\$ 2,425,000				
2013 General Obligation Bonds	\$ 5,190,000		\$ 1,855,000		\$ 587,500	\$ 1,282,500	\$ 1,465,000				
2012 General Obligation Bonds	\$ 1,890,000	\$ 847,722	\$ 172,278								\$ 870,000
OWDA Water Projects	\$29,449,933							\$18,855,372	\$10,594,561		
OWDA Sewer Projects	\$11,327,491									\$ 976,430	\$10,351,061
2010 Recreation Levy Bonds	\$15,260,000			\$15,260,000							
Total Long Term Debt	\$94,722,424	\$ 4,970,849	\$ 5,127,278	\$17,605,000	\$ 587,500	\$ 1,791,250	\$10,600,000	\$18,855,372	\$12,552,215	\$ 976,430	\$21,656,530
Fund Balance Reserves 2/29		\$ 5,353,701	\$ 8,237,320	\$ 5,403,702	\$ 440,576	\$ 460,353	\$ 1,678,714	\$ 4,550,733	\$10,420,323	\$ 8,627,570	\$ 6,311,876
Annual Debt Service		\$ 767,721	\$ 702,262	\$ 1,521,132	\$ 136,700	\$ 353,500	\$ 999,126	\$ 1,285,727	\$ 964,722	\$ 152,695	\$ 3,003,987
2020 Revenue		\$25,840,079	\$12,532,677	\$ 2,521,500	\$ 80,000	\$ 222,500	\$ 3,051,300	\$ 6,205,500	\$ 4,050,000	\$ 7,430,300	\$ 4,080,000

TO: Mayor Riggle and Members of Council

FROM: R. Thomas Homan, City Manager

SUBJECT: Miscellaneous Matters

DATE: March 19, 2020

1. **Calendar**

See Attached

2. **Per Section 73 Of The City Charter The City Manager Is To Report Contract Agreements**

See Attached

3. **Manager Meetings/Events**

March 4-5

OCMA Winter Conference

March 9

Rotary

City Council Meeting

March 11

Delaware City EMS Contract Meeting

March 12

MORPC

COVID-19 Task Force Meeting

Delaware Health Advisory Meeting

March 13

COVID-19 Task Force Meeting

March 16

COVID-19 Task Force Meeting

March 17

Strand Board Meeting Remote

COVID-19 Task Force Meeting

March 18

City Council Special Meeting Remote

COVID-19 Task Force Meeting

Central Ohio Mayors and Managers Association Remote

March 19

COVID-19 Task Force Meeting

APRIL

2020

Monthly Meeting Schedule

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
			1 Civil Service-Canceled Planning – Canceled	2	3	4
5	6	7	8 BZA – Canceled	9	10	11
12	13 City Council – Canceled **	14 Sister City – Canceled	15	16 Airport Commission- Canceled	17	18 Council Bus Tour- Canceled
19	20 Parking and Safety - Canceled	21	22 HPC - Canceled	23	24	25
26	27 City Council – Canceled **	28 Shade Tree Commission Canceled	29	30		

Council meetings will be canceled if there is no agenda items.

CONTRACT APPROVAL - March 23, 2020

VENDOR	EXPLANATION OF AGREEMENT	2020 AMOUNT	DEPARTMENT
OWU	OWU Summer Camp Agreement for Delaware Police Dept Bike Patrol	1912.00	Police