

CITY OF DELAWARE
PLANNING COMMISSION
AGENDA
CITY COUNCIL CHAMBERS
1 S. SANDUSKY ST.
6:30 P.M.

REGULAR MEETING

July 17, 2019

1. ROLL CALL
2. ELECTION OF OFFICERS
 - A. Chairperson
 - B. Vice-Chairperson
3. APPROVAL of the Motion Summary of the Planning Commission meeting held on June 5, 2019, as recorded and transcribed.
4. REGULAR BUSINESS
 - A. 2019-1389: A request by Stronghold Construction for approval of a Combined Preliminary and Final Development Plan for Stronghold Industrial Park located at 1327 London Road on approximately 6.2 acres zoned M-2 (General Manufacturing District).
 - Anticipated Process**
 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public comment (not a public hearing)
 - d. Commission Action
5. PLANNING DIRECTOR'S REPORT
6. COMMISSION MEMBER COMMENTS AND DISCUSSION
7. NEXT REGULAR MEETING: August 7, 2019
8. ADJOURNMENT

PLANNING COMMISSION
June 5, 2019
MOTION SUMMARY

ITEM 1. Roll Call

Chairman Simpson called the meeting to order at 6:30 p.m.

Members Present: Jim Halter, Mayor Carolyn Kay Riggle, Dean Prall, Andy Volenik, Vice-Chairman George Mantzoros, and Chairman Stacy Simpson

Members Absent: Robert Badger

Staff Present: Carrie Fortman, Project Engineer and Dave Efland, Planning and Community Development Director

Motion to Excuse: Vice-Chairman Mantzoros motioned to excuse Mr. Badger, seconded by Mr. Prall. Motion approved by a 6-0 vote.

ITEM 2. APPROVAL of the Motion Summary of the Planning Commission meeting held on May 1, 2019, as recorded and transcribed.

Motion: Mayor Riggle motioned to approve the Motion Summary for the Planning Commission meeting held on May 1, 2019, as recorded and transcribed, seconded by Mr. Halter. Motion approved with a 5-0-1 (Simpson) vote.

ITEM 3. REGULAR BUSINESS

A. Ohio Wesleyan Student Housing

- (1) 2019-0924: A request by Ohio Wesleyan University for approval of a Conditional Use Permit to allow the Ohio Wesleyan Village Student Housing located at the northwest corner of Liberty Street and Park Avenue on approximately 3 acres zoned PO/I Planned Office/Institutional District.
- (2) 2019-0925: A request by Ohio Wesleyan University for approval of a Combined Preliminary and Final Development Plan for Ohio Wesleyan Village Student Housing located at the northwest corner of Liberty Street and Park Avenue on approximately 3 acres zoned PO/I Planned Office/Institutional District.
- (3) 2019-0926: A request by Ohio Wesleyan University for approval of Alley Vacation for Ohio Wesleyan Village Student Housing located at the northwest corner of Liberty Street and Park Avenue on approximately 3 acres zoned PO/I Planned Office/Institutional District.

Anticipated Process

a. Staff Presentation

Mr. Efland provided a presentation which included a location and zoning map, the location of the recommended paper alley vacation, and the proposed site plan and development plan. He discussed that the paper alley has no public utilities. Mr. Efland discussed the initial construction of phase one and subsequent phases to the area. He provided information regarding tree removal and landscape screening to the parking lot.

b. Applicant Presentation

APPLICANT:

Peter Schantz
Director of Physical Plant for Ohio Wesleyan University
28 Hayes Street
Delaware, Ohio

Randy Reger
BSHM Architects, Inc.
1020 Goodale Blvd.
Columbus, Ohio

Mr. Schantz discussed that the proposed plan was one of three potential upgrades to the University and the timeframe for Phase 1 completion.

Ms. Fortman discussed the MOU relating to the retaining wall for the Delaware Run. Mr. Schantz discussed that the university is currently investigating two different designs to fix the problem.

c. Public comment (public hearing)

PUBLIC COMMENT:

Tom Wolber
272 Hearthstone Drive
Delaware, Ohio

Mr. Wolber requested information on the accessibility for the public to access the path between the east and west corridor. Mr. Schantz discussed that the intention of the path is to be utilized as a main fairway.

d. Commission Action

Motion: Mr. Prall motioned to approve 2019-0924, along with all staff conditions and recommendations, seconded by Mr. Volenik. Motion approved by a 6-0 vote.

Motion: Mr. Prall motioned to approve 2019-0925, along with all staff conditions and recommendations, seconded by Mr. Volenik. Motion approved by a 6-0 vote.

Motion: Mr. Prall motioned to approve 2019-0926, along with all staff conditions and recommendations, seconded by Mr. Volenik. Motion approved by a 6-0 vote.

ITEM 4. PLANNING DIRECTOR'S REPORT

Mr. Efland provided an update on the Delaware Together Comprehensive Plan. He reminded the Commission of the meeting date change for July.

ITEM 5. COMMISSION MEMBER COMMENTS AND DISCUSSION

ITEM 6. NEXT REGULAR MEETING: July 17, 2019

ITEM 7. ADJOURNMENT:

Motion: Chairman Simpson moved for the Planning Commission meeting to adjourn. The meeting adjourned at 7:08 p.m.

Chairperson

Elaine McCloskey, Clerk

CASE NUMBER: 2019-1389

REQUEST: Combined Preliminary & Final Development Plan

PROJECT: Stronghold Construction

MEETING DATE: July 17, 2019

APPLICANT/OWNER

Stronghold Construction
35 Grace Drive
Powell, Ohio 43065

REQUEST

2019-1389: A request by Stronghold Construction for approval of a Combined Preliminary and Final Development Plan for Stronghold Industrial Park located at 1327 London Road on approximately 6.2 acres zoned M-2 (General Manufacturing District).

PROPERTY LOCATION & DESCRIPTION

The approximate 6.2 acre property is at 1327 London Road which is zoned M-2 (General Manufacturing District) as are the surrounding properties. The extreme northeastern portion of the site is located in the Airport Overlay District.

BACKGROUND/PROPOSAL

The owner purchased the subject property in 2018 with the intent of moving his construction business to this site. Currently there is a single family residence on the site which would remain (considered a legal non-conforming use with the existing tenant) while the owner is proposing to construct a 10,000 square foot office/warehouse facility with a 3,600 storage building with a laydown area. A single realigned curb cut from London Road would access the site and extend into a 28 space parking lot. The western portion of the site fronting London Road (west of the existing creek that bisects the property in a north/south orientation) would remain vacant at this time and would allow for future expansion of the subject business or a potentially the owner could create an out parcel.

STAFF ANALYSIS

- **ZONING:** As previously mentioned, the zoning for the subject site is M-2. Under the current zoning, the proposed construction business and storage uses would be permitted while the exiting single family residential use would be permitted as a legal non-conforming use. If the single family house is ever vacated for more than one year, then the single family house us would be terminated per the zoning code. In addition, the majority of the site is located within the Airport Overlay District and would have to achieve compliance with all FAA requirements. In conclusion, a Combined Preliminary and Final Development Plan approval of the application would be required by the Planning Commission and City Council.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND ACCESS:** The subject site would have access from an existing curb cut on London Road that would need to be realigned per the City Engineer. The existing drive would be widened to 24 feet wide and would extend to the eastern portion of the site to provide access to the construction business. An emergency access drive would be provided from the Delaware County Data Bus parking lot to the east of the subject site per the Fire Department's requirement. A sidewalk would be required along London Road but at this time the City would be willing to accept a payment in lieu of construction as determined by the City Engineer because the Bicycle and Pedestrian Master Plan 2027 indicates a future bikeway connection on London Road and the exact alignment is not known at this time along London Road which is a ditch section road.
- **SITE CONFIGURATION:** The proposed 10,000 square foot office/warehouse building and 3,600 square foot storage building and the existing single family residence are located on the extreme southern portion of the site that would be accessed by a 24 wide access drive that would extend from London Road. A 28 space parking lot is located just east of the office/warehouse building and south of the existing single family residence. The laydown area just south of the storage building is proposed to be gravel and would have to be

comprised of a dustless surface as approved by the City Engineer. A proposed 49 foot tall training tower is located on the extreme southeastern portion of the site. A dry detention basin is located north of the proposed office/warehouse building and just south of the existing creek that bisects the site in an east/west direction. A dumpster is located just west of the storage building. The dumpster shall have an enclosure constructed of brick or stone walls (quick brick or equivalent would be acceptable in this application) and have wood doors painted or stained to match. As mentioned above, an emergency access road connection is located on the eastern portion of the site connecting to the Delaware County Data Bus property.

- **BUILDING DESIGN:** As mentioned above, the owner is proposing a 10,000 square foot office/warehouse building and a 3,600 square foot store building. The office warehouse building is located on the extreme south western portion of the site and is comprised of metal siding with a metal pitched roof. The northern portion of the building would be the office portion with a main entry door (east elevation) and office windows. The southern portion of the building is the warehouse portion with four overhead doors (east elevation) and a man door on the east elevation. The storage building is located east of the office building. The building is comprised of metal panels with a pitched metal roof. The south elevation has eight overhead doors and one man door. Both building's color appears to be beige with a green roof. All building appurtenances (coping, downspouts, etc.) should be painted to match the adjacent building color. Also, staff would require submittal of each building material with color samples to ensure compliance is achieved at building permit approval. The existing single family resident would remain as constructed with ordinary maintenance and repair as needed.
- **TREE REMOVAL & REPLACEMENT:** The applicant indicated they are not removing any qualifying trees 6 caliper inches or larger but if any such trees are removed during construction they would have to be replaced per Chapter 1168 Tree Preservation Regulations. The plan indicates the applicant is preserving several trees (some very large) around the existing single family residence and along the south and east property lines near the proposed building and parking lot/laydown area.
- **LANDSCAPING & SCREENING:** The zoning code requires street and shade trees along with interior parking lot landscaping. The proposed development would require 11 street trees along London Road and 9 shade trees. The applicant is proposing shade trees around the parking lot but not any street trees. The 11 street trees would be required to be planted along London Road. The parking lot and building is buffered from an existing tree line along the east, west and south and the buildings is setback a minimum 300 feet from London Road and would not require shrubs to buffer the parking lot from the right-of-way. Also the owner is proposing some landscaping around the single family residence to supplement the existing trees in that area. No other landscaping is required. The Shade Tree Commission would have to approve all landscape plans.
- **SIGNS:** The applicant is not proposing any signage but has identified a location for a future ground sign along London Road just south of the existing curb cut. Any building and/or ground signage shall achieve compliance with the minimum zoning requirements and the adopted Gateways and Corridors Plan.
- **LIGHTING:** The owner is not proposing any light poles on the site and plans to light the parking lot by wall packs on the office/warehouse building and storage building. All lighting shall meet the requirements of the Planning & Zoning Code and be approved by the Chief Building Official.
- **AIRPORT OVERLAY DISTRICT:** The owner would have to receive the "Determination of No Hazard to Air Navigation" approval from the FAA. In addition, the owner would have to get a temporary determination letter to allow a crane, etc. during construction. Therefore, any approval must be conditioned that a building permit will not be issued until a copy of the permanent and temporary FAA determination is provided to the City and any conditions required by the FAA are met.

STAFF RECOMMENDATION (2019-1389 – COMBINED PRELIMINARY & FINAL DEVELOPMENT PLAN)

Staff recommends approval of a request by Stronghold Construction for a Combined Preliminary and Final Development Plan for Stronghold Industrial Park located at 1327 London Road on approximately 6.2 acres zoned M-2 (General Manufacturing District), with the following conditions that:

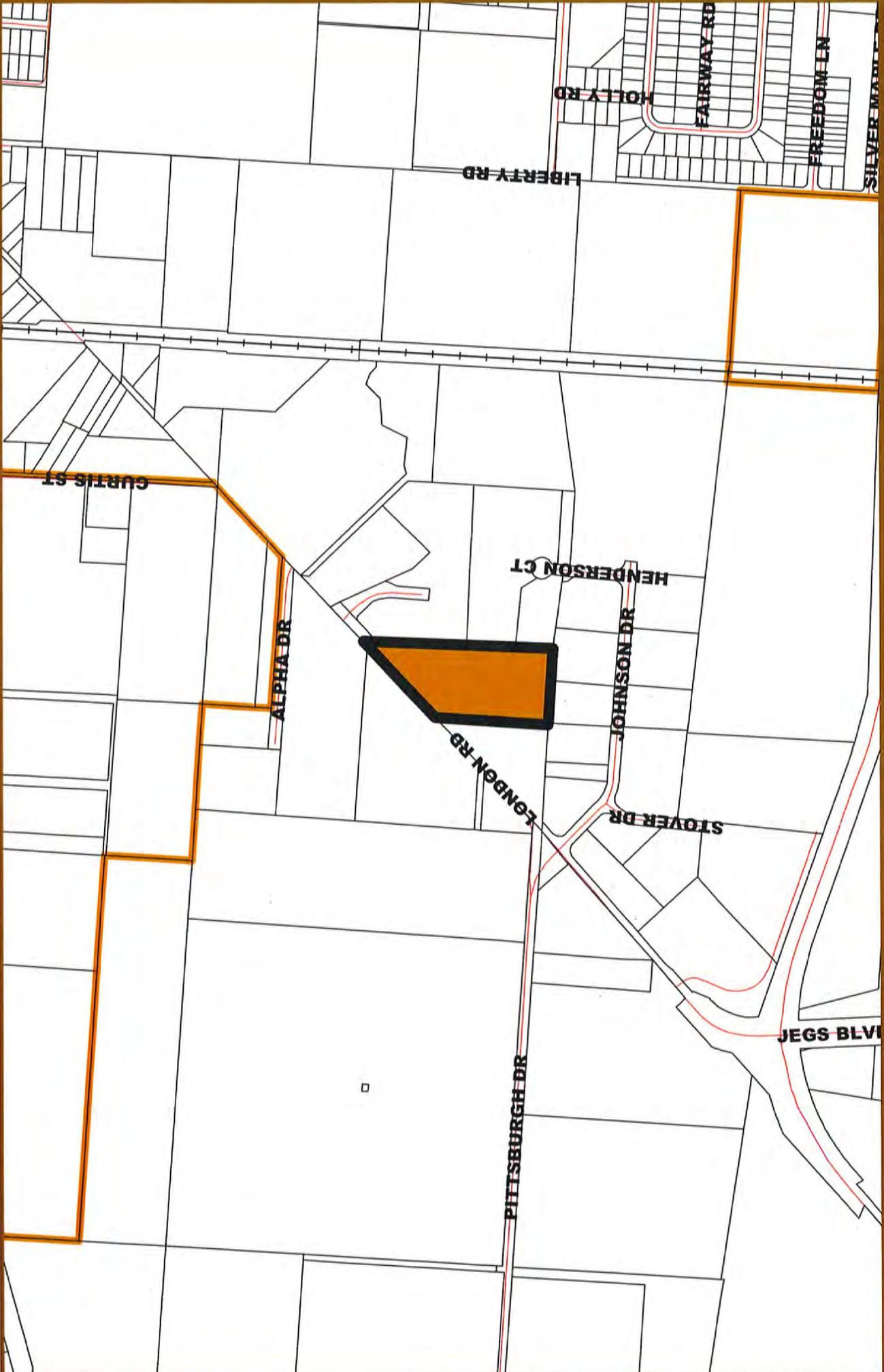
1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The curb cut and access drive on London Road shall be realigned per the City Engineer.
3. The storage area laydown area shall be constructed of a dustless surface approved by the City Engineer.
4. The owner shall construct a sidewalk along London Road or shall make a payment in lieu of constructing a sidewalk per the City Engineer prior to construction drawing approval.
5. An emergency access drive with an easement agreement shall be provided from the Delaware County Data Bus parking lot to the east of the subject site per the Fire Department's requirement.
6. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color.
7. The Applicant shall submit all building elevations along with material and color samples for all building materials for staff review and approval.
8. The dumpster enclosure enclosures shall be constructed of brick or stone walls (quick brick or equivalent would be acceptable in this application) and have wood doors painted or stained to match.
9. Any ground and building signage shall achieve compliance with the minimum zoning requirements and the adopted Gateways and Corridor Plan.
10. The lighting plan shall be reviewed and approved by the Chief Building Official and all lighting must meet the requirements of the approved development text and the Planning & Zoning Code.
11. A building and zoning permit shall not be issued until a copy of the permanent and temporary FAA determination is provided to the City and any conditions required by the FAA are met.
12. The single family house is permitted as a legal non-conforming use but if the single family house is vacant for more than one year then the single family house use would be terminated per the zoning code.
13. Any trees 6 inches in caliper inches or larger removed during construction shall be replaced per Chapter 1168 Tree Preservation

COMMISSION NOTES:

MOTION: _____ *1st* _____ *2nd* *approved* *denied* *tabled* _____

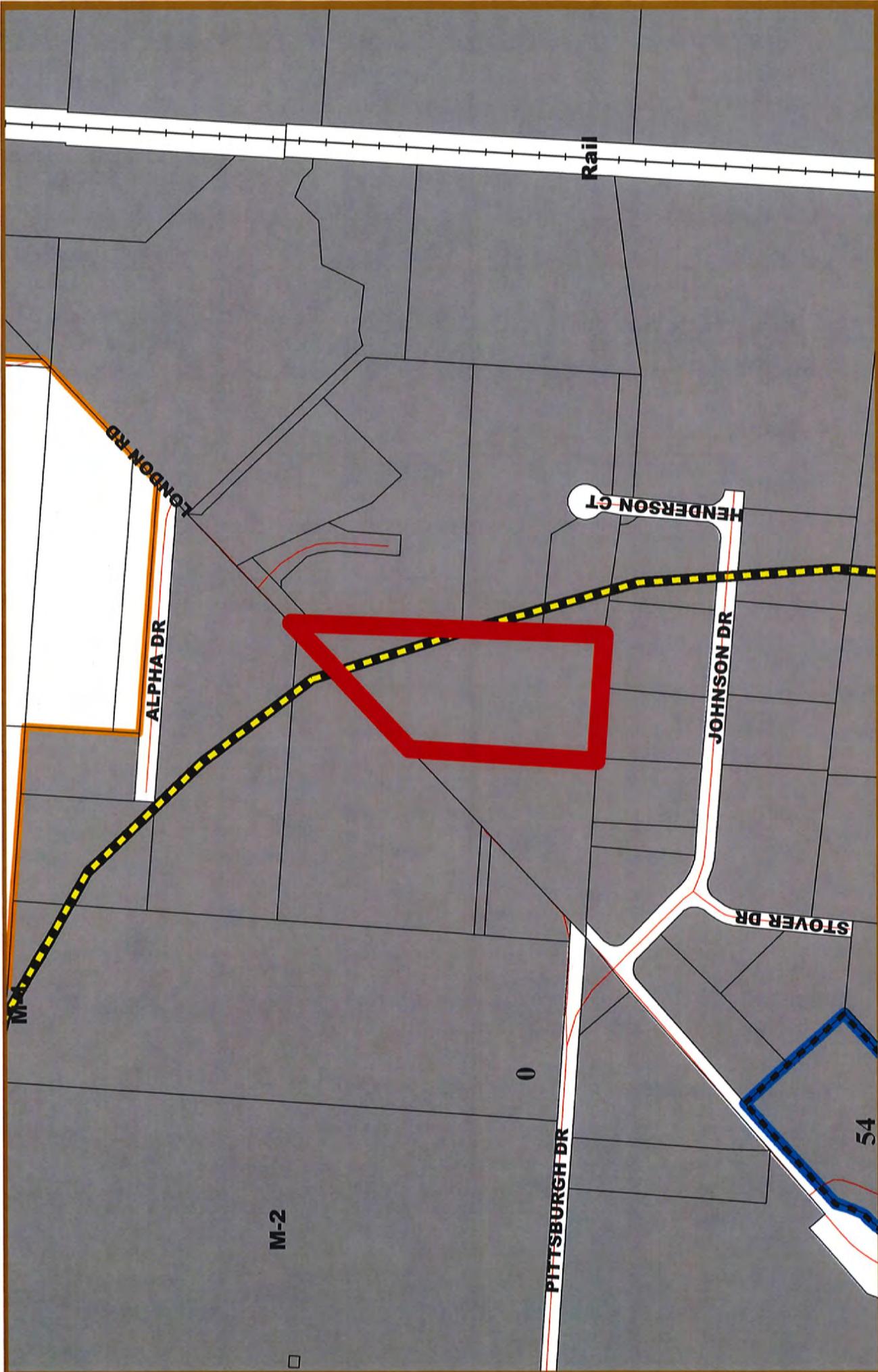
CONDITIONS/MISCELLANEOUS:

FILE:
ORIGINAL: 7/11/19
REVISED:



2019-1389
Combined Preliminary and Final Development Plan
Stronghold Construction - 1327 London Road
Location Map





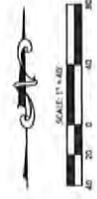
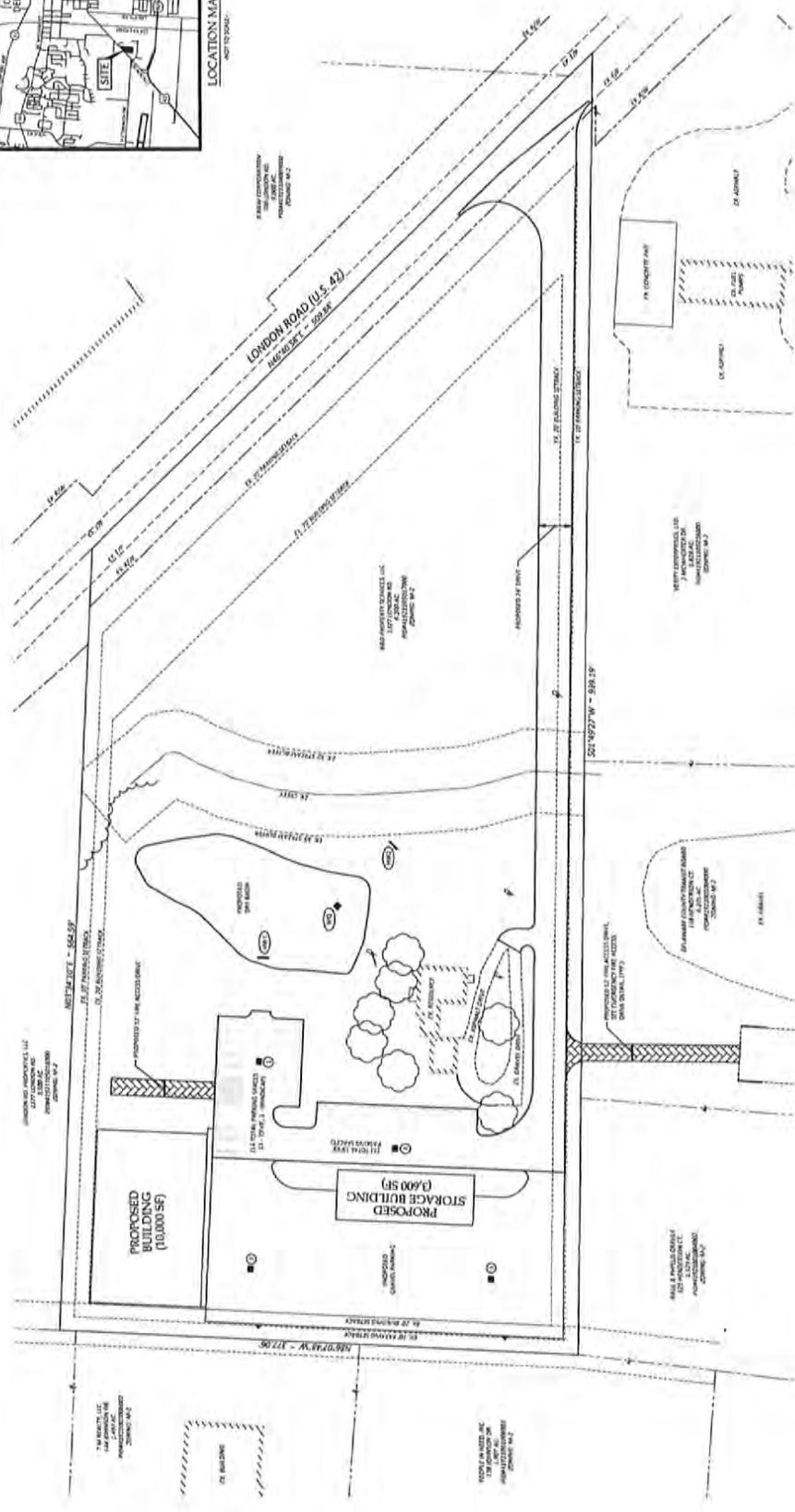
2019-1389
Combined Preliminary and Final Development Plan
Stronghold Construction - 1327 London Road
Zoning Map





2019-1389
Combined Preliminary and Final Development Plan
Stronghold Construction - 1327 London Road
Aerial (2016) Map





SITE DATA TABLE

TOTAL SITE AREA (AC)	1.80
TOTAL SITE AREA EXCLUDING (AC)	1.40
PROPOSED DEVELOPMENT AREA (AC)	0.80
PROPOSED IMPROVEMENT AREA (AC)	0.60

ZONING INFORMATION

PROPOSED ZONING: M-2 (MANUFACTURING DISTRICT)	EXISTING ZONING: M-2 (MANUFACTURING DISTRICT)
PROPOSED BUILDING TYPE: MANUFACTURING BUILDING	EXISTING BUILDING TYPE: MANUFACTURING BUILDING
PROPOSED BUILDING AREA: 16,000 SF	EXISTING BUILDING AREA: 16,000 SF
PROPOSED BUILDING HEIGHT: 10 FT	EXISTING BUILDING HEIGHT: 10 FT
PROPOSED BUILDING SETBACKS: 10 FT FRONT, 10 FT SIDE, 10 FT REAR	EXISTING BUILDING SETBACKS: 10 FT FRONT, 10 FT SIDE, 10 FT REAR
PROPOSED BUILDING USE: MANUFACTURING	EXISTING BUILDING USE: MANUFACTURING
PROPOSED BUILDING OWNER: STRONGHOLD CONSTRUCTION	EXISTING BUILDING OWNER: STRONGHOLD CONSTRUCTION
PROPOSED BUILDING ADDRESS: 1327 LONDON ROAD	EXISTING BUILDING ADDRESS: 1327 LONDON ROAD
PROPOSED BUILDING PERMIT: 2024-001	EXISTING BUILDING PERMIT: 2024-001
PROPOSED BUILDING DATE: 2024	EXISTING BUILDING DATE: 2024
PROPOSED BUILDING STATUS: PROPOSED	EXISTING BUILDING STATUS: EXISTING

SITE DEVELOPMENT ESTIMATE OF QUANTITIES

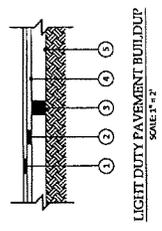
ITEM	QUANT	UNIT	DESCRIPTION
201		SUM	CLEARING AND GRUBBING
201A		EA	1" TREE REMOVED, 18-INCH DIA.
201B		EA	2" TREE REMOVED, 18-INCH DIA.
201C		EA	3" TREE REMOVED, 18-INCH DIA.
202		SF	PAVEMENT REMOVED
202A		SF	SURGRADE COMPACTION
207		SUM	EXCAVATION INCLUDING UNDERPAVEMENT CONSTRUCTION
207A		EA	STABILIZED CONSTRUCTION ENTRANCES
207B		EA	CONCRETE WALKOUT
207C		EA	INLET PROTECTION
304		SF	AGGREGATE BASE
304A		SF	4" SURGRADE CONCRETE APPROACH, AS PER PLAN
448		CF	ASPHALT CONCRETE, TYPE 1, 1024-22
448A		CF	ASPHALT CONCRETE, TYPE 2, 1024-22
603		LF	12" STORM SEWER, TYPE C1 (12x12) WITH TYPE 1 BEDDING
603A		LF	12" STORM SEWER, TYPE C2 (12x12) WITH TYPE 1 BEDDING
604		EA	MANHOLE, TYPE C2, 24" DIA.
605		SF	CONCRETE WALK
605A		SF	CURB WALKOUT
605B		SF	STEERING & MULDING
605C		SF	SEWER COVER, AS PER PLAN
605D		SF	18" SLOPE RETAINING WALL REMOVED, STORED AND REINSTALLED, AS PER PLAN
606		LF	12" STORM SEWER, TYPE C1 (12x12) WITH TYPE 1 BEDDING
606A		LF	12" STORM SEWER, TYPE C2 (12x12) WITH TYPE 1 BEDDING
606B		EA	MANHOLE, TYPE C2, 24" DIA.
606C		SF	CONCRETE WALK
606D		SF	CURB WALKOUT
606E		SF	STEERING & MULDING
606F		SF	SEWER COVER, AS PER PLAN
606G		SF	18" SLOPE RETAINING WALL REMOVED, STORED AND REINSTALLED, AS PER PLAN

QUANTITIES SHOWN ARE LISTED FOR INFORMATION AND ARE ESTIMATES ONLY. THE CONTRACTOR SHALL CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND SHALL NOT TOTALLY RELY ON QUANTITIES LISTED OR NOT LISTED HEREON.

R/W WORK ESTIMATE OF QUANTITIES

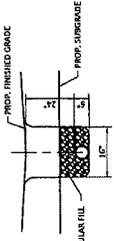
ITEM	QUANT	UNIT	DESCRIPTION
202		SF	PAVEMENT REMOVED
202A		SF	SURGRADE COMPACTION
207		SUM	EXCAVATION INCLUDING UNDERPAVEMENT CONSTRUCTION
207A		EA	STABILIZED CONSTRUCTION ENTRANCES
207B		EA	CONCRETE WALKOUT
207C		EA	INLET PROTECTION
304		SF	AGGREGATE BASE
304A		SF	4" SURGRADE CONCRETE APPROACH, AS PER PLAN
603		LF	12" STORM SEWER, TYPE C1 (12x12) WITH TYPE 1 BEDDING
603A		LF	12" STORM SEWER, TYPE C2 (12x12) WITH TYPE 1 BEDDING
604		EA	MANHOLE, TYPE C2, 24" DIA.
605		SF	CONCRETE WALK
605A		SF	CURB WALKOUT
605B		SF	STEERING & MULDING
605C		SF	SEWER COVER, AS PER PLAN
605D		SF	18" SLOPE RETAINING WALL REMOVED, STORED AND REINSTALLED, AS PER PLAN
606		LF	12" STORM SEWER, TYPE C1 (12x12) WITH TYPE 1 BEDDING
606A		LF	12" STORM SEWER, TYPE C2 (12x12) WITH TYPE 1 BEDDING
606B		EA	MANHOLE, TYPE C2, 24" DIA.
606C		SF	CONCRETE WALK
606D		SF	CURB WALKOUT
606E		SF	STEERING & MULDING
606F		SF	SEWER COVER, AS PER PLAN
606G		SF	18" SLOPE RETAINING WALL REMOVED, STORED AND REINSTALLED, AS PER PLAN

QUANTITIES SHOWN ARE LISTED FOR INFORMATION AND ARE ESTIMATES ONLY. THE CONTRACTOR SHALL CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND SHALL NOT TOTALLY RELY ON QUANTITIES LISTED OR NOT LISTED HEREON.

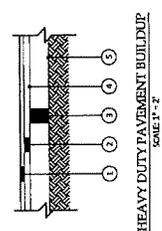


1. ITEM 448, 1-1/2" ASPHALT CONCRETE
2. ITEM 448, 2-1/2" ASPHALT CONCRETE
3. CONCRETE LEVELING COURSE
4. ITEM 304, 4" COMPACTED THICKNESS COURSE
5. ITEM 304, 4" COMPACTED THICKNESS COURSE
6. ITEM 407, BITUMINOUS TACK COAT
7. ITEM 304, SURGRADE COMPACTION

PAVEMENT SECTION
 PAVEMENT COMPOSITION IS TYPICAL OF SIMILAR PROJECTS. A PAVEMENT SPECIFIC LABORATORY ASSESSMENT WAS NOT PERFORMED FOR THIS SITE. CONTRACTOR SHALL VERIFY FINAL DESIGN WITH OWNER ON SITE SURVEIL.

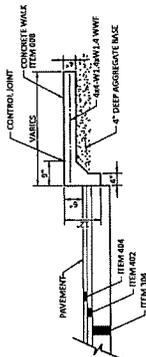


FINGER DRAINS SHALL CONSIST OF 30 D.L.T. OR 6" PERFORATED UNDERDRAIN PIPE OR APPROVED EQUAL SPECIFIC LABORATORY ASSESSMENT WAS NOT PERFORMED FOR THIS SITE. CONTRACTOR SHALL VERIFY FINAL DESIGN WITH OWNER ON SITE SURVEIL. DRAIN CROSSINGS (UNLESS OTHERWISE NOTED) @ 1" SLOPE, UPSTREAM END FLANGED, AND 5" AGGREGATE BASE. DRAIN SHALL BE SET 1" BELOW THE UNDERDRAIN PIPE TO THE BOTTOM OF THE PAVEMENT. DRAIN SHALL BE SET 1" BELOW THE UNDERDRAIN PIPE TO THE BOTTOM OF THE PAVEMENT. DRAIN SHALL BE SET 1" BELOW THE UNDERDRAIN PIPE TO THE BOTTOM OF THE PAVEMENT. DRAIN SHALL BE SET 1" BELOW THE UNDERDRAIN PIPE TO THE BOTTOM OF THE PAVEMENT.

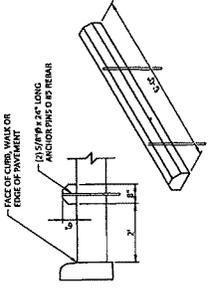


1. ITEM 448, 1-1/2" ASPHALT CONCRETE
2. ITEM 448, 2-1/2" ASPHALT CONCRETE
3. ITEM 304, 4" CRUSHED AGGREGATE BASE
4. ITEM 407, BITUMINOUS TACK COAT
5. ITEM 304, SURGRADE COMPACTION

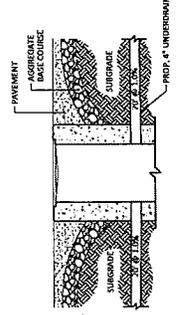
PAVEMENT SECTION
 PAVEMENT COMPOSITION IS TYPICAL OF SIMILAR PROJECTS. A PAVEMENT SPECIFIC LABORATORY ASSESSMENT WAS NOT PERFORMED FOR THIS SITE. CONTRACTOR SHALL VERIFY FINAL DESIGN WITH OWNER ON SITE SURVEIL.



CURB & WALK DETAIL. CURB SHALL BE SET 1" BELOW THE UNDERDRAIN PIPE TO THE BOTTOM OF THE PAVEMENT. CURB SHALL BE SET 1" BELOW THE UNDERDRAIN PIPE TO THE BOTTOM OF THE PAVEMENT. CURB SHALL BE SET 1" BELOW THE UNDERDRAIN PIPE TO THE BOTTOM OF THE PAVEMENT. CURB SHALL BE SET 1" BELOW THE UNDERDRAIN PIPE TO THE BOTTOM OF THE PAVEMENT.



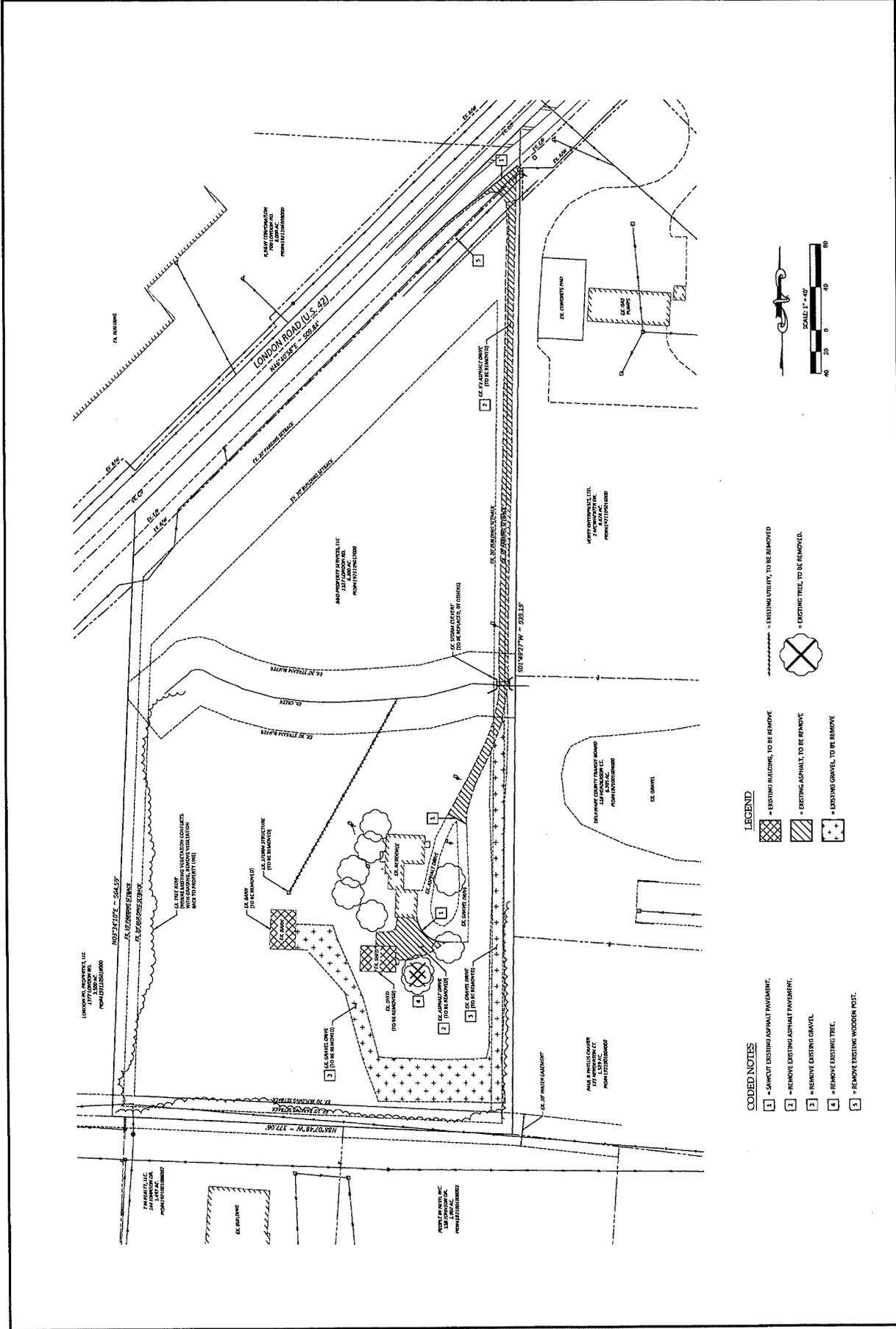
NOTE:
 1. CENTER PARKING BLOCK IN PARKING SPACE.
 2. REFER TO SITE PLAN FOR PARKING BLOCK LOCATIONS.
 3. COMMERCIAL PARKING BLOCK OR APPROVED EQUAL.



THE CONTRACTOR SHALL INITIAL SET THE TOP OF CASTING FOR AN INLET. THE CONTRACTOR SHALL VERIFY THE TOP OF CASTING FOR AN INLET. THE CONTRACTOR SHALL VERIFY THE TOP OF CASTING FOR AN INLET. THE CONTRACTOR SHALL VERIFY THE TOP OF CASTING FOR AN INLET.

SITE DEVELOPMENT ESTIMATE OF QUANTITIES

ITEM	QUANTITY	UNIT	DESCRIPTION
201		EA	REMOVE 12" SURFACE
202		EA	12" REMOVED, 18" RICH DGE
203		EA	12" REMOVED, 36" RICH DGE
204		EA	12" REMOVED, 48" RICH DGE
205		EA	12" REMOVED, 60" RICH DGE
206		EA	12" REMOVED, 72" RICH DGE
207		EA	12" REMOVED, 84" RICH DGE
208		EA	12" REMOVED, 96" RICH DGE
209		EA	12" REMOVED, 108" RICH DGE
210		EA	12" REMOVED, 120" RICH DGE
211		EA	12" REMOVED, 132" RICH DGE
212		EA	12" REMOVED, 144" RICH DGE
213		EA	12" REMOVED, 156" RICH DGE
214		EA	12" REMOVED, 168" RICH DGE
215		EA	12" REMOVED, 180" RICH DGE
216		EA	12" REMOVED, 192" RICH DGE
217		EA	12" REMOVED, 204" RICH DGE
218		EA	12" REMOVED, 216" RICH DGE
219		EA	12" REMOVED, 228" RICH DGE
220		EA	12" REMOVED, 240" RICH DGE
221		EA	12" REMOVED, 252" RICH DGE
222		EA	12" REMOVED, 264" RICH DGE
223		EA	12" REMOVED, 276" RICH DGE
224		EA	12" REMOVED, 288" RICH DGE
225		EA	12" REMOVED, 300" RICH DGE
226		EA	12" REMOVED, 312" RICH DGE
227		EA	12" REMOVED, 324" RICH DGE
228		EA	12" REMOVED, 336" RICH DGE
229		EA	12" REMOVED, 348" RICH DGE
230		EA	12" REMOVED, 360" RICH DGE
231		EA	12" REMOVED, 372" RICH DGE
232		EA	12" REMOVED, 384" RICH DGE
233		EA	12" REMOVED, 396" RICH DGE
234		EA	12" REMOVED, 408" RICH DGE
235		EA	12" REMOVED, 420" RICH DGE
236		EA	12" REMOVED, 432" RICH DGE
237		EA	12" REMOVED, 444" RICH DGE
238		EA	12" REMOVED, 456" RICH DGE
239		EA	12" REMOVED, 468" RICH DGE
240		EA	12" REMOVED, 480" RICH DGE
241		EA	12" REMOVED, 492" RICH DGE
242		EA	12" REMOVED, 504" RICH DGE
243		EA	12" REMOVED, 516" RICH DGE
244		EA	12" REMOVED, 528" RICH DGE
245		EA	12" REMOVED, 540" RICH DGE
246		EA	12" REMOVED, 552" RICH DGE
247		EA	12" REMOVED, 564" RICH DGE
248		EA	12" REMOVED, 576" RICH DGE
249		EA	12" REMOVED, 588" RICH DGE
250		EA	12" REMOVED, 600" RICH DGE
251		EA	12" REMOVED, 612" RICH DGE
252		EA	12" REMOVED, 624" RICH DGE
253		EA	12" REMOVED, 636" RICH DGE
254		EA	12" REMOVED, 648" RICH DGE
255		EA	12" REMOVED, 660" RICH DGE
256		EA	12" REMOVED, 672" RICH DGE
257		EA	12" REMOVED, 684" RICH DGE
258		EA	12" REMOVED, 696" RICH DGE
259		EA	12" REMOVED, 708" RICH DGE
260		EA	12" REMOVED, 720" RICH DGE
261		EA	12" REMOVED, 732" RICH DGE
262		EA	12" REMOVED, 744" RICH DGE
263		EA	12" REMOVED, 756" RICH DGE
264		EA	12" REMOVED, 768" RICH DGE
265		EA	12" REMOVED, 780" RICH DGE
266		EA	12" REMOVED, 792" RICH DGE
267		EA	12" REMOVED, 804" RICH DGE
268		EA	12" REMOVED, 816" RICH DGE
269		EA	12" REMOVED, 828" RICH DGE
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271		EA	12" REMOVED, 852" RICH DGE
272		EA	12" REMOVED, 864" RICH DGE
273		EA	12" REMOVED, 876" RICH DGE
274		EA	12" REMOVED, 888" RICH DGE
275		EA	12" REMOVED, 900" RICH DGE
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281		EA	12" REMOVED, 972" RICH DGE
282		EA	12" REMOVED, 984" RICH DGE
283		EA	12" REMOVED, 996" RICH DGE
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289		EA	12" REMOVED, 1068" RICH DGE
290		EA	12" REMOVED, 1080" RICH DGE
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292		EA	12" REMOVED, 1104" RICH DGE
293		EA	12" REMOVED, 1116" RICH DGE
294		EA	12" REMOVED, 1128" RICH DGE
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296		EA	12" REMOVED, 1152" RICH DGE
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298		EA	12" REMOVED, 1176" RICH DGE
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403		EA	12" REMOVED, 2436" RICH DGE
404		EA	12" REMOVED, 2448" RICH DGE
405		EA	12" REMOVED, 2460" RICH DGE
406		EA	12" REMOVED, 2472" RICH DGE
407		EA	12" REMOVED, 2484" RICH DGE
408		EA	12" REMOVED, 2496" RICH DGE
409		EA	12" REMOVED, 2508" RICH DGE
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413		EA	12" REMOVED, 2556" RICH DGE
414		EA	12" REMOVED, 2568" RICH DGE
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417		EA	12" REMOVED, 2604" RICH DGE
418		EA	12" REMOVED, 2616" RICH DGE
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420		EA	12" REMOVED, 2640" RICH DGE
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424		EA	12" REMOVED, 2688" RICH DGE
425		EA	12" REMOVED, 2700" RICH DGE
426		EA	12" REMOVED, 2712" RICH DGE
427		EA	12" REMOVED, 2724" RICH DGE
428		EA	12" REMOVED, 2736" RICH DGE
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454		EA	12" REMOVED, 3048" RICH DGE
455		EA	12" REMOVED, 3060" RICH DGE
456		EA	12" REMOVED, 3072" RICH DGE
457		EA	12" REMOVED, 3084" RICH DGE
458		EA	12" REMOVED, 3096" RICH DGE
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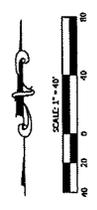


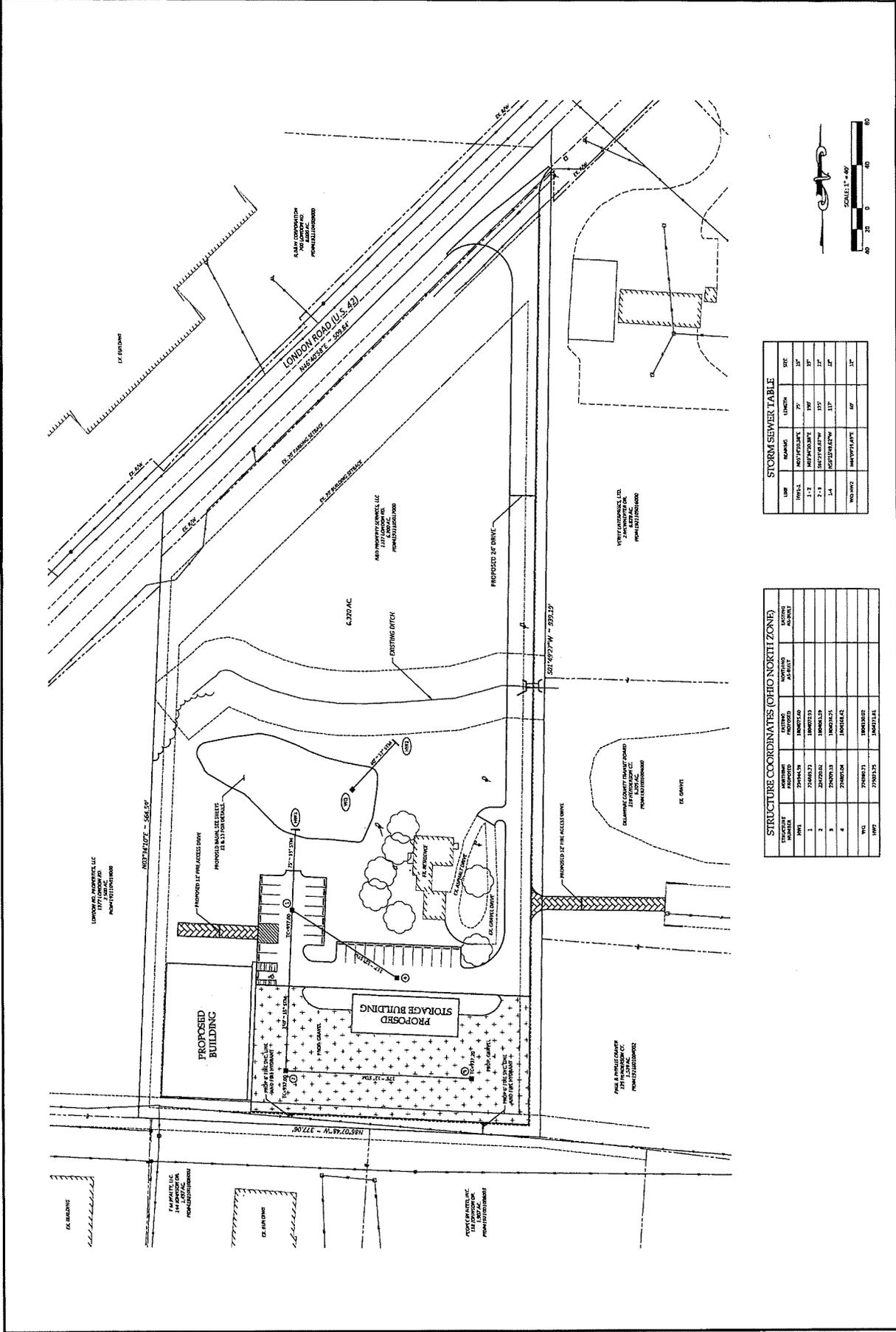
CODED NOTES

- 1 - SAWCUT EXISTING ASPHALT PAVEMENT.
- 2 - REMOVE EXISTING ASPHALT PAVEMENT.
- 3 - REMOVE EXISTING GRAVEL.
- 4 - REMOVE EXISTING TREE.
- 5 - REMOVE EXISTING WOODEN POST.

LEGEND

- EXISTING BUILDINGS TO BE REMOVE
- EXISTING ASPHALT TO BE REMOVE
- EXISTING GRAVEL TO BE REMOVE
- EXISTING UTILITY TO BE REMOVED
- EXISTING TILE TO BE REMOVED



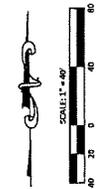


STORM SEWER TABLE

LINE	MARKING	LENGTH	SIZE
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101-2	101-2	15'	18"
101-3	101-3	15'	18"
101-4	101-4	15'	18"
101-5	101-5	15'	18"
101-6	101-6	15'	18"
101-7	101-7	15'	18"
101-8	101-8	15'	18"
101-9	101-9	15'	18"
101-10	101-10	15'	18"
101-11	101-11	15'	18"
101-12	101-12	15'	18"
101-13	101-13	15'	18"
101-14	101-14	15'	18"
101-15	101-15	15'	18"
101-16	101-16	15'	18"
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101-19	101-19	15'	18"
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101-22	101-22	15'	18"
101-23	101-23	15'	18"
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101-27	101-27	15'	18"
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STRUCTURE COORDINATES (OHIO NORTH ZONE)

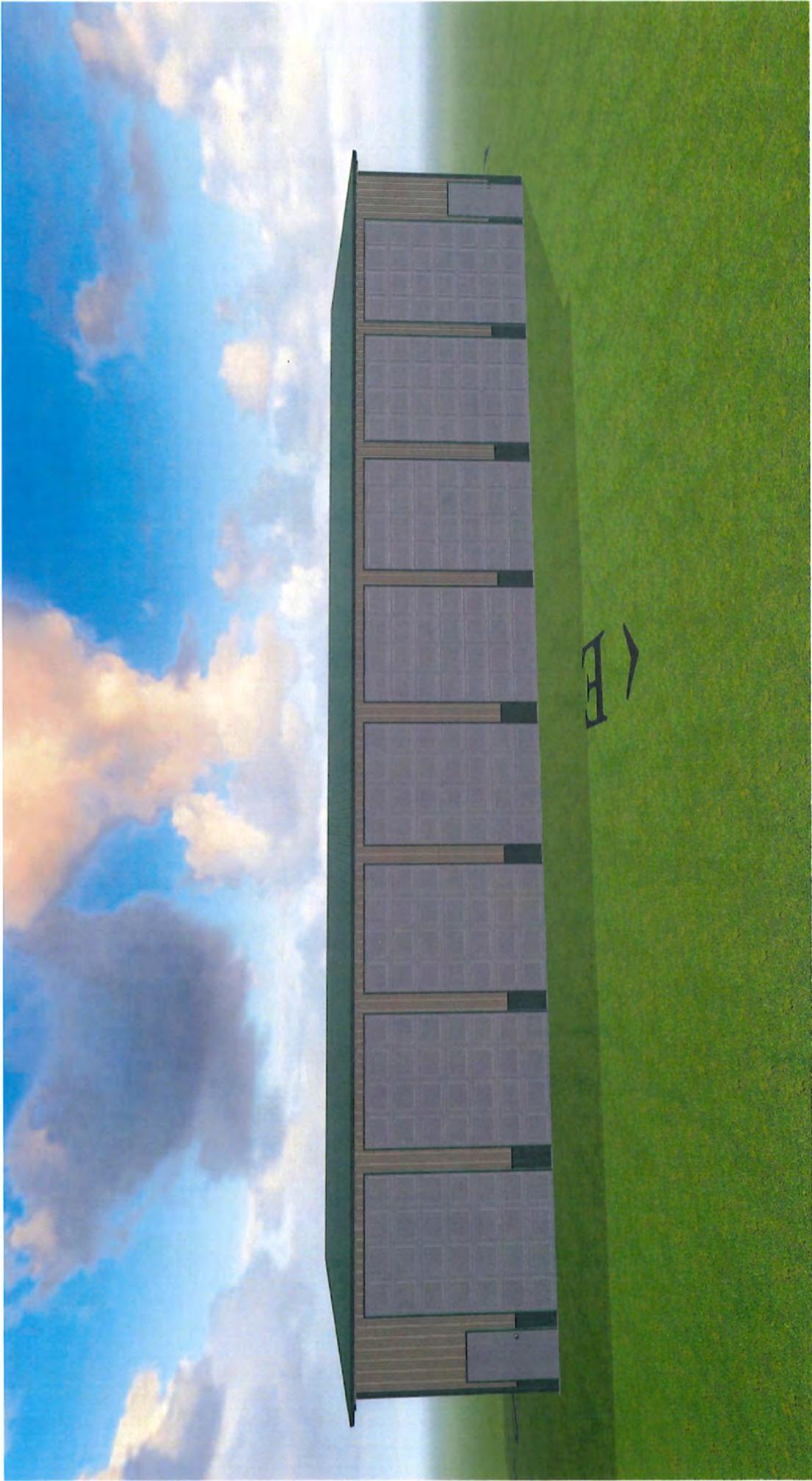
LINE	MARKING	LENGTH	SIZE
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101-100	101-100	15'	18"



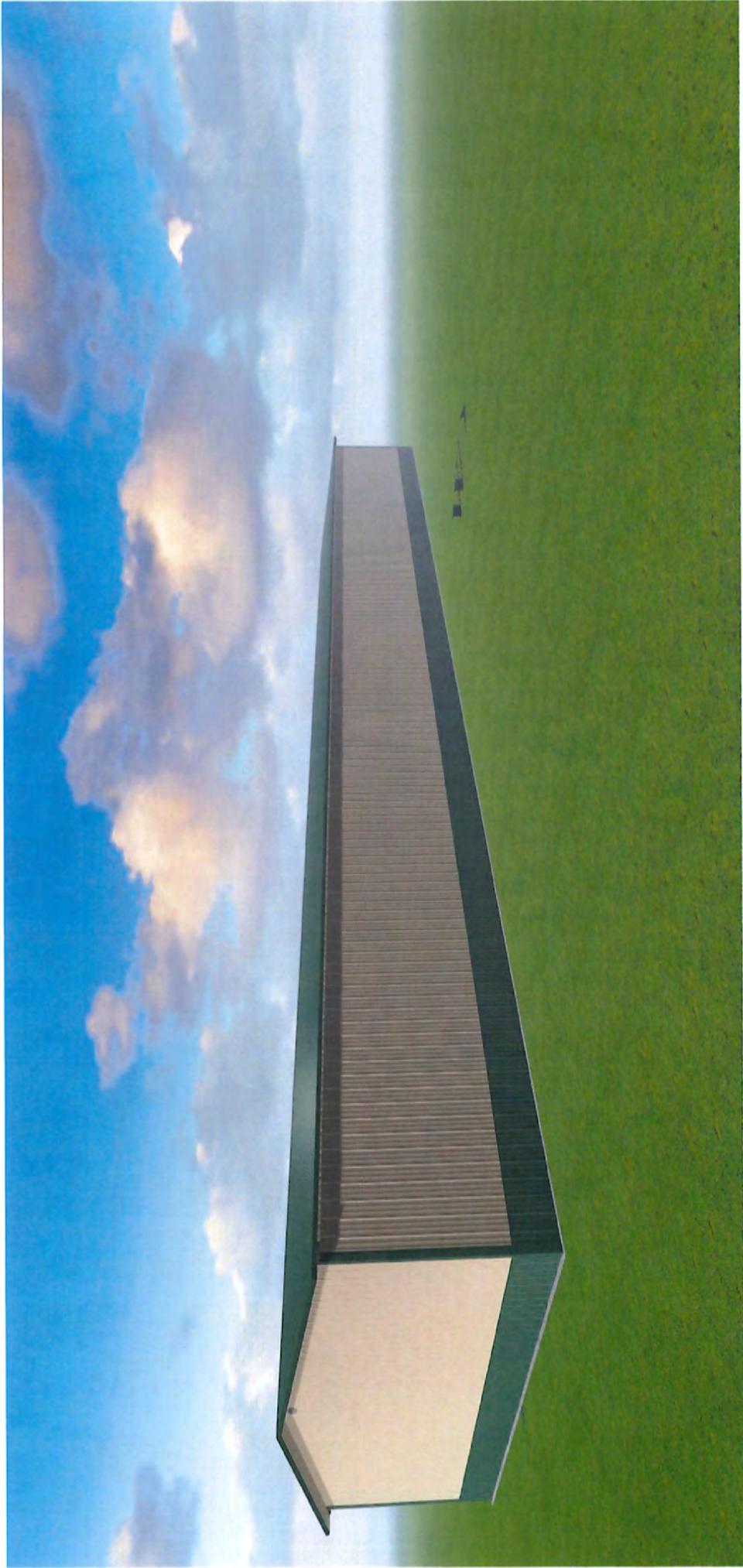
Out Building Southeast View



Out Building South View



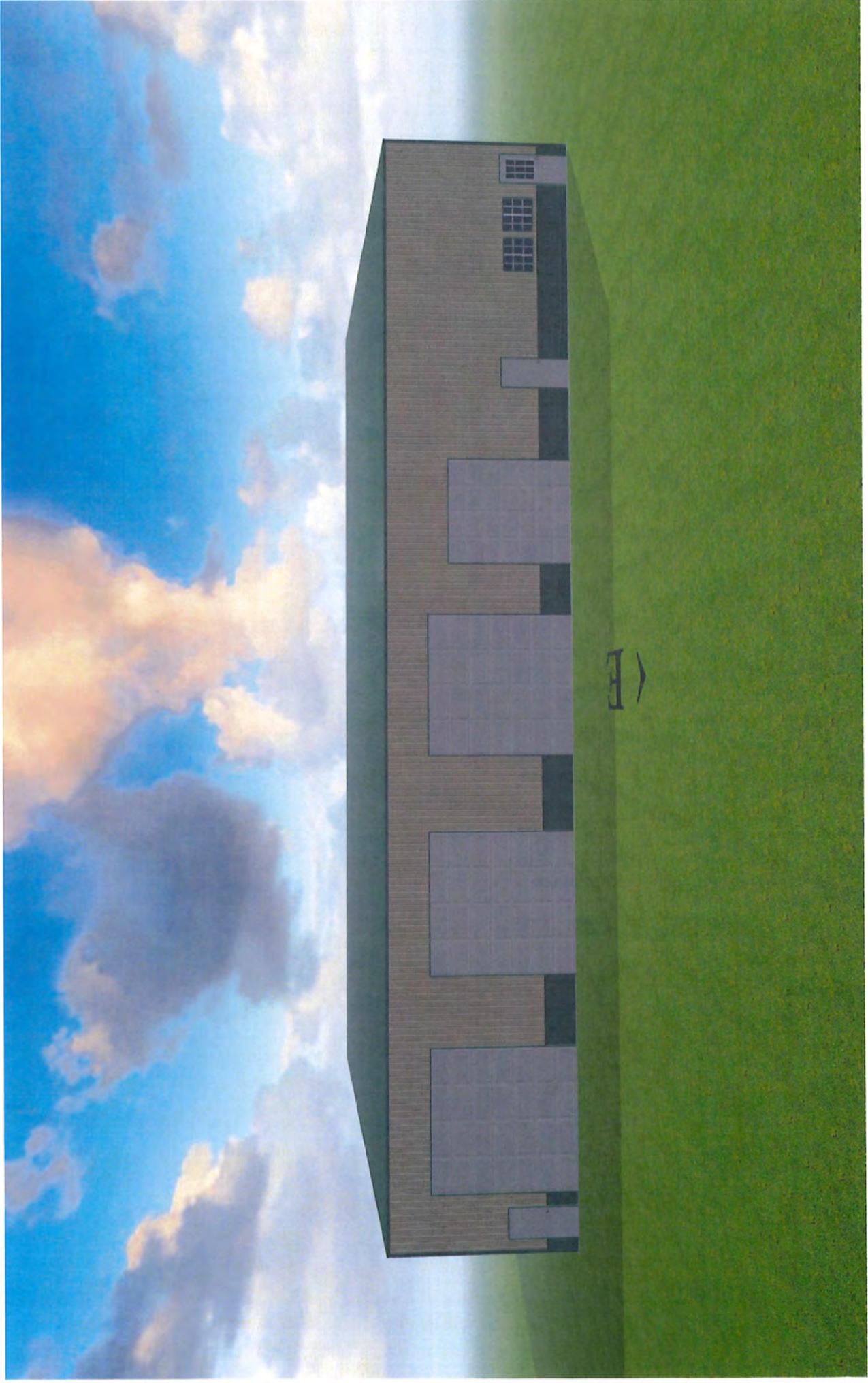
Out building north west view



Warehouse / Office Southeast view

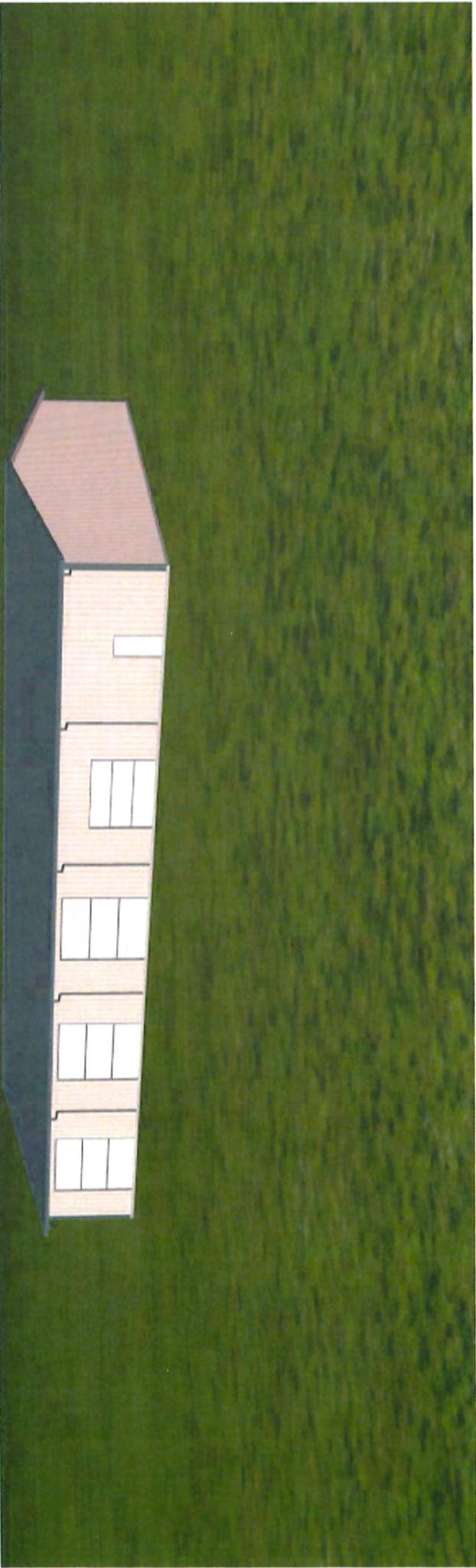


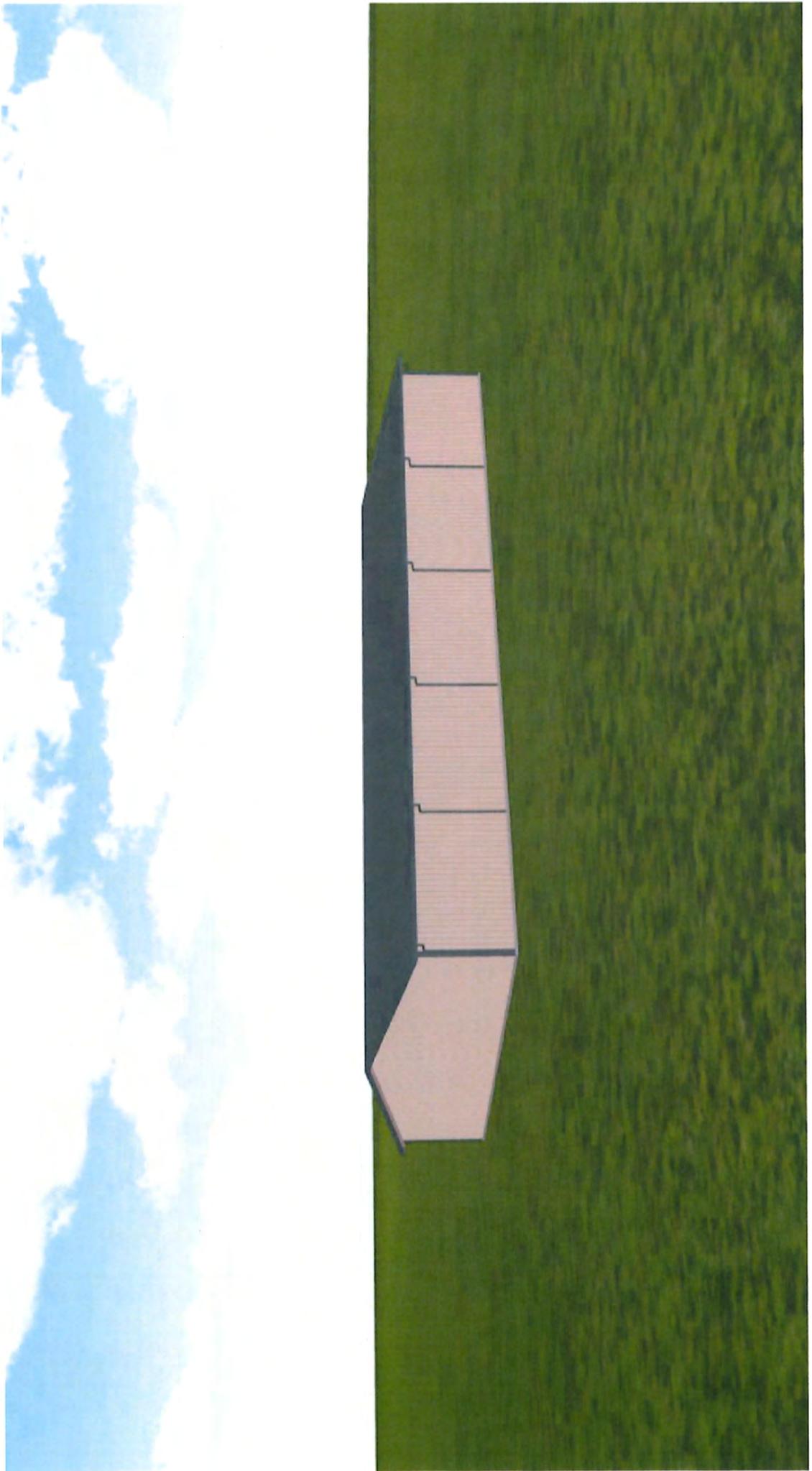
Warehouse/Office East view

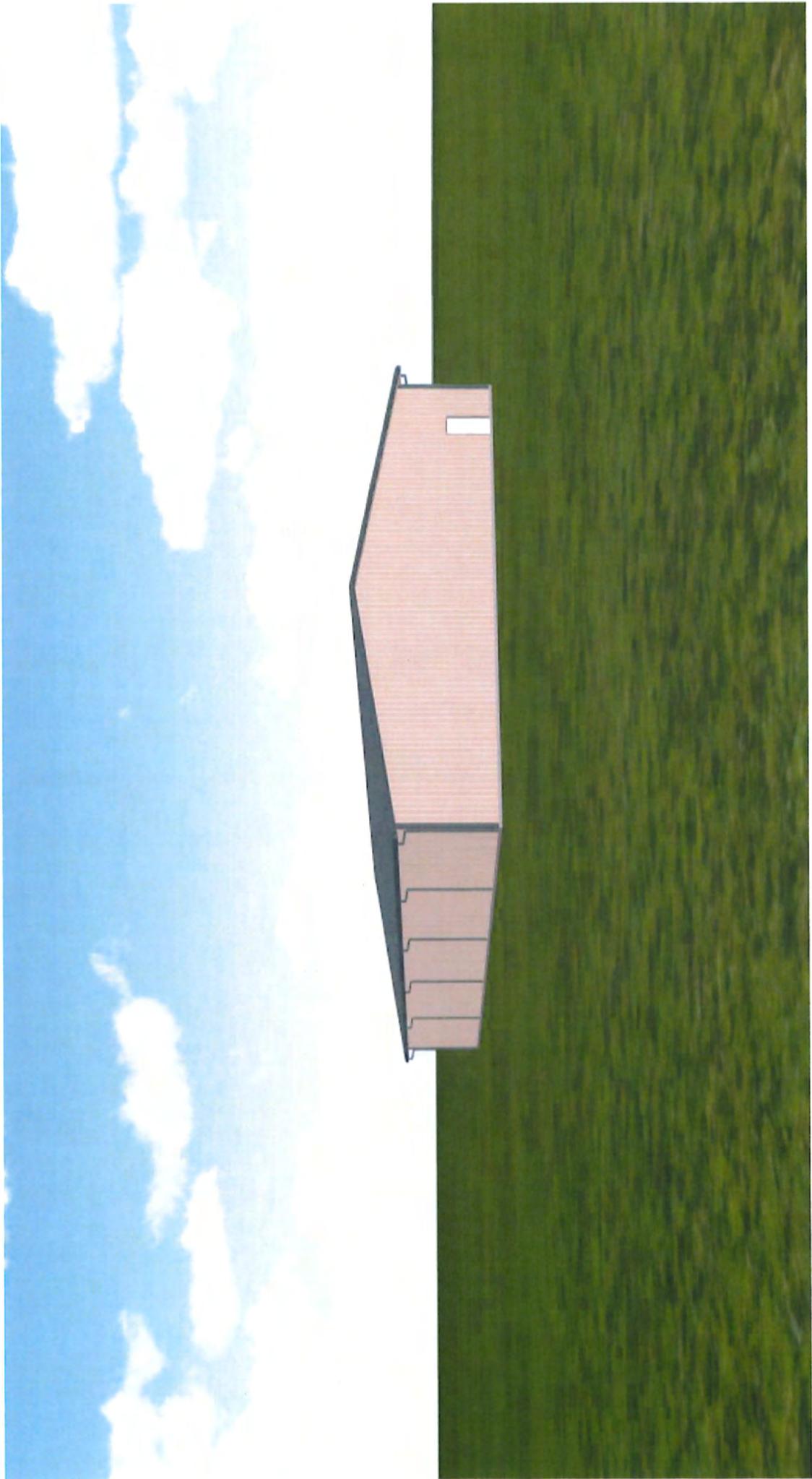


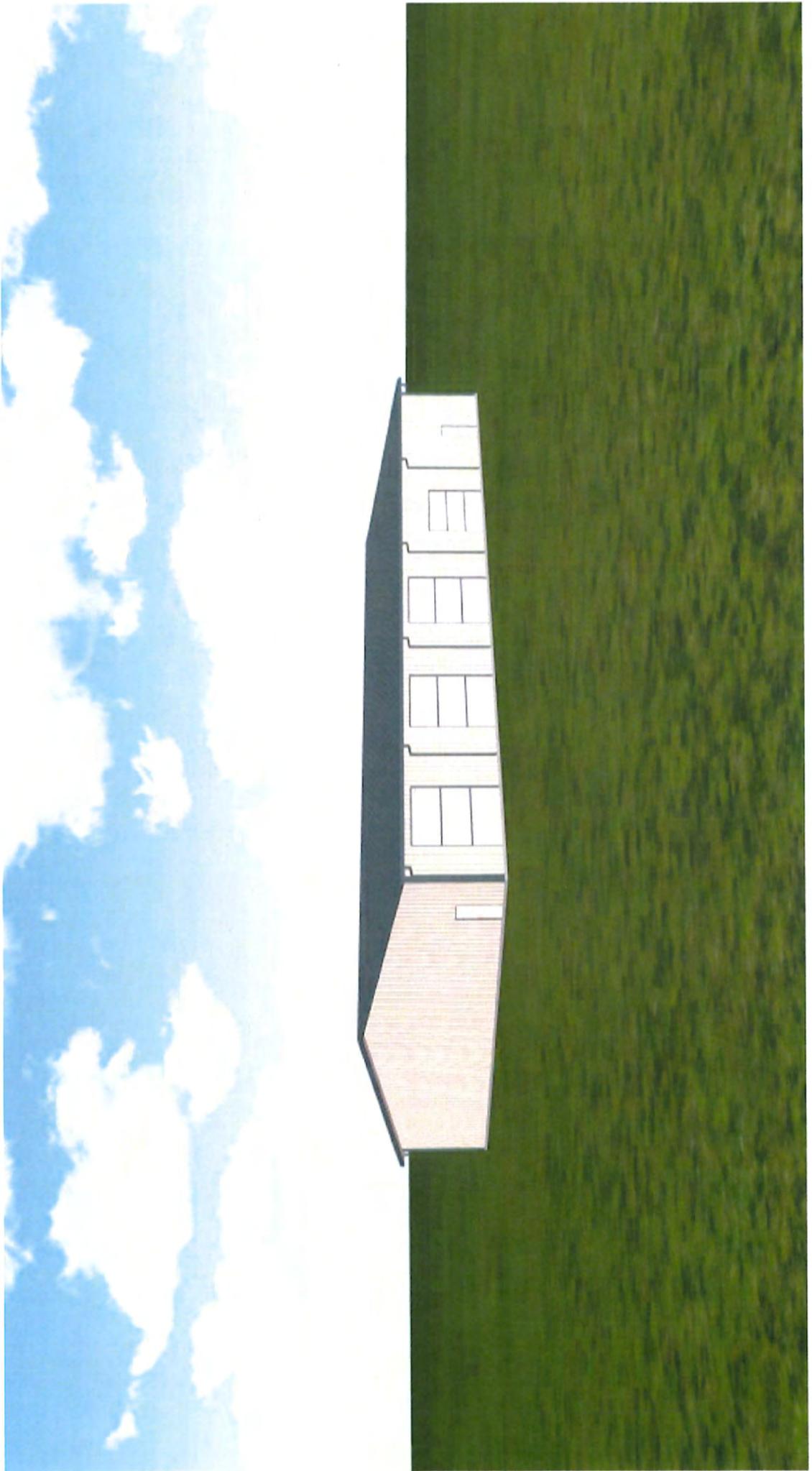
Warehouse/Office Northwest view



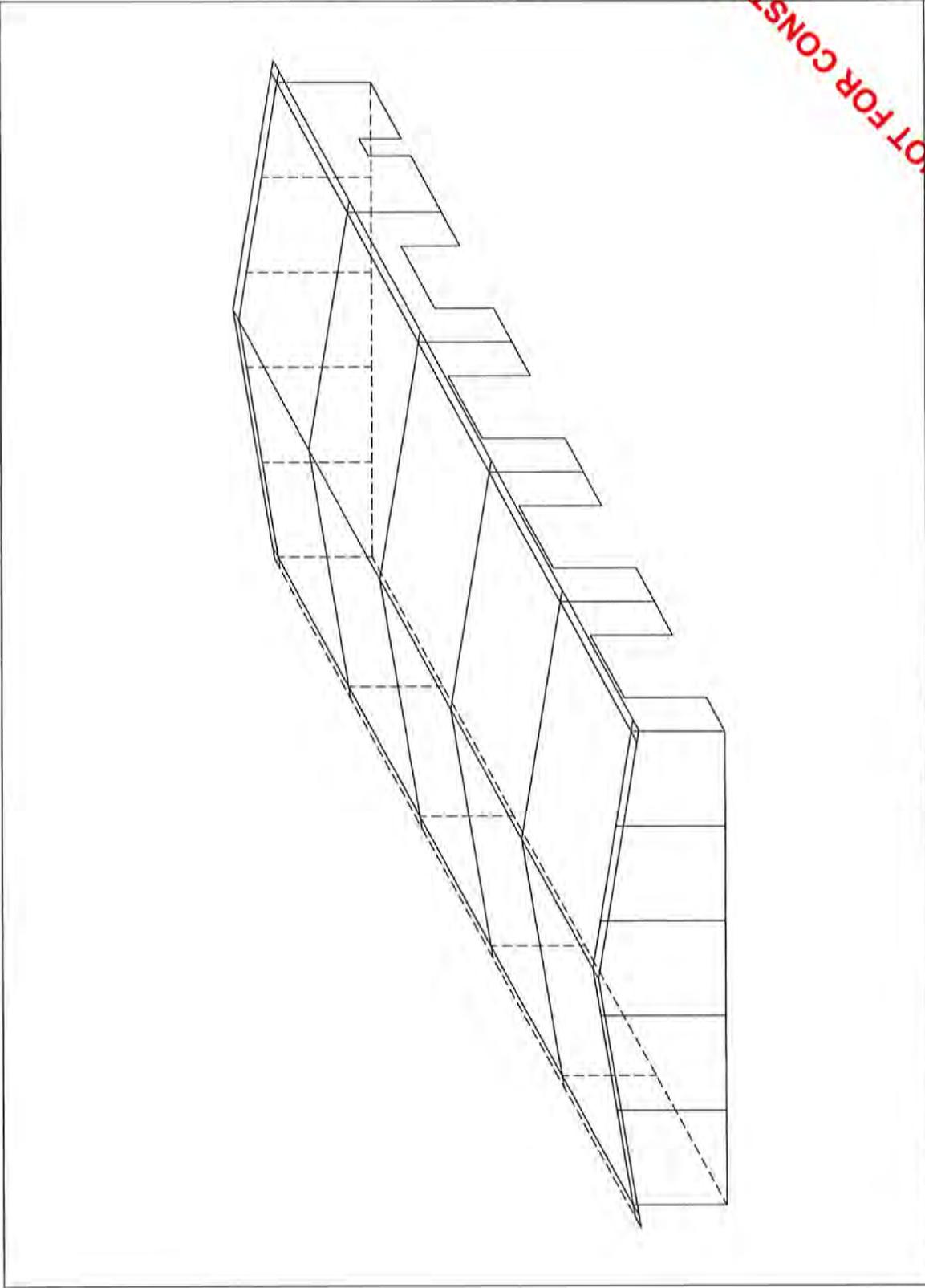








NOT FOR CONSTRUCTION

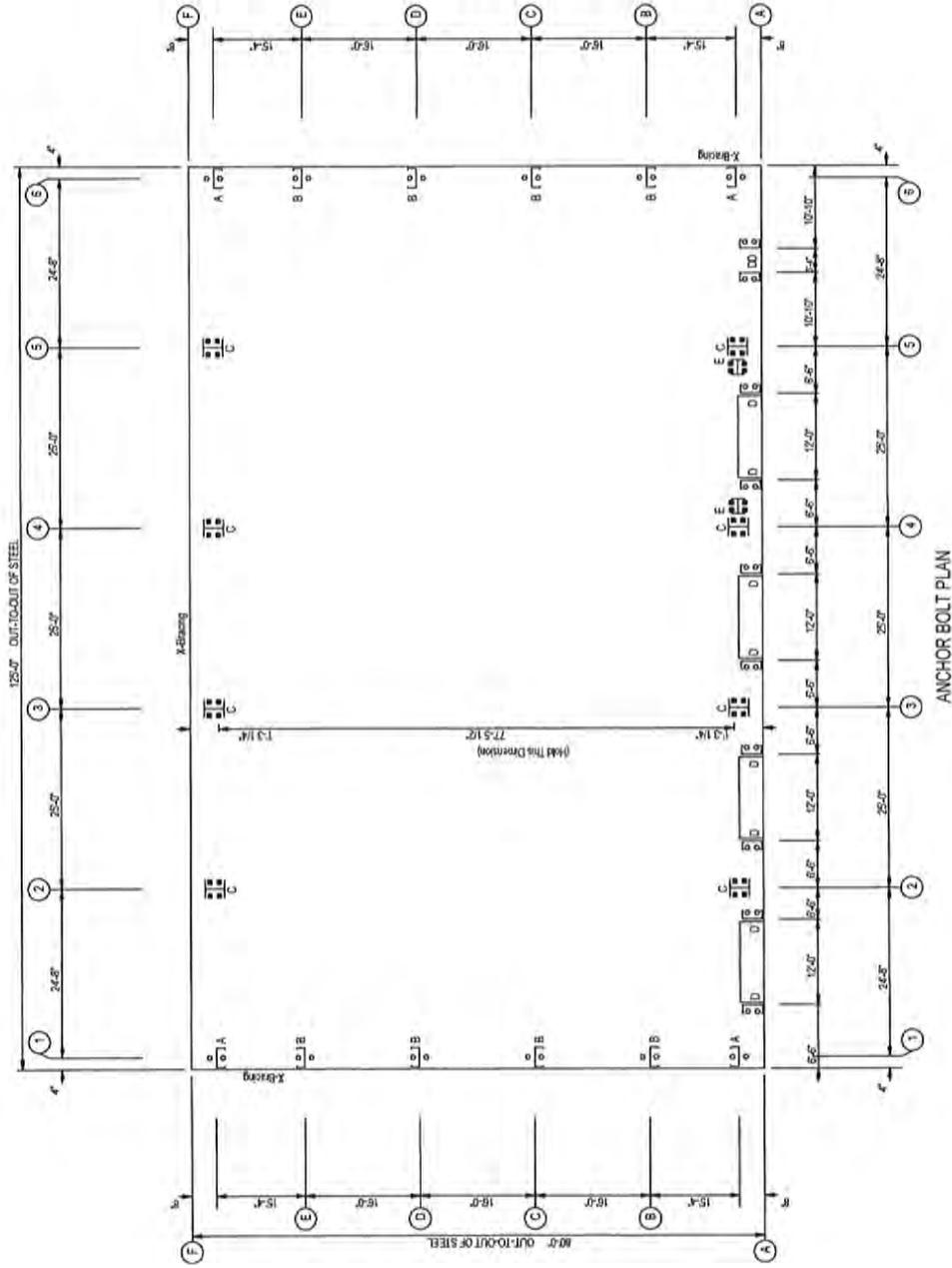


4/4/19

Building Layout

196894453

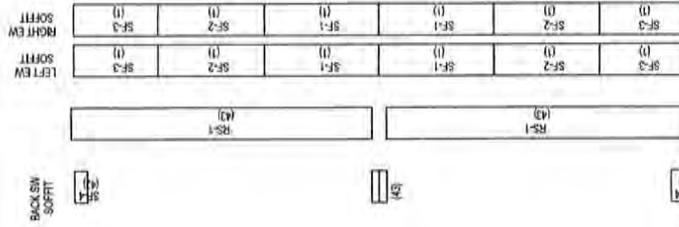
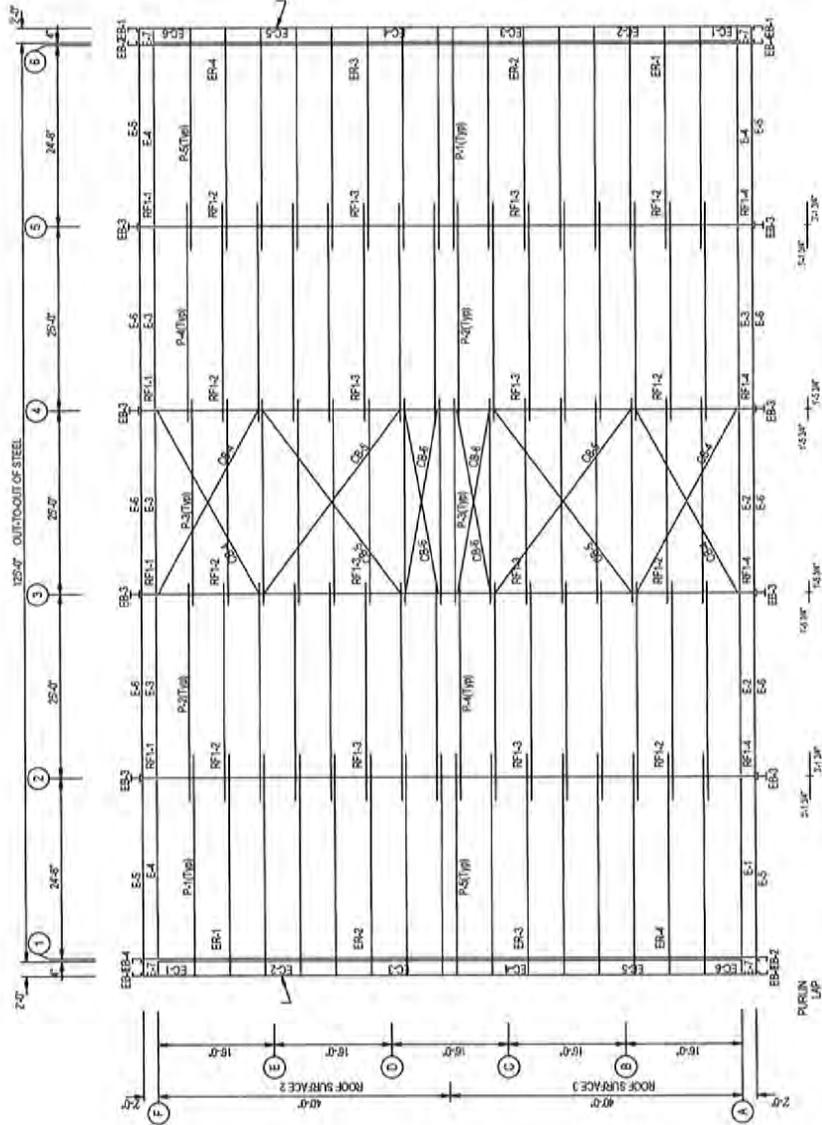
○ Dia= 5/8"
 ■ Dia= 3/4"



ANCHOR BOLT PLAN

NOT FOR CONSTRUCTION

ROOF PLAN			
MARK	QUAN	TYPE	LEN
ER-1	4	AS2	17'-0"
ER-2	4	AS2	17'-0"
ER-3	4	AS2	17'-0"
ER-4	4	AS2	17'-0"

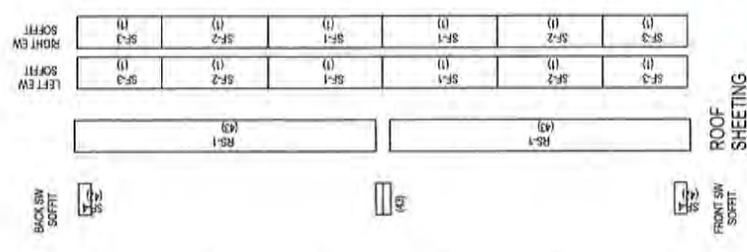
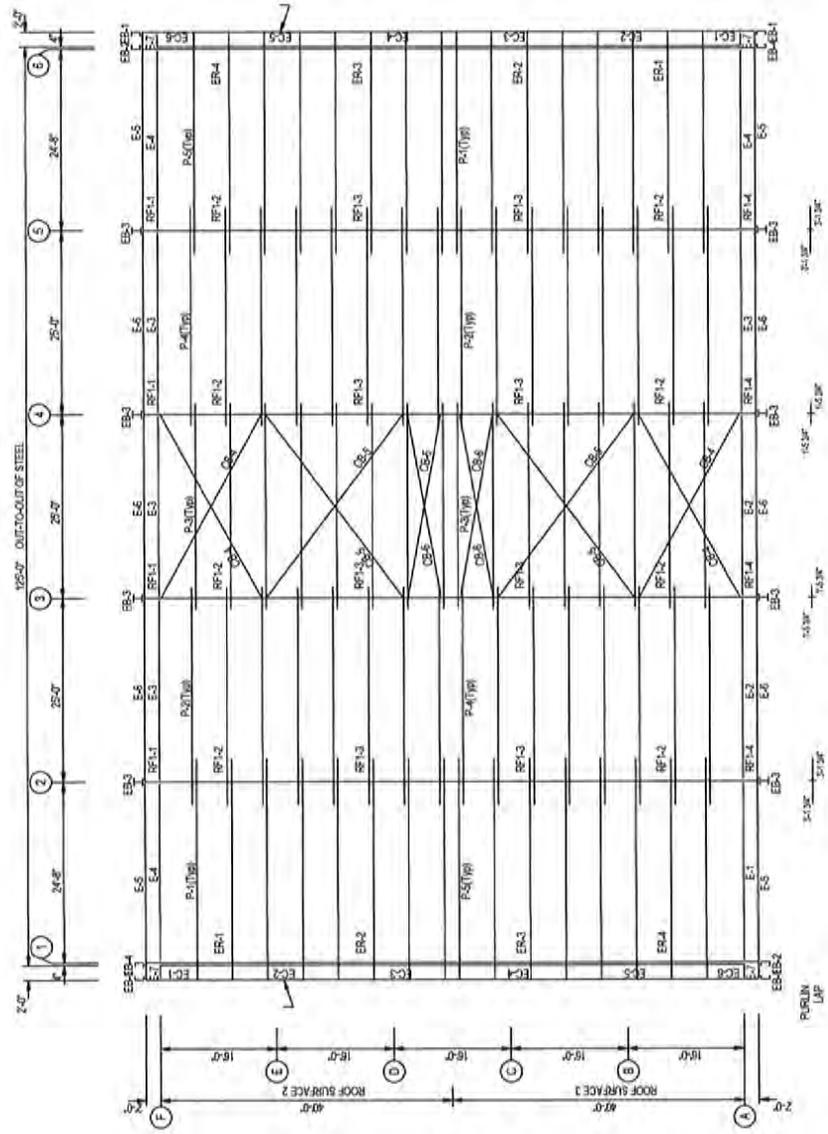


ROOF FRAMING PLAN

NOT FOR CONSTRUCTION

MEMBER/COUNT/BOLTS

MEMBER	QUANTITY	TYPE	SIZE	LENGTH
EB-1	6	ASS	1/2"	1.54'
EB-2	4	ASS	1/2"	1.54'
EB-3	4	ASS	1/2"	1.54'
EB-4	4	ASS	1/2"	1.54'



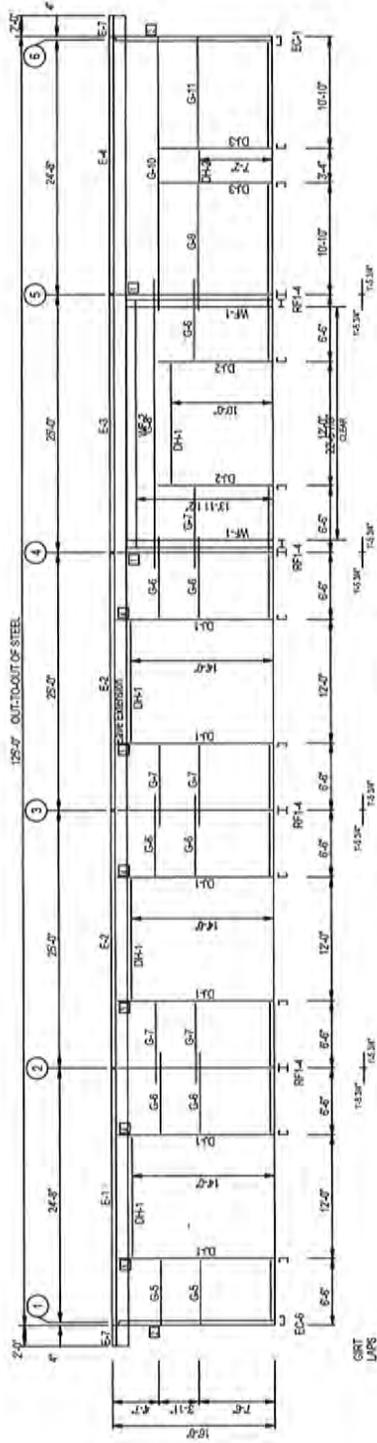
ROOF SHEETING
 PANELS: 26 Gauge PBR
 Fern Green

NOT FOR CONSTRUCTION

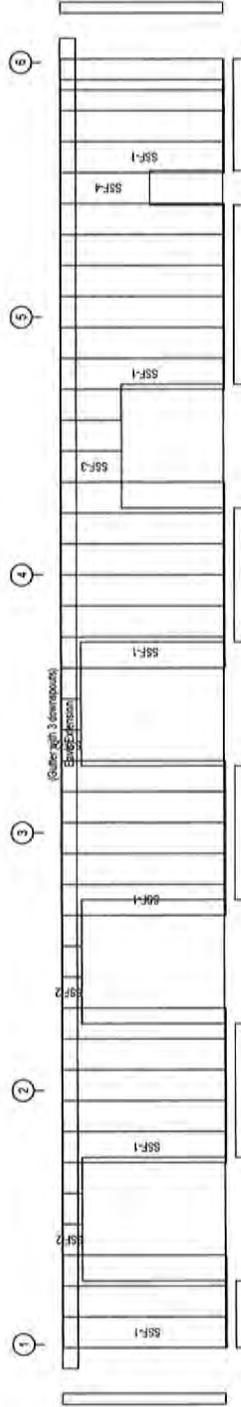
ROOF FRAMING PLAN

SHEET TITLE		QUANTITY		TYPE		DILL		LENGTH	
FRAME LINE A									
167.1	WF-2	9	ASCS	3/4"		3/4"		7'	
167.1	RF-1.4	9	ASCS	5/8"		5/8"		17'	

CONNECTION PLATES		FRAMING LINE A	
1	SC-200	1	SC-200
2	SC-200	1	SC-200
3	SC-200	1	SC-200
4	SC-200	1	SC-200



SIDEWALL FRAMING: FRAME LINE A



SIDEWALL SHEETING & TRIM: FRAME LINE A

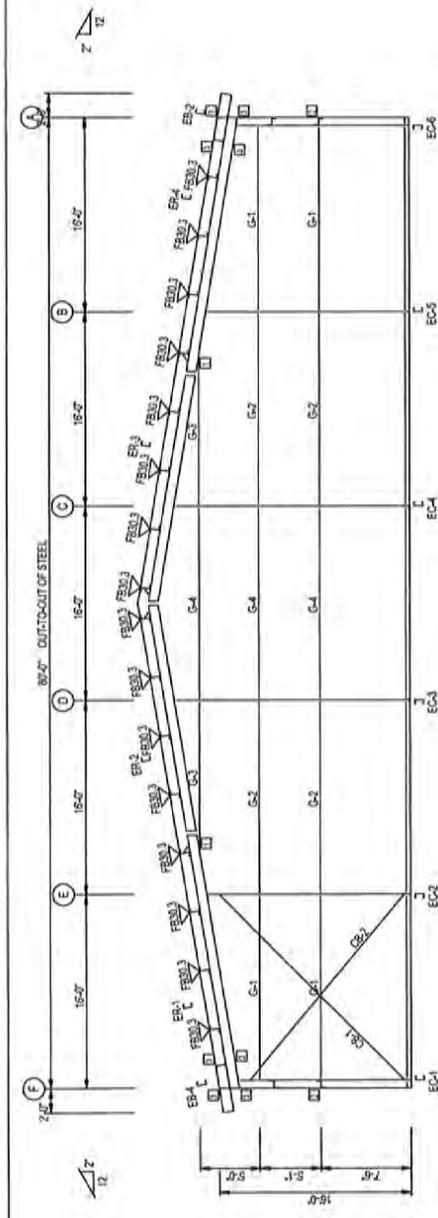
PANELS: 26 Gauge PRR - Saddle Tin

NOT FOR CONSTRUCTION

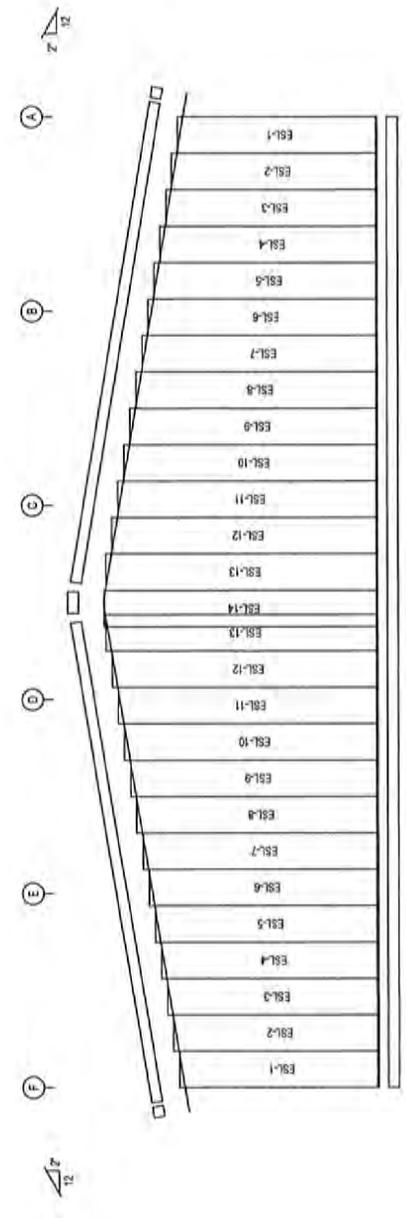
BEY TIME	LOCATION	TYPE	QTY	UNIT	LENGTH
FRAME LINE 1	ECY-ERS2	4	4335	5/8"	1.34'
	ER-ERS2-4	4	4335	5/8"	1.34'
	Column:Gal	2	4335	1/2"	1.14'

FLANGE BRACE TABLE		
FLANGE BRACE	TABLE	LENGTH
EB-1	ECY-ERS2	1.34'
EB-2	ER-ERS2-4	1.34'
EB-3	Column:Gal	1.14'

CONNECTION PLATES		
CONNECTION	PLATE	LENGTH
EB-1	SC-311	1.34'
EB-2	SC-311	1.34'
EB-3	SC-311	1.14'



ENDWALL FRAMING: FRAME LINE 1



ENDWALL SHEETING & TRIM: FRAME LINE 1

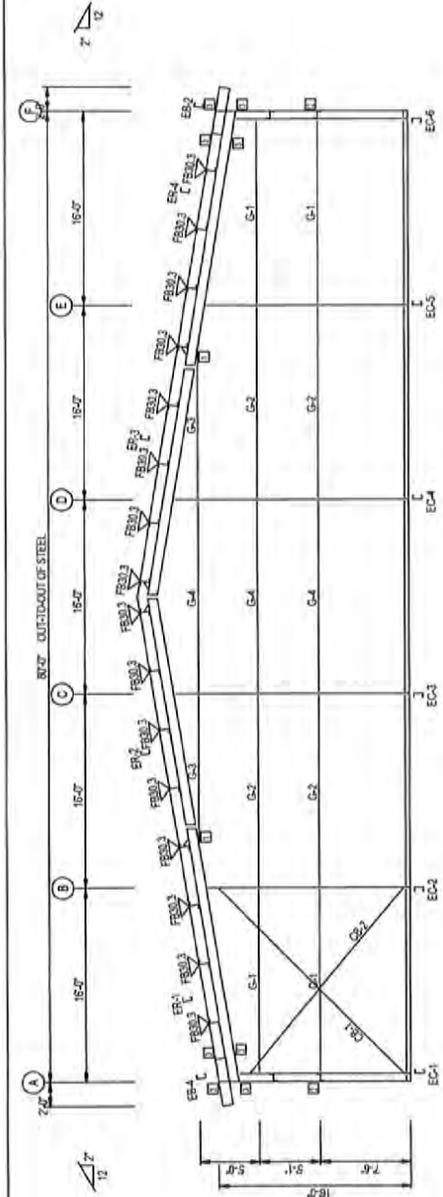
PANELS: 26 Gauge PBR - Suddick Tan

NOT FOR CONSTRUCTION

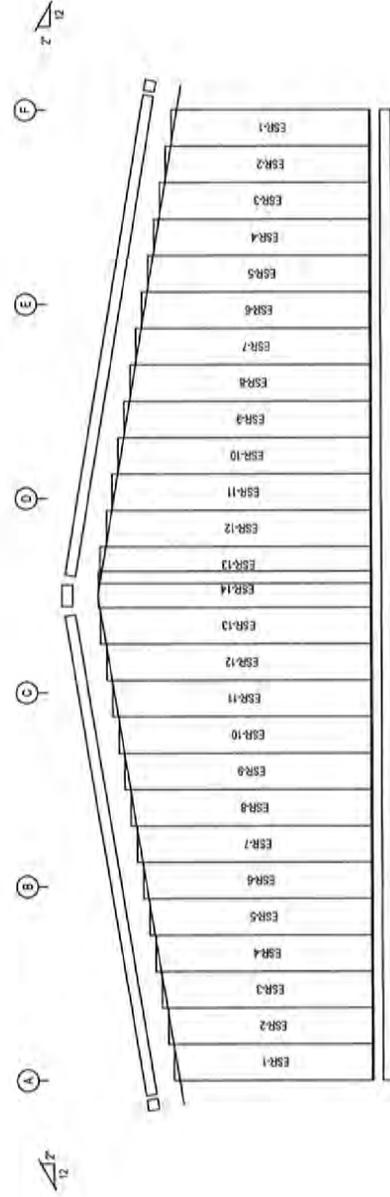
QUANTITY	TYPE	SIZE	LENGTH
4	ANSI	5/8"	1.34'
4	ANSI	5/8"	1.34'
4	ANSI	5/8"	1.34'
4	ANSI	5/8"	1.34'

FRAMING MEMBER	LENGTH
FRAMING MEMBER	2'-4 1/4"

CONNECTION PLATE	LENGTH
CONNECTION PLATE	2'-4 1/4"



ENDWALL FRAMING: FRAME LINE 6



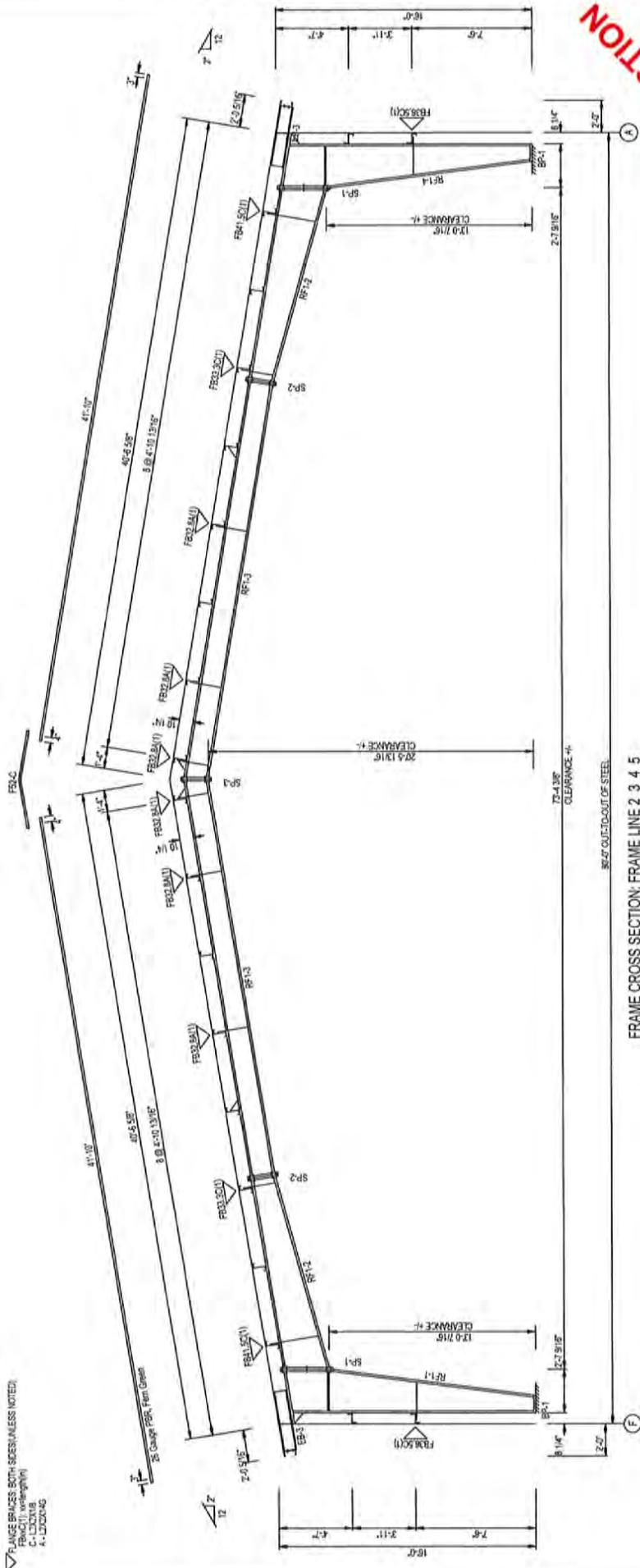
ENDWALL SHEETING & TRIM: FRAME LINE 6

PANELS: 26 Gauge PBR - Saddle Tan

NOT FOR CONSTRUCTION

STIFFENER TABLE				
Mark	Size	Plate Size	Length	
	Mark	Width	Thick	
RF-1	S-1	2 1/2"	1/4"	31"
RF-4	S-1	2 1/2"	1/4"	31"

FLANGE BRACES BOTH SIDES (UNLESS NOTED)
 FBW5(1) width(1/4")
 C-130X18
 A-130X18



NOT FOR CONSTRUCTION

FRAME CROSS SECTION: FRAME LINE 2 3 4 5



LED Technical Data



LED Wall Pack

TCP's LED wall packs are designed for outdoor wall mounted lighting applications requiring white uniform light, long life and low maintenance requirement.

LIMITLESS OPTIONS for the following applications:

- Site lighting
- Overnight security lighting
- Pathway lighting
- Entrance lighting
- Overhead door lighting



Great Features/Benefits

- Energy efficient – Up to 82% energy savings compared to metal halide
- Instant on
- Long life: 50,000 hours
- Bright white, uniform light
- Excellent color rendering
- Replaces traditional metal halide, high pressure sodium & fluorescent wall packs
- Heavy-duty diecast aluminum housing



5 YEAR WARRANTY

LED Wall Packs

Features/Benefits

Up to 82% less energy than traditional lighting	Instant energy savings
Long 50,000 hour rated life	Minimizes replacements & maintenance costs
Very low heat generation	Less energy wasted as heat
Excellent color consistency & CRI	Enhances color of focal point while maintaining uniformity throughout lighting installation
Mercury free	Great for all environments
Flush mount fits standard J-box installation	Easy installation and retrofit application
TCP LED drivers are specifically designed for high efficient LED combination	Optimal performance and efficiency



WP80
LED Wall Pack



WP40
LED Wall Pack

Specifications

Input Line Voltage	120-277 VAC
Input Power	WP40: 39W WP80: 78W
Input Line Frequency	50/60HZ
Luminaire Life (Rated)	50,000 hours
Operating Temperature	-40°C ~ 37°C
CRI	83
CCT	4100K & 5000K
Power Factor	>90%
THD	<20%

Warranty

Five years against defects in manufacturing

Replacement Comparison

TYPE	WATTAGE	ENERGY SAVINGS (%)
TCP WP40 LED Wall Pack	39W	-
175W Metal Halide	215W	82%
TCP WP80 LED Wall Pack	78W	-
250W Metal Halide	295W	74%



5 YEAR
WARRANTY

WP40 LED Wall Pack

Applications

TCP's LED wall packs are designed for outdoor wall mounted lighting applications requiring white uniform light, long life and low maintenance requirement. Applications include site, overnight security, pathway, entrance, and overhead door lighting.

Construction

Traditional style with all the benefits of LED, this wall pack is constructed from diecast aluminum with a durable powder coat finish. Integral thermal management to optimize performance and long life. This wall pack is UL/cUL listed as suitable for wet locations. Weight is 3.9 lbs (1.802 kg).

Electrical

The UL listed driver has an input voltage of 120-277 VAC (50/60 Hz), a system power factor of >90% and THD <20%. Operating temperature -40°C ~ 37°C. Integral 5kV surge suppression protection comes standard.

Optics

The impact resistant non-yellowing polycarbonate lens provides Type III asymmetric very short light distribution with superb uniformity.



Catalog Number	
Notes	Type
Listings UL/cUL Listed – wet location rated RoHS Compliant Design Lights Consortium (DLC) Qualified Product	Installation See installation instructions 55238 Wall mounted Before installation, please consult your local ordinances and building codes for compliance
Warranty Five years against defects in manufacturing	

Lumen Maintenance

Lumen Maintenance Factor (LMF)			
36,000 hours ¹	50,000 hours ²	100,000 hours ²	L ₇₀ (hours) ²
92%	89%	80%	168,000

¹ IESNA TM-21-11 projected value based on 6X IESNA LM-80-08 total test duration of 6,000 hours.
² IESNA TM-21-11 calculated value exceeds 6X IESNA LM-80-08 total test duration of 6,000 hours.

Catalog Ordering Matrix

WP	40	UNI	T3		
PRODUCT ID	WATTAGE	VOLTAGE	DISTRIBUTION TYPE	CCT	COLOR
WP	40=40W	UNI = 120-277V	T3 = Type III	41K = 4100K 50K = 5000K	BLK = Black BRZ = Bronze WHT = White*

* Special order

Performance Data

	WATTAGE ¹	CURRENT @ 120V (A)	CURRENT @ 277V (A)	DISTRIBUTION TYPE	CRI	4100K				5000K					
						LUMENS ²	LPW	B	U	G	LUMENS ²	LPW	B	U	G
WP40	39	0.33	0.16	Type III Asymmetric Very Short	83	4035	103	2	3	2	4188	107	2	3	2

Published lumen values are from photometric tests performed by NVLAP certified laboratory in accordance with IESNA LM-79-09 standards. Actual performance results may vary as result of end-user application and environment.

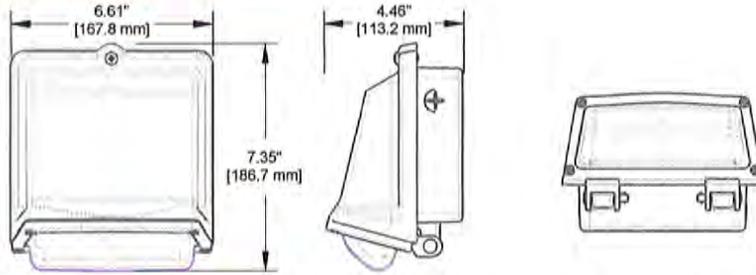
¹ Actual wattage may differ by +/-5%; when operating between 120-277V +/- 10%.

² Approximate lumen output.

For the most up-to-date specs and warranty information, please visit www.tcp.com

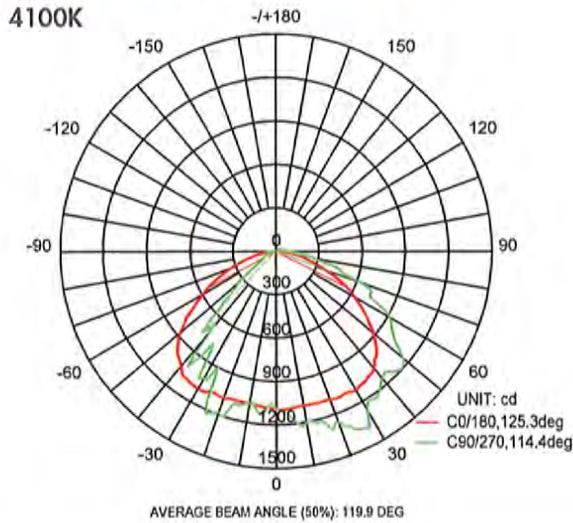
WP40 LED Wall Pack

Dimensions

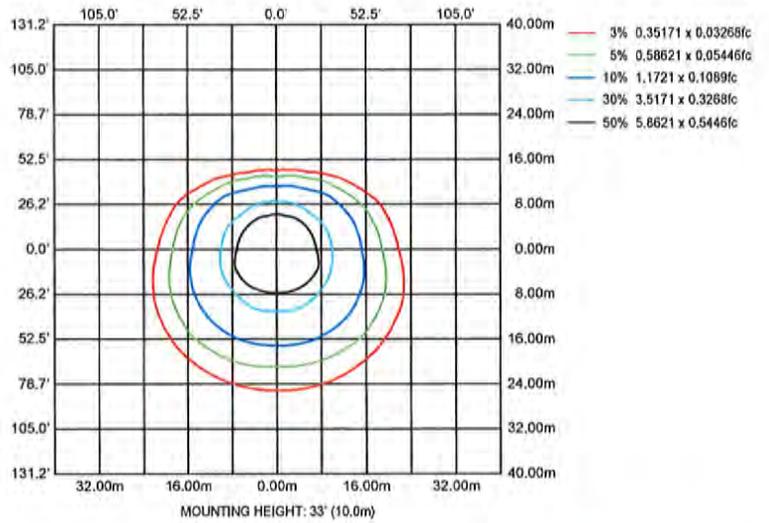


Photometric Report

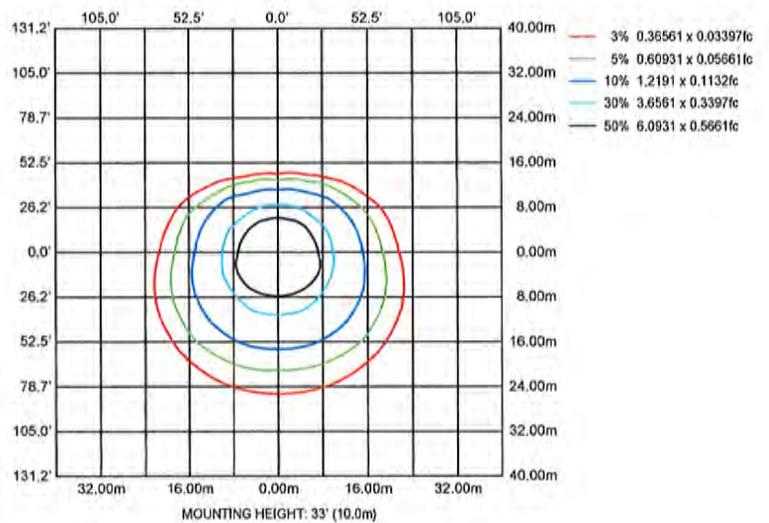
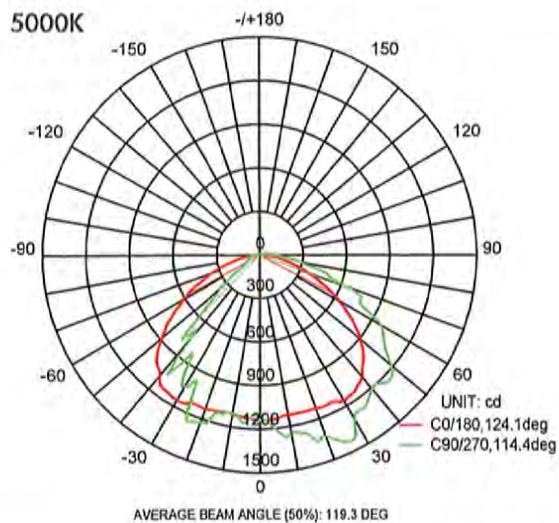
Luminous Intensity Distribution Diagram



Isolux Diagrams



5000K



WP80 LED Wall Pack

Applications

TCP's LED wall packs are designed for outdoor wall mounted lighting applications requiring white uniform light, long life and low maintenance requirement. Applications include site, overnight security, pathway, entrance, and overhead door lighting.

Construction

Traditional style with all the benefits of LED, this wall pack is constructed from diecast aluminum with a durable powder coat finish. Integral thermal management to optimize performance and long life. This wall pack is UL/cUL listed as suitable for wet locations. Weight is 8 lbs (3.646 kg).

Electrical

The UL listed driver has an input voltage of 120-277 VAC (50/60 Hz), a system power factor of >90% and THD <20%. Operating temperature -40°C ~ 37°C. Integral 5kV surge suppression protection comes standard.

Optics

The impact resistant non-yellowing polycarbonate lens provides Type III asymmetric very short light distribution with superb uniformity.



Listings UL/cUL Listed – wet location rated RoHS Compliant Design Lights Consortium (DLC) Qualified Product	Installation See installation instructions 55238 Wall mounted Before installation, please consult your local ordinances and building codes for compliance
Warranty Five years against defects in manufacturing	

Lumen Maintenance

Lumen Maintenance Factor (LMF)			
36,000 hours ¹	50,000 hours ²	100,000 hours ²	L ₇₀ (hours) ²
92%	89%	80%	168,000

¹ IESNA TM-21-11 projected value based on 6X IESNA LM-80-08 total test duration of 6,000 hours.
² IESNA TM-21-11 calculated value exceeds 6X IESNA LM-80-08 total test duration of 6,000 hours.

Catalog Ordering Matrix

WP	80	UNI	T3		
PRODUCT ID	WATTAGE	VOLTAGE	DISTRIBUTION TYPE	CCT	COLOR
WP	80=80W	UNI = 120-277V	T3 = Type III	41K = 4100K 50K = 5000K	BLK = Black BRZ = Bronze WHT = White*

* Special order

Performance Data

	WATTAGE ¹	CURRENT @ 120V (A)	CURRENT @ 277V (A)	DISTRIBUTION TYPE	CRI	4100K				5000K					
						LUMENS ²	LPW	B	U	G	LUMENS ²	LPW	B	U	G
WP80	78	0.65	0.32	Type III Asymmetric Very Short	83	8400	108	2	3	2	8400	108	2	3	2

Published lumen values are from photometric tests performed by NVLAP certified laboratory in accordance with IESNA LM-79-08 standards. Actual performance results may vary as result of end-user application and environment.

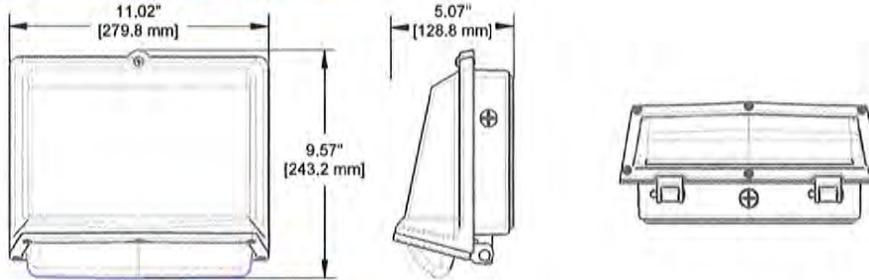
¹ Actual wattage may differ by +/- 5%; when operating between 120-277V +/- 10%.

² Approximate lumen output.

For the most up-to-date specs and warranty information, please visit www.tcpi.com

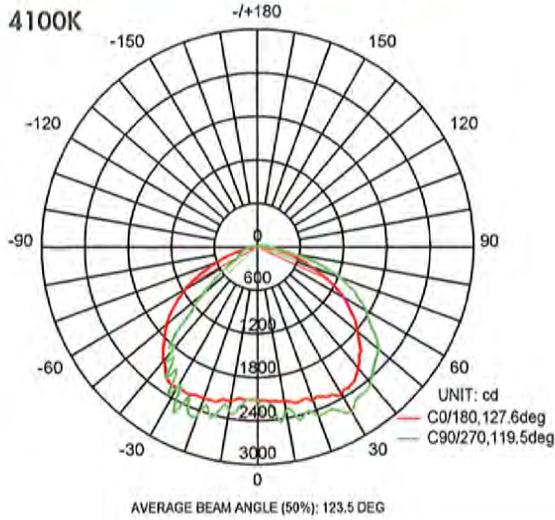
WP80 LED Wall Pack

Dimensions

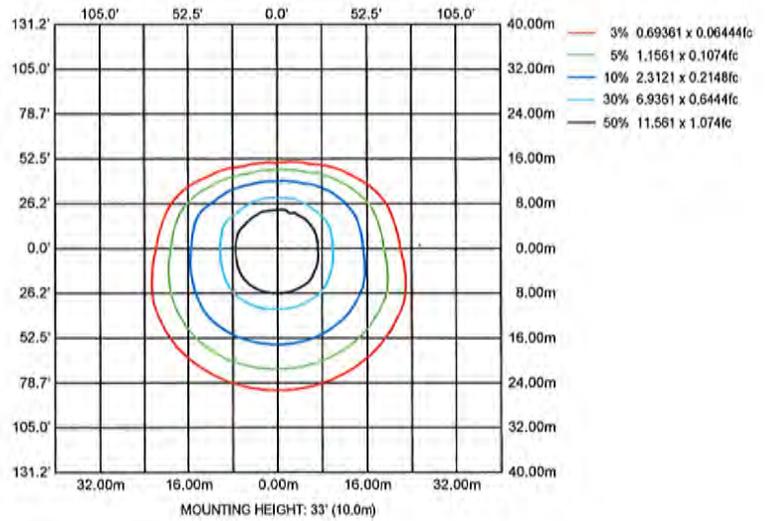
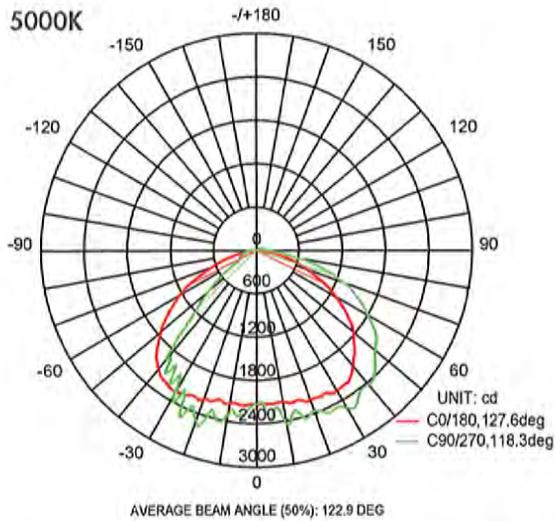
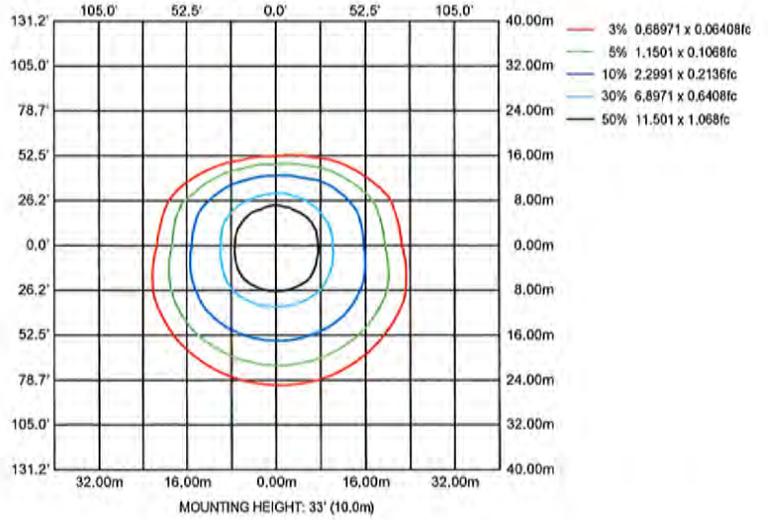


Photometric Report

Luminous Intensity Distribution Diagrams



Isolux Diagrams



Features & Specifications

PLT & WALL PACK

INTENDED USE – The PLT LED wall pack combines traditional wall pack design with high-output LEDs to provide an energy-efficient, low maintenance LED wall pack suitable for replacing 400W Metal Halide fixtures. The traditional shape helps maintain building aesthetics when replacing only a portion of your building's wall packs at a time while also eliminating unwanted markings from the removal of older fixtures. These fixtures are designed for outdoor applications such as pedestrian lighting, security lighting, and parking areas.

CONSTRUCTION – Rugged cast-aluminum housing with bronze polyester powder paint for lasting durability. Tempered glass lens protects the LEDs and provides even light distribution. Housing is sealed against moisture and environmental contaminants (IP65 rated). Designed to protect each fixture from vandalism and bad weather.

OPTICS – High-performance LEDs maintain a 15,300 Lumen output at 5000K for 54,000 hours of use. ≥80 CRI

Standard HID wall packs are reflector based luminaries. This type of fixture loses about 30% of the lamp's Lumens within the reflector and lamp through "Lumen bounce," meaning 30% of the light never escapes the fixture. These types of lamps also lose Lumens quickly over time through a high Lumen depreciation rate. Comparatively, LED wall packs are designed to have a more directional beam angle than metal halide and high pressure sodium wall pack fixtures so no light is lost within the fixture. These fixtures also do not lose Lumens in the same way, meaning the brightness stays consistent longer, needs to be replaced far less frequently, and can replace a MH fixture that on paper has a much higher Lumen rating.

ELECTRICAL – Integral Sosen driver, Input voltage of 100-277 VAC, 50/60Hz.

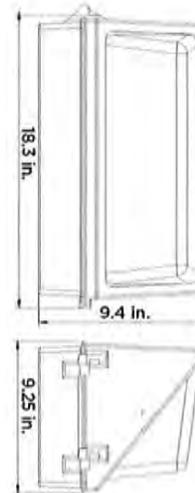
INSTALLATION – Designed for wall mounting. Housing is configured for mounting directly over a standard junction box. See Installation Instruction PDF for more information.

LISTINGS – ETL Certified to safety standards for wet location. Rated for -40°C to 45°C ambient temperature. DesignLights Consortium® (DLC) qualified product. IP-65 Rated.

WARRANTY – 5-year warranty. PLT products that are damaged or defective will be repaired or replaced at PLT's choosing for a period of 5 years. Contact 1-800-624-4488 for more information.

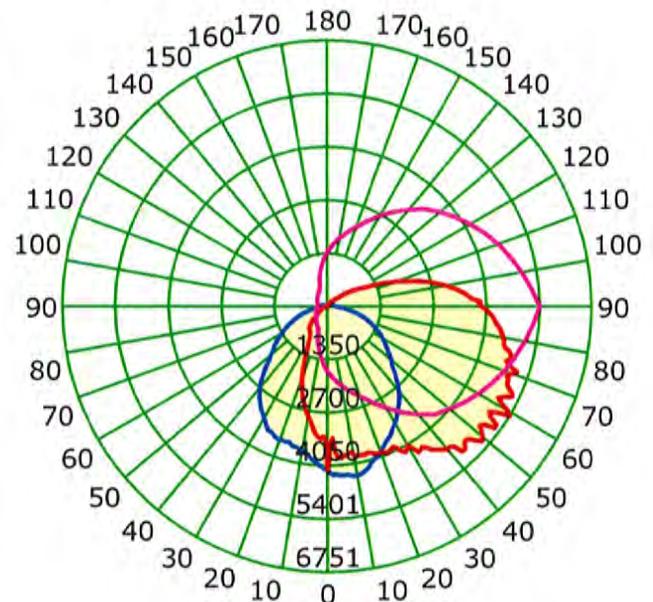
ADD-ONS – Pair with timers, photocells, and motion sensors for hassle free bright night time lighting and energy savings during the day without needing to worry about manually turning the fixture on and off. If pairing with a photocell, it must be LED compatible in order to operate properly. If using a conventional photocell, be sure to replace it with one rated for use with LEDs. While conventional light sensors will still work with LED fixtures at first, they will burn out prematurely. The same is true for motion sensors.

If you live in the northern hemisphere, you're photocells should face north whenever possible. North-facing light sensors allow for the most balanced on/off schedule based on the arc of the sun. If pointed west, it will turn on and off late and vice versa for east-facing light sensors. Photocells facing the south will be exposed to the most direct sunlight which can burn out the components and cause premature failure. If you want your lights to come on early or late, we recommend pointing the light sensor northeast or northwest, respectfully. The opposite is true south of the equator.



Dimensions
Height: 9.4 in.
Width: 18.3 in.
Depth: 9.25 in.
Weight: 14.44 lbs

PHOTOMETRICS



SKU #	Kelvin	Lumens	CRI	Wattage	Voltage	DLC?	Mounting	Life Hours	Warranty
PLT-11196	5000	15,300	80	120	100-277	Yes	Wall	54,000	5 Years