

**CITY OF DELAWARE  
CITY COUNCIL  
CITY COUNCIL CHAMBERS  
1 SOUTH SANDUSKY STREET  
7:00 P.M.**

**AGENDA**

**6:30 P.M. EXECUTIVE SESSION:** pursuant to Ohio Revised Code Section 121.22 (G) (3) pending or imminent court action, Section 121.22 (G) (1) personnel, Section 121.22 (G) (5) matters required to be kept confidential by State statute, Section 121.22 (G) (2) acquisition of property for public purpose and 121.22(G) (8) consideration of confidential information related to a request for economic development assistance.

**7:00 P.M. REGULAR MEETING**

**January 27, 2020**

1. ROLL CALL
2. INVOCATION – Pastor Donnie Akers, Eastside Mission Church
3. PLEDGE OF ALLEGIANCE
4. APPROVAL of the Motion Summary of the Regular Meeting of Council held on January 13, 2020 as recorded and transcribed.  
APPROVAL of the Work Session meeting of Council held on January 6, 2020, as recorded and transcribed.
5. CONSENT AGENDA
  - A. Acceptance of the Motion Summary of the Sister City Advisory Board Meeting held on October 8, 2019, as recorded and transcribed
  - B. Acceptance of the Motion Summary of the Planning Commission Meeting held on December 4, 2019, as recorded and transcribed.
  - C. Acceptance of the Motion Summary of Airport Commission meeting held on May 16, 2019, as recorded and transcribed.
  - D. Resolution No. 20-08, a resolution establishing a 6:00 p.m. start time for the February 10, 2020 City Council Meeting.
  - E. Resolution No. 20-09, a resolution appointing the initial appointed member of the Board of Directors of the Berkshire Township Joint Economic Development District No. 2 representing owners of businesses located with the district.
  - F. Resolution No. 20-10, a resolution appointing members to various boards, commissions, and/or committees, and specifying the term

- of the appointments.
  - G. Resolution 20-11, a resolution authorizing the City Manager to submit grant applications to the Federal Aviation Administration and the Ohio Department of Transportation, and to enter into required agreements for the design and construction of Ramp B Pavement Resurfacing Improvements.
  - H. Resolution No. 20-12, a resolution authorization the addition of a mid-block crosswalk to Carson Farms Park between 736-748 Canal Street and 735-745 Canal Street and Modification of certain traffic control signage to add a No Parking zone on the north and south sides of Canal Street 20 feet west and east of the mid-block crosswalk.
  - I. Establish February 10, 2020 at 6:30 p.m. as a date and time for a public hearing and second reading for Ordinance No. 20-01, an ordinance levying a \$5.00 Motor Vehicle License Charge as authorized by Section 4505.173 of the Ohio Revised Code.
6. LETTERS, PETITIONS, AND PUBLIC COMMENTS
  7. COMMITTEE REPORTS
  8. PRESENTATION
    - A. Presentation on Black History Month 2020 by Reverend Tracey Sumner Sr., Delaware African American Heritage Council
  9. STAFF INTRODUCTION
    - A. Justin Nahvi, Finance Director
  10. FOURTH READING of Ordinance No. 19-63, an ordinance accepting the annexation of 43.847± acres of land more or less, description and map are attached hereto as exhibits “A” and “B” for the annexation known as The Evans Farm Delaware LLC Annexation by Andrew Wecker, agent for the petitioners.
  11. CONSIDERATION of Resolution No. 20-13, a resolution accepting negotiated changes to the Ohio Council #8 American Federation of State, County and Municipal Employees, and Local 3934 (AFSCME-Clerical) Employees Agreement with the City of Delaware.
  12. CONSIDERATION of Ordinance No. 20-01, an ordinance levying a \$5.00 Motor Vehicle License Charge as authorized by Section 4504.173 of the Ohio Revised Code.

- 13. CONSIDERATION of Ordinance No. 20-02, an ordinance approving a Combined Preliminary and Final Development Plan for an expansion to Charter NEX at 1188 South Houk Road on property zoned M-2 (General Manufacturing District) which encompasses approximately 21.783 acres.
  
- 14. CONSIDERATION of Ordinance No. 20-03, an ordinance approving a Final Development Plan request by Grden LLC, for Winterbrook Place Phase 1 on 30.452 acres containing 66 single family lots on property zoned R-3 PMU (One Family Residential District with a Planned Mixed-Use Overlay District) and located on Winterbourne Drive, Sienna Glenn Drive, Mahogany Drive, Gardenia Lane and Silver Pine Lane.
  
- 15. CONSIDERATION of Ordinance No. 20-04, an ordinance approving a Final Subdivision Plat request by Grden LLC, for Winterbrook Place Phase 1 on 30.452 acres containing 66 single family lots on property zoned R-3 PMU (One Family Residential District with a Planned Mixed-Use Overlay District) and located on Winterbourne Drive, Sienna Glenn Drive, Mahogany Drive, Gardenia Lane and Silver Pine Lane.
  
- 16. FINANCE DIRECTOR’S REPORT
  
- 17. CITY MANAGER’S REPORT
  
- 18. COUNCIL COMMENTS
  
- 19. ADJOURNMENT

# RECORD OF PROCEEDINGS

Minutes of

Delaware City Council

Meeting

BEAR GRAPHICS 800-325-8094 FORM NO. 10148

Held January 6 2020

The work session meeting of Council held January 6, 2020 was called to order at 6:30 p.m., in the City Council Chambers. The following members of Council were present: Second Ward Lisa Keller, Third Ward Cory Hoffman, Fourth Ward Drew Farrell, At-Large George Hellinger, Vice-Mayor Shafer, and Mayor Riggle who presided. Absent from the meeting was First Ward Chris Jones.

Staff Present: Blake Jordan, Public Utilities Director, Dean Stelzer, Finance Director, Bruce Pijanowski, Police Chief, Sean Hughes, Economic Development Director, Dave Efland, Planning and Community Development Director, Kyle Kridler, Assistant City Manager, and Tom Homan, City Manager

**Motion to Excuse:** Mrs. Keller motioned to excuse Councilman Jones, seconded by Vice-Mayor Shafer. Motion approved by a 6-0 vote.

## **ITEM 2: PUBLIC COMMENT**

There was no public comment.

## **ITEM 3: PRESENTATION ON US 23 CORRIDOR STUDY**

### **PRESENTORS:**

Chris Hermann, MKSK  
462 South Ludlow Street  
Columbus, Ohio 43215

Ryan Rivers, Delaware NOW Representative &  
Orange Township Board of Trustees  
1680 East Orange Road  
Lewis Center, Ohio 43035

Bob Lamb, Delaware County Economic Development Director  
101 North Sandusky Street  
Delaware, Ohio 43015

Mr. Hermann presented to Council the study on the US 23 Corridor. He reviewed the study area. He discussed the past growth trends and the expected population by 2040 and how the growth has impacted transportation infrastructure. This infrastructure has struggled to keep pace with the growth and impacts the economic development potential. The study objectives are to create a shared vision and identify critical infrastructure improvements. The study is also to compare and prioritize alternative transportation and land use patterns to visualize critical infrastructure improvements. The study showed that Delaware County is a Bedroom Community and single family residential is planned to be the predominant land use in the townships with residents commuting to work in Franklin County. The study also discussed the need to simplify the development process and reserve US 23 frontage for higher uses for commercial and employment-based uses. Growth should balance residential with non-residential development to support a broader fiscal base. He reviewed the existing land use for the US 23 Corridor and the planned land use. Information was provided on data on transportation. There is currently 36 traffic lights from Coover Road to I-270 and more than 20,600 trucks utilize the corridor daily. There is limited interstate access, with only two exits to I-71. The average annual daily traffic is

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expected to rise. Also reviewed was employment and workforce data that was gathered from the study area. Mr. Hermann discussed the Strategic Guide and recommendations. He discussed the recommendations to have a zoning overlay for land around US 23, advance traffic improvements, Economic Development Incentives, and marketing a unified business corridor.

#### **ITEM 4: DISCUSSION**

Mr. Hoffman discussed his interest in rebranding the US 23 Corridor and voiced a question on alternative arteries and how it will solve problems in the long run. Mr. Lamb discussed that transportation improvements will help to move vehicles off US 23 to keep traffic flowing more efficiently.

Mrs. Keller voiced a concern regarding the timetable for action steps. Mr. Lamb discussed that the County has been discussing the issues for the past year and that the timeframe was to help move the project forward.

Mrs. Keller questioned the joint zoning overlay and how would the City ensure that assets to the city are not lost. Mr. Rivers discussed how Orange Township recently completed a Comprehensive Plan Update in 2018 and the opportunity to get more commercial growth and the need for a plan. Mrs. Keller requested information on the funding of the study. Mr. Lamb discussed the amount provided by the County and funding for the study provided by sponsors through the Delaware County Foundation and Delaware NOW. A list of sponsors was provided in the presentation. Mr. Lamb informed Council that Delaware NOW had changed their name to ONE Delaware. Mrs. Keller also requested who the study has been presented to. Mr. Lamb discussed that Orange Township received the study as part of their Business Delaware Today, and conversations with One Delaware with Liberty Township and Delaware County is working with Berlin Township. Mrs. Keller voiced that she would not support moving forward on a study with the current timeframe. Mr. Lamb discussed that working with One Delaware to commission another study with MKSK and looks at moving forward on the overlay zoning with Orange County.

Mr. Hoffman discussed the zoning overlay and the thought to pair the area with a JEDD to create both a zoning neutrality and a tax neutrality.

Mr. Farrell discussed the different plans and questioned how much overlap would be between the different groups. Mr. Hermann discussed the interest in having a joint corridor but need to see who is interested and wanting to move forward. Mr. Hermann also discussed the interest by the school districts that would be affected by the plan.

Mr. Efland discussed some good ideas in the study and some ideas that need some work and more public input. Mr. Hughes discussed the use of the corridor as a marketing tool for economic development. He discussed the benefits of branding the US 23 Corridor to help break down perceptions of the surrounding area from developers.

Mr. Homan discussed an access management plan was not completed since 2002 and was encouraged by the transportation initiatives. He recommends a steering committee created by the different elected officials along the corridor.

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**ITEM 5: ADJOURNMENT**

**Motion:** Vice- Mayor Shafer motioned to adjourn the meeting. The meeting adjourned at 8:08 p.m.

\_\_\_\_\_  
Mayor Carolyn Kay Riggle

\_\_\_\_\_  
Elaine McCloskey, Council Clerk

# RECORD OF PROCEEDINGS

Minutes of

Delaware City Council

Meeting

BEAR GRAPHICS 800-325-8094 FORM NO. 10148

Held January 13

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The regular meeting of Council held January 13, 2020 was called to order at 7:00 p.m., in the City Council Chambers. The following members of Council were present: First Ward Chris Jones, Second Ward Lisa Keller, Third Ward Cory Hoffman, Fourth Ward Drew Farrell, At-Large George Hellinger, Vice-Mayor Shafer, and Mayor Riggie who presided. The invocation was given by Pastor Jason Allison, Press Church, followed by the Pledge of Allegiance.

Staff Present: Blake Jordan, Public Utilities Director, Dean Stelzer, Finance Director, Darren Shulman, City Attorney, John Donahue, Fire Chief, Bruce Pijanowski, Police Chief, Sean Hughes, Economic Development Director, Ted Miller, Parks and Natural Resource Director, Dave Efland, Planning and Community Development Director, Kyle Kridler, Assistant City Manager, and Tom Homan, City Manager

#### **ITEM 4: APPROVAL OF MINUTES**

APPROVAL of the Motion Summary of the year end meeting of Council held on December 19, 2019, as recorded and transcribed.

**Motion:** Vice-Mayor Shafer motioned to approve the Motion Summary of the year-end meeting of Council held December 19, 2019, seconded by Mrs. Keller. Motion approved by a 7-0 vote.

#### **ITEM 5: CONSENT AGENDA**

- A. Resolution No. 20-01, a resolution appointing Council Members to various committees, commissions, and/or boards.
- B. Resolution No. 20-02, a resolution cancelling the second regular meeting of City Council May 25, 2020, due to the Memorial Day Holiday.
- C. Resolution No. 20-03, a resolution appointing members to various boards, commissions, and/or committees, and specifying the term of the appointment.
- D. Resolution No. 20-04, a resolution authorizing the City Manager to enter into a Programmatic Agreement between the City of Delaware and the Ohio State Historic Preservation Office to renew delegated environmental review responsibilities, expiring December 31, 2024.
- E. Resolution No. 20-05, a resolution approving a Traffic Calming Pilot Program for Carson Farms Boulevard.
- F. Resolution No. 20-06, a resolution approving a Traffic Calming Pilot Program for Cobblestone Drive.

**Motion:** Vice-Mayor Shafer motioned to approve the Consent Agenda, seconded by Mrs. Keller. Motion approved by a 7-0 vote.

#### **ITEM 6: LETTERS, PETITIONS, AND PUBLIC COMMENTS**

There was no public participation.

#### **ITEM 7: COMMITTEE REPORT**

#### **ITEM 8: PRESENTATION**

- A. MORPC 2020-2050 Metropolitan Transportation Plan presented by Maria Schaper, MORPC Transportation Planning Manager

**RECORD OF PROCEEDINGS**

Minutes of

Delaware City Council

Meeting

BEAR GRAPHICS 800-325-8094 FORM NO. 10148

Held January 13 20 20

**PRESENTOR:**  
Maria Schaper  
111 Liberty Street  
Columbus, Ohio

**ITEM 9: CONSIDERATION OF A LIQUOR PERMIT TRANSFER**

A. From Asahi Japanese Steakhouse LLC DBA Asahi Japanese Steakhouse, 1139 Columbus Pike, Delaware, Ohio 43015 to Asahi Restaurant Group LLC DBA Asahi Japanese Restaurant, 1139 Columbus Pike, Delaware, Ohio 43015. Permit Classes: D1, D2, D3

**Motion:** Mrs. Keller motioned to approve the liquor permit change without objection, seconded by Vice-Mayor Shafer. Motion approved by a 7-0 vote.

**ITEM 10: RESOLUTION NO. 19-70** [First Reading]

A RESOLUTION HONORING THE LIFE OF DR. MARTIN LUTHER KING, JR.

The Clerk read the resolution into the record for the first time.

**Motion:** Mr. Jones motioned to adopt Resolution No. 19-70, seconded by Vice-Mayor Shafer. Motion approved by a 7-0 vote.

**ITEM 11: ORDINANCE NO. 19-63** [Third Reading]

AN ORDINANCE ACCEPTING THE ANNEXATION OF 43.847± ACRES OF LAND MORE OR LESS, DESCRIPTION AND MAP ARE ATTACHED HERETO AS EXHIBITS "A" AND "B" FOR THE ANNEXATION KNOWN AS THE EVANS FARM DELAWARE LLC ANNEXATION BY ANDREW WECKER, AGENT FOR THE PETITIONERS. (This ordinance was tabled at the November 25, 2019 until January 13, 2020 meeting date)

The Clerk read the ordinance for the third time. Mr. Shulman discussed the applicant's request for Council to take this ordinance to another reading. Council to take Ordinance No. 19-63 to a fourth reading.

**ITEM 12: CITY MANAGER'S REPORT/UPDATES**

A. Report on a 4-Way Stop Sign at Executive Blvd. and Rutherford Ave. (See attached reports from Bill Ferrigno, Public Works Director/City Engineer and Jessica Ormeroid, Project Engineer)

Mr. Ferrigno discussed that he has received request from residents for both for and against traffic calming measures along Executive Blvd. He discussed staff recommendation to not have a 4-way stop sign and recommended that Council follow their policy to have the neighborhood request and get approval from the residents that live there. Council recommended that staff utilize the HOA to help educate the residents on the speed concerns.

B. West Hull Drive Traffic Calming Pilot Initiative (See attached report)

Mr. Ferrigno discussed the data collected from West Hull Drive. He discussed that there was no changes to traffic volume, which was expected and little to no changes in speed. He discussed that

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80% of traffic is considered to be cut through traffic and traffic calming measures may not be as effective as for those that live in the neighborhood. He discussed potential options to add a dynamic speed feedback sign or pilot speed cushions.

Vice-Mayor Shafer recommended that traffic calming measures be placed during the planning process for developments.

### **ITEM 13: COUNCIL COMMENTS**

Mrs. Keller provided an update on a meeting with the YMCA and that there was a rate decrease and membership discount for residents.

Mr. Hoffman praised the YMCA for his positive experience at the Daddy Daughter Dance.

Mr. Farrell discussed his recommendation to pull together for a meeting the different municipalities to work together on the US 23 Corridor and the information presented at the January 6 Work Session.

Mayor Riggle informed Council that there will be a Work Session on February 3 at 6:30 p.m. to discuss Council goals and how to move forward with them. She also discussed that the February 10 Council meeting will start at 6:00 p.m. to allow for a joint meeting with the Delaware City School Board to start at 7:00 p.m. at the Willis Educational Building. She provided an update with her meeting with the Ambassador from Paraguay and the scholarship program offered by Ohio Wesleyan University to Paraguayan Students.

### **ITEM 14: ADJOURNMENT**

**Motion:** Vice-Mayor Shafer motioned to adjourn the meeting. The meeting adjourned at 8:00 p.m.

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Mayor Carolyn Kay Riggle

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Elaine McCloskey, Council Clerk

**SISTER CITY ADVISORY BOARD  
MOTION SUMMARY  
October 8, 2019**

ITEM 1. ROLL CALL

The Sister City Advisory Board Meeting was called to order by Chairman Guebert at 6:00 p.m.

Members Present: Julie Horvath, Julie Means, Rita Selle Grider, Mayor Carolyn Kay Riggle and Chairman Rand Guebert

Members Absent: Darrell Albon and Collen Rush

Staff Present: Kyle Kridler, Assistant City Manager

**Motion to Excuse:** Ms. Horvath motioned to excuse Mr. Albon and Mayor Riggle, seconded by Ms. Means. Motion approved by a 5-0 vote.

ITEM 2. APPROVAL of the Motion Summary of the Sister City Advisory Board meeting held on April 9, 2019, as recorded and transcribed.

**Motion:** Mayor Riggle moved to approve the Motion Summary of the Sister City Advisory Board meeting held on April 9, 2019, as recorded and transcribed, seconded by Ms. Horvath. Motion approved by a 5-0 vote.

ITEM 3. PUBLIC COMMENTS

No Public Comment.

The Clerk did introduce Mr. Kridler to the Board. Mr. Kridler discussed working in Dublin with the Friendship City with Japan.

ITEM 4. UPDATE on Sakata

A. Dempsey Art Exhibit

Public Participation:

Diane Hodges  
Delaware County Cultural Arts Center, Executive Director  
190 W. Winter Street  
Delaware, Ohio

Paula Blosser  
Delaware County Cultural Arts Center, Exhibits Coordinator  
190 W. Winter Street

Delaware, Ohio

The Clerk informed the Board that the art work from Sakata had been received and that representatives from the Arts Castle had brought a few pieces to show. She discussed that Sakata had received the art work and the approximate cost of shipping the art and gift to the Mayor. The Board discussed the exhibits grand opening event and discussed the invitation look, start time of the event, sponsorship, and food. Chairman Guebert requested that there be a follow up meeting to discuss the food cost and the guest list. Ms. Selle-Grider discussed getting a booth at an upcoming First Friday event to distribute flyers.

Ms. Hodges and Ms. Blosser discussed the cost of matting and that they have sent out information to the media of the upcoming event.

B. Ken Doman Status Report

Chairman Guebert provided information on the plans for the Ken Doman art exhibit. He discussed that this exhibit is being worked on with Erin Fletcher, Director of Ross Art Museum at Ohio Wesleyan University and that is finding partnerships with Dublin Arts Council and Columbus Museum of Arts. The exhibit is expected to take place in 2021.

ITEM 5. UPDATE on Lahardane

Ms. Horvath reviewed the recent trips that have been arranged through the school with Ireland and that there are upcoming trips being scheduled for the Hayes wrestling and possibly football team. She discussed that in July recent conversations held with residents in Lahardane, were similar to conversations held in Delaware. These topics of discussion ranged from affordable housing, infrastructure concerns and economic development. She expressed the interest of Lahardane to explore a more formal Sister City relationship.

ITEM 6. UPDATE on Baumholder

Chairman Guebert discussed that Ohio Wesleyan University soccer team will be visiting Baumholder to celebrate 30 years of their relationship.

ITEM 7. REVIEW of Draft of Annual Report

Mr. Guebert provided a draft report to the Board for review.

ITEM 8. DISCUSSION of transition to 501c-3 status

Chairman Guebert discussed meeting the new director for the Greater Columbus Sister City, who has corporate, non-profit experience. He discussed the benefit of moving forward with the process.

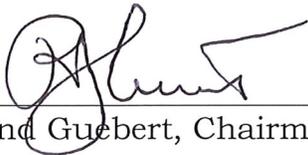
ITEM 8. MEMBER COMMENTS

Mayor Riggle discussed the recent visit by the Ambassador to Paraguay for the unveiling of the Rutherford B. Hayes statue. She discussed the relationship that Paraguay had to President Hayes and their interest in forming a sister city relationship. Chairman Guebert discussed that there is a Rotary exchange student that is visiting Paraguay currently.

ITEM 10. DATE OF NEXT MEETING: January 14, 2020

ITEM 11. ADJOURNMENT

**Motion:** Ms. Horvath moved to adjourn the Sister City Advisory Board Meeting, seconded by Mayor Riggle. The meeting adjourned at 6:54 p.m.



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Rand Guebert, Chairman



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Elaine McCloskey, Clerk

**PLANNING COMMISSION**  
**December 4, 2019**  
**MOTION SUMMARY**

ITEM 1. Roll Call

Vice-Chairman Mantzoros called the meeting to order at 6:30 p.m.

Members Present: Robert Badger, Jim Halter, Dean Prall, Andy Volenik, Mayor Carolyn Kay Riggle and Vice-Chairman George Mantzoros

Members Absent: Chairman Stacy Simpson

Staff Present: Carrie Fortman, Project Engineer, Jordan Selmek, Zoning Officer and Dave Efland, Planning and Community Development Director

**Motion to Excuse:** Mr. Badger motioned to excuse Chairman Simpson, seconded by Mr. Volenik. Motion approved by a 6-0 vote.

ITEM 2. APPROVAL of the Motion Summary of the Planning Commission meeting held on November 6, 2019, as recorded and transcribed.

**Motion:** Mr. Prall motioned to approve the Motion Summary for the Planning Commission meeting held on November 6, 2019, as recorded and transcribed, seconded by Mr. Halter. Motion approved with a 6-0 vote.

ITEM 3. REGULAR BUSINESS

A. 2019-2590: A request by Delaware City Schools for approval of a Combined Preliminary and Final Development Plan for an expansion to Schultz Elementary School located at 499 Applegate Lane on property zoned R-4 (Medium Density Residential District) which encompasses approximately 36.47 acres.

**Anticipated Process**

a. Staff Presentation

Mr. Selmek reviewed the property location and description and current zoning. Delaware City Schools is proposing another expansion to Schultz Elementary School that would encompass approximately 16,662 square feet. A bus drop-off road is proposed north of the proposed Penick Avenue extension through the middle portion of the school site. The City will design and construct the proposed Penick Avenue extension to connect the Delaware Meadows subdivision and the Sunnyview Farms subdivision. He reviewed the main access location which for students and the public will remain at Applegate Way. Sidewalk connectivity will be located on

both sides of the bus drop-off road in an front of the building entrance on the southeast wing of the school building. The building expansion will be near the playground area. Mr. Selmek reviewed the tree removal plan and replacement.

Mr. Halter questioned the connection of the road responsibility. Ms. Fortman discussed that the connection has been planned and is in the Thoroughfare Plan.

Mr. Prall requested information if there will be fencing around the drop off area.

b. Applicant Presentation

**APPLICANT:**

Jason Sherman  
Director of Facilities and Transportation  
Delaware City Schools  
74 W. William Street  
Delaware, Ohio

Mr. Sherman discussed that there were no plans for fencing.

Mr. Halter requested plans for the southern part of the property and if any of the baseball fields would be removed. Mr. Sherman explained that the southern part of the property is more of a wetland area and there are no construction plans. He stated that during the building expansion in 2014 there were 2 ball fields that were abandoned.

c. Public comment (not a public hearing)

**PUBLIC COMMENT:**

Brett Latta  
376 North Sandusky Street  
Delaware, Ohio

Mr. Latta discussed his recommendation to preserve the wetland area for environmental education purposes. He voiced no concerns on the project.

d. Commission Action

**Motion:** Mr. Prall motioned to approve 2019-2590, along with all staff conditions and recommendations, seconded by Mr. Badger. Motion approved by a 6-0 vote.

- B. 2019-2665: A request by VFW Post 3297 for approval of a Development Plan Exemption for an expansion to the VFW Building located at 481 South Sandusky Street on approximately 1.349 acres and zoned B-3 (Community Business District).

**Anticipated Process**

- a. Staff Presentation

Mr. Selmek reviewed the request to have a 1,614 square foot expansion on the east side of the existing building to create a designated bingo hall. He discussed the building design and parking requirements

- b. Applicant Presentation

**APPLICANT:**

Post Commander Connie Sue Watson  
VFW Post 3297  
481 South Sandusky Street  
Delaware, Ohio

Ms. Watson discussed the purpose to have the new hall to be designated for bingo as the current room used for bingo has a bar that is required by the State to be closed.

Jim Clarke  
7844 Flint Road  
Columbus, Ohio

Mr. Clarke discussed the proposed design of the expansion.

- c. Public comment (not a public hearing)  
d. Commission Action

**Motion:** Mr. Halter motioned to approve 2019-2665, along with all staff conditions and recommendations, seconded by Mr. Volenik. Motion approved by a 6-0 vote.

- C. 2019-0927: A request by Westport Homes for approval of an Amended Preliminary Subdivision Plat for Springer Woods Section 3 on approximately 47.5 acres containing 121 single family lot on property zoned R-3 (One Family Residential District) located on the north side of West William Street (US 36) and south of Warrensburg Road.

**Anticipated Process**

- a. Staff Presentation

Mr. Efland reviewed the property location and background of past approvals. He discussed that this is the third and final phase which would be developed in two phases. He reviewed the original site plan from 2000 and the amended site plan for 2014. Mr. Efland reviewed the active space, which would include a tot lot area.

b. Applicant Presentation

APPLICANT:

Terry Andrews  
Westport Homes  
570 Executive Campus Drive, Suite 100  
Westerville, Ohio

Jeff Strung  
EMHT  
5500 New Albany Rd  
Columbus, Ohio

c. Public comment (not a public hearing)

PUBLIC COMMENT:

Brett Latta  
376 North Sandusky Street  
Delaware, Ohio

Mr. Latta voiced a concern regarding the proximity of the development to the active quarry and also the requirement by the Clean Water Act to get a permit to cross the streams. He also recommended to preserve the water quality to cross the stream at a single point. Ms. Fortman did inform him that they would be required to receive a permit and the City would receive a copy. Mr. Efland discussed that the quarry is not in City limits and he is unaware of any documented damage related to the quarry by homeowners.

d. Commission Action

**Motion:** Mr. Badger motioned to approve 2019-0927, along with all staff conditions and recommendations, seconded by Mr. Prall. Motion approved by a 6-0 vote.

D. Willowbrook Section 3

- (1) 2019-2622: A request by Medrock LLC for approval of a Final Development Plan for Willowbrook Section 3 on approximately 22.5 acres containing 88 single family lots on property zoned R-3 and R-6 (One Family Residential District and Multi-Family Residential

District) located on the north and south side of Boulder Drive between Minton Drive and Firestone Drive.

- (2) 2019-2623: A request by Medrock LLC for approval of a Final Subdivision Plat for Willowbrook Section 3 on approximately 22.5 acres containing 88 single family lots on property zoned R-3 and R-6 (One Family Residential District and Multi-Family Residential District) located on the north and south side of Boulder Drive between Minton Drive and Firestone Drive.

**Anticipated Process**

a. Staff Presentation

Mr. Efland reviewed the location map and proposed Development Plan. He discussed the current zoning to the area. The Development is on both the north and south side of Boulder Drive. This development will complete the connection for Boulder Drive to Firestone Drive. He reviewed the approved Preliminary Plan.

Mr. Efland formally amended Staff Recommendation 4 in both cases related to the corner lots. Condition 4 shall read “the developer will work with staff to increase corner lots 4, 5 19, and 44 to meet Chapter 1171 Design requirements as much as possible”.

Mr. Prall discussed parkland and open space. Mr. Efland discussed there is a bike path off Boulder Drive and that there is not any park or open space proposed in the subject site, but that the development is just east of the City’s Veterans Park and the YMCA.

b. Applicant Presentation

**APPLICANT:**

RJ Sabatino  
2705 Donna Drive  
Columbus, Ohio

Mr. Sabatino voiced willingness to work with staff over the amended staff conditions.

c. Commission Action

**Motion:** Mr. Badger motioned to approve 2019-2622 as amended, along with all staff conditions and recommendations, seconded by Mr. Volenik. Motion approved by a 6-0 vote.

**Motion:** Mr. Badger motioned to approve 2019-2623 as amended, along with all staff conditions and recommendations, seconded by Mr. Volenik. Motion approved by a 6-0 vote.

ITEM 4. PLANNING DIRECTOR REPORT

Mr. Efland reviewed the January meeting date.

ITEM 5. COMMISSION MEMBER COMMENTS AND DISCUSSION

Mr. Volenik discussed the growth and development on the east side of the City.

Mr. Halter requested that the City contact the township over a residential property with increase of rubbish/debris on the property.

Mr. Prall recognized the efficient work from inspectors for both himself and his neighbor.

Mr. Badger requested an update on the proposed hotel off William Street that is for sale.

ITEM 6. NEXT REGULAR MEETING: January 15, 2020

ITEM 7. ADJOURNMENT:

**Motion:** Mr. Badger moved for the Planning Commission meeting to adjourn. The meeting adjourned at 7:47 p.m.

  
\_\_\_\_\_  
Chairperson

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Elaine McCloskey, Clerk

**AIRPORT COMMISSION**  
**May 16, 2019**  
**MOTION SUMMARY**

ITEM 1. Roll Call

Chairman Amidon called the meeting to order at 7:00 p.m.

Members Present: Christopher Acker, Walt Gaub, Timothy Smith, John Lewis, Councilmember Kyle Rohrer, Vice-Chairwoman Janie McIntire, and Chairman Charlton Amidon

Staff Present: Joe Bullis, Public Works Superintendent, Kevin Piatt, Airport Operations Supervisor, and Bill Ferrigno, Public Works Director/City Engineer

ITEM 2. APPROVAL of the Motion Summary of the meeting of the Airport Commission held on October 18, 2018, as recorded and transcribed.

**Motion:** Councilman Rohrer moved to approve the Motion Summary of the meeting of the Airport Commission held on October 18, 2018, as recorded and transcribed, seconded by Mr. Smith. Motion approved by a 7-0 vote.

ITEM 3. PUBLIC COMMENTS

There was no public comments.

ITEM 4. UPDATE on A & P Service Provider

Mr. Ferrigno discussed that during the previous RFP process there was two submittals from Shamrock and Spirit. The RFP was awarded to Shamrock, however staff was notified in March by their lawyer that they were unable to enter into a long term contract. Staff contacted Spirit and was informed they also were not interested in a long term agreement. Mr. Ferrigno requested direction from the Commission on next steps.

Mr. Lewis recommended looking at Marysville to see if they were willing to expand their services. Mr. Piatt informed the Commission that currently Marysville was not interested in having a satellite location. He discussed the difficulties of finding A&P providers in the industry that are qualified and not working at the larger airports. The Commission recommended that a full time A & P should be sought out due to the amount of planes stored and utilize the airport.

Mr. Acker voiced a concern over the routine rent increases in the long term lease and that can prevent someone from entering into the agreement.

ITEM 5. UPDATE on Airport Strategic Business Plan

Mr. Ferrigno updated the Commission that staff received a preliminary draft and will be meeting with the consultants in May.

ITEM 6. UPDATE on ACIP

Mr. Bullis provided information on ACIP goals and plans.

ITEM 7. DISCUSSION on Minimum Operating Standards and Rules and Regulations

Mr. Ferrigno discussed with the Commission that the consultant is looking at the standards to update them to FAA standards and requirements.

ITEM 8. UPDATE on Water Tank Lighting

Mr. Ferrigno discussed the cost to replace lights on top of the water tanks and that the current light on Pittsburgh Drive had burned out. Staff worked with FAA to determine if lights were required and it was determined that the lights on the water towers off Kingman Hill and US 36 are not a risk to airspace.

**Motion:** Mr. Lewis motioned that the lights on the water tank tower off Kingman Hill and near 36 East be decommissioned, seconded by Councilman Rohrer. Motion approved by a 6-0-1 (Gaub).

ITEM 9. DISCUSSION of T-Hangar Paving (A, B, C, D, E, & F Plans)

ITEM 10. STAFF COMMENTS

Mr. Piatt provided information on the upcoming pancake breakfasts at the airport.

ITEM 11. MEMBER COMMENTS

Mr. Gaub informed staff that the new pump controller seemed to have a loose nozzle.

ITEM 12. ADJOURNMENT

**Motion:** Councilman Rohrer moved to adjourn the meeting, seconded by Mr. Lewis. The Airport Commission meeting adjourned at 7:43 p.m.

  
\_\_\_\_\_  
Chairperson

*Elaine McCloskey*  
Elaine McCloskey, Clerk



## FACT SHEET

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AGENDA ITEM NO: CONSENT ITEM D      DATE: 01/27/2020  
ORDINANCE NO:                                      RESOLUTION NO: 20-08  
READING: FIRST                                      PUBLIC HEARING: NO

---

TO:                      Mayor and Members of City Council  
FROM:                 R. Thomas Homan, City Manager  
VIA:                    ----

---

**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

A RESOLUTION ESTABLISHING A 6:00 P.M. START TIME FOR THE FEBRUARY 10, 2020 CITY COUNCIL MEETING.

**BACKGROUND:**

The February 10, 2020 City Council meeting start time needs to be changed to accommodate the annual joint meeting with the Delaware City School Board. This joint meeting is to begin at 7:00 p.m. at the Willis Educational Center.

**REASON WHY LEGISLATION IS NEEDED:**

This legislation provides notice to the public of a deviation from the regular meeting schedule.

**COMMITTEE RECOMMENDATION:**

N/A

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

Carolyn Kay Riggle, Mayor

**RECOMMENDATION:**

Approval

**ATTACHMENT(S)**

RESOLUTION 20-08

A RESOLUTION ESTABLISHING A 6:00 P.M. START TIME FOR THE FEBRUARY 10, 2020 CITY COUNCIL MEETING.

WHEREAS, City Council meets the second and fourth Monday of each month at 7:00 p.m.; and

WHEREAS, the 6:00 p.m. start time for the February 10, 2020 City Council meeting is necessary to allow for Council to have the annual joint meeting with the Delaware City School Board at the Willis Education Center at 7:00 p.m.

NOW, THEREFORE BE IT RESOLVED, by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the February 10, 2020 regular meeting of City Council will start at 6:00 p.m.

SECTION 2. That this resolution shall take effect and be in force immediately after its passage.

PASSED: \_\_\_\_\_, 2020

YEAS\_\_\_ NAYS\_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR



## FACT SHEET

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AGENDA ITEM NO: CONSENT ITEM E      DATE: 01/27/2020  
ORDINANCE NO:                                      RESOLUTION NO: 20-09  
READING: FIRST                                      PUBLIC HEARING: NO

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TO:                      Mayor and Members of City Council  
FROM:                 R. Thomas Homan, City Manager  
VIA:                     Darren Shulman, City Attorney

---

**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

A RESOLUTION APPOINTING THE INITIAL CITY APPOINTED MEMBER OF THE BOARD OF DIRECTORS OF THE BERKSHIRE TOWNSHIP JOINT ECONOMIC DEVELOPMENT DISTRICT NO. 2 REPRESENTING OWNERS OF BUSINESSES LOCATED WITHIN THE DISTRICT.

**BACKGROUND:**

In 2015, the City and Berkshire Township entered into a Joint Economic Development District agreement. That agreement included a provision for the parties to work together on future agreements. Based on expected development, the parties approved a second JEDD. The JEDD statute and the JEDD contract provide that the Township will appoint an individual representing the Township and an individual representing “the persons working with the JEDD”. The City was to appoint an individual representing the City, and an individual representing “the owners of businesses located within the JEDD”. Council approved the appointment of City Manager Tom Homan as a City representative in Resolution 19-50. This resolution appoints Economic Development Director Sean Hughes to represent the owners of businesses located within the JEDD. This is an “interim” appointment until such time as the JEDD is operational.

**REASON WHY LEGISLATION IS NEEDED:**

**COMMITTEE RECOMMENDATION:**

N/A

**FISCAL IMPACT(S):**

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

R. Thomas Homan, City Manager  
Darren Shulman, City Attorney

**RECOMMENDATION:**

Approval

**ATTACHMENT(S)**

First Amendment to JEDD 2 Contract  
Resolution No. 19-50



# BERKSHIRE TOWNSHIP

Delaware County, Ohio

## TRUSTEES

Mike Dattilo 740-457-6904  
William Holtry 614-839-2139  
Rodney V. Myers 740-965-4852

1454 Rome Corners Road  
Galena, Ohio 43021

## FISCAL OFFICER

Melody L. George 614-314-8449  
ZONING INSPECTOR  
Jeff George 740-965-9397

December 3, 2019



City of Delaware  
Attn: Darren Shulman  
1 S. Sandusky St.  
Delaware, Ohio 43015

**RE: JEDD 2 – First Amendment**

Dear Darren:

Enclosed please find an original executed First Amendment to the JEDD 2 Contract.

Please contact me with any questions.

Sincerely,

Beth Hugh  
Parks and Strategic Planning  
Berkshire Township

Encl: Original Executed First Amendment JEDD 2 Contract

**APPROVED AS TO FORM**

DARREN M. SHULMAN  
DELAWARE CITY ATTORNEY

**FIRST AMENDMENT**  
**TO THE**  
**JOINT ECONOMIC DEVELOPMENT DISTRICT CONTRACT**  
**BY AND BETWEEN**  
**CITY OF DELAWARE, OHIO**  
**AND**  
**BERKSHIRE TOWNSHIP (DELAWARE COUNTY), OHIO**

**Dated as of**

**June 1, 2018**

This First Amendment to the Joint Economic Development District Contract dated as of June 1, 2018 is entered into by and between the City of Delaware, Ohio (the "City"), a municipal corporation and political subdivision organized and existing pursuant to the Constitution and laws of the State of Ohio (the "State") and its Charter, and Berkshire Township (Delaware County), Ohio (the "Township"), a township and political subdivision organized and existing under the laws of the State.

**WITNESSETH**

WHEREAS, as the parties have entered into the Joint Economic Development District Contract dated as of June 1, 2018 (the "Contract") creating the "Berkshire Township Joint Economic District No. 2" (the "JEDD"); and

WHEREAS, the provisions of the Contract provide a timeline for the Township and City to appoint individuals to the Board of the JEDD; and

WHEREAS, the parties desire additional time to complete and make said initial appointments; and

WHEREAS, the purpose of this First Amendment is to amend the provisions of the Contract related to the timeline for the Township and City to complete said initial appointments, and for those appointees to hold the first meeting of the Board.

**AMENDMENT**

NOW THEREFORE, in consideration of the promises and mutual covenants and agreements hereinafter set forth, the Township and City agree to amend the Contract as follows:

1. Section 4.1(d): Section 4.1(d) of the Contract is hereby deleted in its entirety and replaced with the following:

(d) The City shall appoint the members representing the City and the owners of businesses located within the JEDD, and the Township shall appoint the members representing the Township and the persons working within the JEDD. The City and the Township will make their initial appointment of members of the Board by January 31, 2020, and the terms of those members shall commence on the first day of the first month of said appointment. The Board shall first meet within thirty (30) days of appointment, and shall select the remaining member of the Board – the member described in (v) of paragraph (b) above or in (iii) of paragraph (c) above – within that month for a term commencing the first day of the immediately succeeding month. The initial terms of the members described in (i), (ii), (iii), (iv) and (v) of paragraph (b) above shall be one year, two years, three years, four years and four years, respectively. The initial terms of the members described in (i), (ii) and (iii) of paragraph (c) above shall be one year, two years and three years, respectively.

2. Effect of First Amendment: All other provisions of the Contract, as heretofore amended, not specifically amended hereby shall continue in full force and effect, unaffected hereby.

IN TESTIMONY WHEREOF, the City and the Township have subscribed to this First Amendment to the Contract by their duly authorized representatives:

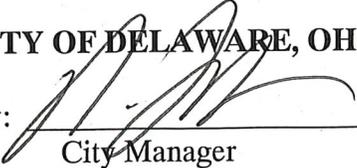
**BERKSHIRE TOWNSHIP  
(DELAWARE COUNTY), OHIO**

Date: 11-25, 2019

By:   
Name: Michael P. Dattilo  
Position: Township Trustee

**CITY OF DELAWARE, OHIO**

Date: 12/10, 2019

By:   
City Manager

RESOLUTION NO. 19-50

A RESOLUTION APPOINTING THE INITIAL CITY APPOINTED MEMBER OF THE BOARD OF DIRECTORS OF THE BERKSHIRE TOWNSHIP JOINT ECONOMIC DEVELOPMENT DISTRICT NO. 2.

WHEREAS, Berkshire Township (Delaware County), Ohio (the "Township") and the City of Delaware, Ohio (the "City") have approved, executed and delivered a Joint Economic Development District Contract (the "JEDD Contract") creating the Berkshire Township Joint Economic Development District No. 2 (the "JEDD"); and

WHEREAS, the JEDD Contract provides that the City is to appoint one member to the Board of Directors of the JEDD (the "Board") to represent the City;

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Delaware, State of Ohio, that:

SECTION 1. R. Thomas Homan is hereby appointed to the Board to represent the City for a term commencing the first day of the month in which the Board holds its first meeting and terminating one year thereafter.

SECTION 2. All formal actions of this Council and any of its committees concerning and relating to the adoption of this Resolution, and all deliberations of Council and of any of its committees that resulted in those formal actions, occurred in meetings open to the public in compliance with the law.

SECTION 3. This Resolution shall be in full force and effect immediately upon its adoption.

PASSED: November 25, 2019

YEAS 7 NAYS 0  
ABSTAIN 0

ATTEST:

Elaine McCoskey  
CITY CLERK

Candy Kay Pugh  
MAYOR



**FACT SHEET**

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AGENDA ITEM NO: CONSENT ITEM F      DATE: 01/27/2020  
ORDINANCE NO:                                      RESOLUTION NO: 20-10  
READING: FIRST                                      PUBLIC HEARING: NO

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TO:                      Mayor and Members of City Council  
FROM:                R. Thomas Homan, City Manager  
VIA:                    ---

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

A RESOLUTION APPOINTING MEMBERS TO VARIOUS BOARDS, COMMISSIONS, AND/OR COMMITTEES, AND SPECIFYING THE TERM OF THE APPOINTMENTS.

**BACKGROUND:**

**REASON WHY LEGISLATION IS NEEDED:**

**COMMITTEE RECOMMENDATION:**

**FISCAL IMPACT(S):**

**POLICY CHANGES:**

**PRESENTER(S):**

Carolyn Kay Riggle, Mayor

**RECOMMENDATION:**

**ATTACHMENT(S)**

RESOLUTION NO. 20-10

A RESOLUTION APPOINTING MEMBERS TO VARIOUS  
BOARDS, COMMISSIONS, AND/OR COMMITTEES, AND  
SPECIFYING THE TERM OF THE APPOINTMENTS.

WHEREAS, Members are to be appointed to serve on various Committees, Commissions and Boards by the Mayor of the City of Delaware and confirmed by Council; and

WHEREAS, the Mayor has appointed, and Council has confirmed the following appointments.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Delaware that:

SECTION 1. The following appointments are hereby made:

1. Delaware City/County Board of Health – Dolores Smith, City Representative: Re-Appointment (term expiring March 31, 2025)

SECTION 2. This resolution shall be effective immediately upon its passage.

PASSED: \_\_\_\_\_, 2020

YEAS \_\_\_\_ NAYS \_\_\_\_  
ABSTAIN \_\_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR



## FACT SHEET

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AGENDA ITEM NO: CONSENT ITEM G

DATE: 01/27/2020

ORDINANCE NO:

RESOLUTION NO: 20-11

READING: FIRST

PUBLIC HEARING: NO

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TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: William L. Ferrigno, P.E., Director of Public Works

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

A RESOLUTION AUTHORIZING THE CITY MANAGER TO SUBMIT GRANT APPLICATIONS TO THE FEDERAL AVIATION ADMINISTRATION AND THE OHIO DEPARTMENT OF TRANSPORTATION, AND TO ENTER INTO REQUIRED AGREEMENTS FOR THE DESIGN AND CONSTRUCTION OF RAMP B PAVEMENT RESURFACING IMPROVEMENTS.

**BACKGROUND:**

The City of Delaware is requesting \$49,400 in Ohio Department of Transportation funds for the design of resurfacing improvements of Ramp B at the Delaware Municipal Airport. This amount represents 95% of the total estimated project cost based on preliminary design. The Local match is \$2,600. An additional application for Federal funding will be submitted in 2021 requesting \$304,000 for the construction of improvements. The anticipated local match to the construction grant is \$16,000.

**REASON WHY LEGISLATION IS NEEDED:**

FAA and the State of Ohio requires consent legislation from local jurisdictions requesting State and Federal aviation funding.

**COMMITTEE RECOMMENDATION:**

Approved by Airport Commission 1/16/20

**FISCAL IMPACT(S):**

Requires local financial participation of 5% currently estimated to be \$2,600 for the planned design activity.

**POLICY CHANGES:**

None

**PRESENTER(S):**

William L. Ferrigno, P.E., Director of Public Works

**RECOMMENDATION:**

Approval

**ATTACHMENT(S)**

Airport Map Pavement Rating Map

RESOLUTION NO. 20-11

A RESOLUTION AUTHORIZING THE CITY MANAGER TO SUBMIT GRANT APPLICATIONS TO THE FEDERAL AVIATION ADMINISTRATION AND THE OHIO DEPARTMENT OF TRANSPORTATION, AND TO ENTER INTO REQUIRED AGREEMENTS FOR THE DESIGN AND CONSTRUCTION OF RAMP B PAVEMENT RESURFACING IMPROVEMENTS.

WHEREAS, the City of Delaware is responsible for operating and maintaining the Delaware Municipal Airport; and

WHEREAS, it has been determined that the condition of pavement on Ramp 'B' has fallen below recommended minimum pavement conditions and is in need of reconstruction; and

WHEREAS, the City is eligible to apply for Federal Aviation Administration and State of Ohio Grant funds for eligible airport improvement projects.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF DELAWARE, OHIO THAT:

SECTION 1. That the City Manager is hereby authorized to make application for said program grants in accordance with the procedures prescribed by the FAA and State of Ohio.

SECTION 2. That the City Manager is hereby authorized to enter into necessary agreements associated with the grants and be bound by all terms and conditions contained within the application for funding.

SECTION 3. That this resolution shall be in force and effect immediately upon its passage.

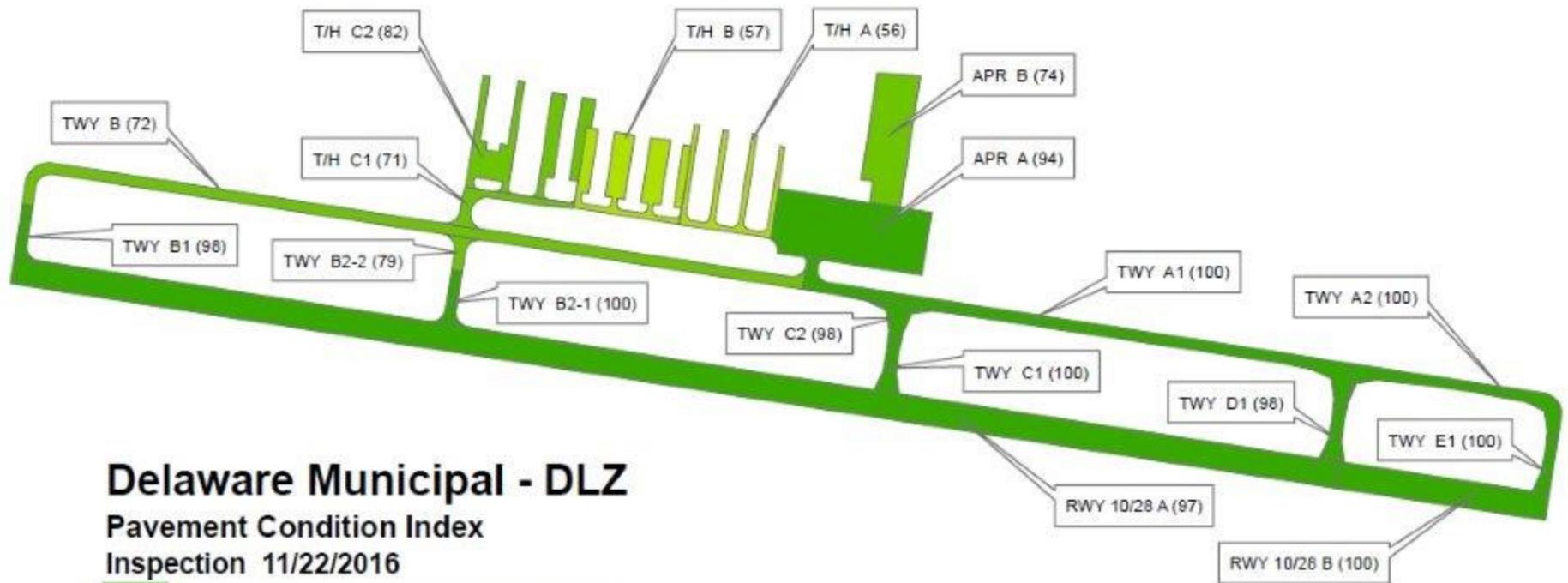
PASSED: \_\_\_\_\_, 2020

YEAS\_\_\_ NAYS\_\_\_  
ABSTAIN \_\_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR

# Ohio Department of Transportation Office of Aviation



## Delaware Municipal - DLZ

### Pavement Condition Index

Inspection 11/22/2016





**REASON WHY LEGISLATION IS NEEDED:**

The placement of regulatory signage requires City Council authorization for permanent enforcement.

**COMMITTEE RECOMMENDATION:**

The action is being taken as a result of the Parking and Safety Committee recommendation at the October 21, 2019 meeting.

**FISCAL IMPACT(S):**

The cost to complete the worked outlined in Exhibit A is \$6,000 to come out of the Public Works Street and Traffic Division annual operating budget.

**POLICY CHANGES:**

None

**PRESENTER(S):**

William L. Ferrigno, P.E., Public Works Director/City Engineer

**RECOMMENDATION:**

Approval

**ATTACHMENT(S)**

Exhibit A

RESOLUTION NO. 20-12

A RESOLUTION AUTHORIZING THE ADDITION OF A MID-BLOCK CROSSWALK TO CARSON FARMS PARK BETWEEN 736-748 CANAL STREET AND 735-745 CANAL STREET AND MODIFICATION OF CERTAIN TRAFFIC CONTROL SIGNAGE TO ADD A NO PARKING ZONE ON THE NORTH AND SOUTH SIDES OF CANAL STREET 20 FEET WEST AND EAST OF THE MID-BLOCK CROSSWALK.

WHEREAS, the addition of the mid-block crosswalk has been requested to provide for safe maneuverability of pedestrians across Canal Street to Carson Farms Park; and

WHEREAS, the addition of the No Parking Zone on the north and south sides of Canal Street 20 feet west and east of the mid-block crosswalk is required per codified ordinance 351.03; and

WHEREAS, the Parking and Safety Committee has endorsed this restriction by a 3-0 vote at the October 21, 2019 meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL FOR THE CITY OF DELAWARE, STATE OF OHIO:

SECTION 1. The mid-block crosswalk will be added to Carson Farms Park between the properties of 736-748 Canal Street and 735-745 Canal Street.

SECTION 2. The no parking zone will be added on the north and south sides of Canal Street 20 feet west and east of the mid-block crosswalk per codified ordinance 351.03.

SECTION 3. That this resolution shall take effect and be in force immediately after its passage.

PASSED: \_\_\_\_\_, 2020

YEAS\_\_\_ NAYS\_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR

NEW CURB RAMP

748

736

Canal St

Canal St

Canal St

745

735

NEW CURB RAMP

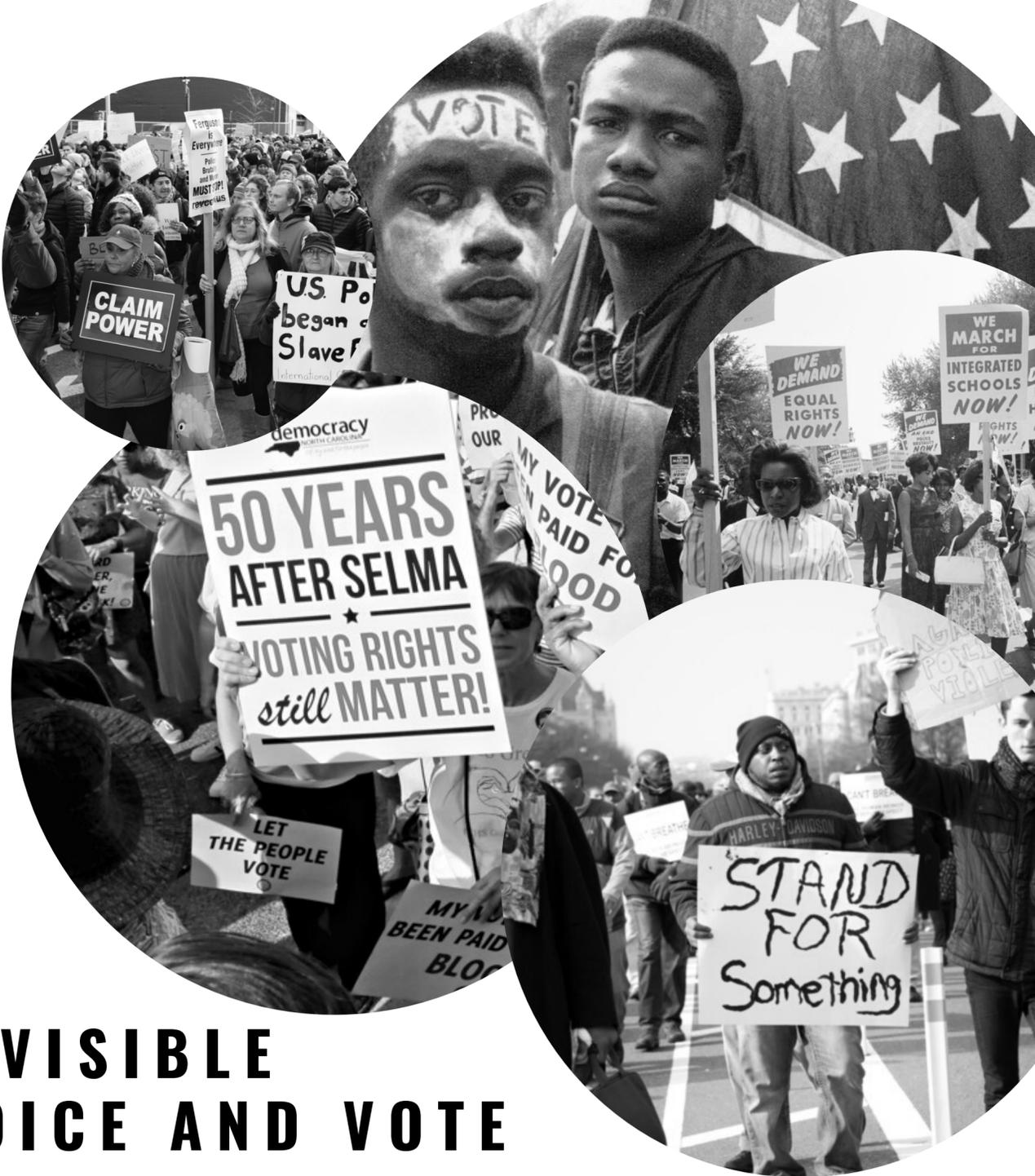
NO PARKING ZONE



# BLACK HISTORY MONTH 2020

MAKING CHANGE VISIBLE  
THROUGH OUR VOICE AND VOTE

#DAAHCBHM20



## CALENDAR OF EVENTS

**SATURDAY, FEB. 8**

**COLORISM, ANTI-BLACK  
RACISM & WHITE SUPREMACY**

2 PM TO 5 PM  
DELAWARE COUNTY  
DISTRICT LIBRARY  
84 W. WINTER ST.

Come and learn about the historical and cultural contexts of white supremacy and anti-black racism. Facilitators will be Johnnie Jackson, MBA and Whitney Gherman, MSW.

**WEDNESDAY, FEB. 12**

**DELAWARE CITY SCHOOLS  
BLACK HISTORY MONTH  
PRESENTATION**

6 PM TO 8 PM  
WILLIS EDUCATION CENTER  
74 W. WILLIAM ST.

Support local students as they express the Black History Month theme through visual and creative arts.

**SATURDAY, FEB. 29**

**SOUL FOOD  
SOIREE**

1 PM TO 4PM  
FOOD TRUCK DEPOT  
190 E. CENTRAL AVE.

Join us as we close out Black History Month with food that's good for your soul! This event will feature black-owned vendors including J. Gumbo's, What the French Toast, Jimmie G's BBQ, Omar's Caribbean Cuisine along with music, games and prizes!

*\*Food available for purchase.*

FOR EVENT INFORMATION CONTACT US AT:  
DAAHCINFO@GMAIL.COM OR @DELAWAREAAHC ON FACEBOOK



## FACT SHEET

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AGENDA ITEM NO: 10

DATE: 01/27/2020

ORDINANCE NO: 19-63

RESOLUTION NO:

READING: FOURTH

PUBLIC HEARING: NO

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TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: Dave Efland, Planning and Community Development Director

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE ACCEPTING THE ANNEXATION OF 43.847± ACRES OF LAND MORE OR LESS, DESCRIPTION AND MAP ARE ATTACHED HERETO AS EXHIBITS "A" AND "B" FOR THE ANNEXATION KNOWN AS THE EVANS FARM DELAWARE, LLC ANNEXATION BY ANDREW WECKER, AGENT FOR THE PETITIONERS.

**BACKGROUND:**

**01/27/2020 UPDATE:** Please see attached memo dated January 23, 2020.

**01/13/2020 UPDATE:** On December 27, 2019, the Applicant shared a projection of possible revenues should Evans Farm be a part of the Delaware South NCA. The intent behind this projection would be an equivalent financial contribution made by the Applicant. Staff is currently reviewing these projections.

**11/18/2019 UPDATE:** In consultation with the applicant's attorney, staff has determined that the date the annexation must be voted on is March 9, 2020, which is a significant extension from the previously calculated date. The City continues to work with the applicant on a resolution to the overlapping of New Community Authorities.

This process involves several steps and actions by the County and City in order for an annexation to ultimately be accepted by the City. The City took the first city step in the process which required determination of services the City could provide – the Resolution of Services passed August 12, 2019 via Resolution 19-37. The legislation before City Council currently is the final acceptance of annexation which would bring the property into the City. City Council must decide to accept, accept with conditions, or deny the annexation. If no action is taken by the ORC dictated time frame ending on March 9, 2020, ORC dictates that the annexation will be automatically denied. The Applicant has brought a concept plan forward to Planning Commission for initial feedback which was generally well received by the Commission. The Applicant has previously stated they wished to begin their zoning, preliminary plan, and preliminary plat process prior to annexation acceptance though Staff has not received applicants as of the date of writing. At this time the earliest hearing date for these if applied for today would be the January 6, 2020 Planning Commission meeting.

Perhaps the most important issue remaining to be agreed upon with the annexation is related to the inclusion of the property into the Delaware South New Community Authority as other properties are within this southeast area of the community. Evans Farm is already included within its own NCA which is a complicating factor in this discussion. City administration has offered the Applicant several alternatives that would address the issue but no conclusion has been reached as of the time of writing. The options presented include: (1) Pay the present value of the expected Delaware South NCA revenue that would have been collected if they joined the Delaware South NCA; (2) Direct the existing Evans Farm NCA to pay the City what the Delaware South NCA charge would collect until the Delaware South NCA debt is paid.

Multiple readings of this annexation are anticipated as a result. Because the final ORC required deadline is March 9, 2020, Council's 3/19/20 is the final meeting date at which a decision would need to be made to avoid an automatic ORC denial of the annexation.

Finally, as was noted in the Fact Sheet for the Resolution of Services for this annexation, Staff suggests several conditions of annexation that will provide certainty and clarity to the City as well as the Applicant:

1. The applicant shall include the property in the Delaware South New Community Authority or make an equivalent financial contribution as determined by the City.
2. A \$1,000 per dwelling unit additional transportation fee shall be required similar to other properties in the area to ensure needed transportation improvements in the area.
3. The property is within the South East Highland trunk sewer district requiring an additional sewer capacity charge of \$3,200 per dwelling unit in addition to the standard and customary capacity fees of the city in effect at the time of permitting.

4. The extension of any needed infrastructure for water, sewer, or roadways shall be at the cost to the development and as required by the City through the normal and customary development review process.
5. Transportation considerations to be determined in final form through the zoning and development review process:
  - a. Road connectivity shall be required to adjacent property.
  - b. Any roadway connections to Peachblow Rd. shall be coordinated with the Delaware County Engineer as well as the city.

**REASON WHY LEGISLATION IS NEEDED:**

The Ohio Revised Code provides the process that annexations must follow throughout Ohio. This legislation is the final City step in the process to formally accept the annexation of the property. The City has until March 9, 2020 to pass this acceptance of annexation Ordinance or it is considered by ORC to be denied.

**COMMITTEE RECOMMENDATION:**

**FISCAL IMPACT(S):**

**POLICY CHANGES:**

**PRESENTER(S):**

Dave Efland, Planning and Community Development Director

**RECOMMENDATION:**

**ATTACHMENT(S)**

Memo  
County Resolution  
Petition  
Map  
City Resolution

ORDINANCE NO. 19-63

AN ORDINANCE ACCEPTING THE ANNEXATION OF 43.847± ACRES OF LAND MORE OR LESS, DESCRIPTION AND MAP ARE ATTACHED HERETO AS EXHIBITS “A” AND “B” FOR THE ANNEXATION KNOWN AS THE EVANS FARM DELAWARE, LLC ANNEXATION BY ANDREW WECKER, AGENT FOR THE PETITIONERS.

WHEREAS, Andrew Wecker, agent for the petitioners, has filed with the Delaware County Commissioners for annexation of 43.847 acres of land, more or less, the description and map are attached hereto as Exhibits A and B; and

WHEREAS, Andrew Wecker, as agent for the petitioners on August 5, 2019 delivered to the Clerk of the Delaware City Council the notice of his filing of the annexation petition with the Board of County Commissioners of Delaware County and its clerk on August 5, 2019; and

WHEREAS, the Ohio Revised Code requires that within 20 days following the date the petition is filed, the City Council shall, by resolution, adopt a statement as to what services, if any, the City will provide and an approximate date by which it will provide them to the territory proposed for annexation, upon annexation, which was completed when City Council passed a Resolution of Services on August 12, 2019 via Resolution 19-37; and

WHEREAS, the proposed annexation applied for in the petition to the Delaware County Commissioners has been approved, by them for annexation to the City of Delaware on September 5, 2019 (See attached). The territory to be annexed is described in the attached Exhibits “A” and “B”; and

WHEREAS, the certified transcript of the proceedings for annexation, with an accurate map of the territory, together with the petition of annexation and other papers relating to the proceedings of the County Commissioners, are on file with the Clerk of Council, and have been for more than sixty days.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That Council hereby accepts the annexation of 43.847 acres of land, description and plat of which are hereby attached as Exhibits “A” and “B” on the annexation known as the Evans Farm Delaware, LLC by Andrew Wecker, agent for the petitioners with the following conditions that:

1. The applicant shall include the property in the Delaware South New Community Authority or make an equivalent financial contribution as determined by the City.

2. A \$1,000 per dwelling unit additional transportation fee shall be required similar to other properties in the area to ensure needed transportation improvements in the area.
3. The property is within the South East Highland trunk sewer district requiring an additional sewer capacity charge of \$3,200 per dwelling unit in addition to the standard and customary capacity fees of the city in effect at the time of permitting.
4. The extension of any needed infrastructure for water, sewer, or roadways shall be at the cost to the development and as required by the City through the normal and customary development review process.
5. Transportation considerations to be determined in final form through the zoning and development review process:
  - a. Road connectivity shall be required to adjacent property.
  - b. Any roadway connections to Peachblow Rd. shall be coordinated with the Delaware County Engineer as well as the city.

SECTION 2. That the Clerk of Council is directed to make five copies of this ordinance, to each of which shall be attached a copy of the map accompanying the petition for annexation, a copy of the transcript of proceedings of the Board of County Commissioners relating thereto, and a certificate as to the correctness thereof. The Clerk shall then forthwith deliver one copy to the Secretary of State, and shall file notice of annexation with the Board of Elections, the County Auditor, the County Recorder, and the County Engineer within thirty days after it becomes effective, and the Clerk shall do all other things required by law.

SECTION 3. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

PASSED: \_\_\_\_\_, 2020

YEAS\_\_\_ NAYS\_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR



## MEMORANDUM

TO: Mayor and Members of City Council  
FROM: R. Thomas Homan, City Manager  
VIA: Alycia Ballone, Budget and Management Analyst  
DATE: January 23, 2020  
RE: Ordinance No 19-63 - Evans Farm Annexation Update

---

### **Background Summary:**

The main issue requiring resolution is that of the inclusion of the proposed annexation into the Delaware South New Community Authority. Evans Farm currently is included within its own NCA at a rate of 10 mills. The land proposed to be annexed was identified by the City to be included in the South NCA, which has a rate of 7.5 mills. Rather than pass the full 17.5 mills burden onto the future homeowner, the City and the Applicant are working to find a solution beneficial to all parties and equitable to those already in the South NCA.

### **Update:**

In late December 2019, the Applicant shared a proposed payment (attached) based on their projections of the South NCA revenues. The proposal assumed a 2 percent inflation rate, a home market value of \$400,000, and a rate of completion of 10 homes in 2021 and 25 homes annually in 2022 through 2024. The revenues were calculated at 7 mills and resulted in a total proposed payment of \$194,360.

Staff reviewed this projection in early January and countered the Applicant's proposal with an alternate version (attached) making the following modifications: updating the millage to the current South NCA rate of 7.5 mills, revising the first year of collection to be 2022 which is more consistent with the construction realities likely for this site, and extending the length of the NCA to 2027 consistent with City projections. Using the Applicant's rate of construction, a market value of \$400,000 and inflation rate of 2 percent, Staff's projected NCA revenues were \$403,389.

Staff further broke the calculation down into a per house rate based on the year built to allow the developer to better align the payment required with when a building permit might be issued: \$6,624 for a 2021 build, \$5,574 for a 2022 build, \$4,503 for a 2023 build, \$3,410 for a 2024 build, \$2,296 for a 2025 build and \$1,159 for a 2026 build. Each payment would be made on a per house basis and collected with the building permit. At the rate of construction the Applicant provided, the per house rates sum to the \$403,389 in projected South NCA

revenues. Increasing the rate of construction or building the remaining 24 lots would increase the overall sum.

Staff's proposal was given to the Applicant. The Applicant has since countered the proposal with a one-time payment of \$250,000 to be made in 2023. While Staff has not had the opportunity to review this one-time payment in detail, a one-time guaranteed payment could potentially be beneficial while giving more certainty to receiving funds in the event that construction slows or stops for some unforeseen reason.

Mr. Eyerman will be attending Monday night's meeting and will be available to answer any questions.

The included attachments show both the Applicant's projections and City Staff's projections.

# City of Delaware Staff Projections

Market Value:	\$400,000
Inflation:	2%

Remaining Lots:	24
-----------------	----

Number of Lots Built by Year					
2021	2022	2023	2024	2025	2026
10	25	25	25	0	0

	MV of 2021 Lots	MV of 2022 Lots	MV of 2023 Lots	MV of 2024 Lots	MV of 2025 Lots	MV of 2026 Lots	Total MV	NCA Revenues @ 7.5 mills
<b>2022</b>	\$ 4,000,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 4,000,000	\$ 10,500
<b>2023</b>	\$ 4,080,000	\$ 10,200,000	\$ -	\$ -	\$ -	\$ -	\$ 14,280,000	\$ 37,485
<b>2024</b>	\$ 4,161,600	\$ 10,404,000	\$ 10,404,000	\$ -	\$ -	\$ -	\$ 24,969,600	\$ 65,545
<b>2025</b>	\$ 4,244,832	\$ 10,612,080	\$ 10,612,080	\$ 10,612,080	\$ -	\$ -	\$ 36,081,072	\$ 94,713
<b>2026</b>	\$ 4,329,729	\$ 10,824,322	\$ 10,824,322	\$ 10,824,322	\$ -	\$ -	\$ 36,802,693	\$ 96,607
<b>2027</b>	\$ 4,416,323	\$ 11,040,808	\$ 11,040,808	\$ 11,040,808	\$ -	\$ -	\$ 37,538,747	\$ 98,539
<b>Total</b>							<b>\$</b>	<b>403,389</b>

### Projected Rate per Lot by Year Built

	2021	2022	2023	2024	2025	2026	Total Paid
<b>per Lot Rate</b>	\$ 6,624	\$ 5,574	\$ 4,503	\$ 3,410	\$ 2,296	\$ 1,159	
<b>Total</b>	\$ 66,235	\$ 139,338	\$ 112,563	\$ 85,253	\$ -	\$ -	<b>\$ 403,389</b>

## Applicant Projections

*Evans Farm Project (Peachblow Site)*

*DRAFT*

*Projected NCA Revenues*

### *Projected Taxable Market Values (1)*

NCA Revenue Received	10 Lots - Built 2021 Market Value (2)	25 Lots - Built 2022 Market Value (2)	25 Lots - Built 2023 Market Value (2)	25 Lots - Built 2024 Market Value (2)	Total Market Value	Total NCA Revenues (7 Mills)
2023	4,000,000	0	0	0	4,000,000	9,800
2024	4,080,000	10,200,000	0	0	14,280,000	34,986
2025	4,161,600	10,404,000	10,404,000	0	24,969,600	61,176
2026	4,244,832	10,612,080	10,612,080	10,612,080	36,081,072	88,399
<b>Total</b>						<b>\$194,360</b>

*(1) Assumes 2% inflation during build out (2021 - 2024) and 1% thereafter.*

*(2) Assumes Single Family market value of \$400,000 with 10 lots completed in 2021 and 25 completed annually from 2022 to 2024.*



# Delaware County Commissioners

Jeff Benton  
Barb Lewis  
Gary Merrell

County Administrator  
Michael Frommer

Deputy Administrator  
Dawn Huston

Clerk to the Commissioners  
Jennifer Walraven

September 6, 2019

**RECEIVED**

**SEP 9 2019**

City of Delaware  
Attn: Elaine McCloskey  
1 South Sandusky Street  
Delaware, Ohio 43015

RE: Annexation of 43.847 acres  
Berlin Township to the City of Delaware

Dear Ms. McCloskey:

The Delaware County Commissioners in Regular Session on September 5, 2019 adopted a Resolution granting Prayer of Petition for 43.847 acres, more or less, from Berlin Township to the City of Delaware.

I am herewith forwarding a certified copy of the Commissioners' Journal Resolution, a copy of the annexation petition and a copy of all other papers in the Commissioners' annexation folder.

If you have questions, please call me at 740-833-2105.

Sincerely,

Sarah Dinovo,  
Assistant Clerk to the Commissioners



# Delaware County Commissioners

Jeff Benton  
Barb Lewis  
Gary Merrell

**County Administrator**  
Michael Frommer

**Deputy Administrator**  
Dawn Huston

**Clerk to the Commissioners**  
Jennifer Walraven

RESOLUTION NO. 19-776

**IN THE MATTER OF ACKNOWLEDGING RECEIPT OF ANNEXATION PETITION FROM AGENT FOR THE PETITIONER, ANDREW WECKER, ESQ., ATTORNEY AT LAW, REQUESTING ANNEXATION OF 43.847 ACRES OF LAND IN BERLIN TOWNSHIP TO THE CITY OF DELAWARE:**

It was moved by Mr. Benton, seconded by Mr. Merrell to acknowledge that on August 5, 2019, the Clerk to the Board of Commissioners received a petition requesting annexation of 43.847 acres from Berlin Township to the City of Delaware.

Vote on Motion            Mrs. Lewis            Aye            Mr. Benton            Aye            Mr. Merrell            Aye

I, Sarah Dinovo, Assistant Clerk to the Board of Commissioners hereby certify that the foregoing is a true and correct copy of a resolution of the Board of Commissioners of Delaware County duly adopted August 12, 2019 and appearing upon the official records of the said Board.

Sarah Dinovo  
Assistant Clerk to the Commissioners



# Delaware County Commissioners

Jeff Benton  
Barb Lewis  
Gary Merrell

County Administrator  
Michael Frommer

Deputy Administrator  
Dawn Huston

Clerk to the Commissioners  
Jennifer Walraven

## RESOLUTION NO. 19-859

IN THE MATTER OF GRANTING ANNEXATION PETITION, FROM AGENT FOR THE PETITIONER, ANDREW WECKER ESQ., ATTORNEY AT LAW, REQUESTING ANNEXATION OF 43.847 ACRES OF LAND IN BERLIN TOWNSHIP TO THE CITY OF DELAWARE:

It was moved by Mr. Merrell, seconded by Mr. Benton to approve the following resolution:

WHEREAS, on August 5, 2019, the Clerk to the Board of the Delaware County Commissioners received an annexation petition filed by Andrew Wecker Esq., Attorney At Law, agent for the petitioners, requesting annexation of 43.847 acres, more or less, from Berlin Township to the City of Delaware; and

WHEREAS, pursuant to section 709.023 of the Revised Code, if the Municipality or Township does not file an objection within 25 days after filing of the annexation petition, the Board at its next regular session shall enter upon its journal a resolution granting the proposed annexation; and

WHEREAS, 25 days have passed and the Clerk of the Board has not received an objection from the City of Delaware or the Township of Berlin;

NOW, THEREFORE, BE IT RESOLVED that the Delaware County Board of Commissioners grants the petition requesting annexation of 43.847 acres, more or less, from Berlin Township to the City of Delaware.

Vote on Motion

Mr. Benton

Aye

Mr. Merrell

Aye

Mrs. Lewis

Absent

Jeff Benton  
County Commissioner

Absent

Barb Lewis  
County Commissioner

Gary Merrell  
County Commissioner



### RESOLUTION CERTIFICATION

I, Elaine McCloskey, being the duly appointed as Clerk of City Council of Delaware, Ohio, do hereby swear and attest that the attached document is a true and correct copy of Resolution No. 19-37 as passed on August 12, 2019 by the Delaware City Council.



*Elaine McCloskey*  
Elaine McCloskey  
Clerk of City Council

RECEIVED  
2019 AUG 13 PM 2:31  
DELAWARE COUNTY COMMISSIONERS

This Resolution Certification dated this 13 day of August in the year 2019.

RESOLUTION NO. 19-37

A RESOLUTION INDICATING WHAT SERVICES THE CITY OF DELAWARE WILL PROVIDE TO 43.847± ACRES OF LAND, MORE OR LESS, DESCRIPTION AND MAP ARE ATTACHED HERETO FOR THE ANNEXATION KNOWN AS THE EVANS FARM DELAWARE, LLC ANNEXATION BY ANDREW WECKER, AGENT FOR THE PETITIONERS.

WHEREAS, Andrew Wecker, agent for the petitioners, has filed with the Delaware County Commissioners for annexation of 43.847 acres of land, more or less, the description and map are attached hereto, and

WHEREAS, Andrew Wecker, as agent for the petitioners on August 5, 2019 delivered to the Clerk of the Delaware City Council the notice of his filing of the annexation petition with the Board of County Commissioners of Delaware County and its clerk on August 5, 2019, and

WHEREAS, the Ohio Revised Code, Section 709.023 (c), requires that within 20 days following the date the petition is filed, the City Council shall, by resolution, adopt a statement as to what services, if any, the City will provide and an approximate date by which it will provide them to the territory proposed for annexation, upon annexation.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That upon annexation to the City of Delaware of 43.847± acres more or less as delineated on the attached Exhibits, the City will provide the following services by the approximate date indicated as to each, provided all necessary lines, hydrants, and other apparatus are installed by the property owner as required by the City and said services shall be provided under the same conditions and same costs as they are provided to other residents in the City of Delaware:

- (a) Water - upon acceptance of annexation
- (b) Sanitary Sewer - upon acceptance of annexation
- (c) Refuse – upon acceptance of annexation
- (d) Fire – upon acceptance of annexation
- (e) Police – upon acceptance of annexation
- (f) Road maintenance-upon acceptance of annexation

SECTION 2. That the Council of the City of Delaware, pursuant to Ohio Revised Code Section 709.023(D), hereby consents to the annexation.

SECTION 3. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Resolution were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

SECTION 4. That the Clerk of Council shall prepare and furnish to the agent for the petitioners a certified copy of this resolution and file with the Delaware County Board of County Commissioners on or before 20 days from the filing of the annexation petition.

SECTION 5. That if the territory is annexed and becomes subject to zoning by the City of Delaware and the City permits uses in the annexed territory that the City determines are clearly incompatible with the uses permitted under the current county or township zoning regulations in the adjacent land remaining within the township from which the territory was annexed, the Council of the City of Delaware will require, in the zoning ordinance permitting the incompatible uses, the owner of the annexed territory to provide a buffer separating the use of the annexed and the adjacent land remaining within the township for purposes of this ordinance, buffer includes open space, landscaping, fences, walls, and other structured elements; streets and street rights of way; and bicycle and pedestrian paths and sidewalks.

SECTION 6. That this resolution shall take effect and be in force immediately after this passage.

PASSED: August 12, 2019

YEAS 4 NAYS 1  
ABSTAIN   

ATTEST:

Glenn McCuskey  
CITY CLERK

Cliff K. Ruggs  
MAYOR

---

Manos, Martin & Pergram Co., LPA

Attorneys at Law

50 North Sandusky Street  
Delaware, Ohio 43015-1926  
Fax 740-362-3288

Andrew P. Wecker  
740-363-1313, ext. 217  
e-mail: awecker@mmpdlaw.com

August 5, 2019

**HAND-DELIVERED**

Ms. Jennifer M. Walraven  
Clerk to the Board of County Commissioners  
101 North Sandusky Street, 1<sup>st</sup> Floor  
Delaware, OH 43015

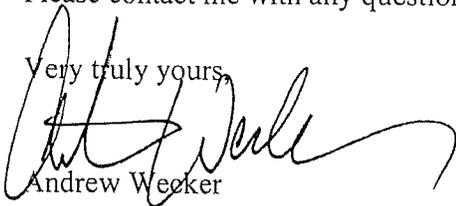
Dear Jennifer:

RE: Annexation Petition for 43.545 acres by Evans Farm Delaware, LLC

Enclosed are the original and seven copies of a petition for annexation and the approved legal description and drawing, as well as the list of adjacent property owners. Also enclosed is this law firm's check in the amount of \$250 payable to the Delaware Board of County Commissioners.

Please contact me with any questions. Thank you.

Very truly yours,



Andrew Wecker

tjh  
Enclosures  
c/enc. Evans Farm Delaware, LLC (via email)  
c Stephen D. Martin, Esq.  
(T13162-145)

RECEIVED  
DELAWARE COUNTY  
BOARD OF COUNTY COMMISSIONERS  
AUG 13 2019 10:04 AM

**RECEIPT**

No. 152734

DATE August 5, 2019

FROM Manos, Martin, Legram

\$ 250.00

DOLLARS

FOR RENT annexation of 43.545 acres Berlin Twp to City of Delaware

ACCT.			
PAID			
DUE			

CASH  
 CHECK  
 MONEY ORDER  
 CREDIT CARD

FROM TO

BY Sarah K. O'Neil

A-1152  
F-4161

**FIRST Commonwealth Bank**  
 MEMBER FDIC 1-800-711-BANK (2265)  
 fcbanking.com  
 56-308/441

**MANOS, MARTIN & PERGRAM CO., LPA**

CLIENT ADVANCES ACCOUNT  
 50 NORTH SANDUSKY STREET  
 DELAWARE, OH 43015-1956  
 (740) 363-1313

8/2/2019

96

PAY TO THE ORDER OF Delaware Board Of County Commissioners

\$ \*\*250.00

Two Hundred Fifty Only\*\*\*\*\*

DOLL

  
 AUTHORIZED SIGNATURE

MEMO

Annexation Petition, 13162-145

⑈009678⑈ ⑈044⑈03086⑈ ⑈0550⑈

**PETITION FOR ANNEXATION – EXPEDITED TYPE 2**

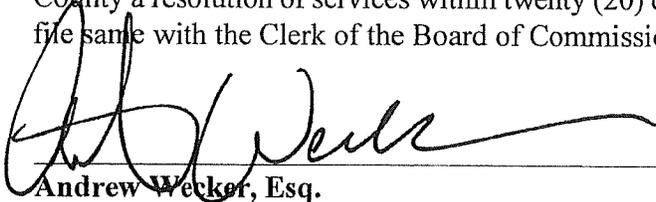
I, the undersigned, being the sole owner of 43.847± acres of real estate in the territory hereinafter described, hereby petitions for the annexation of the following described territory from **Berlin Township** to the **City of Delaware**, Delaware County, Ohio, being filed under **Sections 709.021(A)** and **709.023(A)** of the Revised Code of Ohio.

Petitioner has attached hereto and made a part of this petition a legal description of the perimeter of the territory sought to be annexed, marked as **Exhibit “A”**, as prepared by Daniel L. Quick, P.S., Registered Surveyor No. 7803.

Petitioner has attached hereto and made a part of this petition an accurate map or plat of the territory sought to be annexed, marked **Exhibit “B”**, also as prepared by Daniel L. Quick, P.S., Registered Surveyor No. 7803. Among other things as noted on Exhibit “A” and Exhibit “B”, the described territory is contiguous with the **City of Delaware**, Ohio.

**Andrew Wecker, Esq.**, attorney at law, is hereby appointed agent for the undersigned Petition as required by Revised Code Section 709.02(C)(3), with full power and authority hereby granted to said agent to amend, alter, change, correct, withdraw, refile, substitute, compromise, increase or delete the area, to do any and all things essential thereto, and to take any action necessary for obtaining the granting of this Petition, with specific authorization to correct any discrepancy or mistake noted by the Delaware County Engineer in examination of the Petition or the Exhibits to the Petition. Any such amendment shall be made by the presentation of amended description and map to the Board of County Commissioners on, before, or after the date set for hearing on this Petition. Said amendment, alteration, change, correction, withdrawal, refiling, substitution, compromise, increase or deletion or other things or action for granting of this Petition shall be made in the Petition, description and plat by said agent without further expressed consent of the Petition.

The City of Delaware will pass and submit to the Board of Commissioners of Delaware County a resolution of services within twenty (20) days of the date of the filing of this Petition and file same with the Clerk of the Board of Commissioners of Delaware County, Ohio.



**Andrew Wecker, Esq.**

Manos, Martin & Pergram Co., LPA  
50 North Sandusky Street  
Delaware, OH 43015

740-363-1313 phone / 740-362-3288 fax  
awecker@mmpdlaw.com

Return original to:

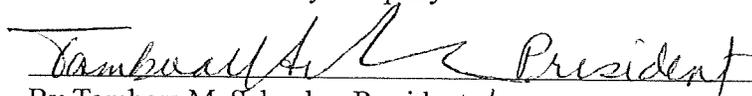
Clerk of the Board of the Delaware County Commissioners  
101 North Sandusky Street, Delaware, OH 43015

**"WHOEVER SIGNS THIS PETITION EXPRESSLY WAIVES THEIR RIGHT TO APPEAL IN LAW OR IN EQUITY FROM THE BOARD OF COUNTY COMMISSIONERS' ENTRY OF ANY RESOLUTION PERTAINING TO THIS SPECIAL ANNEXATION PROCEDURE. ALTHOUGH A WRIT OF MANDAMUS MAY BE SOUGHT OUT TO COMPEL THE BOARD TO PERFORM ITS DUTIES REQUIRED BY LAW FOR THIS SPECIAL ANNEXATION PROCEDURE."**

SIGNATURE OF PETITIONER, TYPED NAME AND ADDRESS

DATE

EVANS FARM DELAWARE, LLC  
an Ohio limited liability company

 President

8/15/2019

By Tambera M. Schueler, President  
P. O. Box 694  
Lewis Center, OH 43035-0694

ATTACHMENTS:

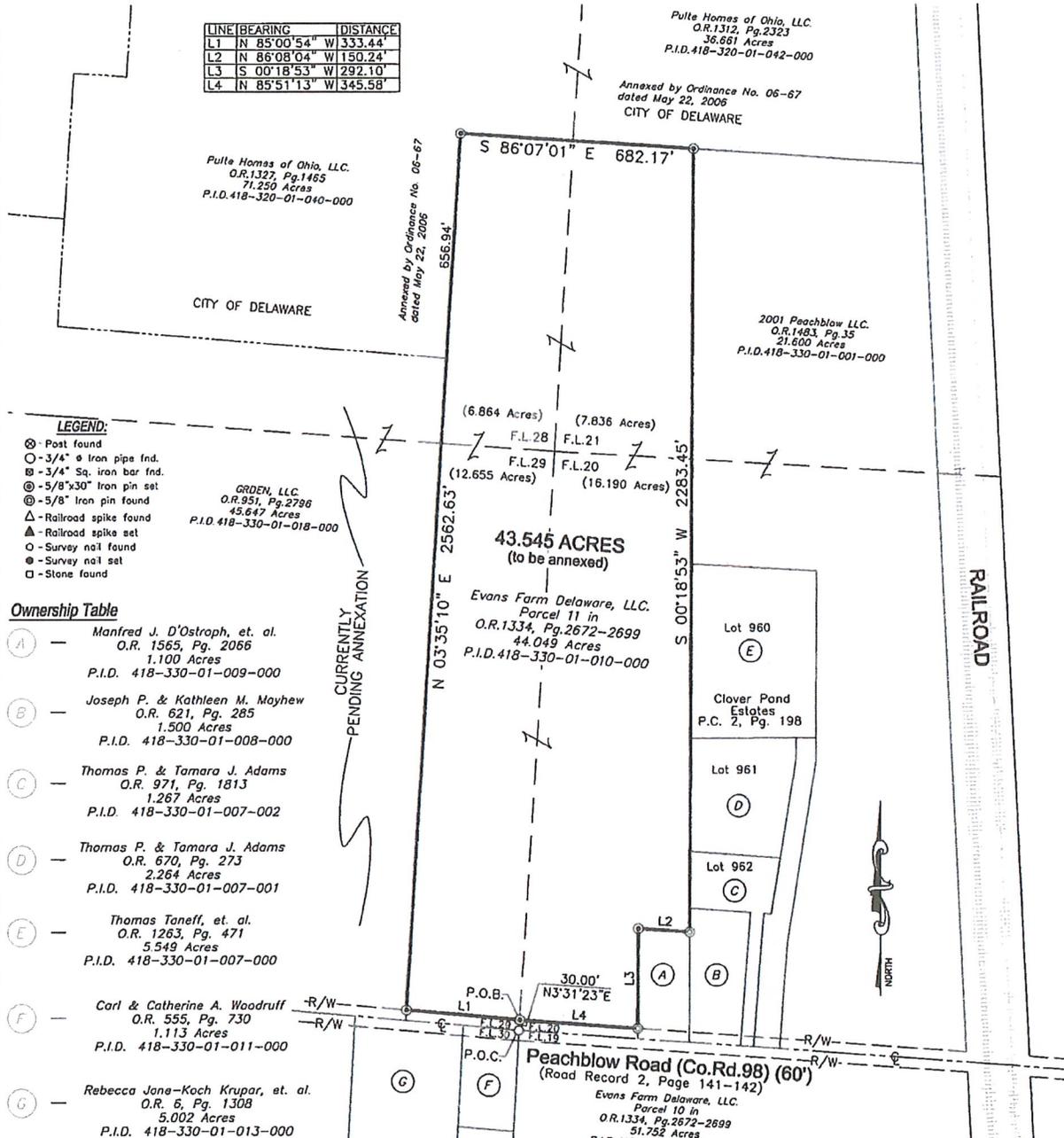
**Exhibit "A"** – Legal Description of 43.847 Acre Tract for Annexation to the City of Delaware from the Township of Berlin by Daniel L. Quick, P.S., Registered Surveyor No. 7803, Korda/Nemeth Engineering, Inc.

**Exhibit "B"** – Map of Territory to be Annexed Type II Annexation Plat by Daniel L. Quick, P.S., Registered Surveyor No. 7803, Korda/Nemeth Engineering, Inc.

**MAP OF TERRITORY TO BE ANNEXED TO THE CITY OF DELAWARE, OHIO**  
 BEING PART OF FARM LOTS 20, 21, 28, AND 29, SECTION 3, TOWNSHIP 4, RANGE 18,  
 U.S.M.L., BERLIN TOWNSHIP, DELAWARE COUNTY, STATE OF OHIO.

Basis of Bearings: The bearings shown upon this plat are referenced to the Ohio State Plane Coordinate System, North Zone, NAD83 (NSRS 2011) and with centerline of Peachblow Road being N 85° 51' 13" W.

LINE	BEARING	DISTANCE
L1	N 85°00'54" W	333.44'
L2	N 86°08'04" W	150.24'
L3	S 00°18'53" W	292.10'
L4	N 85°51'13" W	345.58'



- LEGEND:**
- ⊙ Post found
  - 3/4" ⌀ Iron pipe ind.
  - ⊠ 3/4" Sq. iron bar ind.
  - ⊙ 5/8"x30" Iron pin set
  - ⊙ 5/8" Iron pin found
  - △ Railroad spike found
  - ▲ Railroad spike set
  - Survey nail found
  - Survey nail set
  - Stone found

**Ownership Table**

- (A) — Manfred J. D'Ostroph, et. al.  
O.R. 1565, Pg. 2066  
1.100 Acres  
P.I.D. 418-330-01-009-000
- (B) — Joseph P. & Kathleen M. Mayhew  
O.R. 621, Pg. 285  
1.500 Acres  
P.I.D. 418-330-01-008-000
- (C) — Thomas P. & Tamara J. Adams  
O.R. 971, Pg. 1813  
1.267 Acres  
P.I.D. 418-330-01-007-002
- (D) — Thomas P. & Tamara J. Adams  
O.R. 670, Pg. 273  
2.264 Acres  
P.I.D. 418-330-01-007-001
- (E) — Thomas Taneff, et. al.  
O.R. 1263, Pg. 471  
5.549 Acres  
P.I.D. 418-330-01-007-000
- (F) — Carl & Catherine A. Woodruff  
O.R. 555, Pg. 730  
1.113 Acres  
P.I.D. 418-330-01-011-000
- (G) — Rebecca Jane-Koch Krupar, et. al.  
O.R. 6, Pg. 1308  
5.002 Acres  
P.I.D. 418-330-01-013-000

DELAWARE COUNTY ENGINEER  
 Map Department  
 I hereby certify that this document is a true copy of the original on file in the Map Department.  
 CHRIS E. BAUSERMAN, P.E., P.S.  
 COUNTY ENGINEER  
 7/24/19  
 Date

**CERTIFICATION:**

I hereby certify that this plat is a true and correct representation of an area of land to be annexed into the City of Delaware, Ohio.

REGISTERED SURVEYOR NO. 7803

6/27/19  
 DATE



**NOTES:**

- 1) Total acreage of the territory is 43.545 acres.
- 2) There are no County Roads within the territory however 679.02 feet of County Road 98 borders the territory along the south.
- 3) The total length of contiguity with the City of Delaware is 1339.11 feet.
- 4) The total length of the perimeter of the territory is 6549.61'.
- 5) The percentage of perimeter contiguity is 20.14%.
- 6) No island of unincorporated area is being created by this annexation.
- 7) This map is based on an actual field survey performed by Kordo/Nemeth Engineering Inc.

Scale 1" = 300 feet  
 0 75 150 300 600

**REFERENCES:**

- 1) Road Record 2, Page 141-142
- 2) Survey by Tony W. Meachom date 06-23-98

Survey requested by: Evans Farm Development, LLC

Map of territory to be annexed to  
 the City of Delaware, Ohio

**KORDA** Korda/Nemeth Engineering, Inc. - Consulting Engineers  
 1820 Woodloch Drive, Suite 200 - Columbus, Ohio 43215-7070  
 TEL 614-402-1000 FAX 614-402-0001 WEB www.korda.com

DATE	JOB#
6/27/19	2018-7010
7/25/19	DRAWN
	CLO
DWG.	CHK'D
	TWT





### Description of territory to be annexed to the City of Delaware, Ohio

Situated in the State of Ohio, County of Delaware, Township of Berlin, Farm Lots 20, 21, 28 and 29, Section 3, Township 4, Range 18 in the United States Military Lands and being part of the 44.049 acre tract conveyed to Evans Farm Delaware, LLC by deed of record in Official Record 1334, Page 2672-2699 and being further described as follows:

**Commencing** at a ¾" diameter iron pipe found at the common corner of Farm Lot 19, Farm Lot 20, Farm Lot 29 and Farm Lot 30 in Section 3, Township 4, Range 18, USML, said point being in the grantors southerly line and in the centerline of Peachblow Road (County Road 98) (60 feet wide);

Thence along the common line between Farm Lot 20 and Farm Lot 29, North 3°31'23" East for a distance of 30.00 feet to an iron pin set in the northerly right of way line of Peachblow Road and being the **Point of Beginning**;

Thence along the northerly right of way line of Peachblow Road and being 30 feet distant from and parallel to the centerline of Peachblow Road and the southerly line of Farm Lot 29, **North 85°00'54" West** a distance of **333.44 feet** to an iron pin set in the grantor's westerly line and in the easterly line of a 45.647 acre tract conveyed to GRDEN, LLC by deed of record in Official Record 951, Page 2796;

Thence along the easterly line of said 45.647 acre tract, the grantor's westerly line and the easterly line of a 71.250 acre tract conveyed to Pulte Homes of Ohio, LLC by deed of record in Official Record 1327, Page 1465, **North 03°35'10" East** a distance of **2562.63 feet** to an iron pin set at the grantor's northwesterly corner;

Thence along the grantor's northerly line, the southerly line of said 71.250 acre tract, the southerly line of a 36.661 acre tract conveyed to Pulte Homes of Ohio, LLC by deed of record in Official Record 1312, Page 2323, **South 86°07'01" East** a distance of **682.17 feet** to an iron pin set at the grantor's northeasterly corner and the northwesterly corner of a 21.60 acre tract conveyed to 2001 Peachblow LLC by deed of record in Official Record 1483, Page 35;

Thence along the grantor's easterly line, the westerly line of said 21.60 acre tract, the westerly line of Clover Pond Estates Subdivision (Plat Cabinet 2, Slide 198) and the westerly line of a 1.50 acre tract conveyed to Joseph P. and Kathleen M. Mayhew by deed of record in Official Record 621, Page 285, **South 00°18'53" West** a distance of **2283.45 feet** to a 5/8" diameter iron pin found at the northeasterly corner of a 1.10 acre tract conveyed to Manfred J. D'Ostroph, et. al. by deed of record in Official Record 1565, Page 2066;



Thence along the grantor's southerly line and the northerly line of said 1.10 acre tract **North 86°08'04" West** a distance of **150.24 feet** to an iron pin set at the northwesterly corner of said 1.10 acre tract;

Thence along the grantor's easterly line and the westerly line of said 1.10 acre tract **South 00°18'53" West** a distance of **292.10 feet** a 5/8" diameter iron pin found in the northerly right of way line of Peachblow Road;

Thence along the northerly right of way line of Peachblow Road and being 30 feet distant from and parallel to the centerline of Peachblow Road and the southerly line of Farm Lot 20, **North 85°51'13" West** a distance of **345.58 feet** to the **Point of Beginning** and containing **43.545 acres**, more or less, and subject to all other legal easements and rights of way.

Of the above described tract, all 43.545 acres, more or less, is located within Auditor's Parcel Number 418-330-01-010-000. Of the above described tract, 16.190 acres, more or less, is located within Farm Lot 20, 7.836 acres, more or less, is located within Farm Lot 21, 6.864 acres, more or less, is located within Farm Lot 28, 12.655 acres, more or less, is located within Farm Lot 29.

The basis of bearing of North 85°51'13" West on the centerline of Peachblow Road is referenced to the Ohio State Plane Coordinate System North Zone NAD 83 (NSRS 2011).

All iron pins set are 30" x 5/8" rebars with a yellow plastic identification cap bearing the inscription "Korda Engineering" and PS 7803".

This description was prepared by Daniel L. Quick, Ohio Professional Surveyor No. 7803 from an actual field survey performed by Korda/Nemeth Engineering Inc. This instrument was prepared for an annexation request and it's use for any other purpose is strictly prohibited.

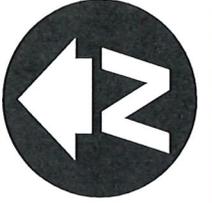
*Daniel L. Quick*

Daniel L. Quick, PS 7803  
Korda/Nemeth Engineering, Inc.

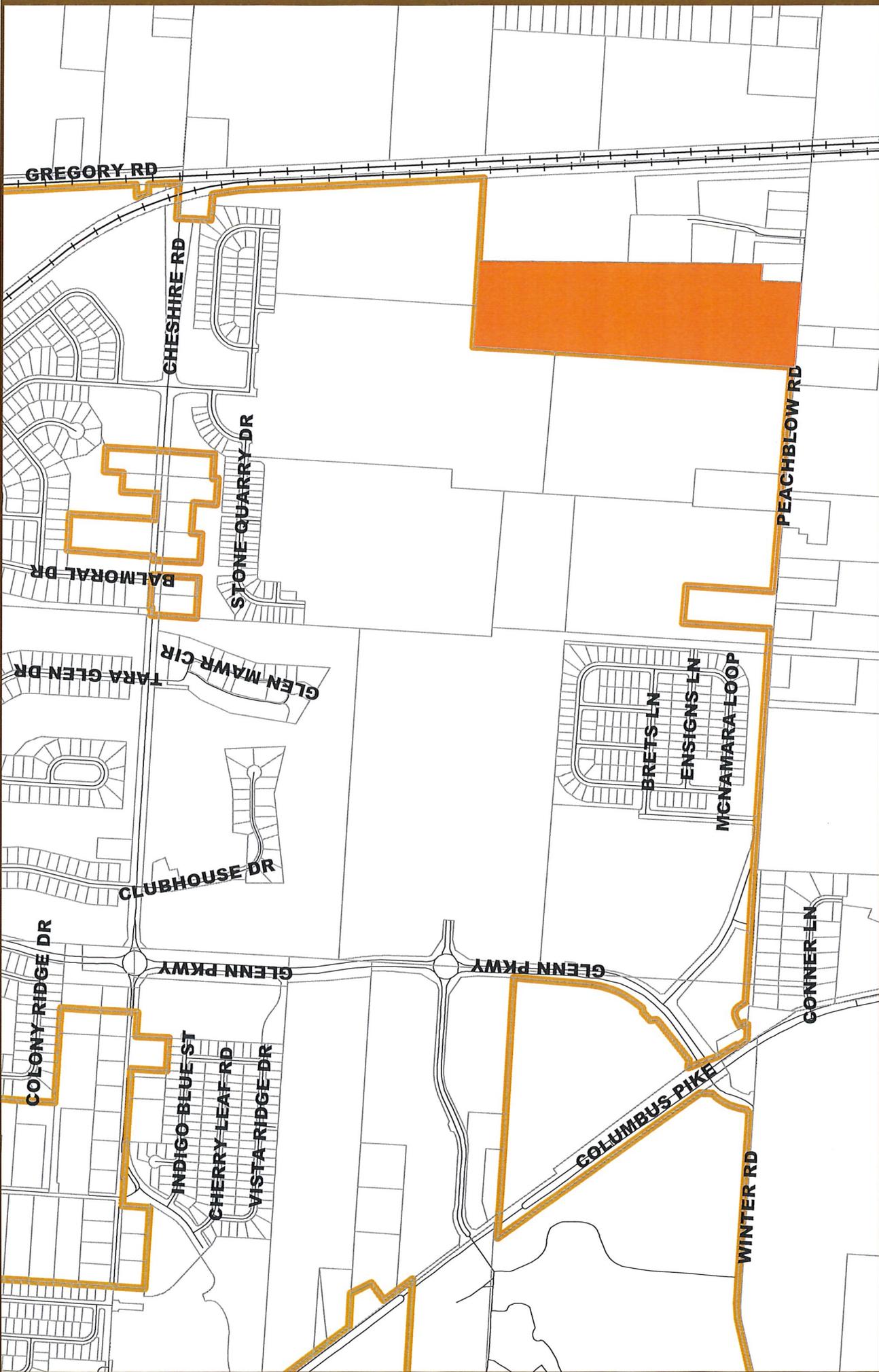
June 27, 2019  
Date  
Rev: 7/25/19

**DELAWARE COUNTY ENGINEER**  
Map Department  
I Herby certify that this document is a true copy of the original on file in the Map Department.  
**CHRIS E. BAUSERMAN, P.E., P.S.,**  
COUNTY ENGINEER  
*[Signature]* 7/26/19  
Department Manager Date





Evans Farms LLC  
Annexation Location Map



**Annexation Petition**

**Adjacent Property Owners  
To Parcel No. 418-330-01-010-000**

<b>Owner</b>	<b>Parcel No.</b>	<b>Taxpayer/Tax Mailing Address</b>
2001 Peachblow LLC	418-330-01-001-000	2001 Peachblow Road Lewis Center, OH 43035-9297
Thomas P. Adams and Tamara J. Adams	418-330-01-007-001	1795 Peachblow Road Lewis Center, OH 43035-9103
Manfred J. D'Ostroph and Marla K. Gaskill, Trustees	418-330-01-009-000	1765 Peachblow Road Lewis Center, OH 43035-9103
GRDEN LLC	418-330-01-018-000	10590 Wellington Boulevard Powell, OH 43065-8766
Kenney Asset Management, LLC	418-330-01-014-000	470 Olde Worthington Road Westerville, OH 43082-7957
Rebecca Jane Krupar and James Matthew Koch	418-330-01-013-000	1522 Peachblow Road Lewis Center, OH 43035-9102
Joseph P. Mayhew and Kathleen M. Mayhew	418-330-01-008-000	1787 Peachblow Road Lewis Center, OH 43035-9103
Pulte Homes of Ohio, LLC	418-320-01-040-000 418-320-01-042-000	4900 Tuttle Crossing Boulevard Dublin, OH 43016-1532
Thomas Taneff and Hollie M. Cox, Co-Trustees	418-330-01-007-000	1799 Peachblow Road Lewis Center, OH 43035-9103
Carl Woodruff and Catherine A. Woodruff	418-330-01-011-000	1600 Peachblow Road Lewis Center, OH 43035-9102



## FACT SHEET

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AGENDA ITEM NO: 11

DATE: 01/27/2020

ORDINANCE NO:

RESOLUTION NO: 20-13

READING: FIRST

PUBLIC HEARING: NO

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TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: Darren Shulman, City Attorney

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

A RESOLUTION ACCEPTING NEGOTIATED CHANGES TO THE OHIO COUNCIL #8 AMERICAN FEDERATION OF STATE, COUNTY AND MUNICIPAL EMPLOYEES, AND LOCAL 3934 (AFSCME-CLERICAL) EMPLOYEES AGREEMENT WITH THE CITY OF DELAWARE.

**BACKGROUND:**

This contract includes a wage package of 3%, 2.25%, and 2% for 2020-2022. The parties are executing a companion MOU indicating the second two years will increase to 3% if the Union agrees to shift to the new insurance options adopted in 2021.

**REASON WHY LEGISLATION IS NEEDED:**

The current contract expires December 31, 2019.

**COMMITTEE RECOMMENDATION:**

N/A

**FISCAL IMPACT(S):**

3% wage increase in 2020. Impacts in future years will depend on whether the group decides to switch insurance.

**POLICY CHANGES:**

None. Wage package is consistent with other contracts.

**PRESENTER(S):**

Darren Shulman, City Attorney

**RECOMMENDATION:**

In the past, we have approved multiple labor contracts with one piece of legislation. This isn't an option this year, as negotiations on the three remaining contracts have not been completed. Staff recommends action on this contract now to avoid further delay in implementing the contract changes.

**ATTACHMENT(S)**

Draft contract changes



**Agreement Between the  
CITY OF DELAWARE**



**And**

**OHIO COUNCIL #8**

**AMERICAN FEDERATION OF STATE, COUNTY  
AND MUNICIPAL EMPLOYEES,**

**AND LOCAL 3934**

**Effective Dates**

**January 1, 2020 ~~2017~~ – December 31, 2022 ~~2019~~**

ARTICLE 1

**AGREEMENT AND DURATION**

**Section 1.**

This Agreement is made and entered into by and between the City of Delaware, (hereinafter referred to as the City) and the Ohio Council 8, American Federation Of State, County and Municipal Employees, AFL-CIO And Local 3934, 6800 North High Street, Worthington, Ohio 43085 (hereinafter referred to as the Union).

**Section 2.**

This Agreement is made for the purpose of promoting cooperation, and orderly, constructive and harmonious relations between the City, its employees, and the Union. This Agreement is intended to formalize the issues approved by the negotiating committees of the City and the Employees Union.

**Section 3.**

The provisions of this Agreement establish certain rights and benefits for the Union and the employees which shall only be coextensive with the terms of this Agreement, and these rights and benefits shall cease and terminate upon the termination date of this Agreement, or any extensions thereto.

**Section 4.**

This Agreement shall become effective January 1, ~~2017~~ **2020**, upon ratification by the Union and approval by the City Council and shall remain in full force and effect until December 31, ~~2019~~ **2022**. Unless otherwise indicated, the terms used in this Agreement shall be interpreted in accordance with the provisions of Chapter 4117 of the Revised Code. Where this Agreement makes no specification about a matter, the City and its employees are subject to all applicable State laws or local ordinances pertaining to the wages, hours, and terms and conditions of employment for public employees.

**Section 5.**

If either party wishes to terminate, modify, or negotiate a successor agreement, it must serve written or electronic notice of that intention upon the other party not less than sixty (60) days prior to the expiration of this Agreement. Upon timely service of such notice, the parties shall collectively bargain in good faith in an effort to reach a successor Agreement. If no such written notice is given, this Agreement will be renewed automatically for one year.

## ARTICLE 2

### RECOGNITION

#### Section 1.

The City recognizes the Union as the sole and exclusive representative for all Bargaining Unit employees described in Section 2 of this Article. The Union is recognized by the City as the sole and exclusive representative in any and all matters relating to wages, hours and terms and conditions of employment, and the continuation, modification, or deletion of any existing provisions of past Agreements between the parties, and the resolution of questions arising under this Agreement.

#### Section 2.

The bargaining unit shall consist of all clerical positions of the City of Delaware including Clerical Specialist, Accounting Specialist I, ~~and II and III~~, Administrative Assistant **I, II and III**, and Office Supervisor. Excluded from the bargaining unit are all management-level employees and supervisors as defined in the act, and any SERB amendments thereto.

### ARTICLE 3

#### DEFINITIONS

For purposes of this bargaining Agreement the following terms shall be defined as follows:

Department Head(s): Employees designated as Department Heads in the City's annual budget or organizational chart.

Department(s): Includes the departments of Public Works, Finance, Legal Department, Planning and Community Development, Engineering, Public Utility, Grounds and Facilities, and Police and Fire.

Periods of Employment/Years of Total Service/Years of Service shall always be based upon permanent Full-Time Employment.

**SEPARATION: LAST DAY WORKED BY EMPLOYEE. USE OF LEAVE OR A DAY FALLING ON A HOLIDAY ARE NOT CONSIDERED A DAY WORKED.**

## ARTICLE 8

### WAGES AND PAY PLAN

#### Section 1.

Salary step advancements prescribed in the Pay Plan shall become effective the first full payroll period after their anniversary date. For the dates specified below, the new pay rates are effective for the pay period beginning on the date noted. The following pay rates reflect a ~~2%~~ **3% INCREASE FOR 2017 2020, A 2.25% INCREASE FOR 2018 2021, AND A 2% INCREASE FOR 2019 2022.**

<b>Pay plan for the period including January 1, 2020</b>					
PAY GRADE HOURLY	STEP 1	STEP 2	STEP 3	STEP 4	STEP 5
1	16.74	17.26	18.31	19.48	20.61
2	19.67	20.52	21.35	22.16	22.92
3	20.64	21.56	22.40	23.44	24.39
4	21.87	22.74	23.60	24.59	25.60
5	22.65	23.69	24.77	25.66	26.81

<b>Pay plan for the period including January 1, 2021</b>					
PAY GRADE HOURLY	STEP 1	STEP 2	STEP 3	STEP 4	STEP 5
1	17.11	17.65	18.73	19.92	21.07
2	20.12	20.98	21.83	22.65	23.43
3	21.11	22.04	22.91	23.97	24.94
4	22.36	23.25	24.13	25.14	26.17
5	23.16	24.22	25.33	26.23	27.41

<b>Pay plan for the period including January 1, 2022</b>					
PAY GRADE HOURLY	STEP 1	STEP 2	STEP 3	STEP 4	STEP 5
1	17.46	18.00	19.10	20.31	21.50
2	20.52	21.40	22.27	23.11	23.90
3	21.53	22.48	23.36	24.45	25.44
4	22.81	23.72	24.61	25.64	26.69
5	23.62	24.71	25.84	26.76	27.96

**PAY GRADE**

1

2

3

4

5

**POSITION**

Clerical Specialist

Accounting Specialist I,  
Administrative Assistant I

~~No Current Position~~

**ACCOUNTING SPECIALIST II,  
ADMINISTRATIVE ASSISTANT**

**II**

Accounting Specialist III,  
**ADMINISTRATIVE ASSISTANT**

**III**

Office Supervisor

## ARTICLE 13

### SICK LEAVE

#### Section 1.

Each City employee shall be entitled to sick leave with pay of four and six-tenths (4.6) hours for each completed eighty (80) hours of service. An employee may use sick leave, upon approval of the Department Head, for absence due to personal illness, pregnancy, injury, exposure to contagious disease which could be communicated to other employees, and for illness or injury of the employee's **PARENTS**, spouse, children or step-children. Each employee will be required to sign the City "Request For Leave Form" that her absence was the result of one of the causes specified above. For any sick leave absence of three (3) or more consecutive days due to an employee's illness, an employee will be required to provide a physician's certificate stating the nature of the illness and stating that the employee is physically able to return to work. The City retains the right to insist that an employee, before returning to work from a sickness leave, be examined by a physician designated by the City at the City's expense, to verify that the employee can safely return to work.

Falsification of a physician's certificate shall be grounds for disciplinary action including discharge.

#### Section 2.

Sick leave may be taken in one - half (½) hour increments.

#### Section 3.

If an employee used 0 hours of sick leave in any one calendar year, that employee shall receive pay equal to twenty-four (24) hours the following year. If a member uses between one (1) and eight (8) hours of sick leave in any one calendar year that member shall receive pay equal to sixteen (16) hours the following year. If a member uses between nine (9) and sixteen (16) hours of sick leave in any one calendar year that member shall receive pay equal to eight (8) hours the following year. To be eligible for the sick leave incentive program said member must be a permanent full-time employee of the City of Delaware for the entire preceding year and have met the conditions above. At the member's option, any additional vacation days earned can be taken in the form of vacation leave or compensation in cash.

#### Section 4.

Any City employee who has accumulated at least 800 hours of sick leave credit may, during any calendar year, convert any excess thereof up to 120 hours of sick leave to vacation leave on the basis of sixteen (16) sick leave hours for eight (8) hours vacation leave. Such conversion can only occur the first pay period of December.

#### Section 5.

Any member separated from City service for any reason other than termination with just

cause shall be paid for all accrued sick leave on the basis of one (1) hour of pay for every three (3) hours of unused sick leave up to 650 hours. A member separated from City service for other than just cause shall be paid for any accumulated and unused sick leave for those hours which exceed 650 on the basis of one (1) hour of pay for every two (2) hours of unused sick leave. Total sick leave payout cannot exceed sixteen (16) weeks pay.

Upon separation, for any reason other than termination with just cause, of any employee who has completed a minimum of fifteen (15) years of service with the City, all unused sick leave credit will be converted to terminal leave pay on the basis of one (1) days pay for every two (2) unused sick leave days, to a maximum of sixteen (16) weeks pay.

**Section 6.**

An employee hired prior to January 1, 2013 may not transfer or “carry over” accrued or unused sick leave to the City from another employer. Employees hired after that date may transfer accrued sick leave hours from previous employment with any public agency, but such sick leave hours will not be eligible for conversion or payment upon separation pursuant to Section 5. In addition, sick leave usage by members who transfer in sick leave, as per this Section 6, will first be charged to sick leave hours accumulated while employed by the City of Delaware. Members will only be eligible to utilize hours transferred in from prior public employment when they have no balance of sick leave available from sick leave accrued while employed by the City of Delaware.

## ARTICLE 20

### DUES

#### Section 1. Dues.

The City agrees to deduct from the wages of any employee who is a member of the AFSCME Bargaining Unit all dues uniformly required for the term of this agreement in accordance with the authorization/check off card. The Union will notify the City by January 1 of each year of the dues it charges and its current membership. All dues collected shall be paid over by the employer once each month to the AFSCME Ohio Council #8, Local 3934, 6800 North High Street, Worthington, Ohio 43085. **SUCH PAYMENT SHALL BE ACCOMPANIED BY A LIST INCLUDING THE FOLLOWING INFORMATION: 1) THE NAMES, ADDRESSES, AND LAST FOUR DIGITS OF THE SOCIAL SECURITY NUMBER FOR ALL BARGAINING UNIT MEMBERS AND WHETHER OR NOT THEY HAD DUES DEDUCTED FOR THE GIVEN MONTH.**

**SECTION 2. UNION MEMBERSHIP. EMPLOYEES WHO ARE MEMBERS OF THE UNION MAY REVOKE THEIR UNION MEMBERSHIP AT ANY TIME BY SENDING WRITTEN NOTICE TO THE UNION OF THEIR DESIRE TO DROP THEIR UNION MEMBERSHIP. REVOCATION OF UNION MEMBERSHIP DOES NOT REVOKE UNION DUES AUTHORIZATION, WHICH MAY ONLY BE REVOKED AS SET FORTH BELOW.**

**SECTION 3. DUES DEDUCTION. ANY VOLUNTARY DUES CHECKOFF AUTHORIZATION SHALL BE IRREVOCABLE, REGARDLESS OF WHETHER AN EMPLOYEE HAS REVOKED UNION MEMBERSHIP, FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE EXECUTION OF THE DUES CHECKOFF AUTHORIZATION AND FOR YEAR TO YEAR THEREAFTER, UNLESS THE EMPLOYEE GIVES THE EMPLOYER AND THE UNION WRITTEN NOTICE OF REVOCATION NOT LESS THAN TEN (10) DAYS AND NOT MORE THAN TWENTY FIVE (25) DAYS BEFORE THE END OF ANY YEARLY PERIOD. COPIES OF EMPLOYEES' DUES CHECKOFF AUTHORIZATION CARDS ARE AVAILABLE FROM THE UNION UPON REQUEST.**

#### Section 2. Fair Share Fee:

~~A. — Payroll Deduction of Fair Share Fee — The City shall deduct from the pay of members of the bargaining unit who elect not to become or remain members of the Union, a fair share fee for the Union's representation of such non-members during the term of this contract. No non-member filing a timely demand shall be required to subsidize partisan political or ideological causes, or any other endeavors not germane to the Union's work in the realm of collective bargaining and contract administration.~~

~~B. — Notification of the Amount of Fair Share Fee — Notice of the amount of the annual fair share fee, which shall not exceed 100% of the Union dues for members, shall be transmitted by the Union to the City Finance Director prior to February 15 of each year during the term of this~~

~~contract for the purpose of determining the amount to be payroll deducted. The City agrees to transmit all amounts deducted to the Union once each month, at the same time and to the same place as regular membership dues.~~

~~C. Procedure for Rebate—The Union represents to the City that an internal rebate procedure has been established in accordance with Section No. 4117.09(C) of the Revised Code, and that a procedure for challenging the amount of the representation fee has been established and will be given to each member of the bargaining unit who does not join the Union, and that such procedures and notice shall be in compliance with all applicable state and federal laws and the Constitutions of the United States and the State of Ohio.~~

~~D. Entitlement to Rebate—Upon timely demand, non-members may apply to the Union for rebate of the fair share fee pursuant to the internal procedures adopted by the Union.~~

~~E. Indemnification of Employer—The Union shall defend, indemnify and hold harmless the City, the City Council members, the Finance Director, and any and all other officers and employees of the City against any and all claims and/or costs arising from or in any way related to the implementation and enforcement of this Article, specifically including, but not limited to, any costs arising from an action in any court or administrative agency alleging that the Union's internal rebate procedure is legally defective.~~

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**ARTICLE 29**

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**FILLING JOBS WITHIN SAME CLASSIFICATIONS**

For filling jobs from within the same classification, said job opening will be offered to employees active at work in the same classification before it is offered outside the classification based upon seniority, efficiency and other relevant factors. The applicable department head and human resources department retains the sole discretion in approving the filling of such job openings.

**ARTICLE 37**

**SIGNATORY AGREEMENT**

**Section 1.**

By affixing appropriate signatures below, the representatives of the AFSCME Employees Union and the City agree to the terms and conditions of this employment Agreement. The language of said foregoing terms and conditions of employment is hereby deemed to be acceptable to both parties and recommended to be forwarded to the Delaware City Council for the necessary legislative approval, ratification and adoption.

**Section 2.**

Signed and dated at Delaware, Ohio, on this \_\_\_\_ day of **January 2016 2020**.

For the City:

For the Union:

\_\_\_\_\_  
R. Thomas Homan  
City Manager

\_\_\_\_\_  
Tina Johns  
Bargaining Committee Member

| Approved [as](#) to Form :

\_\_\_\_\_  
William DeVore  
AFSCME Representative

\_\_\_\_\_  
Darren M. Shulman  
City Attorney



**Memorandum of Understanding between the City of Delaware and the AFSCME Local 3934**

When the city introduces its new insurance plan design options in 2021, the Union may elect to drop the current plan from the contract and move to the options available under the management pay plan. If the Union elects to do so, the wages in 2021 and 2022 will change to 3% each.

For the City

For the Association

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Approved as to form



## FACT SHEET

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AGENDA ITEM NO: 12

DATE: 01/27/2020

ORDINANCE NO: 20-01

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: YES

February 10, 2020 @ 6:30 p.m.

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TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: ---

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### **TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE LEVYING A \$5.00 MOTOR VEHICLE LICENSE CHARGE AS AUTHORIZED BY SECTION 4504.173 OF THE OHIO REVISED CODE.

### **BACKGROUND:**

In 2019 the Ohio General Assembly approved legislation allowing for local jurisdictions to increase the amount of vehicle license fees collected in their respective districts. Revenue generated from the increase can be used for the maintenance and repair to the local street network. The City of Delaware's road maintenance program remains underfunded by an estimated \$1.6 million annually. The provision of adequate maintenance of all transportation elements included in street and traffic operations and roadway paving is not sustainable under existing funding limitations. Additional funds could help reduce the inventory of over one-hundred local residential streets in need of immediate resurfacing. Additional funds could also help improve the level of service in maintaining public bikeways, parking lots and alleys. It has been identified as a city priority to identify and establish additional funding resources that can be directed toward the maintenance and repair of the existing roadway infrastructure within the city.

### **REASON WHY LEGISLATION IS NEEDED:**

Local jurisdictions must enact legislation updating the required license fee amounts before additional fees can be collected.

**COMMITTEE RECOMMENDATION:**

N/A

**FISCAL IMPACT(S):**

Increases annual revenues available for road maintenance by an estimated \$180,000.00

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

R. Thomas Homan, City Manager

**RECOMMENDATION:**

Approval following public hearing

**ATTACHMENT(S)**

\* 2020 Roadway Maintenance Program (Draft)

\* Roadway Maintenance Fact Sheet (Draft)

\* Inventory of Poor & Very Poor Residential Streets in need of resurfacing \*

\*Testimony of City Manager Tom Homan from 2011 and 2017 regarding Permissive License Fees.

ORDINANCE 20-01

AN ORDINANCE LEVYING A \$5.00 MOTOR VEHICLE LICENSE CHARGE AS AUTHORIZED BY SECTION 4504.173 OF THE OHIO REVISED CODE.

WHEREAS the City is responsible for the maintenance and repair of 171 miles of local, collector and arterial streets throughout the community; and

WHEREAS the City's Roadway Maintenance Program includes the maintenance of traffic signals, streetlights, guardrail, road signs, pavement markings, winter snow and ice removal, bikeways, public parking lots, sidewalks, curb ramps, street repairs and paving; and

WHEREAS there are over 100 public streets in Delaware in need of immediate maintenance and repair at an estimated cost exceeding \$8 million; and

WHEREAS the available revenues for roadway maintenance and repair has not kept up with the cost of providing adequate maintenance to the existing street network within the city; and

WHEREAS in order to establish a sustainable roadway maintenance program, an estimated \$1.6 million in additional annual revenue is necessary; and

WHEREAS an increase in the allowable license plate tax collections will provide an estimated \$180,000 in annual revenue for use on street maintenance.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1: There is hereby levied an annual license tax upon the operation of motor vehicles on the public roads or highways of the City of Delaware, Ohio, pursuant to §4504.173 of the Ohio Revised Code for the purposes of planning, constructing, improving, maintaining, and repairing public roads, highways, and streets, and to provide additional revenue for the purposes authorized by Section 4504.173(A)(2) of the Ohio Revised Code; and to supplement revenue already available for such purposes.

SECTION 3. Such tax shall be at the rate of \$5.00 per motor vehicle per year, on each and every motor vehicle the district of registration of which, as defined in §4503.10 of the Ohio Revised Code, is in the City of Delaware, Ohio.

SECTION 4. As used in this Ordinance, the term "motor vehicle" shall include all vehicles within the definition of motor vehicle in the Ohio Revised Code.

SECTION 5. The annual tax imposed by this ordinance shall apply to and be in effect for registrations beginning January 1, 2021, or at the earliest time legally authorized, and shall continue in effect and apply during each registration thereafter.

SECTION 6. The annual tax imposed by this ordinance shall be paid to the Registrar of Motor Vehicles of the State of Ohio, or to a Deputy Registrar, at the time of application for registration of a motor vehicle is made pursuant to the Ohio Revised Code.

SECTION 7. All revenues derived from the annual tax herein levied shall be used by the City of Delaware, Ohio for the purposes specified in this ordinance, or any other purpose authorized by state law.

SECTION 8. The Clerk of Council is directed to mail a certified copy of this Ordinance to the Bureau of Motor Vehicles, Tax Distribution Section in Columbus, Ohio upon passage.

SECTION 9. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS\_\_\_NAYS\_\_\_  
ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2020

YEAS\_\_\_NAYS\_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR

## Public Works Department

### 2020 Roadway Maintenance Program

*Submitted by William L. Ferrigno, P.E., Public Works Director/City Engineer  
Revised January 21, 2020*

This update summarizes the funding resources and corresponding expenditures for the 2020 Roadway Maintenance Program, with recommendations for additional funding required to support a sustainable street, traffic and pavement maintenance operation. As growth continues across the City, the need to dedicate additional resources toward the maintenance and repair of existing highway pavement and traffic management infrastructure becomes more pressing. At existing funding levels, the Roadway Maintenance Program is not sustainable. An additional \$1.6 million in annual funding is recommended to fully support a sustainable roadway maintenance program.

<b>2020 Roadway Maintenance Program – Funding</b>	
Ohio Gas Tax	\$2,045,000
License Fees	\$698,000
Ohio Public Works Commission Grant (OPWC)*	\$495,000
Delaware County OPWC Grant Match*	\$150,000
<u>General Fund Revenue (Income Tax)</u>	<u>\$1,266,572</u>
<b>Total Revenues</b>	<b>\$4,654,572</b>

\*\$645,000 of the funding is available through a competitive grant application process and is not a guaranteed annual revenue source.

<b>2020 Roadway Maintenance Program – Expenses</b>
<u>Street Maintenance</u> : \$1,838,025 allocated for staffing and the maintenance and repairs to public streets including potholes, patching, crack sealing, parking lots, bikepaths, sidewalk, curbs, bridge maintenance, and snow and ice removal.
<u>Traffic Maintenance</u> : \$966,547 for staffing and the maintenance and repairs to traffic signals, street lights, pavement markings, roadway signage and guardrails.
<u>Street Resurfacing</u> : \$1,850,000 for paving residential and arterial streets.

## Roadway Maintenance Program – Annual Funding Levels

<u>Street Paving</u>	<u>Current</u>	<u>Recommended</u>
Pavement Resurfacing & Preservation	\$1,850,000	\$3,050,000
Alley Resurfacing	\$0	\$50,000
	<b>\$1,850,000</b>	<b>\$3,100,000</b>
<u>Street Maintenance</u>	<u>Current</u>	<u>Recommended</u>
Pavement Repairs	\$310,000	\$400,000
Pedestrian Paths & Bikeways	\$35,000	\$100,000
Public Parking Lots	\$60,000	\$130,000
Bridge Maintenance	\$50,000	\$50,000
Sidewalk & ADA Ramp Repairs	\$200,000	\$200,000
Curb Repairs	\$0	\$150,000
Snow & Ice Removal	\$200,000	\$200,000
	<b>\$855,000</b>	<b>\$1,230,000</b>
<u>Traffic Maintenance</u>	<u>Current</u>	<u>Recommended</u>
Streetlights	\$55,000	\$55,000
Street Signage	\$40,000	\$40,000
Pavement Markings	\$105,000	\$105,000
Traffic Signal System	\$185,000	\$200,000
Guardrail Maintenance	\$45,000	\$75,000
	<b>\$430,000</b>	<b>\$475,000</b>
<b>Totals</b>	<b>\$3,135,000</b>	<b>\$4,805,000</b>

The difference between the current available and proposed funding is \$1.67 million

## Roadway Maintenance Program Activities

**Street Resurfacing & Pavement Preservation** – The street network in Delaware is made up of 171 miles of Arterial, Collector and Local roadway. Based on the age and condition of Delaware’s overall street network, a sustainable pavement maintenance program requires an estimated \$3.1 million in annual funding. Each new mile of roadway constructed in Delaware increases the overall annual street resurfacing program cost by an estimated \$20,000 per year for local streets and \$28,000 for collector streets. The anticipated useful life of an asphalt pavement surface of any given street varies depending on pavement age, traffic volumes, and how well it has been preserved, and can generally be expressed in ranges from 10-15 years for arterials, 15–25 years for collectors, and 20–30 years for local residential streets. Delaying pavement maintenance work including preservation treatments and surface course replacement, ultimately results in shorter pavement life cycles, higher repair costs, and an overall increase in the cost of establishing a sustainable pavement maintenance program. Based on the current condition of Delaware’s local streets, additional funding is required to address all streets throughout the community.

The City road network has increased by 67% (68.6 miles) in the past 25 years while the cost of asphalt has more than doubled.

Annual Pavement Maintenance Costs (2020)							
Pavement Network				Life Cycle Costs			
	% City Responsibility	CL Miles	Area (SF)	AVG YRS	Area/Year	\$/SF	Annual Cost
Local Streets	100	94.31	12,890,946	25	515,638	2.93	1,510,819
Collector Streets	100	43.07	6,614,175	20	330,709	2.93	968,977
Arterials	100	10.13	2,218,158	15	147,877	3.25	480,601
SR/US Arterials	20	13.96	3,115,859	10	311,586	1.50	93,476
US23	0	9.77	3,489,002	10	N/A	N/A	0
Alleys	100	9.1	509,789	20	25,489	1.50	38,234
<b>Totals</b>		<b>171.24</b>	<b>28,328,140</b>		<b>1,331,299</b>		<b>3,092,106</b>

**Alley Maintenance** – The city has 78 public alleys with a combined length of 9.1 miles, many of which are in serious disrepair. Alleys provide primary, and in some cases, the only access for many resident’s properties, and as such, greater consideration to alley maintenance should be included as part of a sustainable pavement maintenance program. The last comprehensive alley improvements by the City were completed in the 1990’s. Alley maintenance by the City is currently limited to pothole repair and patching. Public alleys require resurfacing the same as the local residential streets, and as such should be repaved every 20-25 years.

**Pavement Maintenance & Repairs** – Annual pavement maintenance work performed by the Public Works Street crew includes pothole repairs, pavement patching, berm and edge repairs, crack filling and sealing, and pavement base repairs. Much of this work is completed by the Public Works Street crew, though contractors are used for some activities such as crack sealing and concrete repairs. Though the local and collector street network has expanded by over 70% in the last 25 years, the staffing level dedicated to the maintenance and repair of our public streets has remained stagnant. As such it becomes increasingly difficult to maintain the same level of service regarding street maintenance and repair efforts through the Street Division.

**Pedestrian & Bike Paths** - The City's inventory of pedestrian and bikeway trails continues to increase as new development and capital initiatives expand the public system. The current network totals just over 24 miles of pathway requiring ongoing maintenance, and ultimately pavement replacement. Like asphalt streets, paved paths require routine maintenance and eventually resurfacing. The majority of maintenance work over the past several years has been limited to surface sealing, crack sealing and edge repairs. Each additional mile of new bikeway constructed adds an estimated \$4,500 per year to the overall cost of network maintenance. Applying conservative estimates for the longevity of a properly maintained bikeway and assuming a pavement life cycle of 25 years, an annualized program cost of \$100,000 is estimated for the existing public pathway network.

**Public Parking Lots** – The City maintains 28 public parking lots including the downtown lots, public buildings, and park properties. The pavement requires both routine asphalt maintenance and eventual replacement as surfaces deteriorate. Parking areas are sealed and restriped every five years. Pavement replacement is anticipated every 20-30 years. Based on the current inventory of parking lots, the annualized maintenance cost is estimated at \$130,000.

The City maintains 24 miles of public pedestrian paths and bikeway, 28 public parking lots and 22 bridge structures

**Bridge Maintenance** – The City is responsible for the full maintenance and replacement responsibility of sixteen vehicular, and six multi-use path bridges. An additional eighteen State bridges within Delaware require minor maintenance by the City for items including pothole repair, crack sealing, crash barrier, striping, and signage. The City allocates \$50,000 per year to address minor bridge maintenance needs as identified through annual bridge inspections. Separate large bridge projects are identified through the 5-Year Capital Improvement Plan and include initiatives such as the Springfield Branch Trail Bridge over US23, the old clay mine rail tunnel under North Street, and the Delaware Run Bridge on Houk Road.

**Sidewalks & ADA Ramps** – The City completed the successful Safe Walks Program in 2017 capping a 10-year initiative to address residential sidewalk safety community wide. Nevertheless, sidewalks continue to deteriorate requiring ongoing maintenance. The City responds to customer driven complaint as a means to address sidewalk deficiencies throughout the community. In some cases, the repairs become the responsibility of the abutting property owner; However, the majority of

deficiencies are city responsibility and are associated with sidewalk sections heaving from the tree roots. \$150,000 has been allocated to address sidewalk repairs with an additional \$50,000 for ADA ramp repairs by the Public Works crew. An estimated 3,775 feet missing sidewalk has been identified through the last inventory with a construction cost estimated at \$280,000, though no funding is currently available to address this work.

**Curb Repairs** – Many of the City’s 174 miles of local, collector and arterials streets include both concrete and sandstone curb in various states of disrepair. The appropriate time to address curb repairs is when a street is being resurfaced, though limited funding prevents implementation of such an approach. As a result, the need to address deteriorating curb conditions continues to grow. Some communities include curb repair as part of their resurfacing program while others assess the cost of repairs to abutting property owners. Additional funding is required to include spot curb repair as part of the annual resurfacing efforts by the city.

**Snow & Ice Removal** – The Street Division is responsible for snow plowing operations throughout the winter season. This work requires on average, the application of 2,500 to 3,000 tons of road salt and 110,000 gallons of pretreatment brine solution during the winter season. Participation in the annual ODOT Road Salt Fill Program provides cost control and reliable material availability for the season. The use of salt brine allows for the more efficient, effective and reduced waste of road salt, maximizing level of service to the community while lowering environmental impacts. Because winter temperatures and precipitation vary widely in Ohio, the total materials and labor dedicated toward snow and ice management vary by year making it difficult to determine consistent budgetary needs.

**Streetlights** - The City currently maintains 2,312 streetlights, a number continually increasing with each new residential development. In addition to the cost of routine lamp, photo-eye, and ballast replacements, future cost increases are anticipated to address conduit and wiring repairs, and the re-painting of streetlight poles as the equipment ages. In 2018, the City implemented new streetlight standards requiring more energy efficient LED fixtures to be installed, replacing the former High-Pressure Sodium (HPS) lamps. The City is evaluating the cost to replace all remaining HPS lamps with LED fixtures. Such an initiative would be included as part of a future 5-Year Capital Improvement Plan and could cost upward of \$875,000.

The City maintains  
62 traffic signals,  
2,312 streetlights  
and 8,986 traffic  
control signs

**Street Signage** – The City maintains 8,986 regulatory, warning, directional and informational signs throughout the community. Retro-reflectivity standards apply to all regulatory and warning signage, of which we have a total of 3,765 (excluding parking). The City adopted the “expected sign life” methodology in 2014 to abide by the standards and has focused on regulatory and warning sign replacements on Expressway and Arterial roadways. The majority of sign maintenance and repair is performed by the Public Works Traffic crew.

**Pavement Markings** – Pavement markings on roadways have important functions in providing guidance and information to the road user, especially during reduced visibility conditions at night and/or rainy and foggy conditions. To maintain the appropriate level of highway safety, the City must maintain pavement markings by restriping arterials every 2-4 years, collectors every 6 years, and

local streets every 10 years. The majority of 'short line work' i.e. crosswalks, stop bars and pavement symbols is managed by the Traffic crew, while 'long line work' is managed through state bid contractors who has the equipment to perform the long line striping.

**Traffic Signals & Equipment** – The City maintains 62 traffic signals and 24 school zone flasher units, with two additional signals anticipated over the next two years. The total number of traffic signals and school zone flashers has doubled since the early 1990's, not including the more recent installation of RRFB's and speed feedback signs. The Traffic Division implemented a maintenance program in 2015 which includes routine maintenance/replacement of signal components. This program has greatly reduced the number of unexpected call-outs for emergency signal malfunctions; however, there is still need for additional funding to replace aged equipment.

The City maintains seven rectangular rapid flashing beacons (RRFB's) installations throughout the community and has plans to install three in 2020, and an additional three in future years at a cost of \$15,000 per pair. Study and local results support that these devices increase motorist awareness of the presence of pedestrians in crossings and as a result, a reduction in the number of accidents and injuries. The use of dynamic speed feedback signs (DSFB) offer a means to appease neighborhood concerns over speeding through the provision of visual enforcement measures, and for a relatively modest cost of \$7,000 per installation. Eligibility criteria was developed which yielded 18 identified locations for potential installation with the first permanent installations planned for 2020.

The Traffic Division is responsible for addressing maintenance of traffic operations for the 40 planned special events and approximately 10,000 utility locate requests received annually for all underground street lighting, traffic signal lines, and fiber cable owned by the City. City owned utilities must be identified and marked within 48-hours of a request being submitted. In Delaware, this activity requires 50% of a traffic technician's time on an annual basis.

**Guardrail Maintenance** – The City currently maintains an inventory of 13.6 miles of roadside barrier in various locations throughout the City. Over 85% of all roadside barrier is located on US23, US42, US36, and SR37. \$50,000 is budgeted annually for the maintenance of existing guardrail, excluding accident related guardrail repairs, generally covered through insurance claim reimbursements. The City has identified ten locations requiring an estimated 4,200 LF of new guardrail to address highway safety. These installations will protect traffic at locations that include sharp curves, steep embankments and bodies of water. The cost to complete the installations is estimated at \$130,000 and will be included in future 5-Year Capital Improvement Plans.

# The Facts about Road Maintenance in Delaware

## Additional Funding Would Help

The city needs an additional \$1.6 million in annual funding to fully support a sustainable street maintenance program

## The City Road Network has Increased by 69%

In 1995 the City maintained 102 miles of roadway. In just 25 years the total miles of roadway the City maintains has increased to 171 miles

## Is the New Gas Tax Helping?

The State enacted an additional Motor Fuels Sales Tax "Gas Tax" in 2019 providing the City with an additional \$758,000 per year for our local street maintenance program, and helping close a \$2.5 million gap in annual roadway maintenance

## Where Does the Money Go?

- Street paving
- Potholes & Patching
- Snow Plowing
- Crack sealing
- Bikeways
- Public Parking Lots
- Traffic Signals
- Street lights
- Pavement Striping
- Guardrail
- Street signs

## Your Tax Dollars Don't Go as Far

In 1995 the cost of asphalt paving was just under \$30.00 per ton. Today that figure has increased over 300% to \$90 per ton for street paving; and the cost today to pave a mile of residential street can exceed \$300,000

## What do we Maintain?

US 23	10 miles
US & State Routes	14 miles
Local Arterials	10 miles
Collector Streets	43 miles
Local streets	94 miles
Alleys	9 miles

## Street Surfaces Wears Out

Residential streets need to be repaved every 20 to 30 years depending on its condition and how well it's been maintained.

## We Need to Pave More Residential Streets in Delaware

There are currently over 100 residential streets in Delaware in need of paving at an estimated cost of \$8 million.

**Local Street Resurfacing Program (DRAFT)  
'Poor' & 'Very Poor' Rated Streets**

Revised January 22, 2020

<b>Street</b>	<b>Length(ft)</b>	<b>CL Miles</b>	<b>Area SF</b>	<b>Cost</b>
ABLEMARLE CIRLE	927	0.18	22,257	\$72,334
ASH ST	930	0.18	22,329	\$72,571
ASPEN CT	859	0.16	20,621	\$67,017
BERNARD AVE	985	0.19	19,223	\$62,474
BOULDER DR	1,320	0.25	42,255	\$137,329
BOWTOWN RD	2,897	0.55	52,138	\$169,448
BRANCH ST	748	0.14	11,963	\$38,880
BRIDGEPORT WAY	1,672	0.32	40,123	\$130,398
CALM ST	769	0.15	12,311	\$40,009
CAPITAL CT	202	0.04	5,241	\$17,035
CARLISLE AVE	294	0.06	4,710	\$15,308
CASTLETON WAY	650	0.12	16,239	\$52,777
CATHERINE ST	518	0.10	15,529	\$50,468
CHAMBERLAIN ST	684	0.13	14,366	\$46,689
CHAMBERLAIN ST	592	0.11	9,464	\$30,758
CHANNING ST	1,471	0.28	32,359	\$105,166
CHATHAM LN	174	0.03	4,527	\$14,713
CHATHAM LN E	299	0.06	7,769	\$25,251
CHATHAM LN W	326	0.06	8,466	\$27,515
COBBLESTONE DR	1,408	0.27	45,066	\$146,465
COLOMET DR	1,622	0.31	40,543	\$131,763
COURT ST	509	0.10	9,157	\$29,759
DARLINGTON RD	416	0.08	8,311	\$27,009
DAVIDSON LN	638	0.12	30,646	\$99,601
DOGWOOD DR	930	0.18	22,329	\$72,569
EAST BRANCH RD	384	0.07	9,972	\$32,409
EAST POINT XING	1,291	0.24	27,112	\$88,113
ELIZABETH ST	996	0.19	33,864	\$110,058
FAIR AVE	2,218	0.42	46,001	\$149,502
FIRESTONE DR	1,617	0.31	42,051	\$136,664
FLINTWOOD DR	735	0.14	19,114	\$62,122
FOLEY ST	255	0.05	5,103	\$16,585
FOREST AVE	1,773	0.34	49,642	\$161,335
GIBRALTAR CT	210	0.04	5,462	\$17,751
GOLD DUST DR	156	0.03	4,061	\$13,197

GRAND CIRCUIT BLVD	974	0.18	31,161	\$101,274
GRANITE CT	345	0.07	8,969	\$29,148
GRISWOLD ST	291	0.06	8,733	\$28,384
HALSTEAD CT	154	0.03	3,707	\$12,048
HAMMOND ST	362	0.07	6,523	\$21,201
HAMMOND ST	173	0.03	3,106	\$10,096
HAVENS RD	757	0.14	15,145	\$49,222
HAYES ST	772	0.15	16,209	\$52,679
HEARTHSTONE DR	2,886	0.55	75,034	\$243,861
HICKORY LN	1,351	0.26	24,314	\$79,019
HILLSIDE DR	2,399	0.45	41,451	\$134,717
HILLS-MILLER RD	796	0.15	17,513	\$56,917
KENSINGTON DR	2,452	0.46	61,289	\$199,191
LANDEMERE CT	241	0.05	5,788	\$18,812
LEWIS ST	483	0.09	14,481	\$47,062
LITTLE ST	486	0.09	14,080	\$45,759
LUSK LN	558	0.11	6,143	\$19,966
MAPLE STREET	812	0.15	17,000	\$55,250
MASON AVE	1,060	0.20	21,202	\$68,907
MINERAL CT	207	0.04	5,386	\$17,505
N FRANKLIN ST	4,102	0.78	126,263	\$410,354
N WASHINGTON ST	3,466	0.66	92,551	\$300,792
N WASHINGTON ST	1,614	0.31	38,634	\$125,562
NEIL ST	717	0.14	10,044	\$32,642
NOBLE ST	1,455	0.28	33,353	\$108,396
NORTH ST	1,386	0.26	30,482	\$99,065
NORTHHAMPTON CT	449	0.09	10,786	\$35,053
NUTTER FARMS LN	1,709	0.32	61,510	\$199,906
OAK HILL AVE	2,518	0.48	63,132	\$205,180
OHIO ST	450	0.09	7,647	\$24,854
OHIOHEALTH BLVD	786	0.15	37,706	\$122,544
ORCHARD LN	610	0.12	10,976	\$35,673
OWEN-FRALEY RD	2,295	0.43	39,010	\$126,782
PADDOCK CT	141	0.03	3,532	\$11,479
PAGE CT	236	0.04	6,130	\$19,922
PARK LN	639	0.12	11,493	\$37,353
PARKER ST	537	0.10	9,664	\$31,407
PENICK AVE	1,053	0.20	33,701	\$109,528
PERKINS ST	599	0.11	10,176	\$33,071
PICKAWAY ST	349	0.07	6,289	\$20,441
PINOAK CT	390	0.07	9,361	\$30,423
POTTER ST	1,635	0.31	39,388	\$128,010
PROVIDENCE LN	1,549	0.29	39,824	\$129,428
REID ST	1,110	0.21	19,973	\$64,914
RENNER ST	1,041	0.20	14,568	\$47,345
ROCK CREEK DR	2,840	0.54	90,879	\$295,356
ROSS ST	617	0.12	13,565	\$44,087

SHELDON ST	717	0.14	11,479	\$37,307
SMITH ST	439	0.08	7,896	\$25,661
SOUTH ST	658	0.12	11,190	\$36,368
SPRING ST	1,470	0.28	51,434	\$167,161
STILSON ST	728	0.14	11,642	\$37,837
SUNBURY RD	129	0.02	3,861	\$12,549
SUPREME CT	442	0.08	11,498	\$37,370
SYCAMORE LN	911	0.17	33,664	\$109,408
TARPY'S LN	796	0.15	14,335	\$46,590
TAYLOR AVE	429	0.08	13,730	\$44,621
THORNAPPLE TRL	565	0.11	13,551	\$44,039
TODD ST	177	0.03	3,177	\$10,327
TODD ST EXT.	683	0.13	12,300	\$39,976
TOLEDO ST	576	0.11	13,834	\$44,960
VANDEMAN AVE	735	0.14	12,497	\$40,615
VERNON AVE	4,013	0.76	45,000	\$146,250
VINE ST	873	0.17	12,218	\$39,709
W FOUNTAIN AVE	1,735	0.33	48,594	\$157,930
W HULL DR	351	0.07	11,233	\$36,507
W LINCOLN AVE	368	0.07	7,368	\$23,946
WALNUT ST	156	0.03	1,562	\$5,076
WEBB ST	600	0.11	12,000	\$38,999
WILLOW ST	449	0.09	8,535	\$27,737
WOODLAND AVE	675	0.13	13,498	\$43,869
YORK AVE	723	0.14	17,361	\$56,424
YORKSHIRE RD	907	0.17	22,668	\$73,670
		<b>19.63</b>	<b>2,454,317</b>	<b>\$7,976,531</b>

#### Notes:

Included streets have condition ratings as 'Poor' or 'Very Poor' per the 2018 pavement condition evaluation.

Average cost to repave streets in "Poor" to "Very Poor" is \$400,000 per mile including anticipated base repairs, shoulder repairs, areas of full depth replacement, pavement planing, use of SAMI, and pavement overlay.

May 24, 2011

Chairman Widener, Ranking Minority Member Skindell and members of the Finance Committee.

My name is Tom Homan, City Manager for the City of Delaware. I have been with the city for 12 years and have served at the municipal level for nearly 28 years. I also am co-chair of the Mid-Ohio Regional Planning Commission Regional Policy Roundtable.

To begin, on behalf of the City of Delaware, I want to make the following point clear: We are not going to waste the committee's time by bemoaning that fact that the Local Government Fund is going to be reduced in HB 153. We recognize the enormous challenges facing our state – and our obligation to assist.

With that as a starting point, let me quickly tell you a little about where I live. Delaware has just over 34,000 residents and celebrated its 200th birthday three years ago. We are full-service, county-seat municipality with all of the urban complexity, opportunity and challenges that come with over two centuries of existence. Located within the Columbus metro area, we are neither a first-ring suburb nor a prototypical suburban community. Rather, the City of Delaware is a separate and distinct locale, with distinct challenges apart from other more prototypical suburban locales.

Infrastructure, both public and private, is in some cases as old as the City itself and, while the quality of life is high, the City has significantly more low- and moderate-income households; as well as a higher percentage in poverty than surrounding jurisdictions. Highlighting this urban core versus

surrounding area distinction, individuals are nearly twice as likely to be in poverty if they live in the City of Delaware as opposed to living elsewhere in Delaware County.

As I said earlier, we recognize the shared sacrifice currently required. This is not a new concept for our City, amid retrenchment and reductions. We've all heard the phrase, "doing more with less." In Delaware, we're "doing more with creativity."

Reflecting that, the City of Delaware and Delaware County last year consolidated all 9-1-1 services after a decade of hard work. Let me give you one more current example of our continuing efforts to look at new and different ways of doing things:

Delaware and the YMCA of Central Ohio are exploring the possibility of having the YMCA oversee all of our city's recreation programming. This public-private partnership would be a major change in how a key quality of life service is operated and delivered, but our times call for such big ideas.

City staff always works creatively to guide the City forward, and we anticipated cuts to the Local Government Fund. But HB 153, as proposed, goes even deeper than expected, with a 50-percent cut – 25 percent in 2012 and another 25 percent in 2013. In Delaware, this would mean a loss of \$573,000 a year; coupled with discontinuation of the personal property tax reimbursement, the City would be put into the position of losing close to \$750,000, annually.

Loss of funding in this amount cannot be entirely offset through spending reductions and will impact our ability to deliver core services. The one I'd like to focus on in the next few minutes is the City's road infrastructure and its maintenance.

As a county seat, Delaware is located at the crossroads for two U.S. highways and three state routes. Together, these five represent nearly 80 lane miles, one quarter of our City's total throughway miles.

The City is responsible for 100 percent of the maintenance of these routes, including base repair, striping, signage, crack seal, potholes, snow and ice removal, mowing and guard rail repair. For resurfacing, the City is responsible for 20 percent of costs; and over the last four years we have spent nearly \$600,000 in resurfacing all or parts of the five routes.

Despite this outlay, our resurfacing program falls further behind because costs have escalated and revenues have not kept pace. The industry norm is a 20-year resurfacing cycle; with our current outlay, we face a 50-year cycle. Resurfacing costs, more than most other construction costs, have increased significantly over the last decade – the cost of standard mill/fill resurfacing has nearly doubled from 46 cents a square foot in 2001 to 90 cents in 2011 – while revenue from gas taxes and license fees has remained flat.

We currently are working with ODOT District 6 on resurfacing U.S. 36 in our City. The estimated cost is \$1.4 million. Using the state's 80/20 program, our resurfacing share will be approximately \$280,000. But the base repair cost, in which the state does not participate, will be \$400,000. This one

project, alone, could end up costing the city \$680,000 – some of which would have been supported by the Local Government Fund.

The result: Delaware will be unable to advance a single local resurfacing program in 2011 or 2012, as the costs associated with resurfacing U.S. 36 will require the majority of available funding.

Along with the Local Government Fund, a revenue source on which we depend to pay resurfacing costs comes from the motor vehicle license tax. As a municipality, we collect \$10 for license plates. This fee is capped at \$10 and last was adjusted, I believe, 24 years ago in 1987. I am requesting consideration of allowing local jurisdictions the ability to adjust this permissive fee to help fund resurfacing projects.

Additionally, current law requires cities to maintain all state routes that pass through their jurisdiction. This is a significant expense. I am requesting the following on the behalf of local governments to offer some immediate relief to local budgets:

That ODOT assume a *portion* of the cost to maintain state routes, similar to what is done for resurfacing. An ODOT-commissioned study released this week on just this subject said a *total* state takeover of maintenance wasn't feasible, primarily because of cost involved. My request is that this study serve as a starting point, not the final word, and that a formula for a more-equitable maintenance cost-share – perhaps based on total vehicular traffic – be explored.

This would be a means to ensure equality among jurisdictions throughout the state and not unfairly burden cities when, for example, compared to townships, which are not required to maintain state routes, and other cities where traffic volume is less and maintenance costs are not as great.

Delaware supports the Governor's Strategies for Local Government Reform, in particular Mandate Relief and Shared Service and Collaboration.

Mandate Relief, like mandates themselves, is well intentioned, but often misses the mark of actually providing relief, due in part to the complexity of the mandate itself. Here is one example: The state's environmental MS4 (Municipal Separate Storm Water) Program. It is federally mandated, but administered and enforced by Ohio EPA. I would suggest that local government be at the table with the administration and legislature to craft and implement mutually agreeable and reasonable measures.

As was mentioned at the outset, Delaware already is embracing shared services – in the area of 911 communications and potentially in other areas of our recreation programming operation. I support providing local governments incentives to pursue shared services. I do, however, urge caution when it comes to pooled health insurance. While this can work, it should not be mandated. Delaware has operated an ASO – Administrative Services Only – health insurance program for more than 20 years and consistently the percentage of cost increase has fallen well below the national average. I believe that Delaware's success in controlling our health insurance dollars is due to local control of the plan design. We offer wellness incentives and annual diagnostic tests that promote healthier living

behavior which, in turn, results in a more productive workforce and lower health insurance costs across the board.

Finally, I leave you with this simple but very important question: Is this proposed cut to the Local Government Fund to be forever? We are willing to share in the sacrifice; will we also share in the recovery? This was the intention of this longstanding state-local funding partnership when it was created in the 1930s at the height of the Great Depression and reinforced when the state income tax was put into place in the early 1970s.

I thank you for this opportunity to provide testimony, and ask that you carefully consider House Bill 153 and its considerable impact on your local communities.

I am happy to answer any questions.

**Tom Homan  
City Manager, City of Delaware**

**Testimony to Senate Transportation, Commerce and  
Workforce Committee March 14, 2017**

Chair LaRose and members of the Senate Transportation, Commerce and Workforce Committee, thank you for the opportunity to speak to you today about how Ohio roadways and infrastructure can be better funded – especially as it relates to local governments.

As the City of Delaware's representative on the board of the Mid-Ohio Regional Planning Commission, I chaired a task force that over six years examined local government's use of license plate fees as a means to take care of our roads and bridges, and the dedicated revenue stream these fees provide our region for those limited purposes. The task force recommended that permissive authority be granted to three entities - cities, townships and counties - by \$5 dollars each.

The license plate fee is paid when purchasing or renewing your license plate with the BMV. It is optional and can be levied by counties, municipalities and townships on vehicle registrations.

Revenue from the fee can only be used for the purpose of planning, constructing, improving, maintaining, and repairing public roads, highways, streets and bridges.

The total combined fee by all local governments (county, township or municipality) cannot exceed \$20. Unfortunately this has not been increased since 1987 – 30 years ago. Clearly, the revenue generated from license plate fees is not an “end-all, be-all” of local government funding. But at a time when costs to maintain these roads is at an all-time high, license fees are one more tool in our tool box to alleviate the strain on our funding.

We maintain that imposing license plate fees should remain an option – not a mandate – for local governments, but that the capped fee amount of \$20 should be increased by a modest amount in order to meet today’s needs and be brought up to inflation.

As this committee considers granting Ohio counties an additional \$5 permissive authority, we request that equity be extended across all boundaries, and that Ohio municipalities and townships receive the same consideration. Over the next 25 years, the estimated costs of maintaining locally owned roads and bridges are approximately \$41 billion.<sup>1</sup> The state has recommended that Ohio’s local agencies, and even metropolitan planning organizations, will need to employ an array of strategies to close the projected funding gap to address transportation needs.<sup>2</sup> It only makes sense that the state explores giving more flexibility to local municipalities to use the optional license fee as one of many tools. This option should be included as one of the Senate Transportation, Commerce and Workforce Committee’s ultimate recommendations.

In the City of Delaware, the cost of construction materials has experienced substantial increases over the past 15 years. A ton of asphalt cost \$22 in 2000; in 2016, it costs \$72 – an increase of 227 percent. As a result, the purchasing power of all funds available for transportation improvements, including license fees, is now significantly reduced.

In addition, the demands on a city like Delaware to maintain state and federal highway links within our jurisdiction hinder our ability to adequately maintain our local system without additional funding. My city includes 49 lane miles of federal and state highway to maintain. This is a full 15 percent of our local road network, requiring \$1.25 million in resurfacing and maintenance dollars. The remaining 85 percent, or 264 lane miles of local streets, must be second in priority.

The fee you are being asked to consider is not mandatory, but a permissive fee. As currently occurs, local governments will vary on how they utilize this option. For this reason, granting additional permissive authority would not be an automatic increase across the state. It is simply one more option for local communities.

We look forward to a continued conversation on license plate fees as a viable option to increase transportation funding.

Thank you for this opportunity. I am happy to answer your questions.

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<sup>1</sup> Source: *Access Ohio 2040, Ohio Dept. of Transportation; May 2014, at 11.*

<sup>2</sup> Source: *Access Ohio 2040, Ohio Dept. of Transportation; May 2014, at 11.*



## FACT SHEET

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AGENDA ITEM NO: 13

DATE: 01/27/2020

ORDINANCE NO: 20-02

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: NO

---

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

---

**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING A COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN FOR AN EXPANSION TO CHARTER NEX AT 1188 SOUTH HOUK ROAD ON PROPERTY ZONED M-2 (GENERAL MANUFACTURING DISTRICT) WHICH ENCOMPASSES APPROXIMATELY 21.783 ACRES.

**BACKGROUND:**

See attached staff report.

**REASON WHY LEGISLATION IS NEEDED:**

To achieve compliance with Section 1129.05 Final Development Plan requirements of the zoning code.

**COMMITTEE RECOMMENDATION:**

Planning Commission recommended approval by a vote of 7-0 on January 15, 2020.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval

**ATTACHMENT(S)**

See attached

ORDINANCE NO. 20-02

AN ORDINANCE APPROVING A COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN FOR AN EXPANSION TO CHARTER NEX AT 1188 SOUTH HOUK ROAD ON PROPERTY ZONED M-2 (GENERAL MANUFACTURING DISTRICT) WHICH ENCOMPASSES APPROXIMATELY 21.783 ACRES.

WHEREAS, the Planning Commission at its meeting of January 15, 2020 recommended approval of a Combined Preliminary and Final Development Plan for an expansion to Charter Nex at 1188 South Houk Road on property zoned M-2 (General Manufacturing District) which encompasses approximately 21.783 acres (2019-2796).

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Combined Preliminary and Final Development Plan for Plan for an expansion to Charter Nex at 1188 South Houk Road on property zoned M-2 (General Manufacturing District) which encompasses approximately 21.783 acres, is hereby confirmed, approved, and accepted with the following conditions that:

1. The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department
2. The site plan shall comply with all fire department requirements.
3. The required amount of parking spaces shall be 53 with 181 parking spaces deferred and shall be constructed by the owner if required by the City.
4. The proposed building expansion materials and colors shall match the existing building as much as practical.
5. A building permit shall not be issued until a copy of the permanent and temporary FAA determination is provided to the City and any conditions required by the FAA are met.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS\_\_\_NAYS\_\_\_  
ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2020

YEAS\_\_\_NAYS\_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR

**APPLICANT/OWNER**

Dublin Building Systems  
6233 Avery Road  
Dublin, Ohio 43016.

**REQUEST**

2019-2796: A request by Dublin Building Systems for approval of a Combined Preliminary and Final Development Plan for an expansion to Charter Nex located at 1188 South Houk Road on property zoned M-2 (General Manufacturing District) which encompasses approximately 21.783 acres.

**PROPERTY LOCATION & DESCRIPTION**

The subject property is located on the west side of Houk Road just north of the railroad tracks and about a quarter mile north of Pittsburgh Drive. There is an existing 65,000 square foot manufacturing/warehouse/office building on the site that was constructed in 1997. The zoning of the property is M-2 (General Manufacturing District) with the same zoning to the south, east and west of the site. The zoning to the north is M-1 (Light Manufacturing District) along South Houk Road while property adjacent to the site in the rear of the subject site is in Delaware Township.

**BACKGROUND**

In 1997, Optimum Plastics (purchased by Charter Nex in 2019) constructed a 65,000 square foot building with 39 parking spaces and a detention basin along South Houk Road. In 2011 (Ordinance 11-101), the owner constructed an approximate 31,500 square foot addition to the rear of the existing building with three loading docks accessed by a new service road on the north side of the building. A second detention basin was constructed just north of the northern most entrance to the site. Now the owner is proposing a 30,000 square foot addition to the rear of the building with two loading docks, one overhead door and one-man door on the north elevation. Also, a 2,600 square foot wood pallet shed would be located on the north elevation on the existing building and a 1,050 square foot addition to the cafeteria located on the southeastern portion of the building.

---

**STAFF ANALYSIS**

- **ZONING:** The subject property is currently zoned M-2 (General Manufacturing District) which would allow the current use and the proposed expansion. In addition, the subject site is located within the Airport Overlay District and would have to achieve compliance with Chapter 1192 and all FAA requirements. A Combined Preliminary and Final Development Plan would need to be approved by the Planning Commission and City Council.
- **ENGINEERING:** The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department
- **ACCESS:** The subject site has two existing access points from South Houk Road. There would be an internal access drive around the entire building with the north, east and approximately half of the south elevation having a paved surface around them while the remaining portion along the south elevation and west elevation would have a gravel surface which was approved by the fire department. This is consistent with the existing condition.
- **SITE CONFIGURATION:** The owner is proposing three specific expansions to the existing 96,500 square foot building. Phase 1 proposed in 2020 would include an approximate 1,050 cafeteria expansion to the southeastern portion of the building, an approximate 2,600 square wood pallet shed along the northern elevation of the existing building, the addition of 13 parking spaces along the southside of the northern access drive and interior renovations. Phase 2 in 2021 would include the 30,000 square foot addition to the western portion of the building. The existing detention basins north and south of the main entrance drive would accommodate the proposed building expansions.
- **PARKING:** The proposed expansion would yield a building of 126,500 square feet that would typically require 234 parking spaces for the office (24 parking spaces), warehouse (60 parking spaces) and

manufacturing (150 parking spaces) multi-use building. The owner indicated with employees in different shifts, the subject building would require 53 parking spaces. As mentioned above, this would require the construction of 13 parking spaces on the southside of the northern access drive. The owner has identified where the other 181 parking spaces would be located if they are required to be constructed along the northern property line and west of the main building expansion. Therefore, staff would support deferring 181 parking spaces (they are proposing to defer 182 parking spaces per the site plan) because of the type of use and current/future employee and client usage. Additionally, the deferment of the parking spaces reduces the impervious surface area thereby reducing storm water runoff and creating a more environmentally friendly development. If the City determines for any reason that the deferred parking is needed, the applicant shall be required to timely construct such as may be ordered by the City. Currently there has not been any issues with the existing parking situation for this land use.

- **DESIGN:** The proposed elevations would be similar to the existing building. The north and south elevations would have 8-inch precast concrete wall panels around the loading docks and overhead doors that extend approximately 26.5 feet high with metal wall panels and a metal standing seam roof completing the approximate 58-foot-high building. The west (rear) elevation would consist of metal wall panels with a metal standing seam roof. The color and materials would match the existing elevation as much as practical.
- **LANDSCAPING:** No additional landscaping is required or provided in the proposed expansion.
- **LIGHTING:** No additional light poles are proposed on the site, but the building addition would have wall lights per the building code. Any future parking lot expansion would require the appropriate number of light poles per the zoning code.
- **AIRPORT OVERLAY DISTRICT:** The owner would have to receive the “Determination of No Hazard to Air Navigation” approval from the FAA. In addition, the owner would have to get a temporary determination letter to allow a crane, etc. during construction. Therefore, any approval must be conditioned that a building permit will not be issued until a copy of the permanent and temporary FAA determination is provided to the City and any conditions required by the FAA are met.

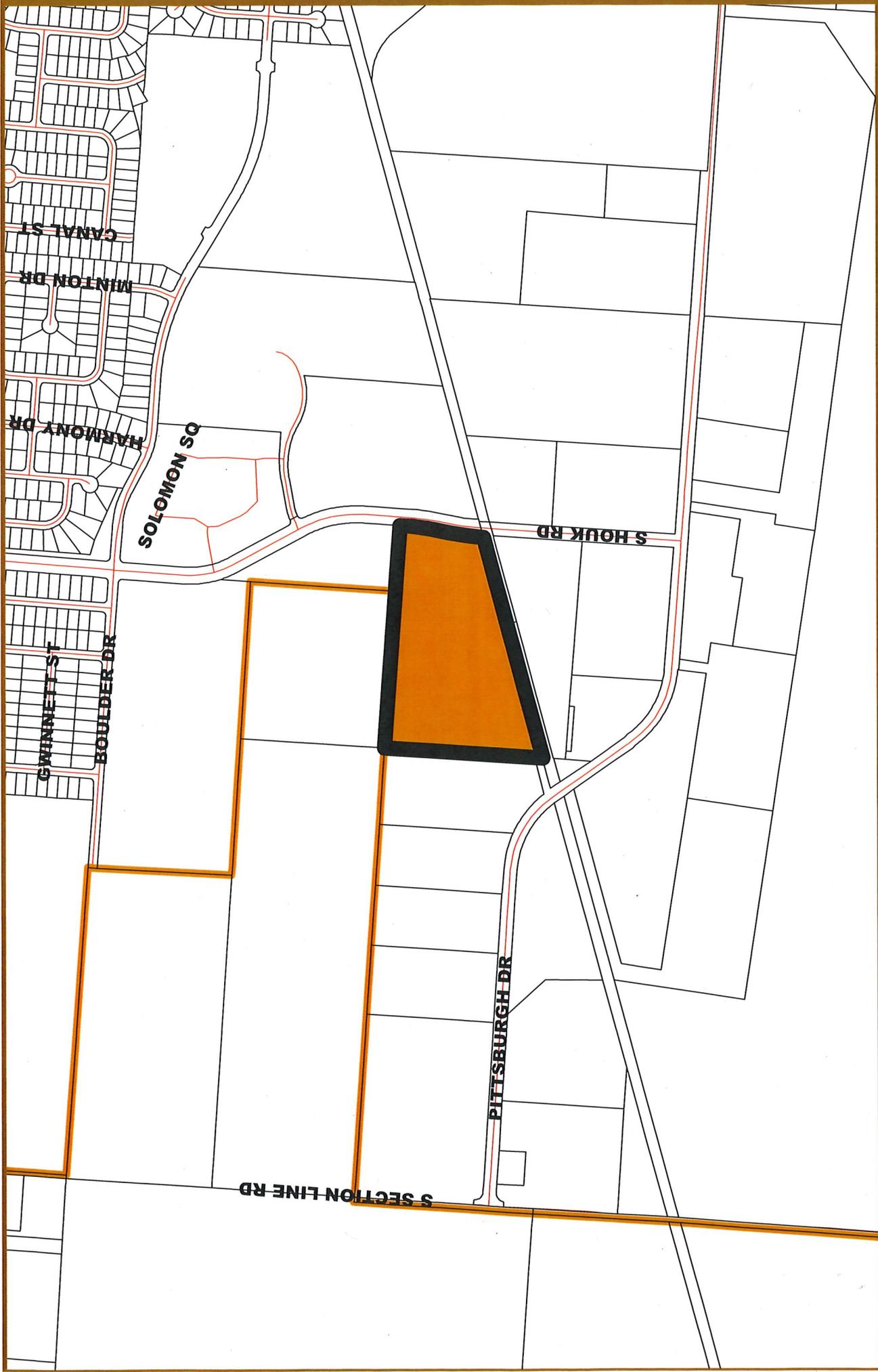
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**STAFF RECOMMENDATION – COMBINED PRELIMINARY & FINAL DEVELOPMENT PLAN (2019-2796)**

Staff recommends approval of a request by Dublin Building Systems for a Combined Preliminary and Final Development Plan for an expansion to Charter Nex located at 1188 South Houk Road on property zoned M-2 (General Manufacturing District) which encompasses approximately 21.783 acres, with the following conditions that,

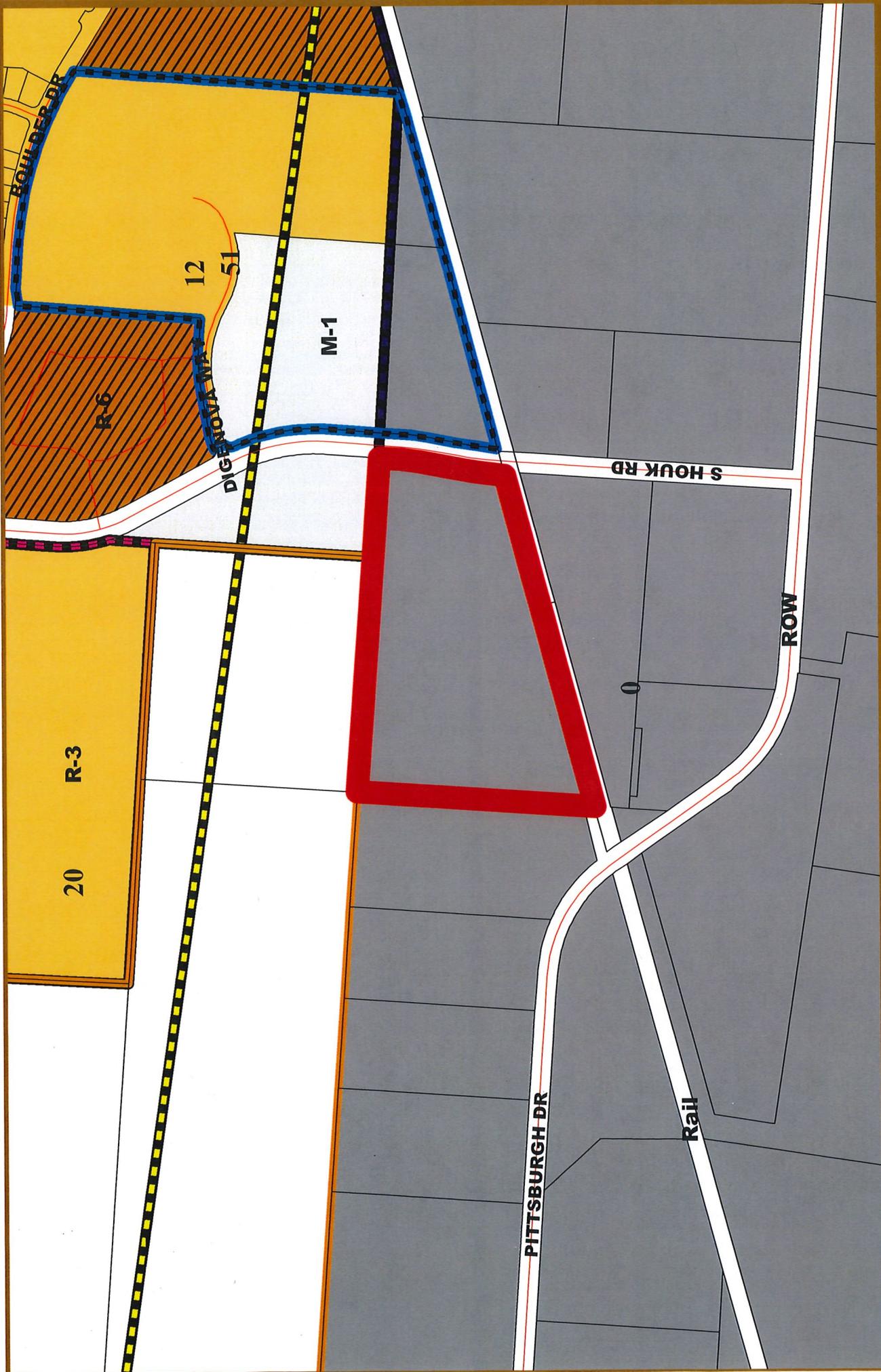
1. The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department
2. The site plan shall comply with all fire department requirements.
3. The required amount of parking spaces shall be 53 with 181 parking spaces deferred and shall be constructed by the owner if required by the City.
4. The proposed building expansion materials and colors shall match the existing building as much as practical.
5. A building permit shall not be issued until a copy of the permanent and temporary FAA determination is provided to the City and any conditions required by the FAA are met.





2019-2796  
 Combined Preliminary and Final Development Plan  
 Charter Nex - 1188 South Houk Road  
 Location Map





2019-2796  
 Combined Preliminary and Final Development Plan  
 Charter Nex - 1188 South Houk Road  
 Zoning Map





2019-2796  
Combined Preliminary and Final Development Plan  
Charter Nex - 1188 South Houk Road  
Aerial (2016) Map









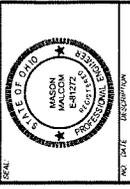


**THE KLEINGERS GROUP**  
 CIVIL ENGINEERING  
 LANDSCAPE ARCHITECTURE  
 www.kleingers.com  
 11500 W. STATE ST., SUITE 100  
 COLUMBUS, OH 43227  
 614.520.1211

SCALE: 1" = 10'-0"

DATE: 2019.12.04

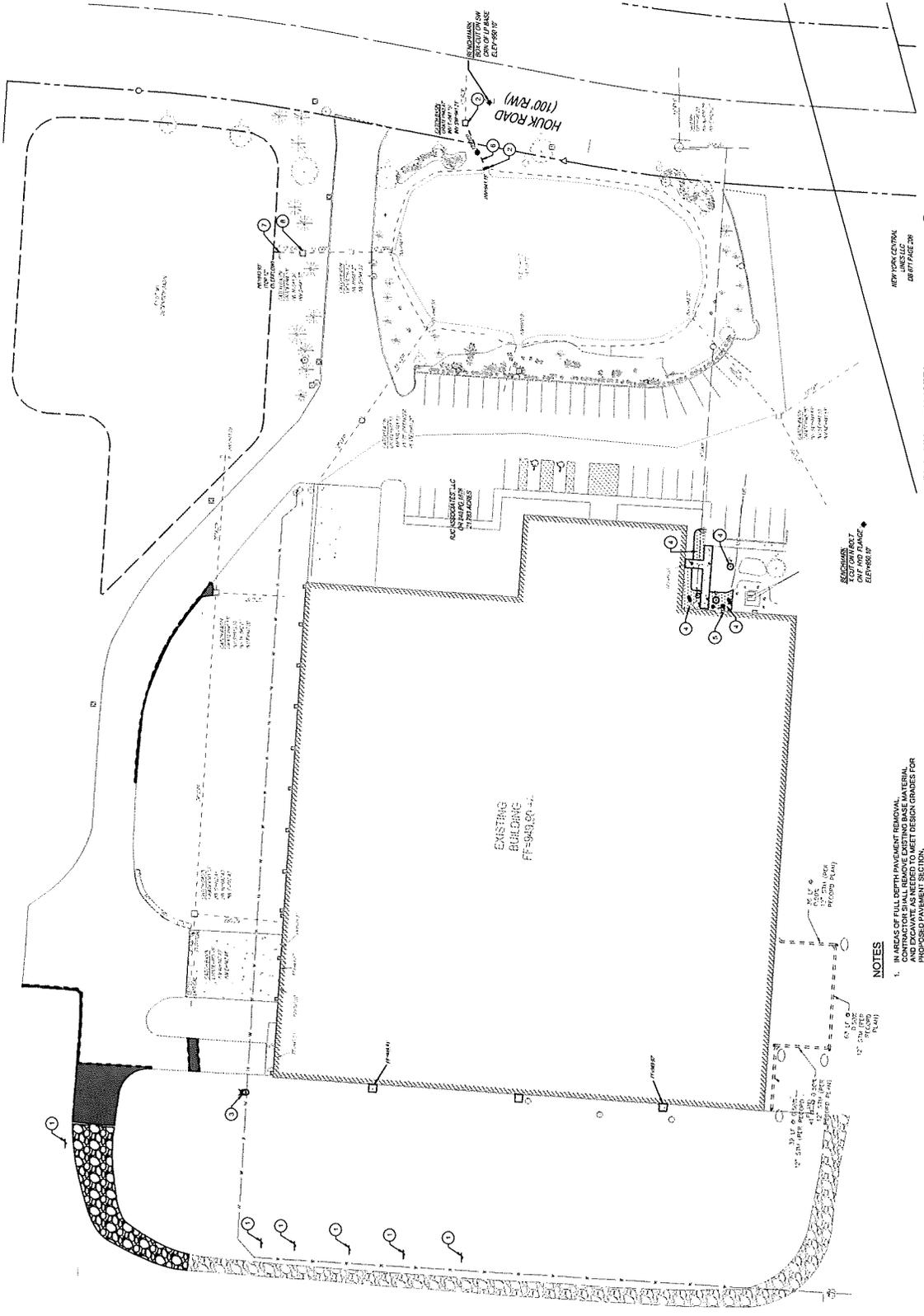
NO. DATE DESCRIPTION



**CHARTER NEX  
 2 BAY ADDITION**  
 11111 HOOK ROAD  
 DELAWARE, OHIO

PROJECT NO: 10276.003  
 DATE: 2019.12.04  
 SCALE: 1" = 10'-0"  
 SHEET NO: 60

**DEMOLITION PLAN**  
 SHEET 1/2  
**C200**



- DEMOLITION KEYNOTES**
- 1 RELOCATE SIGN
  - 2 REMOVE STORM STRUCTURE
  - 3 RELOCATE FIRE HYDRANT AND WATER VALVE AS SHOWN ON SHEET C201
  - 4 REMOVE LANDSCAPING BED, BUSHES, AND SHRUBS IN VICINITY OF PROPOSED BUILDING ADDITION SHOWN ON SHEET C200.
  - 5 REMOVE EXISTING CONCRETE DRIVEWAY AND DRIVEWAY ADJACENT WITH PROPOSED BUILDING ADDITION SHOWN ON SHEET C201.

- DEMOLITION LEGEND**
- REMOVE ASPHALT
  - REMOVE CONCRETE
  - REMOVE GRAVEL
  - SAWCUT

- NOTES**
1. IN AREAS OF FULL DEPTH PAVEMENT REMOVAL, CONTRACTOR SHALL REMOVE EXISTING BASE MATERIAL AND DIGGING AS NEEDED TO MEET DESIGN GRADES FOR PROPOSED PAVEMENT SECTION.
  2. CHECK SEAL ALL SAWCUT ASPHALT PAVEMENT WITH COC ITEM 402, TYPE 1.
  3. THE CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT TO PROVIDE A SMOOTH VERTICAL FULL DEPTH BUTT JOINT. PROPOSED PAVEMENT, CONTRACTOR SHALL LOCATE SOUND PAVEMENT EDGE AND CUT AND TRIM PAVEMENT TO FINISH LEVEL.

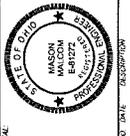
- DEMOLITION STORM PIPE**
- 1 REMOVE 12" STORM RISER TO HEADWALL
  - 2 REMOVE 12" STORM RISER TO BASE CATCH BASIN ELEVATION AS SHOWN ON SHEET C200.

REMOVE STORM PIPE  
 REMOVE 12" STORM RISER TO HEADWALL  
 REMOVE 12" STORM RISER TO BASE CATCH BASIN ELEVATION AS SHOWN ON SHEET C200.





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 300 W. WASHINGTON ST.  
 COLUMBUS, OH 43260  
 614.292.8111



SEAL

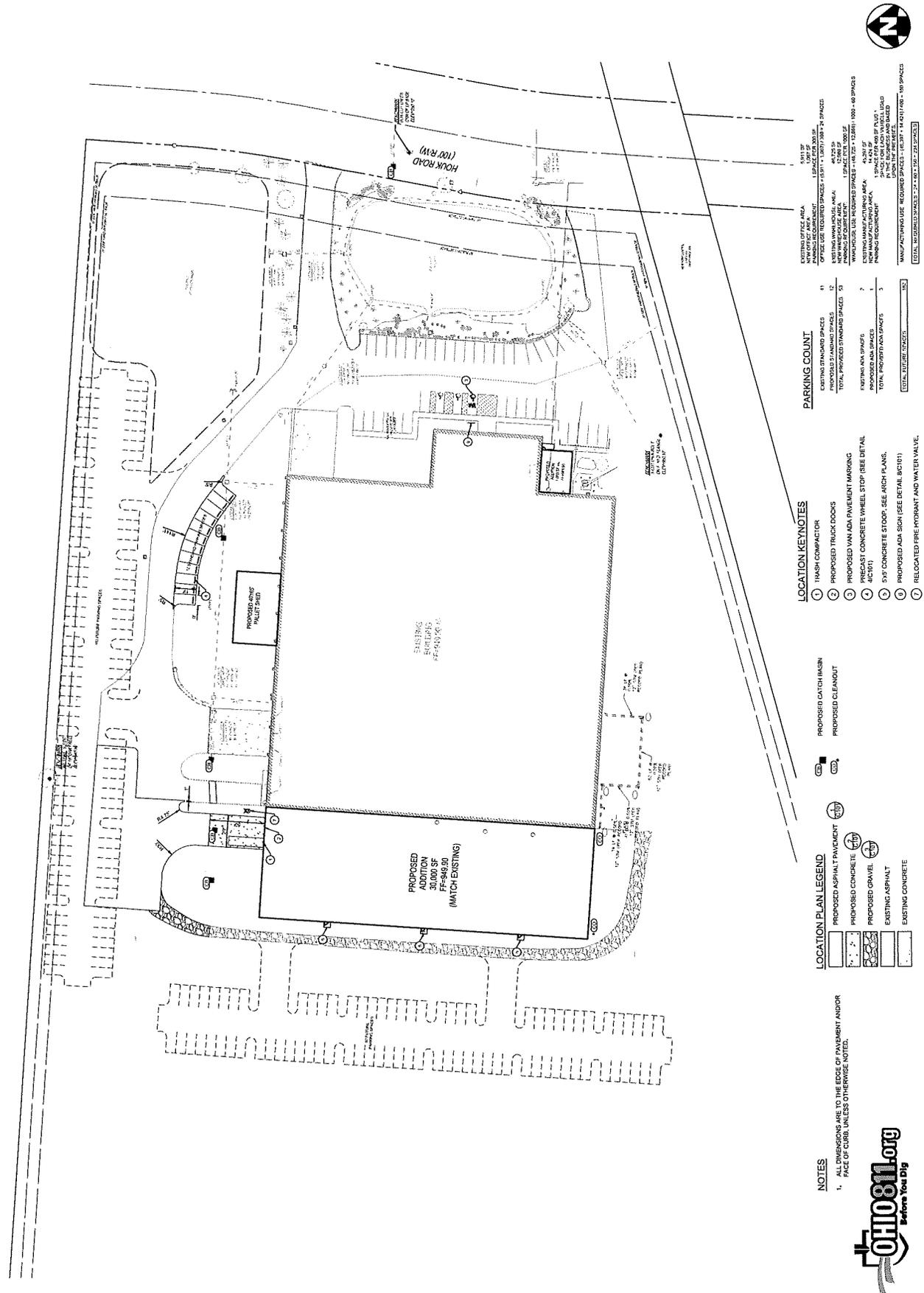
**CHARTER NEX**  
**2 BAY ADDITION**  
 1100 HOK ROAD  
 DELAWARE, OHIO

PROJECT NO: 10078.003  
 DATE: 05/13/2024  
 SCALE: 1" = 40'-0"

**LOCATION PLAN**

SCALE: 1" = 40'-0"

**C300**



- NOTES**
- ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED.



- LOCATION PLAN LEGEND**
- PROPOSED ASPHALT PAVEMENT
  - PROPOSED CONCRETE
  - PROPOSED GRAVEL
  - EXISTING ASPHALT
  - EXISTING CONCRETE

- LOCATION KEYNOTES**
- 1 TRASH COMPACTOR
  - 2 PROPOSED TRUCK DOCKS
  - 3 PROPOSED VAN ADA PAVEMENT MARKING
  - 4 PRECAST CONCRETE WHEEL STOP (SEE DETAIL BC101)
  - 5 5X7 CONCRETE STOOD, SEE ARCH PLANS
  - 6 PROPOSED ADA SIGN (SEE DETAIL BC101)
  - 7 RELOCATED FIRE HYDRANT AND WATER VALVE

**PARKING COUNT**

EXISTING STANDARD SPACES	11
PROPOSED STANDARD SPACES	12
TOTAL PROPOSED STANDARD SPACES	23
EXISTING ADA SPACES	7
PROPOSED ADA SPACES	1
TOTAL PROPOSED ADA SPACES	8
TOTAL PROPOSED SPACES	31

EXISTING OFFICE AREA: 1,941 SF  
 OFFICE USE REQUIRED SPACES: 11 @ 175 SF = 1,925 SF  
 NEW WAREHOUSE AREA: 1,500 SF  
 WAREHOUSE USE REQUIRED SPACES: 14 @ 1,000 SF = 14,000 SF  
 EXISTING MANUFACTURING AREA: 45,297 SF  
 MANUFACTURING USE REQUIRED SPACES: 100 @ 453 SF = 45,297 SF  
 TOTAL REQUIRED SPACES: 23 + 1 + 100 = 124 SPACES



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 LANDSCAPE ARCHITECTURE | 216.441.1322  
 11111 W. 13th Ave., Suite 100  
 Cleveland, OH 44132  
 PH: 216.441.1322  
 FAX: 216.441.1311



DATE: \_\_\_\_\_  
 TIME: \_\_\_\_\_  
 DESCRIPTION: \_\_\_\_\_

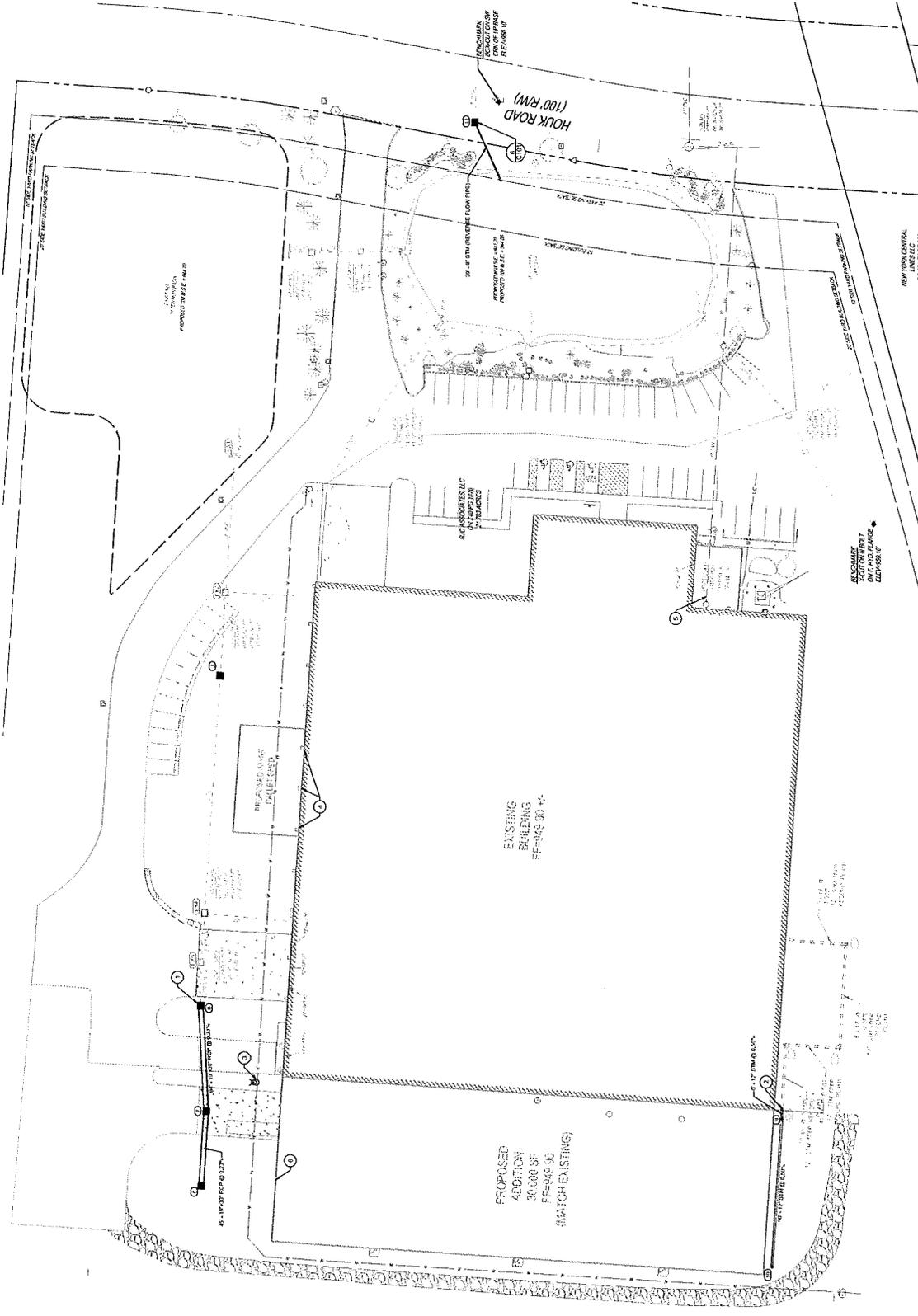
**CHARTER NEX  
 2 BAY ADDITION**  
 11111 W. 13th Ave.  
 CLEVELAND, OHIO

PROJECT NO: 110272.003  
 DATE: 2019.12.04  
 SCALE: 1" = 10'-0"  
 SHEET NAME: C400

**UTILITY PLAN**



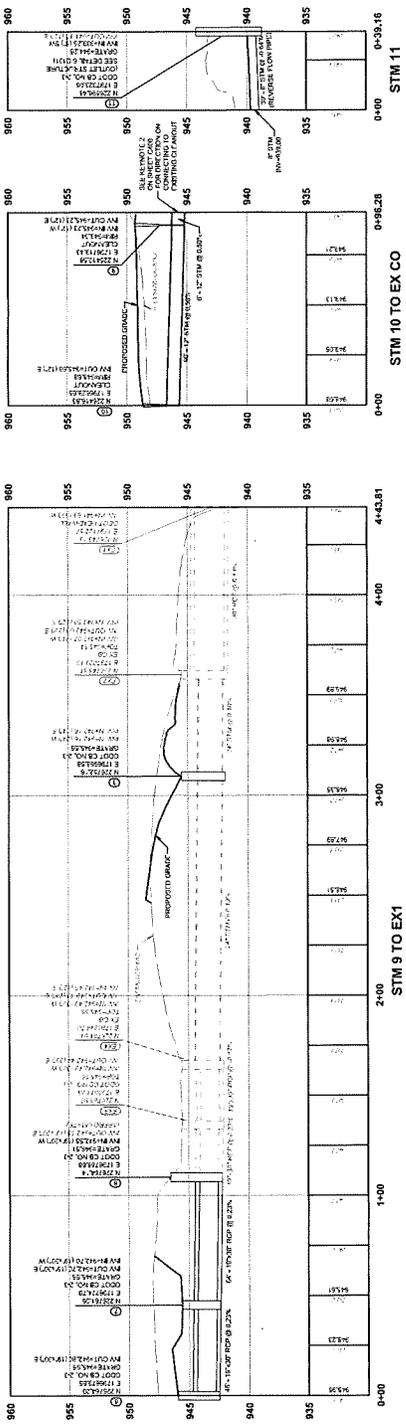
**C400**



- NOTES**
1. ALL CATCH BASINS IN THE PAVEMENT AND CURB ARE TO HAVE FINISH CENTER OF STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR ACTUAL CENTER OF STRUCTURE. DISTANCES SHOWN FOR STORM SEWER PIPES ARE MEASURED FROM THE CENTER OF STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR ACTUAL CENTER OF STRUCTURE. DISTANCES SHOWN FOR STORM SEWER PIPES ARE MEASURED FROM THE CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
  2. DISTANCES SHOWN FOR STORM SEWER PIPES ARE MEASURED FROM THE CENTER OF STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR ACTUAL CENTER OF STRUCTURE. DISTANCES SHOWN FOR STORM SEWER PIPES ARE MEASURED FROM THE CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
- UTILITY KEYNOTES**
1. CONTRACTOR TO VERIFY INVERT ELEVATION OF EXISTING 12\"/>

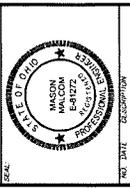
- DOWNSPROUTS TO BE RELOCATED/ROUTED AS NECESSARY TO CONVEY ROOF DRAINAGE TO THE SANITARY SERVICE LOCATED BELOW PROPOSED ADDITION. SANITARY SERVICE LOCATED BELOW PROPOSED ADDITION SHALL BE CONVERTED AS NEEDED TO 12\"/>**





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 CIVIL ENGINEERING | www.kleingers.com  
 12000 W. STATE ST., SUITE 200  
 MARIETTA, OH 43027  
 ARCHITECTURE | 614.882.7111

DATE: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 PROJECT NO: \_\_\_\_\_



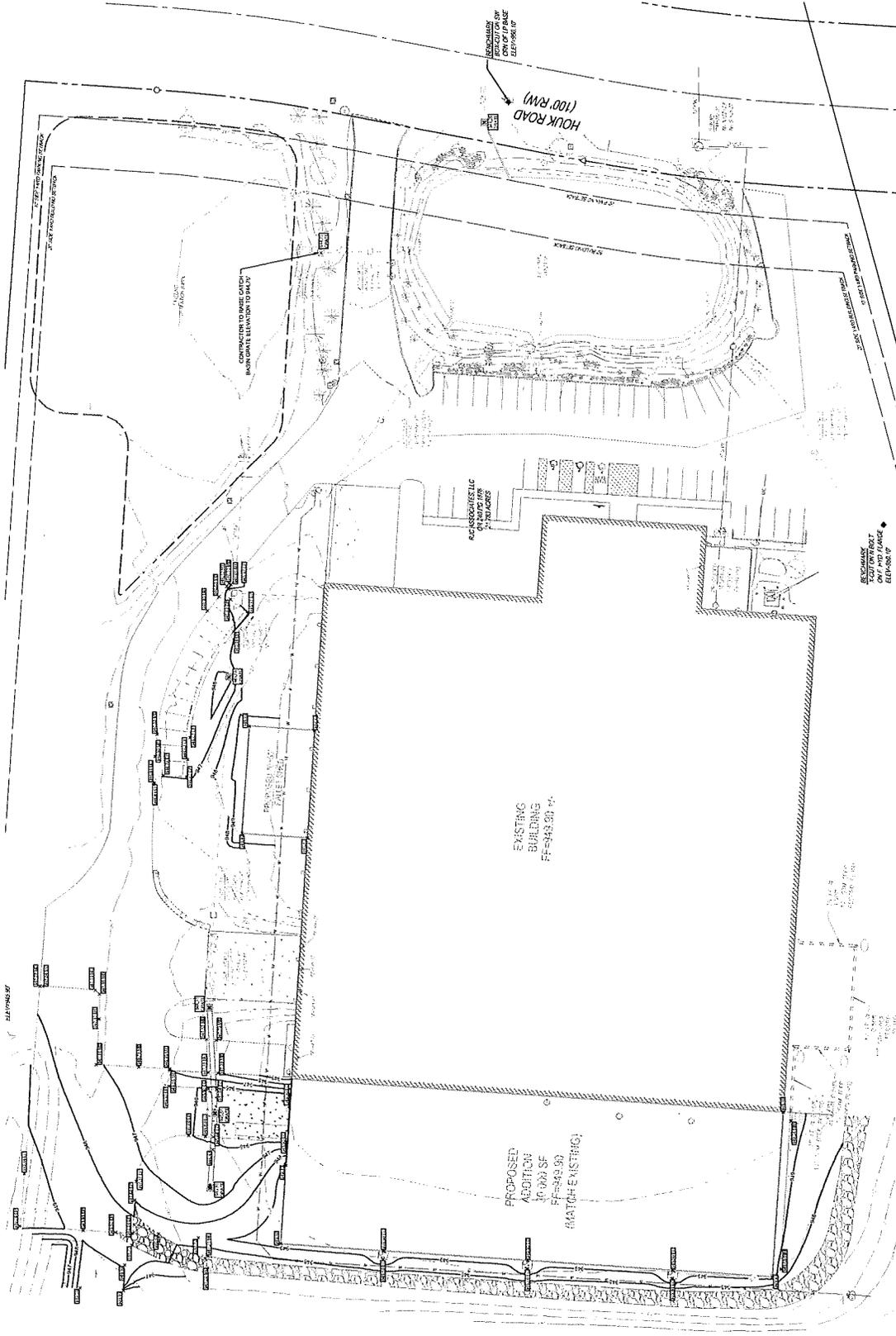
NO.	DATE	DESCRIPTION

**CHARTER NEX**  
**2 BAY ADDITION**  
 1100 W. STATE ST. 2ND FLOOR  
 DELAWARE, OHIO

PROJECT NO:	108274003
DATE:	2018-12-04
SCALE:	1" = 2'-0"
	1" = 10'-0"
	1" = 30'-0"
	1" = 60'-0"
SHEET NAME:	

**UTILITY PROFILES**

SHEET NO: **C401**



- NOTES**
1. ALL ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS, UNLESS NOTED OTHERWISE. VERIFY ALL ELEVATIONS ON-SITE TO SUPPORT OR SUPPORT OF MATERIALS.
  2. NECESSARY TO MEET DESIGN GRADES.
- GRADING LEGEND**
- EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
- SPOT ELEVATION LEGEND**
- PROPOSED FINISHED GRADE ELEVATION
  - MATCH EXISTING ELEVATION
  - EDGE OF PAVEMENT ELEVATION
  - EDGE OF CONCRETE ELEVATION
  - STRUCTURE GRADE ELEVATION
  - STRUCTURE FIN ELEVATION

**THE KLEINGERS GROUP**

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 ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 PLANNING

10000 W. 10th Street  
 Suite 100  
 Overland Park, KS 66211

STATE OF OHIO  
 PROFESSIONAL ENGINEER  
 MASON  
 10000 W. 10th Street  
 Suite 100  
 Overland Park, KS 66211

NO. DATE DESCRIPTION

**CHARTER NEX  
 2 BAY ADDITION**  
 1181 SOUTH HOOK ROAD  
 DELAWARE, OHIO

PROJECT NO. 100274033  
 DATE 08/13/24  
 SCALE

0 15 30 60  
 STAFF FEET

**GRADING PLAN**

**C500**

**OHIO  
 Utilities  
 Protection  
 SERVICE**

811 or  
 1-800-387-7777  
 Call Before You Dig



**PROJECT DATA**

STIP ENDORSEMENTS FOR CHARTER NEIGHBORHOOD, DELAWARE COUNTY, OHIO, INCLUDING A BUILDING EXPANSION, SITE IMPROVEMENTS AND OTHER RELATED UTILITIES. SOIL DISTURBING ACTIVITIES WILL INCLUDE: CLEARING AND GRUBBING, EXISTING AND NEW CONSTRUCTION, GRADING, INSTALLATION OF THE SEPTIC AND OTHER UTILITIES AND THE CONSTRUCTION OF FINAL SEWERING.

LOCATION: N 4200 RD  
 W 631 119<sup>TH</sup> ST  
 ESTIMATED CONSTRUCTION DATES: 01/30/2019 - 01/30/2021

TOTAL DISTURBED AREA: 21.79 ACRES  
 TOTAL IMPERVIOUS AREA: 3.06 ACRES  
 TOTAL IMPERVIOUS AREA AFTER CONSTRUCTION: 4.34 ACRES  
 INCREASE IN IMPERVIOUS AREA: 29%

PRE-CONSTRUCTION RUNOFF COEFFICIENT: C=0.05  
 POST-CONSTRUCTION RUNOFF COEFFICIENT: C=0.28

IMMEDIATE RECEIVING WATERWAY: UNNAMED TRIBUTARY TO CLEVELAND RIVER AND SCIOTO RIVER

EXISTING LAND USE: MANUFACTURING FACILITY

SOILS: BIR1A1 - BLOUNT SILT LOAM, GROUND WATER: PA1 - PE WIND SETTY CLAY LOAM

**CONSTRUCTION SEQUENCE**

- A) INSTALL TEMPORARY SEDIMENT BASIN AND PERIMETER EROSION CONTROL ITEMS.
- B) STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL THROUGH THE INCREMENTAL WORK AREA.
- C) PERFORM MASS GRADING, DIRECTING ANY SURFACE RUNOFF OF DISTURBED AREAS TO TEMPORARY SEDIMENT BASIN.
- D) INSTALL PROPOSED STORM SEWER AND INLET PROTECTION DEVICES.
- E) CONSTRUCT PROPOSED SEWER AND INLET PROTECTION DEVICES.
- F) CONSTRUCT PROPOSED WALKWAYS SHALL BE STABILIZED PER OPEA TEMPORARY AND PERMANENT STABILIZATION REGULATIONS INCLUDING:
  1. SEEDING
  2. DITCH MATTING
  3. MULCHING
  4. MULCHING
  5. WATERING

**EMERGENCY ACTION & SPILL PREVENTION PLAN**

THE SCOPE OF WORK COVERED BY THIS PLAN INCLUDES EMERGENCY RESPONSE TO SPILLS, CONTAMINATION OF SPILLED LIQUIDS, DANGEROUS PARTICULATE NUMBERS, AND SOIL CONTAMINATION FOR SOIL CLEANUP.

IN THE EVENT OF A SPILL EVENT THE EMPLOYEE SHALL ASSESS THE SPILL AND IMMEDIATELY NOTIFY THE SAFETY OFFICER AND SUPERVISOR IN CHARGE, OR OTHER INDIVIDUALS AS LISTED BELOW.

DATE: \_\_\_\_\_

TIME: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_

NAME: \_\_\_\_\_

UNIFORM NUMBER: \_\_\_\_\_

PROJECT ENGINEER: \_\_\_\_\_

IMMEDIATELY AFTER NOTIFICATION, THE EMPLOYEE WILL BE DIRECTED BY THE SAFETY OFFICER, OR RESPONSIBLE PARTY TO START CONTAINMENT PROCEDURES TO PREVENT THE MATERIAL FROM REACHING THE STORM SEWERS, DRAINAGE DITCH, AND OTHER CONTAINMENT DEVICES. THE EMPLOYEE SHALL BE TRAINED TO TAKE THE FOLLOWING ACTIONS WITHOUT COMPROMISING PERSONAL SAFETY:

- 1) CLEAR PERSONNEL FROM THE SPILL AREA AND ROPE OFF AREA.
- 2) STOP THE SPILL.
- 3) USE SORBENT MATERIALS, PLUG PUTTY, OR HOLE PUTTY AS NECESSARY TO CONTROL THE SPILL AT THE SOURCE.
- 4) CONSTRUCT A TEMPORARY CONTAINMENT DIKE OF SORBENT MATERIALS OR DIRT TO CONTAIN SPILL.

SPILL KITS WILL BE LOCATED ON THE PROJECT AS DESIGNATED ON THE SWPPP PLAN.

UPON COMPLETION OF CONTAINMENT OPERATIONS, PROPER CLEANUP PROCEDURES WILL BE IMPLEMENTED IN ACCORDANCE WITH REGULATORY PROCEDURES.

ADDITIONAL EMERGENCY CONTACT NUMBERS:  
 OHIO EPA: 614-278-3939

**GENERAL NOTES**

THE CONTRACTOR SHALL INFORM ALL SUBCONTRACTORS OF THE REQUIREMENTS AND RESPONSIBILITIES OF THE SWPPP AND SHALL TOGETHER WITH SUCH NOTIFICATION, AVOID EROSION.

THE CONTRACTOR IS HEREBY ADVISED THAT STRICTER POLLUTION CONTROL STANDARDS AND ENFORCEMENT HAVE BEEN IMPOSED BY THE OHIO EPA SINCE MARCH 10, 2003 AND WITH A REVISION IN APRIL 2018. ALSO, MANY PRIVATE CITIZEN ENVIRONMENTAL GROUPS HAVE BEEN KNOWING TO FILE CIVIL LEGAL ACTIONS, ARE PRESENT IN THE AREA AND OBSERVE ALL CONSTRUCTION OPERATIONS.

THE CONTRACTOR SHALL INFORM ALL SUBCONTRACTORS OF THE REQUIREMENTS AND RESPONSIBILITIES OF THE SWPPP AND SHALL TOGETHER WITH SUCH NOTIFICATION, AVOID EROSION.

THE CONTRACTOR SHALL PARTICIPATE IN SEDIMENT AND EROSION CONTROL, INSPECTIONS ON A WEEKLY BASIS AND SIGN AN APPROVED INSPECTION SHEET THAT SHALL BE KEPT ON FILE AT THE JOB SITE.

UNLESS OTHERWISE NOTED, STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE OPEA "RAINWATER AND LAND DEVELOPMENT" HANDBOOK SHALL GOVERN THE EROSION AND SEDIMENT CONTROL INSTALLATIONS SPECIFIED ON THIS PLAN.

THIS PROJECT WILL INVOLVE SEVERAL CONSTRUCTION PHASES AND SEQUENCING THROUGHOUT ITS LIFETIME. IT IS VERY IMPORTANT THAT ALL TEMPORARY SEDIMENT AND EROSION CONTROL (EJECT FIELD METHODS ALONG WITH THIS PLAN, ARE KEPT MAINTAINED AND SHIL LOGS CHANGED, THE ENGINEER ON THE OHIO EPA CAN AND WILL MODIFY THIS PLAN AS NECESSARY.

THE CONTRACTOR WILL VOLUNTARILY SELF REPORT ANY POTENTIAL VIOLATIONS OF THE OPEA. VIOLATIONS PERMITTED BY THE ENGINEER AND THE EPA.

THE CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.

CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE PROPERLY DISPOSED OF ACCORDING TO OHIO EPA REQUIREMENTS. THE CONTRACTOR WILL BE REQUIRED TO BUILD SEDIMENT BASINS OR SEDIMENT TRAPS OR USE EQUAL METHODS TO DETAIN AND CLEAN WATER TO ACCEPTABLE EPA STANDARDS BEFORE RELASING THE WATER BACK INTO THE STREAM.

THERE SHALL BE NO TURBID DISCHARGES TO SURFACE WATERS, RESULTING FROM DEWATERING ACTIVITIES. SEDIMENT-LADEN WATER MUST PASS THROUGH A SETTLING POND, FILTERING, OR OTHER COMMENSAL PRACTICE, PRIOR TO DISCHARGE. NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF.

ALL PROCESS WASTEWATER EQUIPMENT WASHING LEACHATE FROM ON-SITE WASTE DISPOSAL, ETC) SHALL BE COLLECTED AND DISPOSED OF AT A PUBLICLY OWNED TREATMENT WORKS.

ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH ALL LOCAL EROSION/SEDIMENT CONTROL, WASTE DISPOSAL, SANITARY AND HEALTH REGULATIONS.

OTHER EROSION CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND IMPLEMENTATION OF ADDITIONAL EROSION CONTROL ITEMS, AT THE ENGINEER'S DISCRETION.

NO SOIL ROCK, DEBRIS OR OTHER MATERIAL SHALL BE DUMPED OR PLACED IN ANY AREAS NOT ADEQUATELY PROTECTED BY EROSION CONTROL INSTALLATIONS.

IT IS RECOMMENDED TO USE PERMANENT EROSION CONTROL ITEMS AS SHOWN IN THE PLAN. IF CONSTRUCTION POLLUTION IS POSSIBLE, OR OTHERWISE, THE TEMPORARY POLLUTION PREVENTION ITEMS ARE TO BE USED.

MOST TEMPORARY SEEDING METHODS, INCLUDING BUT NOT LIMITED TO, SEED, MULCH AND DITCH CHECKS MAY ALL HAVE TO BE COMBINED TO PROVIDE THE BEST PROTECTION AGAINST EROSION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROGRESS, ANY CHANGES SHALL BE NOTED IN THE PLAN BY RED LINE AND DATED ON A CORRECTIVE ACTION LOG.

ALL TEMPORARY SEDIMENT CONTROLS AND STORM WATER QUALITY METHODS WILL BE SUBMITTED AS PART OF THE PROJECT PERMIT APPLICATION. ALL TEMPORARY CONTROLS SHALL BE IN PLACE AND FUNCTIONING PROPERLY WHEN THREATENING WEATHER IS IMMINENT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF PERMANENT EROSION CONTROL ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OTHER CONSTRUCTION OPERATIONS OF CHECKS, EXHAUSTING COVER, OTHER DISTURBED AREAS TO PROVIDE EROSION CONTROL BETWEEN CONSTRUCTION OPERATIONS.

"PERMANENT" DOES NOT MEAN PERMANENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF PERMANENT EROSION CONTROL ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OTHER CONSTRUCTION OPERATIONS OF CHECKS, EXHAUSTING COVER, OTHER DISTURBED AREAS TO PROVIDE EROSION CONTROL BETWEEN CONSTRUCTION OPERATIONS.

CELESTIAL TRACKING OF SEDIMENTS SHALL BE MAINTAINED. A STABLE EROSION CONTROL SYSTEM WILL BE PROVIDED TO HELP REDUCE VELOCITY OF SEDIMENTS. ALL PAVED STREETS ADJACENT TO THE SITE WILL BE SWEEP DAILY TO REMOVE ANY EXCESS DIRT OR DEBRIS TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP.

**STABILIZATION PRACTICES**

TEMPORARY SEEDING AND MULCHING STABILIZATION SHALL BE PROVIDED PER OPEA GUIDELINES AS SET FORTH IN PART I.B OF OHIO EPA PERMIT NO. CH0000000. (SEE TABLE 1)

AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY AREAS THAT WILL BE DOMINANT FOR ONE YEAR WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE
ANY AREAS WITHIN 50 FEET OF A SURFACE WATER OF ANY TYPE AND AT FINAL GRADE	WITHIN TWO DAYS OF REACHING FINAL GRADE
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREA.

TEMPORARY SEEDING AND MULCHING STABILIZATION SHALL BE PROVIDED PER OPEA GUIDELINES AS SET FORTH IN PART I.B OF OHIO EPA PERMIT NO. CH0000000. (SEE TABLE 2)

AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND NOT AT FINAL GRADE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE WITHIN 14 DAYS
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA

FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREAS THAT WILL BE DOMINANT FOR MORE THAN 14 DAYS AND AT FINAL GRADE SHALL BE STABILIZED WITHIN SEVEN DAYS OF REACHING FINAL GRADE FOR THE INDIVIDUAL LOT (S).

ALL TEMPORARY EROSION AND SEDIMENT CONTROL INSTALLATIONS SHALL BE REMOVED WHEN 75% VEGETATION HAS BEEN REACHED.

**SEEDING & MULCHING**

MULCH AND/OR OTHER APPROPRIATE VEGETATIVE PRACTICES SHALL BE APPLIED TO DISTURBED AREAS WITHIN 7 DAYS OF GRADING IF THE AREA IS TO REMAIN UNDISTURBED FOR MORE THAN 14 DAYS OR ON AREAS AND PORTIONS OF THE SITE WHICH CAN BE BROUGHT TO FINAL GRADE.

THESE PRODUCTS SHALL NOT BE USED AS FERTILIZERS RECOMMENDED BY THE MANUFACTURER. CONTACT WITH WATERS OF SYNTHETIC ORIGINERS MUST BE CONDUCTED IN SUCH A MANNER WHERE THERE IS NO CONTACT WITH WATERS OF THE STATE.

4) MULCHING SHALL BE PERFORMED WITHIN 7 DAYS OF THE END OF CONSTRUCTION. THE MULCHING SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES. THE MULCHING SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES. THE MULCHING SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES. THE MULCHING SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES.

SEED TYPE	SEED RATES PER ACRE	SEED RATES PER 1000 SQ. FT.
PERMANENT SEEDING	1 POUND	40 POUNDS
TEMPORARY SEEDING	1 POUND	40 POUNDS
SMALL GRAIN STRAW	90 POUNDS	2 TONS
FERTILIZER	6 POUNDS OF 10-10-10 OR 15-15-10 OR 15-15-15	200 POUNDS OF 15-15-15

NOTE: OTHER APPROVED SPECIES MAY BE SUBSTITUTED.

**STOCKPILE**

ALL STOCKPILES SHALL BE COVERED WITH PERMANENT EROSION CONTROL. STOCKPILES SHALL BE STRAW MULCHED AND/OR TEMPORARILY SEEDED WITHIN WORKING DAYS IF LEFT EXPOSED FOR 14 DAYS OR LONGER.

**TIMING OF CONTROLS/MEASURES**

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, CONSTRUCTION ENTRANCES AND EXIT FENCES WILL BE CONSTRUCTED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF PERMANENT EROSION CONTROL ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OTHER CONSTRUCTION OPERATIONS OF CHECKS, EXHAUSTING COVER, OTHER DISTURBED AREAS TO PROVIDE EROSION CONTROL BETWEEN CONSTRUCTION OPERATIONS.

STABILIZATION TYPE	P	F	M	J	J	A	S	O	N	D
PERMANENT SEEDING	*	*	*	*	*	*	*	*	*	*
TEMPORARY SEEDING	*	*	*	*	*	*	*	*	*	*
MULCHING	*	*	*	*	*	*	*	*	*	*

**INSPECTIONS**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF PERMANENT EROSION CONTROL ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OTHER CONSTRUCTION OPERATIONS OF CHECKS, EXHAUSTING COVER, OTHER DISTURBED AREAS TO PROVIDE EROSION CONTROL BETWEEN CONSTRUCTION OPERATIONS.

WEATHER INFORMATION FOR THE PERIOD SINCE THE LAST INSPECTION OR SINCE COMMENCEMENT OF CONSTRUCTION ACTIVITY IF THE FIRST INSPECTION INCLUDING A BEST ESTIMATE OF THE BEGINNING OF EACH STORM EVENT, DURATION OF EACH STORM EVENT, APPROXIMATE AMOUNT OF RAINFALL FOR EACH STORM EVENT IN INCHES, AND WHETHER ANY DISCHARGES OCCURRED.

WEATHER INFORMATION AND A DESCRIPTION OF ANY DISCHARGES OCCURRING AT THE TIME OF THE INSPECTION. LOCATIONS OF DISCHARGES OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE. LOCATIONS OF BMP'S THAT NEED TO BE MAINTAINED. WEATHER INFORMATION OR PROVIDED INSPECTION FOR A PARTICULAR LOCATION. LOCATIONS WHERE ADDITIONAL BMP'S ARE NEEDED THAT DATE LAST AT THE TIME OF INSPECTION AND CORRECTIVE ACTION REQUIRED INCLUDING ANY CHANGES TO THE SWPPS NECESSARY AND IMPLEMENTATION DATES.

**MAINTENANCE**

THE CONTRACTOR SHALL MAINTAIN, REPAIR, OR REPLACE ALL EROSION CONTROL INSTALLATIONS AS NEEDED TO ENSURE THE PROPER FUNCTIONING OF THE SWPPP. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OTHER CONSTRUCTION OPERATIONS OF CHECKS, EXHAUSTING COVER, OTHER DISTURBED AREAS TO PROVIDE EROSION CONTROL BETWEEN CONSTRUCTION OPERATIONS.

**DUST CONTROL**

DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OTHER CONSTRUCTION OPERATIONS OF CHECKS, EXHAUSTING COVER, OTHER DISTURBED AREAS TO PROVIDE EROSION CONTROL BETWEEN CONSTRUCTION OPERATIONS.

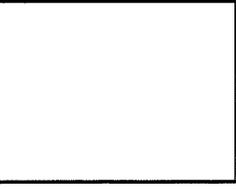
VEGETATION COVER (MULCH) - APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMAIN BARE FOR OVER 14 DAYS, SAVING EXISTING TREES AND LARGE SHRUBS WILL ALSO REDUCE SOIL AND AIR POLLUTION AND IMPROVE WATER QUALITY. PERMANENT SEEDING, MULCHING PRACTICES, AND WATERING - SPRAY SITE WITH WATER WITH THE SURFACE IS WET BEFORE AND DURING GRADING AND REPAIRS TO PREVENT DUST BUT DOES NOT CAUSE SOIL EROSION. WETTING AGENTS SHALL BE UTILIZED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

SEEDING AND MULCHING - APPLY ADHESIVE ACCORDING TO THE FOLLOWING TABLE OR MANUFACTURER'S INSTRUCTIONS.

ADHESIVE	WATER TO WHICH APPLIED (GAL/1000 SQ. FT.)	SEED RATES PER ACRE	SEED RATES PER 1000 SQ. FT.
VEGETATION COVER (MULCH)	0.5-1	FINE	200
PERMANENT SEEDING	4-7	FINE	400
ACRYLIC EMULSION (NO TRAFFIC)	7-1	COARSE	350
ACRYLIC EMULSION (TRAFFIC)	3-5	COARSE	250



ONE ENGINEERING  
 300 W. MAIN ST.  
 LANSING, OH 43027  
 614.278.3939



NO. DATE: \_\_\_\_\_

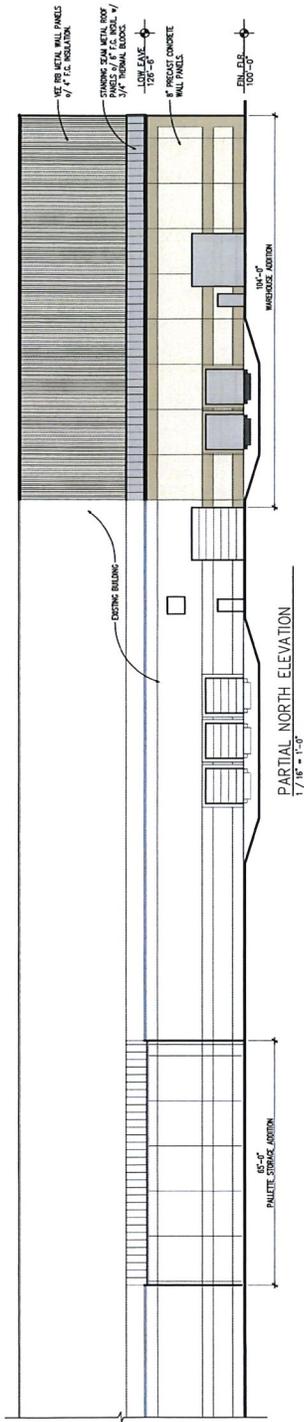
PROJECT ENGINEER: \_\_\_\_\_

**CHARTER NEX**  
**2 BAY ADDITION**  
 11100 W. MAIN ST.  
 DELAWARE, OHIO

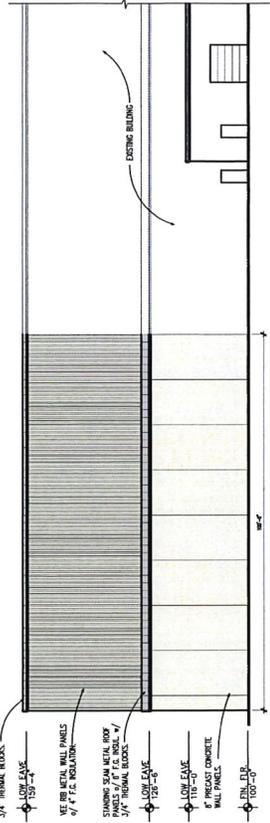
PROJECT NO.: 100278.003  
 DATE: 2/19/19

**EROSION CONTROL NOTES**  
**C601**



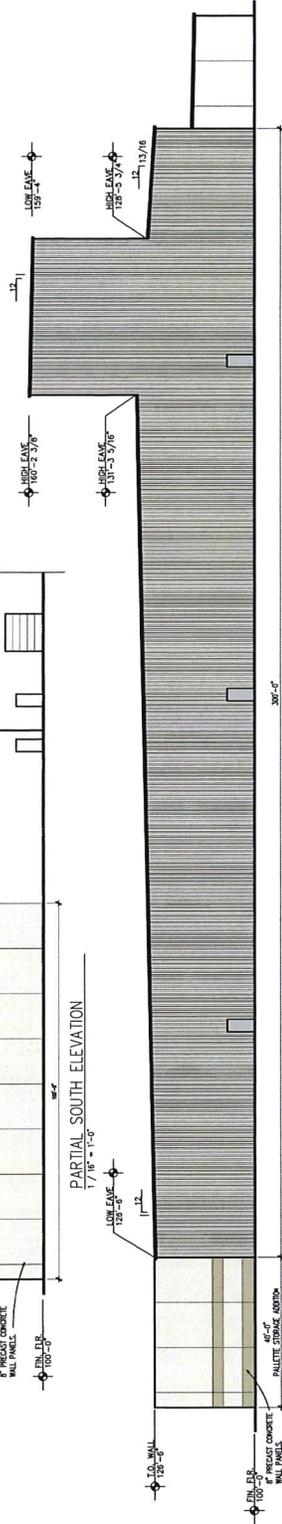


PARTIAL NORTH ELEVATION  
 1/7/16" = 1'-0"

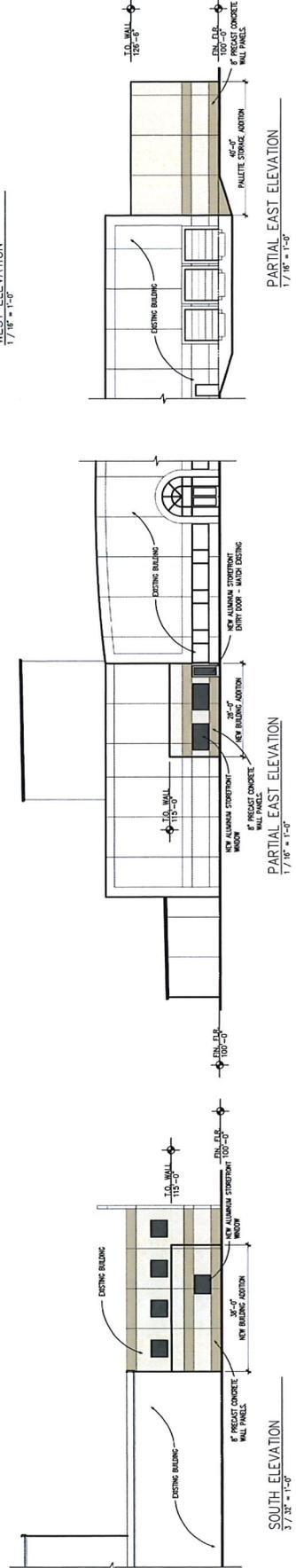


PARTIAL SOUTH ELEVATION  
 1/7/16" = 1'-0"

NOTE:  
 UTILIZE MATERIALS AND COLORS  
 TO MATCH EXISTING AS CLOSE  
 AS PRACTICAL



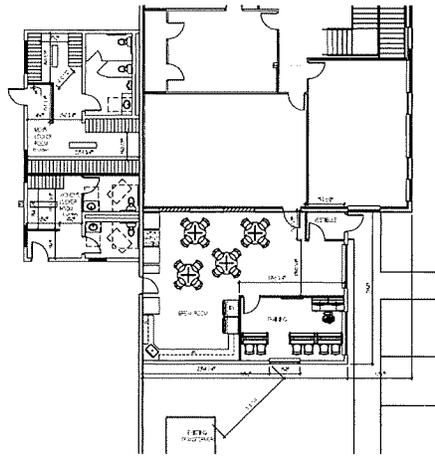
WEST ELEVATION  
 1/7/16" = 1'-0"



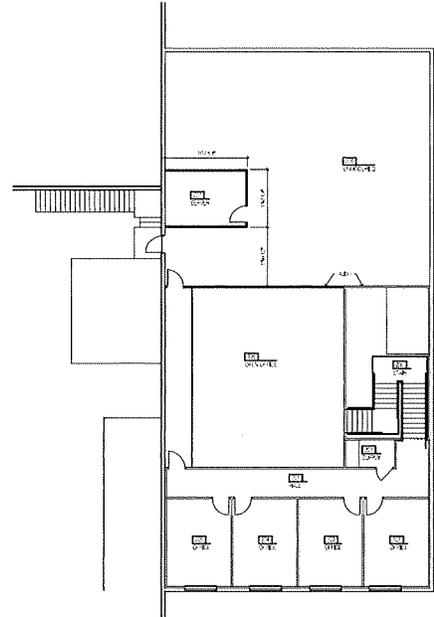
PARTIAL EAST ELEVATION  
 1/7/16" = 1'-0"

PARTIAL EAST ELEVATION  
 1/7/16" = 1'-0"

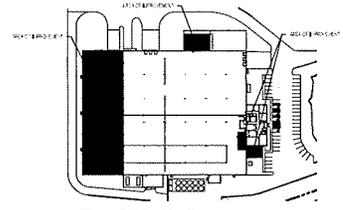
SOUTH ELEVATION  
 3/32" = 1'-0"



new work plan  
First Floor



new work plan  
Second Floor



Building Key Plan

**CARNEY-RANKER**  
ARCHITECTS LTD  
5000 W. STATE ST. SUITE 200  
ANN ARBOR, MI 48106  
PH: 734.769.2000 FAX: 734.769.2001  
info@carneyranker.com

A Renovation And Addition For  
**Charter NEX**  
1188 S. Hook Rd.  
Delaware, OH

2014.02.20  
2014.02.20  
2014.02.20  
2014.02.20

**SK-3**





**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**



Project # \_\_\_\_\_

Case # \_\_\_\_\_

**Planning Commission**

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> Amended Final Development Plan                           | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non- Conforming Use            |
| <input type="checkbox"/> Amended Final Subdivision Plat                           | <input type="checkbox"/> Final Subdivision Plat           | <input type="checkbox"/> Vacation-Alley                                   |
| <input type="checkbox"/> Amended Preliminary Development Plan                     | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement                                |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat                     | <input type="checkbox"/> Floodplain Permit                | <input type="checkbox"/> Vacation-Street                                  |
| <input type="checkbox"/> Annexation Review  | <input type="checkbox"/> Lot Split                        | <b><u>Board of Zoning Appeals</u></b>                                     |
| <input checked="" type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement         | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment                             | <input type="checkbox"/> Preliminary Development Plan     | <input type="checkbox"/> Conditional Use Permit                           |
| <input type="checkbox"/> Concept Plan   | <input type="checkbox"/> Preliminary Dev Plan Extension   | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit                                   | <input type="checkbox"/> Preliminary Sub Plat             | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Determination of Similar Use                             | <input type="checkbox"/> Preliminary Sub Plat Extension   |   |
| <input type="checkbox"/> Development Plan Exemption                               | <input type="checkbox"/> Rezoning                         |   |
| <input type="checkbox"/> Final Development Plan                                   | <input type="checkbox"/> Subdivision Variance             |   |

Subdivision/Project Name Charter Nex Addition Address 1188 South Houk Road, Delaware, Ohio 43015

Acreage 21.783 Square Footage 126,510 Number of Lots 1 Number of Units \_\_\_\_\_

Zoning District/Land Use M-2 Proposed Zoning/Land Use M-2 Parcel # 41922001017005

Applicant Name Dublin Building Systems Contact Person Rich Irelan

Applicant Address 6233 Avery Road, Dublin, Ohio 43016

Phone 614.889.1445 Fax \_\_\_\_\_ E-mail rirelan@dublinbuilding.com

Owner Name Charter NEX Contact Person Ed Bush

Owner Address 1188 South Houk Road, Delaware, Ohio 43015

Phone 740.990.1205 Fax \_\_\_\_\_ E-mail ebush@charternex.com

Engineer/Architect/Attorney The Kleingers Group Contact Person Mason Malcom, PE

Address 350 Worthington Road, Suite B, Westerville, Ohio 43082

Phone 614.882.4311 Fax \_\_\_\_\_ E-mail mason@kleingers.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

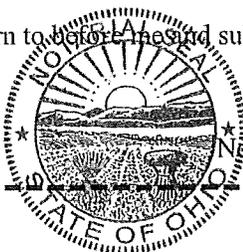
E. J. Wawrzyniak-Bush  
Owner Signature

E.I. WAWRZYNIAK-BUSH  
Owner Printed Name

Mason Malcom  
Agent Signature

Mason Malcom  
Agent Printed Name

Sworn to before me and subscribed in my presence this 4th day of December, 2019.



**Lindsey K. Warner**  
Notary Public, State of Ohio  
My Commission Expires 05-25-2020

Lindsey Warner  
Notary Public



## FACT SHEET

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AGENDA ITEM NO: 14

DATE: 01/27/2020

ORDINANCE NO: 20-03

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: NO

---

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN REQUEST BY GRDEN LLC, FOR WINTERBROOK PLACE PHASE 1 ON 30.452 ACRES CONTAINING 66 SINGLE FAMILY LOTS ON PROPERTY ZONED R-3 PMU (ONE FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED-USE OVERLAY DISTRICT) AND LOCATED ON WINTERBOURNE DRIVE, SIENNA GLENN DRIVE, MAHOGANY DRIVE, GARDENIA LANE AND SILVER PINE LANE.

**BACKGROUND:**

See attached report

**REASON WHY LEGISLATION IS NEEDED:**

To achieve compliance with Chapter 1129 Procedures of the zoning code.

**COMMITTEE RECOMMENDATION:**

Planning Commission approved this case 7-0 on January 15, 2020.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval as submitted with the documented conditions.

**ATTACHMENT(S)**

See attached

ORDINANCE NO. 20-03

AN ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN REQUEST BY GRDEN LLC, FOR WINTERBROOK PLACE PHASE 1 ON 30.452 ACRES CONTAINING 66 SINGLE FAMILY LOTS ON PROPERTY ZONED R-3 PMU (ONE FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED-USE OVERLAY DISTRICT) AND LOCATED ON WINTERBOURNE DRIVE, SIENNA GLENN DRIVE, MAHOGANY DRIVE, GARDENIA LANE AND SILVER PINE LANE.

WHEREAS, the Planning Commission at its meeting on January 15, 2020 recommended approval of a Final Development Plan request by Grden LLC., for Winterbrook Place Phase 1 on 30.452 acres containing 66 single family lots on property zoned R-3 PMU (One Family Residential District with a Planned Mixed-Use Overlay District) and located on Winterbourne Drive, Sienna Glenn Drive, Mahogany Drive, Gardenia Lane and Silver Pine Lane (PC 2019-2890).

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Final Development Plan request by Grden LLC., for Winterbrook Place Phase 1 on 30.452 acres containing 66 single family lots on property zoned R-3 PMU (One Family Residential District with a Planned Mixed-Use Overlay District) and located on Winterbourne Drive, Sienna Glenn Drive, Mahogany Drive, Gardenia Lane and Silver Pine Lane, is hereby confirmed, approved, and accepted with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The developer shall be responsible for any improvements and/or financial obligations of the traffic impact study per the City Engineer and County Engineer.
3. The primary access to the development shall be from Peachblow Road at a proposed roundabout to be constructed in the future by the Delaware County Engineer (a fair share amount would be paid by developer per the County's requirements) for the subject development and the proposed developments located south of Peachblow Road in the County. If the County Engineer does not construct the proposed the roundabout prior to the developer initiating construction of the subject development,

- the proposed access point to Peachblow Road shall be a traditional intersection with a stop sign.
4. All retention ponds shall be setback from a public road per the City Engineer.
  5. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
  6. The single-family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
  7. Patios, decks and other exterior improvements shall be allowed to extend 15 feet into the 30-foot rear yard setback per the approved development text.
  8. A minimum 3-6-foot-high mound with landscaping shall be located along east side of Winterbourne Drive to be consistent with the roadway treatment in the Communities of Glenross and a 3-6 high mound with landscaping shall be located along Peachblow Road to be consistent with the treatment along Belmont Place.
  9. In Reserve A per the landscape plan in the approved Preliminary Development Plan, there shall be benches along the bike path along with the landscaping which shall include shrubs, perennials and ornamental grasses.
  10. A street tree plan shall be submitted and approved by the Shade Tree Commission.
  11. The bike path along Peachblow Road shall be extended to Winterbourne Drive in this Phase. The biked paths located within an easement dedicated to the City and shall be maintained by the Homeowner's Association.
  12. The street lighting plan shall be submitted, reviewed and approved by the City and achieve compliance with all zoning requirements.
  13. The development shall be in the Delaware South New Community Authority, subject to the single-family lot transportation fee (\$1,000 per dwelling unit) in effect at the time of building permit issuance and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling units.
  14. The developer is identifying storm sewer easements in open space areas (reserve areas) along Winterbourne Drive, along the eastern boundary of the property and adjacent to the Gundling property that requires mounding, tree planting and/or tree preservation per the landscape and tree preservation plans of the approved Preliminary Development Plan and Preliminary Subdivision Plat. The landscaping as preliminarily proposed is non-negotiable and is a priority over the stormwater line location according to the City prior approvals. Planning

staff's preference is to allow mounding and landscaping within the stormwater easement in this case. However, it maybe that the applicant will have to re-route this line to an alternate and potentially more expensive location to preserve the mounding and landscaping as well as provide adequate stormwater management per the City. If the stormwater lines are moved into the rear yards of the proposed lots there shall be sufficient room in the rear yards to accommodate a normal deck, patio, fence and other typical improvements. The size of the rear yards shall be demonstrated to the satisfaction of the Planning and Community Development staff prior to construction drawing approval or the stormwater line shall be relocated to another alignment.

15. Phase 2 or the next constructed phase shall be required to connect to the required secondary access point to the west from Belmont Place (Ensigns Lane).

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS\_\_\_NAYS\_\_\_  
ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2020

YEAS\_\_\_NAYS\_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR



## FACT SHEET

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AGENDA ITEM NO: 15

DATE: 01/27/2020

ORDINANCE NO: 20-04

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: NO

---

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

---

**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING A FINAL SUBDIVISION PLAT REQUEST BY GRDEN LLC, FOR WINTERBROOK PLACE PHASE 1 ON 30.452 ACRES CONTAINING 66 SINGLE FAMILY LOTS ON PROPERTY ZONED R-3 PMU (ONE FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED-USE OVERLAY DISTRICT) AND LOCATED ON WINTERBOURNE DRIVE, SIENNA GLENN DRIVE, MAHOGANY DRIVE, GARDENIA LANE AND SILVER PINE LANE.

**BACKGROUND:**

See attached report

**REASON WHY LEGISLATION IS NEEDED:**

To achieve compliance with Chapter 1129 Procedures of the zoning code.

**COMMITTEE RECOMMENDATION:**

Planning Commission approved this case 7-0 on January 15, 2020.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval as submitted with the documented conditions.

**ATTACHMENT(S)**

See attached

ORDINANCE NO. 20-04

AN ORDINANCE APPROVING A FINAL SUBDIVISION PLAT REQUEST BY GRDEN LLC, FOR WINTERBROOK PLACE PHASE 1 ON 30.452 ACRES CONTAINING 66 SINGLE FAMILY LOTS ON PROPERTY ZONED R-3 PMU (ONE FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED-USE OVERLAY DISTRICT) AND LOCATED ON WINTERBOURNE DRIVE, SIENNA GLENN DRIVE, MAHOGANY DRIVE, GARDENIA LANE AND SILVER PINE LANE.

WHEREAS, the Planning Commission at its meeting on January 15, 2020 recommended approval of a Final Subdivision Plat request by Grden LLC., for Winterbrook Place Phase 1 on 30.452 acres containing 66 single family lots on property zoned R-3 PMU (One Family Residential District with a Planned Mixed-Use Overlay District) and located on Winterbourne Drive, Sienna Glenn Drive, Mahogany Drive, Gardenia Lane and Silver Pine Lane (PC 2019-2892).

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Final Subdivision Plat request by Grden LLC., for Winterbrook Place Phase 1 on 30.452 acres containing 66 single family lots on property zoned R-3 PMU (One Family Residential District with a Planned Mixed-Use Overlay District) and located on Winterbourne Drive, Sienna Glenn Drive, Mahogany Drive, Gardenia Lane and Silver Pine Lane, is hereby confirmed, approved, and accepted with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The developer shall be responsible for any improvements and/or financial obligations of the traffic impact study per the City Engineer and County Engineer.
3. The primary access to the development shall be from Peachblow Road at a proposed roundabout to be constructed in the future by the Delaware County Engineer (a fair share amount would be paid by developer per the County's requirements) for the subject development and the proposed developments located south of Peachblow Road in the County. If the County Engineer does not construct the proposed the roundabout prior to the developer initiating construction of the subject development,

- the proposed access point to Peachblow Road shall be a traditional intersection with a stop sign.
4. All retention ponds shall be setback from a public road per the City Engineer.
  5. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
  6. The single-family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
  7. Patios, decks and other exterior improvements shall be allowed to extend 15 feet into the 30-foot rear yard setback per the approved development text.
  8. A minimum 3-6-foot-high mound with landscaping shall be located along east side of Winterbourne Drive to be consistent with the roadway treatment in the Communities of Glenross and a 3-6 high mound with landscaping shall be located along Peachblow Road to be consistent with the treatment along Belmont Place.
  9. In Reserve A per the landscape plan in the approved Preliminary Development Plan, there shall be benches along the bike path along with the landscaping which shall include shrubs, perennials and ornamental grasses.
  10. A street tree plan shall be submitted and approved by the Shade Tree Commission.
  11. The bike path along Peachblow Road shall be extended to Winterbourne Drive in this Phase. The biked paths located within an easement dedicated to the City and shall be maintained by the Homeowner's Association.
  12. The street lighting plan shall be submitted, reviewed and approved by the City and achieve compliance with all zoning requirements.
  13. The development shall be in the Delaware South New Community Authority, subject to the single-family lot transportation fee (\$1,000 per dwelling unit) in effect at the time of building permit issuance and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling units.
  14. The developer is identifying storm sewer easements in open space areas (reserve areas) along Winterbourne Drive, along the eastern boundary of the property and adjacent to the Gundling property that requires mounding, tree planting and/or tree preservation per the landscape and tree preservation plans of the approved Preliminary Development Plan and Preliminary Subdivision Plat. The landscaping as preliminarily proposed is non-negotiable and is a priority over the stormwater line location according to the City prior approvals. Planning

staff's preference is to allow mounding and landscaping within the stormwater easement in this case. However, it maybe that the applicant will have to re-route this line to an alternate and potentially more expensive location to preserve the mounding and landscaping as well as provide adequate stormwater management per the City. If the stormwater lines are moved into the rear yards of the proposed lots there shall be sufficient room in the rear yards to accommodate a normal deck, patio, fence and other typical improvements. The size of the rear yards shall be demonstrated to the satisfaction of the Planning and Community Development staff prior to construction drawing approval or the stormwater line shall be relocated to another alignment.

15. Phase 2 or the next constructed phase shall be required to connect to the required secondary access point to the west from Belmont Place (Ensigns Lane).

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS\_\_\_NAYS\_\_\_  
ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2020

YEAS\_\_\_ NAYS\_\_\_  
ABSTAIN \_\_\_

ATTEST:

\_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR



CASE NUMBERS: 2019-2890 & 2892

REQUEST: Multiple Cases

PROJECT: Winterbrooke Place

MEETING DATE: January 15, 2020

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**APPLICANT/OWNER**

Grden LLC  
10590 Wellington Place  
Powell, Ohio 43065

**REQUESTS**

2019-2890: A request by Grden LLC for approval of a Final Development Plan for Winterbrook Place Phase 1 on 30.452 acres containing 66 single family lots on property zoned R-3 PMU (One Family Residential District with a Planned Mixed Use Overlay District) and located on Winterbourne Drive, Sienna Glenn Drive, Mahogany Drive, Gardenia Lane and Silver Pine Lane.

2019-2892: A request by Grden LLC for approval of a Final Subdivision Plat for Winterbrook Place Phase 1 on 30.452 acres containing 66 single family lots on property zoned R-3 PMU (One Family Residential District with a Planned Mixed Use Overlay District) and located on Winterbourne Drive, Sienna Glenn Drive, Mahogany Drive, Gardenia Lane and Silver Pine Lane.

**PROPERTY LOCATION & DESCRIPTION**

The subject site is located on the north side of Peachblow Road just east of the Belmont Place development and south of the Communities at Glenross development. The property to the north is zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and the property to the west is zoned PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District) in the City and the property to the east is zoned PRD (Planned Residential District) and the properties to the south are zoned FR-1 and PID (Planned Industrial District) in the township.

**BACKGROUND/PROPOSAL**

In June 2019, City Council approved a Rezoning Amendment, Conditional Use Permit and Preliminary Development Plan (Ordinances 19-29-31 respectively) for the development. Also, the City accepted the annexation (Ordinance 19-32) of the subject property in June 2019. In October 2019, City Council (Ordinance 19-59) approved a Preliminary Subdivision Plat for the 263 single family lots on approximately 102.1 acres for a density of 2.575 units per acre with just over 25% open space (25.5 acres). Primary access to the site would be from Peachblow Road at a proposed roundabout to be constructed by the Delaware County Engineer for the subject development and the proposed Berlin Meadows development located south of Peachblow Road in the County while secondary access would be from Belmont Place Subdivision to the west (to be constructed in Phase 1 of the development) and from Communities at Glenross to north through Winterbourne Drive (the date of the completion of the Communities at Glenross is unknown at this point).

Now the applicant is requesting Final Development Plan and Final Subdivision Plat for Phase 1 which would consist of 66 single family lots on 30.452 acres which is located east of Winterbourne Drive fronting Peachblow Road. The applicant's intent was to construct Phase 1 just east of Belmont Park Subdivision and just north of Peachblow Road (to have a second access point into Belmont Place Subdivision at Ensigns Lane) but after Preliminary Subdivision Plat approval, the applicant's engineer discovered there are wetlands in this area that need to be mitigated through the Army Corps of Engineers so the applicant decided to start construction on the eastern portion of the site fronting Peachblow Road. After mitigation of the wetland issues, the next phase to be constructed would be the eastern portion of the site. Staff would require this be the next Phase to be constructed to connect into the Belmont Place Subdivision at Ensigns Lane per the approved Preliminary Subdivision Plat.

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**STAFF ANALYSIS**

- **ZONING:** The developer rezoned the property to R-3 PMU with development text to allow greater flexibility and creativity in the layout of the development, create active and passive open space and to be consistent with the Communities at Glenross south of Cheshire Road (zoned R-2 PMU with a density of approximately 2.31 units per acre) located to the north and Belmont Place (zone R-3 PMU with a density of approximately 2.75 units per acre in Sections 1-5) located to the east are both planned districts with similar uses and densities. Each phase of this development would require Final Development Plan and Final Subdivision Plat approval by the Planning Commission and City Council.

- **ENGINEERING** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on a technical review by the Engineering Department once a complete plan set is submitted for review.

The developer is identifying storm sewer easements in open space areas (reserve areas) along Winterbourne Drive, along the eastern boundary of the property and adjacent to the Gundling property that requires mounding, tree planting and/or tree preservation per the landscape and tree preservation plans of the approved Preliminary Development Plan and Preliminary Subdivision Plat. The landscaping as preliminarily proposed is non-negotiable and is a priority over the stormwater line location according to the City prior approvals. Planning staff's preference is to allow mounding and landscaping within the stormwater easement in this case. However, it maybe that the applicant will have to re-route this line to an alternate and potentially more expensive location to preserve the mounding and landscaping as well as provide adequate stormwater management per the City. If the stormwater lines are moved into the rear yards of the proposed lots there shall be sufficient room in the rear yards to accommodate a normal deck, patio, fence and other typical improvements. The size of the rear yards shall be demonstrated to the satisfaction of the Planning and Community Development staff prior to construction drawing approval or the stormwater line shall be relocated to another alignment.

- **UTILITIES:** The site will be serviced by City sanitary sewer and water that would have to be extended by the developer.
- **ROADS AND TRAFFIC:** The primary access to Phase 1 would be from Peachblow Road at a proposed roundabout to be constructed in the future by the Delaware County Engineer (a fair share amount would be paid by the developer per the County's requirements) for the subject development and the proposed developments located south of Peachblow Road in the County while temporary secondary emergency access would be through the open area located just east of the entrance through a 12 wide bike path (approve by the Fire Department) that would extend to Gardenia Lane. If the County Engineer does not construct the proposed roundabout prior to the developer initiating construction of the subject development, the proposed access point to Peachblow Road would be a traditional intersection with a stop sign. Also, Phase 2 or the next constructed phase shall be required to connect to the required secondary access point to the west from Belmont Place (Ensigns Lane).

Gardenia Lane would be stubbed to the property to the east (future Evans Farm development) while Silver Pine Lane, Sienna Glenn Drive, Mahogany Drive, and Winterbourne Drive would stub into the next phases of this development and would have the required temporary turnaround areas per the City Engineer and Fire Department. All the streets shall be constructed to public standards and achieve compliance with the minimum engineering requirements. Also, the development shall be in the Delaware South New Community Authority, subject to the single-family lot transportation fee (\$1,000 per dwelling unit) in effect at the time of building permit issuance and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling units.

- **SITE LAYOUT:** The layout is designed around the location of the Winterbourne Drive connection to the Communities at Glenross (along the northern portion of the subject site) that extends south to Peachblow Road. Phase 1 would be located east of Winterbourne Drive and would contain 66 single family lots (46 52-foot lots and 20 65-foot lots) and three reserve areas (A, D & E). The 52 foot lots would be a minimum 6,760 square foot (52'x130') and the 65 foot lots would be a minimum 8,450 square feet (65'x130'). The front yard setback would be a minimum 25 feet for all lots and the minimum rear yard setback would be 30 feet for all lots. The side yard setbacks for the 52 foot lots would be 5 feet (10 feet total) and would be 6.5 feet (13 feet total) for the 65 foot lots. Patios, decks and other exterior improvements can extend 15 feet into the 30-foot rear yard setback per the approved development text. The minimum house size for the 52 foot lots would be 1,600 square feet for a one-story house and 1,800 square feet for a two-story house and the minimum house size for a 65-foot lot would be 1,800 square feet. The corner lots are oversized per the zoning code and approved development text. Reserve A, which encompasses 12.966 acres, is located just west of the main entrance and contains two retention ponds, an overhead electric transmission easement that is 150 feet wide and active opens space. Reserve D, located just east of Winterbourne Drive, contains 0.682 acres and a bike path and mounding and landscaping buffering the proposed homes to the east. Reserve E, located north of

Gardenia Lane and east of Silver Pine Lane, encompasses 0.609 acres of active open space and is located within the 150 feet wide overhead electric transmission easement.

- **DESIGN:** The applicant is proposing specific house design standards for each size lot size (52 foot and 65 foot) and overall design standards for all the houses are to be consistent with the adjacent subdivisions of the Communities at Glenross and Belmont Place. The proposed standards would include: 1.) 100% natural material on all elevations for 80-foot lots adjacent to the Communities at Glenross; 2.) Minimum 40% natural materials on the front elevations for on all 52 and 65-foot lots; 3.) The exterior elevations of each house excluding garage doors, entrance doors, gutters, shutters, downspouts and windows shall consist of brick, stone, cultured stone, stucco, wood siding or fibrous cement siding (all considered natural materials); 4.) All houses shall have a minimum two car attached garage; 5.) All houses shall have dimensional shingles; 7.) All primary roof pitches on front and rear facing gabled elevations shall be a minimum of 5:12. All primary roof pitches on side facing gabled elevations shall be a minimum of 6:12. All other accessory elevations shall be a minimum roof pitch of 3-1/2:12. In addition, all the houses shall comply with Chapter 1171.08 Residential Development Design Criteria and Performance Standards.
- **BIKE PATHS AND PEDESTRIAN ROUTES:** The applicant is proposing a bike path along the north side of Peachblow Road and along both sides of Winterbourne Drive per the City Engineer's requirements to be consistent with the Belmont Place and the Communities at Glenross Subdivisions respectively and achieve compliance with the adopted Bicycle and Pedestrian Master Plan 2027. The Phase 1 portions of the aforementioned bikes paths shall be constructed in this Phase. The bike path along Peachblow Road shall be extended to Winterbourne Drive in this Phase toward the west to create a continuous pathway network as proposed along Peachblow Road as well as connected to the north as shown on the plans.. Also, the applicant is proposing a bike path through Reserve A that can accommodate emergency vehicles per the Fire Department. Sidewalks will be provided on both sides of all public streets in the subdivision.
- **PARKLAND AND OPEN SPACE:** As mentioned above, there are three Reserve Areas in this Phase (A, D & E). Reserve A (12.996 acres) is located just east of the main entrance on Peachblow Road and contains two retention ponds and a 150-foot-wide overhead power line easement. The amenities include a bike path and a four station Fit-Trail course (similar to the one in Belmont Place Subdivision) along the bike path. Per the landscape plan in the approved Preliminary Development Plan, there shall be benches along the bike path along with the landscaping which would include shrubs, perennials and ornamental grasses. Reserve D (0.682 acres) is located on the east side of Winterbourne Drive and contains a bike path and mounding and landscaping to buffer the proposed adjacent houses. Reserve E (0.609 acres) is located north of Gardenia Lane and east of Silver Pine Lane and contains an open ball field for soccer, football, baseball and the like with trees buffering the house to the north. Also benches would be located at the southwestern portion of the reserve area with a three rail fence located along Gardenia Lane and Silver Pine Lane. All opens spaces shall be owned and maintained by the homeowner's association but allow public access.
- **TREE PRESERVATION:** Per the submitted tree survey with the approved Preliminary Development Plan, the applicant is removing 915 caliper inches of trees (107 trees) while the applicant is preserving 1771.5 caliper inches of trees (211 trees). Therefore, the applicant is preserving significantly more trees (856.5 caliper inches) than ones being removed and achieves compliance with the proposed development text and other recently approved PMU's. In Phase 1 only 3 trees (in good or fair health) are being removed while several trees are being preserved. The existing tree line along the eastern property line shall be preserved as much as possible and be located within a tree preservation area.
- **LANDSCAPING:** The applicant provided a comprehensive landscaping plan that included street trees, mounding and landscaping buffering along Winterbourne Drive, buffering in Reserve E and entrance landscaping and signage. Street trees would be planted along all the public streets per code. Also, along Winterbourne Drive a 3 to 6-foot-high mound with landscaping with 61 evergreen and 21 deciduous trees would be planted per the approved development text to provide an aesthetically pleasing corridor along with providing a buffer for the adjacent houses. Sixteen evergreen trees would be planted along the northern portion of Reserve E to buffer the proposed house from the open ball field. At the main entrance, two signs with landscaping would be constructed on both sides of Winterbourne Drive to provide an enticing entrance feature. The Shade Tree Commission would need to approve all landscape plans.

- **LIGHTING PLAN:** A lighting plan would have to reviewed that shall achieve compliance with the zoning code and approved development text and be approved by the City.
- **PHASING:** The applicant has provided a phasing plan which indicates the site would be developed in seven phases from south to north. Phase I (66 lots) would be located just east of Winterbourne Drive fronting Peachblow Road while Phase 2 (73 lots) would be located just west of Winterbourne Drive fronting Peachblow Road. Phase 3 (19 lots) is located just north of Phase 1 while Phase 4 (29 lots) is located just north of Phase 2. Phase 5 (25 lots) is located north of Phase 4 on the west side of Winterbourne Drive and Phase 6 (21 lots) is located north of Phase 3 on the east side of Winterbourne Drive. Finally, Phase 7 (30 lots) is located north of Phase 5 in the northwestern portion of the development.

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**STAFF RECOMMENDATION – (2019-2890 FINAL DEVELOPMENT PLAN)**

Staff recommends approval of a request by Grden LLC for a Final Development Plan for Winterbrook Place Phase 1 on 30.452 acres containing 66 single family lots on property zoned R-3 PMU (One Family Residential District with a Planned Mixed Use Overlay District) and located on Winterbourne Drive, Sienna Glenn Drive, Mahogany Drive, Gardenia Lane and Silver Pine Lane, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The developer shall be responsible for any improvements and/or financial obligations of the traffic impact study per the City Engineer and County Engineer.
3. The primary access to the development shall be from Peachblow Road at a proposed roundabout to be constructed in the future by the Delaware County Engineer (a fair share amount would be paid by developer per the County's requirements) for the subject development and the proposed developments located south of Peachblow Road in the County. If the County Engineer does not construct the proposed the roundabout prior to the developer initiating construction of the subject development, the proposed access point to Peachblow Road shall be a traditional intersection with a stop sign.
4. All retention ponds shall be setback from a public road per the City Engineer.
5. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
6. The single-family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
7. Patios, decks and other exterior improvements shall be allowed to extend 15 feet into the 30-foot rear yard setback per the approved development text.
8. A minimum 3-6-foot-high mound with landscaping shall be located along east side of Winterbourne Drive to be consistent with the roadway treatment in the Communities of Glenross and a 3-6 high mound with landscaping shall be located along Peachblow Road to be consistent with the treatment along Belmont Place.
9. In Reserve A per the landscape plan in the approved Preliminary Development Plan, there shall be benches along the bike path along with the landscaping which shall include shrubs, perennials and ornamental grasses.
10. A street tree plan shall be submitted and approved by the Shade Tree Commission.
11. The bike path along Peachblow Road shall be extended to Winterbourne Drive in this Phase. The biked paths located within an easement dedicated to the City and shall be maintained by the Homeowner's Association.
12. The street lighting plan shall be submitted, reviewed and approved by the City and achieve compliance with all zoning requirements.

13. The development shall be in the Delaware South New Community Authority, subject to the single-family lot transportation fee (\$1,000 per dwelling unit) in effect at the time of building permit issuance and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling units.
14. The developer is identifying storm sewer easements in open space areas (reserve areas) along Winterbourne Drive, along the eastern boundary of the property and adjacent to the Gundling property that requires mounding, tree planting and/or tree preservation per the landscape and tree preservation plans of the approved Preliminary Development Plan and Preliminary Subdivision Plat. The landscaping as preliminarily proposed is non-negotiable and is a priority over the stormwater line location according to the City prior approvals. Planning staff's preference is to allow mounding and landscaping within the stormwater easement in this case. However, it maybe that the applicant will have to re-route this line to an alternate and potentially more expensive location to preserve the mounding and landscaping as well as provide adequate stormwater management per the City. If the stormwater lines are moved into the rear yards of the proposed lots there shall be sufficient room in the rear yards to accommodate a normal deck, patio, fence and other typical improvements. The size of the rear yards shall be demonstrated to the satisfaction of the Planning and Community Development staff prior to construction drawing approval or the stormwater line shall be relocated to another alignment.
15. Phase 2 or the next constructed phase shall be required to connect to the required secondary access point to the west from Belmont Place (Ensigns Lane).

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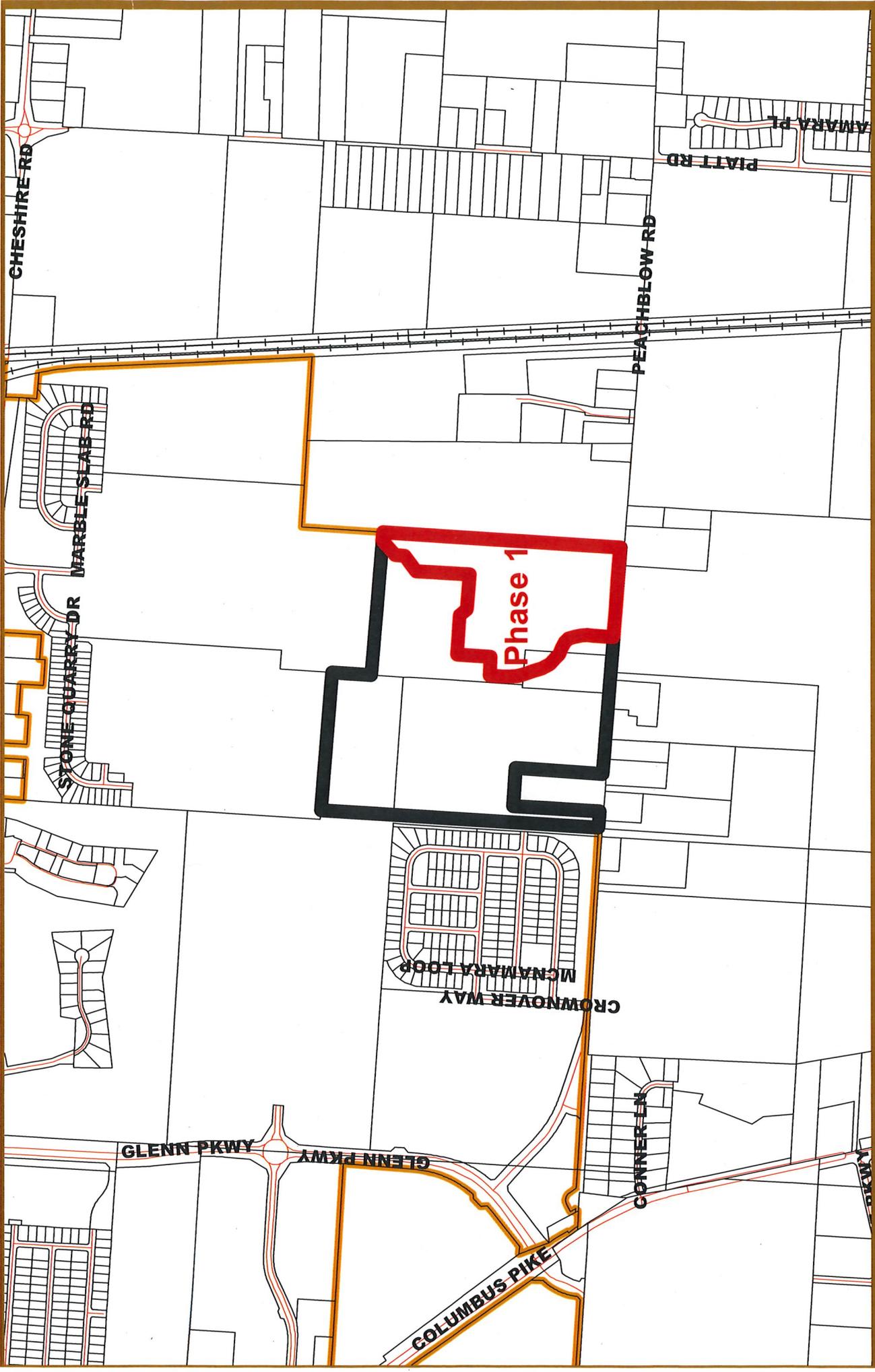
**STAFF RECOMMENDATION – (2019-2892 FINAL SUBDIVISION PLAT)**

Staff recommends approval of a request by Grden LLC for a Final Subdivision Plat for Winterbrook Place Phase 1 on 30.452 acres containing 66 single family lots on property zoned R-3 PMU (One Family Residential District with a Planned Mixed Use Overlay District) and located on Winterbourne Drive, Sienna Glenn Drive, Mahogany Drive, Gardenia Lane and Silver Pine Lane, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The developer shall be responsible for any improvements and/or financial obligations of the traffic impact study per the City Engineer and County Engineer.
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5. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
6. The single-family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
7. Patios, decks and other exterior improvements shall be allowed to extend 15 feet into the 30-foot rear yard setback per the approved development text.
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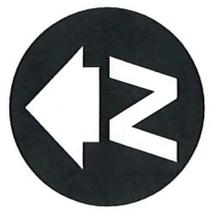
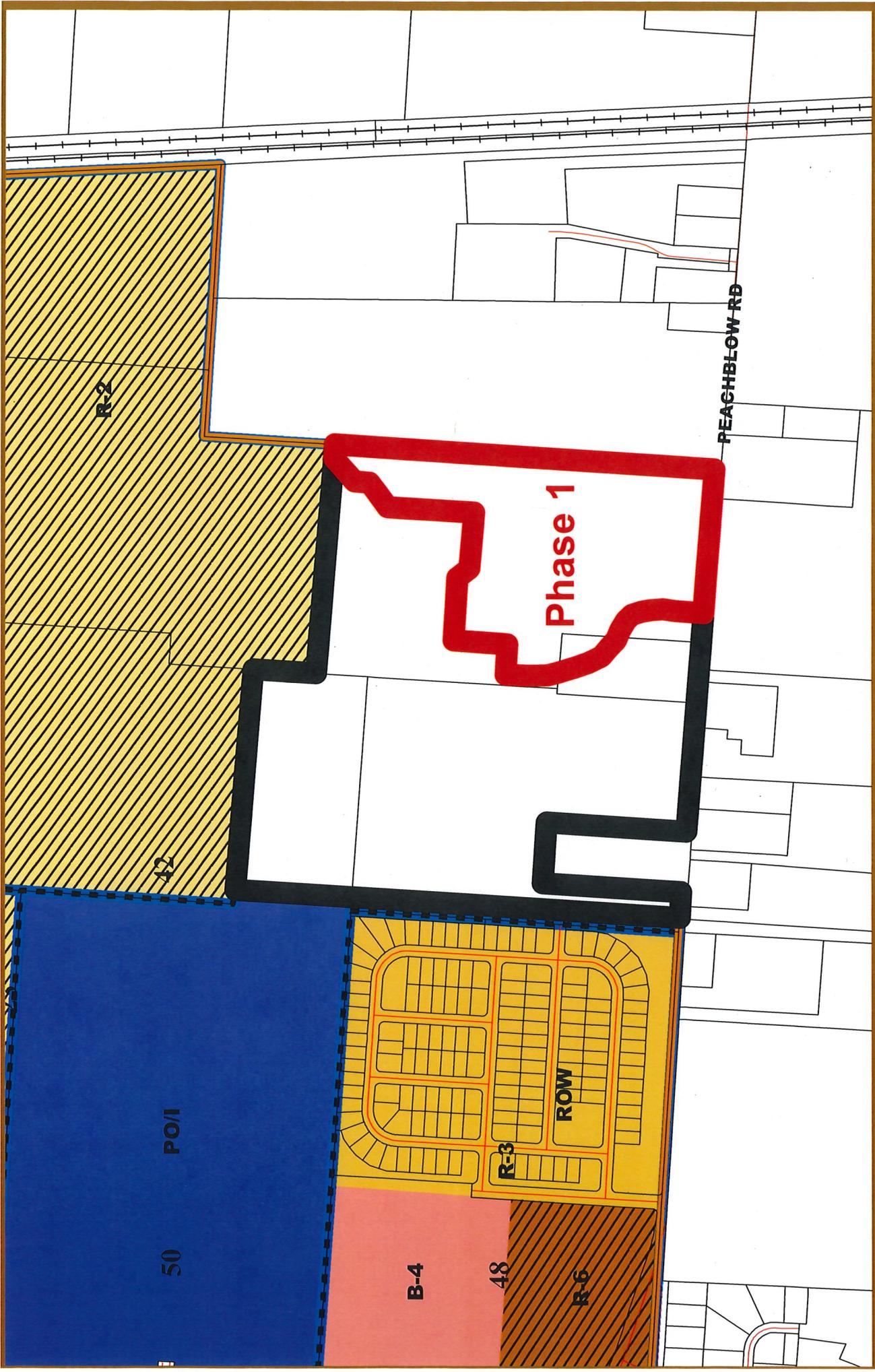
9. In Reserve A per the landscape plan in the approved Preliminary Development Plan, there shall be benches along the bike path along with the landscaping which shall include shrubs, perennials and ornamental grasses.
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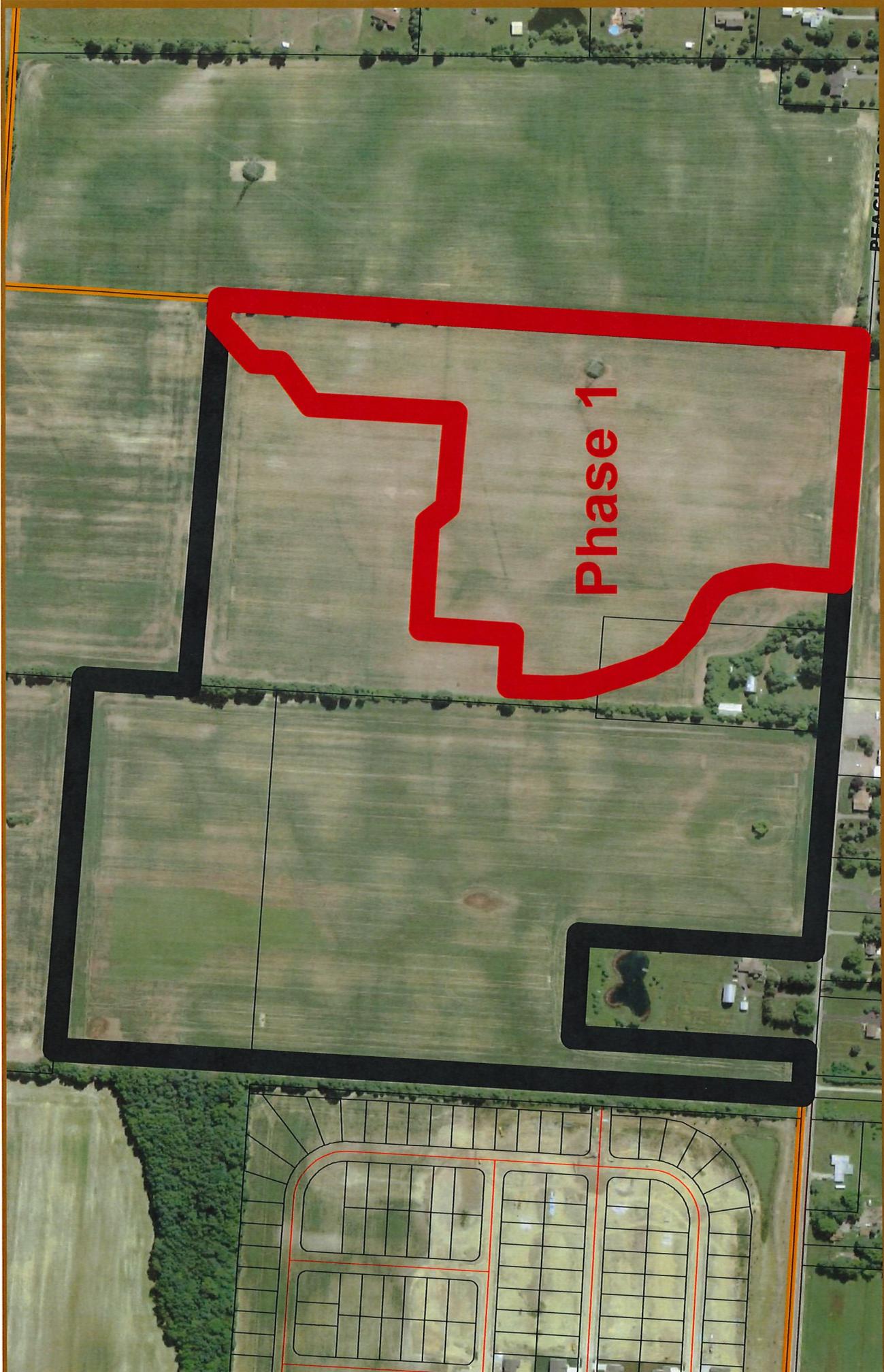
2019-2890 & 2892  
 Final Development Plan and Final Subdivision Plat  
 Winterbrook Place - Phase 1  
 Location Map





2019-2890 & 2892  
 Final Development Plan and Final Subdivision Plat  
 Winterbrook Place - Phase 1  
 Zoning Map





2019-2890 & 2892  
 Final Development Plan and Final Subdivision Plat  
 Winterbrook Place - Phase 1  
 Aerial (2016) Map



NO.	DATE	DESCRIPTION

GARDEN L.L.C.  
 10590 WELLINGTON BLVD  
 POWELL, OH 43085  
 614-668-3586

CITY OF DELAWARE, DELAWARE COUNTY, OHIO  
 FINAL DEVELOPMENT PLAN  
 1000  
**WINTERBROOK PLACE**  
 PHASE I  
 ILLUSTRATIVE SITE PLAN

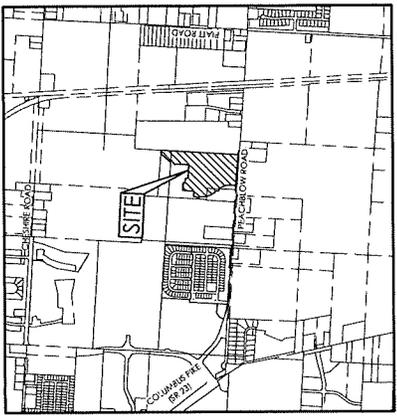
**EMHT**  
 ENGINEERING, ARCHITECTURE & DESIGN  
 12075 W. STATE ST. SUITE 200  
 COLUMBUS, OH 43240  
 614-291-1100

DATE: DECEMBER 14, 2010  
 SCALE: 1" = 100'  
 JOB NO.: 2010096

SHEET  
**6/13**



# WINTERBROOKE PLACE PHASE 1 FINAL DEVELOPMENT PLAN



LOCATION MAP  
NOT SCALE

PREPARED FOR:  
**GRDEN, LLC**  
10590 WELLINGTON BLVD  
POWELL, OH 43065

SUBMITTAL: DECEMBER 13, 2019

## INDEX OF DRAWINGS

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PHASING PLAN:	SHEET 5
ILLUSTRATIVE SITE PLAN:	SHEET 6
TREE INVENTORY AND REMOVAL PLAN:	SHEET 7-8
LANDSCAPE PLAN:	SHEET 9
STREET TREE PLAN:	SHEET 11-10
OPEN SPACE PROGRAMMING & LANDSCAPE PLAN:	SHEET 12
LANDSCAPING DETAILS:	SHEET 13
STREET LIGHTING PLAN:	

CIVIL ENGINEER &  
LANDSCAPE ARCHITECT





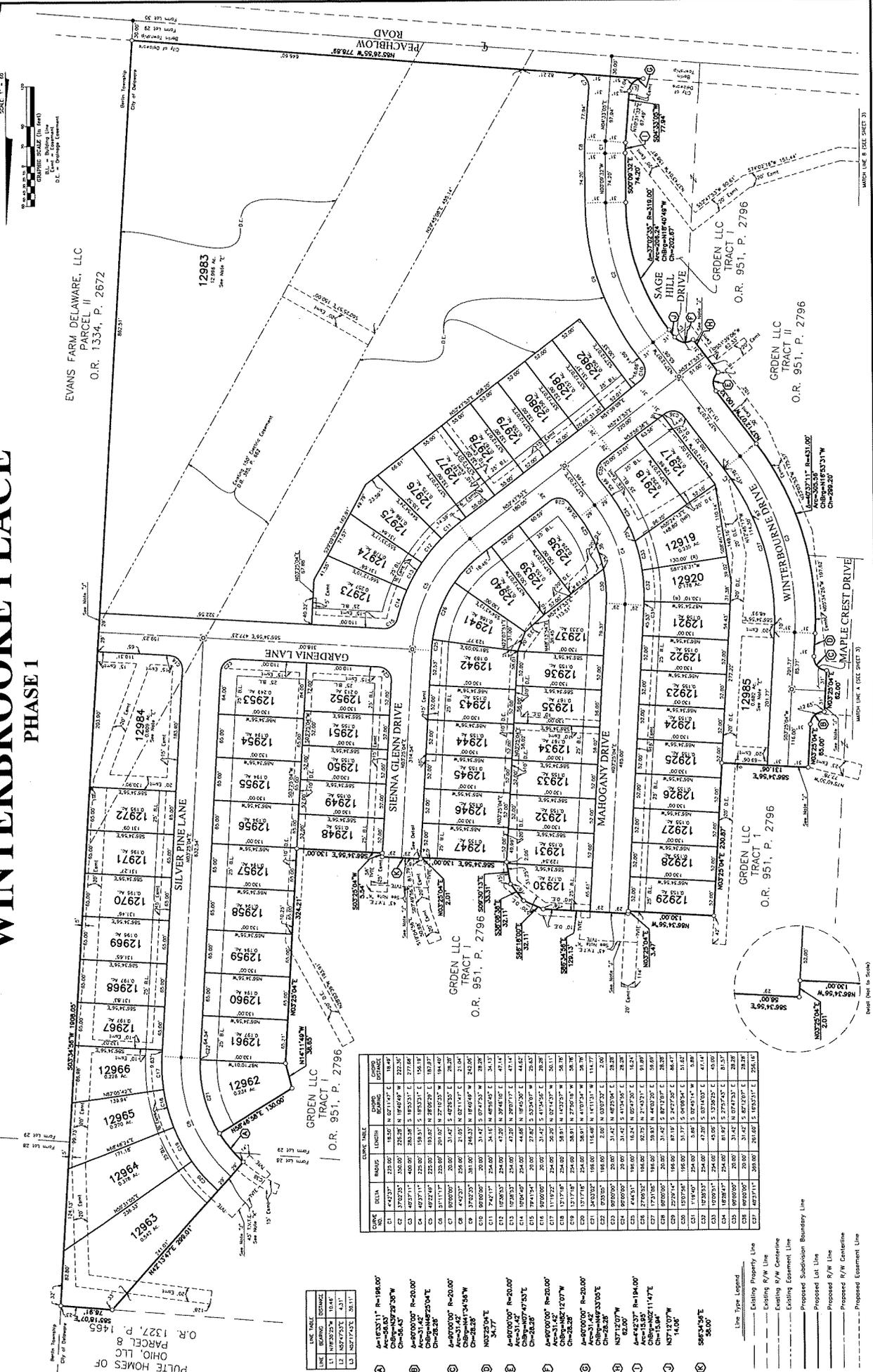
# WINTERBROOKE PLACE PHASE 1

EVANS FARM DELAWARE, LLC  
PARCEL II  
O.R. 1334, P. 2672

PULTE HOMES OF  
OHIO, LLC  
PARCEL 8  
O.R. 1327, P. 1465

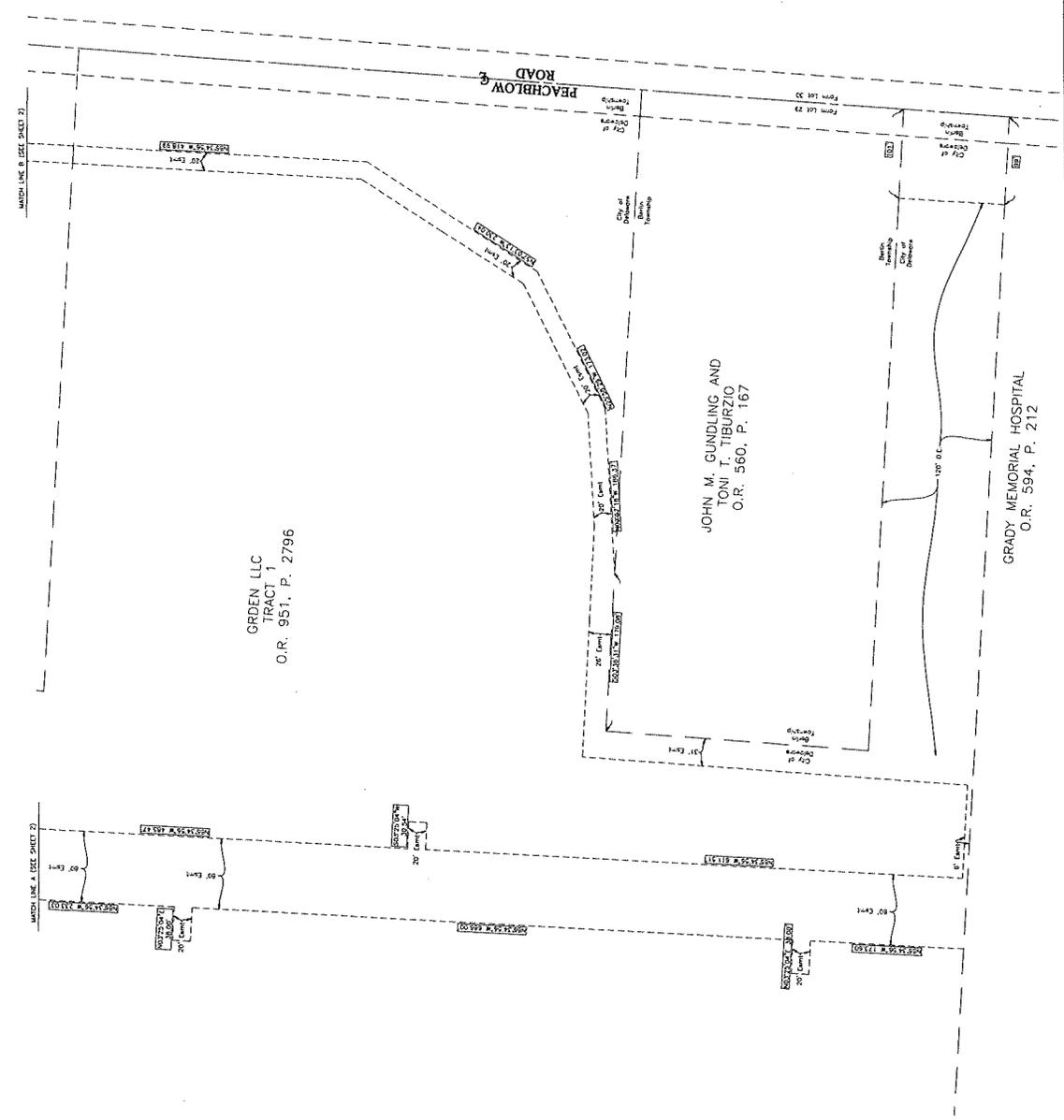
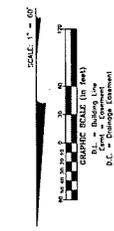
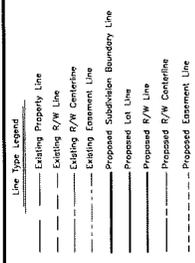


2 13



LINE	DELTA	LENGTH	BEARING	AREA
101	12983	129.83	N 89° 51' 14" W	129.83
102	12984	129.84	N 89° 51' 14" W	129.84
103	12985	129.85	N 89° 51' 14" W	129.85
104	12986	129.86	N 89° 51' 14" W	129.86
105	12987	129.87	N 89° 51' 14" W	129.87
106	12988	129.88	N 89° 51' 14" W	129.88
107	12989	129.89	N 89° 51' 14" W	129.89
108	12990	129.90	N 89° 51' 14" W	129.90
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110	12992	129.92	N 89° 51' 14" W	129.92
111	12993	129.93	N 89° 51' 14" W	129.93
112	12994	129.94	N 89° 51' 14" W	129.94
113	12995	129.95	N 89° 51' 14" W	129.95
114	12996	129.96	N 89° 51' 14" W	129.96
115	12997	129.97	N 89° 51' 14" W	129.97
116	12998	129.98	N 89° 51' 14" W	129.98
117	12999	129.99	N 89° 51' 14" W	129.99
118	13000	130.00	N 89° 51' 14" W	130.00
119	13001	130.01	N 89° 51' 14" W	130.01
120	13002	130.02	N 89° 51' 14" W	130.02
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122	13004	130.04	N 89° 51' 14" W	130.04
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128	13010	130.10	N 89° 51' 14" W	130.10
129	13011	130.11	N 89° 51' 14" W	130.11
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131	13013	130.13	N 89° 51' 14" W	130.13
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133	13015	130.15	N 89° 51' 14" W	130.15
134	13016	130.16	N 89° 51' 14" W	130.16
135	13017	130.17	N 89° 51' 14" W	130.17
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138	13020	130.20	N 89° 51' 14" W	130.20
139	13021	130.21	N 89° 51' 14" W	130.21
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144	13026	130.26	N 89° 51' 14" W	130.26
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147	13029	130.29	N 89° 51' 14" W	130.29
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149	13031	130.31	N 89° 51' 14" W	130.31
150	13032	130.32	N 89° 51' 14" W	130.32
151	13033	130.33	N 89° 51' 14" W	130.33
152	13034	130.34	N 89° 51' 14" W	130.34
153	13035	130.35	N 89° 51' 14" W	130.35
154	13036	130.36	N 89° 51' 14" W	130.36
155	13037	130.37	N 89° 51' 14" W	130.37
156	13038	130.38	N 89° 51' 14" W	130.38
157	13039	130.39	N 89° 51' 14" W	130.39
158	13040	130.40	N 89° 51' 14" W	130.40
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160	13042	130.42	N 89° 51' 14" W	130.42
161	13043	130.43	N 89° 51' 14" W	130.43
162	13044	130.44	N 89° 51' 14" W	130.44
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164	13046	130.46	N 89° 51' 14" W	130.46
165	13047	130.47	N 89° 51' 14" W	130.47
166	13048	130.48	N 89° 51' 14" W	130.48
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208	13090	130.90	N 89° 51' 14" W	130.90
209	13091	130.91	N 89° 51' 14" W	130.91
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217	13099	130.99	N 89° 51' 14" W	130.99
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235	13117	131.17	N 89° 51' 14" W	131.17
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277	13159	131.59	N 89° 51' 14" W	131.59
278	13160	131.60	N 89° 51' 14" W	131.60
279	13161	131.61	N 89° 51' 14" W	131.61
280	13162	131.62	N 89° 51' 14" W	131.62
281	13163	131.63	N 89° 51' 14" W	131.63
282	13164	131.64	N 89° 51' 14" W	131.64
283	13165	131.65	N 89° 51' 14" W	131.65
284	13166	131.66	N 89° 51' 14" W	131.66
285	13167	131.67	N 89° 51' 14" W	131.67
286	13168	131.68	N 89° 51' 14" W	131.68
287	13169	131.69	N 89° 51' 14" W	131.69
288	13170	131.70	N 89° 51' 14" W	131.70
289	13171	131.71		

# WINTERBROOKE PLACE PHASE 1



GRDEN LLC  
TRACT 1  
O.R. 951, P. 2796

JOHN M. GUNDLING AND  
TONI T. TIBURZIO  
O.R. 560, P. 167

GRADY MEMORIAL HOSPITAL  
O.R. 594, P. 212

**NOTE "A"** - Notice is hereby given to any holder of this lot or interest therein that the City of Delaware is currently reviewing the plans for the development of said lots showing proposed lot dimensions, proposed ground elevations, all house number lot locations, and proposed easements. The City of Delaware and its agencies are considered part of the approval of this subdivision and are to be incorporated into the final plat plan required with the building permit.

**NOTE "B"** - MINIMUM SETBACKS: City of Delaware requires that the lot lines of a plat specify the following setback requirements:

- Average lot size: 52 feet by 130 feet
- Front yard: 65 feet by 130 feet
- Side yard: 5 feet (total 10 feet)
- Rear yard: 6.5 feet (total 13.5 feet)

**NOTES "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T", "U", "V", "W", "X", "Y", "Z"** - Various zoning and subdivision notes regarding setbacks, easements, and lot dimensions.

**NOTE "A"** - All utilities within Winterbrooke Phase 1 shall be installed in accordance with the Delaware Department of Transportation (DOT) standards. All T.V. lines and their above ground pedestals shall be located in rear yard areas except where a service feed must cross a street right of way or enter the subdivision.

**NOTE "B"** - LOTS 1298A, 1298B AND 1298C. Lots 1298A, 1298B and 1298C are numbered and delineated herein, shall be owned and maintained by an association composed of the owners of the lots in this subdivision. The association shall be responsible for the Phase 1 subdivision for the purpose of open space and stormwater facilities.

**NOTE "P"** - ACREAGE BREAKDOWN:  
Total acreage: 30.432 Ac.  
Average in Lots 1298A, 1298B, 1298C: 10.251 Ac.  
Average in right-of-way: 5.412 Ac.

**NOTE "Q"** - ACREAGE BREAKDOWN: Winterbrooke Phase 1 is out of the following Delaware County Parcel Numbers:  
41833001018000 29.703 Ac.  
41833001018001 0.839 Ac.

**NOTE "R"** - This section of the Winterbrooke Phase 1 subdivision is located within the Evans Residential TIF district, and is subject to the provisions of the Evans Residential TIF Ordinance, including a charge of \$5,200 per dwelling unit.

**NOTE "S"** - At the time of platting, electric, telephone and cable service providers have not issued information required so that easement may be shown on the plat for the installation and maintenance of all of their main line facilities, could be provided by the applicant. The applicant shall provide the information stated above Winterbrooke Phase 1 or any part thereof can be required by a component communication of the County Recorder's Office, including those in the Delaware County Recorder's Office.

**NOTE "T"** - No vehicular access until such time as the public street right-of-way is extended and dedicated by plat or deed.

**NOTE "U"** - TEMPORARY VEHICLE TURNAROUND EASEMENT (L.V.E.) MAHOGANY DRIVE, SENNA DRIVE AND SILVER PINE DRIVE. The City of Delaware, Ohio is hereby granted a nonexclusive easement for the temporary use of the public in and over the area of the northwestern corner of Mahogany Drive, Senna Drive, and Silver Pine Lane on that parcel owned by Grden LLC and its subsidiaries, for the purpose of providing a vehicle turn time as the temporary turn-around is removed and the street is extended by dedicated right-of-way or easement in a manner acceptable to the City of Delaware.



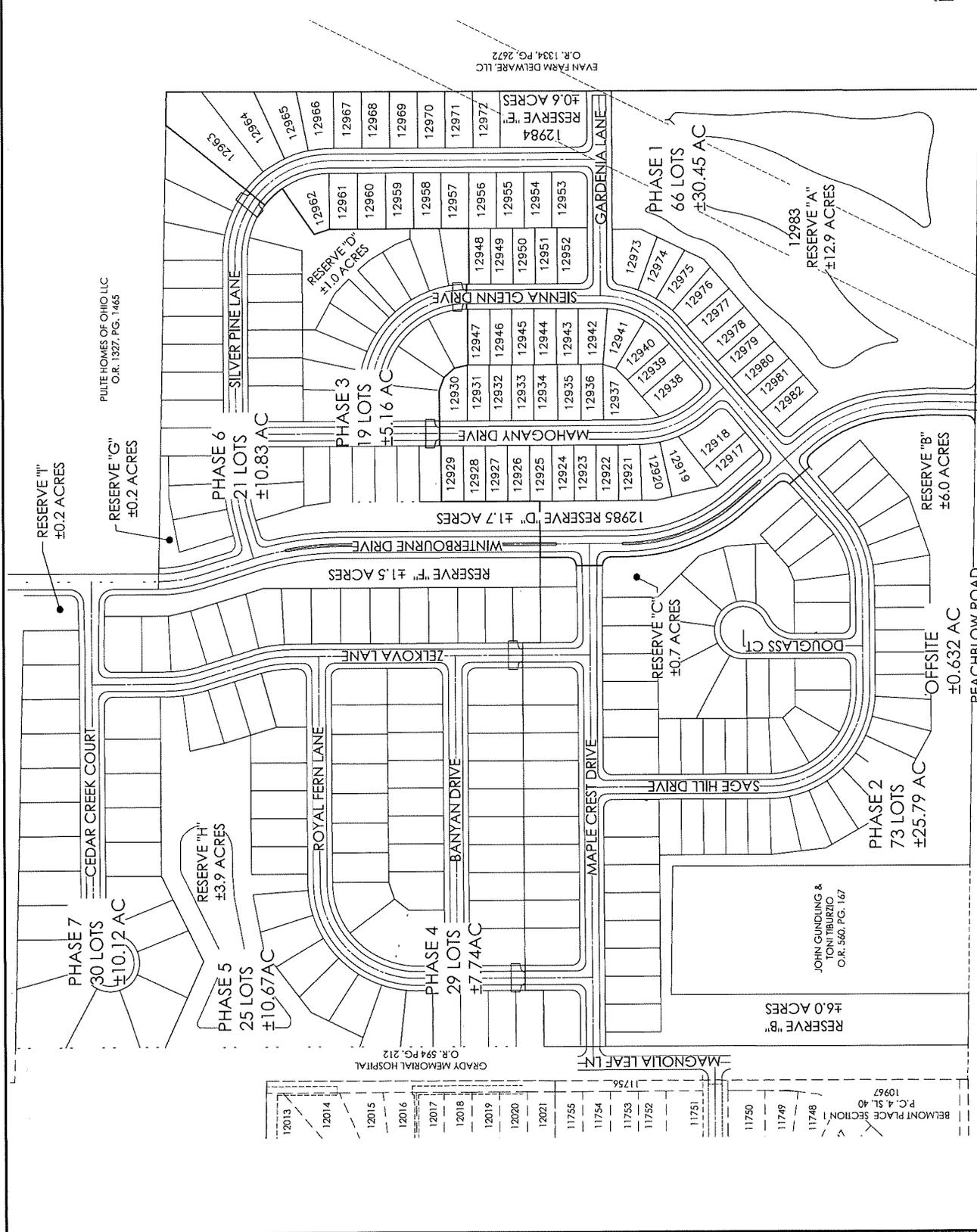
REVISIONS	DATE	DESCRIPTION

GRDEN L.L.C.  
10590 WELLINGTON BLVD  
POWERL, OH 43065  
614-668-3586

CITY OF DELAWARE DELAWARE COUNTY, OHIO  
FINAL DEVELOPMENT PLAN  
FOR  
WINTERBROOKE PLACE  
PHASE I  
PHASING PLAN  
O.R. 1334, P.G. 2672

**EMHT**  
Professional Engineer  
10000 W. Chester Road, Suite 100  
Chester, OH 43001  
Phone: 614-733-7777  
Fax: 614-733-7778  
www.emht.com

DATE: DECEMBER 13, 2011  
SCALE: 1" = 100'  
JOB NO.: 10111111  
SHEET: 5 / 13



EVAN FARM DELAWARE, LLC  
O.R. 1334, P.G. 2672

PUITE HOMES OF OHIO, LLC  
O.R. 1327, P.G. 1465

GRADY MEMORIAL HOSPITAL  
O.R. 594 P.G. 212

JOHN GUNDLING & ASSOCIATES INC.  
O.R. 560, P.G. 167

BEAUMONT PLACE SECTION 1  
P.C. 4 S.L. 40  
10967

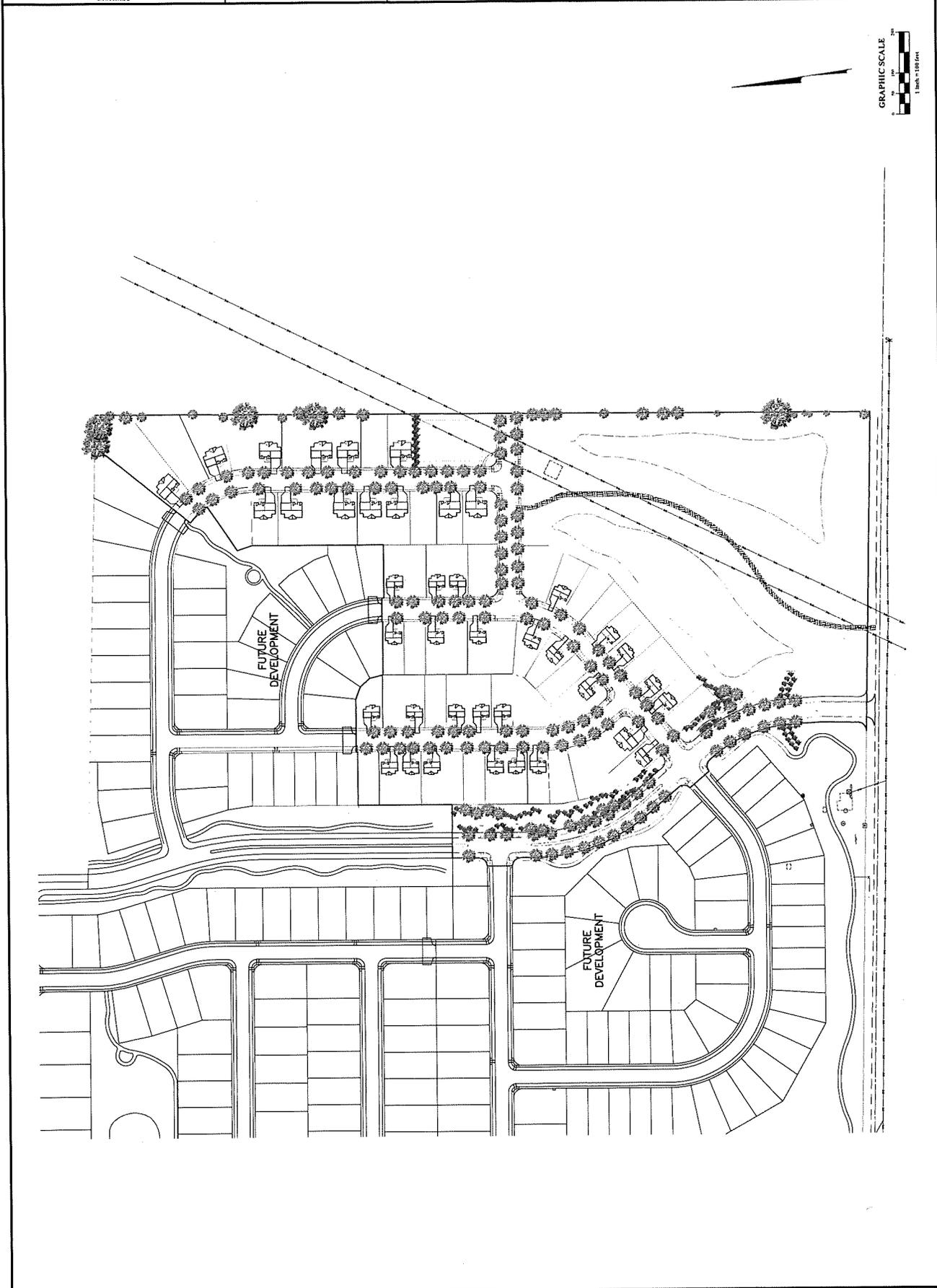
NO.	DATE	DESCRIPTION

GRDEN L.L.C.  
10599 WELLINGTON BLVD  
POWELL, OH 43865  
614-668-3586

CITY OF DELAWARE DELAWARE COUNTY, OHIO  
FINAL DEVELOPMENT PLAN  
FOR  
**WINTERBROOKE PLACE**  
PHASE I  
ILLUSTRATIVE SITE PLAN

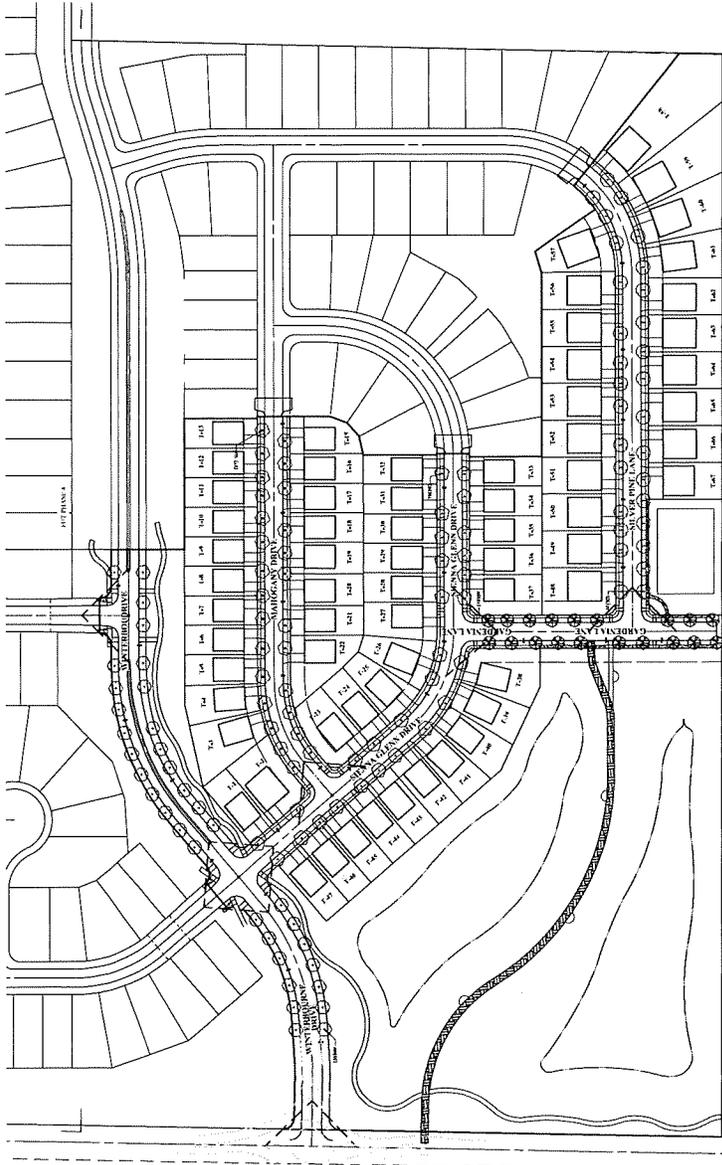
**EMHT**  
Engineering & Planning  
10500 W. 12th Street, Suite 100  
Cincinnati, OH 45240  
Phone: 513-763-4000  
Fax: 513-763-4001  
www.emht.com

DATE: DECEMBER 11, 2019  
SCALE: 1" = 100'  
JOB NO.:  
SHEET: 6/13

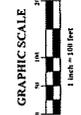








--- SITE DISTANCE TRIANGLES

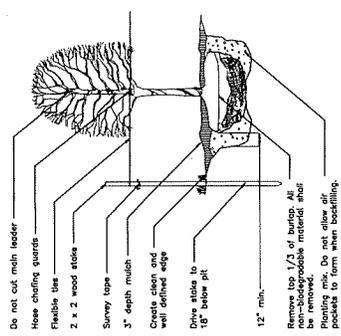


GRAPHIC SCALE  
1 inch = 10 feet

PLANT SCHEDULE PHASE I

TREE CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
4F	30	Acer truncatum 'Spiraea Glen'	Spiraea Glen Maple	2" Cal.	B&B
3D	35	Nyssa sylvatica 'Kilwin'	Widow Black Gum	2" Cal.	B&B
19	19	Quercus macro	Red Oak	2" Cal.	B&B
28	28	Tilia americana 'Boulevar'	Boulevard American Linden	2" Cal.	B&B
27	27	Ulmus americana	American Elm	2" Cal.	B&B

- GENERAL NOTES:**
- Street tree selections shall be approved by the City of Delaware Street Tree Committee. The contractor shall provide a tree list for the general site plan to the City of Delaware Street Tree Committee for review and approval. The contractor shall provide a tree list for the general site plan to the City of Delaware Street Tree Committee for review and approval. The contractor shall provide a tree list for the general site plan to the City of Delaware Street Tree Committee for review and approval.
  - All trees shall be planted in accordance with the American Standard for Nursery Plants and shall be installed in the ground at or near the specified location. All trees shall be planted in accordance with the American Standard for Nursery Plants and shall be installed in the ground at or near the specified location.
  - All trees shall be planted in accordance with the American Standard for Nursery Plants and shall be installed in the ground at or near the specified location. All trees shall be planted in accordance with the American Standard for Nursery Plants and shall be installed in the ground at or near the specified location.
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1 DECIDUOUS TREE UNDER 3\"/>

12\"/>

Remove top 1/3 of burlap. All possible roots that are not to be removed. Planting mix. Do not allow air pockets to form when backfilling.

12\"/>

Remove top 1/3 of burlap. All possible roots that are not to be removed. Planting mix. Do not allow air pockets to form when backfilling.

12\"/>

Remove top 1/3 of burlap. All possible roots that are not to be removed. Planting mix. Do not allow air pockets to form when backfilling.

12\"/>

Remove top 1/3 of burlap. All possible roots that are not to be removed. Planting mix. Do not allow air pockets to form when backfilling.











**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**



Project # \_\_\_\_\_

Case # 2019-2880

Planning Commission

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Amended Final Development Plan                | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non- Conforming Use            |
| <input type="checkbox"/> Amended Final Subdivision Plat                | <input type="checkbox"/> Final Subdivision Plat           | <input type="checkbox"/> Vacation-Alley                                   |
| <input type="checkbox"/> Amended Preliminary Development Plan          | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement                                |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat          | <input type="checkbox"/> Floodplain Permit                | <input type="checkbox"/> Vacation-Street                                  |
| <input type="checkbox"/> Annexation Review                             | <input type="checkbox"/> Lot Split                        | <b>Board of Zoning Appeals</b>  |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement         | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment                  | <input type="checkbox"/> Preliminary Development Plan     | <input type="checkbox"/> Conditional Use Permit                           |
| <input type="checkbox"/> Concept Plan                                  | <input type="checkbox"/> Preliminary Dev Plan Extension   | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit                        | <input type="checkbox"/> Preliminary Sub Plat             | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Determination of Similar Use                  | <input type="checkbox"/> Preliminary Sub Plat Extension   |   |
| <input type="checkbox"/> Development Plan Exemption                    | <input type="checkbox"/> Rezoning                         |   |
| <input checked="" type="checkbox"/> Final Development Plan             | <input type="checkbox"/> Subdivision Variance             |   |

Subdivision/Project Name Winterbrooke Place Phase 1 Address North Peachblow Road, West of Platt Road

Acreage 30.486 Square Footage \_\_\_\_\_ Number of Lots 67 Number of Units N/A

Zoning District/Land Use R-3 PMU Proposed Zoning/Land Use N/A Parcel # 41833001018001 & 41833001018000

Applicant Name Grden, LLC Contact Person Bob Grden

Applicant Address 10590 Wellington Blvd. Powell, Ohio 43065

Phone (614) 766-4304 Fax (614) 766-2215 E-mail arlingtonbuilders@columbus.rr.com

Owner Name Same as above Contact Person \_\_\_\_\_

Owner Address \_\_\_\_\_

Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-mail \_\_\_\_\_

Engineer/Architect/Attorney EMH&T Contact Person Jeff Strung

Address 5500 New Albany Rd. Columbus, Ohio 43054

Phone (614) 775-4700 Fax \_\_\_\_\_ E-mail jstrung@emht.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

[Signature]  
Owner Signature

[Signature]  
Agent Signature

Robert L. Grden  
Owner Printed Name

Jeffrey A Strung  
Agent Printed Name

Sworn to before me and subscribed in my presence this 10<sup>th</sup> day of December, 2019



Vicki P. James-Miller  
Notary Public, State of Ohio  
My Commission Expires 02-08-2024

[Signature]  
Notary Public



**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**

EST 1898  
CITY OF  
**DELAWARE**  
OHIO

Project # \_\_\_\_\_

Case # 2019-2892

*\$ 9000*

Planning Commission

- |  |  |   |
|--|--|---|
| <input type="checkbox"/> Amended Final Development Plan                | <input type="checkbox"/> Final Development Plan Extension  | <input type="checkbox"/> Substitution of a Non- Conforming Use            |
| <input type="checkbox"/> Amended Final Subdivision Plat                | <input checked="" type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Vacation-Alley                                   |
| <input type="checkbox"/> Amended Preliminary Development Plan          | <input type="checkbox"/> Final Subdivision Plat Extension  | <input type="checkbox"/> Vacation-Easement                                |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat          | <input type="checkbox"/> Floodplain Permit                 | <input type="checkbox"/> Vacation-Street                                  |
| <input type="checkbox"/> Annexation Review                             | <input type="checkbox"/> Lot Split                         | <b>Board of Zoning Appeals</b>  |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement          | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment                  | <input type="checkbox"/> Preliminary Development Plan      | <input type="checkbox"/> Conditional Use Permit                           |
| <input type="checkbox"/> Concept Plan                                  | <input type="checkbox"/> Preliminary Dev Plan Extension    | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit                        | <input type="checkbox"/> Preliminary Sub Plat              | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Determination of Similar Use                  | <input type="checkbox"/> Preliminary Sub Plat Extension    |   |
| <input type="checkbox"/> Development Plan Exemption                    | <input type="checkbox"/> Rezoning                          |   |
| <input type="checkbox"/> Final Development Plan                        | <input type="checkbox"/> Subdivision Variance              |   |

Subdivision/Project Name Winterbrooke Place Phase 1 Address North Peachblow Road, West of Platt Road

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The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

[Signature]  
Owner Signature

Robert L. Grden  
Owner Printed Name

[Signature]  
Agent Signature

Jeffrey A. Strung  
Agent Printed Name

Sworn to before me and subscribed in my presence this 10<sup>th</sup> day of December, 2019



Vicki P. James-Miller  
Notary Public, State of Ohio  
My Commission Expires 02-08-2024

[Signature]  
Notary Public

EST 1808

CITY OF

**DELAWARE**

OHIO

YEAR END  
FINANCE  
REPORT

2019



*Dean P. Stelzer, CPA - Finance Director*

**2019**  
**FINANCE DIRECTOR'S REPORT**  
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**FINANCE DIRECTOR'S REPORT  
GENERAL FUND  
December 31, 2019**

	<b>2019 Revenues</b>	<b>2019 Budget</b>	<b>% of Budget</b>	<b>2018 Revenues</b>	<b>% Change 2018-19</b>
<b>REVENUES</b>					
Property Tax	1,658,403	1,629,406	101.78%	1,593,916	4.05%
City Income Tax	15,572,613	15,645,000	99.54%	15,048,475	3.48%
Local Government Fund	698,125	618,976	112.79%	609,739	14.50%
Fines and Forfeitures	107,889	148,000	72.90%	154,916	(30.36%)
Engineering Fees	536,496	1,200,000	44.71%	1,318,509	(59.31%)
Prosecutor Contracts	247,360	285,000	86.79%	254,300	(2.73%)
Parking Meters	36,627	38,000	96.39%	39,249	(6.68%)
Liquor Permits	48,465	45,000	107.70%	45,068	7.54%
Franchise Fees	413,311	405,000	102.05%	409,886	0.84%
Licenses & Permits	1,299,001	830,000	156.51%	1,134,609	14.49%
Investment Income	941,768	650,000	144.89%	796,562	18.23%
Miscellaneous	148,534	110,000	135.03%	238,132	(37.63%)
Reimbursements	224,367	200,000	112.18%	216,349	3.71%
Transfers	2,028,462	1,920,000	105.65%	1,940,662	4.52%
<b>TOTAL</b>	<b>23,961,421</b>	<b>23,724,382</b>	<b>101.00%</b>	<b>23,800,372</b>	<b>0.68%</b>

	<b>2019 Expenditures</b>	<b>2019 Budget</b>	<b>% of Budget</b>	<b>2018 Expenditures</b>	<b>% Change 2018-19</b>
<b>EXPENDITURES</b>					
City Council	166,966	184,347	90.57%	151,103	10.50%
City Manager	801,643	823,711	97.32%	683,835	17.23%
Human Resources	364,248	358,692	101.55%	298,547	22.01%
Economic Development	410,729	474,137	86.63%	369,198	11.25%
Legal Affairs/Prosecutor	772,055	842,343	91.66%	779,530	(0.96%)
Finance	1,422,782	1,485,683	95.77%	1,521,106	(6.46%)
Income Tax Refunds	745,731	450,000	165.72%	490,574	52.01%
General Administration	6,717,307	6,090,255	110.30%	7,112,145	(5.55%)
Risk Management	275,806	349,100	79.00%	334,175	(17.47%)
Police	8,580,581	9,105,357	94.24%	8,399,395	2.16%
Planning	1,148,020	1,268,512	90.50%	1,174,662	(2.27%)
Engineering	1,677,876	1,988,887	84.36%	1,813,889	(7.50%)
City Buildings	496,606	554,958	89.49%	489,504	1.45%
<b>TOTAL</b>	<b>23,580,350</b>	<b>23,975,982</b>	<b>98.35%</b>	<b>23,617,663</b>	<b>(0.16%)</b>

General Fund Beginning Balance Jan. 1, 2019	<b>5,184,250</b>
2019 General Fund Revenues	23,961,421
2019 General Fund Expenditures	(23,580,350)
Outstanding Encumbrances Dec 31, 2019	(571,886)
Advance Due General Payback	1,236,286
General Fund Ending Balance Dec. 31, 2019	<b>6,229,721</b>

**FINANCE DIRECTOR'S REPORT**  
**OTHER OPERATING FUNDS**  
December 31, 2019

<b>REVENUES</b>	<b>2019 Revenues</b>	<b>2019 Budget</b>	<b>% of Budget</b>	<b>2018 Revenues</b>	<b>% Change 2018-2019</b>
STREET MAINTENANCE & REPAIR	3,829,371	3,231,000	118.52%	3,021,801	26.72%
STORM SEWER	857,211	863,000	99.33%	851,836	0.63%
PARKS AND RECREATION	1,555,605	1,571,500	98.99%	1,325,852	17.33%
CEMETERY	263,057	256,000	102.76%	224,107	17.38%
AIRPORT OPERATIONS	864,682	924,840	93.50%	814,791	6.12%
FIRE/EMS INCOME TAX	11,968,221	11,866,361	100.86%	11,626,108	2.94%
MUNICIPAL COURT	2,722,701	2,744,000	99.22%	2,935,597	(7.25%)
GOLF COURSE	169,733	183,500	92.50%	161,058	5.39%
WATER	6,269,474	6,536,132	95.92%	5,975,202	4.92%
SEWER	7,529,744	7,407,971	101.64%	7,127,856	5.64%
REFUSE	3,657,809	3,672,095	99.61%	3,562,787	2.67%
GARAGE ROTARY	718,600	718,600	100.00%	653,824	9.91%
INFORMATION TECH. ROTARY	1,076,223	1,076,017	100.02%	1,076,017	0.02%
<b>TOTAL</b>	<b>41,482,431</b>	<b>41,051,016</b>	<b>101.05%</b>	<b>39,356,836</b>	<b>5.40%</b>

<b>EXPENDITURES</b>	<b>2019 Expenditures</b>	<b>2019 Budget</b>	<b>% of Budget</b>	<b>2018 Expenditures</b>	<b>% Change 2018-2019</b>
STREET MAINTENANCE & REPAIR	3,687,745	3,313,335	111.30%	3,076,399	19.87%
STORM SEWER	612,565	1,380,464	44.37%	465,944	31.47%
PARKS AND RECREATION	1,507,579	1,592,532	94.67%	1,403,373	7.43%
CEMETERY	252,126	315,113	80.01%	255,965	(1.50%)
AIRPORT OPERATIONS	951,888	974,226	97.71%	814,570	16.86%
FIRE/EMS INCOME TAX	11,600,085	11,182,079	103.74%	13,163,127	(11.87%)
MUNICIPAL COURT	2,606,225	2,734,190	95.32%	2,631,900	(0.98%)
GOLF COURSE	128,439	183,401	70.03%	189,794	(32.33%)
WATER OPERATIONS	5,984,998	6,336,213	94.46%	5,986,463	(0.02%)
SEWER OPERATIONS	6,939,592	7,075,047	98.09%	6,651,117	4.34%
REFUSE	3,407,576	3,813,216	89.36%	5,044,718	(32.45%)
GARAGE ROTARY	599,556	707,989	84.68%	608,502	(1.47%)
INFORMATION TECH. ROTARY	1,285,039	1,384,166	92.84%	936,213	37.26%
<b>TOTAL</b>	<b>39,563,413</b>	<b>40,991,971</b>	<b>96.52%</b>	<b>41,228,085</b>	<b>(4.04%)</b>

<b>FUND BALANCES</b>	<b>Fund Balance 1/1/2019</b>	<b>2019 Revenue</b>	<b>2019 Expenditure</b>	<b>Outstanding Encumb.</b>	<b>Fund Balance 12/31/2019</b>
STREET MAINTENANCE & REPAIR	461,581	3,829,371	3,687,745	99,939	503,268
STORM SEWER	1,868,735	857,211	612,565	556,238	1,557,143
PARKS AND RECREATION	218,433	1,555,605	1,507,579	14,953	251,506
CEMETERY	265,769	263,057	252,126	156,122	120,578
AIRPORT OPERATIONS	272,195	864,682	951,888	28,656	156,333
FIRE/EMS INCOME TAX	9,031,814	11,968,221	11,600,085	224,259	9,175,691
MUNICIPAL COURT	2,744,978	2,722,701	2,606,225	19,900	2,841,554
GOLF COURSE	39,762	169,733	128,439	0	81,056
WATER OPERATIONS	1,219,585	6,269,474	5,984,998	87,099	1,416,962
SEWER OPERATIONS	3,134,518	7,529,744	6,939,592	175,184	3,549,486
REFUSE	909,634	3,657,809	3,407,576	673,099	486,768
GARAGE ROTARY	385,951	718,600	599,556	64,327	440,668
INFORMATION TECH. ROTARY	864,189	1,076,223	1,285,039	72,283	583,090
<b>TOTAL</b>	<b>21,417,144</b>	<b>41,482,431</b>	<b>39,563,413</b>	<b>2,172,059</b>	<b>21,164,103</b>

**FINANCE DIRECTOR'S REPORT**  
**UNENCUMBERED FUND BALANCES**  
**COMPARISON TO PRIOR YEARS - MAJOR FUNDS**  
**December 31, 2019**

	2015	2016	2017	2018	2019
<b>General Fund</b>	\$ 3,408,165	\$ 4,122,821	\$ 4,570,274	\$ 5,916,845	\$ 6,229,720
<b>Special Revenue Funds</b>					
STREET MAINTENANCE & REPAIR	\$ 90,326	\$ 361,044	\$ 447,788	\$ 387,047	\$ 503,268
STORM SEWER	\$ 2,138,810	\$ 1,751,571	\$ 1,376,011	\$ 1,685,168	\$ 1,557,142
PARKS AND RECREATION	\$ 224,064	\$ 214,761	\$ 278,570	\$ 194,959	\$ 251,507
CEMETERY	\$ 263,510	\$ 252,959	\$ 252,648	\$ 254,247	\$ 120,578
AIRPORT OPERATIONS	\$ 230,150	\$ 226,670	\$ 266,229	\$ 204,821	\$ 156,333
FIRE/EMS INCOME TAX	\$ 5,342,783	\$ 5,377,907	\$ 7,036,895	\$ 7,886,537	\$ 9,175,691
MUNICIPAL COURT	\$ 1,490,802	\$ 1,865,402	\$ 2,436,023	\$ 2,737,913	\$ 2,841,554
<b>Enterprise Funds</b>					
GOLF COURSE	\$ 85,141	\$ 69,362	\$ 68,196	\$ 38,211	\$ 81,056
WATER	\$ 1,602,637	\$ 1,291,153	\$ 1,142,570	\$ 1,092,215	\$ 1,416,962
SEWER	\$ 2,401,351	\$ 2,535,571	\$ 2,516,818	\$ 2,964,572	\$ 3,549,486
REFUSE	\$ 1,698,435	\$ 2,045,048	\$ 491,244	\$ 503,004	\$ 486,768
<b>Internal Service Funds</b>					
GARAGE ROTARY	\$ 190,041	\$ 245,757	\$ 309,751	\$ 364,006	\$ 440,668
INFORMATION TECH. ROTARY	\$ 353,689	\$ 500,508	\$ 641,165	\$ 779,821	\$ 583,090
HEALTH INSURANCE FUND	\$ 2,396,651	\$ 2,214,259	\$ 1,909,922	\$ 1,507,428	\$ 513,604
WORKERS COMPENSATION FUND	\$ 1,945,286	\$ 1,969,888	\$ 2,351,455	\$ 2,628,787	\$ 2,625,578
<b>Capital Improvement Funds</b>					
GENERAL FUND CIP	\$ 1,433,888	\$ 785,524	\$ 831,508	\$ 669,376	\$ (205,637)
EQUIPMENT REPLACEMENT	\$ 116,514	\$ 89,212	\$ 137,016	\$ 155,614	\$ 51,233
IMPACT FEE FUNDS	\$ 999,559	\$ 2,120,150	\$ 2,255,889	\$ 2,247,187	\$ 3,448,339
WATER CIP	\$ 7,319,155	\$ 7,373,464	\$ 8,050,992	\$ 10,393,900	\$ 12,811,437
SEWER CIP	\$ 5,912,280	\$ 4,135,973	\$ 5,420,603	\$ 6,314,461	\$ 10,018,131
<b>Reserve Funds</b>					
DEVELOPMENT RESERVE	\$ 861,500	\$ 807,886	\$ 924,886	\$ 964,886	\$ 1,008,886
GENERAL FUND RESERVE	\$ 425,871	\$ 1,012,323	\$ 1,047,056	\$ 1,163,864	\$ 1,188,864
WATER RESERVE FUND	\$ 1,870,439	\$ 2,000,000	\$ 2,000,000	\$ 2,000,000	\$ 2,000,000
SEWER RESERVE FUND	\$ 181,130	\$ 1,500,000	\$ 2,000,000	\$ 2,000,000	\$ 2,000,000
<b>TOTAL</b>	\$ 42,982,177	\$ 44,869,213	\$ 48,763,509	\$ 55,054,869	\$ 62,854,258
<b>TOTAL ALL FUNDS</b>	\$ 50,664,469	\$ 57,337,593	\$ 62,142,567	\$ 70,423,764	\$ 76,455,464

**FINANCE DIRECTOR'S REPORT  
BUDGET VS. ACTUAL  
OPERATING FUNDS  
December 31, 2019**

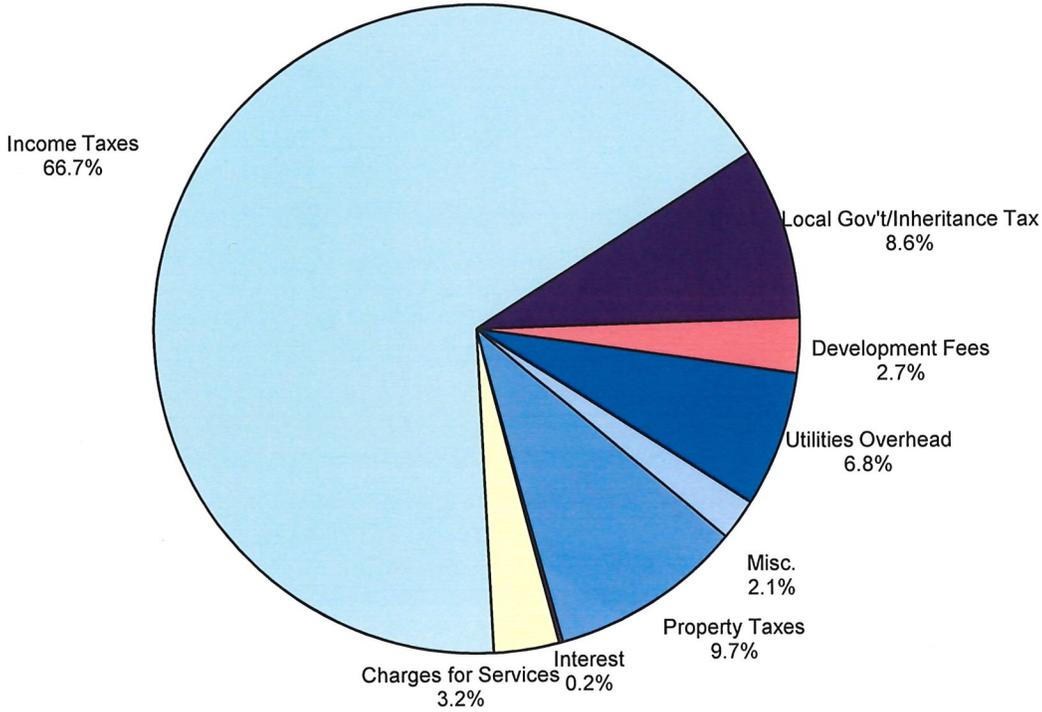
	Original 2019 Budget	2018 PO Carryover	Combined 2019 Budget	Actual 2019 Expenditures	2019 Year End Encumbrances	Variance Positive (Negative)	Supplemental Appropriations
<b>GENERAL FUND</b>							
City Council	184,347	245	184,592	166,966	779	16,847	500
City Manager	823,711	5,200	828,911	801,643	685	26,583	
Administrative Services	358,692	32,044	390,736	364,248	930	25,558	
Economic Development	474,137	32,968	507,105	410,729	25,000	71,376	
Legal Affairs/Prosecutor	842,343	1,800	844,143	772,055	2,304	69,784	
Finance	1,485,683	22,480	1,508,163	1,422,782	12,733	72,648	
Income Tax Refunds	450,000	0	450,000	745,731	0	(295,731)	350,000
General Administration	6,090,255	141,447	6,231,702	6,717,307	97,919	(583,524)	660,000
Risk Management	349,100	0	349,100	275,806	0	73,294	
Police	9,105,357	54,221	9,159,578	8,580,581	62,162	516,835	
Planning	1,268,512	14,609	1,283,121	1,148,020	36,713	98,388	
Engineering	1,988,887	169,557	2,158,444	1,677,876	314,962	165,606	
City Buildings	554,958	29,120	584,078	496,606	17,700	69,772	1,800
<b>TOTAL GENERAL FUND</b>	<b>23,975,982</b>	<b>503,691</b>	<b>24,479,673</b>	<b>23,580,350</b>	<b>571,887</b>	<b>327,436</b>	<b>1,012,300</b>
<b>OTHER OPERATING FUNDS</b>							
Street Maintenance Admin.	921,749	3,215	924,964	890,393	10,577	23,994	25,000
Street Maintenance Streets	1,619,077	21,593	1,640,670	2,025,242	77,456	(462,028)	550,000
Street Maintenance Traffic	772,509	49,725	822,234	772,110	11,906	38,218	
Grounds and Facilities	1,388,760	23,473	1,412,233	1,303,807	14,953	93,473	
Recreation	203,772	0	203,772	203,772	0	-	
Cemetery	315,113	11,522	326,635	252,126	156,122	(81,613)	125,000
Fire/EMS	11,182,079	1,145,276	12,327,355	11,600,085	224,259	503,011	
Golf Course	183,401	1,551	184,952	128,439	0	56,513	
Airport	974,226	67,373	1,041,599	951,888	28,656	61,055	
Storm Sewer	1,380,464	147,532	1,527,996	612,565	556,238	359,193	
Water Administration	3,156,083	35,569	3,191,652	3,171,031	390	20,231	26,000
Treatment	2,177,766	54,974	2,232,740	1,941,672	57,890	233,178	
Distribution	1,002,364	36,827	1,039,191	872,296	28,818	138,077	
Sewer Administration	4,332,884	43,901	4,376,785	4,425,173	23,391	(71,779)	100,000
Treatment	1,985,502	70,049	2,055,551	1,889,348	68,016	98,187	
Collection	756,661	55,996	812,657	625,071	83,776	103,810	
Refuse Administration	439,900	60,230	500,130	458,357	28,771	13,002	
Collection	2,342,577	339,768	2,682,345	2,235,255	356,721	90,369	
Recycling	1,030,739	6,332	1,037,071	713,964	287,606	35,501	
Garage Rotary	707,989	21,946	729,935	599,556	64,327	66,052	20,000
IT Rotary	1,384,166	84,368	1,468,534	1,285,039	72,283	111,212	
Court Administration	1,514,956	3,065	1,518,021	1,473,620	8,261	36,140	29,000
Clerk of Courts	1,219,234	4,000	1,223,234	1,132,605	11,639	78,990	
<b>TOTAL OTHER FUNDS</b>	<b>40,991,971</b>	<b>2,288,285</b>	<b>43,280,256</b>	<b>39,563,414</b>	<b>2,172,056</b>	<b>1,544,786</b>	<b>875,000</b>

## FINANCE DIRECTOR'S REPORT GENERAL FUND REVENUES

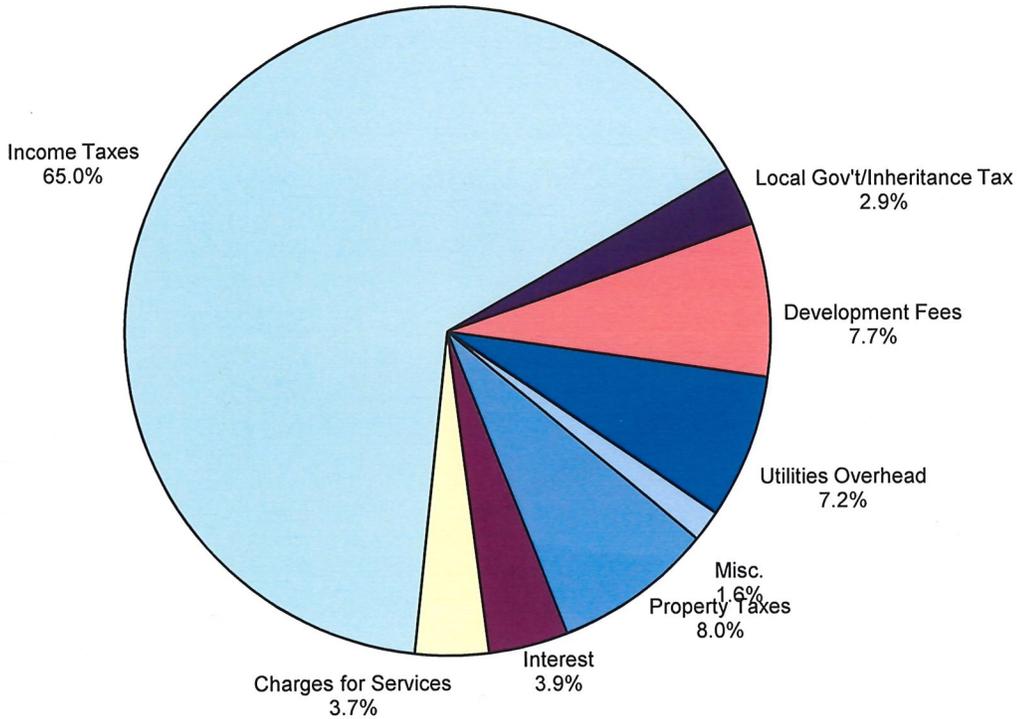
December 31, 2019

	2016	2017	2018	2019	% Change 2018 to 2019
<b>Property Taxes</b>					
Real Estate	1,506,546	1,445,141	1,635,414	1,743,406	6.60%
Rollbacks/Homestead Credits	174,504	176,533	196,292	169,134	-13.84%
<b>Total Property Taxes</b>	<b>\$ 1,681,050</b>	<b>\$ 1,621,674</b>	<b>\$ 1,831,706</b>	<b>\$ 1,912,540</b>	<b>4.41%</b>
<b>Income Taxes</b>					
1.0% General Operations	13,515,572	14,007,389	15,048,475	15,572,613	3.48%
<b>Total Income Taxes</b>	<b>\$ 13,515,572</b>	<b>\$ 14,007,389</b>	<b>\$ 15,048,475</b>	<b>\$ 15,572,613</b>	<b>3.48%</b>
<b>Other Taxes</b>					
Inheritance Tax	1,803	-	-	-	0.00%
State Shared Taxes (Local Gov't)	604,095	591,818	609,739	698,125	14.50%
Miscellaneous Taxes	1,013	1,075	975	997	2.26%
<b>Total Other Taxes</b>	<b>\$ 606,911</b>	<b>\$ 592,893</b>	<b>\$ 610,714</b>	<b>\$ 699,122</b>	<b>14.48%</b>
<b>Charges for Services</b>					
Engineering Fees	1,109,269	1,826,791	1,318,509	536,496	-59.31%
Prosecutor Fees	266,810	287,045	254,300	247,360	-2.73%
Parking Meters	38,282	32,748	39,249	36,627	-6.68%
Licenses and Permits	867,689	717,232	1,134,609	1,299,001	14.49%
Cable Franchise Fees	357,145	373,236	409,887	413,311	0.84%
City Court/Diversions Fines	139,971	139,540	154,916	107,889	-30.36%
Miscellaneous Fees	72,892	71,210	84,928	87,419	2.93%
<b>Total Charges for Services</b>	<b>\$ 2,852,058</b>	<b>\$ 3,447,802</b>	<b>\$ 3,396,398</b>	<b>\$ 2,728,103</b>	<b>-19.68%</b>
<b>Investment Income</b>	<b>\$ 144,144</b>	<b>\$ 387,615</b>	<b>\$ 796,562</b>	<b>\$ 941,768</b>	<b>18.23%</b>
<b>Utility Fund Overhead Transfers</b>	<b>\$ 1,575,032</b>	<b>\$ 1,679,339</b>	<b>\$ 1,678,500</b>	<b>\$ 1,732,185</b>	<b>3.20%</b>
<b>Miscellaneous/Reimbursements</b>	<b>\$ 300,917</b>	<b>\$ 244,218</b>	<b>\$ 438,017</b>	<b>\$ 375,090</b>	<b>-14.37%</b>
<b>TOTAL GENERAL FUND REVENUE</b>	<b>\$ 20,675,684</b>	<b>\$ 21,980,930</b>	<b>\$ 23,800,372</b>	<b>\$ 23,961,421</b>	<b>0.68%</b>
<b>Other General Government Revenue</b>					
Fire Department	\$ 9,884,056	\$ 10,985,622	\$ 11,626,108	\$ 11,968,221	2.94%
Municipal Court	\$ 2,751,715	\$ 3,064,686	\$ 2,935,597	\$ 2,935,597	0.00%
<b>TOTAL GENERAL GOV'T REVENUE</b>	<b>\$ 33,311,455</b>	<b>\$ 36,031,238</b>	<b>\$ 38,362,077</b>	<b>\$ 38,865,239</b>	<b>1.31%</b>

# 2009 General Fund Revenue



# 2019 General Fund Revenue

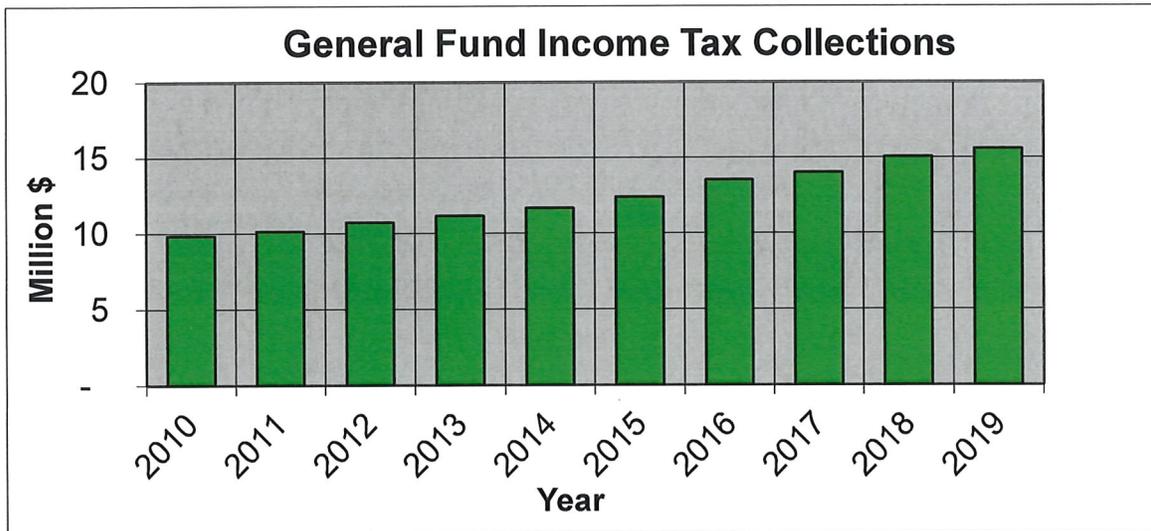


# FINANCE DIRECTOR'S REPORT

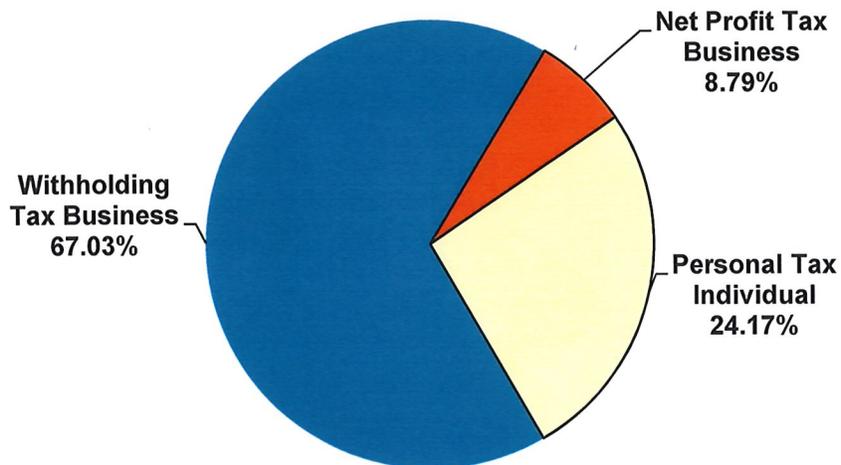
## Year-End Report

### Income Tax Collections

Year	1.00% General Fund	% Increase	0.70% Fire/EMS	0.15% Rec Facilities	TOTAL	Rate
2010	9,835,301	0.36%	3,932,939	1,416,239	15,184,479	1.55%
2011	10,136,058	3.06%	6,147,283	1,482,349	17,765,690	1.85%
2012	10,717,681	5.74%	7,357,166	1,583,182	19,658,029	1.85%
2013	11,158,354	4.11%	7,743,266	1,656,146	20,557,766	1.85%
2014	11,671,156	4.60%	8,126,904	1,739,367	21,537,427	1.85%
2015	12,390,195	6.16%	8,612,636	1,849,904	22,852,735	1.85%
2016	13,515,572	9.08%	9,436,600	2,033,023	24,985,195	1.85%
2017	14,007,389	3.64%	9,791,640	2,099,160	25,898,189	1.85%
2018	15,048,475	7.43%	10,524,572	2,256,245	27,829,292	1.85%
2019	15,572,613	3.48%	10,896,589	2,335,384	28,804,586	1.85%



### 2019 Income Tax Breakdown



# FINANCE DIRECTOR'S REPORT

## Year-End Report 2019

### General Fund Expenditure History

	2000	% of Total	2005	% of Total	2010	% of Total	2017	% of Total	2018	% of Total	2019	% of Total
<b>All Expenditures</b>												
City Administration	954,994	8.3%	1,168,300	8.2%	1,109,593	7.1%	1,449,762	7.0%	1,502,683	6.9%	1,743,586	7.6%
Legal/Prosecutor	293,579	2.5%	503,172	3.6%	592,713	3.8%	764,928	3.7%	779,530	3.6%	772,055	3.4%
Finance	686,627	5.9%	959,941	6.8%	1,269,385	8.2%	1,486,475	7.1%	1,521,106	6.9%	1,422,782	6.2%
Police/911	3,845,687	33.3%	5,086,843	35.9%	6,465,943	41.6%	7,952,097	38.2%	8,399,395	38.4%	8,580,581	37.6%
General Administration	799,071	6.9%	1,142,369	8.1%	1,062,930	6.8%	1,441,800	6.9%	1,647,034	7.5%	1,544,664	6.8%
Capital Improvement	1,705,000	14.7%	1,000,000	7.1%	1,500,000	9.6%	2,039,700	9.8%	2,237,500	10.2%	2,365,055	10.4%
Planning/Engineering	1,525,961	13.2%	2,566,964	18.1%	1,783,502	11.5%	2,920,381	14.0%	2,988,551	13.7%	2,825,896	12.4%
Street Maintenance	995,000	8.6%	707,348	5.0%	719,640	4.6%	1,361,754	6.5%	1,490,000	6.8%	2,050,000	9.0%
Parks/Cemetery	700,000	6.1%	887,138	6.3%	995,000	6.4%	1,375,000	6.6%	1,295,004	5.9%	1,500,000	6.6%
Airport	55,000	0.5%	150,592	1.1%	50,000	0.3%	30,000	0.1%	30,000	0.1%	30,000	0.1%
<b>Total</b>	<b>11,560,919</b>		<b>14,172,667</b>		<b>15,548,706</b>		<b>20,821,897</b>		<b>21,890,803</b>		<b>22,834,619</b>	

### Wages and Benefits

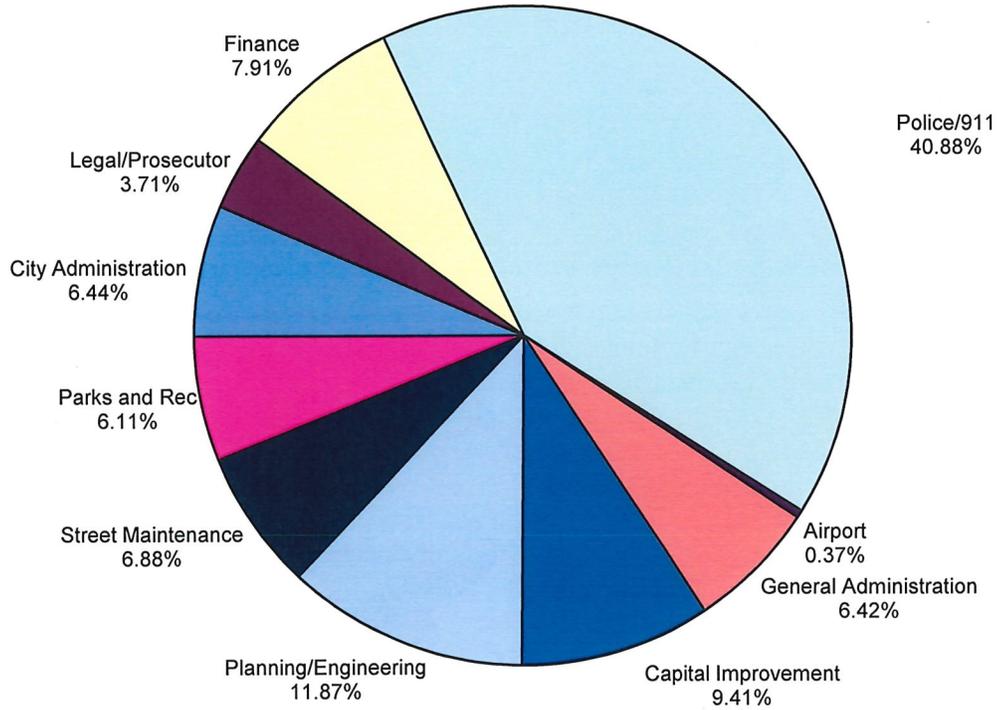
City Administration	714,082	11.9%	855,269	10.2%	874,555	8.7%	1,136,098	9.4%	1,176,936	9.2%	1,300,916	9.9%
Legal/Prosecutor	277,214	4.6%	469,239	5.6%	556,451	5.5%	701,278	5.8%	727,271	5.7%	724,212	5.5%
Finance	586,105	9.8%	832,214	9.9%	1,061,322	10.5%	1,220,815	10.1%	1,226,462	9.5%	1,132,485	8.7%
Police/911	3,386,148	56.4%	4,623,810	55.0%	5,930,940	58.9%	7,218,017	59.6%	7,562,993	58.9%	7,747,063	59.2%
Planning	483,681	8.1%	789,342	9.4%	702,674	7.0%	911,711	7.5%	1,028,997	8.0%	1,018,564	7.8%
Engineering	509,012	8.5%	765,043	9.1%	867,987	8.6%	804,372	6.6%	972,600	7.6%	998,006	7.6%
Other	51,767	0.9%	76,969	0.9%	72,937	0.7%	121,359	1.0%	152,179	1.2%	157,604	1.2%
<b>Total</b>	<b>6,008,009</b>		<b>8,411,886</b>		<b>10,066,866</b>		<b>12,113,650</b>		<b>12,847,438</b>		<b>13,078,850</b>	

General Fund Revenues 11,848,137 14,873,448 17,030,217 21,980,929 23,800,372 23,961,421

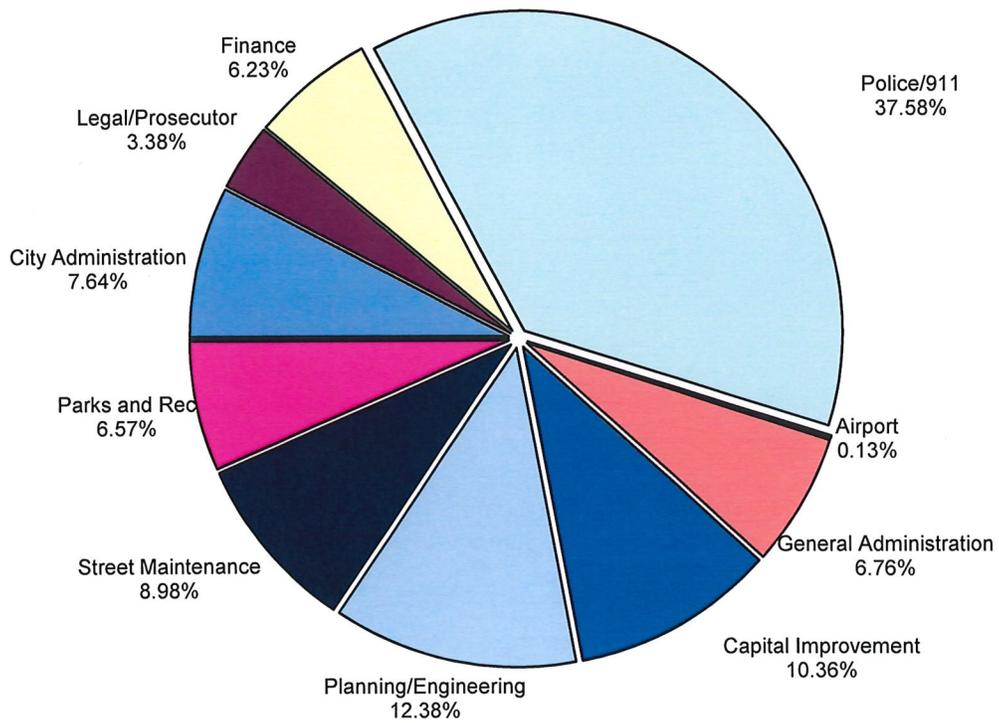
Wages as a % of General Fund Revenue 50.7% 56.6% 59.1% 55.1% 54.0% 54.6%

CIP Transfer as a % of General Fund Revenue 14.4% 6.7% 8.8% 9.3% 9.4% 9.9%

## 2009 General Fund Expenditures

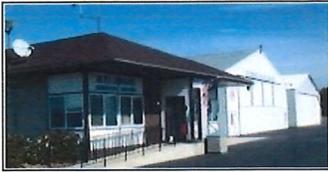


## 2019 General Fund Expenditures



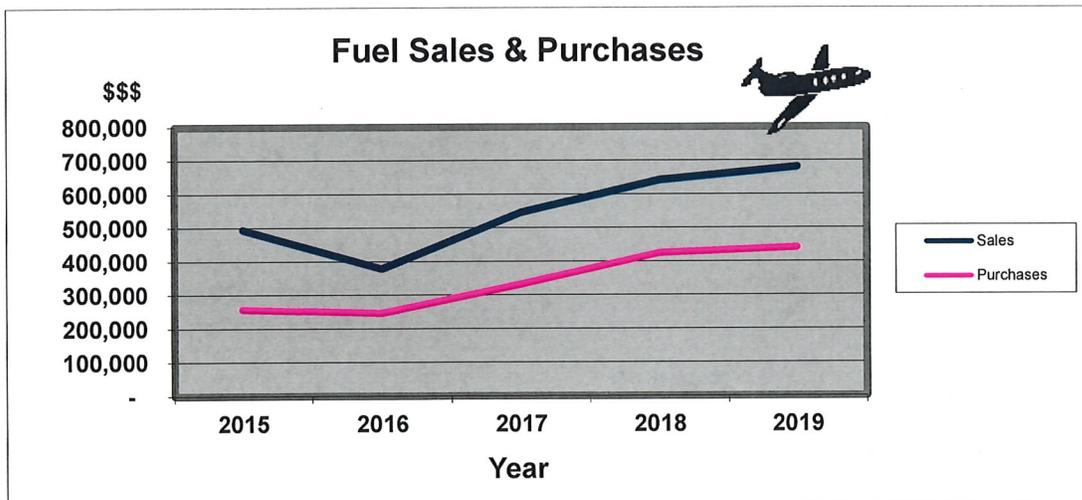
**FINANCE DIRECTOR'S REPORT**  
**REVENUES BY SOURCE**  
**December 31, 2019**

	Revenues @ 12/31/19	Revenues @ 12/31/18	% Change
<b>TAXES</b>			
Income Tax	\$ 28,804,586	\$ 27,829,292	3.50%
Property Tax	2,166,676	2,069,496	4.70%
Local Government Fund	698,125	609,739	14.50%
Hotel/Motel Tax	79,740	85,748	-7.01%
Gasoline Taxes	1,503,232	1,192,567	26.05%
License Plate Tax	680,359	684,309	-0.58%
<b>FEES</b>			
Franchise Fee (cable tv)	\$ 413,311	\$ 409,887	0.84%
Parking Meter & Lot Fees	82,842	83,017	-0.21%
Fines/Forfeitures/Court Diversion Fees	107,889	154,916	-30.36%
Impact Fees	1,342,640	1,130,067	18.81%
Airport - Fuel	681,744	642,394	6.13%
Cemetery	163,057	129,103	26.30%
Golf Course	169,733	161,058	5.39%
<b>REIMBURSEMENTS</b>			
Engineering Fees	\$ 536,496	\$ 1,318,509	-59.31%
Fire/EMS Reimbursement	775,178	855,957	-9.44%
Prosecutor Reimbursements	247,360	254,300	-2.73%
Building Permits and Fees	1,299,001	1,134,609	14.49%
<b>UTILITY CHARGES</b>			
Water - Meter Charges	\$ 5,783,275	\$ 5,592,719	3.41%
- Capacity Fees	3,867,658	3,081,171	25.53%
Sewer - Meter Charges	6,942,554	6,636,884	4.61%
- Capacity Fees	3,699,495	2,961,459	24.92%
Refuse	3,571,209	3,482,445	2.55%
Storm Sewer	856,076	850,672	0.64%



## CITY OF DELAWARE Airport Fund 2019 Year-End Report

	2015	2016	2017	2018	2019
<b>REVENUES</b>					
Hangar Rent	169,764	171,763	178,611	177,916	178,138
Tie Down Rent	2,702	2,474	1,873	2,385	2,581
Land Rent	9,224	11,464	11,767	11,892	12,075
Fuel Sales	494,567	378,371	545,634	642,394	681,744
Property Tax Reimbursement	37,187	36,326	46,653	30,573	39,355
Other Income	16,772	12,563	16,276	19,704	18,714
<b>TOTAL REVENUE</b>	<b>\$ 730,216</b>	<b>\$ 612,961</b>	<b>\$ 800,814</b>	<b>\$ 884,864</b>	<b>\$ 932,607</b>
<b>OPERATING EXPENDITURES</b>					
Wages and Benefits	155,064	154,411	162,457	190,086	195,635
Operating Expenses	93,557	88,496	104,009	108,667	107,588
Special Events/Promotions	-	-	445	195	435
Fuel Purchases	259,353	247,641	332,044	424,698	441,834
Facility Maintenance	21,568	23,989	32,176	24,958	31,031
Consulting/Professional Services	2,959	780	2,530	6,828	49,391
Capital Outlay	4,000	2,543	-	-	68,404
Real Estate Taxes	73,735	72,021	83,656	82,155	79,342
<b>TOTAL EXPENDITURES</b>	<b>\$ 610,236</b>	<b>\$ 589,881</b>	<b>\$ 717,317</b>	<b>\$ 837,587</b>	<b>\$ 973,660</b>
<b>OPERATING PROFIT/LOSS</b>	<b>\$ 119,980</b>	<b>\$ 23,080</b>	<b>\$ 83,497</b>	<b>\$ 47,277</b>	<b>\$ (41,053)</b>
General Fund Subsidy	18,890	18,890	30,000	30,000	30,000
Debt Service	(80,435)	(79,120)	(53,151)	(67,897)	(69,063)
<b>NET CASH FLOW</b>	<b>\$ 58,435</b>	<b>\$ (37,150)</b>	<b>\$ 60,346</b>	<b>\$ 9,380</b>	<b>\$ (80,116)</b>
<b>FUND BALANCE</b>	<b>\$ 413,950</b>	<b>\$ 375,824</b>	<b>\$ 436,171</b>	<b>\$ 445,548</b>	<b>\$ 365,432</b>
Amount Reserved for Debt	152,325	143,529	164,197	173,352	180,443
Encumbrances Outstanding	31,475	5,625	5,745	67,373	28,656
<b>UNRESERVED FUND BALANCE</b>	<b>\$ 230,150</b>	<b>\$ 226,670</b>	<b>\$ 266,229</b>	<b>\$ 204,823</b>	<b>\$ 156,333</b>
<b>Airport Capital Improvements</b>	<b>\$ 399,963</b>	<b>\$ 4,661,061</b>	<b>\$ 524,575</b>	<b>\$ 4,170</b>	<b>\$ 73,978</b>



	2015	2016	2017	2018	2019
<b>Sales</b>	494,567	378,371	545,634	642,394	681,744
<b>Purchases</b>	259,353	247,641	332,044	424,698	441,834
<b>Gross Profit %</b>	90.7%	52.8%	64.3%	51.3%	54.3%

**FINANCE DIRECTOR'S REPORT**  
**Year-end Report 2019**  
***Cemetery Fund***

	2015	2016	2017	2018	2019
<b>REVENUES</b>					
Pre-Need Space Sale	36,546	45,408	61,848	35,551	35,486
At-Need Space Sale	15,950	16,802	20,400	9,213	28,600
Interment Charges	72,275	60,723	64,920	63,195	81,275
Foundation Charges	19,024	14,472	17,877	19,969	17,312
Donations	175	1,625	650	225	-
Rental Income	900	900	900	900	-
Investment Income	456	469	-	-	-
Other Income	75	105	212	50	384
<b>TOTAL REVENUE</b>	<b>\$ 145,401</b>	<b>\$ 140,504</b>	<b>\$ 166,807</b>	<b>\$ 129,103</b>	<b>\$ 163,057</b>
<b>OPERATING EXPENDITURES</b>					
Wages and Benefits	140,433	164,191	165,965	184,017	203,294
Operating Expenses	46,111	47,818	32,332	33,375	25,943
Lot Repurchases and Refunds	3,015	5,150	2,500	5,100	1,721
Capital Improvements	3,000	-	-	11,694	-
<b>TOTAL EXPENDITURES</b>	<b>\$ 192,559</b>	<b>\$ 217,159</b>	<b>\$ 243,557</b>	<b>\$ 234,186</b>	<b>\$ 230,958</b>
<b>CASH FLOW OPERATIONS</b>	<b>\$ (47,158)</b>	<b>\$ (76,655)</b>	<b>\$ (76,750)</b>	<b>\$ (105,083)</b>	<b>\$ (67,901)</b>
General Fund Transfer	\$ 38,175	\$ 75,000	\$ 75,000	\$ 95,000	\$ 100,000
Perpetual Care Funds	(37,522)	-	(42,760)	(21,778)	(21,168)
<b>NET CASH FLOW Increase/(Decrease)</b>	<b>\$ (46,505)</b>	<b>\$ (1,655)</b>	<b>\$ (44,510)</b>	<b>\$ (31,861)</b>	<b>\$ 10,931</b>
<b>SPECIAL CARE RESERVE</b>	<b>\$ 37,522</b>	<b>\$ 36,063</b>	<b>\$ 34,982</b>	<b>\$ 34,191</b>	<b>\$ 33,840</b>
<b>CEMETERY FUND RESERVE</b>	<b>\$ 301,032</b>	<b>\$ 299,377</b>	<b>\$ 297,627</b>	<b>\$ 265,769</b>	<b>\$ 276,700</b>



**FINANCE DIRECTOR'S REPORT**  
**Year-end Report 2019**  
***Golf Course Fund***

	2015	2016	2017	2018	2019
<b>REVENUES</b>					
Memberships	16,475	16,200	17,749	16,841	16,205
Green Fees	91,388	92,187	89,474	83,521	83,535
Concessions/Merchandise Sales	9,281	9,725	8,424	8,633	8,769
Alcohol Sales	-	-	-	-	2,370
Cart and Club Rental	23,735	28,017	28,109	28,247	39,167
Driving Range	13,028	13,506	15,005	13,733	10,345
League Fees	7,456	5,614	5,196	5,083	6,224
Rentals	182	1,700	2,250	-	-
Other Income	1,289	326	2,787	5,000	3,118
<b>TOTAL REVENUE</b>	<b>\$ 162,834</b>	<b>\$ 167,275</b>	<b>\$ 168,994</b>	<b>\$ 161,058</b>	<b>\$ 169,733</b>
<b>OPERATING EXPENDITURES</b>					
Wages and Benefits	126,920	135,561	126,486	138,899	52,613
Transfer to P&R/Staffing Assistance	-	-	-	-	25,628
Operating Expenses	39,084	40,357	32,009	41,697	41,406
Concession/Merchandise Supply	3,710	3,937	3,109	3,698	3,436
Alcohol Purchases	-	-	-	-	742
<b>TOTAL EXPENDITURES</b>	<b>\$ 169,714</b>	<b>\$ 179,855</b>	<b>\$ 161,604</b>	<b>\$ 184,294</b>	<b>\$ 123,083</b>
<b>CASH FLOW OPERATIONS</b>	<b>\$ (6,880)</b>	<b>\$ (12,580)</b>	<b>\$ 7,390</b>	<b>\$ (23,236)</b>	<b>\$ 46,650</b>
Equipment Purchases	\$ -	\$ 2,600	8,853	5,500	5,356
<b>NET CASH FLOW Increase/(Decrease)</b>	<b>\$ (6,880)</b>	<b>\$ (15,180)</b>	<b>\$ (1,463)</b>	<b>\$ (28,736)</b>	<b>\$ 41,294</b>
<b>CASH RESERVES</b>	<b>\$ 85,142</b>	<b>\$ 69,962</b>	<b>\$ 68,499</b>	<b>\$ 39,763</b>	<b>\$ 81,057</b>



**FINANCE DIRECTOR'S REPORT**  
**Year-end Report 2019**  
**Water Fund Operations**



<b>OPERATIONS</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>2019</b>
<b>Revenues</b>					
Meter Charges	5,108,989	5,314,306	5,467,317	5,592,719	5,783,275
Investment Income	15,880	46,397	110,972	227,655	326,545
Surcharges/Other Misc.	211,566	212,368	178,089	154,828	159,654
<b>Total Revenue</b>	<b>\$ 5,336,435</b>	<b>\$ 5,573,071</b>	<b>\$ 5,756,378</b>	<b>\$ 5,975,202</b>	<b>\$ 6,269,474</b>
<b>Operating Expenses</b>					
Treatment	1,770,657	1,780,002	1,984,704	1,902,683	1,941,672
Distribution	789,461	829,353	912,010	884,534	872,296
Administration	1,104,456	1,179,416	1,232,325	1,338,335	1,263,400
<b>Total Operation</b>	<b>\$ 3,664,574</b>	<b>\$ 3,788,771</b>	<b>\$ 4,129,039</b>	<b>\$ 4,125,552</b>	<b>\$ 4,077,368</b>
<b>Revenues less Expenses</b>	<b>\$ 1,671,861</b>	<b>\$ 1,784,300</b>	<b>\$ 1,627,339</b>	<b>\$ 1,849,650</b>	<b>\$ 2,192,106</b>
<b>Debt Service - Maintenance</b>	<b>1,320,281</b>	<b>1,320,281</b>	<b>1,216,620</b>	<b>1,285,727</b>	<b>1,285,727</b>
<b>Capacity Debt Service Allocation</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Available for Maintenance</b>	<b>\$ 351,580</b>	<b>\$ 464,019</b>	<b>\$ 410,719</b>	<b>\$ 563,923</b>	<b>\$ 906,379</b>
<b>Capital Improvements</b>					
<b>Repairs and Replacement</b>					
Meters/Vaults	2,688	-	19,251	28,828	1,889
Existing Line Repairs	566,322	327,341	48,020	203,044	422,058
Equipment/Prof Services	10,690	974,725	116,812	74,933	107,238
Plant Repairs	157,451	90,858	171,864	91,659	187,470
Tank Maintenance	-	-	-	-	47,047
Sludge Lagoon Cleaning	59,083	289,428	-	-	-
<b>Total Repair</b>	<b>796,234</b>	<b>1,682,352</b>	<b>355,947</b>	<b>398,464</b>	<b>765,702</b>
<b>Cash Flow Operations</b>	<b>\$ (444,654)</b>	<b>\$ (1,218,333)</b>	<b>\$ 54,772</b>	<b>\$ 165,459</b>	<b>\$ 140,677</b>
<b>Water Rates</b>					
0 to 3,000 cu. ft.	\$ 4.08	\$ 4.08	\$ 4.32	\$ 4.32	\$ 4.32
3,001 to 47,000 cu. ft.	\$ 2.86	\$ 2.86	\$ 3.03	\$ 3.03	\$ 3.03
Over 47,000 cu. ft.	\$ 1.98	\$ 1.98	\$ 2.10	\$ 2.10	\$ 2.10
Minimum Charge (Residential)	\$ 10.36	\$ 10.36	\$ 10.98	\$ 10.98	\$ 10.98
<b>Avg. Charge (800 cu. ft.)</b>	<b>\$ 34.84</b>	<b>\$ 34.84</b>	<b>\$ 36.90</b>	<b>\$ 36.90</b>	<b>\$ 36.90</b>
<b>% Increase</b>	<b>0.0%</b>	<b>0.0%</b>	<b>5.9%</b>	<b>0.0%</b>	<b>0.0%</b>
<b>All Water Fund Balances</b>					
Water Fund Operation Reserve	1,784,670	1,421,338	1,230,846	1,219,585	1,504,061
Water Maintenance CIP Reserve	3,163,217	1,904,487	2,146,541	2,323,261	2,479,462
Water Capacity Fee Fund Reserve	4,933,458	5,790,941	6,003,395	8,005,102	10,619,957
Water Utility Reserve Fund	1,870,439	2,000,000	2,000,000	2,000,000	2,000,000
<b>Total Water Fund Reserves</b>	<b>\$ 11,751,784</b>	<b>\$ 11,116,766</b>	<b>\$ 11,380,782</b>	<b>\$ 13,547,948</b>	<b>\$ 16,603,480</b>
Outstanding Encumbrances					\$ 375,081
<b>Net Water Fund Reserves 12/31/19</b>					<b>\$ 16,228,399</b>
<b>Total Outstanding Debt 12/31/19</b>					<b>\$ 31,407,587</b>

**FINANCE DIRECTOR'S REPORT**  
**Year-end Report 2019**  
**Sewer Fund Operations**



OPERATIONS	2015	2016	2017	2018	2019
<b>Revenues</b>					
Meter Charges	6,254,470	6,567,638	6,546,592	6,636,884	6,942,554
Investment Income	11,971	38,721	97,135	208,496	302,698
Septic Receiving Fees	148,234	158,962	166,855	163,521	205,201
Surcharges	165,534	121,438	100,041	97,959	78,516
Misc./Other	12,968	11,799	70,919	20,996	775
<b>Total Revenue</b>	<b>\$ 6,593,177</b>	<b>\$ 6,898,558</b>	<b>\$ 6,981,542</b>	<b>\$ 7,127,856</b>	<b>\$ 7,529,744</b>
<b>Operating Expenses</b>					
Treatment	1,669,450	1,738,990	1,781,705	1,838,330	1,889,348
Collection	566,204	544,014	584,601	638,880	625,071
Administration/Transfers	1,135,519	1,151,364	1,128,745	1,123,523	1,313,783
<b>Total Operation</b>	<b>\$ 3,371,173</b>	<b>\$ 3,434,368</b>	<b>\$ 3,495,051</b>	<b>\$ 3,600,733</b>	<b>\$ 3,828,202</b>
<b>Revenues less Expenses</b>	<b>\$ 3,222,004</b>	<b>\$ 3,464,190</b>	<b>\$ 3,486,491</b>	<b>\$ 3,527,123</b>	<b>\$ 3,701,542</b>
<b>Debt Service - Maintenance</b>	158,993	150,687	151,333	152,002	152,695
<b>Capacity Debt Service Allocation</b>	2,000,000	681,131	1,599,039	1,631,020	1,663,640
<b>Available for Maintenance</b>	<b>\$ 1,063,011</b>	<b>\$ 2,632,372</b>	<b>\$ 1,736,119</b>	<b>\$ 1,744,101</b>	<b>\$ 1,885,207</b>
<b>Capital Improvements</b>					
<b>Repairs and Replacement</b>					
Inflow/Infiltration	56,781	-	-	-	-
Meters/Manholes/Laterals	-	-	19,251	28,955	1,761
Existing Line Repairs	-	-	-	7,626	3,927
Equipment/Prof Services	-	640,223	450,005	100,426	191,806
Plant Repairs	176,044	768,930	792,155	1,843,757	758,518
<b>Total Repair</b>	<b>232,825</b>	<b>1,409,153</b>	<b>1,261,411</b>	<b>1,980,764</b>	<b>956,012</b>
<b>Cash Flow Operations</b>	<b>\$ 830,186</b>	<b>\$ 1,223,219</b>	<b>\$ 474,708</b>	<b>\$ (236,663)</b>	<b>\$ 929,195</b>
<b>Sewer Rates</b>					
1st 200 cu. ft.	\$ 6.72	\$ 6.72	\$ 6.72	\$ 6.72	\$ 6.72
Over 200 cu. ft.	\$ 5.52	\$ 5.52	\$ 5.52	\$ 5.52	\$ 5.52
Minimum Charge	\$ 13.44	\$ 13.44	\$ 13.44	\$ 13.44	\$ 13.44
<b>Avg. Monthly Charge (800 cu. ft.)</b>	<b>\$ 46.56</b>	<b>\$ 46.56</b>	<b>\$ 46.56</b>	<b>\$ 46.56</b>	<b>\$ 46.56</b>
<b>% Increase</b>	<b>0.0%</b>	<b>0.0%</b>	<b>0.0%</b>	<b>0.0%</b>	<b>0.0%</b>
<b>All Sewer Fund Balances</b>					
Sewer Fund Operation Reserve	2,561,917	2,661,859	2,657,780	3,134,518	3,724,670
Sewer Maintenance CIP Reserve	3,679,226	3,483,634	3,462,422	2,749,019	3,088,062
Sewer Capacity Fee Fund Reserve	2,518,370	1,755,328	1,940,990	3,802,018	6,796,916
Sewer Utility Reserve Fund	181,130	1,500,000	2,000,000	2,000,000	2,000,000
SE Highland Sewer Fund	27,976	96,980	161,159	270,078	268,390
<b>Total Sewer Fund Reserves</b>	<b>\$ 8,968,619</b>	<b>\$ 9,497,801</b>	<b>\$ 10,222,351</b>	<b>\$ 11,955,633</b>	<b>\$ 15,878,038</b>
Outstanding Encumbrances					\$ 310,421
<b>Net Sewer Fund Reserves 12/31/19</b>					<b>\$ 15,567,617</b>
<b>Total Outstanding Debt 12/31/19</b>					<b>\$ 22,912,960</b>

# FINANCE DIRECTOR'S REPORT

## Year-end Report 2019

### Refuse Fund

	2015	2016	2017	2018	2019
<b>Revenues</b>					
Collection Charges	3,372,646	3,430,310	3,493,122	3,482,445	3,573,461
Grant Income	18,000	22,000	-	-	-
Bulk Waste	-	-	9,130	13,848	15,527
Bag Tags/Cleanup Income	5,194	5,929	6,187	7,570	8,327
Toter Fees	11,065	13,588	13,715	25,133	22,518
Investment Income	2,901	9,283	15,124	-	24,568
Other Income	5,606	2,058	7,108	33,791	13,408
<b>TOTAL REVENUE</b>	<b>\$ 3,415,412</b>	<b>\$ 3,483,168</b>	<b>\$ 3,544,386</b>	<b>\$ 3,562,787</b>	<b>\$ 3,657,809</b>

#### Operating Expenses

Refuse Collection	803,259	833,835	903,871	987,589	1,027,563
Tipping Fees	836,398	883,645	916,026	890,284	1,045,240
Recycling Collection	532,619	536,999	526,892	585,486	576,081
Vehicle Purchase/Lease	82,367	392,651	494,047	189,251	243,537
Tip-Cart/Dumpster Purchases	82,221	77,214	41,635	44,663	56,798
Closed Landfill Costs	456,951	245,108	94,098	77,984	92,701
Debt Service	59,675	57,338	-	-	-
Building Improvements	7,029	7,250	19,190	1,916,376	2,643
Other Indirect Costs	327,391	332,758	342,781	353,085	363,012
<b>TOTAL EXPENDITURES</b>	<b>\$ 3,187,910</b>	<b>\$ 3,366,798</b>	<b>\$ 3,338,540</b>	<b>\$ 5,044,718</b>	<b>\$ 3,407,575</b>

<b>Cash Flow Operations</b>	<b>\$ 227,502</b>	<b>\$ 116,370</b>	<b>\$ 205,846</b>	<b>\$ (1,481,931)</b>	<b>\$ 250,234</b>
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<b>Cash Reserve</b>	<b>\$ 2,069,350</b>	<b>\$ 2,185,720</b>	<b>\$ 2,391,566</b>	<b>\$ 909,635</b>	<b>\$ 1,159,869</b>
Outstanding Encumbrances					\$ 673,099
<b>Net Reserve December 31, 2019</b>					<b>\$ 486,770</b>

#### Refuse Rates

Residential	\$ 19.73	\$ 19.73	\$ 20.60	\$ 20.60	\$ 20.60
Discounted Residential	\$ 9.87	\$ 9.87	\$ 10.30	\$ 10.30	\$ 10.30
Commercial 2 cu. yrds.	\$ 100.27	\$ 100.27	\$ 85.37	\$ 85.37	\$ 85.37
Commercial 4 cu. yrds.	\$ 123.35	\$ 123.35	\$ 103.58	\$ 103.58	\$ 103.58
Commercial 6 cu. yrds.	\$ 143.98	\$ 143.98	\$ 121.80	\$ 121.80	\$ 121.80
<b>% Increase</b>	<b>0.0%</b>	<b>0.0%</b>	<b>-0.16%</b>	<b>0.00%</b>	<b>0.00%</b>



**FINANCE DIRECTOR'S REPORT**  
**Year-end Report 2019**  
***Storm Sewer Fund***



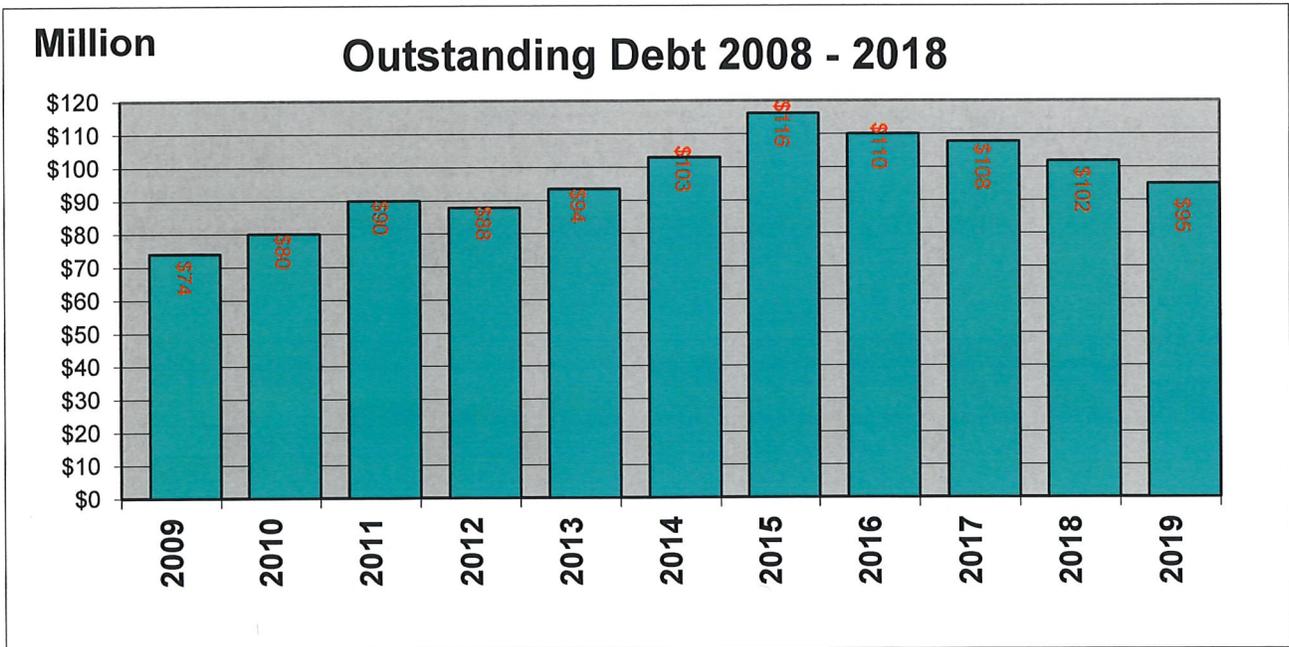
	2015	2016	2017	2018	2019
<i>Revenues</i>					
Storm Sewer Fees	821,561	834,161	831,618	850,672	856,076
Grant Revenue	98,876	-	-	-	-
Miscellaneous	2,123	916	1,770	1,164	1,135
<b>Total Revenue</b>	<b>\$ 922,560</b>	<b>\$ 835,077</b>	<b>\$ 833,388</b>	<b>\$ 851,836</b>	<b>\$ 857,211</b>
<i>Operating Expenses</i>					
Wages and Benefits	215,272	226,360	215,612	220,129	222,800
Professional Services	101,222	92,958	122,081	89,278	132,700
Materials and Supplies	41,261	61,734	42,970	61,612	43,624
Capital Outlay	4,109	16,230	17,610	6,923	8,524
<b>Total Operation</b>	<b>\$ 361,864</b>	<b>\$ 397,282</b>	<b>\$ 398,273</b>	<b>\$ 377,942</b>	<b>\$ 407,648</b>
<b>Revenues less Expenses</b>	<b>\$ 560,696</b>	<b>\$ 437,795</b>	<b>\$ 435,115</b>	<b>\$ 473,894</b>	<b>\$ 449,563</b>
<b>Debt Service</b>	<b>\$ -</b>				
<i>Available for Maintenance</i>	<b>\$ 560,696</b>	<b>\$ 437,795</b>	<b>\$ 435,115</b>	<b>\$ 473,894</b>	<b>\$ 449,563</b>
<i>Capital Improvements</i>	<b>\$ 560,696</b>	<b>\$ 437,795</b>	<b>\$ 435,115</b>	<b>\$ 473,894</b>	<b>\$ 449,563</b>
<i>Repairs and Replacement</i>					
Inflow/Infiltration	27,230	-	-	-	-
Catch Basins/Manholes/Laterals	-	59,545	-	-	-
Existing Line Repairs	478,947	621,055	840,249	36,513	69,868
Equipment/Prof Services	-	64,799	33,612	51,489	135,049
<b>Total Repair</b>	<b>506,177</b>	<b>745,399</b>	<b>873,861</b>	<b>88,002</b>	<b>204,917</b>
<b>Cash Flow Operations</b>	<b>\$ 54,519</b>	<b>\$ (307,604)</b>	<b>\$ (438,746)</b>	<b>\$ 385,892</b>	<b>\$ 244,646</b>
<b>Cash Reserve</b>	<b>\$ 2,229,301</b>	<b>\$ 1,921,697</b>	<b>\$ 1,482,842</b>	<b>\$ 1,868,735</b>	<b>\$ 2,113,380</b>
Outstanding Encumbrances					556,238
<b>Net Reserve December 31, 2019</b>					<b>\$ 1,557,142</b>
<b>Storm Sewer Rates</b>					
Residential per month	\$ 2.50	\$ 2.50	\$ 2.50	\$ 2.50	\$ 2.50
Non-Residential per ERU	\$ 2.50	\$ 2.50	\$ 2.50	\$ 2.50	\$ 2.50

# FINANCE DIRECTOR'S REPORT

Year-end Report 2019

## Outstanding Debt

ISSUE	Issuance Date	Balance 12/31/2019	Rate	Net Interest	Payoff Amount	Maturity Date
<b>SHORT-TERM NOTES</b>						
Glenn Rd	4/11/18	\$0	0.000%	\$0	\$0	
Sidewalk Repair Program	4/11/18	\$0	0.000%	\$0	\$0	
<b>Total Notes</b>		<b>\$0</b>		<b>\$0</b>		
<b>LONG-TERM BONDS</b>						
				<b>2019 Interest</b>	<b>2019 Principal</b>	
2012 Refunding Bonds	12/28/12	\$1,890,000	1.514%	\$50,900	\$655,000	12/1/22
2013 GO Bonds	4/4/13	\$5,190,000	2.207%	\$125,225	\$445,000	12/1/32
2015 GO Bonds	4/21/15	\$5,205,000	2.705%	\$165,675	\$250,000	12/1/34
2017 GO Bonds	5/10/17	\$5,805,000	2.202%	\$229,450	\$485,000	12/1/31
2019 GO Bonds	2019	\$20,875,000	2.292%	\$166,299	\$440,000	12/1/37
OWDA Sewer Plant	1/1/07	\$11,327,491	3.590%	\$371,418	\$1,399,990	7/1/27
OWDA Hills Miller Waterline	1/11/11	\$1,681,322	3.670%	\$63,721	\$73,029	1/1/36
OWDA Penry Rd. Waterline	7/1/12	\$832,366	3.550%	\$30,418	\$32,557	7/1/37
OWDA Water Plant	7/1/14	\$26,936,245	3.215%	\$888,468	\$948,285	7/1/39
SE Highland Sewer Bonds		\$0	-	\$278,304	\$12,510,000	
Park Improvement Bonds	2/18/10	\$15,260,000	4.375%	\$715,401	\$605,000	12/1/34
<b>Total Bonds</b>		<b>\$95,002,424</b>		<b>\$3,085,279</b>	<b>\$17,843,861</b>	
<b>Total Outstanding Debt</b>		<b>\$95,002,424</b>				



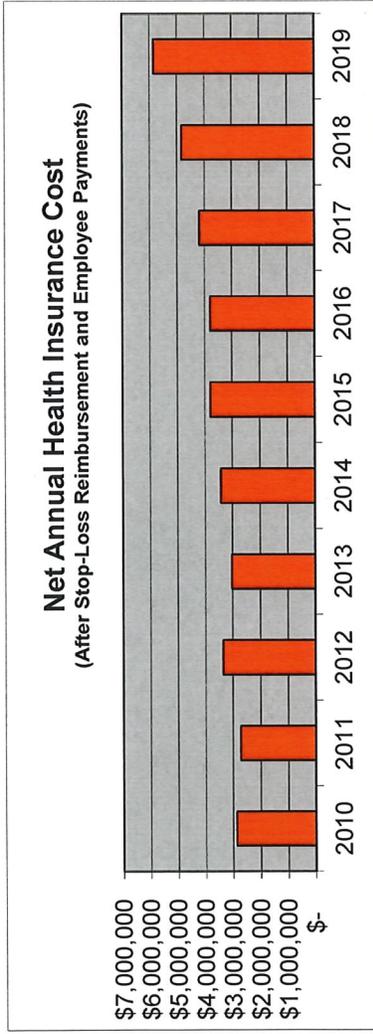
**FINANCE DIRECTOR'S REPORT  
Self-Funded Health Insurance YE 2019**

	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019
<b>PREMIUMS</b>										
Life Ins.	\$ 20,473	\$ 20,276	\$ 21,001	\$ 18,834	\$ 21,872	\$ 22,317	\$ 22,837	\$ 23,160	\$ 9,322	\$ 21,194
AD&D Ins.	3,900	3,862	4,000	3,587	4,166	4,251	4,678	4,746	1,909	4,341
Vision Coverage								15,139	33,668	27,057
Stop-Loss Ins.	297,311	348,047	407,739	402,411	459,292	585,135	614,141	731,081	737,761	850,297
<b>TOTAL</b>	<b>\$ 321,684</b>	<b>\$ 372,185</b>	<b>\$ 432,740</b>	<b>\$ 424,832</b>	<b>\$ 485,330</b>	<b>\$ 611,703</b>	<b>\$ 641,656</b>	<b>\$ 774,126</b>	<b>\$ 782,660</b>	<b>\$ 902,889</b>

	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019
<b>SELF FUNDED CLAIMS</b>										
Medical	\$ 2,364,641	\$ 2,114,935	\$ 2,582,288	\$ 2,644,529	\$ 2,757,973	\$ 3,546,160	\$ 3,302,686	\$ 3,848,658	\$ 4,366,684	\$ 4,800,664
Dental	195,382	200,513	194,090	219,942	213,656	220,896	275,903	253,291	253,948	261,328
Prescription	423,894	470,458	533,515	531,955	575,912	678,827	657,753	793,502	943,463	1,155,100
Preventative Care	2,890	3,866	6,715	5,729	29,894	12,203	36,388	31,169	34,021	29,429
<b>TOTAL</b>	<b>\$ 2,986,807</b>	<b>\$ 2,789,772</b>	<b>\$ 3,316,608</b>	<b>\$ 3,402,155</b>	<b>\$ 3,577,435</b>	<b>\$ 4,458,086</b>	<b>\$ 4,272,730</b>	<b>\$ 4,926,620</b>	<b>\$ 5,598,116</b>	<b>\$ 6,246,521</b>

	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019
<b>ADMIN. FEES</b>										
TPA Fees	\$ 68,821	\$ 67,494	\$ 71,885	\$ 73,516	\$ 77,073	\$ 75,811	\$ 81,379	\$ 94,459	\$ 94,248	\$ 98,317
Broker Fee	5,814	5,076	5,758	5,780	5,906	5,988	6,084	1,800	5,852	6,467
PPO Fee	49,419	38,794	40,306	41,207	42,980	41,916	42,588	44,296	36,780	37,835
ACA Excise Tax	-	-	-	-	47,691	34,889	22,044	1,724	2,820	2,891
<b>TOTAL</b>	<b>\$ 124,054</b>	<b>\$ 111,364</b>	<b>\$ 117,949</b>	<b>\$ 120,503</b>	<b>\$ 173,650</b>	<b>\$ 158,604</b>	<b>\$ 152,095</b>	<b>\$ 142,279</b>	<b>\$ 139,700</b>	<b>\$ 145,510</b>

	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019
<b>OPT OUT COSTS</b>										
	\$ 26,500	\$ 24,802	\$ 20,350	\$ 21,580	\$ 21,945	\$ 22,660	\$ 27,340	\$ 27,240	\$ 27,440	\$ 25,640
<b>GRAND TOTAL</b>	<b>\$ 3,459,045</b>	<b>\$ 3,298,123</b>	<b>\$ 3,887,647</b>	<b>\$ 3,969,070</b>	<b>\$ 4,258,360</b>	<b>\$ 5,251,053</b>	<b>\$ 5,093,821</b>	<b>\$ 5,870,265</b>	<b>\$ 6,547,916</b>	<b>\$ 7,320,560</b>
<b>CENSUS - SINGLE/FAMILY</b>	46/205	37/198	39/202	48/199	52/196	50/199	49/208	52/217	57/214	63/211
<b>EMPLOYEES OPTING OUT</b>	25	24	18	13	17	18	25	12	13	15



	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019
<b>Net Cost % Increase</b>	-3.7%	8.4%	91.6%	9.3%	51.2%	-2.9%	15.3%	11.5%	11.7%	
<b>Employee %</b>	91.6%	90.7%	90.1%	85.2%	85.0%	84.2%	82.8%	82.7%	84.4%	85.7%
<b>City %</b>										

	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019
<b>Stop Loss Reimbursement</b>	\$ 318,452	\$ 291,958	\$ 167,763	\$ 409,615	\$ 234,185	\$ 737,811	\$ 508,833	\$ 814,682	\$ 823,391	\$ 497,664
<b>Employee Payments</b>	262,741	278,305	368,490	527,107	603,237	711,689	787,593	872,138	893,567	972,908
<b>Net Cost</b>	<b>\$ 2,877,852</b>	<b>\$ 2,727,860</b>	<b>\$ 3,351,394</b>	<b>\$ 3,032,348</b>	<b>\$ 3,420,938</b>	<b>\$ 3,801,553</b>	<b>\$ 3,797,395</b>	<b>\$ 4,183,445</b>	<b>\$ 4,830,958</b>	<b>\$ 5,849,988</b>
<b>% Increase</b>	-3.7%	-5.2%	22.9%	-9.5%	12.8%	11.1%	-0.1%	10.2%	15.5%	21.1%

TO: Mayor Riggle and Members of Council

FROM: R. Thomas Homan, City Manager

SUBJECT: Miscellaneous Matters

DATE: January 23, 2020

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1. **Calendar**

See Attached

2. **Per Section 73 Of The City Charter The City Manager Is To Report Contract Agreements**

N/A

3. **Manager Meetings/Events**

January 6

Rotary

Council Work Session

January 8

Main Street Delaware Heritage Ohio Accreditation

January 9-10

Moody's Bond Rating Meeting – Chicago

January 13

Rotary

City Council Meeting

January 16

Annual State of the City

January 17

MOMA Meeting

January 20

Martin Luther King Jr. Breakfast

January 21

Strand Board Meeting

January 23

PROS CONSULTING

4. **Required Reading/Attachments**

A. Memo from Bill Ferrigno regarding EVT Stations and Solar Panel

# January

2020

## Monthly Meeting Schedule

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
			1 City Offices Closed: New Years Day	2	3	4
5	6 Council Work Session 6:30 p.m.	7	8 BZA 6:30 p.m. canceled	9	10	11
12	13 Council 7 p.m.	14 Sister City 6:00 p.m.	15 Planning Commission 6:30 p.m.	16 Airport Commission 6:30 p.m.	17	18
19	20 City Offices Closed: Martin Luther King Jr. Day	21	22 HPC 6:30 p.m.	23 Parks and Recreation Board Meeting 6:30 p.m.	24	25
26	27 Council 7 p.m.	28	29	30	31	

\*\*\* Parks and Recreation Advisory Board Meeting will be held on January 23 to allow for board to meet with Pros Consulting.

# February

2020

## Monthly Meeting Schedule

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
						1
2	3 Council Work Session 6:30 p.m.	4 Public Works/Public Utilities Committee 6:00 p.m.	5 Civil Service 3:30 p.m. Planning Commission 6:30 p.m.	6	7	8
9	10 City Council 6 p.m. @ City Hall Joint Mtg with Council/School Board 7 p.m. @ Willis ***	11	12 BZA – 6:30 p.m.	13	14	15
16	17 Parking and Safety Committee 6 p.m.	18	19	20	21	22
23	24 City Council 7 p.m.	25 Shade Tree Commission 6:30 p.m.	26 Historic Preservation Commission 6:30 p.m.	27	28	29

\*\*\* City Council will meet at 6:00 p.m. on February 10 at City Hall for the regular meeting of Council and proceed at 7:00 p.m. to the joint meeting of Council and the Delaware City School Board at Willis Education Center.

## MEMORANDUM

TO: R. Thomas Homan, City Manager  
Delaware City Council

FROM: William L. Ferrigno, P.E., Director of Public Works/City Engineer

DATE: January 2, 2020

RE: Electric Vehicle Charging Station and Public Works Solar Panels Updates

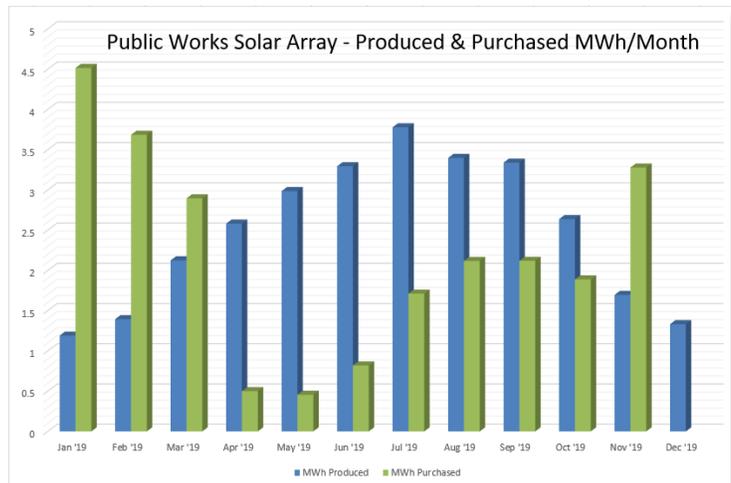
As part of the 2018 construction of the new Refuse Equipment building, a solar panel array was installed along the north property line. The panels have been tied into the building power and



subsequently the electric grid for just over a year now. Based on data provided by the panel vendor, Solar Edge, the panels generated 10,874 kWh of power during the initial year or about 28% of the building annual energy usage, with a value of \$2,757. Data shows that the panels do not have the capacity to provide for the entire power needs of the Refuse building at any point during any of the twelve months of operation and therefore do not contribute power back to the power grid. Though 28% of the building's power consumption is provided through solar, the initial \$87,000 installation investment will not be paid for through excess

power generation of the solar panel system or with monthly power savings in the useful 25-30 year life of the unit.

A second sustainability project was completed early in 2019 and involved the installation of a two-port Level 2 electric vehicle charging station in the East William Street public parking lot. The spaces are accessible to all electric vehicle owners with ChargePoint accounts. Rates were established to encourage turnover to allow for a larger number of users to attend downtown meetings, frequent restaurants, or



attend any of the many downtown festivals or activities. The rates were initially set at \$0.75 per hour for up to 3 hours, then increase to \$5.00 per hour thereafter with a maximum of \$25/day. Charges are collected through the ChargePoint account with distribution of revenues back to the city in the form of monthly payments, less the 10% administrative fee charged by the vendor. The City is responsible to directly pay AEP invoicing for the cost of power used at the charging station.



During the first six-month period of operation the charging station has generated \$326 in revenue from user fees. The cost of the 12,330 kWh of electric power consumed over this same period is \$137 and administrative fee of ChargePoint \$33.00, leaving a net revenue to the City of \$156 for operating the charging stations over the six-month initial pilot. Additional analysis shows the average use of the charging station over the six-month period was 1.2 uses per day at an average time of 1 hour and 20 minutes per use.

The initial \$25,000 project installation, setup, and maintenance program for the pilot initiative was covered in part by a \$20,000 AEP grant. The grant covers the operation and maintenance of the charging station for a period of five years. Without substantial public or private subsidy, the revenue currently generated from the charging stations is not sufficient to pay for the installation and operating costs. Additional charging stations would likely be faced with the same financial limitations.

If demand by the community for additional electric vehicle charging stations is made, an alternative approach would be to allow the private sector to meet the demand for electric vehicle charging as it similarly does with the provision of conventional fuel for gas powered vehicles. This approach eliminates the need for public tax dollars to supplement the electric vehicle fuel costs of individual citizens. To encourage this model, the City could designate public parking spaces available to vendors willing to construct and operate EV charging station infrastructure. The city's exposure would be reduced from one of subsidizing the cost of electric fuel, to the collection of a monthly parking space lease payment from vendors providing charging station services.



In summary, although neither of the sustainability projects are fiscally beneficial given current technology, it is important to continue to participate in these and future initiatives to support the advancement of new technologies. Responsible participation by both public and private entities will eventually lead to the development of more efficient and financially sustainable energy projects that benefit the City and citizen alike.