

**CITY OF DELAWARE
PLANNING COMMISSION
AGENDA**

**CITY COUNCIL CHAMBERS
1 S. SANDUSKY ST.
6:30 P.M.**

REGULAR MEETING

May 1, 2019

1. ROLL CALL
2. APPROVAL of the Motion Summary of the Planning Commission meeting held on April 3, 2019, as recorded and transcribed.
3. REGULAR BUSINESS
 - A. Meekers Venue
 - (1) 2019-0648: A request by John & Tess Meeker for approval of a Rezoning Amendment from R-4 (Medium Density Residential District) to R-4 PMU (Medium Density Residential with a Planned Mixed Use Overlay District) and extend the current PMU at 377 East William Street to 385 East William Street for Meekers Venue on approximately 0.477 acres and located at 385 East William Street.
 - (2) 2019-0649: A request by John & Tess Meeker for approval of a Conditional Use Permit allowing the placement of PMU (Planned Mixed Use Overlay District) to be established for Meekers Venue on approximately 0.477 acres and located at 385 East William Street.
 - (3) 2019-0650: A request by John & Tess Meeker for approval of a Final Development Plan for Meekers Venue on approximately 0.477 acres zoned R-4 PMU (Medium Density Residential with a Planned Mixed Use Overlay District) and located at 385 East William Street.
 - Anticipated Process**
 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public comment (public hearing)
 - d. Commission Action

B. Communities at Glenross - Section 13

- (1) 2019-0651: A request by Pulte Homes of Ohio for approval of a Final Development Plan for Communities of Glenross Section 13 containing 44 single family lots on approximately 21.436 acres zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located on Eastwind Road, Silver Branch Drive, Stone Quarry Drive and Harvest Moon Road.
- (2) 2019-0653: A request by Pulte Homes of Ohio for approval of a Final Subdivision Plat for Communities of Glenross Section 13 containing 44 single family lots on approximately 21.436 acres zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located on Eastwind Road, Silver Branch Drive, Stone Quarry Drive and Harvest Moon Road.

Anticipated Process

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (not a public hearing)
- d. Commission Action

C. Belmont Place – Section 6 & 7

- (1) 2019-0655: A request by Glenn Road Capital LLC for approval of a Final Development Plan for Belmont Place Section 6 containing 48 single family lots on approximately 18.48 acres zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Business District and Agricultural District with a Planned Mixed Use Overlay District) and located on Crownover Way, LaChance Lane, McNamara Loop and Brets Lane.
- (2) 2019-0656: A request by Glenn Road Capital LLC for approval of a Final Subdivision Plat for Belmont Place Section 6 containing 48 single family lots on approximately 18.48 acres zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Business District and Agricultural District with a Planned Mixed Use Overlay District) and located on Crownover Way, LaChance Lane, McNamara Loop and Brets Lane.
- (3) 2019-0659: A request by Glenn Road Capital LLC for approval of a Final Development Plan for Belmont Place Section 7 containing 53 single family lots on approximately 20.46 acres zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Business District and Agricultural District with a Planned Mixed Use Overlay District) and located on McNamara Loop, Brets Lane and Haughton Lane.
- (4) 2019-0660: A request by Glenn Road Capital LLC for approval of a Final Subdivision Plat for Belmont Place Section 7 containing 53 single family lots on approximately 20.46 acres

zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Business District and Agricultural District with a Planned Mixed Use Overlay District) and located on McNamara Loop, Brets Lane and Haughton Lane.

Anticipated Process

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (not a public hearing)
- d. Commission Action

- D. 2019-0655: A request by Redwood Living for approval of a Final Development Plan for The Preserve at Quail Pass Phase 3 for 100 single family apartment units on approximately 19.78 acres zoned M-1 PMU (Light Manufacturing with a Planned Mixed Use Overlay District) and located south of Mill Run Crossing and just west of Glenn Road.

Anticipated Process

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (not a public hearing)
- d. Commission Action

- E. Winterbrooke Place

- (1) 2019-0640: A request by Grden LLC for approval of a Rezoning Amendment from A-1 (Agricultural District) to R-3 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) for Winterbrooke Place containing 263 single family lots on approximately 100.6 acres and located on the north side of Peachblow Road just east of the Belmont Place Subdivision (Parcel #'s 418-330-01-019-000, 418-330-01-018-001, 418-330-018-000, 418-320-01-038-000).
- (2) 2019-0641: A request by Grden LLC for approval of a Conditional Use Permit allowing the placement of PMU (Planned Mixed Use Overlay District) to be established for Winterbrooke Place containing 263 single family lots on approximately 100.6 acres and located on the north side of Peachblow Road just east of the Belmont Place Subdivision.
- (3) 2019-0642: A request by Grden LLC for approval of a Preliminary Development Plan for Winterbrooke Place containing 263 single family lots on approximately 100.6 acres zoned R-3 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located on the north side of Peachblow Road just east of the Belmont Place Subdivision.

Anticipated Process

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (public hearing)
- d. Commission Action

- 4. PLANNING DIRECTOR'S REPORT
- 5. COMMISSION MEMBER COMMENTS AND DISCUSSION
- 6. NEXT REGULAR MEETING: June 5, 2019
- 7. ADJOURNMENT

**PLANNING COMMISSION
APRIL 3, 2019
MOTION SUMMARY**

ITEM 1. Roll Call

Chairman Simpson called the meeting to order at 6:30 p.m.

Members Present: Robert Badger, Jim Halter, Andy Volenik, Mayor Carolyn Kay Riggle, Dean Prall, Vice-Chairman George Mantzoros, and Chairman Stacy Simpson

Staff Present: Jordan Selmek, Zoning Officer and Lance Schultz, Zoning Administrator.

ITEM 2. APPROVAL of the Motion Summary of the Planning Commission meeting held on March 6, 2019, as recorded and transcribed.

Motion: Mayor Riggle motioned to approve the Motion Summary for the Planning Commission meeting held on March 6, 2019, as recorded and transcribed, seconded by Mr. Halter. Motion approved with a 5-0-2 (Prall & Mantzoros) vote.

ITEM 3. REGULAR BUSINESS

A. 2019-0397: A request by Kroger Great Lakes Distribution Center for approval of a Combined Preliminary and Final Development Plan for a building expansion to the Kroger Distribution Center at 2000 Nutter Farms Lane on approximately 162.29 acres and zoned M-2 (General Manufacturing District)with text limitations.

Anticipated Process

a. Staff Presentation

Mr. Selmek presented the case to the commission, describing the addition and the plans for the site. On March 13, 2019, the Board of Zoning Appeals approved a height variance to allow a portion of the Kroger Distribution Center expansion to be 125 feet in height. Kroger is now proposing a 129,568 addition to the southeastern portion of the building. This would bring the total building area to 895,695.

b. Applicant Presentation

APPLICANT:

Mr. Andrew Gardner
3500 Snouffer Road

Columbus, Ohio

Mr. Randy Broom
8924 Highway 92, Suite 210
Woodstock, GA

Mr. Bill Knight
2000 Nutter Farm Lane
Delaware, Ohio

The representatives from Kroger Distribution Center answered questions presented by the Planning Commission.

c. Public comment (not a public hearing)

There was no public comment.

d. Commission Action

Motion: Mr. Prall motioned to approve 2019-0397, along with all staff recommendations and conditions, seconded by Mr. Badger. Motion approved by 7-0 vote.

B. 2019-0408: A request by Manos Properties for approval of a Final Development Plan for the Wesleyan Inn at 235 W. William Street on approximately 0.72 acres and zoned PO/I (Planned Office/Institutional).

Anticipated Process

a. Staff Presentation

Mr. Schultz discussed the proposed development site, including the proposed renovation, access to the site, signage, and parking. The owner is proposing to renovate and expand the former dormitory into a three-story, 43-room Inn (7 suites), which encompasses approximately 14,407 total square feet. Two access points would encircle the proposed Inn with 43 parking spaces.

Mr. Simpson requested that Mr. Manos look at the sign plans again and possible come up with different options.

b. Applicant Presentation

APPLICANT:
James Manos
5973 Macewen Court
Dublin, Ohio

c. Public comment (not a public hearing)

There was no public comment.

d. Commission Action

Motion: Vice-Chairman Mantzoros motioned to approve 2019-0408, along with all staff recommendations and conditions, seconded by Mr. Volenik. Motion approved by 7-0 vote.

C. 2019-0415: A request by The Rockwell Company for approval of a Combined Preliminary and Final Development Plan for The Food Truck Depot at 59 Potter Street on approximately 1.066 acres and zoned R-4 (General Business District).

Anticipated Process

a. Staff Presentation

Mr. Selmek presented the case to the commission. The owner plans to convert the historic railroad freight depot into a bar/restaurant with a 25-space parking lot that will include food trucks and outdoor games. The plan is that many different food trucks will cycle through during the year but there will always be some on the site.

Mr. Halter shared concerns about noise in the surrounding neighborhood area.

b. Applicant Presentation

APPLICANT

Paul Rockwell
59 Potter Street
Delaware Ohio

c. Public Comment (not a public hearing)

PUBLIC PARTICIPATION

d. Commission Action

Motion: Mr. Badger motioned to approve 2019-0415, along with all staff recommendations and conditions, seconded by Mr. Volenik. Motion approved by 7-0 vote.

ITEM 4. PLANNING DIRECTOR'S REPORT

ITEM 5. COMMISSION MEMBER COMMENTS AND DISCUSSION

ITEM 6. NEXT REGULAR MEETING: May 1, 2019

ITEM 7. ADJOURNMENT:

Motion: Chairman Simpson moved for the Planning Commission meeting to adjourn. The meeting adjourned at 7:30 p.m.

Chairperson

Elaine McCloskey, Clerk



PLANNING COMMISSION / STAFF REPORT

CASE NUMBERS: 2019-0648-0650

REQUEST: Multiple Requests

PROJECT: Meekers Venue

MEETING DATE: May 1, 2019

APPLICANT/OWNER

Meekers Venue
6368 Worthington Road
Westerville, Ohio 43082

New Beginnings Church
385 East William Street
Delaware, Ohio 43015

REQUEST

2019-0648: A request by John & Tess Meeker for approval of a Rezoning Amendment from R-4 (Medium Density Residential District) to R-4 PMU (Medium Density Residential with a Planned Mixed Use Overlay District) and extend the current PMU at 377 East William Street to 385 East William Street for Meekers Venue on approximately 0.477 acres and located at 385 East William Street.

2019-0649: A request by John & Tess Meeker for approval of a Conditional Use Permit allowing the placement of PMU (Planned Mixed Use Overlay District) to be established for Meekers Venue on approximately 0.477 acres and located at 385 East William Street.

2019-0650: A request by John & Tess Meeker for approval of a Final Development Plan for Meekers Venue on approximately 0.477 acres zoned R-4 PMU (Medium Density Residential with a Planned Mixed Use Overlay District) and located at 385 East William Street.

PROPERTY LOCATION & DESCRIPTION

The subject building is located at 385 East William Street which is north of East Williams Street and south of East Center Street at the “point” of US 36/37. The subject property is zoned R-4 (Medium Density Residential District) while the properties to the north and east are also zoned R-4. The property to the south is zoned M-1 (Light Manufacturing District).

BACKGROUND/PROPOSAL

In July 2014, Planning Commission and City Council (Ordinance 14-66) approved a Comprehensive Plan Amendment, Rezoning Amendment and Conditional Use Permit at 377 East William Street to allow the previously non-conforming office and single-family apartment on the second floor uses to be conforming to the approved Planned Mixed Use Overly District.

The applicant is proposing to expand the existing LF Investments, LLC., PMU Overlay District (Ordinance 14-67) on three properties zoned R-4 (Medium Density Residential District) to four properties on approximately 0.707 acres (LF Investments 0.23 acres and Meekers Venue (0.477 acres). The subject properties are at 377 and 385 E. William Street are located north of East William Street, south of East Central Avenue.

The applicant is proposing to repurpose the approximate 16,076 church into a wedding venue and associated uses on the first floor (approximately 12,997 square feet) and a single family owner occupied only dwelling unit on the second floor of the building (approximately 3,079 square feet). The venue would be for weddings, anniversary parties, birthday parties, graduation parties, religious celebrations, community meetings and other such events. The primary use would be for wedding events to be rented Friday and Saturday and clients would have to provide catering and beverage service. Also, the community could use the facility (former church) on a regular basis for smaller meetings, parties and small celebrations. In addition, office space would be available for counseling, bible study groups and non-profits which would likely be held during week days and evenings. In short, the proposed use would operate a lot like the church use but would not be a non-profit. The residential use on the second floor (owner occupied single-family dwelling unit only) request would be to create a “mom and pop” type business that would allow for the applicant to potentially move into the second floor when their children graduate from high school.

STAFF ANALYSIS

- **ZONING:** As previously mentioned, the property is zoned R-4 which does not permit a commercial wedding venue and associate uses on the first floor and single family dwelling on the second floor. However the applicant is proposing a PMU with appropriate development text that would allow the proposed uses. The extension of the current PMU from 377 East William Street (Ordinance 14-66) to 385 East William Street would be a practical extension of the zoning district based on the current and proposed uses of both properties and would be easier to administer for staff.

-
- **DEVELOPMENT TEXT:** Being proposed as a PMU Overlay District, the Development Text sets forth the development standards and requirements for this development and any future development. Staff has crafted a Development Text that is sensitive to the residential surroundings and transitional nature of the property.
 - **GENERAL ENGINEERING:** Per the Engineering Department, the proposed use requires minor if any site work and would not require any engineering drawings.
 - **SITE CONFIGURATION:** The access curb cut from Foley Street, the 50 parking spaces and building elevation and configuration would remain the same as existing. The applicant is proposing a 6 foot high privacy fence along the eastern property line for an outdoor area. The existing approximate 16,076 square feet building has 50 parking spaces on site. However, the applicant has received permission from the City of Delaware School District to utilize Conger Elementary School parking lot during times the district or school is not using the lot. The subject school parking lot on East William Street would provide up to 46 additional parking spaces for a total of 96 parking spaces for the facility. The proposed first floor wedding venue encompasses approximately 12,997 square feet and would require up to 87 parking spaces per the most restrictive interpretation of the code (1 space per 150 square feet) and would be accommodated in this proposal. Currently the parking spaces on the western portion of the subject site and on the eastern portion of the State Farm building has been in the Foley Street right-of-way for years and the City Engineer has indicated they would accommodate the existing parking arrangement by executing a revocable encroachment agreement. However, no on-street parking on Foley Street would be permitted. Also, the sidewalk on East William Street would not need to be extended per the City Engineer because of future road projects in this area that would likely address the sidewalk extension. If the owner utilizes a dumpster, the dumpster shall be screened by a brick or stone enclosure with doors painted or stained to compliment the building color. If tip cart service is utilized, the tip carts shall be screened from public view by a wood fence.
 - **BUILDING DESIGN:** The existing church (primary structure on the site) was constructed in 1876 per the Delaware County Auditor and the applicant is not proposing any changes to the building except for any required ordinary repair and maintenance. However, any new building (except for rebuilds because of an act of God) would require zoning approval per the approved development text.
 - **SIGNAGE:** There is existing ground signage along East William Street and East Central Street (illuminated) that can be utilized. One ground sign along East William Street and East Central Street is permitted if the existing signs are removed. However, any new ground signage along East Central Avenue and East Williams Street shall achieve compliance with the minimum zoning requirements and with the adopted Gateways and Corridors Plan and changeable copy signs would not be permitted if new signs are used. Also, any building signage shall achieve compliance with the zoning code but cannot be illuminated to be consistent with Sub-Area A, In addition, no second floor signage shall be allowed.
 - **LIGHTING:** The owner is not proposing any new exterior lighting.
 - **LANDSCAPING & SCREENING:** The applicant is not proposing any new landscaping and with the existing site constraints it would be impractical and cost prohibitive to install the required amount of street and front yard trees and shrubs along the street frontages and adjacent to the existing parking lots respectively. Also, the City is in the process of widening East William Street and the likely future projects at the "point" and Central Avenue may have an impact in this area which are other reasons not to require landscaping in this area.
 - **CONDITIONAL USE PERMIT:** The approval of a Planned Mixed Use (PMU) Overlay requires the criteria of a Conditional Use Permit to be met. Staff has reviewed these criteria and finds that all applicable criteria are met for approval of the Conditional Use Permit.

STAFF RECOMMENDATION (2019-0648 – REZONING)

Staff recommends approval of a request by John & Tess Meeker for a Rezoning Amendment from R-4 (Medium Density Residential District) to R-4 PMU (Medium Density Residential with a Planned Mixed Use Overlay District) and extend the current PMU at 377 East William Street to 385 East William Street for Meekers Venue on approximately 0.477 acres and located at 385 East William Street, with the following condition:

1. Any change of use of any existing structure or property shall require conformance to all provisions of the Development Text except Building Setback Standards, Parking Setbacks, Landscape Standards and Building Design. Such exception shall not be granted for any addition, exterior modification, enlargement, or exterior alteration of the building or site.

STAFF RECOMMENDATION (2019-0649 – CONDITIONAL USE PERMIT)

Staff recommends approval of a request by John & Tess Meeker for a Conditional Use Permit allowing the placement of PMU (Planned Mixed Use Overlay District) to be established for Meekers Venue on approximately 0.477 acres and located at 385 East William Street.

STAFF RECOMMENDATION (2019-0650 – FINAL DEVELOPMENT PLAN)

Staff recommends approval of a request by John & Tess Meeker for a Final Development Plan for Meekers Venue on approximately 0.477 acres zoned R-4 PMU (Medium Density Residential with a Planned Mixed Use Overlay District) and located at 385 East William Street.

1. Engineering drawings would not be required because there would not be any changes to the site.
2. The number of parking spaces on the site shall be 50 with up to 46 parking spaces provided at Conger Elementary School through an agreement with the City of Delaware School District..
3. The City Engineer shall execute a revocable encroachment agreement with the owner to allow the parking spaces on the western portion of the site to protrude into the Foley Street right-of-way.
4. There shall be no on-street parking on Foley Street.
5. If the owner utilizes a dumpster, the dumpster shall be screened by a brick or stone enclosure with doors painted or stained to compliment the building color. If tip cart service is utilized, the tip carts shall be screened from public view by a wood fence.
6. The sidewalk on East William Street shall not be required to be extended per the City Engineer because of future road projects in this area that would likely address the sidewalk extension

COMMISSION NOTES:

MOTION: _____ 1st _____ 2nd *approved* *denied* *tabled* _____

CONDITIONS/MISCELLANEOUS:

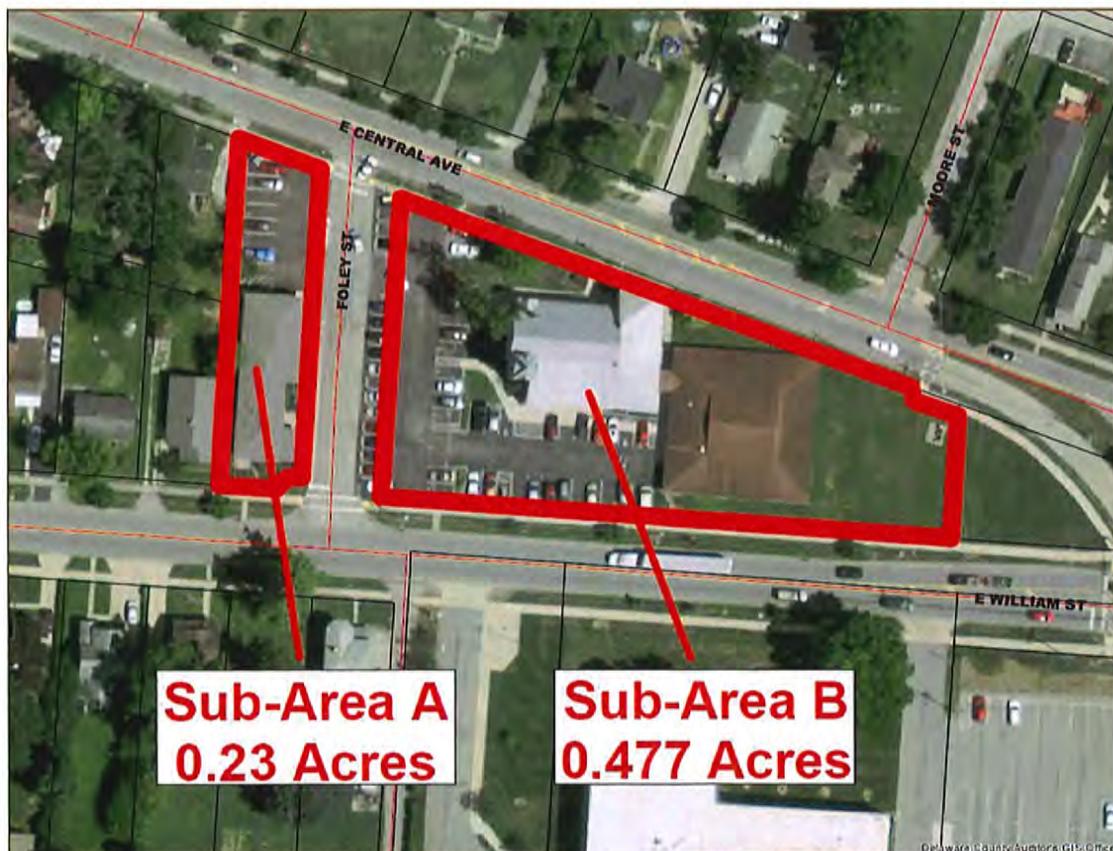
LF INVESTMENTS, LLC.
377 EAST WILLIAM STREET
&
MEEKERS VENUE
385 EAST WILLIAM STREET

DEVELOPMENT TEXT
PLANNED MIXED USE OVERLAY DISTRICT

1. DESCRIPTION OF DEVELOPMENT

Meekers Venue is proposing to expand the existing LF Investments, LLC. Planned Mixed Use Overly District (PMU) (Ordinance 14-67) on three properties zoned R-4 (Medium Density Residential District) to four properties on encompassing approximately 0.707 acres (LF Investments 0.23 acres and Meekers Venue (0.477 acres). The subject properties are at 377 and 385 E. William Street and located north of East William Street and south of East Central Avenue.

Address	Parcel #	Use(s)
377 East William Street (Sub-Area A)	519-442-23-020-000	Office use - Forman Insurance Agency, 4 single family apartments
385 East William Street (Sub-Area B)	519-442-24-002-000	Wedding Venue – single family dwelling unit (second floor only)



2. GENERAL DEVELOPMENT STANDARDS

- a. **Purpose and Intent.** It is the intent of the applicant at 385 East William Street to rezone the existing church from R-4 to R-4 PMU to allow a wedding venue and associated uses on the first floor and a single family owner occupied only dwelling unit on the second floor of the building. This would require the expansion of current R-4 PMU at 377 East William Street (LF Investments LLC) to 385 East William Street.. Therefore, the PMU Overlay District would be divided into two Sub-Areas. Sub-Area A at 377 East William Street would permit an office use on the first floor and four single family apartments on the second floor to be rebuilt per Section 1151.02 which states a structure can be rebuilt if it was destroyed by any means or razed to the extent of fifty percent (50%) of the fair replacement cost of the structure as approved in 2017. Sub-Area B at 385 East William Street would allow a wedding venue and associated uses on the first floor and an owner occupied single family use on the second floor. This Development Text represents the zoning requirements for these Sub-Areas unless otherwise noted.
- b. **Conformance with Codified Ordinances and City Policy.** Unless noted otherwise within this development text, all development will be constructed and provided in conformance with the then current Codified Ordinances and City Policy in effect at the time of application.
- c. **Limitations.** Nothing in this text shall prohibit additional restrictions or requirements from being placed on the approval of any Final Development Plan.
- d. **Major Modifications.** The existing building, parking lot, and all other site improvements at the date of approval comprise the Final Development Plan. Once a Final Development Plan has been approved by City Council, any subsequent major modification to that plan shall only be permitted by resubmission and approval of a revised Final Development Plan through the procedures set forth in the Zoning Code. Major modification for the purposes of this text shall mean any modification of the approved Final Development Plan, as determined by the Director of Planning & Community Development, that results in:
 - (1) Any major change in the use or occupancy or any increase from the existing residential and commercial building envelope that might be proposed in the future.
 - (2) Major change in the approved location of land uses.
- e. **Minor Modifications.** Once a Final Development Plan has been approved by City Council, any subsequent minor modification to that plan shall only be permitted by resubmission and approval by the Director of Planning and Community Development of a revised Final Development Plan. Minor modification for the purposes of this text shall mean any modification of the approved Final Development Plan, as determined by the Director of Planning & Community Development, that results in:
 - (1) Any modification that is not considered a major modification by this Zoning Text or by determination of the Director of Planning & Community Development.

- (2) Any minor change to the use or occupancy other than those uses specifically allowed in this text or any minor changes to the approved site layout.
- (3) Minor change in the approved location of land uses.
- (4) Minor structural alterations that do not alter the overall design intent of the building.

3. SUB-AREAS

The project is separated into two Sub-Areas to represent the distinct areas of development. Sub-Area A is located at 377 East William Street while Sub-Area B is located at 385 East William Street.

4 SUB-AREA A

- a. **Uses.** The following residential, office and commercial uses shall be considered permitted, conditionally permitted, or limited uses on the site as represented in the chart below by P, C, or L, respectively, and as defined by Chapter 1121 of the Zoning Code. Any use not listed in the chart shall be considered a prohibited use unless amended by action of the Planning Commission and City Council through a Zoning Amendment process.

Residential Uses

- (1) **Permitted Uses.** Permitted uses are permitted by-right and shall meet all development standards specified within this text and the Zoning Code, as applicable.
- (2) **Limited Uses.** Limited uses shall be considered permitted uses subject to complying with all the specific limitations and restrictions as specified within this text as determined by Final Development Plan approval.
- (3) **Conditionally Permitted Uses.** In addition to all standards specified within this development text, uses listed as conditionally permitted uses shall meet all the then current Zoning Code standards for approval of a Conditional Use Permit current at the time of application for the specific conditional use as well as any other regulations contained within the Zoning Code and applicable to the conditional use.
- (4) **Accessory Uses and Structures.** Although not specified in the chart below, accessory uses, which are considered allowed uses, include those items that are customarily incidental and secondary to the principal use of the land. Such items include but are not limited to sheds, non-commercial storage buildings, signs, fences, walls, trash receptacles and enclosures, and off-street parking areas. If the uses are specified as conditional or limited uses the processes and limitations shall apply regardless of accessory use status.

Land Use Category	Uses
(a) Residential	
(1) Single-family dwelling	P

Land Use Category	Uses
(2) Two family dwelling	P
(3) Maximum 4 single family apartments on the second floor to the extent of the current building footprint	P
(b) Offices and Professional Services	
(1) Offices – administrative, business and professional	P
(2) Financial Institutions, banks	P
(3) Medical and dental offices, health and allied services	P
(c) Retail Services	
(1) Funeral Home and related facilities	C
(2) Veterinary office (no outside run or kennel*)	L*
(3) Veterinary hospital (with or without kennel)*	L*
(d) Community Facilities	
(1) Place of Worship	P
(2) School, trade, business or cultural arts	C
(3) Library	P
(4) Public cultural institutions and art galleries	P
(5) Daycare center, child/adult	P
(e) Recreation and Entertainment	
(1) Health Club	L
(f) Accessory Uses	
(1) Off-street parking and loading area	A
(2) Fencing and screening	A
(3) Detached garages	A
(4) Pools	A

- See limitation text.

- b. **Lot Standards.** The following standards shall apply for lot standards and coverage.

Lot Standards	
(1) Minimum lot area	0.23 acre
(2) Minimum lot width	50 ft.(approximate width of lot)

- c. **Building Setback Standards.** The following standards shall apply for minimum building setbacks, except as otherwise approved on the Final Development Plan.

Minimum Building Setbacks	
(1) Front Yard (3 front yards)	Existing condition** or 25 feet for a new building/construction.
(2) Side Yard	Existing condition** or 8 feet for a new building/construction.
(3) Rear Yard	Existing condition** or 20 feet for a new building/construction

- d. **Parking Setbacks.** The following standards shall apply for minimum parking setbacks. Parking setbacks include any parking space, parking lot drive aisle, and parking lot circulation aisle.

Minimum Parking Setbacks	
(1) Setback from street right-of-way	Existing condition** or 5 feet for a new building/construction.
(2) Setback from rear and side setbacks	Existing condition** or 10 feet for a new building/construction.

** Existing condition or rebuilds because of an act of God.

- e. **Maximum Building Height.** The maximum height of any building or structure shall be 35 feet as measured from finished floor elevation to the highest point of the roof.
- f. **Building Design.** Any new building (except for rebuilds because of an act of God) shall comply with Chapter 1171 Design Criteria and Performance Standards.
- g. **Tree Removal and Replacement.** Any new building (except for rebuilds because of an act of God) shall comply with Chapter 1168 Tree Preservation Regulations.
- h. **Landscaping and Screening.** Any new building (except for rebuilds because an act of God) shall comply with all landscaping and screening requirements per Chapter 1166.
- (1) A minimum 6 foot high solid fence or equivalent landscaping shall be installed

adjacent to the parking lot to buffer the residence to the west.

- i. **Lighting.** Any new exterior lighting (except for rebuilds because an act of God) shall be provided in accordance with the Chapter 1158 Lighting Plan.
 - j. **Signs.** All new signage shall comply with Chapter 1165 Signs and the Gateways and Corridors Plan except for the following:
 - (1) The building signage on the south elevation shall be a cabinet sign as currently installed.
 - (2) Any building signage on the north elevation shall be non-illuminated individual channel cut letters that encompasses a maximum 29 square feet.
 - (3) Any building signage on the east elevation shall be a maximum 2 foot x 2 foot non-illuminated flat wall sign.
 - (4) The only second floor signage allowed shall be on the north elevation.
 - (5) No other signage (temporary or permanent) such as banners, sandwich board, etc., signs shall be permitted.
 - k. **Dumpster.** The existing dumpster shall be screened by a wood enclosure with doors painted or stained to compliment the building color. Staff recommends a brick or stone enclosure with woods doors to match to lessen the future durability and maintenance concerns.
 - l. **Parking.** The subject site has 7 off street parking spaces (three on street spaces including the handicap space) while a minimum 12 spaces are required (8 for the office use and 4 for the residential uses per code).
 - (1) The parking on the site shall be grandfathered for the subject office use and 4 single family apartment uses but staff recommends obtaining an easement with the adjacent church to accommodate the required parking if possible.
 - (2) Parking spaces for residential uses shall be provided on-site at a minimum or by formal agreement with adjacent property.
 - (3) The City shall permit parking spaces at 377 East William Street to encroach on the Foley Street right-of-way (eastern portion of the site) by issuing a revocable encroachment agreement per the City Engineer.
 - (4) No on-street parking on Foley Street is permitted.
- (5) **Specific Standards for Limited Uses*.** Any use listed as a limited use shall meet all requirements of the Zoning Code, unless otherwise exempted or modified in this Section which shall take precedence in all cases, as determined through the Final Development Plan approval process. If any of the requirements set forth in this text or the then current Zoning Code are not met, the use shall be considered a Conditional Use and a Conditional Use Permit must be approved as set forth in the Zoning Code.
- A. **Veterinary Office (with no outside run or outside kennel) and Veterinary Hospital (with no outside run or outside kennel).** Such uses shall meet all requirements of the then current Zoning Code and be limited to household pets

prohibiting on-site services to livestock, goats, equine, and other non-domesticated animals.

- B. **Health Club.** Such use shall meet all requirements of the current Zoning Code and the actual type of club should be specifically identified to ensure required

6 SUB-AREA B

a. **Uses.** The following commercial, office and residential uses shall be considered permitted, conditionally permitted, or limited uses on the site as represented in the chart below by P, C, or L, respectively, and as defined by Chapter 1121 of the Zoning Code. Any use not listed in the chart shall be considered a prohibited use unless amended by action of the Planning Commission and City Council through a Zoning Amendment process.

(1) **Permitted Uses.** Permitted uses are permitted by-right and shall meet all development standards specified within this text and the Zoning Code, as applicable.

(2) **Limited Uses.** Limited uses shall be considered permitted uses subject to complying with all the specific limitations and restrictions as specified within this text as determined by Final Development Plan approval.

(3) **Conditionally Permitted Uses.** In addition to all standards specified within this development text, uses listed as conditionally permitted uses shall meet all the then current Zoning Code standards for approval of a Conditional Use Permit current at the time of application for the specific conditional use as well as any other regulations contained within the Zoning Code and applicable to the conditional use.

(4) **Accessory Uses and Structures.** Although not specified in the chart below, accessory uses, which are considered allowed uses, include those items that are customarily incidental and secondary to the principal use of the land. Such items include but are not limited to sheds, non-commercial storage buildings, signs, fences, walls, trash receptacles and enclosures, and off-street parking areas. If the uses are specified as conditional or limited uses the processes and limitations shall apply regardless of accessory use status.

Land Use Category	Uses
(a) Residential	
(1) Single-family dwelling (owner occupied – second floor only)	P
(b) Offices and Professional Services	
(1) Offices – administrative, business and professional	P
(2) Financial Institutions, banks	P

Land Use Category	Uses
(3) Medical and dental offices, health and allied services	P
(c) Retail Services	
(1) Funeral Home and related facilities	C
(2) Veterinary office (no outside run or kennel*)	L*
(3) Veterinary hospital (with or without kennel)*	L*
(d) Community Facilities	
(1) Place of Worship	P
(2) School, trade, business or cultural arts	C
(3) Library	P
(4) Public cultural institutions and art galleries	P
(5) Daycare center, child/adult	P
(e) Recreation and Entertainment	
(1) Health Club	L
(f) Accessory Uses	
(1) Off-street parking and loading area	A
(2) Fencing and screening	A
(3) Detached garages	A
(4) Pools	A

- See limitation text.

b. **Lot Standards.** The following standards shall apply for lot standards and coverage.

Lot Standards	
(1) Minimum lot area	0.447 acre
(2) Minimum lot width	50 ft.

c. **Building Setback Standards.** The following standards shall apply for minimum building setbacks, except as otherwise approved on the Final Development Plan.

Minimum Building Setbacks	
(1) Front Yard (3 front yards)	Existing condition** or 25 feet for a new building/construction.
(2) Side Yard	Existing condition** or 8 feet for a new building/construction.
(3) Rear Yard	Existing condition** or 20 feet for a new building/construction

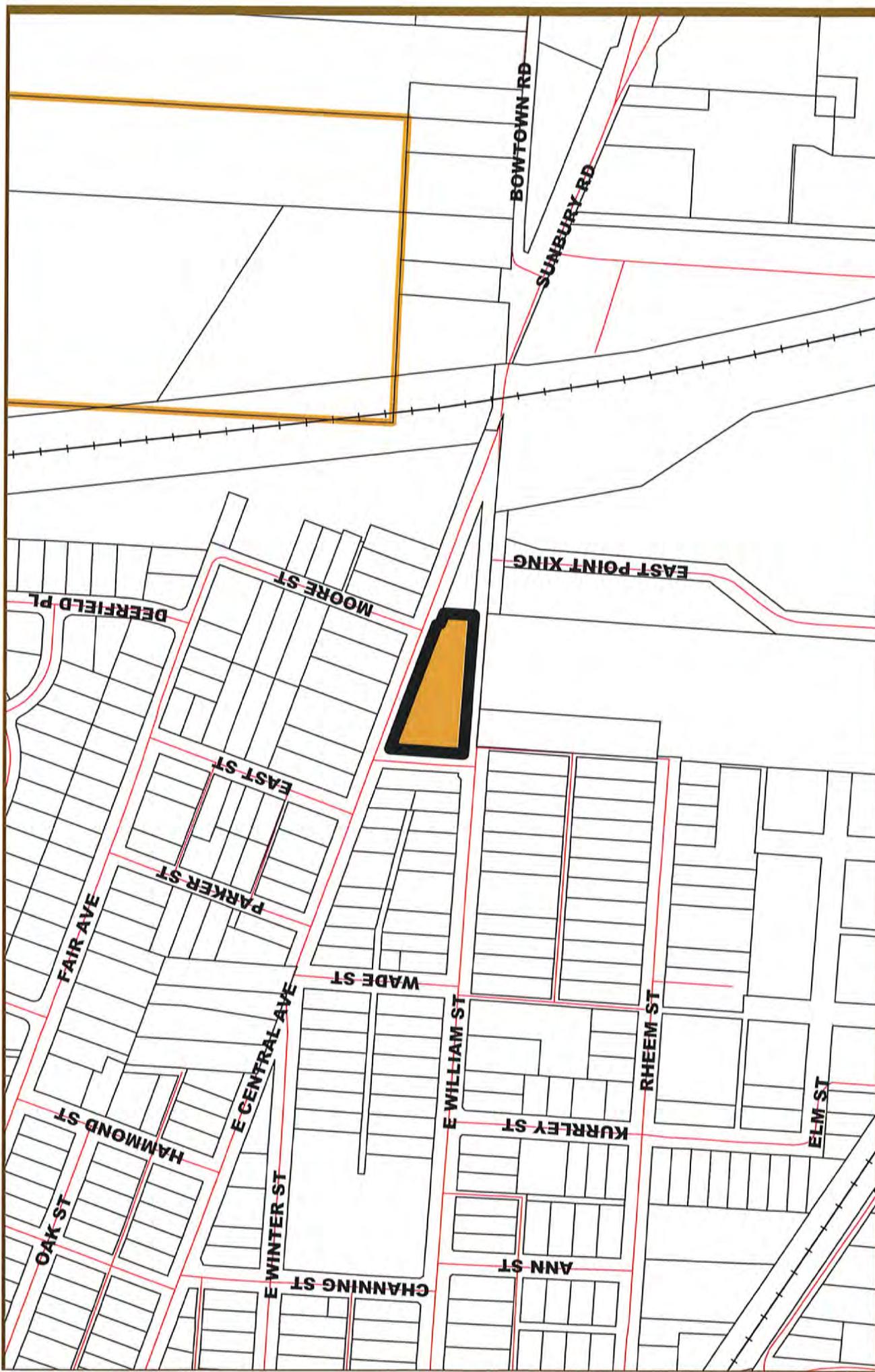
- d. **Parking Setbacks.** The following standards shall apply for minimum parking setbacks. Parking setbacks include any parking space, parking lot drive aisle, and parking lot circulation aisle.

Minimum Parking Setbacks	
(1) Setback from street right-of-way	Existing condition** or 5 feet for a new building/construction.
(2) Setback from rear and side setbacks	Existing condition** or 10 feet for a new building/construction.

** Existing condition or rebuilds because of an act of God.

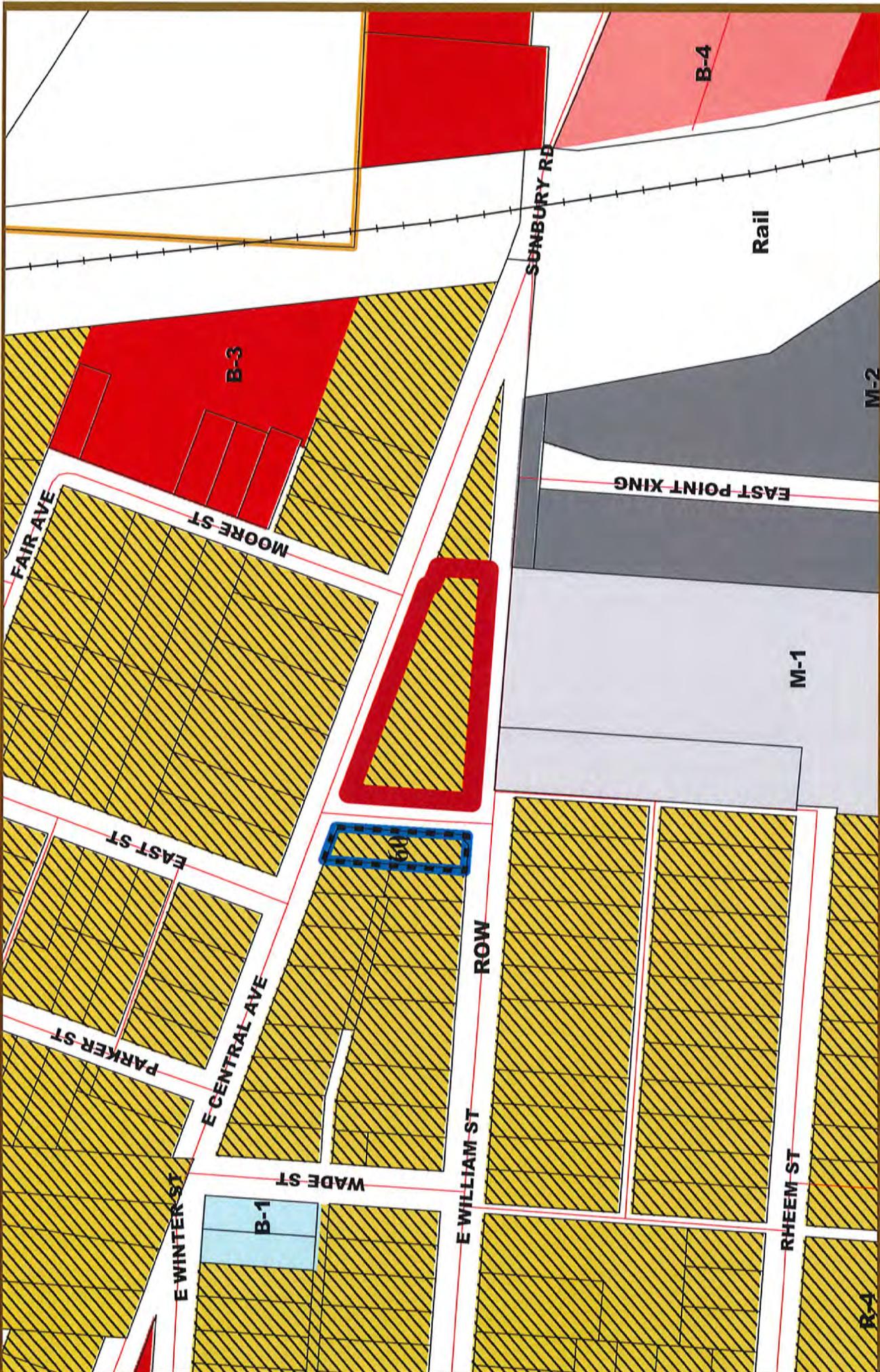
- e. **Maximum Building Height.** The existing building height is permitted as constructed but any new building shall have a maximum height of 35 feet from the finished floor elevation to the highest point of the roof.
- f. **Building Design.** Any new building (except for rebuilds because of an act of God) shall comply with Chapter 1171 Design Criteria and Performance Standards.
 (1) Any addition to the existing building shall be comparable in materials and colors of the building.
- g. **Tree Removal and Replacement.** Any new building (except for rebuilds because of an act of God) shall comply with Chapter 1168 Tree Preservation Regulations.
- h. **Sidewalks.** The applicant shall not be responsible for extending the sidewalk to the east along East Central Avenue because of future road projects in this area per the City Engineer.
- i. **Landscaping and Screening.** Any new building (except for rebuilds because an act of God) shall comply with all landscaping and screening requirements per Chapter 1166.
 (1) The applicant is proposing to install a 6 foot high privacy fence along the eastern portion of the site.
- j. **Lighting.** Any new exterior lighting (except for rebuilds because an act of God) shall be provided in accordance with the Chapter 1158 Lighting Plan.
- k. **Signs.** All new signage shall comply with Chapter 1165 Signs and the Gateways and Corridors Plan except for the following:

- (1) There is existing ground signage along East William Street and East Central Street (illuminated) can be utilized.
 - (2) One ground sign along East William Street and East Central Street is permitted if the existing signs are removed. However, any new ground signage along East Central Avenue and East Williams Street shall achieve compliance with the minimum zoning requirements and with the adopted Gateways and Corridors Plan.
 - (3) Any building signage shall achieve compliance with the zoning code but shall not be illuminated.
 - (4) No second floor signage shall be allowed.
 - (5) Temporary signage is permitted per the minimum zoning requirements.
- l. **Dumpster.** If the owner utilizes a dumpster, the dumpster shall be screened by a brick or stone enclosure with doors painted or stained to compliment the building color. If tip cart service is utilized, the tip carts shall be screened from public view by a wood fence.
- m. **Parking.** The subject site shall achieve compliance with minimum parking requirements of the zoning code.
- (1) The site has 50 parking spaces.
 - (2) The applicant has an agreement with Delaware City School District to utilize the Conger Elementary School parking lot at 10 Channing Street during times the district or school is using the parking lot. There are 46 parking spaces available at Conger Elementary School.
 - (3) The City shall permit parking spaces at 385 East William Street to encroach on the Foley Street right-of-way (western portion of the site) by issuing a revocable encroachment agreement per the City Engineer.
 - (4) No on-street parking on Foley Street is permitted.
- (5) **Specific Standards for Limited Uses*.** Any use listed as a limited use shall meet all requirements of the Zoning Code, unless otherwise exempted or modified in this Section which shall take precedence in all cases, as determined through the Final Development Plan approval process. If any of the requirements set forth in this text or the then current Zoning Code are not met, the use shall be considered a Conditional Use and a Conditional Use Permit must be approved as set forth in the Zoning Code.
- (a) **Veterinary Office (with no outside run or outside kennel) and Veterinary Hospital (with no outside run or outside kennel).** Such uses shall meet all requirements of the then current Zoning Code and be limited to household pets prohibiting on-site services to livestock, goats, equine, and other non-domesticated animals.
- (b) **Health Club.** Such use shall meet all requirements of the current Zoning Code and the actual type of club should be specifically identified to ensure required parking doesn't have an adverse impact the residential neighborhood.



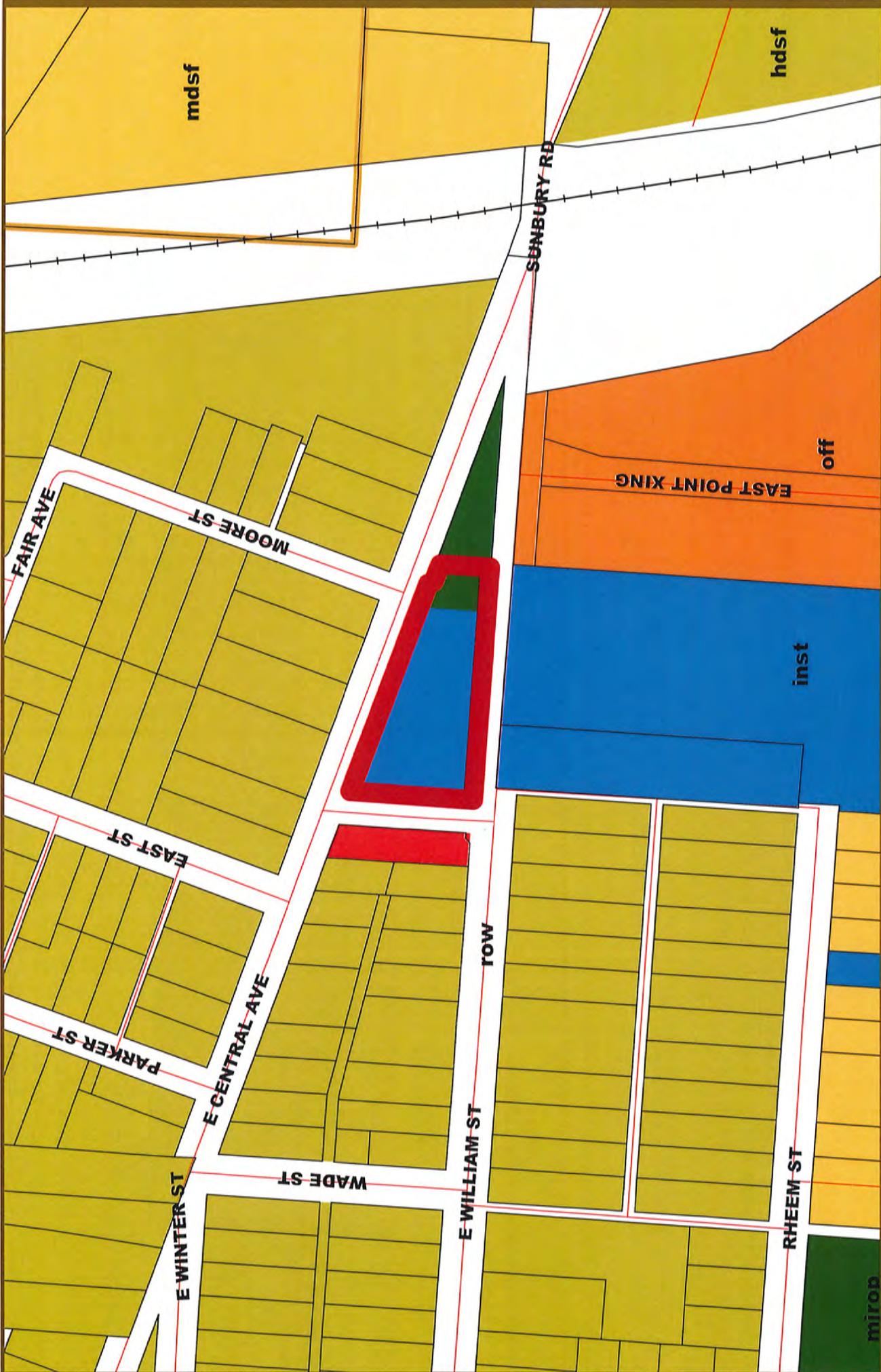
2019-0648-0650
 Rezoning Amendment, Conditional Use Permit &
 Final Development Plan
 Meekers Venue - 385 East William Street
 Location Map





2019-0648-0650
 Rezoning Amendment, Conditional Use Permit &
 Final Development Plan
 Meekers Venue - 385 East William Street
 Zoning Map





2019-0648-0650
 Rezoning Amendment, Conditional Use Permit &
 Final Development Plan
 Meekers Venue - 385 East William Street
 Comprehensive Plan Map





2019-0648-0650
 Rezoning Amendment, Conditional Use Permit &
 Final Development Plan
 Meekers Venue - 385 East William Street
 Aerial (2016) Map



Meekers Venue

April 2nd, 2019

Tess and John Meeker
6368 Worthington Rd
Westerville, OH 43082
Tess: 614-975-3441
John: 614-439-3263
E-Mail: meekersvenue@gmail.com

To Whom it may concern,

We have a dream of using the church at 385 E. William St. as a venue for local community weddings, anniversary parties, birthday parties, graduation parties, religious celebrations, community meetings and other events.

We would like to offer a different experience by having wedding couples and other big events take their time and truly enjoy the whole process for the day of their celebration. We would like to allow the church to be rented primarily for two days (Friday & Saturday) for a wedding or big event to be able to decorate on Friday and celebrate the event on Saturday. We also don't have any plans to do catering or beverage service but using caterers, or allowing the party to provide their own.

We also hope the community will be using the church on a regular basis for smaller meetings, parties and small celebrations. As well as possible office spaces for counseling, bible study groups and non-profits. We anticipate these being held during the weekdays and evenings.

We will be working with the Conger Elementary School and/or other establishments that will allow us to use their parking lot for additional parking when required.

The plan is for the church to be used for residential and commercial use. The residential part would only be for a single family as we intend this to be a "mom and pop" business. We currently live in Delaware County but would like to maintain our current home until our children have graduated Westerville Central High School in 2021.

Tess and John Meeker will be the owners. Tess has over 6 years experience conducting weddings as a Wedding Coordinator and a Venue Administrator. She has been praised by the wedding parties as providing a high level of service and satisfaction. The vendors hired to service the weddings are always extremely complementary of her abilities which are above a lot of the people in the industry.

Wycliff C. Meeker was John's Great-Great Grandfather who died in Delaware County on November 26, 1884 and is buried in the Liberty Cemetery on Home Rd. The Meeker's have a long history of residing in Delaware County and it would be a privilege to be able to serve the community by running a family owned venue.

We will need a change to the current zoning which we believe is R4 medium density residential district to allow for mixed use similar to the State Farm business which is adjacent to the church.

We thank you for your consideration.

Sincerely,

Tess & John Meeker



Meekers Venue <meekersvenue@gmail.com>

Conger Elementary School Parking

Jason Sherman <shermaja@delawarecityschools.net>
To: meekersvenue@gmail.com

Wed, Mar 6, 2019 at 3:56 PM

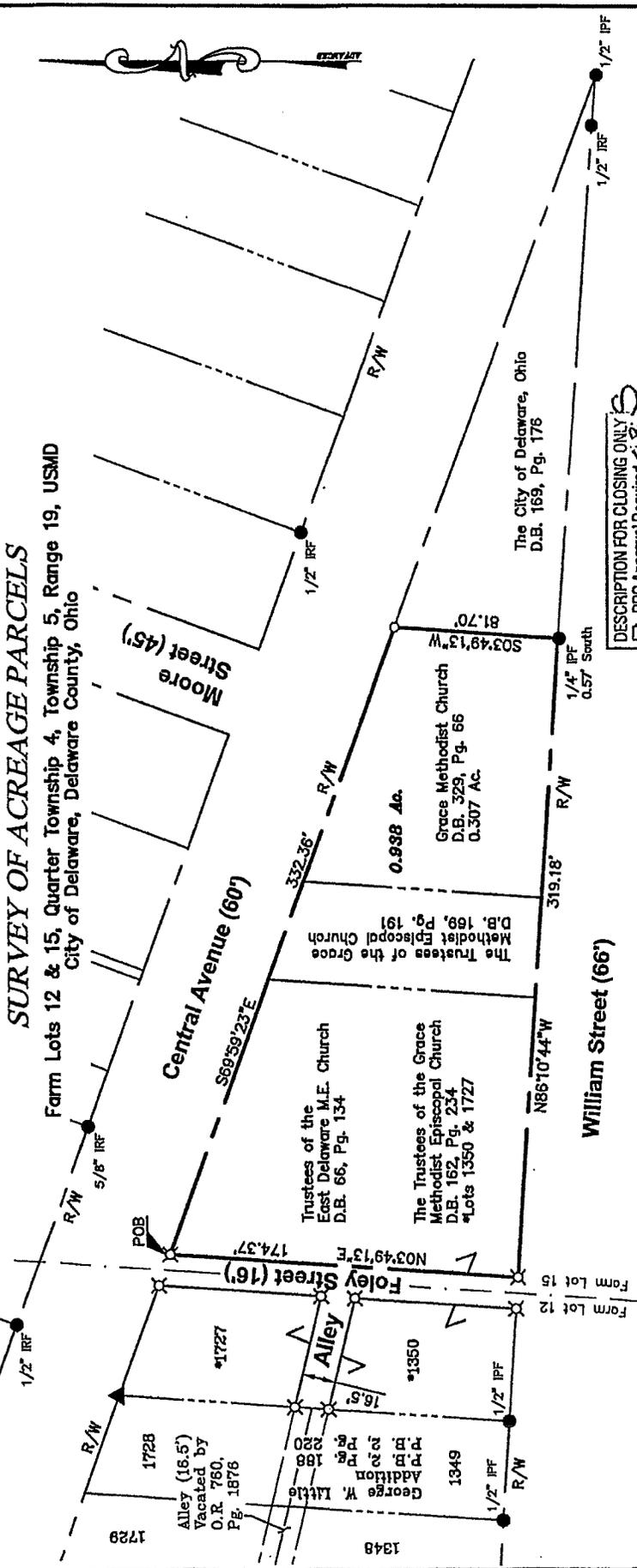
To Whom It May Concern:

Delaware City Schools would allow parking in the Conger parking lot during times that the district or the school is not using the lot. Use of the lot would be contingent upon the venue owner meeting the terms of the district policy for facility use and the user providing proof of appropriate insurance coverage.

--

Jason Sherman
Director of Facilities and Transportation
Delaware City Schools
[74 W. William St.](#)
[Delaware, OH 43015](#)
740.833.1880 Office
614.593.5730 Mobile
shermaja@delawarecityschools.net

NOTICE: The information contained in this message; including, but not limited to student personally identifiable and any attachments, is CONFIDENTIAL AND PRIVILEGED. The information is intended only for the individual or entity named in this communication. If you have received this email communication in error, you are hereby notified that any use or disclosure of this information is STRICTLY PROHIBITED. You are asked to immediately notify the sender by telephone or email, destroy all copies and delete the message from your computer. Thank you.



DESCRIPTION FOR CLOSING ONLY
 RPC Approval Required
 Municipal Approval Required
 Approved by Delaware County Engineer

DRAWN BY: JCD JOB NO.: Grace Church
 DATE: 05/15/2009 CHECKED BY: DRH

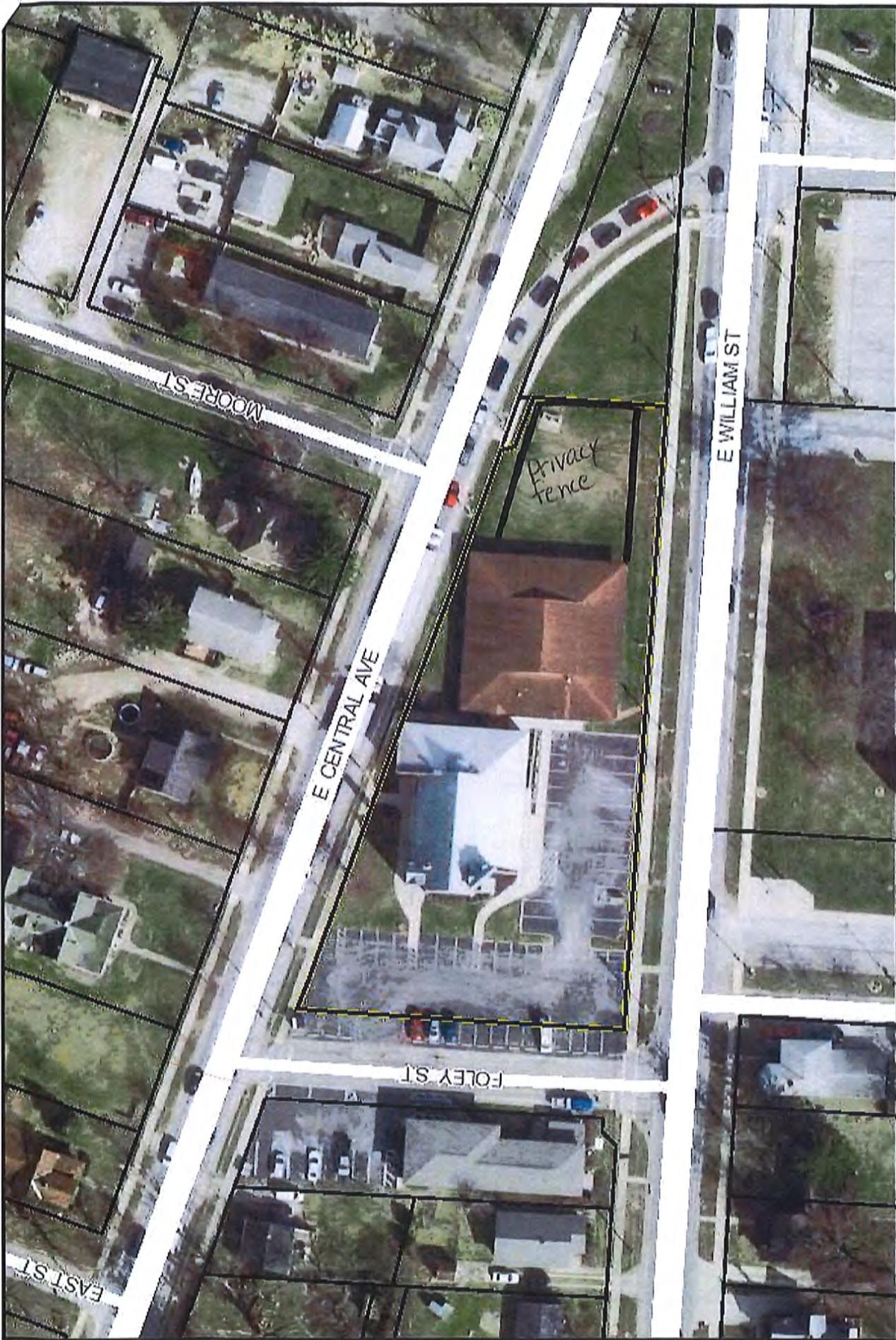
ADVANCED CIVIL DESIGN
 ENGINEERS
 422 Breacher Road
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

STATE OF OHIO
 JOHN C. DODGION
 8069
 REGISTERED PROFESSIONAL ENGINEER
 SUPERVISOR
 John C. Dodgion, P.S. 8069
 05/29/2009

Iron pins set are 3/4" diameter, 30" long iron pipe with plastic cap inscribed "Advanced 7661".
 Bearings are based on the Ohio State Plane Coordinate System NAD83 (COR96).

Legend:
 ○ Iron Pin Set
 ✕ PK Nail Set
 ● Iron Pin Found
 ✕ PK Nail Found
 ▲ RR Spike Found

Scale: 1" = 60'
 0 30' 60' 120'



Information contained within this map may be used to generally locate, identify and inventory land parcels within Delaware County. Delaware County cannot warrant or guarantee the information contained herein, including, but not limited to its accuracy or completeness. The map parcel lines shown are approximate and this information cannot be constructed or used as a "legal description" of a parcel. Flood Plain information is obtained from FEMA and is administered by the Delaware County Building Department (740-633-2201). Please report any errors or omissions to the Delaware County Auditor's office at delcogis@co.delaware.oh.us. Prepared by: Delaware County Auditor's GIS Office

Printed on 11/22/2019



Delaware County Auditor
George Kaitza



**CITY OF DELAWARE, OHIO
PLANNING & COMMUNITY DEVELOPMENT
MASTER APPLICATION FORM**



Project # _____

Case # _____

Planning Commission

- | | | |
|--|---|---|
| <input type="checkbox"/> Amended Final Development Plan | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use |
| <input type="checkbox"/> Amended Final Subdivision Plat | <input type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Vacation-Alley |
| <input type="checkbox"/> Amended Preliminary Development Plan | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat | <input type="checkbox"/> Floodplain Permit | <input type="checkbox"/> Vacation-Street |
| <input type="checkbox"/> Annexation Review | <input type="checkbox"/> Lot Split | <u>Board of Zoning Appeals</u> |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Development Plan | <input type="checkbox"/> Conditional Use Permit |
| <input type="checkbox"/> Concept Plan | <input type="checkbox"/> Preliminary Dev Plan Extension | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Preliminary Sub Plat | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Determination of Similar Use | <input type="checkbox"/> Preliminary Sub Plat Extension | |
| <input type="checkbox"/> Development Plan Exemption | <input checked="" type="checkbox"/> Rezoning | |
| <input type="checkbox"/> Final Development Plan | <input type="checkbox"/> Subdivision Variance | |

Subdivision/Project Name _____ Address 385 E William St

Acreage .477 Square Footage _____ Number of Lots 1 Number of Units _____

Zoning District/Land Use Church Proposed Zoning/Land Use Mixed Parcel # 519-442-24-002-000

Applicant Name Tess + John Meeker Contact Person Tess Meeker

Applicant Address 6368 Worthington Rd Westerville, Oh 43082

Phone 614-975-3441 Fax _____ E-mail meekevenue@gmail.com

Owner Name New Beginnings Church Contact Person David A. Carter

Owner Address PO Box 1268, 385 E. William St., Delaware, OH 43015

Phone 740-363-2092 Fax _____ E-mail office@delawarenewbeginnings.com

Engineer/Architect/Attorney _____ Contact Person _____

Address _____

Phone _____ Fax _____ E-mail _____

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

David A. Carter
Owner Signature

David A. Carter
Owner Printed Name

Agent Signature

Agent Printed Name

Sworn to before me and subscribed in my presence this 6th day of March, 2019

Shana Vollmar
Notary Public



**SHANA VOLLMAR
NOTARY PUBLIC
STATE OF OHIO
COMM. EXPIRES
02-11-2021**

APR -3 2019

CASE NUMBERS: 2019-0651 & 0653

REQUEST: Multiple Requests

PROJECT: Communities at Glenross – Section 13

MEETING DATE: May 1, 2019

APPLICANT/OWNER

Pulte Homes
4900 Tuttle Crossing Boulevard
Dublin, Ohio 43016

REQUEST

2019-0651: A request by Pulte Homes of Ohio for approval of a Final Development Plan for Communities of Glenross Section 13 containing 44 single family lots on approximately 21.436 acres zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located on Eastwind Road, Silver Branch Drive, Stone Quarry Drive and Harvest Moon Road.

2019-0653: A request by Pulte Homes of Ohio for approval of a Final Subdivision Plat for Communities of Glenross Section 13 containing 44 single family lots on approximately 21.436 acres zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located on Eastwind Road, Silver Branch Drive, Stone Quarry Drive and Harvest Moon Road.

PROPERTY LOCATION & DESCRIPTION

The subject property is located on the south side of Cheshire Road west of Winterbourne Drive and just east of the Glenross Golf Course. The subject site is zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District). The properties to the north, south, and east are zoned R-2 PMU while the property to the west is zoned PO/I PMU (Planned Office / Institutional with a Planned Mixed Use Overlay District).

BACKGROUND

This project has an extensive zoning history that dates back to 2006 but the most recent significant action that pertains to the development south of Cheshire Road occurred in August 2016. At that time, City Council approved an amendment to the Zoning and Development Text, an amendment to the Preliminary Development Plan, and an amendment to the Preliminary Subdivision Plat for the Communities at Glenross. The Final Development Plan and Plat for Sections 11 and 12 were approved in 2017 and the Final Development Plan and Plat for Section 15 were approved in 2018.

Now the developer is requesting a Final Development Plan and Final Subdivision Plat for Section 13 which consists of 44 single family lots on 21.436 acres.

STAFF ANALYSIS

- **ZONING:** As mentioned above, the zoning for the subject site is R-2 PMU which has a specific development plan and text for the subject development. From a procedural perspective, Final Development Plans and Final Subdivision Plats would need to be reviewed and approved by the Planning Commission and City Council for each section.
- **DEVELOPMENT TEXT:** The development text sets forth development standards for the residential development which has specific development text for the entire development pertaining to permitted uses, density, lot size, minimum dwelling size, building setbacks, landscaping, lighting, architectural elevations, etc. Section 13 is in Sub-Area IA of the approved Preliminary Development Plan and Preliminary Subdivision Plat. The development plan and text is sensitive to the existing residential surroundings while providing an appropriate transition to a very active pair of railroad tracks.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. Winterbourne Drive shall include traffic calming measures as approved by the City Engineer and all other comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **UTILITIES:** The site would be serviced by City sanitary sewer (SE Highland trunk sewer) and water that would have to be extended by the developer from the existing development.

- **ROADS AND ACCESS:** Section 13 is located south of Section 12 which is located south of Cheshire Road and would be accessed from Winterbourne Drive which is the main north/south spine road for Sections 11-22. Eastwind Road extends west from Winterbourne Drive through the subject section while connecting with Silver Branch Drive composing the northern portion of a loop that extends south into Section 14. Stone Quarry Drive extends north from Silver Branch Drive to connect the Section 13 roadway network with Section 11 and 12. All the streets are public and would have sidewalks on both sides of the street.
- **PEDESTRIAN CONNECTIVITY:** The pedestrian connectivity plan identifies a bike path along Winterbourne Drive through the subject section that would connect into the City network per the approved Preliminary Development Plan. The multi-use path will connect Section 13 with the previously constructed multi-use paths in Section 11 and 12. Also, sidewalks would be required on both sides of the public streets.
- **LOT LAYOUT & SIZE:** As mentioned above, the main entrance into Section 13 is located south of Cheshire Road on the west side of Winterbourne Drive. The double loaded streets in Section 13 with lots in a typical subdivision design (which mirrors the Golf Club at Glenross development standards) extends north into Sections 11 and 12 (to the north) as well as completing the loop with Section 14 (to the south). Per the approved development text, the subject lots in Sections 13 would be a minimum lot area of 10,400 square feet with minimum 80 feet lot widths and 130 feet lot depths. The front yard setback would be 25 feet, the rear yard setback would be 30 feet, and the side yard setback would be 10 feet with a minimum house size of 2,000 square feet. Also, all the corner lots achieve compliance with the oversized corner lot requirements in the zoning code. An approximate 4.313 acre reserve area buffers the north-eastern portion of the subject section and a majority of Section 12 from Winterbourne Drive that contains mounding, landscaping, a bike path, and area for a potential future tot lot.
- **BUILDING DESIGN:** The design requirements for The Communities at Glenross south of Cheshire Road are based on the housing options in each Section and Sub-Area per the approved development text. The single family lots in Section 13 would include (see enclosed development text for Sub-Area IA): 1.) 100% of all the elevations of each building (excluding garage doors, entrance doors, gutters, shutters, downspouts and windows) shall consist of natural materials, such as brick or stone; 2.) Not less than 50% of the front elevation shall consist of a natural material other than stucco and engineered siding products; 3.) Gutters (and the material by which they are attached to the home), downspouts, soffits, shutters, garage, and entrance doors may be of man-made materials such as metal, vinyl, aluminum, or glass; 4.) No concrete or split face block shall be permitted, except for basement or foundation walls; 5.) The roofs of all homes shall have dimensional shingles. In addition, the homes shall achieve compliance with Residential Development Design Criteria and Performance Standards in Chapter 1171.08.
- **LANDSCAPING & SCREENING:** A comprehensive landscape plan has been submitted which includes street trees along Eastwind Road, Silver Branch Drive, and Stone Quarry Drive. In addition, there will be hardy mounding and landscaping in the reserve area along the bike path in the northern portion of Section 13 that shall be consistent with the existing landscaping in Section 12. The applicant is proposing 34 deciduous trees (minimum 2.5 caliper inches), 10 ornamental trees (minimum 2 caliper inches), and 27 evergreen trees (minimum 6 foot high at installation) with most of the trees in the reserve area. The existing tree line adjacent to Ohio Health is being removed due to grading and storm water management issues, the developer shall provide buffering per the approved development text which includes 8 evergreen trees and 3 deciduous trees per 100 lineal feet. The Shade Tree Commission would need to approve all landscape plans.
- **OPEN SPACE/PARKLAND:** The Communities at Glenross Sections 11-22 has approximately 61.5 acres of open space (approximately 29.2%) in several reserve areas south of Cheshire Road. Reserve Area "J" in Section 13 contains 4.313 acres and would have a pedestrian path and shall be able to accommodate an area for a tot lot should the homeowner's association desire one in the future – to be consistent with the development text and past approvals. All open space/parkland in Section 13 shall be privately owned and maintained but open to the public.
- **TREE PRESERVATION:** The developer has provided a tree inventory for Section 13 of trees being removed/preserved and a landscape plan identifying new trees being installed less the required street trees. The developer is removing 94 qualified trees totaling 1,734 caliper inches while 34 deciduous trees (minimum 2.5 caliper inches), 10 ornamental trees (minimum 2 caliper inches), and 27 evergreen trees (minimum 6 foot high at installation) are being planted (which total 186 caliper inches). In order to be in compliance with

11. Reserve Area "J" in Section 13 shall be able to accommodate as shown on final recorded plat an area for a tot lot should the homeowner's association desire one in the future.
12. The developer shall provide buffering to the west of Section 13 per approved development text which includes 8 evergreen trees and 3 deciduous trees per 100 lineal feet.

STAFF RECOMMENDATION – (2019-0653 FINAL SUBDIVISION PLAT)

Staff recommends approval of a request by Pulte Homes of Ohio for a Final Subdivision Plat for the Communities at Glenross Section 13 for 44 single family lots on 21.436 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located on Eastwind Road, Silver Branch Drive, Stone Quarry Drive and Harvest Moon Road, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. Winterbourne Drive shall include traffic calming measures as approved by the City Engineer.
3. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
4. The single family houses shall comply with the minimum architectural standards and house size in the approved development text and per applicable sections of the current zoning code.
5. The Winterbourne Drive mounds and landscape buffering shall match the existing buffering in Section 11 and 12 of the Communities at Glenross surrounding this development. The maintenance of the mound and associated landscaping shall be the responsibility of the Homeowner's Association. The subject plan shall be reviewed and approved by the Shade Tree Commission.
6. A street tree plan shall be submitted and approved by the Shade Tree Commission.
7. The bike path along Winterbourne Drive shall be installed by the developer and located within an easement dedicated to the City and shall be maintained by the Homeowner's Association.
8. This section of the Communities at Glenross Subdivision is in the Delaware South New Community Authority, subject to a per dwelling unit additional transportation fee of \$1,000 per unit due at the time of building permit issuance, and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling unit.
9. All signage shall achieve compliance with the graphics and signage requirements in the development text and the previously approved wayfinding system and plan for the community.
10. The applicant shall make a payment of \$154,800, due prior to the approval of construction drawings, in lieu of planting trees or plant more trees on this site or another qualifying site or a combination of both to achieve compliance with the Tree Preservation Regulations in Chapter 1168.
11. Reserve Area "J" in Section 13 shall be able to accommodate as shown on final recorded plat an area for a tot lot should the homeowner's association desire one in the future.
12. The developer shall provide buffering to the west of Section 13 per approved development text which includes 8 evergreen trees and 3 deciduous trees per 100 lineal feet.

COMMISSION NOTES:

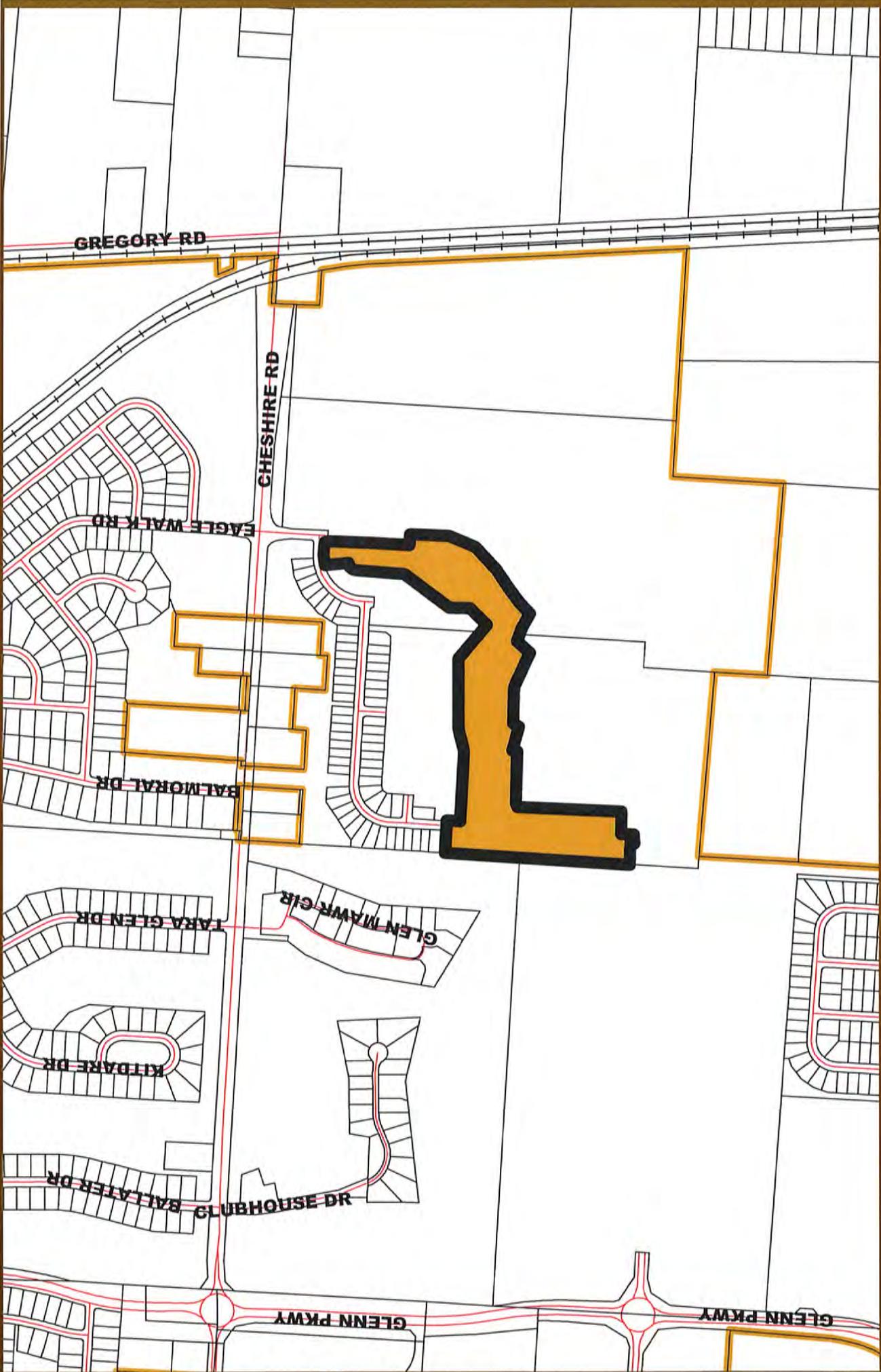
MOTION: _____ *1st* _____ *2nd* *approved* *denied* *tabled* _____

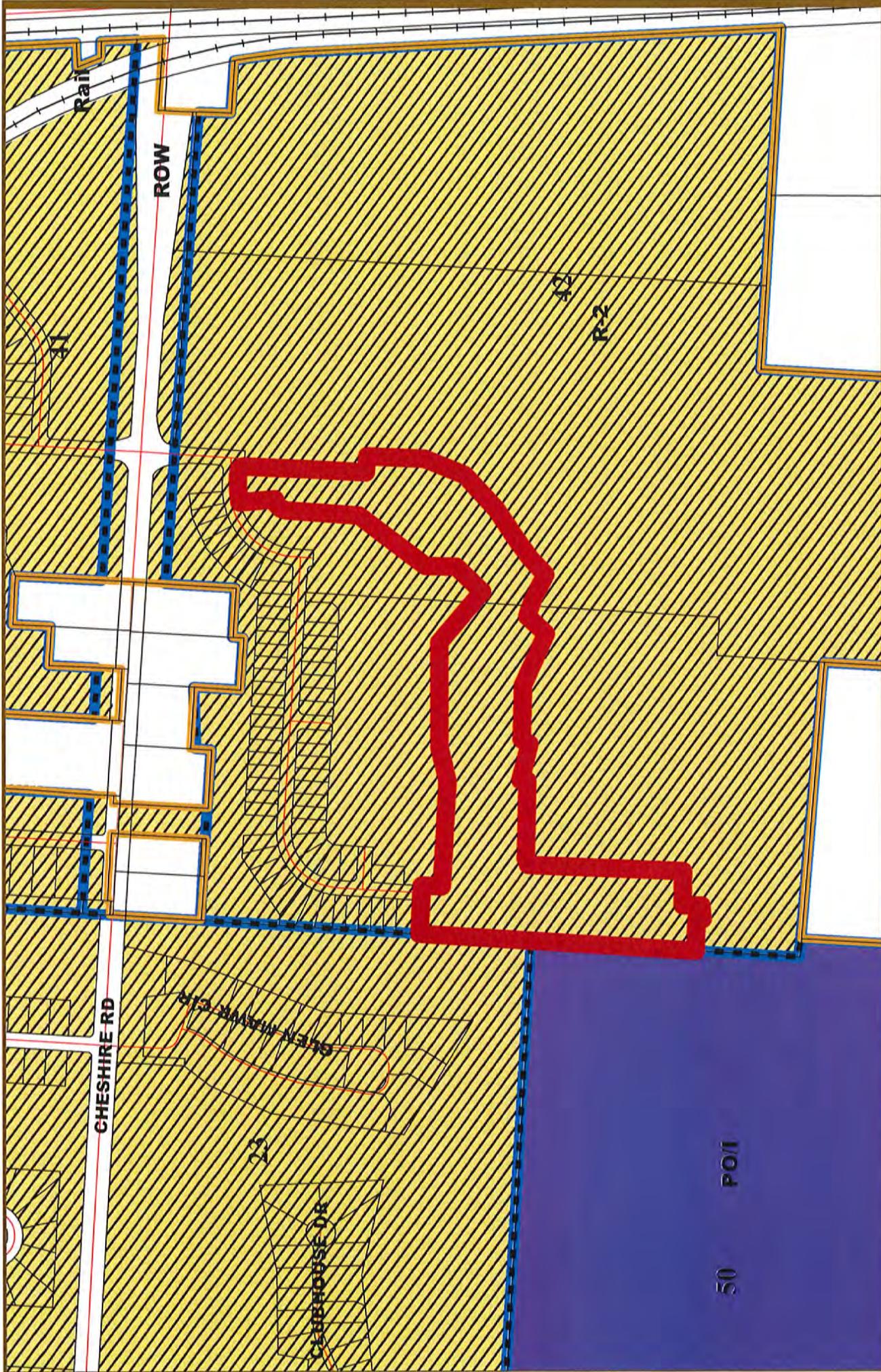
CONDITIONS/MISCELLANEOUS:

FILE:
ORIGINAL: 04/24/19
REVISED:



2019-0651 & 0653
Final Development Plan and Subdivision Plat
Communities at Glenross - Section 13
Location Map





2019-0651 & 0653
 Final Development Plan and Subdivision Plat
 Communities at Glenross - Section 13
 Zoning Map

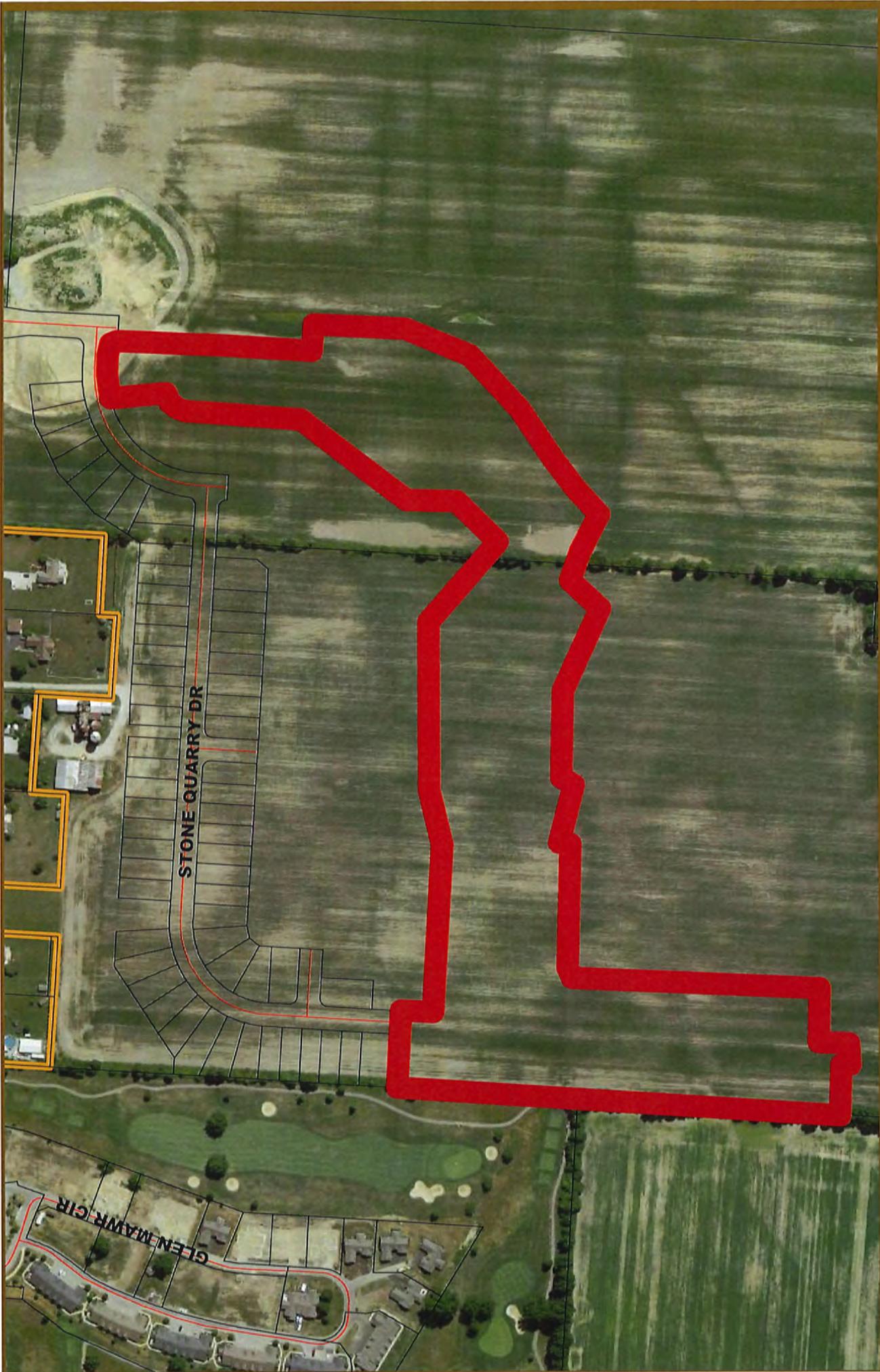
Chapter 1168 Tree Preservation Regulations the developer shall make a payment in lieu of planting trees (1,734 caliper inches removed less 186 caliper inches replaced totals 1,548 caliper inches). A payment in lieu of planting is \$100 per caliper inch, for a total of \$154,800, will be due in lieu of planting trees or plant more trees on this site or another qualifying site or a combination of both.

- **LIGHTING PLAN:** A lighting plan would have to be submitted, reviewed and approved by the Chief Building Official and achieve compliance with the zoning code and the approved development text.
- **SIGNAGE:** The entrance at Eastwind Road has a pair of stone columns affixed with smaller subdivision signage, per the approved development wayfinding signage plan.
- **PHASING:** Per the approved Preliminary Subdivision Plat, Section 14 would be the next section to be developed within the subdivision developed in twelve sections (11-22) from north to south on the west side of Winterbourne Drive and then from north to south on the east side of Winterbourne Drive, except for Section 15 which was constructed out of phase order. To ensure compliance with City emergency service requirements, it is important each section should be constructed as close to the proposed sequence order as possible. If developed in a different sequence additional access requirements including at a minimum providing adequate emergency access would likely be required. Section 15 provided an additional emergency access drive from Cheshire Road to Winter Shadow Loop. With multiple Sub-Areas and many more development sections the Communities at Glenross, it is important for reference and tracking purposes that the plans and plats for each section have appropriate nomenclature that correlates the sections to the applicable Zoning Sub-Areas. Therefore all plans and plats that reference a section or phase must include the Zoning Sub-Area name either in the title or some form approved by City Staff.

STAFF RECOMMENDATION – (2019-0651 FINAL DEVELOPMENT PLAN)

Staff recommends approval of a request by Pulte Homes of Ohio for a Final Development Plan for the Communities at Glenross Section 13 for 44 single family lots on 21.436 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located on Eastwind Road, Silver Branch Drive, Stone Quarry Drive and Harvest Moon Road, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. Winterbourne Drive shall include traffic calming measures as approved by the City Engineer.
3. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
4. The single family houses shall comply with the minimum architectural standards and house size in the approved development text and per applicable sections of the current zoning code.
5. The Winterbourne Drive mounds and landscape buffering shall match the existing buffering in Section 11 and 12 of the Communities at Glenross surrounding this development. The maintenance of the mound and associated landscaping shall be the responsibility of the Homeowner's Association. The subject plan shall be reviewed and approved by the Shade Tree Commission.
6. A street tree plan shall be submitted and approved by the Shade Tree Commission.
7. The bike path along Winterbourne Drive shall be installed by the developer and located within an easement dedicated to the City and shall be maintained by the Homeowner's Association.
8. This section of the Communities at Glenross Subdivision is in the Delaware South New Community Authority, subject to a per dwelling unit additional transportation fee of \$1,000 per unit due at the time of building permit issuance, and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling unit.
9. All signage shall achieve compliance with the graphics and signage requirements in the development text and the previously approved wayfinding system and plan for the community.
10. The applicant shall make a payment of \$154,800, will be due in lieu of planting trees or plant more trees on this site or another qualifying site or a combination of both to achieve compliance with the Tree Preservation Regulations in Chapter 1168.



2019-0651 & 0653
Final Development Plan and Subdivision Plat
Communities at Glenross - Section 13
Aerial (2016) Map



COMMUNITIES AT GLENROSS SECTION 13



LOCATION MAP
NO SCALE

PREPARED FOR:



475 METRO PLACE SOUTH
SUITE 200
DUBLIN, OHIO 43017
PH. 614-376-1000

SUBMITTAL: APRIL 2, 2019

INDEX OF DRAWINGS

FINAL PLAN:	SHEET 1-3
SECTION 13	SHEET 4
SITE PLAN:	SHEETS 5 & 6
TREE INVENTORY & REMOVAL PLAN:	SHEET 6 & 7
STREET LIGHTING PLAN:	SHEET 8
ILLUSTRATIVE SITE PLAN:	SHEET 9
LANDSCAPE PLANS:	E-1 - E-2

CIVIL ENGINEER

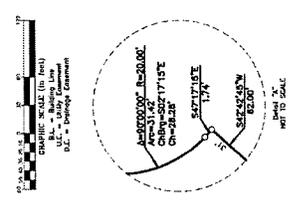
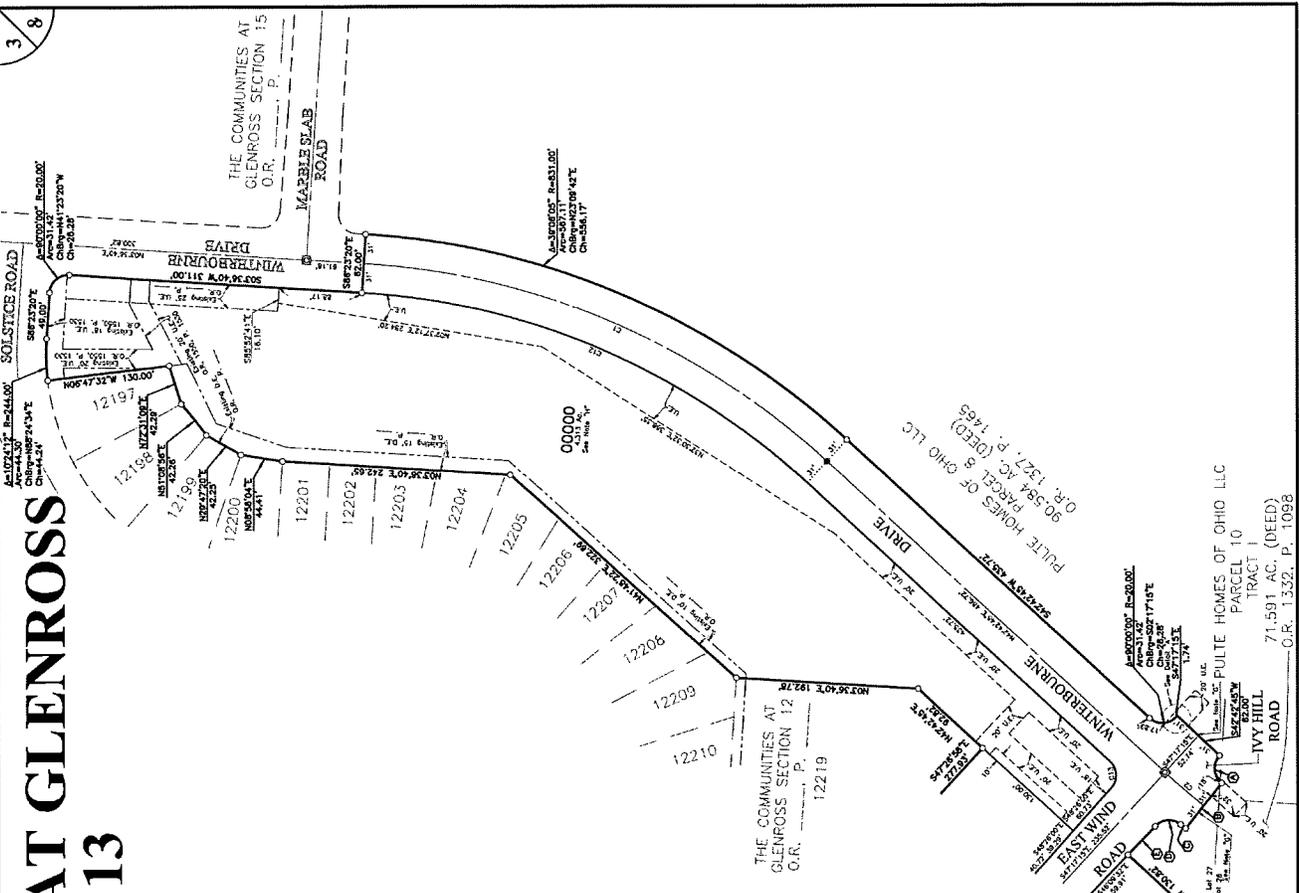


EMH&T
Engineering, Inc.
500 New Albany Road, Columbus, OH 43204
Phone: 614-775-6000 Fax: 614-775-3440
emht.com

THE COMMUNITIES AT GLENROSS SECTION 13

LOT NO.	AREA	PERMITS	LENGTH	WIDTH	AREA	PERMITS	LENGTH	WIDTH	AREA
01	3078.00'	800.00'	545.00'	535.00'	1,334,100.00'	1,334,100.00'	535.00'	535.00'	286,225.00'
02	3234.15'	800.00'	545.15'	535.15'	1,334,100.00'	1,334,100.00'	535.15'	535.15'	286,225.00'
03	3078.00'	775.00'	519.00'	509.00'	1,270,500.00'	1,270,500.00'	509.00'	509.00'	260,000.00'
04	3234.15'	775.00'	519.15'	509.15'	1,270,500.00'	1,270,500.00'	509.15'	509.15'	260,000.00'
05	3078.00'	750.00'	493.00'	483.00'	1,206,900.00'	1,206,900.00'	483.00'	483.00'	233,800.00'
06	3234.15'	750.00'	493.15'	483.15'	1,206,900.00'	1,206,900.00'	483.15'	483.15'	233,800.00'
07	3078.00'	725.00'	467.00'	457.00'	1,143,300.00'	1,143,300.00'	457.00'	457.00'	207,600.00'
08	3234.15'	725.00'	467.15'	457.15'	1,143,300.00'	1,143,300.00'	457.15'	457.15'	207,600.00'
09	3078.00'	700.00'	441.00'	431.00'	1,079,700.00'	1,079,700.00'	431.00'	431.00'	181,400.00'
10	3234.15'	700.00'	441.15'	431.15'	1,079,700.00'	1,079,700.00'	431.15'	431.15'	181,400.00'
11	3078.00'	675.00'	415.00'	405.00'	1,016,100.00'	1,016,100.00'	405.00'	405.00'	155,200.00'
12	3234.15'	675.00'	415.15'	405.15'	1,016,100.00'	1,016,100.00'	405.15'	405.15'	155,200.00'
13	3078.00'	650.00'	389.00'	379.00'	952,500.00'	952,500.00'	379.00'	379.00'	129,000.00'
14	3234.15'	650.00'	389.15'	379.15'	952,500.00'	952,500.00'	379.15'	379.15'	129,000.00'
15	3078.00'	625.00'	363.00'	353.00'	888,900.00'	888,900.00'	353.00'	353.00'	102,800.00'
16	3234.15'	625.00'	363.15'	353.15'	888,900.00'	888,900.00'	353.15'	353.15'	102,800.00'
17	3078.00'	600.00'	337.00'	327.00'	825,300.00'	825,300.00'	327.00'	327.00'	76,600.00'
18	3234.15'	600.00'	337.15'	327.15'	825,300.00'	825,300.00'	327.15'	327.15'	76,600.00'
19	3078.00'	575.00'	311.00'	301.00'	761,700.00'	761,700.00'	301.00'	301.00'	70,400.00'
20	3234.15'	575.00'	311.15'	301.15'	761,700.00'	761,700.00'	301.15'	301.15'	70,400.00'
21	3078.00'	550.00'	285.00'	275.00'	698,100.00'	698,100.00'	275.00'	275.00'	64,200.00'
22	3234.15'	550.00'	285.15'	275.15'	698,100.00'	698,100.00'	275.15'	275.15'	64,200.00'
23	3078.00'	525.00'	259.00'	249.00'	634,500.00'	634,500.00'	249.00'	249.00'	58,000.00'
24	3234.15'	525.00'	259.15'	249.15'	634,500.00'	634,500.00'	249.15'	249.15'	58,000.00'
25	3078.00'	500.00'	233.00'	223.00'	570,900.00'	570,900.00'	223.00'	223.00'	51,800.00'
26	3234.15'	500.00'	233.15'	223.15'	570,900.00'	570,900.00'	223.15'	223.15'	51,800.00'
27	3078.00'	475.00'	207.00'	197.00'	507,300.00'	507,300.00'	197.00'	197.00'	45,600.00'
28	3234.15'	475.00'	207.15'	197.15'	507,300.00'	507,300.00'	197.15'	197.15'	45,600.00'
29	3078.00'	450.00'	181.00'	171.00'	443,700.00'	443,700.00'	171.00'	171.00'	39,400.00'
30	3234.15'	450.00'	181.15'	171.15'	443,700.00'	443,700.00'	171.15'	171.15'	39,400.00'
31	3078.00'	425.00'	155.00'	145.00'	380,100.00'	380,100.00'	145.00'	145.00'	33,200.00'
32	3234.15'	425.00'	155.15'	145.15'	380,100.00'	380,100.00'	145.15'	145.15'	33,200.00'
33	3078.00'	400.00'	129.00'	119.00'	316,500.00'	316,500.00'	119.00'	119.00'	27,000.00'
34	3234.15'	400.00'	129.15'	119.15'	316,500.00'	316,500.00'	119.15'	119.15'	27,000.00'
35	3078.00'	375.00'	103.00'	93.00'	252,900.00'	252,900.00'	93.00'	93.00'	20,800.00'
36	3234.15'	375.00'	103.15'	93.15'	252,900.00'	252,900.00'	93.15'	93.15'	20,800.00'
37	3078.00'	350.00'	77.00'	67.00'	189,300.00'	189,300.00'	67.00'	67.00'	14,600.00'
38	3234.15'	350.00'	77.15'	67.15'	189,300.00'	189,300.00'	67.15'	67.15'	14,600.00'
39	3078.00'	325.00'	51.00'	41.00'	125,700.00'	125,700.00'	41.00'	41.00'	8,400.00'
40	3234.15'	325.00'	51.15'	41.15'	125,700.00'	125,700.00'	41.15'	41.15'	8,400.00'

- ① AREA=110' R=20.00'
Area=3.71
Ch=852.37
Ch=852.37
- ② HO=110' R=20.00'
Area=3.71
Ch=852.37
Ch=852.37
- ③ AREA=200' R=31.00'
Area=12.57
Ch=1000.00
Ch=1000.00
- ④ AREA=350' R=50.00'
Area=24.74
Ch=1750.00
Ch=1750.00
- ⑤ AREA=500' R=70.00'
Area=50.93
Ch=2500.00
Ch=2500.00



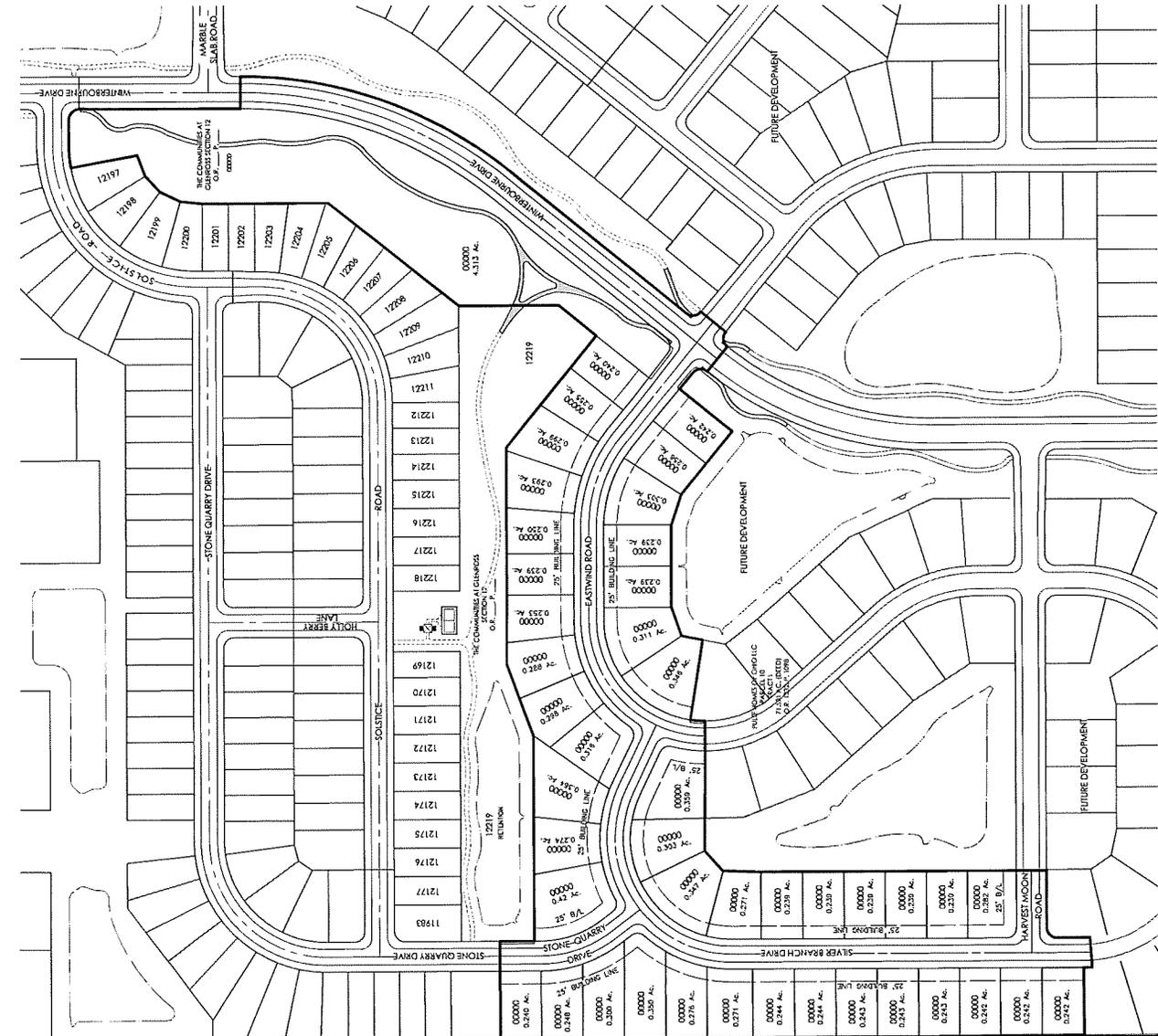
CITY OF DEWAR, DEWAR COUNTY, OHIO
 COMMUNITIES AT GLENROSS
 SECTION 13
 SITE PLAN
 FINAL DEVELOPMENT PLAN



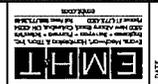
REVISIONS	DATE	DESCRIPTION

SITE STATISTICS:
 TOTAL ACRES: 237.434 ACRES
 TOTAL IMPROVED ACRES: 14.100 ACRES
 TOTAL OPEN SPACE: 45.313 ACRES

NOTES:
 NOTE #1: RESERVES STREET SHALL BE OWNED AND MAINTAINED BY THE COMMUNITIES AT GLENROSS HOMEOWNERS ASSOCIATION.



FINAL DEVELOPMENT PLAN
COMMUNITIES AT GLENROSS
 SECTION 13
 TREE INVENTORY & REMOVAL PLAN



DATE: APR 2, 2019
 SCALE: 1" = 100'
 SHEETS: 5/8
 SHEET: 5/8

TREE INVENTORY
 Total Number of Trees: 94 (1,724 Caliper Inches)
 Number of Trees Removed: 24 (1,724 Caliper Inches)
 Number of Trees to be Replaced: 70 (1,724 Caliper Inches)
 Total Number of Trees Preserved: 0 (0 Caliper Inches)



Tree ID	Caliper (inches)	Height (feet)	Species	Status
1219	1.2	12	Red Maple	Remove
1220	1.5	15	Red Maple	Remove
1221	1.8	18	Red Maple	Remove
1222	2.1	21	Red Maple	Remove
1223	2.4	24	Red Maple	Remove
1224	2.7	27	Red Maple	Remove
1225	3.0	30	Red Maple	Remove
1226	3.3	33	Red Maple	Remove
1227	3.6	36	Red Maple	Remove
1228	3.9	39	Red Maple	Remove
1229	4.2	42	Red Maple	Remove
1230	4.5	45	Red Maple	Remove
1231	4.8	48	Red Maple	Remove
1232	5.1	51	Red Maple	Remove
1233	5.4	54	Red Maple	Remove
1234	5.7	57	Red Maple	Remove
1235	6.0	60	Red Maple	Remove
1236	6.3	63	Red Maple	Remove
1237	6.6	66	Red Maple	Remove
1238	6.9	69	Red Maple	Remove
1239	7.2	72	Red Maple	Remove
1240	7.5	75	Red Maple	Remove
1241	7.8	78	Red Maple	Remove
1242	8.1	81	Red Maple	Remove
1243	8.4	84	Red Maple	Remove
1244	8.7	87	Red Maple	Remove
1245	9.0	90	Red Maple	Remove
1246	9.3	93	Red Maple	Remove
1247	9.6	96	Red Maple	Remove
1248	9.9	99	Red Maple	Remove
1249	10.2	102	Red Maple	Remove
1250	10.5	105	Red Maple	Remove
1251	10.8	108	Red Maple	Remove
1252	11.1	111	Red Maple	Remove
1253	11.4	114	Red Maple	Remove
1254	11.7	117	Red Maple	Remove
1255	12.0	120	Red Maple	Remove
1256	12.3	123	Red Maple	Remove
1257	12.6	126	Red Maple	Remove
1258	12.9	129	Red Maple	Remove
1259	13.2	132	Red Maple	Remove
1260	13.5	135	Red Maple	Remove
1261	13.8	138	Red Maple	Remove
1262	14.1	141	Red Maple	Remove
1263	14.4	144	Red Maple	Remove
1264	14.7	147	Red Maple	Remove
1265	15.0	150	Red Maple	Remove
1266	15.3	153	Red Maple	Remove
1267	15.6	156	Red Maple	Remove
1268	15.9	159	Red Maple	Remove
1269	16.2	162	Red Maple	Remove
1270	16.5	165	Red Maple	Remove
1271	16.8	168	Red Maple	Remove
1272	17.1	171	Red Maple	Remove
1273	17.4	174	Red Maple	Remove
1274	17.7	177	Red Maple	Remove
1275	18.0	180	Red Maple	Remove
1276	18.3	183	Red Maple	Remove
1277	18.6	186	Red Maple	Remove
1278	18.9	189	Red Maple	Remove
1279	19.2	192	Red Maple	Remove
1280	19.5	195	Red Maple	Remove
1281	19.8	198	Red Maple	Remove
1282	20.1	201	Red Maple	Remove
1283	20.4	204	Red Maple	Remove
1284	20.7	207	Red Maple	Remove
1285	21.0	210	Red Maple	Remove
1286	21.3	213	Red Maple	Remove
1287	21.6	216	Red Maple	Remove
1288	21.9	219	Red Maple	Remove
1289	22.2	222	Red Maple	Remove
1290	22.5	225	Red Maple	Remove
1291	22.8	228	Red Maple	Remove
1292	23.1	231	Red Maple	Remove
1293	23.4	234	Red Maple	Remove
1294	23.7	237	Red Maple	Remove
1295	24.0	240	Red Maple	Remove
1296	24.3	243	Red Maple	Remove
1297	24.6	246	Red Maple	Remove
1298	24.9	249	Red Maple	Remove
1299	25.2	252	Red Maple	Remove
1300	25.5	255	Red Maple	Remove
1301	25.8	258	Red Maple	Remove
1302	26.1	261	Red Maple	Remove
1303	26.4	264	Red Maple	Remove
1304	26.7	267	Red Maple	Remove
1305	27.0	270	Red Maple	Remove
1306	27.3	273	Red Maple	Remove
1307	27.6	276	Red Maple	Remove
1308	27.9	279	Red Maple	Remove
1309	28.2	282	Red Maple	Remove
1310	28.5	285	Red Maple	Remove
1311	28.8	288	Red Maple	Remove
1312	29.1	291	Red Maple	Remove
1313	29.4	294	Red Maple	Remove
1314	29.7	297	Red Maple	Remove
1315	30.0	300	Red Maple	Remove
1316	30.3	303	Red Maple	Remove
1317	30.6	306	Red Maple	Remove
1318	30.9	309	Red Maple	Remove
1319	31.2	312	Red Maple	Remove
1320	31.5	315	Red Maple	Remove
1321	31.8	318	Red Maple	Remove
1322	32.1	321	Red Maple	Remove
1323	32.4	324	Red Maple	Remove
1324	32.7	327	Red Maple	Remove
1325	33.0	330	Red Maple	Remove
1326	33.3	333	Red Maple	Remove
1327	33.6	336	Red Maple	Remove
1328	33.9	339	Red Maple	Remove
1329	34.2	342	Red Maple	Remove
1330	34.5	345	Red Maple	Remove
1331	34.8	348	Red Maple	Remove
1332	35.1	351	Red Maple	Remove
1333	35.4	354	Red Maple	Remove
1334	35.7	357	Red Maple	Remove
1335	36.0	360	Red Maple	Remove
1336	36.3	363	Red Maple	Remove
1337	36.6	366	Red Maple	Remove
1338	36.9	369	Red Maple	Remove
1339	37.2	372	Red Maple	Remove
1340	37.5	375	Red Maple	Remove
1341	37.8	378	Red Maple	Remove
1342	38.1	381	Red Maple	Remove
1343	38.4	384	Red Maple	Remove
1344	38.7	387	Red Maple	Remove
1345	39.0	390	Red Maple	Remove
1346	39.3	393	Red Maple	Remove
1347	39.6	396	Red Maple	Remove
1348	39.9	399	Red Maple	Remove
1349	40.2	402	Red Maple	Remove
1350	40.5	405	Red Maple	Remove
1351	40.8	408	Red Maple	Remove
1352	41.1	411	Red Maple	Remove
1353	41.4	414	Red Maple	Remove
1354	41.7	417	Red Maple	Remove
1355	42.0	420	Red Maple	Remove
1356	42.3	423	Red Maple	Remove
1357	42.6	426	Red Maple	Remove
1358	42.9	429	Red Maple	Remove
1359	43.2	432	Red Maple	Remove
1360	43.5	435	Red Maple	Remove
1361	43.8	438	Red Maple	Remove
1362	44.1	441	Red Maple	Remove
1363	44.4	444	Red Maple	Remove
1364	44.7	447	Red Maple	Remove
1365	45.0	450	Red Maple	Remove
1366	45.3	453	Red Maple	Remove
1367	45.6	456	Red Maple	Remove
1368	45.9	459	Red Maple	Remove
1369	46.2	462	Red Maple	Remove
1370	46.5	465	Red Maple	Remove
1371	46.8	468	Red Maple	Remove
1372	47.1	471	Red Maple	Remove
1373	47.4	474	Red Maple	Remove
1374	47.7	477	Red Maple	Remove
1375	48.0	480	Red Maple	Remove
1376	48.3	483	Red Maple	Remove
1377	48.6	486	Red Maple	Remove
1378	48.9	489	Red Maple	Remove
1379	49.2	492	Red Maple	Remove
1380	49.5	495	Red Maple	Remove
1381	49.8	498	Red Maple	Remove
1382	50.1	501	Red Maple	Remove
1383	50.4	504	Red Maple	Remove
1384	50.7	507	Red Maple	Remove
1385	51.0	510	Red Maple	Remove
1386	51.3	513	Red Maple	Remove
1387	51.6	516	Red Maple	Remove
1388	51.9	519	Red Maple	Remove
1389	52.2	522	Red Maple	Remove
1390	52.5	525	Red Maple	Remove
1391	52.8	528	Red Maple	Remove
1392	53.1	531	Red Maple	Remove
1393	53.4	534	Red Maple	Remove
1394	53.7	537	Red Maple	Remove
1395	54.0	540	Red Maple	Remove
1396	54.3	543	Red Maple	Remove
1397	54.6	546	Red Maple	Remove
1398	54.9	549	Red Maple	Remove
1399	55.2	552	Red Maple	Remove
1400	55.5	555	Red Maple	Remove
1401	55.8	558	Red Maple	Remove
1402	56.1	561	Red Maple	Remove
1403	56.4	564	Red Maple	Remove
1404	56.7	567	Red Maple	Remove
1405	57.0	570	Red Maple	Remove
1406	57.3	573	Red Maple	Remove
1407	57.6	576	Red Maple	Remove
1408	57.9	579	Red Maple	Remove
1409	58.2	582	Red Maple	Remove
1410	58.5	585	Red Maple	Remove
1411	58.8	588	Red Maple	Remove
1412	59.1	591	Red Maple	Remove
1413	59.4	594	Red Maple	Remove
1414	59.7	597	Red Maple	Remove
1415	60.0	600	Red Maple	Remove
1416	60.3	603	Red Maple	Remove
1417	60.6	606	Red Maple	Remove
1418	60.9	609	Red Maple	Remove
1419	61.2	612	Red Maple	Remove
1420	61.5	615	Red Maple	Remove
1421	61.8	618	Red Maple	Remove
1422	62.1	621	Red Maple	Remove
1423	62.4	624	Red Maple	Remove
1424	62.7	627	Red Maple	Remove
1425	63.0	630	Red Maple	Remove
1426	63.3	633	Red Maple	Remove
1427	63.6	636	Red Maple	Remove
1428	63.9	639	Red Maple	Remove
1429	64.2	642	Red Maple	Remove
1430	64.5	645	Red Maple	Remove
1431	64.8	648	Red Maple	Remove
1432	65.1	651	Red Maple	Remove
1433	65.4	654	Red Maple	Remove
1434	65.7	657	Red Maple	Remove
1435	66.0	660	Red Maple	Remove
1436	66.3	663	Red Maple	Remove
1437	66.6	666	Red Maple	Remove
1438	66.9	669	Red Maple	Remove
1439	67.2	672	Red Maple	Remove
1440	67.5	675	Red Maple	Remove
1441	67.8	678	Red Maple	Remove
1442	68.1	681	Red Maple	Remove
1443	68.4	684	Red Maple	Remove
1444	68.7	687	Red Maple	Remove
1445	69.0	690	Red Maple	Remove
1446	69.3	693	Red Maple	Remove
1447	69.6	696	Red Maple	Remove
1448	69.9	699	Red Maple	Remove
1449	70.2	702	Red Maple	Remove
1450	70.5	705	Red Maple	Remove
1451	70.8	708	Red Maple	Remove
1452	71.1	711	Red Maple	Remove
1453	71.4	714	Red Maple	Remove
1454	71.7	717	Red Maple	Remove
1455	72.0	720	Red Maple	Remove
1456	72.3	723	Red Maple	Remove
1457	72.6	726	Red Maple	Remove
1458	72.9	729	Red Maple	Remove
1459	73.2	732	Red Maple	Remove
1460	73.5	735	Red Maple	Remove
1461	73.8	738	Red Maple	Remove
1462	74.1	741	Red Maple	Remove
1463	74.4	744	Red Maple	Remove
1464	74.7	747	Red Maple	Remove
1465	75.0	750	Red Maple	Remove
1466	75.3	753	Red Maple	Remove
1467	75.6	756	Red Maple	Remove
1468	75.9	759	Red Maple	Remove
1469	76.2	762	Red Maple	Remove
1470	76.5	765	Red Maple	Remove
1471	76.8	768	Red Maple	Remove
1472	77.1	771	Red Maple	Remove
1473	77.4	774	Red Maple	Remove
1474	77.7	777	Red Maple	Remove
1475	78.0	780	Red Maple	Remove
1476	78.3	783	Red Maple	Remove
1477	78.6	786	Red Maple	Remove
1478	78.9	789	Red Maple	Remove
1479	79.2	792	Red Maple	Remove
1480	79.5	795	Red Maple	Remove
1481	79.8	798	Red Maple	Remove
1482	80.1	801	Red Maple	Remove
1483	80.4	804	Red Maple	Remove
1484	80.7	807	Red Maple	Remove
1485	81.0	810	Red Maple	Remove
1486	81.3	813	Red Maple	Remove
1487	81.6	816	Red Maple	Remove
1488	81.9	819	Red Maple	Remove
1489	82.2			



CITY OF DELAWARE, OHIO
 PLANNING & COMMUNITY DEVELOPMENT
 MASTER APPLICATION FORM



Project # _____ Case # _____

Planning Commission

- | | | |
|--|---|---|
| <input type="checkbox"/> Amended Final Development Plan | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use |
| <input type="checkbox"/> Amended Final Subdivision Plat | <input type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Vacation-Alley |
| <input type="checkbox"/> Amended Preliminary Development Plan | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat | <input type="checkbox"/> Floodplain Permit | <input type="checkbox"/> Vacation-Street |
| <input type="checkbox"/> Annexation Review | <input type="checkbox"/> Lot Split | <u>Board of Zoning Appeals</u> |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Development Plan | <input type="checkbox"/> Conditional Use Permit |
| <input type="checkbox"/> Concept Plan | <input type="checkbox"/> Preliminary Dev Plan Extension | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Preliminary Sub Plat | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Determination of Similar Use | <input type="checkbox"/> Preliminary Sub Plat Extension | |
| <input type="checkbox"/> Development Plan Exemption | <input type="checkbox"/> Rezoning | |
| <input checked="" type="checkbox"/> Final Development Plan | <input type="checkbox"/> Subdivision Variance | |

Subdivision/Project Name THE COMMONWEALTH AT GLENN'S B Address CHESHIRE ROAD

Acreage 21.436 Square Footage _____ Number of Lots 45 Number of Units _____

Zoning District/Land Use _____ Proposed Zoning/Land Use _____ Parcel # 41832001035000 / 41832001040000

Applicant Name PULTE HOMES OF OHIO LLC Contact Person MATY CALLAHAN

Applicant Address 475 METRO PLACE SOUTH, SUITE 200

Phone 614-376-1000 Fax _____ E-mail MATTHEW.CALLAHAN@PULTE.COM

Owner Name SAME AS APPLICANT Contact Person _____

Owner Address _____

Phone _____ Fax _____ E-mail _____

Engineer/Architect/Attorney EMHAT Contact Person BROWN PROVER

Address 5500 NEW ALBANY ROAD, COLUMBUS, OHIO, 43054

Phone 614-775-4344 Fax _____ E-mail BPROVER@EMHAT.COM

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

[Signature] Owner Signature Division VP Land Acquisition MATY Callahan Owner Printed Name

Agent Signature _____ Agent Printed Name _____

Sworn to before me and subscribed in my presence this _____ day of _____, 20__.



Notary Stamp
KELLY J. BLYTHE
 Notary Public, State of Ohio
 My Commission Expires MAY 14, 2022

[Signature]
 Notary Public



**CITY OF DELAWARE, OHIO
PLANNING & COMMUNITY DEVELOPMENT
MASTER APPLICATION FORM**



Project # _____ Case # _____

Planning Commission

- | | | |
|--|--|---|
| <input type="checkbox"/> Amended Final Development Plan | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use |
| <input type="checkbox"/> Amended Final Subdivision Plat | <input checked="" type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Vacation-Alley |
| <input type="checkbox"/> Amended Preliminary Development Plan | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat | <input type="checkbox"/> Floodplain Permit | <input type="checkbox"/> Vacation-Street |
| <input type="checkbox"/> Annexation Review | <input type="checkbox"/> Lot Split | Board of Zoning Appeals |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Development Plan | <input type="checkbox"/> Conditional Use Permit |
| <input type="checkbox"/> Concept Plan | <input type="checkbox"/> Preliminary Dev Plan Extension | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Preliminary Sub Plat | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Determination of Similar Use | <input type="checkbox"/> Preliminary Sub Plat Extension | |
| <input type="checkbox"/> Development Plan Exemption | <input type="checkbox"/> Rezoning | |
| <input type="checkbox"/> Final Development Plan | <input type="checkbox"/> Subdivision Variance | |

Subdivision/Project Name THE COMMONWEALTHS AT GLOBESS B Address CHESTER ROAD

Acreage 21.436 Square Footage _____ Number of Lots 45 Number of Units _____

Zoning District/Land Use _____ Proposed Zoning/Land Use _____ Parcel # 41832001035000/41832001040000

Applicant Name PULTE HOMES OF OHIO LLC Contact Person MAT CALLAHAN

Applicant Address 475 METRO PLACE SOUTH, SUITE 200

Phone 614-376-1000 Fax _____ E-mail MATTHEW.CALLAHAN@PULTE.COM

Owner Name SAME AS APPLICANT Contact Person _____

Owner Address _____

Phone _____ Fax _____ E-mail _____

Engineer/Architect/Attorney EMHAT Contact Person BREAN BREWER

Address 5500 NEW ALBANY ROAD, COLUMBUS, OHIO, 43054

Phone 614-775-4344 Fax _____ E-mail BREWER@EMHAT.COM

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

[Signature] Owner Signature **Division VP Land Acquisition** [Signature] Owner Printed Name

Agent Signature Agent Printed Name

Sworn to before me and subscribed in my presence this _____ day of _____, 20__.



Notary Stamp
KELLY J. BLYTHE
Notary Public, State of Ohio
My Commission Expires MAY 14, 2022

[Signature]
Notary Public



PLANNING COMMISSION / STAFF REPORT

CASE NUMBER: 2019-0655-0656, 0659-0660

REQUEST: Multiple Requests

PROJECT: Belmont Place

MEETING DATE: May 1, 2019

APPLICANT/OWNER

Glenn Road Capital LLC
6689 Dublin Center Drive
Dublin, Ohio 43017

REQUEST

2019-0655: A request by Glenn Road Capital LLC for approval of a Final Development Plan for Belmont Place Section 6 containing 48 single family lots on approximately 18.48 acres zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Business District and Agricultural District with a Planned Mixed Use Overlay District) and located on Crownover Way LaChance Lane, McNamara Loop and Brets Lane.

2019-0656: A request by Glenn Road Capital LLC for approval of a Final Subdivision Plat for Belmont Place Section 6 containing 48 single family lots on approximately 18.48 acres zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Business District and Agricultural District with a Planned Mixed Use Overlay District) and located on Crownover Way LaChance Lane, McNamara Loop and Brets Lane.

2019-0659: A request by Glenn Road Capital LLC for approval of a Final Development Plan for Belmont Place Section 7 containing 53 single family lots on approximately 20.46 acres zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Business District and Agricultural District with a Planned Mixed Use Overlay District) and located on McNamara Loop, Brets Lane and Haughton Lane.

2019-0660: A request by Glenn Road Capital LLC for approval of a Final Subdivision Plat for Belmont Place Section 7 containing 53 single family lots on approximately 20.46 acres zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Business District and Agricultural District with a Planned Mixed Use Overlay District) and located on McNamara Loop, Brets Lane and Haughton Lane.

PROPERTY LOCATION & DESCRIPTION

The subject property is located on the east side of Glenn Parkway and north of Peachblow Road. The zoning of the subject properties, which is in Sub-Area A per the May 2009 rezoning (Ordinance 08-113), are B-3, R-6 and A-1 PMU. The surrounding zoning to the north is PO/I PMU (Planned Office/Institutional with a Planned Mixed Use Overlay District) and the zoning to the east is R-3 PMU in the City while the properties to the west and south are in the township zoned I (Industrial District) to the west and FR-1 (Farmland District) to the south. Sub Area A encompasses approximately 50 acres including commercial and residential property. The subject property is vacant farmland with some trees along the northern property line and some scattered in the southern portion of the site. In addition, the subject development is located within the Delaware South New Community Authority, Evans Residential TIF District and Southern Point Commercial TIF District. Also it is located within the southeast Highland Sanitary Sewer area.

BACKGROUND/PROPOSAL

On May 11, 2009 City Council approved Ordinance's 08-112 and 08-113 which approved a Conditional Use Permit and Rezoning adding a PMU Overlay District (Planned Mixed Use District) on the subject 109 acres. The PMU was divided into Sub Areas A & B which contained 62 and 47 acres respectively (now approximately 56 and 53 acres respectively). Sub Area A permits residential, office, retail services, communities facilities and recreational/open space uses while Sub Area B permits residential, office, community facilities and recreational/open space uses.

In December 2013, Planning Commission and City Council approved Preliminary Development Plans and Preliminary Subdivision Plats (Ordinances 13-76 & 13-77) for Sections 1-3 which contained 74 single family lots on approximately 31.5 acres which also included a concept plan of today's Section 4 and 5. Then in March 2014, Planning Commission and City Council approved Final Development Plans for Sections 1-3 (Ordinance 14-16) and Final Subdivision Plat for Section 1 (Ordinance 14-17). Finally in April 2016, Planning Commission and City Council approved Final Subdivision Plats for Sections 2 and 3 (Ordinances 16-30 & 16-31 respectively).

In June 2017, Planning Commission and City Council approved a Preliminary Development Plan, Preliminary Subdivision Plat and Final Development Plan for Sections 4 and 5 and Final Subdivision Plat approval for Sections 4 which contained the remaining 21.5 acres of Sub-Area B with 72 single family lots which is located

just north of Sections 1-3. Then in July 2018, Planning Commission and City Council approved the Final Subdivision Plat for Section 5.

In November 2018, Planning Commission and City Council approved a Development Text Amendment, Preliminary Development Plan and Preliminary Subdivision Plat for Sub-Area A which contains approximately 50 acres and permits detached single family lots, attached single family/patio/condominium units, multi-family, commercial and office uses.

Now the developer is proposing to advance the Final Development Plan and Final Subdivision Plat for Sections 6 and 7. Section 6 would contain 48 single family lots on 18.48 acres and Section 7 would contain 53 single family lots on 20.46 acres.

STAFF ANALYSIS

- **ZONING:** As mentioned above, Sub-Area A is zoned B-3, R-6 and A-1 PMU. The zoning was amended in 2018 to allow proposed development. From a procedural perspective, a Final Development Plan and Final Subdivision Plat would require Planning Commission and City Council approval to initiate any construction.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on a technical review by the Engineering Department once a complete plan set is submitted for review. Both water and sewer utilities would be public and would be extended to Sections 6 and 7. Also, the subject development is located in the South East Highland Sanitary Sewer District which requires an additional capacity charge of \$3,200 per dwelling unit.
- **ROADS AND ACCESS:** Section 6 would have a full movement curb cut from Glenn Parkway (at Crownover Way) and Section 7 would have a full movement curb cut at Peachblow Road (at Crownover Way) as the primary access points to the respective sections. In Section 6, there is a private street located on the western portion of the section and east of the proposed four commercial out lots fronting Glenn Parkway. If and when warranted, the City would install a traffic signal at the Glenn Parkway and Peachblow Road intersection and at Glenn Parkway at the northern most access point to the Belmont West Subdivision, per previous agreements.

The internal public road network for Sections 6 and 7 would be a looped road configuration with three streets bisecting in an east/west direction with exit locations at the aforementioned curb cuts on Glenn Parkway and Peachblow Road. All the streets would be public and would have to comply with the minimum engineering standards except the private street located on the east side of the four commercial out lots north of Peachblow Road. The private street would have to be constructed to public standards per the City Engineer.

- **SITE LAYOUT:** Section 6, which contains 48 single family lots, is located on the northern half of Sub-Area A with primary access from Glenn Parkway and includes a private road along the western portion of the section. Two reserve areas (lot 12665 – 1.580 acres and lot 12664 – 1.137 acres) with retention ponds are located north and south of the main entrance from Glenn Parkway respectively.

Section 7, which contains 53 single family lots, is located on the southern half of Sub-Area A with primary access from Peachblow Road thru Crownover Way. There is an existing retention basin located just west of Crownover Way and a large reserve open space area (lot 12720 - 6.495 acres) located on the western portion of the section. This open space is programmed and serves as a buffer to the future four commercial out lots fronting Glenn Parkway.

The approved development text has the following detached single family lot requirements for Sections 6 and 7 : 7,700 square foot minimum lot size, 65 foot minimum lot width at building line, 115 foot minimum lot depth, 25 and 30 foot front yard setback (lots 12634-12662 in Section 6 and lots 12667-12675 in Section 7 have 25 foot front yard setbacks), 8 foot side yard setbacks; 30 foot rear yard setbacks and 1,500 square foot minimum house size. In addition, the corner lots would need to be oversized by 30% (85 foot wide) to comply with the current zoning code.

- **DESIGN** The subject development has approved development text that requires specific design requirements for the detached single family residential houses in Sections 6 and 7. The residential houses would not only have to meet the minimum standards of the Residential Development Design Criteria and Performance Standards in Chapter 1171 but also the more restrictive residential architectural standards in the approved

development text. Some of the upgrades include: 1.) At least 50% of the front elevation of all homes shall consist of approved natural materials as defined in the text (stucco is not considered a natural material); 2.) Upgraded garage door standards for doors that face a public street; 3.) No blank walls; 4.) The same model of home or the same exterior color of the home shall not be placed on adjacent lots and shall not be placed on facing lots.

- **OPEN SPACE & PARKLANDS** In Section 6 there are three reserve areas. Lots 12664 (1.137 acres) and 12665 (1.58 acres) are reserve areas located south and north of the main entrance from Glenn Parkway on Crownover Way Road and are passive open spaces. Both have retention ponds and lot 12665 has the main entrance sign for the subdivision. Lot 12633 is a 0.24 acre remnant piece of property that is passive open space located on the northeastern portion of the section adjacent to Section 5 (it abuts a passive open space in Section 5 to the east).

In Section 7, lot 12270 is a 6.495 reserve area that serves a dual purpose as a buffer and active open space. The open space has overlapped continuous 4 to 6 foot high mounds with landscaping providing a buffer adjacent to the proposed commercial out lots to the west and intermittent 4-6 high mounding with landscaping along Peachblow Road to the south along with having a bike path extended to and looped through the reserve area. Along the bike path within the reserve is a fit-trail with ten stations.

- **LANDSCAPING PLAN:** For Sections 6 and 7, the applicant has submitted a comprehensive landscaping plan that includes street trees, landscaping in reserve areas and mounding with landscaping along Peachblow Road. The developer is proposing street trees along all the public residential streets per the zoning code in Sections 6 and 7. In Section 6 lot 12665, the developer is proposing a ground sign with landscaping to create an aesthetically pleasing entrance to the Belmont Place Subdivision from Glenn Parkway. As mentioned above in Section 7 (lot 12270), the developer is proposing overlapped continuous 4 to 6 foot high mounds with landscaping providing buffer adjacent to the proposed commercial out lots to the west and intermittent 4-6 high mounding with landscaping and an intermittent three rail fence along Peachblow Road to the south along with having a bike path extended to and looped through the reserve area. All evergreen trees shall be a minimum 4 foot high at installation and the deciduous trees shall be a minimum 1.75 inch caliper. The maintenance of the reserve areas and the mounding and associated landscaping shall be the responsibility of the Homeowners Association. It is imperative that the Applicant coordinate the landscaping plan and street tree plan with the engineering site development plan so that the landscaping does not impeded visibility at intersections or the visibility of any traffic control signs. The Shade Tree Commission would have to review and approve the aforementioned plans.
- **TREE REMOVAL & REPLACEMENT:** Per the submitted tree survey in Sections 6 and 7, the proposed plans would not remove any trees. Actually 14 trees that yield 104 caliper inches would be preserved in Section 6 and 13 trees that yield 225 caliper inches would be preserved in Section 7. However, if any of the above mentioned trees are removed during the construction process they would have to be replaced per Chapter 1168 Tree Preservation Regulations.
- **PEDESTRIAN CONNECTIVITY:** The applicant is proposing a bike path though Sections 6 and 7 that would initiate along Glenn Parkway and extend south through the reserve areas along the western portion of the site and then extend west essentially paralleling Peachblow Road in a reserve area and connecting with the existing bike path in Section 1 along Peachblow Road. In addition, all public streets within the subdivision shall have sidewalks on both sides of the street.
- **SIGNAGE:** The applicant is proposing an entrance sign for the residential subdivision on the north side of the full movement curb cut on Glenn Parkway in lot 12665. The sign would have a limestone base of 2.5 feet with a sign area of almost 36 square feet (16.3 ft x 2.2 ft). The limestone base shall be Delaware blue limestone or equivalent as approved by staff. In addition, In Section 7, there would be small instructional signage along the bike path within the reserve area (lot 12720) for the fit-trail per the submitted plan.
- **LIGHTING PLAN.** The lighting plans for Sections 6 and 7 have been submitted but needs to be reviewed and approved by the Chief Building Official and achieve compliance with the zoning code..
- **MISC:** There are two existing vacant single family houses on commercial out lot 5 that are owned by the applicant. The subject houses shall be demolished prior to building permit approval for any residential house in Sections 6 or 7.

Also, as part of the agreed upon conditions of the sale of the City property and a pre-existing pre-annexation agreement, the applicant shall pay \$172,833.50 prior to construction commencing in Sub-Area A. This is related to the frontage fee share for the Glenn Road extension.

STAFF RECOMMENDATION – (2019-0655 FINAL DEVELOPMENT PLAN)

Staff recommends approval of request by Glenn Road Capital LLC for a Final Development Plan for Belmont Place Section 6 containing 48 single family lots on approximately 18.48 acres zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Business District and Agricultural District with a Planned Mixed Use Overlay District) and located on Crownover Way LaChance Lane, McNamara Loop and Brets Lane, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The private street located on the western portion of Section 6 and east of the commercial out lots shall be constructed to public standards per the City Engineer.
3. The off-site stormwater improvements shall comply with the minimum City and County regulations.
4. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
5. The proposed detention ponds shall achieve compliance with the minimum engineering requirements.
6. The single family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
7. All evergreen trees shall be a minimum 6 foot high at installation and the deciduous trees shall be a minimum 1.75 inch caliper. The maintenance of the reserve areas and the mounding and associated landscaping shall be the responsibility of the Homeowners Association
8. Any landscape plans shall be submitted and approved by the Shade Tree Commission.
9. If any trees are removed in construction of the subject section, they shall be replaced per Chapter 1168 Tree Preservation Regulations.
10. The proposed bike path shall be constructed by the developer and maintained by homeowners association and shall be dedicated to the City for public use.
11. The lighting plan shall achieve compliance with the approved development text and current zoning code and shall be approved by the Chief Building Office.
12. The entrance ground sign for Belmont Place Subdivision along Glenn Parkway shall have a Delaware blue vein limestone base or equivalent as approved by staff.
13. The existing vacant single family houses on commercial out lot 5 shall be demolished prior to building permit approval for any residential house in Section 6.
14. Section 6 of the Belmont Place Subdivision shall be placed in the Delaware South New Community Authority prior to issuance of building permits, is located within the Southern Point Commercial TIF District and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling unit.
15. The applicant shall pay \$172,833.50 to the City prior to construction commencing in Sub-Area A for frontage fee share for the Glenn Road extension.

STAFF RECOMMENDATION – (2019-0656 FINAL SUBDIVISION PLAT)

Staff recommends approval of a request by Glenn Road Capital LLC for a Final Subdivision Plat for Belmont Place Section 6 containing 48 single family lots on approximately 18.48 acres zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Business District and Agricultural District with a Planned Mixed Use Overlay District) and located on Crownover Way LaChance Lane, McNamara Loop and Brets Lane, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The private street located on the western portion of Section 6 and east of the commercial out lots shall be constructed to public standards per the City Engineer.
3. The off-site stormwater improvements shall comply with the minimum City and County regulations.
4. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
5. The proposed detention ponds shall achieve compliance with the minimum engineering requirements.
6. The single family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
7. All evergreen trees shall be a minimum 6 foot high at installation and the deciduous trees shall be a minimum 1.75 inch caliper. The maintenance of the reserve areas and the mounding and associated landscaping shall be the responsibility of the Homeowners Association
8. Any landscape plans shall be submitted and approved by the Shade Tree Commission.
9. If any trees are removed in construction of the subject section, they shall be replaced per Chapter 1168 Tree Preservation Regulations.
10. The proposed bike path shall be constructed by the developer and maintained by homeowners association and shall be dedicated to the City for public use.
11. The lighting plan shall achieve compliance with the approved development text and current zoning code and shall be approved by the Chief Building Office.
12. The entrance ground sign for Belmont Place Subdivision along Glenn Parkway shall have a Delaware blue vein limestone base or equivalent as approved by staff.
13. The existing vacant single family houses on commercial out lot 5 shall be demolished prior to building permit approval for any residential house in Section 6.
14. Section 6 of the Belmont Place Subdivision shall be placed in the Delaware South New Community Authority prior to issuance of building permits, is located within the Southern Point Commercial TIF District and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling unit.
15. The applicant shall pay \$172,833.50 to the City prior to construction commencing in Sub-Area A for frontage fee share for the Glenn Road extension.

STAFF RECOMMENDATION – (2019-0659 FINAL DEVELOPMENT PLAN)

Staff recommends approval of request by Glenn Road Capital LLC for a Final Development Plan for Belmont Place Section 7 containing 53 single family lots on approximately 20.46 acres zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Business District and Agricultural District with a Planned Mixed Use Overlay District) and located on McNamara Loop, Brets Lane and Haughton Lane, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The off-site stormwater improvements shall comply with the minimum City and County regulations.
3. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
4. The single family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
5. In the reserve area (lot 12720) , the developer shall construct overlapped continuous 4 to 6 foot high mounds with landscaping providing a buffer adjacent to the proposed commercial out lots to the west and shall construct an intermittent 4-6 high mound with landscaping and an intermittent three rail fence along Peachblow Road to the south per the submitted plan.

6. All evergreen trees shall be a minimum 6 foot high at installation and the deciduous trees shall be a minimum 1.75 inch caliper. The maintenance of the reserve areas and the mounding and associated landscaping shall be the responsibility of the Homeowners Association
7. Any landscape plans shall be submitted and approved by the Shade Tree Commission.
8. If any trees are removed in construction of the subject section, they shall be replaced per Chapter 1168 Tree Preservation Regulations.
9. The proposed bike path shall be constructed by the developer and maintained by homeowners association and shall be dedicated to the City for public use.
10. The lighting plan shall achieve compliance with the approved development text and current zoning code and shall be approved by the Chief Building Office.
11. The existing vacant single family houses on commercial out lot 5 shall be demolished prior to building permit approval for any residential house in Section 7.
12. Section 7 of the Belmont Place Subdivision shall be placed in the Delaware South New Community Authority prior to issuance of building permits, is located within the Southern Point Commercial TIF District and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling unit.
13. The applicant shall pay \$172,833.50 to the City prior to construction commencing in Sub-Area A for frontage fee share for the Glenn Road extension.

STAFF RECOMMENDATION – (2019-0660 FINAL SUBDIVISION PLAT)

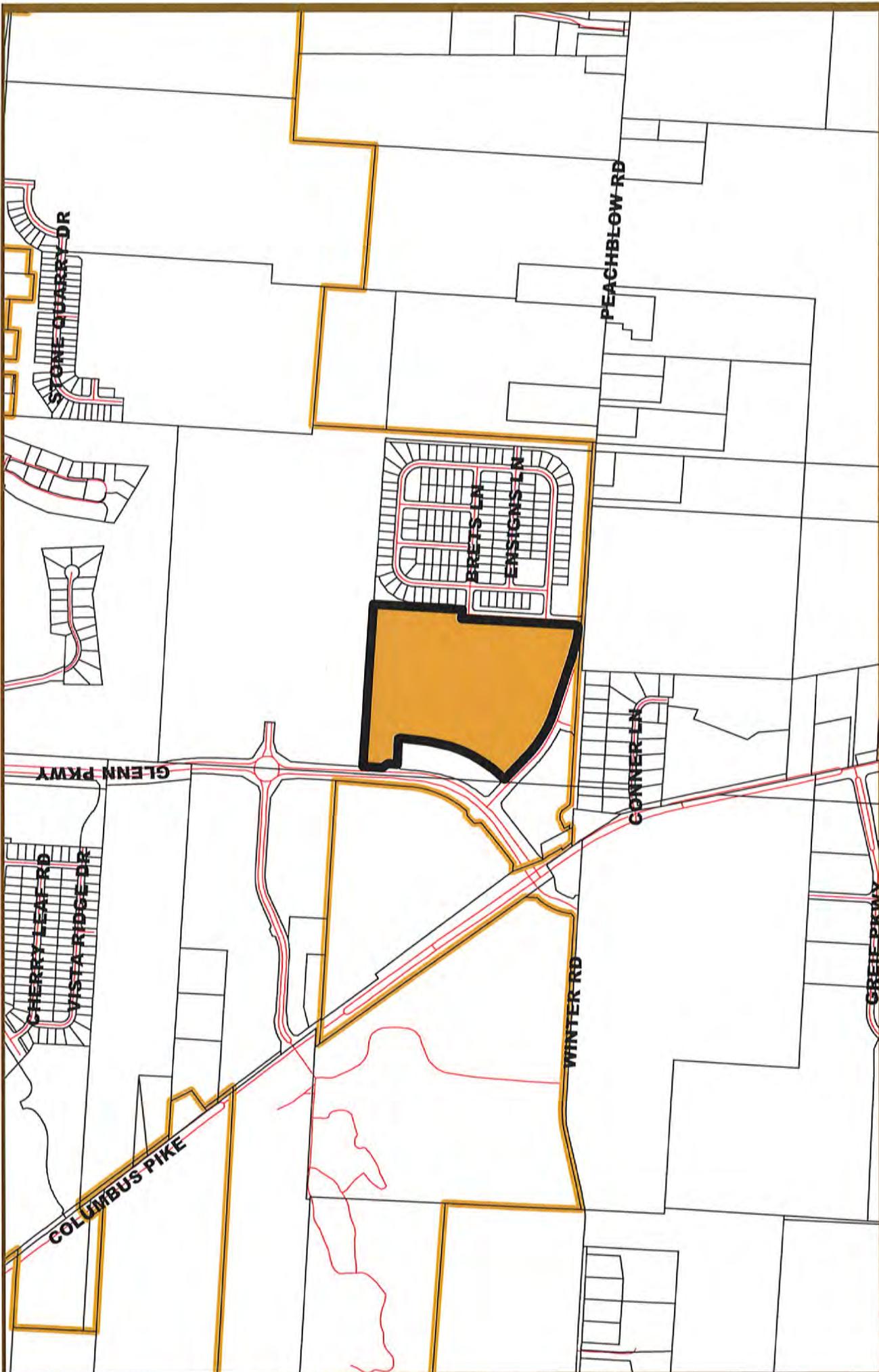
Staff recommends approval of request by Glenn Road Capital LLC for a Final Subdivision Plat for Belmont Place Section 7 containing 53 single family lots on approximately 20.46 acres zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Business District and Agricultural District with a Planned Mixed Use Overlay District) and located on McNamara Loop, Brets Lane and Haughton Lane, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The off-site stormwater improvements shall comply with the minimum City and County regulations.
3. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
4. The single family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
5. In the reserve area (lot 12720) , the developer shall construct overlapped continuous 4 to 6 foot high mounds with landscaping providing a buffer adjacent to the proposed commercial out lots to the west and shall construct an intermittent 4-6 high mound with landscaping and an intermittent three rail fence along Peachblow Road to the south per the submitted plan.
6. All evergreen trees shall be a minimum 6 foot high at installation and the deciduous trees shall be a minimum 1.75 inch caliper. The maintenance of the reserve areas and the mounding and associated landscaping shall be the responsibility of the Homeowners Association
7. Any landscape plans shall be submitted and approved by the Shade Tree Commission.
8. If any trees are removed in construction of the subject section, they shall be replaced per Chapter 1168 Tree Preservation Regulations.
9. The proposed bike path shall be constructed by the developer and maintained by homeowners association and shall be dedicated to the City for public use.
10. The lighting plan shall achieve compliance with the approved development text and current zoning code and shall be approved by the Chief Building Office.
11. The existing vacant single family houses on commercial out lot 5 shall be demolished prior to building permit approval for any residential house in Section 7.
12. Section 7 of the Belmont Place Subdivision shall be placed in the Delaware South New Community Authority prior to issuance of building permits, is located within the Southern Point Commercial TIF

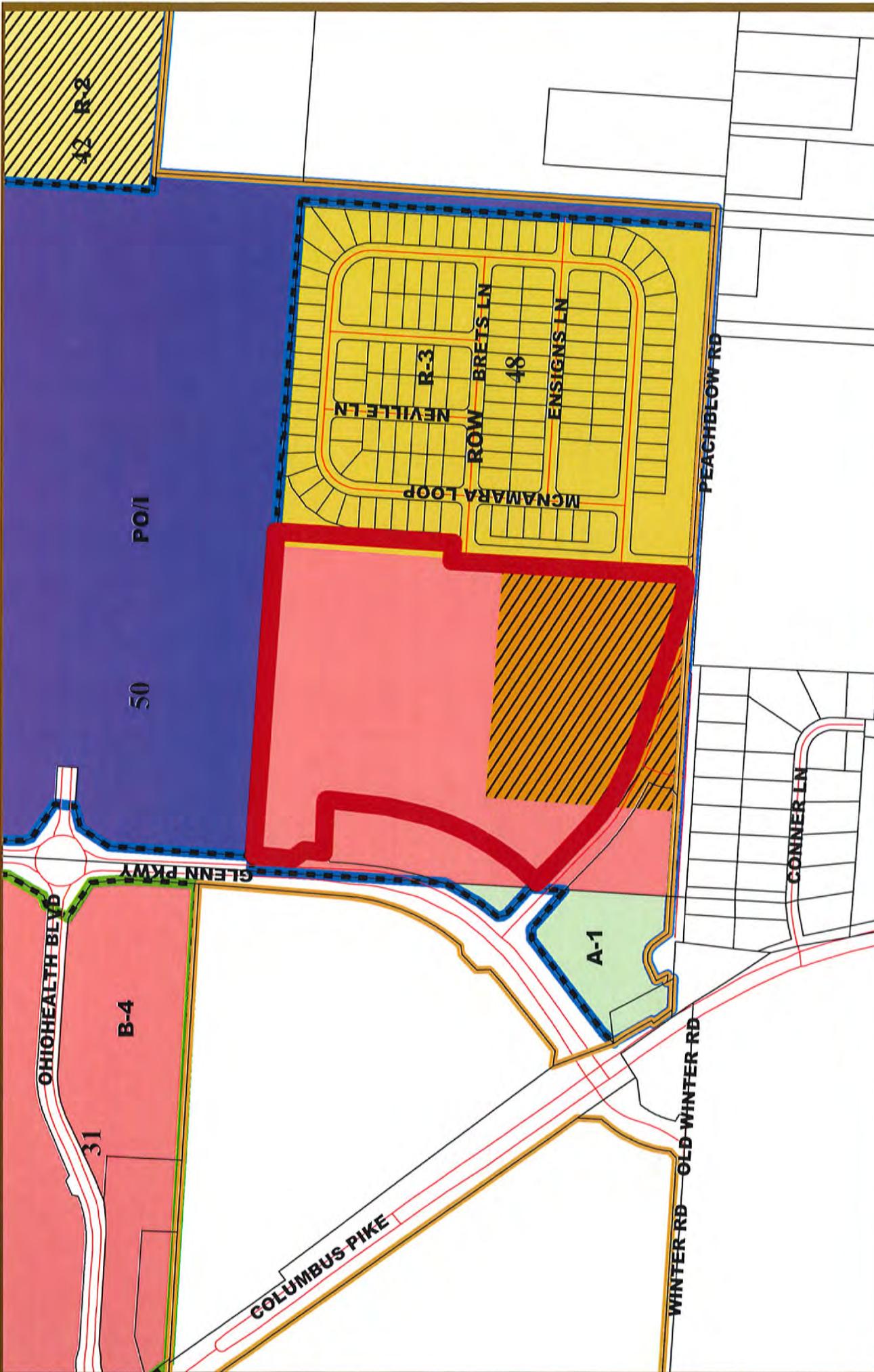
District and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling unit.

13. The applicant shall pay \$172,833.50 to the City prior to construction commencing in Sub-Area A for frontage fee share for the Glenn Road extension.

COMMISSION NOTES:



2019-0655-0656, 0659-0660
Final Development Plan and Subdivision Plat
Belmont Place - Section 6 & 7
Location Map



2019-0655-0656, 0659-0660
 Final Development Plan and Subdivision Plat
 Belmont Place - Section 6 & 7
 Zoning Map



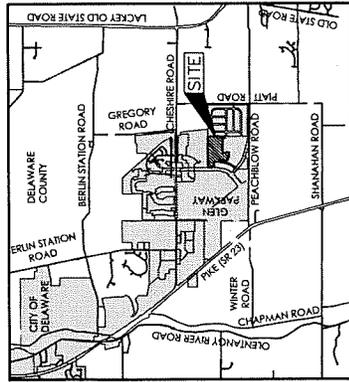


2019-0655-0656, 0659-0660
Final Development Plan and Subdivision Plat
Belmont Place - Section 6 & 7
Aerial (2016) Map



BELMONT PLACE

SECTION 6



LOCATION MAP

NO SCALE

PREPARED FOR:

STAVROFF LAND &
DEVELOPMENT, INC.
6689 DUBLIN CENTER DRIVE
DUBLIN, OHIO 43017
(614) 764-9781

INDEX OF DRAWINGS

FINAL PLAN:	SECTION 6	SHEET 1-2
SITE PLAN:		SHEET 3
TREE INVENTORY & REMOVAL PLAN:		SHEET 4
STREET TREE PLAN:		SHEET 5
OPEN SPACE LANDSCAPE PLAN:		SHEET 6
ENTRY FEATURE ENLARGEMENT AND DETAILS:		SHEET 7
STREET LIGHTING PLAN:		SHEET 8 & 9
ILLUSTRATIVE SITE PLAN:		SHEET 10

SUBMITTAL: APRIL 3, 2019

CIVIL ENGINEER &
LANDSCAPE ARCHITECT



Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
500 New Albany Road, Columbus, OH 43054
Phone: 614/773-5500 Fax: 614/773-3440
emhht.com

SITE STATISTICS:
 TOTAL ACRES: 418.463 ACRES
 TOTAL BUILDING FOOTPRINT: 2,540,000 SQ. FT.
 TOTAL OPEN SPACE: 15,957 ACRES

NOTES:
 1. RESERVES TO "TOWN" TRACTS SHALL BE OWNED AND MANAGED BY THE BELMONT PLACE HOMEOWNERS ASSOCIATION.

GRAND NATIONAL HOTEL
 0.8, 594, 2, 212
 5855202E 1289.59'

12665
 1,560 AC.

12620
 0.249 AC.

12621
 0.247 AC.

12622
 0.246 AC.

12623
 0.243 AC.

12624
 0.244 AC.

12625
 0.240 AC.

12626
 0.242 AC.

12627
 0.240 AC.

12628
 0.239 AC.

12629
 0.250 AC.

12630
 0.280 AC.

12631
 0.359 AC.

12632
 0.323 AC.

12633
 0.240 AC.

12634
 0.239 AC.

12635
 0.231 AC.

12636
 0.231 AC.

12637
 0.191 AC.

12638
 0.191 AC.

12639
 0.191 AC.

12640
 0.191 AC.

12641
 0.191 AC.

12642
 0.191 AC.

12643
 0.240 AC.

12644
 0.187 AC.

12645
 0.187 AC.

12646
 0.187 AC.

12647
 0.187 AC.

12648
 0.187 AC.

12649
 0.187 AC.

12650
 0.187 AC.

12651
 0.201 AC.

12652
 0.201 AC.

12653
 0.178 AC.

12654
 0.178 AC.

12655
 0.178 AC.

12656
 0.178 AC.

12657
 0.178 AC.

12658
 0.178 AC.

12659
 0.178 AC.

12660
 0.178 AC.

12661
 0.237 AC.

12662
 0.237 AC.

12663
 0.191 AC.

12664
 0.191 AC.

12665
 0.191 AC.

12666
 0.191 AC.

12667
 0.191 AC.

12668
 0.191 AC.

12669
 0.191 AC.

12670
 0.191 AC.

12671
 0.191 AC.

12672
 0.191 AC.

12673
 0.191 AC.

12674
 0.191 AC.

12675
 0.191 AC.

12676
 0.191 AC.

12677
 0.191 AC.

12678
 0.191 AC.

12679
 0.191 AC.

12680
 0.191 AC.

12681
 0.191 AC.

12682
 0.191 AC.

12683
 0.191 AC.

12684
 0.191 AC.

12685
 0.191 AC.

12686
 0.191 AC.

12687
 0.191 AC.

12688
 0.191 AC.

12689
 0.191 AC.

12690
 0.191 AC.

12691
 0.191 AC.

12692
 0.191 AC.

12693
 0.191 AC.

12694
 0.191 AC.

12695
 0.191 AC.

12696
 0.191 AC.

12697
 0.191 AC.

12698
 0.191 AC.

12699
 0.191 AC.

12700
 0.191 AC.

12701
 0.191 AC.

12702
 0.191 AC.

12703
 0.191 AC.

12704
 0.191 AC.

12705
 0.191 AC.

12706
 0.191 AC.

12707
 0.191 AC.

12708
 0.191 AC.

12709
 0.191 AC.

12710
 0.191 AC.

12711
 0.191 AC.

12712
 0.191 AC.

12713
 0.191 AC.

12714
 0.191 AC.

12715
 0.191 AC.

12716
 0.191 AC.

12717
 0.191 AC.

12718
 0.191 AC.

12719
 0.191 AC.

12720
 0.191 AC.

12721
 0.191 AC.

12722
 0.191 AC.

12723
 0.191 AC.

12724
 0.191 AC.

12725
 0.191 AC.

12726
 0.191 AC.

12727
 0.191 AC.

12728
 0.191 AC.

12729
 0.191 AC.

12730
 0.191 AC.

12731
 0.191 AC.

12732
 0.191 AC.

12733
 0.191 AC.

12734
 0.191 AC.

12735
 0.191 AC.

12736
 0.191 AC.

12737
 0.191 AC.

12738
 0.191 AC.

12739
 0.191 AC.

12740
 0.191 AC.

12741
 0.191 AC.

12742
 0.191 AC.

12743
 0.191 AC.

12744
 0.191 AC.

12745
 0.191 AC.

12746
 0.191 AC.

12747
 0.191 AC.

12748
 0.191 AC.

12749
 0.191 AC.

12750
 0.191 AC.

12751
 0.191 AC.

12752
 0.191 AC.

12753
 0.191 AC.

12754
 0.191 AC.

12755
 0.191 AC.

12756
 0.191 AC.

12757
 0.191 AC.

12758
 0.191 AC.

12759
 0.191 AC.

12760
 0.191 AC.

12761
 0.191 AC.

12762
 0.191 AC.

12763
 0.191 AC.

12764
 0.191 AC.

12765
 0.191 AC.

12766
 0.191 AC.

12767
 0.191 AC.

12768
 0.191 AC.

12769
 0.191 AC.

12770
 0.191 AC.

12771
 0.191 AC.

12772
 0.191 AC.

12773
 0.191 AC.

12774
 0.191 AC.

12775
 0.191 AC.

12776
 0.191 AC.

12777
 0.191 AC.

12778
 0.191 AC.

12779
 0.191 AC.

12780
 0.191 AC.

12781
 0.191 AC.

12782
 0.191 AC.

12783
 0.191 AC.

12784
 0.191 AC.

12785
 0.191 AC.

12786
 0.191 AC.

12787
 0.191 AC.

12788
 0.191 AC.

12789
 0.191 AC.

12790
 0.191 AC.

12791
 0.191 AC.

12792
 0.191 AC.

12793
 0.191 AC.

12794
 0.191 AC.

12795
 0.191 AC.

12796
 0.191 AC.

12797
 0.191 AC.

12798
 0.191 AC.

12799
 0.191 AC.

12800
 0.191 AC.

12801
 0.191 AC.

12802
 0.191 AC.

12803
 0.191 AC.

12804
 0.191 AC.

12805
 0.191 AC.

12806
 0.191 AC.

12807
 0.191 AC.

12808
 0.191 AC.

12809
 0.191 AC.

12810
 0.191 AC.

12811
 0.191 AC.

12812
 0.191 AC.

12813
 0.191 AC.

12814
 0.191 AC.

12815
 0.191 AC.

12816
 0.191 AC.

12817
 0.191 AC.

12818
 0.191 AC.

12819
 0.191 AC.

12820
 0.191 AC.

12821
 0.191 AC.

12822
 0.191 AC.

12823
 0.191 AC.

12824
 0.191 AC.

12825
 0.191 AC.

12826
 0.191 AC.

12827
 0.191 AC.

12828
 0.191 AC.

12829
 0.191 AC.

12830
 0.191 AC.

12831
 0.191 AC.

12832
 0.191 AC.

12833
 0.191 AC.

12834
 0.191 AC.

12835
 0.191 AC.

12836
 0.191 AC.

12837
 0.191 AC.

12838
 0.191 AC.

12839
 0.191 AC.

12840
 0.191 AC.

12841
 0.191 AC.

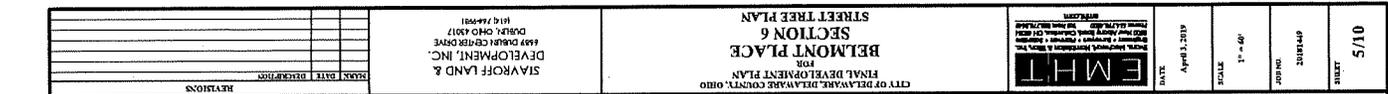
12842
 0.191 AC.

12843
 0.191 AC.

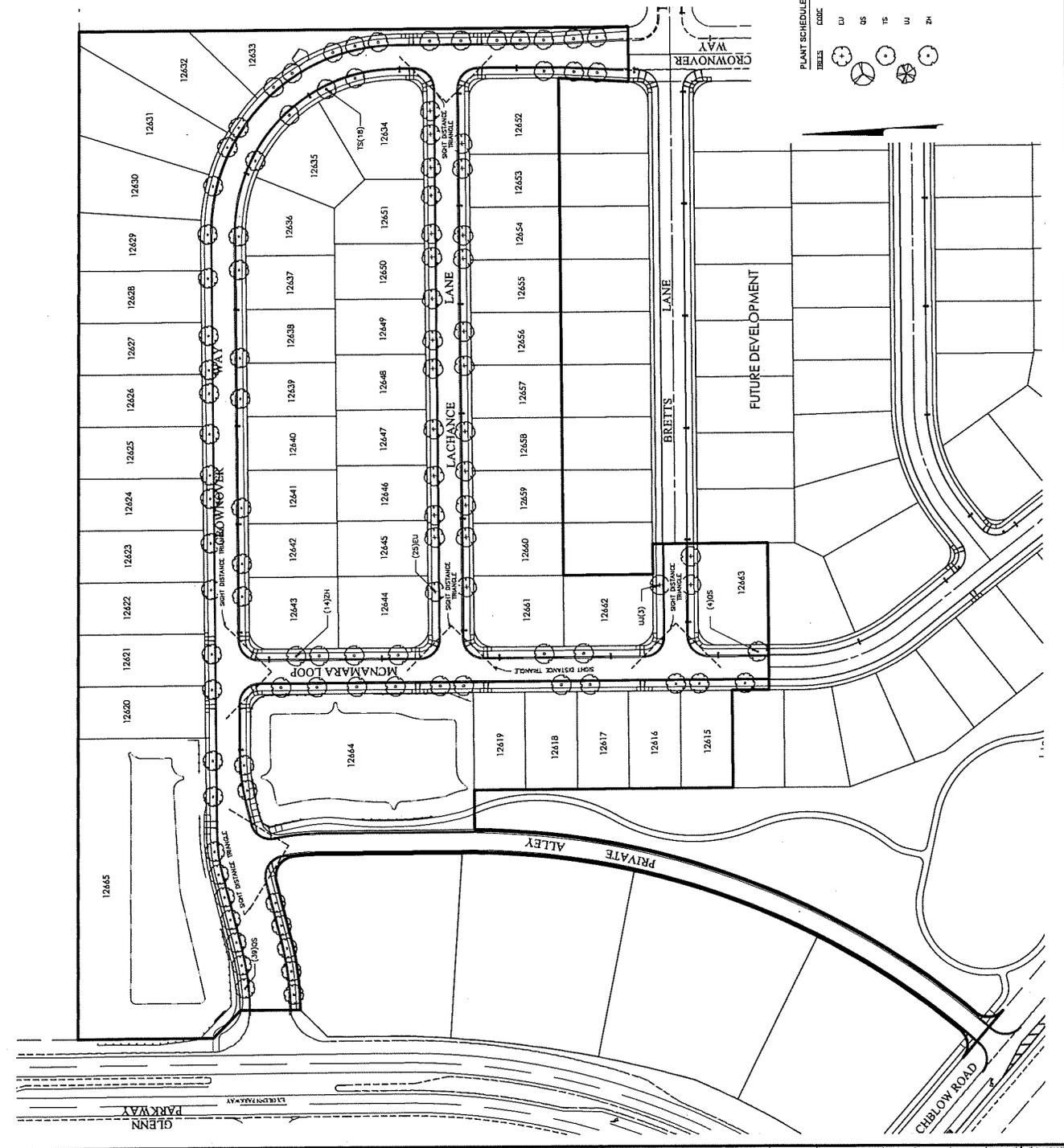
12844
 0.191 AC.

12845
 0.191 AC.

12846
 0.191 AC.

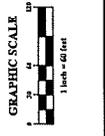


- GENERAL NOTES**
1. Street tree locations shall be approved by the City of Delaware Street Tree Commission prior to construction.
 2. The contractor shall be responsible for providing all necessary permits and conditions to verify the subsurface, topography, utility locations, and other site conditions that may affect the construction of the street tree program. The contractor shall verify the general contractor of any construction activities that may affect the street tree program.
 3. All trees shall be planted in accordance with the Delaware Street Tree Ordinance and the Delaware Street Tree Manual.
 4. All trees shall be planted in accordance with the Delaware Street Tree Ordinance and the Delaware Street Tree Manual.
 5. All trees shall be planted in accordance with the Delaware Street Tree Ordinance and the Delaware Street Tree Manual.
 6. All trees shall be planted in accordance with the Delaware Street Tree Ordinance and the Delaware Street Tree Manual.
 7. A pre-planting conference shall be conducted prior to planting.
 8. The contractor shall be responsible for providing all necessary permits and conditions to verify the subsurface, topography, utility locations, and other site conditions that may affect the construction of the street tree program.
 9. The contractor shall be responsible for providing all necessary permits and conditions to verify the subsurface, topography, utility locations, and other site conditions that may affect the construction of the street tree program.
 10. The contractor shall be responsible for providing all necessary permits and conditions to verify the subsurface, topography, utility locations, and other site conditions that may affect the construction of the street tree program.
 11. The contractor shall be responsible for providing all necessary permits and conditions to verify the subsurface, topography, utility locations, and other site conditions that may affect the construction of the street tree program.
 12. The contractor shall be responsible for providing all necessary permits and conditions to verify the subsurface, topography, utility locations, and other site conditions that may affect the construction of the street tree program.
 13. The contractor shall be responsible for providing all necessary permits and conditions to verify the subsurface, topography, utility locations, and other site conditions that may affect the construction of the street tree program.
 14. The contractor shall be responsible for providing all necessary permits and conditions to verify the subsurface, topography, utility locations, and other site conditions that may affect the construction of the street tree program.
 15. All trees shall be planted in accordance with the Delaware Street Tree Ordinance and the Delaware Street Tree Manual.
 16. The contractor shall be responsible for providing all necessary permits and conditions to verify the subsurface, topography, utility locations, and other site conditions that may affect the construction of the street tree program.
 17. The contractor shall be responsible for providing all necessary permits and conditions to verify the subsurface, topography, utility locations, and other site conditions that may affect the construction of the street tree program.
 18. The contractor shall be responsible for providing all necessary permits and conditions to verify the subsurface, topography, utility locations, and other site conditions that may affect the construction of the street tree program.



PLANT SCHEDULE STREET TREE PLAN

TREE CODE	SIZE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
EJ	24	Eucalyptus umbroide	Holly Rubber Tree	2" Col.	B&B
OS	43	Quercus rubra	Red Oak	2" Col.	B&B
TS	18	Tilia tomentosa 'Sterling'	Sterling Silver Linden	2" Col.	B&B
U	3	Ulmus americana 'Jefferson'	American Elm	2" Col.	B&B
ZH	14	Zakaria serrata 'Halo'	Halo Zakano	2" Col.	B&B





DETAIL A
 1" = 20'

120/240V STREET LIGHTING CONTROLLER
 STA. 22+48.8, 20.5' RT.
 (1)-1.5" CONDUIT W/ CIRCUIT A & PHOTOCONTROL
 IN TRENCH
 (1)-1.5" CONDUIT W/ CIRCUIT B
 IN TRENCH

LIGHTING PULL BOX
 STA. 22+48.8, 20.5' RT.

(1)-1.5" CONDUIT W/ CIRCUIT A & PHOTOCONTROL
 IN TRENCH
 (1)-1.5" CONDUIT W/ CIRCUIT B
 IN TRENCH

STREET LIGHT POLE W/ (1)-PHOTOCELL
 STA. 22+48.8, 20.5' RT.

LIGHTING PULL BOX
 (SPARSE CIRCUIT A)
 STA. 22+48.8, 20.5' LT.

(1)-1.5" CONDUIT W/ CIRCUIT A & PHOTOCONTROL
 IN TRENCH
 (1)-1.5" CONDUIT W/ CIRCUIT B
 IN TRENCH

STREET LIGHT POLE
 STA. 17+48.8, 18.5' RT.

(1)-1.5" CONDUIT W/ CIRCUIT A
 IN TRENCH
 (1)-1.5" CONDUIT W/ CIRCUIT B
 IN TRENCH

LIGHTING PULL BOX
 STA. 22+23.2, 27.0' LT.

(1)-1.5" CONDUIT W/ CIRCUIT A
 IN TRENCH
 (1)-1.5" CONDUIT W/ CIRCUIT B
 IN TRENCH

STREET LIGHT TABLE

STREET	STATION	OFFSET	CIRCUIT
CROWNOWER WAY	11+57.8	20.5' LT	(1)-CCT B
	11+57.8	20.5' RT	B
	12+27.0	20.5' LT	ND
	21+165	20.5' LT	ND
	22+225	20.5' LT	ND
MCNAMARA LOOP	22+85	20.5' LT	(1)-CCT A
	22+85	20.5' RT	ND
	12+23	18.5' RT	ND
	14+35	18.5' RT	ND
	15+25	18.5' RT	ND

ESTIMATE OF QUANTITIES

The Quantities Have Been Established As A Means Of Indicating Approximate Quantities. The Contractor Shall Be Solely Responsible For Determining The Required Bill Quantities Necessary For The Completion Of The Plan Improvements.

ITEM	QUANTITY	UNIT	DESCRIPTION	LIGHTING
Section 6 - Section 7				
1001	21	Each	120/240V Street Lighting Controller (RFDWS-34.2)	
1002	2	Each	Lighting Pull Box (RFDWS-34.2)	
1003	2	Each	Street Light Pole (RFDWS-34.2)	
1004	21	Each	Residential Light Pole, Luminaires Only (Replacement Stock)	
1005	21	Each	Light Pole Foundation (RFDWS-34.4)	
1006	21	Each	120/240V Street Lighting Controller (RFDWS-34.2)	
1007	21	Each	Lighting Pull Box (RFDWS-34.2)	
1008	21	Each	Street Light Pole (RFDWS-34.2)	
1009	21	Each	Residential Light Pole, Luminaires Only (Replacement Stock)	
1010	21	Each	Light Pole Foundation (RFDWS-34.4)	
1011	21	Each	120/240V Street Lighting Controller (RFDWS-34.2)	
1012	2	Each	Lighting Pull Box (RFDWS-34.2)	
1013	2	Each	Street Light Pole (RFDWS-34.2)	
1014	21	Each	Residential Light Pole, Luminaires Only (Replacement Stock)	
1015	21	Each	Light Pole Foundation (RFDWS-34.4)	

Checked By: DDM Date: 02/06/2019
 Checked By: JIS Date: 02/06/2019

NOTE:
 Street lights must be fully functional and as-built drawings of the lights and required appurtenances must be delivered to public works prior to acceptance of public improvements (i.e. no building permits). The entire light fixture shall be delivered to the City of Delaware Public Works Department, 50 Ross Street Delaware, Ohio 43015. Contact the City to schedule delivery date and time (740) 203-1810.
 A subsequent wiring diagram shall be provided by the street lighting contractor for review and approval prior to construction.
 For clarity, not all proposed and underground utilities are shown on this sheet. The Contractor shall reference Plan & Profile Sheets for location of all proposed and underground utilities. The Contractor shall take special care to not disturb any existing light poles, conduits, or circuit cable. These existing lighting facilities shall remain in service throughout the entirety of construction and shall remain operational upon completion of construction.

STREET LIGHT TABLE

STREET	STATION	OFFSET	CIRCUIT
CROWNOWER WAY	11+57.8	20.5' LT	B
	11+57.8	20.5' RT	B
	12+27.0	20.5' LT	ND
	21+165	20.5' LT	B
	22+225	20.5' LT	B
MCNAMARA LOOP	22+85	20.5' LT	B
	22+85	20.5' RT	A
	12+23	18.5' RT	A
	14+35	18.5' RT	A
	15+25	18.5' RT	A
LACHANCE LANE	1+91	18.5' LT	B
	3+17	18.5' LT	B
	4+57	18.5' LT	B
	5+92	18.5' LT	B
	7+25	18.5' LT	B
BREITS LANE	7+27	18.5' LT	A
	8+47	18.5' LT	A
	9+87	18.5' RT	A
	10+11	18.5' RT	A
	12+68	18.5' RT	A

DETAIL A
 1" = 20'

120/240V STREET LIGHTING CONTROLLER
 STA. 22+48.8, 20.5' RT.
 (1)-1.5" CONDUIT W/ CIRCUIT A & PHOTOCONTROL
 IN TRENCH
 (1)-1.5" CONDUIT W/ CIRCUIT B
 IN TRENCH

LIGHTING PULL BOX
 STA. 22+48.8, 20.5' RT.

(1)-1.5" CONDUIT W/ CIRCUIT A & PHOTOCONTROL
 IN TRENCH
 (1)-1.5" CONDUIT W/ CIRCUIT B
 IN TRENCH

STREET LIGHT POLE W/ (1)-PHOTOCELL
 STA. 22+48.8, 20.5' RT.

LIGHTING PULL BOX
 (SPARSE CIRCUIT A)
 STA. 22+48.8, 20.5' LT.

(1)-1.5" CONDUIT W/ CIRCUIT A & PHOTOCONTROL
 IN TRENCH
 (1)-1.5" CONDUIT W/ CIRCUIT B
 IN TRENCH

STREET LIGHT POLE
 STA. 17+48.8, 18.5' RT.

(1)-1.5" CONDUIT W/ CIRCUIT A
 IN TRENCH
 (1)-1.5" CONDUIT W/ CIRCUIT B
 IN TRENCH

LIGHTING PULL BOX
 STA. 22+23.2, 27.0' LT.

(1)-1.5" CONDUIT W/ CIRCUIT A
 IN TRENCH
 (1)-1.5" CONDUIT W/ CIRCUIT B
 IN TRENCH

STREET LIGHT TABLE

STREET	STATION	OFFSET	CIRCUIT
CROWNOWER WAY	11+57.8	20.5' LT	B
	11+57.8	20.5' RT	B
	12+27.0	20.5' LT	ND
	21+165	20.5' LT	B
	22+225	20.5' LT	B
MCNAMARA LOOP	22+85	20.5' LT	B
	22+85	20.5' RT	A
	12+23	18.5' RT	A
	14+35	18.5' RT	A
	15+25	18.5' RT	A
LACHANCE LANE	1+91	18.5' LT	B
	3+17	18.5' LT	B
	4+57	18.5' LT	B
	5+92	18.5' LT	B
	7+25	18.5' LT	B
BREITS LANE	7+27	18.5' LT	A
	8+47	18.5' LT	A
	9+87	18.5' RT	A
	10+11	18.5' RT	A
	12+68	18.5' RT	A

NOTE:
 Street lights must be fully functional and as-built drawings of the lights and required appurtenances must be delivered to public works prior to acceptance of public improvements (i.e. no building permits). The entire light fixture shall be delivered to the City of Delaware Public Works Department, 50 Ross Street Delaware, Ohio 43015. Contact the City to schedule delivery date and time (740) 203-1810.
 A subsequent wiring diagram shall be provided by the street lighting contractor for review and approval prior to construction.
 For clarity, not all proposed and underground utilities are shown on this sheet. The Contractor shall reference Plan & Profile Sheets for location of all proposed and underground utilities. The Contractor shall take special care to not disturb any existing light poles, conduits, or circuit cable. These existing lighting facilities shall remain in service throughout the entirety of construction and shall remain operational upon completion of construction.

STREET LIGHT TABLE

STREET	STATION	OFFSET	CIRCUIT
CROWNOWER WAY	11+57.8	20.5' LT	B
	11+57.8	20.5' RT	B
	12+27.0	20.5' LT	ND
	21+165	20.5' LT	B
	22+225	20.5' LT	B
MCNAMARA LOOP	22+85	20.5' LT	B
	22+85	20.5' RT	A
	12+23	18.5' RT	A
	14+35	18.5' RT	A
	15+25	18.5' RT	A
LACHANCE LANE	1+91	18.5' LT	B
	3+17	18.5' LT	B
	4+57	18.5' LT	B
	5+92	18.5' LT	B
	7+25	18.5' LT	B
BREITS LANE	7+27	18.5' LT	A
	8+47	18.5' LT	A
	9+87	18.5' RT	A
	10+11	18.5' RT	A
	12+68	18.5' RT	A

NOTE:
 Street lights must be fully functional and as-built drawings of the lights and required appurtenances must be delivered to public works prior to acceptance of public improvements (i.e. no building permits). The entire light fixture shall be delivered to the City of Delaware Public Works Department, 50 Ross Street Delaware, Ohio 43015. Contact the City to schedule delivery date and time (740) 203-1810.
 A subsequent wiring diagram shall be provided by the street lighting contractor for review and approval prior to construction.
 For clarity, not all proposed and underground utilities are shown on this sheet. The Contractor shall reference Plan & Profile Sheets for location of all proposed and underground utilities. The Contractor shall take special care to not disturb any existing light poles, conduits, or circuit cable. These existing lighting facilities shall remain in service throughout the entirety of construction and shall remain operational upon completion of construction.

STREET LIGHT TABLE

STREET	STATION	OFFSET	CIRCUIT
CROWNOWER WAY	11+57.8	20.5' LT	B
	11+57.8	20.5' RT	B
	12+27.0	20.5' LT	ND
	21+165	20.5' LT	B
	22+225	20.5' LT	B
MCNAMARA LOOP	22+85	20.5' LT	B
	22+85	20.5' RT	A
	12+23	18.5' RT	A
	14+35	18.5' RT	A
	15+25	18.5' RT	A
LACHANCE LANE	1+91	18.5' LT	B
	3+17	18.5' LT	B
	4+57	18.5' LT	B
	5+92	18.5' LT	B
	7+25	18.5' LT	B
BREITS LANE	7+27	18.5' LT	A
	8+47	18.5' LT	A
	9+87	18.5' RT	A
	10+11	18.5' RT	A
	12+68	18.5' RT	A

NOTE:
 Street lights must be fully functional and as-built drawings of the lights and required appurtenances must be delivered to public works prior to acceptance of public improvements (i.e. no building permits). The entire light fixture shall be delivered to the City of Delaware Public Works Department, 50 Ross Street Delaware, Ohio 43015. Contact the City to schedule delivery date and time (740) 203-1810.
 A subsequent wiring diagram shall be provided by the street lighting contractor for review and approval prior to construction.
 For clarity, not all proposed and underground utilities are shown on this sheet. The Contractor shall reference Plan & Profile Sheets for location of all proposed and underground utilities. The Contractor shall take special care to not disturb any existing light poles, conduits, or circuit cable. These existing lighting facilities shall remain in service throughout the entirety of construction and shall remain operational upon completion of construction.

STREET LIGHT TABLE

STREET	STATION	OFFSET	CIRCUIT
CROWNOWER WAY	11+57.8	20.5' LT	B
	11+57.8	20.5' RT	B
	12+27.0	20.5' LT	ND
	21+165	20.5' LT	B
	22+225	20.5' LT	B
MCNAMARA LOOP	22+85	20.5' LT	B
	22+85	20.5' RT	A
	12+23	18.5' RT	A
	14+35	18.5' RT	A
	15+25	18.5' RT	A
LACHANCE LANE	1+91	18.5' LT	B
	3+17	18.5' LT	B
	4+57	18.5' LT	B
	5+92	18.5' LT	B
	7+25	18.5' LT	B
BREITS LANE	7+27	18.5' LT	A
	8+47	18.5' LT	A
	9+87	18.5' RT	A
	10+11	18.5' RT	A
	12+68	18.5' RT	A

NOTE:
 Street lights must be fully functional and as-built drawings of the lights and required appurtenances must be delivered to public works prior to acceptance of public improvements (i.e. no building permits). The entire light fixture shall be delivered to the City of Delaware Public Works Department, 50 Ross Street Delaware, Ohio 43015. Contact the City to schedule delivery date and time (740) 203-1810.
 A subsequent wiring diagram shall be provided by the street lighting contractor for review and approval prior to construction.
 For clarity, not all proposed and underground utilities are shown on this sheet. The Contractor shall reference Plan & Profile Sheets for location of all proposed and underground utilities. The Contractor shall take special care to not disturb any existing light poles, conduits, or circuit cable. These existing lighting facilities shall remain in service throughout the entirety of construction and shall remain operational upon completion of construction.

STREET LIGHT TABLE

STREET	STATION	OFFSET	CIRCUIT
CROWNOWER WAY	11+57.8	20.5' LT	B
	11+57.8	20.5' RT	B
	12+27.0	20.5' LT	ND
	21+165	20.5' LT	B
	22+225	20.5' LT	B
MCNAMARA LOOP	22+85	20.5' LT	B
	22+85	20.5' RT	A
	12+23	18.5' RT	A
	14+35	18.5' RT	A
	15+25	18.5' RT	A
LACHANCE LANE	1+91	18.5' LT	B
	3+17	18.5' LT	B
	4+57	18.5' LT	B
	5+92	18.5' LT	B
	7+25	18.5' LT	B
BREITS LANE	7+27	18.5' LT	A
	8+47	18.5' LT	A
	9+87	18.5' RT	A
	10+11	18.5' RT	A
	12+68	18.5' RT	A

NOTE:
 Street lights must be fully functional and as-built drawings of the lights and required appurtenances must be delivered to public works prior to acceptance of public improvements (i.e. no building permits). The entire light fixture shall be delivered to the City of Delaware Public Works Department, 50 Ross Street Delaware, Ohio 43015. Contact the City to schedule delivery date and time (740) 203-1810.
 A subsequent wiring diagram shall be provided by the street lighting contractor for review and approval prior to construction.
 For clarity, not all proposed and underground utilities are shown on this sheet. The Contractor shall reference Plan & Profile Sheets for location of all proposed and underground utilities. The Contractor shall take special care to not disturb any existing light poles, conduits, or circuit cable. These existing lighting facilities shall remain in service throughout the entirety of construction and shall remain operational upon completion of construction.

STREET LIGHT TABLE

STREET	STATION	OFFSET	CIRCUIT
CROWNOWER WAY	11+57.8	20.5' LT	B
	11+57.8	20.5' RT	B
	12+27.0	20.5' LT	ND
	21+165	20.5' LT	B
	22+225	20.5' LT	B
MCNAMARA LOOP	22+85	20.5' LT	B
	22+85	20.5' RT	A
	12+23	18.5' RT	A
	14+35	18.5' RT	A
	15+25	18.5' RT	A
LACHANCE LANE	1+91	18.5' LT	B
	3+17	18.5' LT	B
	4+57	18.5' LT	B
	5+92	18.5' LT	B
	7+25	18.5' LT	B
BREITS LANE	7+27	18.5' LT	A
	8+47	18.5' LT	A
	9+87	18.5' RT	A
	10+11	18.5' RT	A
	12+68	18.5' RT	A

NOTE:
 Street lights must be fully functional and as-built drawings of the lights and required appurtenances must be delivered to public works prior to acceptance of public improvements (i.e. no building permits). The entire light fixture shall be delivered to the City of Delaware Public Works Department, 50 Ross Street Delaware, Ohio 43015. Contact the City to schedule delivery date and time (740) 203-1810.
 A subsequent wiring diagram shall be provided by the street lighting contractor for review and approval prior to construction.
 For clarity, not all proposed and underground utilities are shown on this sheet. The Contractor shall reference Plan & Profile Sheets for location of all proposed and underground utilities. The Contractor shall take special care to not disturb any existing light poles, conduits, or circuit cable. These existing lighting facilities shall remain in service throughout the entirety of construction and shall remain operational upon completion of construction.

STREET LIGHT TABLE

STREET	STATION	OFFSET	CIRCUIT
CROWNOWER WAY	11+57.8	20.5' LT	B
	11+57.8	20.5' RT	B
	12+27.0	20.5' LT	ND
	21+165	20.5' LT	B
	22+225	20.5' LT	B
MCNAMARA LOOP	22+85	20.5' LT	B
	22+85	20.5' RT	A
	12+23	18.5' RT	A
	14+35	18.5' RT	A
	15+25	18.5' RT	A
LACHANCE LANE	1+91	18.5' LT	B
	3+17	18.5' LT	B
	4+57	18.5' LT	B
	5+92	18.5' LT	B
	7+25	18.5' LT	B
BREITS LANE	7+27	18.5' LT	A
	8+47	18.5' LT	A
	9+87	18.5' RT	A
	10+11	18.5' RT	A
	12+68	18.5' RT	A

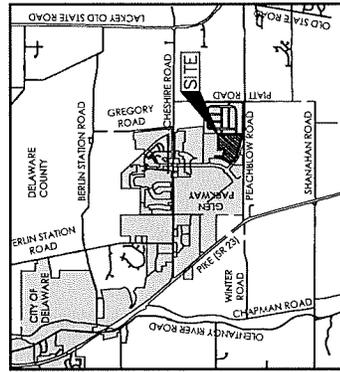
NOTE:
 Street lights must be fully functional and as-built drawings of the lights and required appurtenances must be delivered to public works prior to acceptance of public improvements (i.e. no building permits). The entire light fixture shall be delivered to the City of Delaware Public Works Department, 50 Ross Street Delaware, Ohio 43015. Contact the City to schedule delivery date and time (740) 203-1810.
 A subsequent wiring diagram shall be provided by the street lighting contractor for review and approval prior to construction.
 For clarity, not all proposed and underground utilities are shown on this sheet. The Contractor shall reference Plan & Profile Sheets for location of all proposed and underground utilities. The Contractor shall take special care to not disturb any existing light poles, conduits, or circuit cable. These existing lighting facilities shall remain in service throughout the entirety of construction and shall remain operational upon completion of construction.

STREET LIGHT TABLE

STREET	STATION	OFFSET	CIRCUIT
CROWNOWER WAY	11+57.8	20.5' LT	B
	11+57.8	20.5' RT	B
	12+27.0	20.5' LT	ND
	21+165	20.5' LT	B
	22+225	20.5' LT	B
MCNAMARA LOOP			

BELMONT PLACE

SECTION 7



LOCATION MAP

NOT SCALE

INDEX OF DRAWINGS

FINAL PLAT:	SECTION 7	SHEET 1 & 2
SITE PLAN:		SHEET 3
TREE INVENTORY & REMOVAL PLAN:		SHEET 4
PAVING PLAN:		SHEET 5
OPEN SPACE PLAN:		SHEET 6
OPEN SPACE ENLARGEMENT PLAN:		SHEET 7
LANDSCAPE DETAILS:		SHEET 8
STREET LIGHTING PLAN:		SHEET 9 & 10
ILLUSTRATIVE SITE PLAN:		SHEET 11

PREPARED FOR:

STAVROFF LAND &
DEVELOPMENT, INC.
6689 DUBLIN CENTER DRIVE
DUBLIN, OHIO 43017
(614) 764-9981

SUBMITTAL: APRIL 3, 2019

CIVIL ENGINEER &
LANDSCAPE ARCHITECT

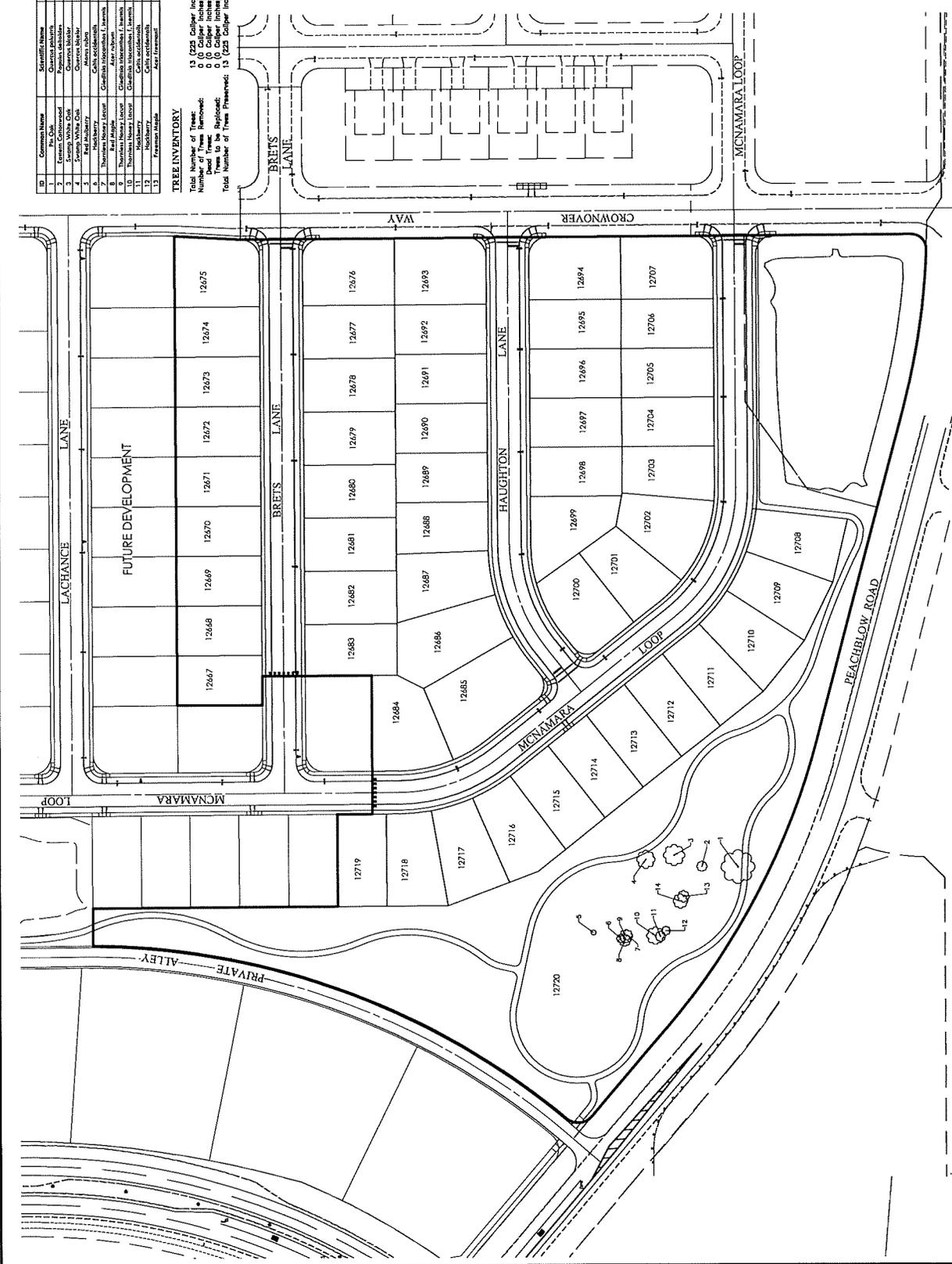
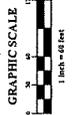


Ernst, Macchwart, Hambleton & Tibbo, Inc.
5800 New Albany Road, Columbus, OH 43254
Phone: 614.775.4500 Fax: 614.775.5348
emht.com

BELMONT PLACE SECTION 7
 TREE INVENTORY & REMOVAL PLAN

CITY OF DELAWARE, DELAWARE COUNTY, OHIO
 FINAL DEVELOPMENT PLAN
 FOR
BELMONT PLACE SECTION 7
 TREE INVENTORY & REMOVAL PLAN

TABLE	DATE	DESCRIPTION
1	04/12/2019	REVISED



ID	Common Name	Scientific Name	Site	Trunk Count	Condition
1	Red Oak	Quercus rubra	46	1	Good
2	White Oak	Quercus alba	79	1	Good
3	Striped White Oak	Quercus macrocarpa	21	1	Good
4	Black Cherry	Prunus serotina	6	2	Good
5	Black Cherry	Prunus serotina	6	2	Good
6	Black Cherry	Prunus serotina	6	2	Good
7	Black Cherry	Prunus serotina	6	2	Good
8	Black Cherry	Prunus serotina	6	2	Good
9	Black Cherry	Prunus serotina	6	2	Good
10	Black Cherry	Prunus serotina	6	2	Good
11	Black Cherry	Prunus serotina	6	2	Good
12	Black Cherry	Prunus serotina	6	2	Good
13	Black Cherry	Prunus serotina	6	2	Good

TREE INVENTORY
 Total Number of Trees: 13 (23 Caliper Inches)
 Number of Trees to be Removed: 0 (0 Caliper Inches)
 Number of Trees to be Preserved: 13 (23 Caliper Inches)
 Total Number of Trees Preserved: 13 (23 Caliper Inches)

4/12/2019 10:00 AM D:\Projects\2019\Belmont Place Section 7\Tree Inventory & Removal Plan.dwg Plot Scale: 1" = 60' Date: 4/12/2019

TABLE	DATE	REVISION	REVISIONS



PLANT SCHEDULE

CODE	SIZE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
CS	6	Chrysothamnus	Prickly Pear Cholla	2" Col.	DBS
LS	7	Liquidambar styraciflua	American Sweet Gum	2" Col.	DBS
PL	7	Platanus occidentalis	American Sycamore	2" Col.	DBS
OS	6	Quercus bicolor	Swamp White Oak	2" Col.	DBS
LI	6	Liriodendron tulipifera	Jefferson American Elm	2" Col.	DBS
PA	33	Prunella	Henry Spirea	6" Hl.	DBS
PC	32	Prunella	Colorado Spirea	6" Hl.	DBS
CA	48	Calluna vulgaris	Heather Bush	6" Hl.	DBS
PV	80	Prunella virginiana	Sharon Rose	6" Hl.	DBS

4/11/2018 10:49:10 AM C:\Users\jstevens\Desktop\Belmont\Section 7\Open Space Plan.dwg Plot by: jstevens, 3/27/2018 12:31 PM, Plot Scale: 1/16" = 1' (1/16" = 1')

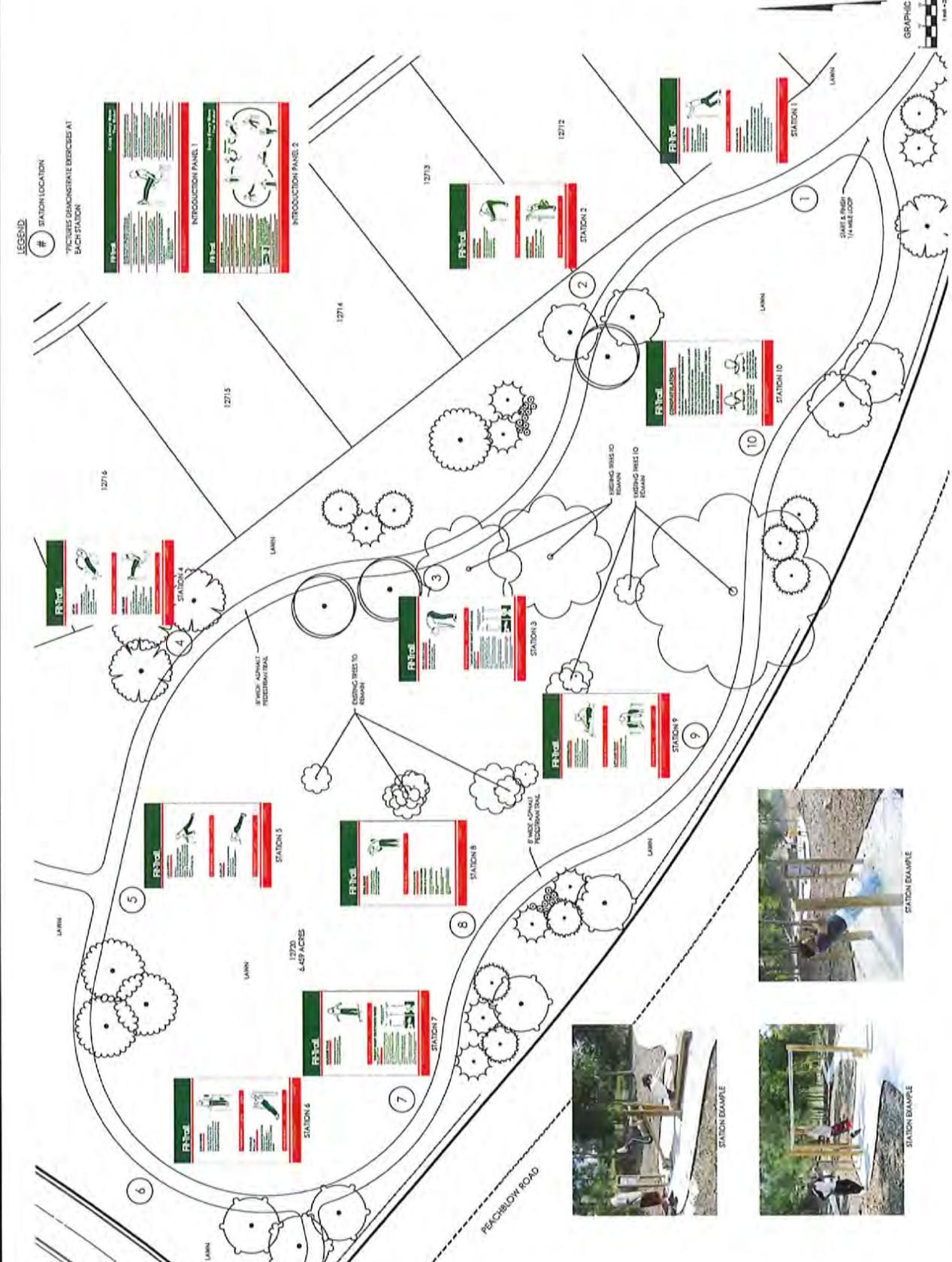
CITY OF DELAWARE, DELAWARE COUNTY, OHIO
 BELMONT PLACE
 FOR
 RURAL DEVELOPMENT PLAN
 SECTION 7
 OPEN SPACE ENLARGEMENT PLAN

STAVOFF LAND &
 DEVELOPMENT, INC.
 4400 DELAWARE CENTER DRIVE
 COLUMBUS, OHIO 43219
 (614) 474-7191

EMHT
 Environmental Management
 & Technology
 1000 West 12th Street, Suite 200
 Columbus, Ohio 43228
 (614) 291-1100
 www.emht.com

DATE: April 2, 2019
 SCALE: 1" = 20'
 SHEET: 2018049
 PROJECT: 7/11

DATE	DATE	DESCRIPTION	REVISIONS



4/2/2019 10:50:58 AM Project: Belmont Place Open Space Enlargement Plan, Section 7. Date: 4/2/2019 10:50:58 AM. User: J. Stavoff. Plot: 7/11/2019 4:28:00 AM.

REQUEST: Final Development Plan
PROJECT: The Preserve at Quail Pass - Phase 3
MEETING DATE: May 1, 2019

APPLICANT & OWNERS

Redwood Living
7510 East Pleasant Valley Road
Independence, Ohio 44131

REQUEST

2019-0655: A request by Redwood Living for approval of a Final Development Plan for The Preserve at Quail Pass Phase 3 for 100 single family apartment units on approximately 19.78 acres zoned M-1 PMU (Light Manufacturing with a Planned Mixed Use Overlay District) and located south of Mill Run Crossing and just west of Glen Road.

PROPERTY LOCATION & DESCRIPTION

The subject development is located on the south side of Mill Run Crossing and just east of the City Wetland Park and west of Glenn Road directly behind the Glennwood Commons Shopping Center. Phase 3 is located south of the Moody Ditch which is south of Phases 1 and 2. The subject site is zoned M-1 PMU. The zoning to the north and west is B-4 (Commercial Business District) with a PMU (Planned Mixed Use) Overlay District while the zoning to the east is M-1 (Light Manufacturing District), M-2 (General Manufacturing District) with text limitations in the City. To the east and south the zoning is FR-1 (Farm Residential District) in the township.

BACKGROUND

In February 2013, City Council approved a Rezoning (Ordinance 13-01) to amend the Planned Mixed Use District (PMU) and a Preliminary Development Plan (Ordinance 13-02) to allow 340 single story apartment units on 55.826 acres for a density of 6.1 units per acre. Then in July 2013, City Council approved a Final Development Plan (Ordinance 13-54) for Phase 1 which consisted of 94 apartment units on 15.7 acres. Subsequently in September 2015, Planning Commission and City Council approved 141 apartment units on 22.35 acres and they are almost build out. Now the developer is proposing to construct Phase 3 (last phase) which consists of 100 apartment units on 19.78 acres. The total number of units in the development would total 335 apartment units while 340 were originally approved.

STAFF ANALYSIS

- **ZONING:** As mentioned above, City Council in 2013 approved a Rezoning to amend the Planned Mixed Use (PMU) Overlay and a Preliminary Development Plan. The next step in the process is for the applicant to receive Final Development Plan approval for each phase prior to construction. The applicant is proposing to develop the site in three phases. The construction of Phase 1 is completed while the construction of Phase 2 is almost completed. Phase 3, which is the last phase, is now being considered for Final Development Plan approval by the Planning Commission and City Council.
- **DEVELOPMENT TEXT:** Being an amended PMU Overlay, the Development Text sets forth the development standards and requirements for this development. It should be noted that the majority of the text allows for a higher quality development from both a site planning and architectural design standpoint than that which would be permitted or required under a base zoning district. Additionally, this text allows a great deal of flexibility in the location of the apartment buildings by providing certain limitations aimed at creating an aesthetically pleasing development.
- **ENGINEERING** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **SITE LAYOUT:** Phase 3 is located south of the Moody Ditch and south of Phase 1 and 2. Access to this phase would be from Glenn Road and internally from Phase 1 and 2 across the Moody Ditch. An emergency access point only is located south of the main entrance on Glenn Road with collapsible bollards. Phase 3 of the proposed development would consist of 100 apartment units on 19.78 acres that would include 19 apartment buildings (all 2 bedrooms with 2 car garages) which range from 4 to 7 unit buildings. The submitted Final Development Plan is revised from the approved from the Preliminary Development Plan which includes 5 less apartment units and 6 less buildings. However, the revised layout allows for better circulation especially for emergency vehicles and creates open spaces that emulate the wetlands in the City

Wetland Park just west of Phase 1. In addition, two handicap spaces and 34 visitor parking spaces would be scattered throughout Phase 3 to supplement the 200 enclosed garage parking spaces and 200 driveway parking spaces for a total of 436 parking spaces. This phase has approximately 5.23 acres of open space with the majority of the open space between buildings P, Q and R. Staff would recommend benches and other similar amenities in this open space. Also, two retention ponds are located just south of Phase 1 and 2 and east and west of westernmost street that crossing Moody Ditch. A gazebo is proposed adjacent to the eastern most retention pond. Again, staff recommends benches and like amenities in this area. The lay out revisions only require administrative approval by the Planning and Community Development Director per the approved development text if the revisions were considered minor in nature and consistent with the remainder of the development which they are.

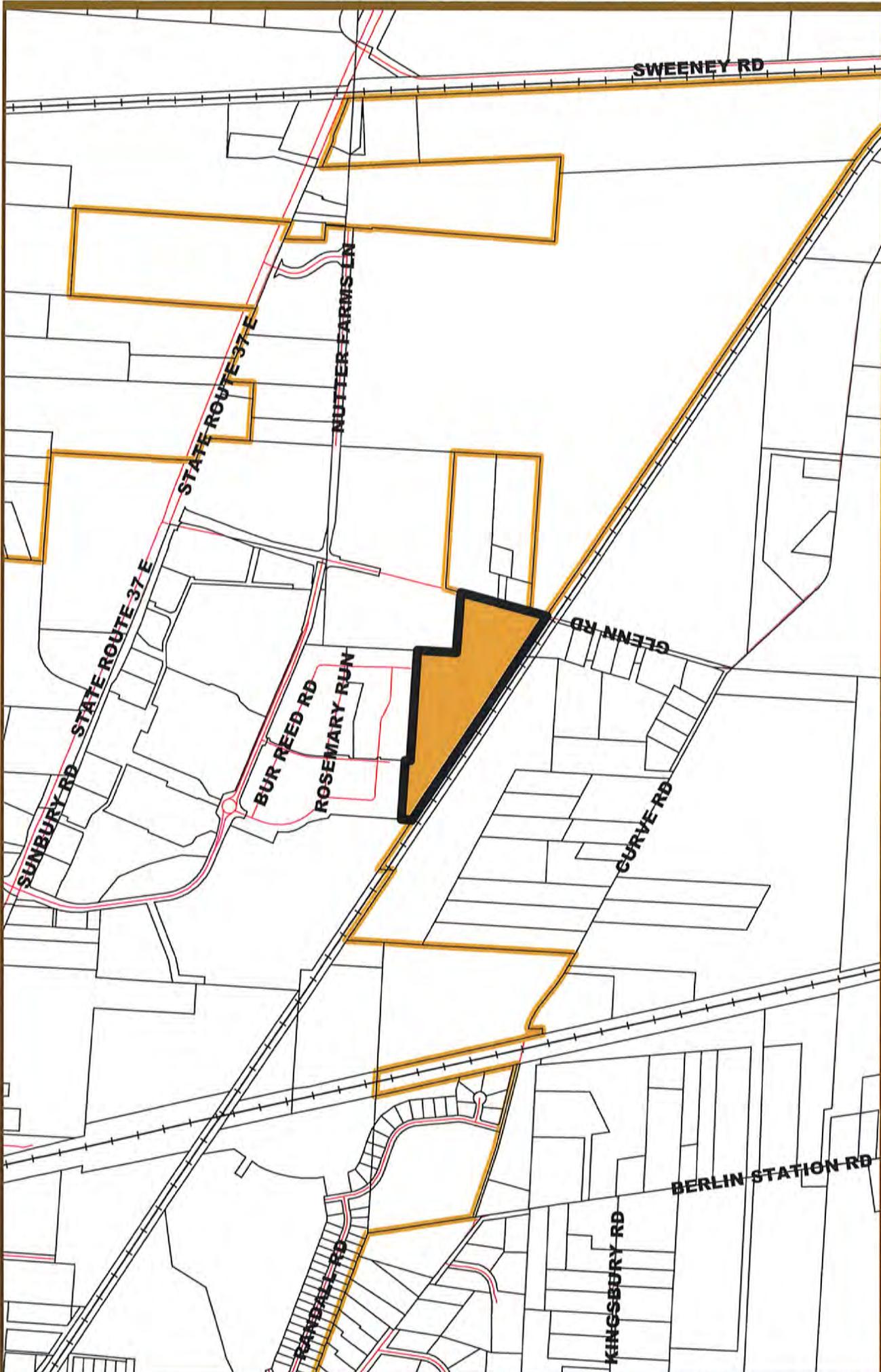
- **ARCHITECTURE:** The applicant is proposing 19 apartment buildings (all 2 bedrooms with 2 car garages) with five design styles of unit configurations with building sizes of 4, 5, 6 and 7 units. Some of the elevation has garages in the front and some in the back depending on layout and configuration of the site. The proposed elevations are compatible to the design standards of the PMU (Planned Mixed Use) District Overlay text and the buildings in Phase 1 and 2. Some of the architectural features include vinyl siding with a limestone veneer wainscoting, pitched roofs, gables, decorative garage doors, asphalt shingles, split shake vinyl siding on some gables, decorative louver, single hung windows with colonial pattern flat grids, color sequences differentiating each building, etc. The applicant shall submit final plans to staff for building permits that should include specific architectural elevations identifying building materials for each specific unit, the color pallet and the proposed mix of the units to assure a compatible final development could be achieved.
- **LANDSCAPING AND SCREENING:** Per the approved Preliminary Development Plan, a six foot high mound with evergreen and deciduous trees shall be installed along the Glenn Road frontage. The mounding should resemble the mounding along Mill Run Crossing in Phases 1 and 2. Street trees would be installed along all the streets to soften the streetscape in Phase 3 which is consistent with Phases 1 and 2. Also, trees, shrubs, perennials and grasses would be scattered throughout the perimeter buffering and open spaces to provide an aesthetically pleasing environment. In addition, typical foundation plantings for each building are provided with trees, shrubs and perennials/ornamental grasses. The landscape plans would require Shade Tree Commission review and approval.
- **TREE PRESERVATION:** The subject Phase has trees along the southern property line adjacent to the railroad tracks and along the northeastern property lines. A tree survey identifying the number size and condition of the trees shall be submitted for staff review. Any tree removal and/or replacement would have to achieve compliance with the adopted development text. Furthermore from condition #6 of the Preliminary Development Plan (Ordinance 13-02), the applicant shall install 18 additional required trees along Glenn Road or make a payment of \$3,000 in lieu of planting the trees.
- **LIGHTING PLAN:** A lighting plan has been submitted and would have to achieve compliance with the approved development text and zoning code with approval of Chief Building Official.
- **PEDESTRIAN CONNECTIVELY:** A bike path shall be constructed along Glenn Parkway per the adopted Bicycle and Pedestrians Plan 2027. A network of sidewalks should connect Phase 3 to Phases 1 and 2 across the Moody Ditch and the aforementioned bike path along Glenn Road. The applicant's new road section is 26 feet wide with 4 foot of the road being allocated for a sidewalk by utilizing a scored pavement design in a different color to identify the sidewalk. The new road section would achieve compliance with the sidewalk network connection requirements. There some other sidewalks between and connection buildings in Phase 3. In addition, staff is requesting a sidewalk connection shall be established between Phase 3 and the wetland park to be located north of the westernmost detention area in Phase 3 extending in-line with the existing east/west sidewalk in Phase 2.
- **FIRE DEPARTMENT:** The proposed development would have to achieve compliance with all fire department regulations including the emergency access location and design.
- **REFUSE COLLECTION:** The apartment complex currently utilizes City refuse collection by tip cart service for each individual unit rather than the City standard dumpster service for apartments and this refuse service would continue in Phase 3.
- **NCA:** This development would be required to participate in the Delaware North New Community Authority which assesses properties an additional 7.5 mills for the purposes specified by the authority including the

provision of improvements to Glenn Road. Prior to the issuance of any building permits in Phase 3, the applicant would have to execute any required documents in this regard.

STAFF RECOMMENDATION – (2019-0655 FINAL DEVELOPMENT PLAN)

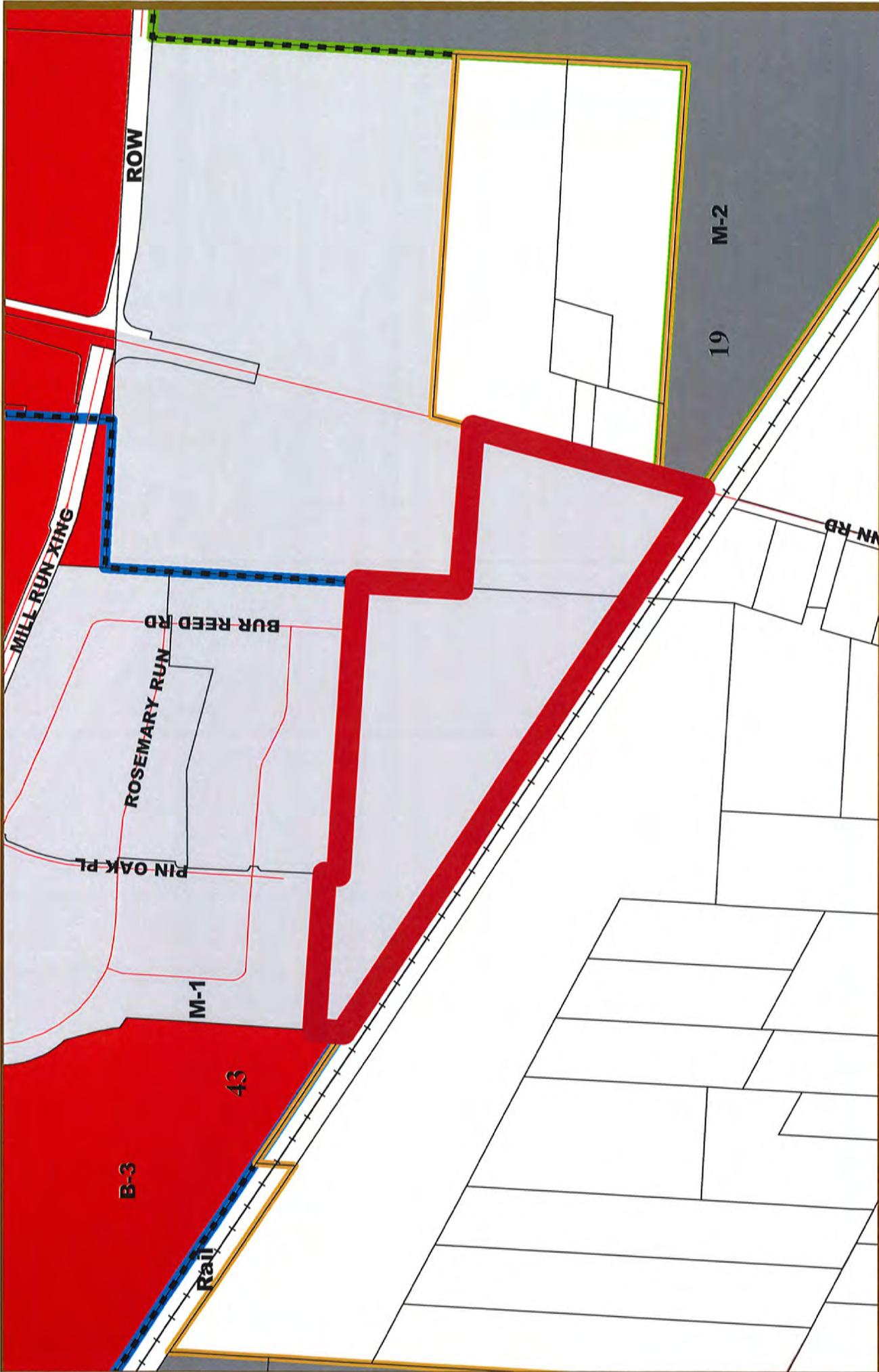
Staff recommends approval of a request by Redwood Living for a Final Development Plan for The Preserve at Quail Pass Phase 3 for 100 single family apartment units on approximately 19.78 acres zoned M-1 PMU (Light Manufacturing with a Planned Mixed Use Overlay District) and located south of Mill Run Crossing and just west of Glen Road, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The Applicant shall submit all building elevations along with material and color samples for all building materials for staff review and approval prior to building permit approval.
3. A lighting plan shall be reviewed and achieve compliance with development text and zoning code and be approved by the Chief Building Official. The landscape plan shall be submitted, reviewed and approved by the Shade Tree Commission.
4. A bike path along Glenn Road shall be constructed per the Bicycle and Pedestrians Path Plan 2027 and the City Engineers requirements.
5. The open spaces shall be programmed with a benches, grills, etc. as approved by staff.
6. The development shall comply with all fire department requirements.
7. The developer shall be allowed to utilize tip cart service for refuse collection instead of dumpsters.
8. A six foot high mound with evergreen and delicious trees shall be installed along the Glenn Road frontage.
9. A tree survey shall be required for the subject Phase and any tree removal and/or replacement shall achieve compliance with the approved development text.
10. The development shall participate in the Delaware North New Community Authority and shall execute the required documents prior to the issuance of any building permits.
11. A sidewalk connection shall be established between Phase 3 and the wetland park to be located north of the westernmost detention area in Phase 3 extending in-line with the existing east/west sidewalk in Phase 2.
12. The applicant shall install 18 additional required trees along Glenn Road or make a payment of \$3,000 in lieu of planting the trees per condition #6 of the Preliminary Development Plan (Ordinance 13-02).
13. The applicant shall work to attempt to incorporate the small section of the development in the Olentangy School District into the City of Delaware School District per previous agreements and approvals.



2019-0665
Final Development Plan
The Preserve at Quail Pass - Phase III
Location Map





2019-0665
 Final Development Plan
 The Preserve at Quail Pass - Phase III
 Zoning Map





2019-0665
Final Development Plan
The Preserve at Quail Pass - Phase III
Aerial (2016) Map





Preserve at Quail Pass III Overall Illustrative Site Plan | 04.03.2019

Columbus: 100 Northwoods Blvd. Suite A Columbus, Ohio 43235 (614) 255-3399
Cincinnati: 10816 Millington Court Suite 118 Cincinnati, Ohio 45242 (513) 256-1249

ALTA / NSPS LAND TITLE SURVEY

Mill Run Crossing

Part of Form LRS 28 & 29, October, December 4, 2006, 19, 19 Part of Form LRS 14, 19
 Delaware County, Ohio
 Average 19,760 Ac.(M)
 851,827 Sq. Ft. (M)

20,342 AC. DESCRIPTION

LINE	ACROSS	BEARING
1	1.232	N 87° 21' 11" W
2	1.232	N 87° 21' 11" W
3	1.232	N 87° 21' 11" W
4	1.232	N 87° 21' 11" W
5	1.232	N 87° 21' 11" W
6	1.232	N 87° 21' 11" W
7	1.232	N 87° 21' 11" W
8	1.232	N 87° 21' 11" W
9	1.232	N 87° 21' 11" W
10	1.232	N 87° 21' 11" W
11	1.232	N 87° 21' 11" W
12	1.232	N 87° 21' 11" W
13	1.232	N 87° 21' 11" W
14	1.232	N 87° 21' 11" W
15	1.232	N 87° 21' 11" W
16	1.232	N 87° 21' 11" W
17	1.232	N 87° 21' 11" W
18	1.232	N 87° 21' 11" W
19	1.232	N 87° 21' 11" W
20	1.232	N 87° 21' 11" W
21	1.232	N 87° 21' 11" W
22	1.232	N 87° 21' 11" W
23	1.232	N 87° 21' 11" W
24	1.232	N 87° 21' 11" W
25	1.232	N 87° 21' 11" W
26	1.232	N 87° 21' 11" W
27	1.232	N 87° 21' 11" W
28	1.232	N 87° 21' 11" W
29	1.232	N 87° 21' 11" W
30	1.232	N 87° 21' 11" W
31	1.232	N 87° 21' 11" W
32	1.232	N 87° 21' 11" W
33	1.232	N 87° 21' 11" W
34	1.232	N 87° 21' 11" W
35	1.232	N 87° 21' 11" W
36	1.232	N 87° 21' 11" W
37	1.232	N 87° 21' 11" W
38	1.232	N 87° 21' 11" W
39	1.232	N 87° 21' 11" W
40	1.232	N 87° 21' 11" W
41	1.232	N 87° 21' 11" W
42	1.232	N 87° 21' 11" W
43	1.232	N 87° 21' 11" W
44	1.232	N 87° 21' 11" W
45	1.232	N 87° 21' 11" W
46	1.232	N 87° 21' 11" W
47	1.232	N 87° 21' 11" W
48	1.232	N 87° 21' 11" W
49	1.232	N 87° 21' 11" W
50	1.232	N 87° 21' 11" W
51	1.232	N 87° 21' 11" W
52	1.232	N 87° 21' 11" W
53	1.232	N 87° 21' 11" W
54	1.232	N 87° 21' 11" W
55	1.232	N 87° 21' 11" W
56	1.232	N 87° 21' 11" W
57	1.232	N 87° 21' 11" W
58	1.232	N 87° 21' 11" W
59	1.232	N 87° 21' 11" W
60	1.232	N 87° 21' 11" W
61	1.232	N 87° 21' 11" W
62	1.232	N 87° 21' 11" W
63	1.232	N 87° 21' 11" W
64	1.232	N 87° 21' 11" W
65	1.232	N 87° 21' 11" W
66	1.232	N 87° 21' 11" W
67	1.232	N 87° 21' 11" W
68	1.232	N 87° 21' 11" W
69	1.232	N 87° 21' 11" W
70	1.232	N 87° 21' 11" W
71	1.232	N 87° 21' 11" W
72	1.232	N 87° 21' 11" W
73	1.232	N 87° 21' 11" W
74	1.232	N 87° 21' 11" W
75	1.232	N 87° 21' 11" W
76	1.232	N 87° 21' 11" W
77	1.232	N 87° 21' 11" W
78	1.232	N 87° 21' 11" W
79	1.232	N 87° 21' 11" W
80	1.232	N 87° 21' 11" W
81	1.232	N 87° 21' 11" W
82	1.232	N 87° 21' 11" W
83	1.232	N 87° 21' 11" W
84	1.232	N 87° 21' 11" W
85	1.232	N 87° 21' 11" W
86	1.232	N 87° 21' 11" W
87	1.232	N 87° 21' 11" W
88	1.232	N 87° 21' 11" W
89	1.232	N 87° 21' 11" W
90	1.232	N 87° 21' 11" W
91	1.232	N 87° 21' 11" W
92	1.232	N 87° 21' 11" W
93	1.232	N 87° 21' 11" W
94	1.232	N 87° 21' 11" W
95	1.232	N 87° 21' 11" W
96	1.232	N 87° 21' 11" W
97	1.232	N 87° 21' 11" W
98	1.232	N 87° 21' 11" W
99	1.232	N 87° 21' 11" W
100	1.232	N 87° 21' 11" W

20,342 AC. DESCRIPTION

ACROSS	BEARING	ACROSS	BEARING	
1	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
2	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
3	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
4	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
5	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
6	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
7	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
8	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
9	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
10	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
11	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
12	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
13	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
14	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
15	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
16	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
17	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
18	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
19	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
20	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
21	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
22	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
23	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
24	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
25	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
26	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
27	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
28	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
29	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
30	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
31	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
32	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
33	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
34	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
35	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
36	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
37	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
38	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
39	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
40	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
41	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
42	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
43	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
44	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
45	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
46	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
47	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
48	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
49	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
50	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
51	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
52	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
53	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
54	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
55	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
56	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
57	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
58	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
59	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
60	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
61	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
62	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
63	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
64	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
65	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
66	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
67	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
68	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
69	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
70	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
71	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
72	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
73	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
74	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
75	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
76	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
77	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
78	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
79	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
80	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
81	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
82	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
83	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
84	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
85	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
86	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
87	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
88	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
89	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
90	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
91	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
92	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
93	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
94	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
95	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
96	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
97	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
98	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
99	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W
100	1.232	N 87° 21' 11" W	1.232	N 87° 21' 11" W



DEFINITION

The survey was made in accordance with the provisions of the Ohio Surveying Law, Chapter 4733, Ohio Revised Code, and the rules and regulations of the Board of Surveying and Mapping, Ohio State Department of Public Safety, Division of Surveying and Mapping, Columbus, Ohio.

The survey was made by the use of the following instruments and methods:

- 1. Theodolite, Leica T2, with automatic level, used for all angles and distances.
- 2. Steel tape, 100 feet, used for all distances.
- 3. Leveling staff, used for all elevations.
- 4. Spirit level, used for all elevations.
- 5. Transit, used for all angles and distances.
- 6. Compass, used for all bearings.
- 7. Chain, used for all distances.
- 8. Tripod, used for all instruments.
- 9. Sighting, used for all angles and distances.
- 10. Taping, used for all distances.
- 11. Leveling, used for all elevations.
- 12. Plumbing, used for all elevations.
- 13. Staking, used for all points.
- 14. Marking, used for all points.
- 15. Clearing, used for all points.
- 16. Fencing, used for all points.
- 17. Painting, used for all points.
- 18. Blasting, used for all points.
- 19. Drilling, used for all points.
- 20. Excavating, used for all points.
- 21. Grading, used for all points.
- 22. Paving, used for all points.
- 23. Sewer, used for all points.
- 24. Water, used for all points.
- 25. Gas, used for all points.
- 26. Electric, used for all points.
- 27. Telephone, used for all points.
- 28. Cable, used for all points.
- 29. Radio, used for all points.
- 30. Television, used for all points.
- 31. Computer, used for all points.
- 32. Printer, used for all points.
- 33. Scanner, used for all points.
- 34. Copier, used for all points.
- 35. Fax, used for all points.
- 36. Internet, used for all points.
- 37. E-mail, used for all points.
- 38. Web, used for all points.
- 39. Mobile, used for all points.
- 40. GPS, used for all points.
- 41. Total station, used for all points.
- 42. Laser, used for all points.
- 43. Ultrasonic, used for all points.
- 44. Infrared, used for all points.
- 45. Microwave, used for all points.
- 46. Radio frequency, used for all points.
- 47. Infrared, used for all points.
- 48. Microwave, used for all points.
- 49. Radio frequency, used for all points.
- 50. Infrared, used for all points.
- 51. Microwave, used for all points.
- 52. Radio frequency, used for all points.
- 53. Infrared, used for all points.
- 54. Microwave, used for all points.
- 55. Radio frequency, used for all points.
- 56. Infrared, used for all points.
- 57. Microwave, used for all points.
- 58. Radio frequency, used for all points.
- 59. Infrared, used for all points.
- 60. Microwave, used for all points.
- 61. Radio frequency, used for all points.
- 62. Infrared, used for all points.
- 63. Microwave, used for all points.
- 64. Radio frequency

FINAL DEVELOPMENT PLAN THE PRESERVE AT QUAIL PASS PHASE 3 CITY OF DELAWARE, DELAWARE COUNTY, OHIO 2019

OWNER INFORMATION
DELAWARE PRESERVE THREE LLC
11111 DELAWARE DRIVE, SUITE 100
DELTA, OHIO 43015
PHONE: (614) 239-2000
FAX: (614) 239-2000

DEVELOPER INFORMATION
THE CITY OF DELAWARE
11111 DELAWARE DRIVE, SUITE 100
DELTA, OHIO 43015
PHONE: (614) 239-2000
FAX: (614) 239-2000

CIVIL ENGINEER INFORMATION
E.P. FERRIS & ASSOCIATES, INC.
11111 DELAWARE DRIVE, SUITE 100
DELTA, OHIO 43015
PHONE: (614) 239-2000
FAX: (614) 239-2000
EMAIL: info@epferris.com

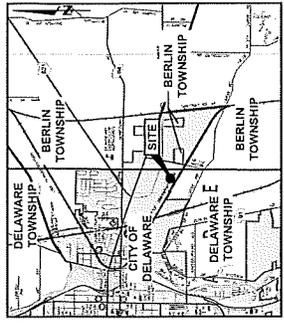
OHIO Utilidex Protection SERVICE
Call 800-462-2764 or 614-462-2764
www.utilidex.com

ID	ELEVATION	DESCRIPTION
BM F1	843.08	1/4" CUT ON IMPROVEMENT ROAD (11' ELEVATION OF VERTICAL CURVE OF ROAD) NEAR INTERSECTION OF QUAIL PASS AND DELAWARE DRIVE
BM F2	847.22	1/4" CUT ON IMPROVEMENT ROAD (11' ELEVATION OF VERTICAL CURVE OF ROAD) NEAR INTERSECTION OF QUAIL PASS AND DELAWARE DRIVE
BM F3	843.54	1/4" CUT ON IMPROVEMENT ROAD (11' ELEVATION OF VERTICAL CURVE OF ROAD) NEAR INTERSECTION OF QUAIL PASS AND DELAWARE DRIVE

NOTE: ALL BENCHMARK ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD83) UNLESS OTHERWISE NOTED.

REVISIONS	
NO.	DESCRIPTION

E. P. FERRIS & ASSOCIATES, INC.
11111 DELAWARE DRIVE, SUITE 100
DELTA, OHIO 43015
PHONE: (614) 239-2000
FAX: (614) 239-2000
WWW.EPFERRIS.COM



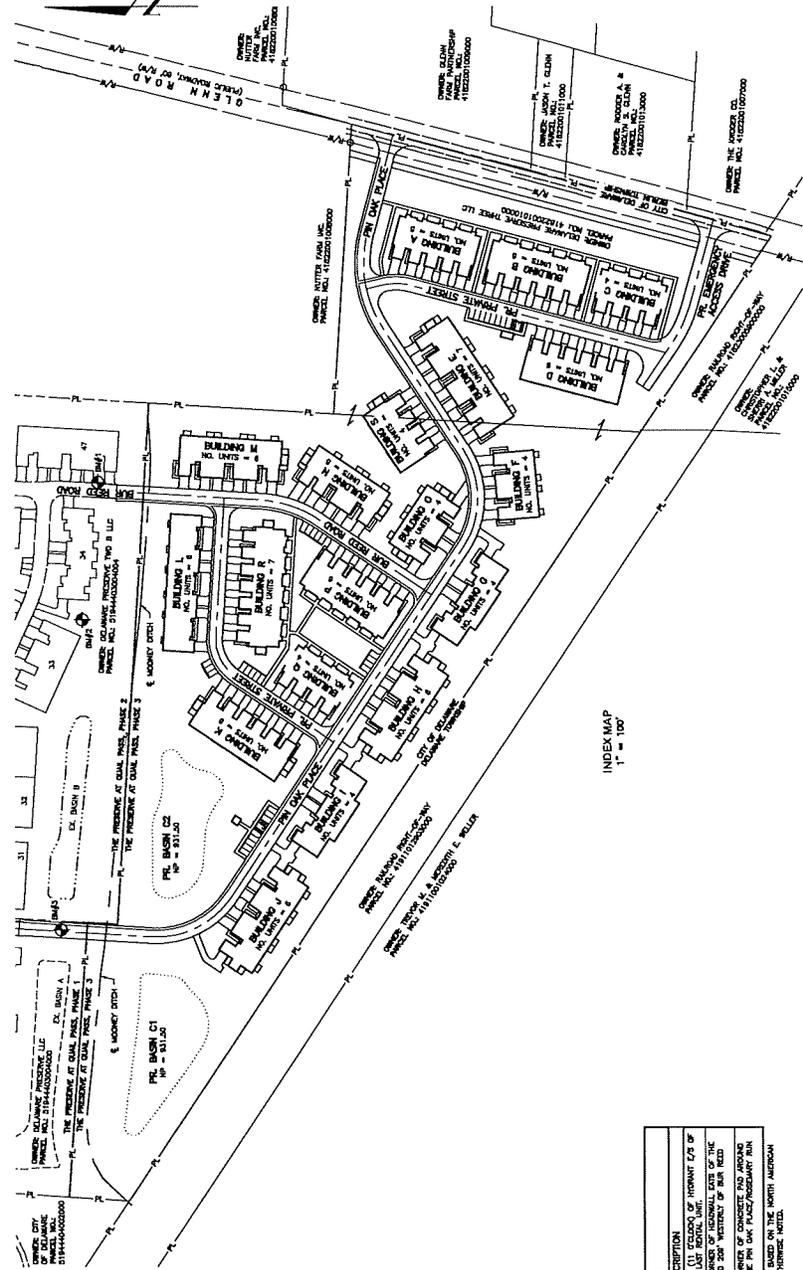
SHEET INDEX

TITLE SHEET	1
SITE PLAN	2-3
UTILITY PLAN	4-5
GRADING AND DRAINAGE PLAN	6-7

SITE DATA	
MAXIMUM ALLOWABLE DENSITY	16.9 UNITS PER ACRE
TOTAL UNITS	200
TOTAL ACRES	11.85 ACRES
MINIMUM BUILDING HEIGHT	5.1' SLU/24'
	30'

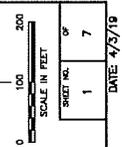
PARKING	
SPACES REQUIRED (2000)	200
AVAILABLE SPACES	200
ADDITIONAL SPACES PROVIDED	0
ADDITIONAL SPACES PROVIDED	0
TOTAL SPACES PROVIDED	200
TOTAL SPACES REQUIRED	200
	0

OPEN SPACE	
ACTIVE OPEN SPACE	0.00 ACRES
SETBACKS	0.00 ACRES



APPROVED BY:
CITY OF DELAWARE, OHIO

PC CASE NO. _____ APPROVED BY THE PLANNING COMMISSION ON _____
APPROVED THIS _____ DAY OF _____ 2019. DAVID M. D'AVANZO, M.P.
PLANNING & COMMUNITY DEVELOPMENT DIRECTOR



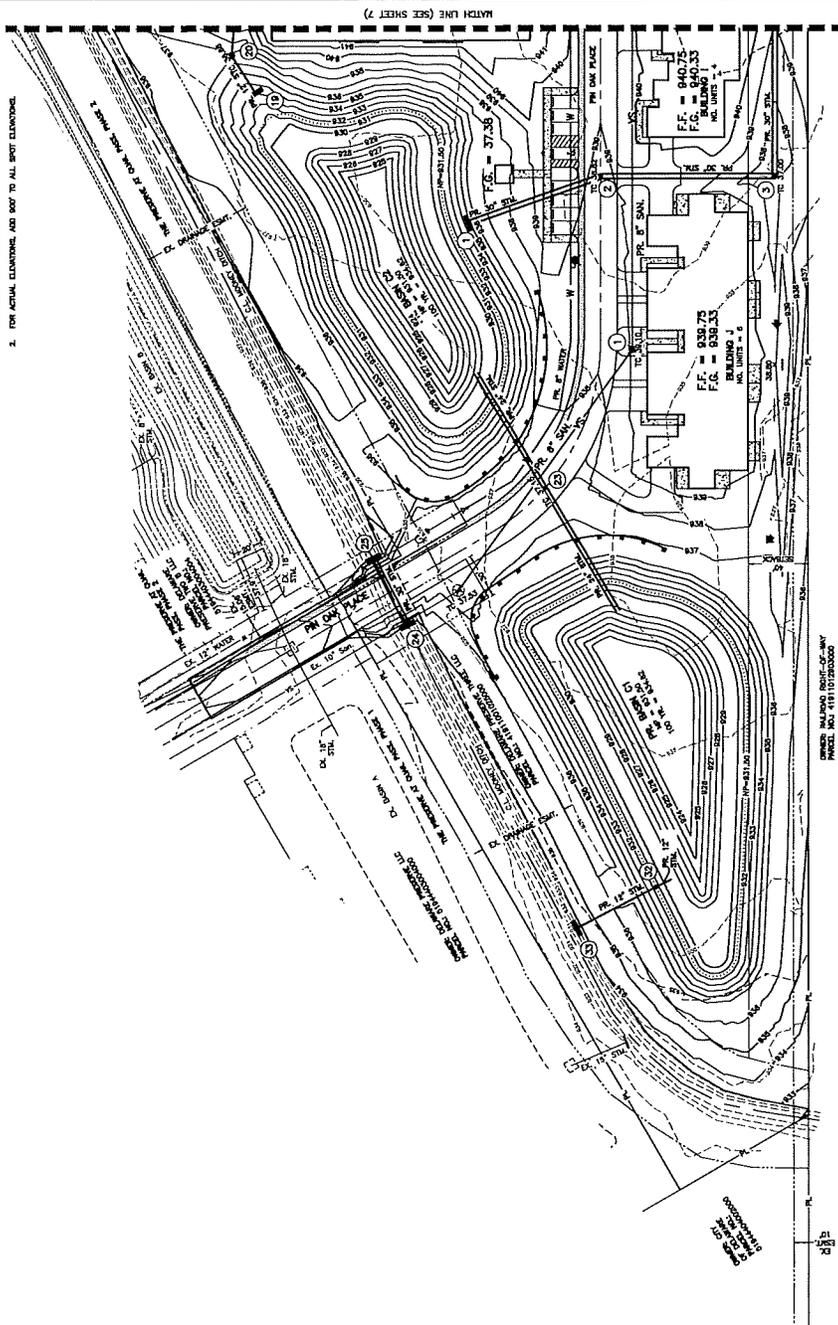
DATE 4/3/19

LEGEND

- DL FIRE INTRANT
- DL WATER MAIN
- DL STORM CATCH BASIN
- DL STORM MANHOLE
- DL STORM CATCH INLET
- DL SANITARY MANHOLE
- DL WATER MAIN
- DL STORM CATCH BASIN
- DL STORM CATCH INLET
- DL STORM CATCH DOUBLE INLET
- DL STORM MANHOLE
- DL SANITARY MANHOLE
- DL FLOOD DUCTILE IRON
- DL FIRE INTRANT
- DL WATER MAIN
- DL STORM CATCH BASIN
- DL STORM MANHOLE
- DL STORM CATCH INLET
- DL SANITARY MANHOLE
- DL WATER MAIN
- DL STORM CATCH BASIN
- DL STORM CATCH INLET
- DL STORM CATCH DOUBLE INLET
- DL STORM MANHOLE
- DL SANITARY MANHOLE
- DL FLOOD DUCTILE IRON

NOTES:

1. CURB RUMPS SHALL BE CONSTRUCTED TO THE LATEST A.D.A. REQUIREMENTS AS TO SLOPE, MATERIALS AND FINISHING.
2. FOR ACTUAL ELEVATIONS AND FOOT TO ALL SPOT ELEVATIONS.



<p>THE PRESERVE AT QUAIL PASS PHASE 3 REDWOOD ACQUISITION, LLC</p>	<p>CITY OF DELAWARE, OHIO</p>	<p>OWNER: MAYNARD ROAD, INC. PROJECT NO. 41110720000</p>	<p>GRADING PLAN</p> <p>SCALE: 1" = 40'</p> <p>SHEET NO. 0 OF 7</p>
<p>DATE BY CHK</p>			
<p>REVISIONS</p>			
<p>880 KING AVENUE COLUMBUS, OHIO 43212 (614) 252-2898 (fax) www.EPFERRIS.com</p>			
<p>E. P. FERRIS ASSOCIATES Consulting Civil Engineers and Surveyors</p>			

E.P. FERRIS & ASSOCIATES INC

The Preserve at Quail Pass Phase III

Delaware, Ohio

DATE: April 03, 2019

PROJECT NO. 17038

Final Development Plans

SHEET INDEX

- L1.0 OVERALL REFERENCE PLAN
- L1.1 ENTRY AREA LANDSCAPE PLAN
- L1.2 GLENN ROAD STREET FRONTAGE LANDSCAPE PLAN
- L1.3 EASTERN LANDSCAPE PLAN
- L1.4 WESTERN LANDSCAPE PLAN
- L1.5 TYPICAL FOUNDATION LANDSCAPE PLANS
- L1.6 TYPICAL FOUNDATION LANDSCAPE PLANS
- SD1.0 SITE DETAILS

PREPARED FOR

Redwood Living
7510 Pleasant Valley Rd
Independence, Ohio 44131



PREPARED BY



Columbus
100 Northwood Blvd
Suite A
Columbus, Ohio 43235
p 614.255.3399

Cincinnati
10810 Millington Court
Suite 118
Cincinnati, Ohio 45242
p 614.360.3066

PODdesign.net

VICINITY MAP

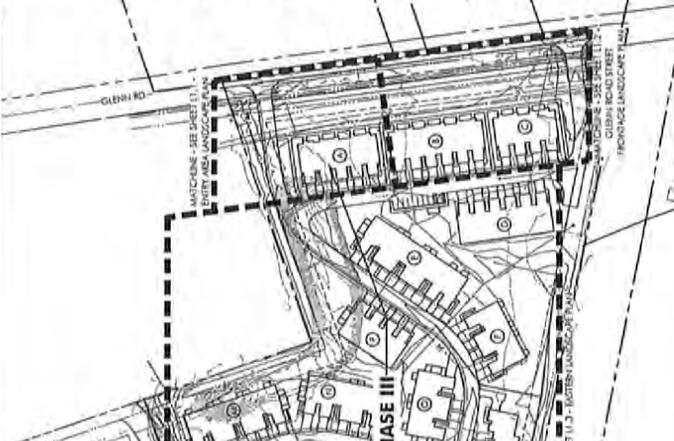


NOT TO SCALE

PLANT INSTALLATION NOTES

- CONTRACTOR SHALL VERIFY WITH THE OWNER AND UTILITY COMPANIES THE LOCATIONS OF THE EXISTING UTILITIES PRIOR TO STARTING WORK. CALL THE CORD UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF REMAINING UTILITIES. ANY DAMAGE TO EXISTING UTILITIES, CABLES, REINFORCEMENT, ETC. RESULTING FROM LANDSCAPE INSTALLATION WHICH OCCURS DURING THE CONSTRUCTION PHASES SHALL BE REPAIRED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF REMAINING UTILITIES. ANY DAMAGE TO EXISTING UTILITIES, CABLES, REINFORCEMENT, ETC. RESULTING FROM LANDSCAPE INSTALLATION WHICH OCCURS DURING THE CONSTRUCTION PHASES SHALL BE REPAIRED BY THE CONTRACTOR.
- PAINT MATERIAL SHALL BE FURNISHED IN THE QUANTITIES AND PACKAGING AS SHOWN ON NOTED. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PAINT SCHEDULE, THE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL SITE ELEMENTS AND INVESTIGATE WITH THE OWNER AND DESIGN CONSULTANT FOR ANY DISCREPANCY BETWEEN THE SCHEDULE AND THE PLAN. NO WORK SHALL BE DONE IN ANY AREA WHERE THERE IS A DISCREPANCY WITHOUT OWNER'S APPROVAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADING IN THE PROJECT REQUIRED TO PROVIDE A PROPER DRAINAGE AND TO EXISTING ELECTRICAL TIE FOR LANDSCAPE AND STAIRS.
- CONTRACTOR SHALL PROVIDE THE FOLLOWING FOR:
 - FOR ALL PLANTING: 10% EXCESS FOR LOSS
 - FOR ALL PLANTING: 10% EXCESS FOR LOSS
 - FOR ALL PLANTING: 10% EXCESS FOR LOSS
 - FOR ALL PLANTING: 10% EXCESS FOR LOSS
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADING IN THE PROJECT REQUIRED TO PROVIDE A PROPER DRAINAGE AND TO EXISTING ELECTRICAL TIE FOR LANDSCAPE AND STAIRS.
- CONTRACTOR SHALL PROVIDE THE FOLLOWING FOR:
 - FOR ALL PLANTING: 10% EXCESS FOR LOSS
 - FOR ALL PLANTING: 10% EXCESS FOR LOSS
 - FOR ALL PLANTING: 10% EXCESS FOR LOSS
 - FOR ALL PLANTING: 10% EXCESS FOR LOSS
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADING IN THE PROJECT REQUIRED TO PROVIDE A PROPER DRAINAGE AND TO EXISTING ELECTRICAL TIE FOR LANDSCAPE AND STAIRS.
- CONTRACTOR SHALL PROVIDE THE FOLLOWING FOR:
 - FOR ALL PLANTING: 10% EXCESS FOR LOSS
 - FOR ALL PLANTING: 10% EXCESS FOR LOSS
 - FOR ALL PLANTING: 10% EXCESS FOR LOSS
 - FOR ALL PLANTING: 10% EXCESS FOR LOSS

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	COND.	COMMENTS
AC-FR	Acer fraxinifolium	Common Fraxinus	1.75 cal.	Ball	As Shown
AM-GR	Aster multiflorus	Common Aster	1.5' cal.	Ball	As Shown
DL-TR	Delonix regia	Common Delonix	1.75 cal.	Ball	As Shown
JAV-T	Jatropha curcas	Common Jatropha	3' H	Ball	As Shown
MA-SJ	Magnolia speciosa	Common Magnolia	1.5' cal.	Ball	As Shown
DL-CD	Delonix regia	Common Delonix	1.75 cal.	Ball	As Shown
DL-MS	Delonix regia	Common Delonix	1.75 cal.	Ball	As Shown
LI-TR	Liriodendron tulipifera	Common Liriodendron	1.75 cal.	Ball	As Shown
AL-CC	Aster multiflorus	Common Aster	1.5' cal.	Ball	As Shown
RI-AI	Rosa indica	Common Rose	6' H	Ball	As Shown
PT-OS	Prunella sp.	Common Prunella	6' H	Ball	As Shown
CH-CD	Chamaecyparis stricta	Common Chamaecyparis	1.5' H	Ball	As Shown
CC-GE	Camellia japonica	Common Camellia	2.5' H	Ball	As Shown
MS-15	Muscadine grape	Common Muscadine	15' H	Ball	As Shown
PE-18	Persea indica	Common Persea	18' H	Ball	As Shown
PT-18	Prunella indica	Common Prunella	18' H	Ball	As Shown



Overall Reference Plan
SCALE 1" = 100'



Eastern Landscape Plan
 SHEET L1.3



Podium
 100 Hawthorn Blvd., Ste. A
 Columbus, Ohio 43235
 614.226.2076

Chickadee
 10815 Milligan Court, Ste. 118
 Columbus, Ohio 43242
 614.290.2069
 pod@podium.com

Project Name
The Preserve at
Quail Pass
Phase III
 Mill Run Crossing Rd.
 Delaware, Ohio

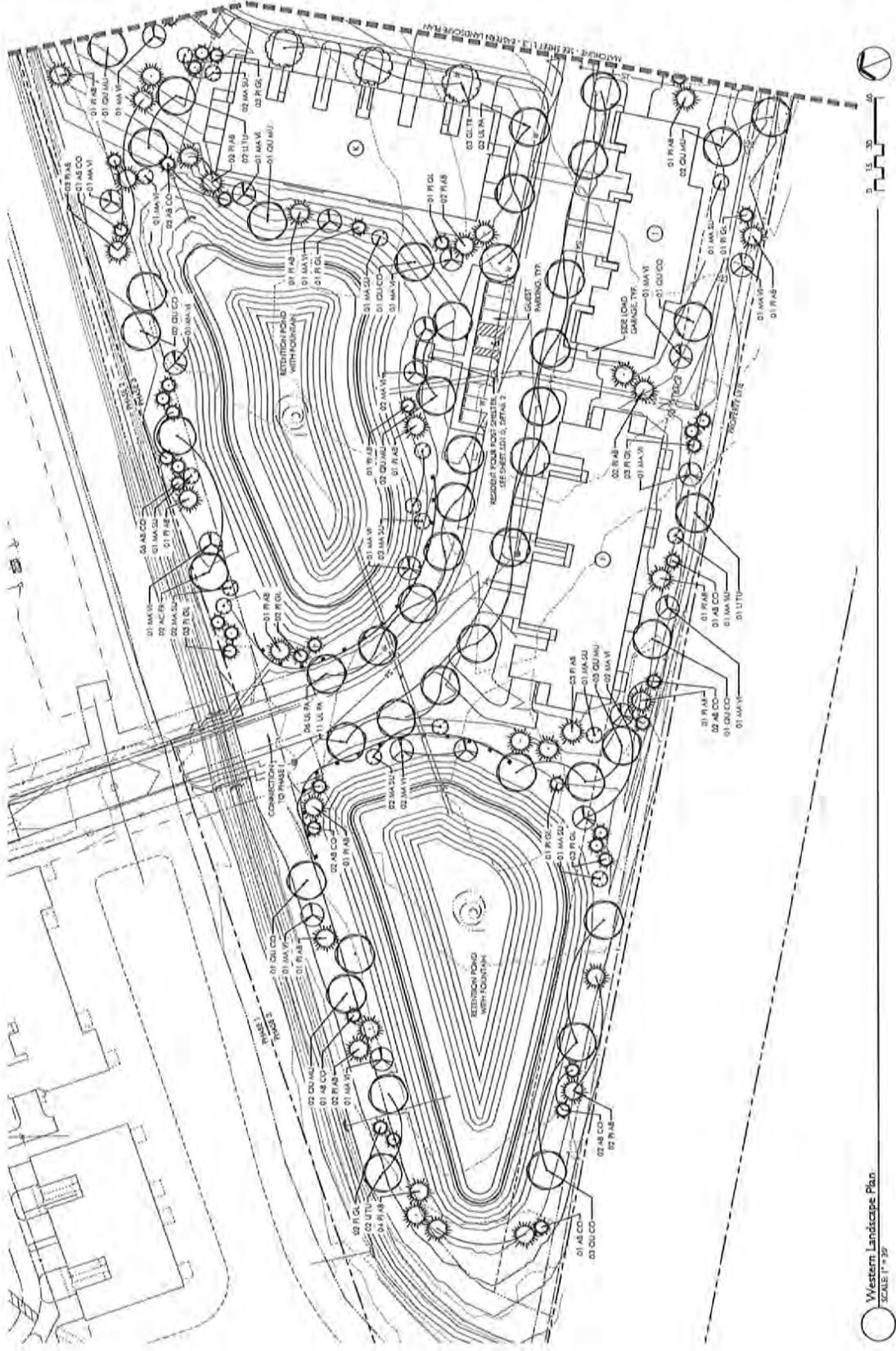
Prepared For
 Redwood Living
 7510 Mission Valley Rd.
 Independence, OH 44131



Project Info
 Project # 17038
 Date 01/03/16
 Scale As Noted
 Architects

Sheet Title
WESTERN
LANDSCAPE
PLAN

Sheet #
L1.4



Western Landscape Plan
 SCALE: 1"=30'

PLANT LIST 16 UNIT - TYPE HAYDENWOOD

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	COND.	SPACING
04 HE HR <td>Blue-glacier Dwarf</td> <td>Native Compact Shrub</td> <td>18" High</td> <td>Cont.</td> <td>4x Shown</td>	Blue-glacier Dwarf	Native Compact Shrub	18" High	Cont.	4x Shown
05 SP HF <td>Starburst + Heart Plant</td> <td>Native Bush Spine</td> <td>12" High</td> <td>Cont.</td> <td>4x Shown</td>	Starburst + Heart Plant	Native Bush Spine	12" High	Cont.	4x Shown
06 HO AL <td>Spring maple</td> <td>Redbud (Lilac)</td> <td>20" High</td> <td>Cont.</td> <td>4x Shown</td>	Spring maple	Redbud (Lilac)	20" High	Cont.	4x Shown
01 TH PA <td>Tree-plate Calycanth</td> <td>Calycanth (Sweetgum)</td> <td>4" High</td> <td>Cont.</td> <td>4x Shown</td>	Tree-plate Calycanth	Calycanth (Sweetgum)	4" High	Cont.	4x Shown
PERENNIALS & ORNAMENTAL GRASSES					
02 DY ME	Common Anemone	Flower of the Anemone	1" High	Cont.	4x Shown
03 SP HF <td>Hemerocallis "Tiger Bells"</td> <td>Tiger Flower Daylily</td> <td>1" High</td> <td>Cont.</td> <td>4x Shown</td>	Hemerocallis "Tiger Bells"	Tiger Flower Daylily	1" High	Cont.	4x Shown
06 CE TO <td>Hosta Plantain-leaf</td> <td>Hosta</td> <td>1" High</td> <td>Cont.</td> <td>4x Shown</td>	Hosta Plantain-leaf	Hosta	1" High	Cont.	4x Shown

NOTE: CONTRACTOR MUST SUBSTITUTE PLANT SPECIES BASED ON AVAILABILITY.

PLANT LIST 16 UNIT - WILLOWOOD

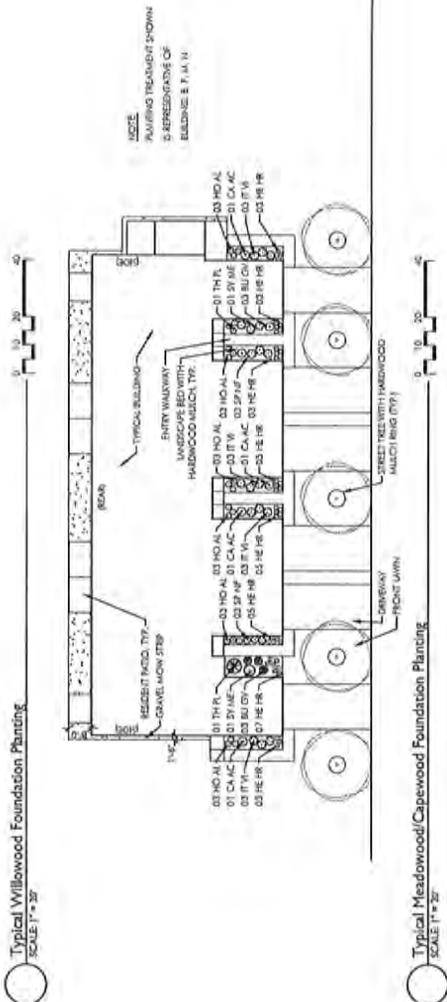
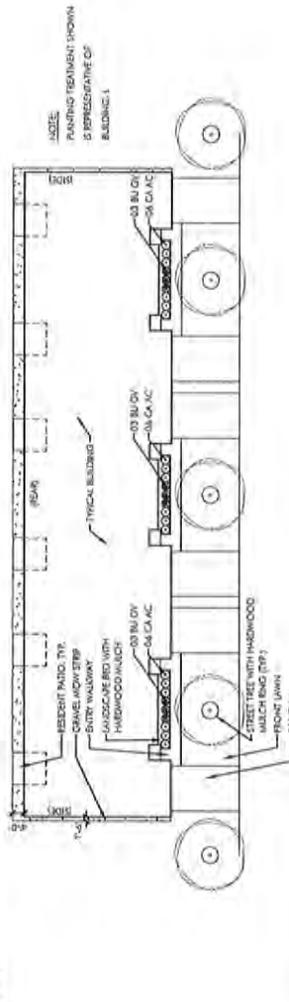
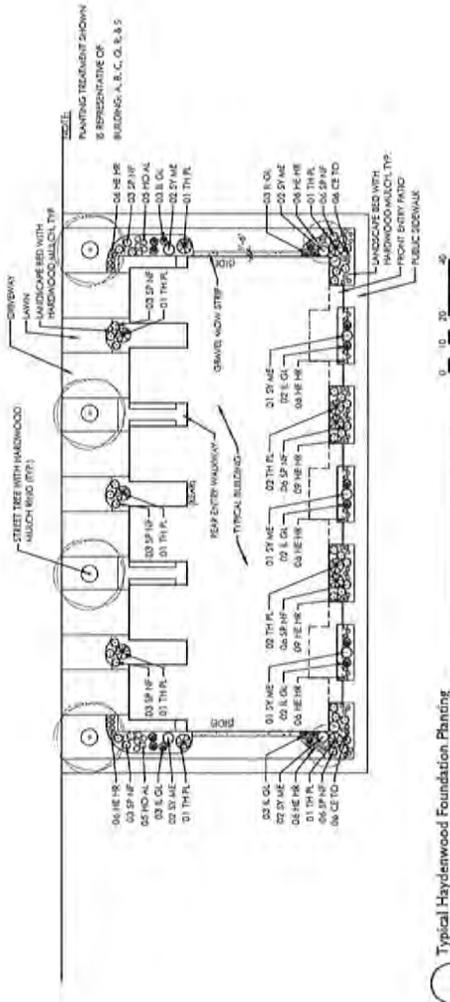
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	COND.	SPACING
04 HE HR <td>Blue-glacier Dwarf</td> <td>Native Compact Shrub</td> <td>18" High</td> <td>Cont.</td> <td>4x Shown</td>	Blue-glacier Dwarf	Native Compact Shrub	18" High	Cont.	4x Shown
05 SP HF <td>Starburst + Heart Plant</td> <td>Native Bush Spine</td> <td>12" High</td> <td>Cont.</td> <td>4x Shown</td>	Starburst + Heart Plant	Native Bush Spine	12" High	Cont.	4x Shown
06 HO AL <td>Spring maple</td> <td>Redbud (Lilac)</td> <td>20" High</td> <td>Cont.</td> <td>4x Shown</td>	Spring maple	Redbud (Lilac)	20" High	Cont.	4x Shown
01 TH PA <td>Tree-plate Calycanth</td> <td>Calycanth (Sweetgum)</td> <td>4" High</td> <td>Cont.</td> <td>4x Shown</td>	Tree-plate Calycanth	Calycanth (Sweetgum)	4" High	Cont.	4x Shown
PERENNIALS & ORNAMENTAL GRASSES					
02 DY ME	Common Anemone	Flower of the Anemone	1" High	Cont.	4x Shown
03 SP HF <td>Hemerocallis "Tiger Bells"</td> <td>Tiger Flower Daylily</td> <td>1" High</td> <td>Cont.</td> <td>4x Shown</td>	Hemerocallis "Tiger Bells"	Tiger Flower Daylily	1" High	Cont.	4x Shown
06 CE TO <td>Hosta Plantain-leaf</td> <td>Hosta</td> <td>1" High</td> <td>Cont.</td> <td>4x Shown</td>	Hosta Plantain-leaf	Hosta	1" High	Cont.	4x Shown

NOTE: CONTRACTOR MUST SUBSTITUTE PLANT SPECIES BASED ON AVAILABILITY.

PLANT LIST 16 UNIT - CAPEWOOD

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	COND.	SPACING
04 HE HR <td>Blue-glacier Dwarf</td> <td>Native Compact Shrub</td> <td>18" High</td> <td>Cont.</td> <td>4x Shown</td>	Blue-glacier Dwarf	Native Compact Shrub	18" High	Cont.	4x Shown
05 SP HF <td>Starburst + Heart Plant</td> <td>Native Bush Spine</td> <td>12" High</td> <td>Cont.</td> <td>4x Shown</td>	Starburst + Heart Plant	Native Bush Spine	12" High	Cont.	4x Shown
06 HO AL <td>Spring maple</td> <td>Redbud (Lilac)</td> <td>20" High</td> <td>Cont.</td> <td>4x Shown</td>	Spring maple	Redbud (Lilac)	20" High	Cont.	4x Shown
01 TH PA <td>Tree-plate Calycanth</td> <td>Calycanth (Sweetgum)</td> <td>4" High</td> <td>Cont.</td> <td>4x Shown</td>	Tree-plate Calycanth	Calycanth (Sweetgum)	4" High	Cont.	4x Shown
PERENNIALS & ORNAMENTAL GRASSES					
02 DY ME	Common Anemone	Flower of the Anemone	1" High	Cont.	4x Shown
03 SP HF <td>Hemerocallis "Tiger Bells"</td> <td>Tiger Flower Daylily</td> <td>1" High</td> <td>Cont.</td> <td>4x Shown</td>	Hemerocallis "Tiger Bells"	Tiger Flower Daylily	1" High	Cont.	4x Shown
06 CE TO <td>Hosta Plantain-leaf</td> <td>Hosta</td> <td>1" High</td> <td>Cont.</td> <td>4x Shown</td>	Hosta Plantain-leaf	Hosta	1" High	Cont.	4x Shown

NOTE: CONTRACTOR MUST SUBSTITUTE PLANT SPECIES BASED ON AVAILABILITY.



PLANT LIST - BREEZEWOOD

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	CODE	SPACING
BU OV	Burns' Dwarf Yucca	Dwarf Yucca	18" High	Code	As Shown
R CO	Rose of Sharon	Common Rose of Sharon	30" High	Code	As Shown
SP 1P	Spirea japonica	Japanese Spirea	18" High	Code	As Shown
SP 1P	Spirea japonica	Japanese Spirea	18" High	Code	As Shown
TH PL	Thymus praecox	Wild Thyme	4" High	Code	As Shown
RES PERMANENT	PERMANENT GRASSES				
HO AL	Hosta 'Aluminum	Hosta	1' High	Code	As Shown
HO AL	Hosta 'Aluminum	Hosta	1' High	Code	As Shown
FE 1A	Fern 'Tropical	Fern	1' High	Code	As Shown

Note: Plant spacing may be required depending on plant availability. Any substitutions must be approved by landscape architect.

PLANT LIST 14 UNIT - TYPE WILLOWOOD W/ SIDELOAD GARAGE

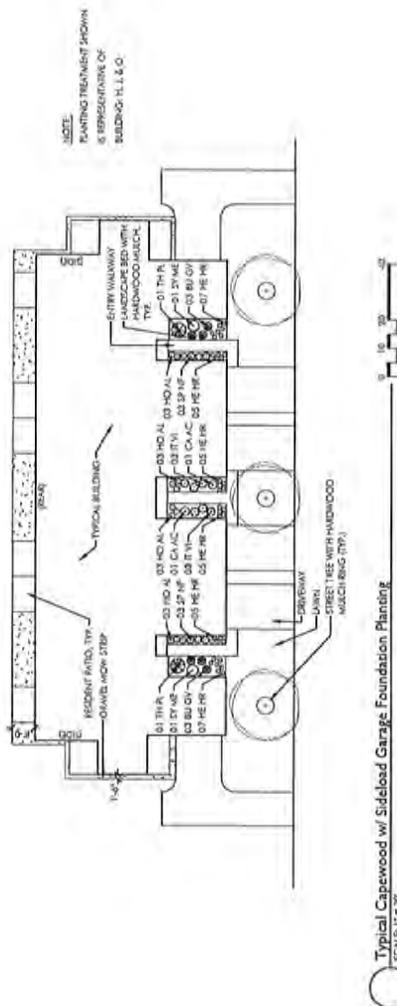
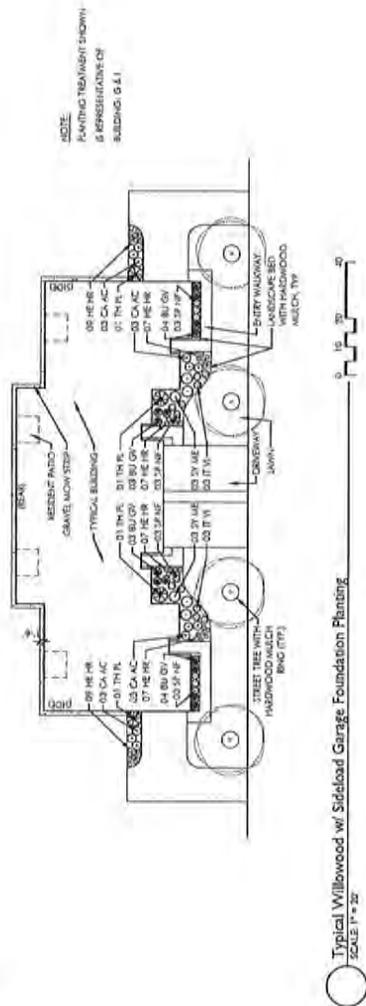
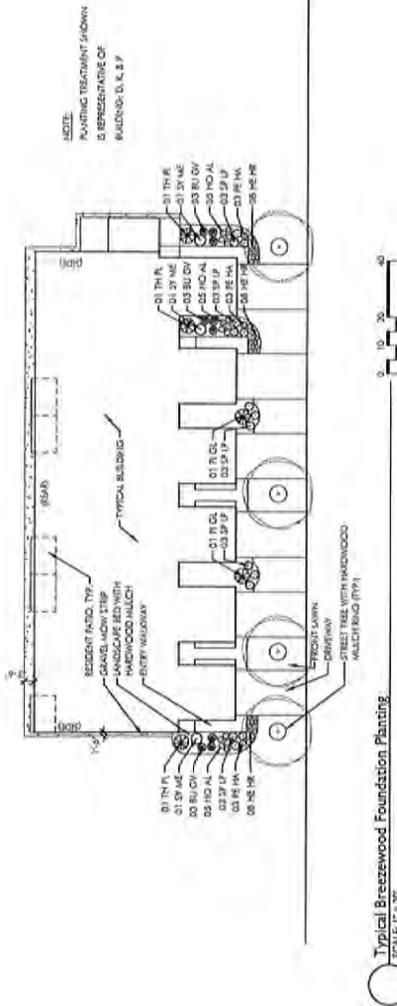
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	CODE	SPACING
BU OV	Burns' Dwarf Yucca	Dwarf Yucca	18" High	Code	As Shown
R CO	Rose of Sharon	Common Rose of Sharon	30" High	Code	As Shown
SP 1P	Spirea japonica	Japanese Spirea	18" High	Code	As Shown
TH PL	Thymus praecox	Wild Thyme	4" High	Code	As Shown
RES PERMANENT	PERMANENT GRASSES				
CA AC	Calluna vulgaris	Heather	2' High	Code	As Shown
HE 1R	Hebe 'Royal	Hebe	2' High	Code	As Shown
HO AL	Hosta 'Aluminum	Hosta	1' High	Code	As Shown

Note: CONTRACTOR MAY SUBSTITUTE PLANT SPECIES BASED ON AVAILABILITY

PLANT LIST 16 UNIT - CAPWOOD W/ SIDELOAD GARAGE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	CODE	SPACING
BU OV	Burns' Dwarf Yucca	Dwarf Yucca	18" High	Code	As Shown
R CO	Rose of Sharon	Common Rose of Sharon	30" High	Code	As Shown
SP 1P	Spirea japonica	Japanese Spirea	18" High	Code	As Shown
TH PL	Thymus praecox	Wild Thyme	4" High	Code	As Shown
RES PERMANENT	PERMANENT GRASSES				
CA AC	Calluna vulgaris	Heather	2' High	Code	As Shown
HE 1R	Hebe 'Royal	Hebe	2' High	Code	As Shown
HO AL	Hosta 'Aluminum	Hosta	1' High	Code	As Shown

Note: Contractor may substitute plant species based on availability.



PRELIMINARY
NOTE!!!
THIS DRAWING IS NOT
FOR CONSTRUCTION

REVISIONS

phone 330.666.5770
fax 330.666.8812
3660 Embassy Parkway
Fairborn, OH 44333

MPG ARCHITECTS
MANN - PARSONS - GRAY

PHASE III
THE PRESERVES AT QUAIL PASS

MILL RUN CROSSING RD.,
DELAWARE, OHIO

MASTER KEY PLAN

PROJECT # 23118

DATE: APRIL 1, 2019

MP1.1
2 OF 5

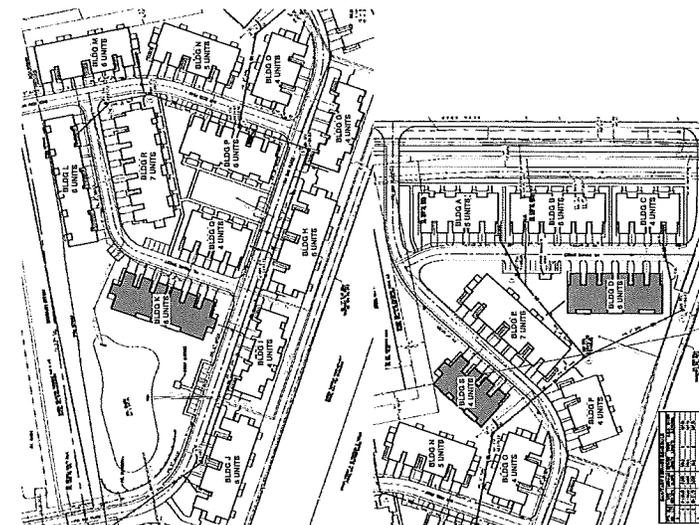
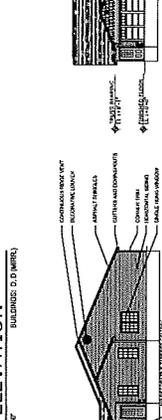
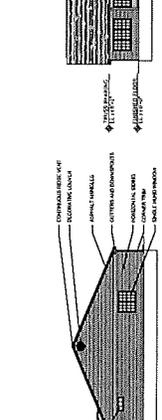
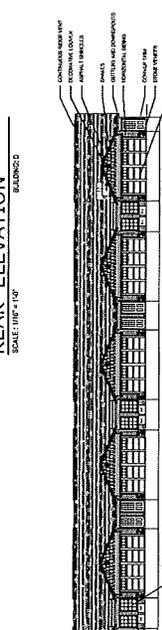
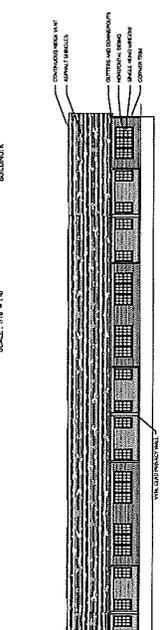
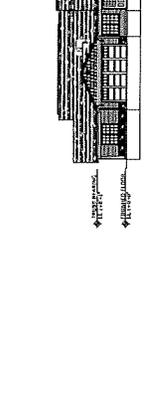
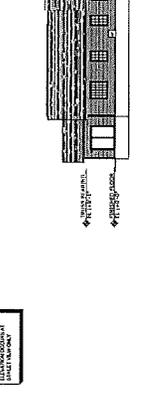
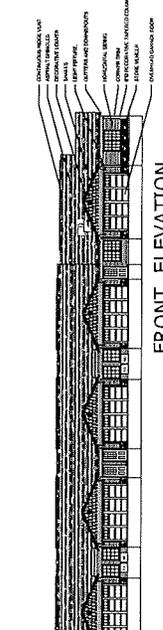
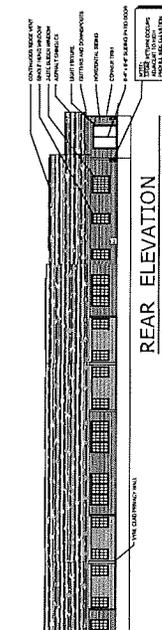
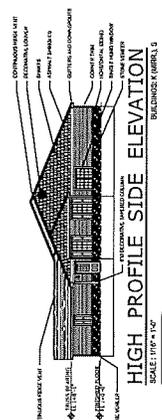
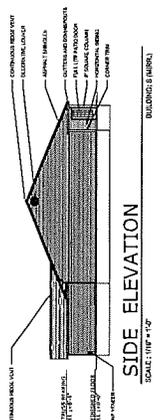
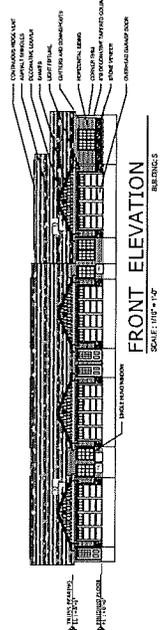
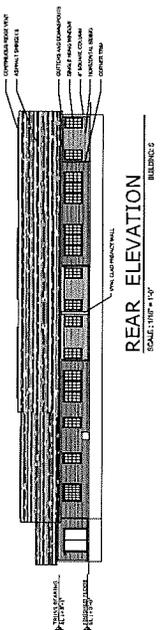
EXTERIOR FINISH MATERIAL SELECTIONS

UNIT #	UNIT TYPE	UNIT QTY
A	HIGHWOOD	5
B	HIGHWOOD	5
C	HIGHWOOD	4
D	HIGHWOOD	3
E	HIGHWOOD	3
F	HIGHWOOD	4
G	HIGHWOOD	4
H	HIGHWOOD	5
I	HIGHWOOD	4
J	HIGHWOOD	4
K	HIGHWOOD	4
L	HIGHWOOD	5
M	HIGHWOOD	5
N	HIGHWOOD	5
O	HIGHWOOD	5
P	HIGHWOOD	5
Q	HIGHWOOD	5
R	HIGHWOOD	5
S	HIGHWOOD	5
T	HIGHWOOD	5

UNIT MIX

UNIT #	UNIT TYPE	UNIT QTY
A	HIGHWOOD	5
B	HIGHWOOD	5
C	HIGHWOOD	4
D	HIGHWOOD	3
E	HIGHWOOD	3
F	HIGHWOOD	4
G	HIGHWOOD	4
H	HIGHWOOD	5
I	HIGHWOOD	4
J	HIGHWOOD	4
K	HIGHWOOD	4
L	HIGHWOOD	5
M	HIGHWOOD	5
N	HIGHWOOD	5
O	HIGHWOOD	5
P	HIGHWOOD	5
Q	HIGHWOOD	5
R	HIGHWOOD	5
S	HIGHWOOD	5
T	HIGHWOOD	5

SEE ARCHITECTURAL SPECIFICATIONS FOR MATERIAL AND FINISH SCHEDULES.
SEE ARCHITECTURAL SPECIFICATIONS FOR MATERIAL AND FINISH SCHEDULES.
SEE ARCHITECTURAL SPECIFICATIONS FOR MATERIAL AND FINISH SCHEDULES.



LEGEND

Symbol	Description
[Symbol]	Unit
[Symbol]	Block
[Symbol]	Street
[Symbol]	Other

PRELIMINARY
NOTE!!!
THIS DRAWING IS NOT
FOR CONSTRUCTION

REVISIONS

phone 330.666.5770
fax 330.666.8912
mpg-architects.com



MANN • PARSONS • GRAY
ARCHITECTS

PHASE III
THE PRESERVES AT QUAIL PASS

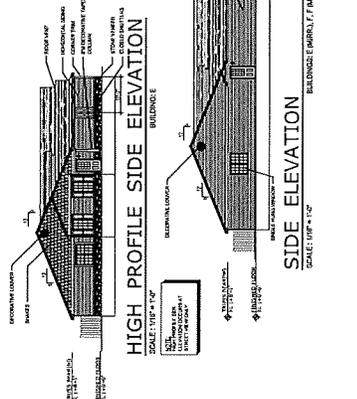
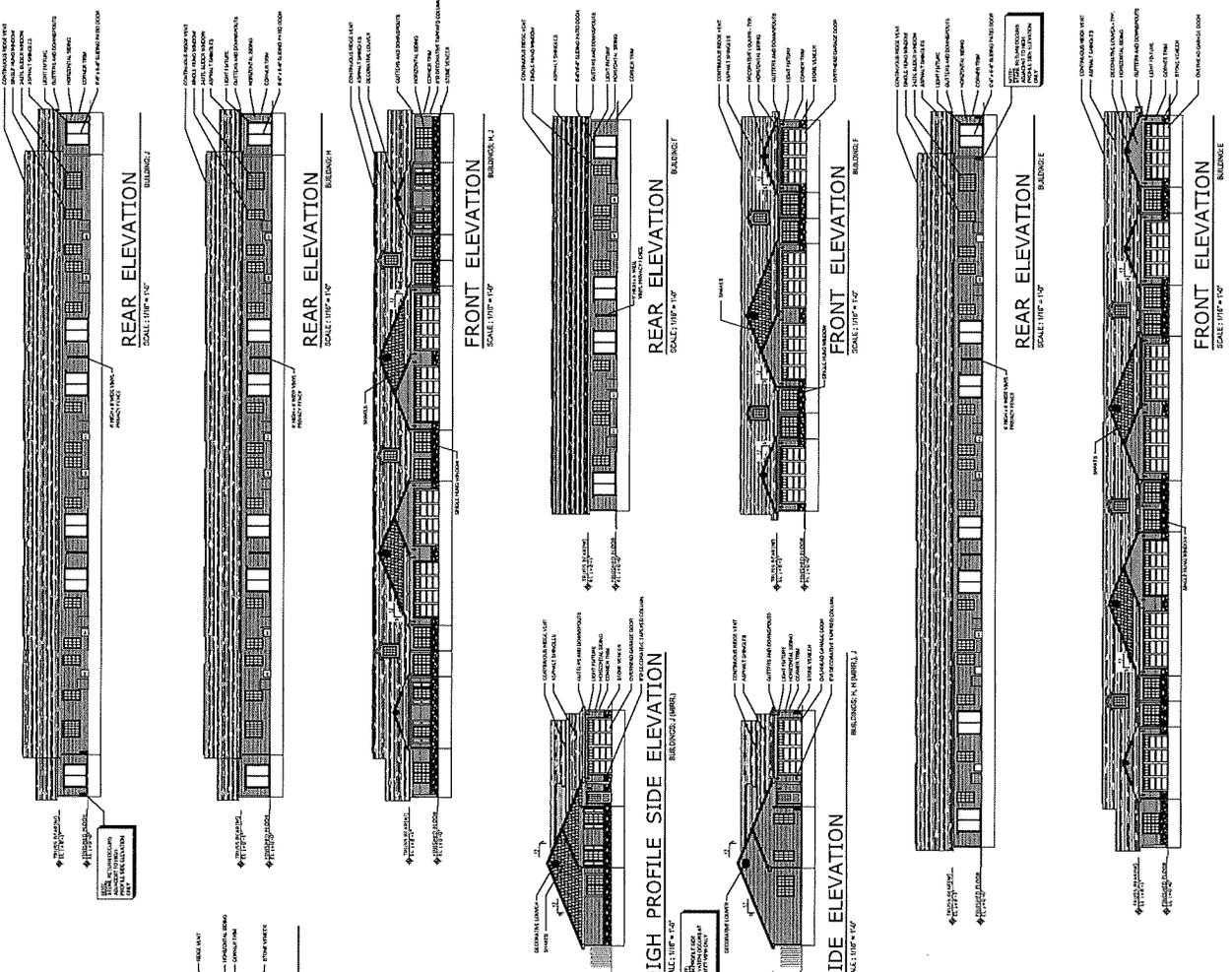
DATE: APRIL 1, 2019

MILL RUN CROSSING RD.,
DELAWARE, OHIO

PROJECT # 23118

MASTER KEY PLAN

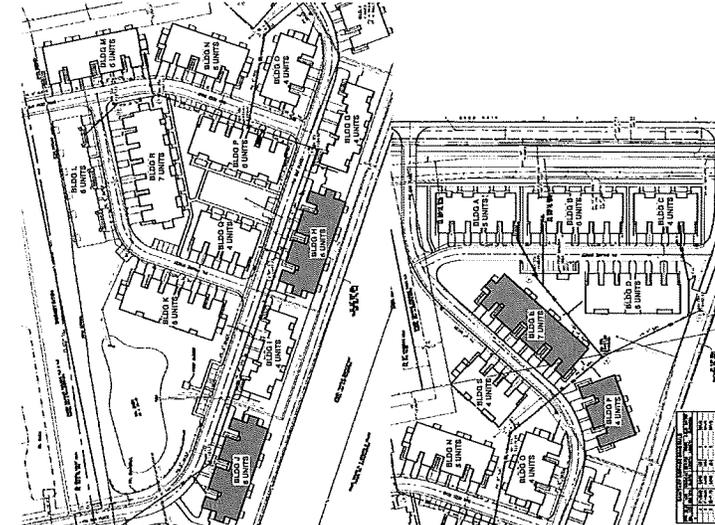
MP1.2
3 OF 5



UNIT MIX	BLOCK #	UNIT TYPE	UNIT QTY
A	1	1-BED WOOD	5
B	1	1-BED BRICK	5
C	1	1-BED WOOD	4
D	1	1-BED WOOD	4
E	1	1-BED WOOD	4
F	1	1-BED WOOD	4
G	1	1-BED WOOD	4
H	1	1-BED WOOD	4
I	1	1-BED WOOD	4
J	1	1-BED WOOD	4
K	1	1-BED WOOD	4
L	1	1-BED WOOD	4
M	1	1-BED WOOD	4
N	1	1-BED WOOD	4
O	1	1-BED WOOD	4
P	1	1-BED WOOD	4
Q	1	1-BED WOOD	4
R	1	1-BED WOOD	4
S	1	1-BED WOOD	4

EXTERIOR FINISH MATERIAL SELECTIONS	FINISH	FINISH	FINISH
1	BRICK	BRICK	BRICK
2	WOOD	WOOD	WOOD
3	WOOD	WOOD	WOOD
4	WOOD	WOOD	WOOD
5	WOOD	WOOD	WOOD
6	WOOD	WOOD	WOOD
7	WOOD	WOOD	WOOD
8	WOOD	WOOD	WOOD
9	WOOD	WOOD	WOOD
10	WOOD	WOOD	WOOD
11	WOOD	WOOD	WOOD
12	WOOD	WOOD	WOOD
13	WOOD	WOOD	WOOD
14	WOOD	WOOD	WOOD
15	WOOD	WOOD	WOOD
16	WOOD	WOOD	WOOD
17	WOOD	WOOD	WOOD
18	WOOD	WOOD	WOOD
19	WOOD	WOOD	WOOD
20	WOOD	WOOD	WOOD
21	WOOD	WOOD	WOOD
22	WOOD	WOOD	WOOD
23	WOOD	WOOD	WOOD
24	WOOD	WOOD	WOOD
25	WOOD	WOOD	WOOD
26	WOOD	WOOD	WOOD
27	WOOD	WOOD	WOOD
28	WOOD	WOOD	WOOD
29	WOOD	WOOD	WOOD
30	WOOD	WOOD	WOOD

NOTE: REFER TO SHEET MP1.01 FOR ADDITIONAL FINISHES AND MATERIAL SELECTIONS.



PRELIMINARY
NOTE!!!
THIS DRAWING IS NOT
FOR CONSTRUCTION

REVISIONS

MPG ARCHITECTS
MANN • PARSONS • GRAY
3660 Embassy Parkway
Fairlawn, OH 44333
phone 330.666.5770
fax 330.666.8912
mpg-architects.com

THE PRESERVES AT QUAIL PASS
PHASE III
DATE: APRIL 1, 2019
PROJECT #: 23118
MILL RUN CROSSING RD.
DELAWARE, OHIO

MP1.4
5 OF 5

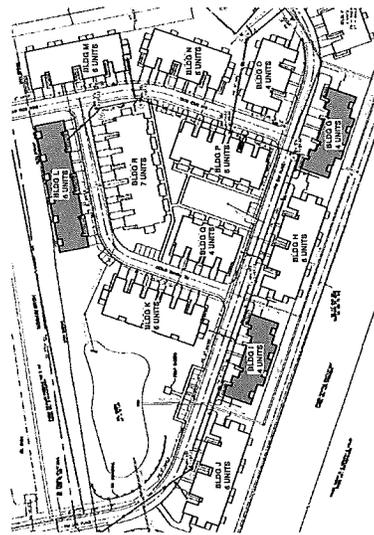
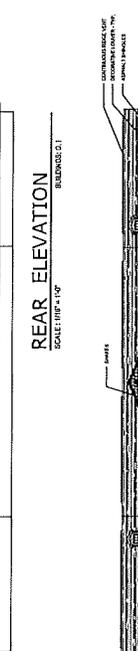
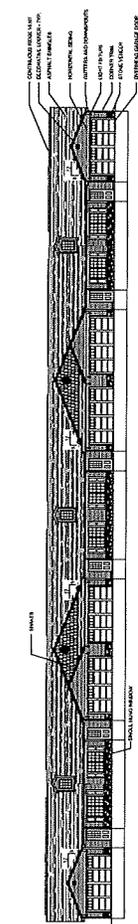
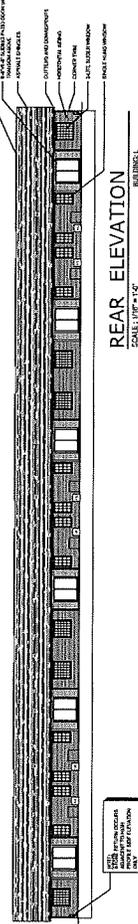
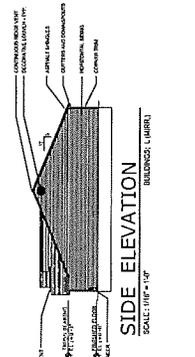
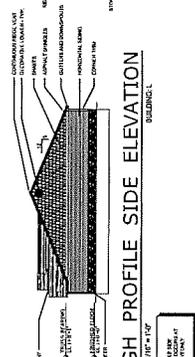
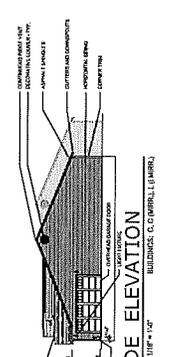
MASTER KEY PLAN

EXTERIOR FINISH MATERIAL SELECTIONS

FIN.	DESCRIPTION	FINISH
A	CONCRETE	SMOOTH
B	CONCRETE	TEXTURED
C	CONCRETE	PAINTED
D	CONCRETE	PAINTED
E	CONCRETE	PAINTED
F	CONCRETE	PAINTED
G	CONCRETE	PAINTED
H	CONCRETE	PAINTED
I	CONCRETE	PAINTED
J	CONCRETE	PAINTED
K	CONCRETE	PAINTED
L	CONCRETE	PAINTED
M	CONCRETE	PAINTED
N	CONCRETE	PAINTED
O	CONCRETE	PAINTED
P	CONCRETE	PAINTED
Q	CONCRETE	PAINTED
R	CONCRETE	PAINTED
S	CONCRETE	PAINTED
T	CONCRETE	PAINTED

UNIT MIX

BLDG #	UNIT TYPE	UNIT QTY
1	1 BR	10
2	2 BR	10
3	3 BR	10
4	4 BR	10
5	5 BR	10
6	6 BR	10
7	7 BR	10
8	8 BR	10
9	9 BR	10
10	10 BR	10





**CITY OF DELAWARE, OHIO
PLANNING & COMMUNITY DEVELOPMENT
MASTER APPLICATION FORM**



Project # _____ Case # _____

Planning Commission

- | | | |
|--|---|---|
| <input type="checkbox"/> Amended Final Development Plan | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non- Conforming Use |
| <input type="checkbox"/> Amended Final Subdivision Plat | <input type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Vacation-Alley |
| <input type="checkbox"/> Amended Preliminary Development Plan | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat | <input type="checkbox"/> Floodplain Permit | <input type="checkbox"/> Vacation-Street |
| <input type="checkbox"/> Annexation Review | <input type="checkbox"/> Lot Split | <u>Board of Zoning Appeals</u> |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Development Plan | <input type="checkbox"/> Conditional Use Permit |
| <input type="checkbox"/> Concept Plan | <input type="checkbox"/> Preliminary Dev Plan Extension | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Preliminary Sub Plat | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Determination of Similar Use | <input type="checkbox"/> Preliminary Sub Plat Extension | |
| <input type="checkbox"/> Development Plan Exemption | <input type="checkbox"/> Rezoning | |
| <input checked="" type="checkbox"/> Final Development Plan | <input type="checkbox"/> Subdivision Variance | |

Subdivision/Project Name The Preserve at Quail Pass Phase III Address Mill Run Xing Delaware, OH 43015

Acreage 19.780 Square Footage 861,627 Number of Lots _____ Number of Units 100

Zoning District/Land Use COMMERCIAL/VACANT Proposed Zoning/Land Use Residential Parcel # 41911001025000 & 41822001010000

Applicant Name Redwood Living Contact Person Patricia Rakoci

Applicant Address 7510 East Pleasant Valley Road, Independence, OH 44131

Phone 216.505.8581 Fax _____ E-mail prakoci@byredwood.com

Owner Name Delaware Preserve Three, LLC Contact Person Patricia Rakoci

Owner Address GLENN RD, DELAWARE, OH 43015 7510 East Pleasant Valley Road, Independence, OH 44131

Phone 216.505.8581 Fax _____ E-mail prakoci@byredwood.com

Engineer/Architect/Attorney E.P. Ferris & Associates, Inc Contact Person (Ferris) Chad Buckley, P.E.
POD Design, LLC (POD) Todd Foley, Principal

Address (Ferris) 880 King Ave. Columbus, OH 43212
(POD) 100 Northwoods Boulevard, Suite A, Columbus, OH 43235

Phone (Ferris) 614.299.2999 Fax _____ E-mail (Ferris) cbuckley@epferris.com
(POD) 614.360.3055 (POD) tfoley@poddesign.net

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

Owner Signature David Conwill
Owner Printed Name

Agent Signature Agent Printed Name

Sworn to before me and subscribed in my presence this _____ day of _____, 20__.

Notary Stamp

Notary Public

CASE NUMBERS: 2019-0640-0642

REQUEST: Multiple Requests

PROJECT: Winterbrooke Place

MEETING DATE: May 1, 2019

APPLICANT/OWNER

Grden LLC
10590 Wellington Place
Powell, Ohio 43065

REQUESTS

2019-0640: A request by Grden LLC for approval of a Rezoning Amendment from A-1 (Agricultural District) to R-3 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) for Winterbrooke Place containing 263 single family lots on approximately 100.6 acres and located on the north side of Peachblow Road just east of the Belmont Place Subdivision.

2019-0641: A request by Grden LLC for approval of a Conditional Use Permit allowing the placement of PMU (Planned Mixed Use Overlay District) to be established for Winterbrooke Place containing 263 single family lots on approximately 100.6 acres and located on the north side of Peachblow Road just east of the Belmont Place Subdivision.

2019-0642: A request by Grden LLC for approval of a Preliminary Development Plan for Winterbrooke Place containing 263 single family lots on approximately 100.6 acres zoned R-3 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located on the north side of Peachblow Road just east of the Belmont Place Subdivision.

PROPERTY LOCATION & DESCRIPTION

The subject four parcels are located on the north side of Peachblow Road just east of the Belmont Place Subdivision and south of the Communities at Glenross. The subject site is located in the township and zoned FR-1 (Farm Residential District) and is in the process of being annexed into the City. The property to the north is zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and the property to the west is zoned PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District) in the City and the property to the east is zoned PRD (Planned Residential District) and the properties to the south are zoned FR-1 and PID (Planned Industrial District) in the township.

BACKGROUND/PROPOSAL

As mentioned above, the subject 100.6 acre site is currently located in the township but the owner is in the process of annexing the property into the City for the proposed development. The site is located within the City utility service area and has long been planned to be part of the City if developed. If annexed into the City the site would be automatically zoned A-1 (Agricultural District) as required by the Codified Ordinances and the applicant is requesting a R-3 PMU zoning district to be compatible to the Communities at Glenross and Belmont Place Subdivisions located north and west of the site respectively.

The proposal would consist of 263 single family lots on approximately 100.6 acres for a density of 2.61 units per acre with just over 27% open space (27.47 acres). Primary access to the site would be from Peachblow Road at a proposed roundabout to be constructed by the Delaware County Engineer for the subject development and the proposed Berlin Meadows development located south of Peachblow Road in the County while secondary access would be from Belmont Place Subdivision to the west (to be constructed in Phase 1 of the development) and from Communities at Glenross to north through Winterbourne Drive (the date of the completion of the Communities at Glenross is unknown at this point).

STAFF ANALYSIS

- **ZONING:** Staff recommended and the developer agreed to rezone the property to R-3 PMU (Planned Mixed Use Overlay District) with development text to allow greater flexibility and creativity in the layout of the development, create active and passive open space and to be consistent with the Communities at Glenross south of Cheshire Road (zoned R-2 PMU with a density of approximately 2.31 units per acre) located to the north and Belmont Place (zone R-3 PMU with a density of approximately 2.75 units per acre in Sections 1-5) located to the east are both planned districts with similar uses and densities.

- **LAND USE:** The proposed single-family development is consistent with the Comprehensive Plan recommendation for Low Density Single-Family land use in the “Cheshire Subarea” of the plan. The proposed density of 2.61 units per acres is less than the 2.0-3.25 dwelling units per acre in the Comprehensive Plan. This is consistent with the two adjacent City developments as well (one is slightly higher and one is slightly lower). Specific to the overall sub-area in which the property is located, the Cheshire Sub-Area, the Comprehensive Plan contains the following land use recommendations that are applicable to these properties and consistent with this development proposal,
 - LU23.3 The Cheshire Subarea will generally continue to be a focus of residential development given its location at the southerly entrance to the City and closer proximity to employment centers. The City supports residential developments with higher valued homes and condominium developments than found in other parts of the City. The City does not support additional “entry level” product in this subarea – except in support of adjacent or nearby employment centers. It is the City’s clear expectation that residential development in the Glenn Road corridor will contain a mix of housing products, but it will not be “entry level” housing.
 - LU23.4 Creative and imaginative site design techniques will be used. Mixing densities and unit types is supported within residential developments, as is the use of small open spaces to create interest and a sense of place within neighborhoods. Neighborhood collectors should incorporate medians or roundabouts to create attractive corridors and slow traffic.

- **ENGINEERING** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on a technical review by the Engineering Department once a complete plan set is submitted for review.

- **ROADS AND TRAFFIC:** The proposed development requires a traffic impact study that would need to be approved by the City and the County (Peachblow Road is township road which is under county jurisdiction). The developer would be responsible for any improvements and/or financial obligations the subject residential development would have in the area per the City and/or County Engineer.

The primary access to the site would be from Peachblow Road at a proposed roundabout to be constructed in the future by the Delaware County Engineer (a fair share amount would be paid by developer per the County’s requirements) for the subject development and the proposed developments located south of Peachblow Road in the County while secondary access would be from the Belmont Place Subdivision to the west through Ensigns Lane (to be constructed in Phase 1 of the subject development) and from the Communities at Glenross to the north through Winterbourne Drive (the date of the completion of the Communities at Glenross is unknown at this point). If the County Engineer does not construct the proposed roundabout prior to the developer initiating construction of the subject development, the proposed access point to Peachblow Road would be a traditional intersection with a stop sign.

Internally, the single access point from Peachblow Road would be extended north to connect with Winterbourne Drive in the Communities at Glenross Subdivision. Winterbourne Drive has not been extended to the subject developers northern property line at the current time but is part of the plan. This road is a non-loaded connector road per the City Thoroughfare Plan. A secondary connection would be made to the west to connect an internal residential street to the Belmont Place Subdivision through the Ohio Health property (60 foot wide panhandle lot). The Ohio Health panhandle lot could provide an access road to be extended from Peachblow Road north to the proposed future hospital location and maybe constructed in the future if needed. Also, an internal street would be stubbed to the property to the east (future Evans Farm development). The remainder of the streets would be residential in nature and would have to be constructed to public standards and achieve compliance with the minimum engineering requirements. Also, the development shall be in the Delaware South New Community Authority, subject to the single family lot transportation fee (\$1,000 per dwelling unit) in effect at the time of building permit issuance and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling units.

- **SITE LAYOUT:** The layout is designed around the location of Winterborne Drive connection to the Communities at Glenross (along the northern portion of the subject site) that extends south to Peachblow Road with single family lots located east and west of the spine road. Of the proposed 263 single family lots, the developer is proposing 106 single family lots located east of Winterbourne Drive and 157 single family

lots located west of Winterbourne Drive. The site is further complicated by being bisected by overhead electric transmission easement this is 150 feet wide.

The developer is proposing 263 single family lots with 21 of the lots being 80 x130 (10,400 square feet), 130 lots being 65 x130 (8,450 square feet) and 112 lots being 52 x 130 (6,760). More specifically on the 106 single family lots located on the east side of Winterbourne Drive, there would be 41- 65x130 (8,450 square feet) lots located along the northeastern portion of the site adjacent to the Communities at Glenross and 65-52x130 (6,760 square feet) lots located just north of Peachblow Road. Of the 157 lots west of Winterbourne Drive, there would be 21- 80x130 (10,400 square feet) lots located along the northwestern portion of the site adjacent to the Communities at Glenross, 89-65x130 (8,450 square feet) lots located just east of the Belmont Place Subdivision and 47-52x130 (6,760 square feet) lots located just north of Peachblow Road.

By way of comparison, Communities at Glenross south of Cheshire Road includes 293, 65 foot wide lots, 88, 80 foot wide lots and 106, 50 foot wide lots. The price points of all the 50 wide lots to date have been in excess of \$300,000. The eastern half of Belmont Place Subdivision includes 146, 65 foot wide lots. Thus given the location and lot types proposed with this development in relation to the adjacent development, this development is consistent, provides a variety of lot types and has logical transitions between them. Additionally, the proposed development in the County to the south of Peachblow Road includes smaller lots, planned commercial development, a school site and major roadway improvements. Locating the smaller width lots along the southern boundary of the proposed development is therefore also a logical transition to these developments (see attached plans).

In the proposed development, the front yard setback would be a minimum 25 feet for all lots and the minimum rear yard setback would be 30 feet for all lots. The side yard setbacks for 80 foot wide lots would be 7.5 feet (15 feet total), for 65 foot lots would be 6.5 feet (13 feet total) and for 52 foot lots would be 5 feet (10 feet total). Patios, decks and other exterior improvements can extend 15 feet into the 30 foot rear yard setback. The minimum house size for an 80 foot wide lot would be 2,000 square feet, for an 65 foot wide lot would be 1,800 square feet and for a 52 foot wide lot would be 1,500 square feet as written in the draft development text. Staff recommends for the 52 foot wide lots, that one-story houses shall be 1,600 square feet minimum and two-story houses shall be 1,800 square feet minimum to be consistent with the Communities at Glenross smaller width lots. Also to comply with the base zoning code, all the corner lots would be required to be oversized by 30% from the base lot size.

There are four proposed detention basins located within the development (three along Peachblow Road and one in the northwestern portion of the site) and 150 foot wide power easement along the extreme southeastern portion of the site. Also, there are five active open space areas throughout the development. In addition, a landscape buffer with mounds and trees is required along Winterbourne Drive to be consistent with the roadway treatment in the Communities of Glenross while preserving as many trees as possible and a landscape buffer with mounds and trees is required along Peachblow Road to be consistent with the treatment along Belmont Place. Also, mounding and landscaping shall be required adjacent to the existing single family house to the southwest per the development text and plan submitted. This specifically includes buffering along the eastern property line adjacent to the existing house to be established that would require a 5 to 6 high mound with a continuous screen of landscaping with minimum 6 foot high evergreen trees planted 20 feet on-center in staggered alignment. The setback shall range shall be from 25 feet at lot 220 to 230 feet at lot 227 (on the Preliminary Development Plan). Also, the setback and buffering from lot 220 (northeast) to lot 215 (north) (on the Preliminary Development Plan) shall have a 25 foot setback that would require a 3 to 4 high mound with a continuous screen of landscaping with minimum 6 foot high evergreen trees planted 20 feet on-center in staggered alignment.

- **DESIGN:** The applicant is proposing specific house design standards for each size lot size (80 foot, 65 foot and 52 foot) and overall design standards for all the houses to be consistent with the adjacent subdivisions of the Communities at Glenross and Belmont Place. The percentage of natural materials on the front elevations of the 52 foot wide lots is significantly higher than the 50 foot wide lots in the Communities at Glenross (25%). The proposed standards would include: 1.) 100% natural material on all elevations for 80 foot lots adjacent to the Communities at Glenross; 2.) Minimum 40% natural materials on the front elevations for on all 52 and 65 foot lots; 3.) The exterior elevations of each house excluding garage doors, entrance doors,

gutters, shutters, downspouts and windows shall consist of brick, stone, cultured stone, stucco, wood siding or fibrous cement siding (all considered natural materials); 4). All houses shall have a minimum 2 car attached garage; 5). All houses shall have dimensional shingles; 7). All primary roof pitches on front and rear facing gabled elevations shall be a minimum of 5:12. All primary roof pitches on side facing gabled elevations shall be a minimum of 6:12. All other accessory elevations shall be a minimum roof pitch of 3-1/2:12. In addition, all the houses shall comply with Chapter 1171.08 Residential Development Design Criteria and Performance Standards.

- **BIKE PATHS AND PEDESTRIAN ROUTES:** The applicant is proposing a bike path along the north side of Peachblow Road and along both sides of Winterbourne Drive per the City Engineer's requirements to be consistent with the Belmont Place and the Communities at Glenross Subdivisions respectively and achieve compliance with the adopted Bicycle and Pedestrian Master Plan 2027. Also, the applicant is proposing bike paths or sidewalks in all five active open space areas that would connect to the proposed bike path/sidewalk network in the development. Sidewalks will be provided on both sides of all public streets in the subdivision.
- **PARKLAND AND OPEN SPACE:** The proposed plan has 27.47 acres of open space (27.29%) of which 14.22 acres (14.13%) is active park open space which appears to be divided into 5 areas throughout the site. The primary active open space area located just west of the main entrance into the development would have amenities such as a shelter house, picnic tables and bocce court and a bike path along Peachblow Road. A second large open space is located just east of the main entrance on Peachblow Road which contains two detention basins and a 150 foot wide overhead power line easement. The amenities include a bike path and benches. A third smaller open space is located just north of the above mentioned open space and has a sidewalk going through the area. A fourth open space is located in the northeastern portion of the development behind lots 69-79 and 16-23. Amenities in this area include a tot lot and a sidewalk connecting two street access points into the open area. A fifth open space area is located in the northwestern portion of the development which includes a detention basin and a tot lot, benches and a sidewalk connection to two street access points into the open space. The tot lots shall be exceptionally well programmed and appointed with a variety of amenities across the development including areas for active field space. The final details of each tot lot and active open spaces shall be reviewed and approved with every Final Development Plan and Final Subdivision Plat. All open spaces shall be owned and maintained by the homeowners association but allow public access.
- **TREE PRESERVATION:** Per the submitted survey with the Preliminary Development Plan, the applicant is removing 915 caliper inches of trees (107 trees) while the applicant is preserving 1771.5 caliper inches of trees (211 trees). Therefore the applicant is preserving significantly more trees (856.5 caliper inches) than ones being removed and achieves compliance of the proposed development text and other recently approved PMU's. However if any trees are removed during construction, the trees would have to be documented and inventoried to ensure they achieve compliance with the approved development text. Staff recommends that utilities should not be located within tree preservation easements and ensure the subject lots impacted could yield a maximum size house with an acceptable deck.
- **UTILITIES:** The site would be serviced by City sanitary sewer and water that would have to be extended by the developer.
- **LIGHTING PLAN:** A lighting plan has not been submitted but would be required for Final Subdivision Plat approval and would have to achieve compliance with the zoning code and approved by the City.
- **FIRE DEPARTMENT:** The proposed development would need to be capable of supporting and allowing the full maneuverability of the fire department ladder truck along with complying with all other fire department requirements.
- **PHASING:** The applicant has provided a preliminary phasing plan which indicates the site would be developed in seven phases. Phase I (73 lots) would be located just west of Winterbourne Drive fronting Peachblow Road while Phase 2 (29 lots) would be just north of Phase 1. Phase 3 (23 lots) would be east of Winterbourne Drive. Phase 4 (33 lots) would be located north of phase 2. Phase 5 (27 lots) would be located east of Phase 3 while Phase 6 (56 lots) would be located north of Phase 3. Phase 7 (22 lots) would be located north of Phase 4 in the extreme northwestern portion of the site.

STAFF RECOMMENDATION (2019-0640 – REZONING)

Staff recommends approval of a request by Grden LLC for a Rezoning Amendment from A-1 (Agricultural District) to R-3 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) for Winterbrooke Place containing 263 single family lots on approximately 100.6 acres and located on the north side of Peachblow Road just east of the Belmont Place Subdivision, with the following condition that:

1. Any change of use or major modification of the plan shall require conformance to all provisions of the Development Text.

STAFF RECOMMENDATION (2019-0641 – CONDITIONAL USE PERMIT)

Staff recommends approval of a request by Grden LLC for a Conditional Use Permit allowing the placement of PMU (Planned Mixed Use Overlay District) to be established for Winterbrooke Place containing 263 single family lots on approximately 100.6 acres and located on the north side of Peachblow Road just east of the Belmont Place Subdivision.

STAFF RECOMMENDATION – (2019-0642 PRELIMINARY DEVELOPMENT PLAN)

Staff recommends approval of a request by Grden LLC for a Preliminary Development Plan for Winterbrooke Place containing 263 single family lots on approximately 100.6 acres zoned R-3 PMU(One-Family Residential District with a Planned Mixed Use Overlay District) and located on the north side of Peachblow Road just east of the Belmont Place Subdivision, with the following conditions:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The developer shall be responsible for any improvements and/or financial obligations of the traffic impact study per the City Engineer and County Engineer.
3. The primary access to the development shall be from Peachblow Road at a proposed roundabout to be constructed in the future by the Delaware County Engineer (a fair share amount would be paid by developer per the County's requirements) for the subject development and the proposed developments located south of Peachblow Road in the County. If the County Engineer does not construct the proposed the roundabout prior to the developer initiating construction of the subject development, the proposed access point to Peachblow Road shall be a traditional intersection with a stop sign.
4. All retention ponds shall be setback from a public road per the City Engineer.
5. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
6. The single family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
7. All the active open space areas shall have amenities approved by staff and the tot lots shall be exceptionally well programed and appointed with a variety of amenities across the development including areas for active field space. The final details of each tot lot and active open spaces shall be reviewed and approved with every Final Development Plan and Final Subdivision Plat. All opens spaces shall be owned and maintained by the homeowners association but allow public access.
8. A minimum 3-6 foot high mound with landscaping shall be located along both sides Winterbourne Drive to be consistent with the roadway treatment in the Communities of Glenross and a 3-6 high mound with landscaping shall be located along Peachblow Road to be consistent with the treatment along Belmont Place.

9. Along the eastern property line adjacent to the existing single family house, a buffer shall established that would require a 5 to 6 high mound with a continuous screen of landscaping with minimum 6 foot high evergreen trees planted 20 feet on-center in staggered alignment. The setback shall range from 25 feet at lot 220 to 230 feet at lot 227 (on the Preliminary Development Plan).
10. Along the northeastern and north property line to existing single family house, the setback and buffering from lot 220 (east) to lot 215 (north) (on the Preliminary Development Plan) shall have a 25 foot setback that shall require a 3 to 4 high mound with a continuous screen of landscaping with minimum 6 foot high evergreen trees planted 20 feet on-center in staggered alignment.
11. A street tree plan shall be submitted and approved by the Shade Tree Commission.
12. Any tree removal and/or replacement requirements shall achieve compliance with the approved development text.
13. The existing tree lines along the north and eastern perimeters of the development shall be preserved and placed in a tree preservation easement along with the preserved trees located west of Winterbourne Drive.
14. The bike paths along both sides of Winterbourne Drive and the north side of Peachblow Road shall be installed by the developer and located within an easement dedicated to the City and shall be maintained by the Homeowner's Association.
15. The street lighting plan shall be submitted, reviewed and approved by the Chief Building Official and achieve compliance with all zoning requirements prior to final subdivision plat approval of each phase.
16. The development shall be in the Delaware South New Community Authority, subject to the single family lot transportation fee (\$1,000 per dwelling unit) in effect at the time of building permit issuance and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling units.
17. For the 52 foot wide lots, one-story houses shall be a minimum 1,600 square feet and the two-story houses shall be a minimum 1,800 square feet to be consistent with the smaller width lots in the Communities at Glenross.

PLANNED MIXED USE DEVELOPMENT TEXT
ARLINGTON BUILDERS
WINTERBROOKE PLACE
DELAWARE, OHIO

1. DESCRIPTION OF DEVELOPMENT

Arlington Builders ("Applicant") is proposing to rezone the approximate 100.648 acre site north of Peachblow Road, south of The Communities at Glenross and east of the Belmont Place A-1 (Agricultural) to R-3 PMU (One Family Residential with a Planned Mixed-Use Development District) for a 263-unit single family development with a density of approximately 2.61 units per acre.



2. GENERAL DEVELOPMENT STANDARDS

- A. Purpose and Intent.** It is the intent of the Applicant to provide a planned single-family development with high quality site improvements, architectural design, signage and amenities. This Development Text represents the zoning requirements for this development as agreed upon between the Applicant and the City.
- B. Conformance with Codified Ordinances and City Policy.** Unless noted otherwise within this development text, all development will be constructed and provided in conformance with the then current Codified Ordinances and City Policy in effect at the time of application.
- C. Limitations.** Nothing in this text shall prohibit additional restrictions or requirements from being placed on the approval of any Final Development Plan.
- D. Major Modifications.** Once a Final Development Plan has been approved by City Council, any subsequent major modification to that plan shall only be permitted by resubmission and approval of a revised Final Development Plan through the procedures set forth in the Zoning Code. Major modification for the purposes of this text shall mean any modification of the approved Final Development Plan, as determined by the Director of Planning & Community Development, that results in:
- (1) Any major change in the use or occupancy other than those uses specifically listed in this text.
 - (2) Major change in the approved location of land uses and/or buildings and building sizes of more than 10%.
 - (3) Substantial alteration of the basic geometry of the street layout and/or operation characteristics of any element of the approved access points and systems of pedestrian paths that result in a change in operating characteristics or character.
- E. Minor Modifications.** Once a Final Development Plan has been approved by City Council, any subsequent minor modification to that plan shall only be permitted by resubmission and approval by the Director of Planning and Community Development of a revised Final Development Plan. Minor modification for the purposes of this text shall mean any modification of the approved Final Development Plan, as determined by the Director of Planning & Community Development, that results in:

- (1) Any modification that is not considered a major modification by this Zoning Text or by determination of the Director of Planning & Community Development.
- (2) Any minor change to the use or occupancy of the structures onsite other than those uses specifically allowed in this text or any minor changes to the approved site layout.
- (3) Minor alteration of the basic geometry of the street layout and/or operation characteristics of any element of the approved access points and systems of pedestrian paths that result in a change in operating characteristics or character.
- (4) Minor structural alterations that do not alter the overall design intent of the building.

F. Preliminary & Final Development Plan

- (1) The proposed site plan and building elevations require Preliminary and Final Development Plan approval by the Planning Commission and City Council. As there is no builder yet engaged in this project, building standards are included with the Preliminary Development Plan, with actual elevation samples submitted with Final Development Plan approval.

G. Tree Removal and Replacement. Tree removal and replacement shall meet all requirements of Chapter 1168 along with the following replacement schedule:

- (1) Trees in poor condition shall not be replaced (dead, damaged or diseased).
- (2) Trees in fair condition shall be replaced at 50%.
- (3) Trees in good condition shall be replaced at 100%
- (4) Ash trees shall not be replaced and must be removed from the site.
- (5) Other tree species considered by the City Arborist to be a species of poor quality will be considered as such with a 0% replacement value.
- (6) Per the submitted tree survey with the preliminary development plan, the applicant is removing 915 caliper inches (107 trees).
- (7) Per the submitted tree survey with the preliminary development plan, the applicant is preserving 1771.5 caliper inches of trees (211 trees).
- (8) Therefore, the applicant is preserving significantly more trees (856.5 caliper inches) than ones being removed and achieves compliance with the intent of Chapter 1168 Tree Preservation Regulations and other recently approved PMU's.
- (9) The schedule above shall be applied to the proposed Final Development Plan and tree survey for preservation and removal of trees. This shall be done prior to or concurrent with the Final Development Plan submission. Trees proposed to be permanently preserved shall be given credit based upon their caliper inches per the tree survey and the schedule above calculated against the total caliper inches proposed to be removed (again in accordance with the schedule above and the tree survey). If there remains a balance of caliper inches due, the applicant shall replant these on site and in addition to any required or proposed trees, or make a payment in lieu of replanting these at \$100 per caliper inch, or any such

combination that achieves a zero-balance due.

- H. Utilities to be Located Underground.** All new utilities serving the Property shall be located underground. Additionally, and if determined to be economically feasible, any existing utilities that will serve the Property that are located above ground shall be relocated underground. The Applicant and the City shall work together to ensure that any technical and financial information provided by the respective utility company is fair and reasonable. Cell towers, DAS and small cell site(s) applications shall not be allowed within the subdivision.
- I. Composite Utility Plan Required.** Prior to the installation of any non-City owned utility, a composite utility plan shall be submitted for review and approval by the City. Such plan shall depict the location and type of all non-City owned utilities including the location and type of any above ground pedestal, transformer, meter, cabinet, and other such above ground structures that support the respective utility. Any above ground structure shall be inconspicuously located, dark green in color, and if located in any front yard shall not be higher than 5 feet.
- J. Construction Trailers.** Construction trailers shall meet all requirements of the current Zoning Code and shall be removed once construction activity has moved to another phase of the development. For example, once the public improvements have been accepted in Phase 2 any construction trailer located in Phase 1 shall be relocated to Phase 2 provided the respective builder is or will be constructing lots in the subsequent phase.

3. SITE PLAN

The project is located on an approximate 100.648-acre site north of Peachblow Road, south of the Communities at Glenross and east of Belmont Place with primary access from Peachblow Road and an extension of Winterbourne Drive (from Communities at Glenross), with secondary access points from Ensigns Lane (Belmont Place) to the west, and a future road stub to the east. The applicant has been working with the Ohio Health to the west to accomplish the Ensigns Lane connection. . The Applicant is proposing 263 single family homes, on three lot sizes, for a density of approximately 2.61 units per acre. Among the amenities, the applicant plans to include 2 tot lots, a picnic area with shelter and picnic benches and bocce ball, open space and gathering areas, and extensive multiuse path network and landscaping. Open space shall be provided that includes +/-27.47 acres of open space (+/-27.29%) , with +/-14.22 (+/-14.13%) acres being suitable for public open space.

4. SITE USES

A. Uses. The following uses shall be considered permitted, conditionally permitted, or limited uses as represented in the chart below by P and C. respectively, and as defined by attached Chapter 1121 of the Zoning Code. Any use not listed in the chart shall be considered a prohibited use unless amended by action of the Planning Commission and City Council through a Zoning Amendment process.

(1) Permitted Uses. Permitted uses are permitted by-right and shall meet all development standards specified within this text and the Zoning Code, as applicable.

(2) Conditionally Permitted Uses. In addition to all standards specified within this development text, uses listed as conditionally permitted uses shall meet all the then current Zoning Code standards for approval of a Conditional Use Permit current at the time of application for the specific conditional use as well as any other regulations contained within the Zoning Code and applicable to the conditional use.

(3) Accessory Uses and Structures. Although not specified in the chart below, accessory uses, which are considered allowed uses, include those items that are customarily incidental and secondary to the principal use of the land. Such items include but are not limited to signs, fences, trash receptacles and enclosures, and off- street parking areas. If the uses are specified as conditional or limited uses the processes and limitations shall apply regardless of accessory use status.

Land Use Category-Single Family	Uses
(a) Residential	
(1) Detached Single-Family Dwelling	P
(2) Minor Home Occupation	P

(b) Recreational Open Space	
(1) Park/Playground	P
(2) Non-commercial recreation facility (including Home owners association controlled facilities)	P
(c) Other	
(1) Public Safety and Service Facility (local Service)	C

B. Lot Standards. The following standards shall apply for minimum principal building setbacks (including accessory structures attached to the principal structure) based on the type of dwelling unit

Lot Standards	
(1) Minimum lot area	80' lots -10,400 sf. 65' lots-8,450 sf. 52' lots-6,760 sf.
(2) Minimum front yard setback*	25' minimum
(3) Minimum side yard setback*	80' lots-7.5' minimum (15' total) 65' lots-6.5' minimum (13'total) 52' lots-5' minimum (10' total)
(4) Minimum Rear Yard setback*	Per approved FDP 30' minimum

*Front, Side and Rear Yard setbacks shall not apply to minor architectural projections such as eaves, chimneys, lower level egress window wells and bay windows. Such

projections may extend 3 feet into the required yard setback. Patios, decks, and other exterior improvements can extend 15' into the 30' rear yard setback.

C. Floor Area Requirements Each dwelling unit shall provide for the following minimum floor area, exclusive of basements, unfinished attic spaces, garages, and any attached or detached accessory buildings.

(1) 80' lots -2,000 sf.

(2) 65' lots -1,800 sf.

(3) 52' lots – 1,500 sf.

All homes must have at least an attached 2 car garage

D. Building Design. Unless otherwise modified within this Development Text, all dwellings shall meet the minimum building design requirements of Chapter 1171, R-3 District standards for detached single-family dwellings and the additional standards as described below for each type of lot size and shall be consistent with the submitted elevations.

E. Exterior Material and Trim Standards.

80' lots

100% of all elevations of each building (excluding garage doors, entrance doors, gutters, shutters, downspouts and windows) shall consist of natural materials such as brick, stone, cultured stone, wood,, and engineered siding products (including cementitious fiberboard and other engineered siding products approved by the City of Delaware, e.g. HardiPlank™) (collectively “Natural Materials”). Not less than 50% of the front elevation (excluding doors, windows shutters, gutters and downspouts) shall consist of a natural material other than stucco. Gutters (and the material by which they are attached to the home), downspouts, soffits, shutters, garage and entrance doors may be of man-made materials such as metal, vinyl, aluminum or glass. No concrete or split face block shall be permitted, except for the basement or foundation walls. The roofs of all homes shall have dimensional shingles.

65' lots

At least 40% of the front facade elevation of each building (excluding garage doors, entrance doors, gutters, downspouts and windows) shall consist of brick, stone, or cultured stone, wood and engineered siding products (including cementitious fiberboard and other engineered siding products approved by the City of Delaware, e.g. HardiPlank™). All vinyl siding shall have a minimum thickness of .044 mils. Gutters (and the material by which they are attached to the home), downspouts, soffits, shutters, garage and entrance doors may be of man-made materials such as metal, vinyl, aluminum or glass. No concrete or split face

block shall be permitted, except for the basement or foundation walls. The roofs of all homes shall have dimensional shingles.

52' lots

At least 40% of the front facade elevation of each building (excluding garage doors, entrance doors, gutters, downspouts and windows) shall consist of brick, stone, or cultured stone, wood and engineered siding products (including cementitious fiberboard and other engineered siding products approved by the City of Delaware, e.g. HardiPlank™). All vinyl siding shall have a minimum thickness of .044 mils. Gutters (and the material by which they are attached to the home), downspouts, soffits, shutters, garage and entrance doors may be of man-made materials such as metal, vinyl, aluminum or glass. No concrete or split face block shall be permitted, except for the basement or foundation walls. The roofs of all homes shall have dimensional shingles.

Standards for all lot sizes

- a) The color palette shall consist of earth tones including whites, blues, greens and grays, but shall not be of a high-chroma color. Additional colors may be used as accents but may not be high gloss or high-chroma colors.
- b) Street lights shall achieve compliance with the then current Chapter 1158 Lighting Plan requirements.
- c) Parking will be provided at a minimum of 2 spaces per dwelling unit in an attached garage.
- d) All primary roof pitches on front and rear facing gabled elevations shall be a minimum of 5:12. All primary roof pitches on side facing gabled elevations shall be a minimum of 6:12. All other accessory elevations shall be a minimum roof pitch of 3-1/2:12.
- e) Trim board around all corners, windows, and doors shall be a minimum of 4 inches all around.
- f) EIFS or similar products are prohibited as an exterior material.
- g) Frieze trim a minimum of 4 inches wide is required under all overhangs and gables.
- h) All home elevations shall be reviewed and approved by the Director of Planning & Community Development to establish compliance with the Building Design requirements of this Development Text.

- i) Materials on each home shall be varied to provide variety throughout the community.
- j) All front elevations shall include a variety of styles, colors, and/or materials types of materials and shall meet the varied locations requirement of Chapter 1171. C.
- k) Minimum 8 inch overhangs and rakes.
- l) Lintels and sills in masonry walls shall be brick soldier course, limestone, or sandstone, along with other manufactured stone products.
- m) Although porch railing and column details are encouraged to vary from home to home, porch columns shall have a minimum 6 x 6 inch cross section or diameter. Treated lumber shall be painted or stained, except when used on outdoor decks.
- n) All homes shall provide an identifiable entry with entry coverings and stoops being a minimum of 3 feet deep or the minimum necessary for building code regulations, whichever is greater.
- o) Front elevations shall be designed to de-emphasize the visual impact of the garage. All garage doors facing a public street shall be architecturally upgraded to include design elements consistent with the design of the home and development including matching the door color. and may incorporate a glass course, add trim packages to give the appearance of stable doors, man doors, hinged swing doors, and other similar architectural elements.
- p) **Accessory Structures.** Fences (other than decorative fencing along front entrance paths and front porches) are prohibited in any front yard and must meet the standard fence specifications as provided with the Final Development Plan. Attached decks and patios may extend up to fifteen (15) feet into a required rear setback provided the encroachment does not adversely impact any easement. All other accessory structures shall meet the requirements of the current Zoning Code.
- q) The Homeowner Association covenants shall not preclude the use of solar panels located upon primary house structures.

F. Landscaping and Screening. All landscaping shall meet the requirements of the then current Zoning Code and the Gateways & Corridors Plan unless modified herein.

1. All street tree plantings shall meet the requirements and approval process of the Zoning Code unless modified in this Development Text. Street trees

shall be a minimum of 1.75 caliper inches as measured at breast height at the time of installation or per City Arborist.

2. Along Peachblow Road and Winterbourne Drive, an undulating earth mound, no less than 3 feet and not more than 6 feet in height with a mix of deciduous and coniferous plantings shall be provided. Mounding shall be omitted in locations of existing trees, power line easements, and areas meeting sight distance requirements per the approved Final Development Plan. Existing deciduous trees shall offset the need for additional deciduous trees.

3. A setback and screening with mounding and landscaping shall be established adjacent to the single family house to the southwest of the development (PID 418-330-01-024-000).

- a. Along the eastern property line adjacent to the existing house a buffer shall established that would require a 5 to 6 high mound with a continuous screen of landscaping with minimum 6 foot high evergreen trees planted 20 feet on-center in staggered alignment. The setback shall range from 25 feet at lot 220 to 230 feet at lot 227 (on the Preliminary Development Plan).
- b. The setback and buffering from lot 220 (east) to lot 215 (north) (on the Preliminary Development Plan) shall have a 25 foot setback that would require a 3 to 4 high mound with a continuous screen of landscaping with minimum 6 foot high evergreen trees planted 20 feet on-center in staggered alignment.
- c. A detention basin is located west of the house and no landscaping is required.

4. Landscaping for each single-family home shall meet the requirements of the Residential Exterior Design Standards.

5. Common HOA landscaping shall be well maintained including regular mowing, trimming, mulching, weeding and replacement if needed.

G. Pedestrian Connectivity. Pedestrian connectivity shall be provided throughout the subdivision and future development. Concrete sidewalks or paths shall be provided on both sides of all public streets unless multi-use paths of appropriate width and material shall be provided as shown on the approved Final Development Plan per engineering requirements.

- (1) A bike path shall be required along the north side of Peachblow Road per the adopted Bicycle and Pedestrian Master Plan 2027.
- (2) A bike path shall be required along both sides of Winterbourne Drive per the adopted Bicycle and Pedestrian Master Plan 2027 to connect to

the bike path in the Communities of Glenross along Winterbourne Drive.

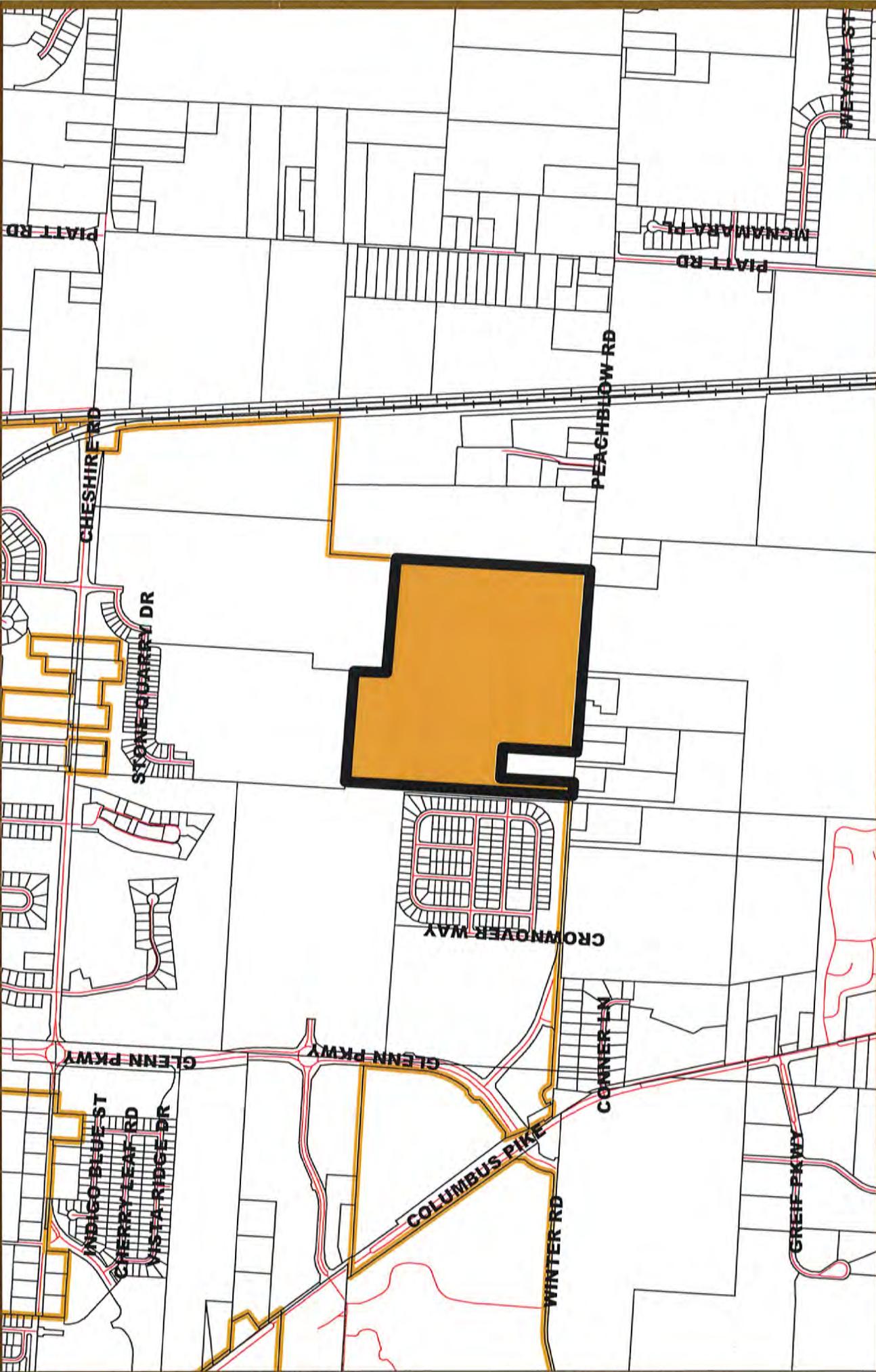
H. Open Spaces. Open spaces shall be landscaped and designed in a manner consistent with the overall development. Landscaping and design plans for all open spaces shall be submitted and approved with the Final Development Plan and include, at a minimum, the following:

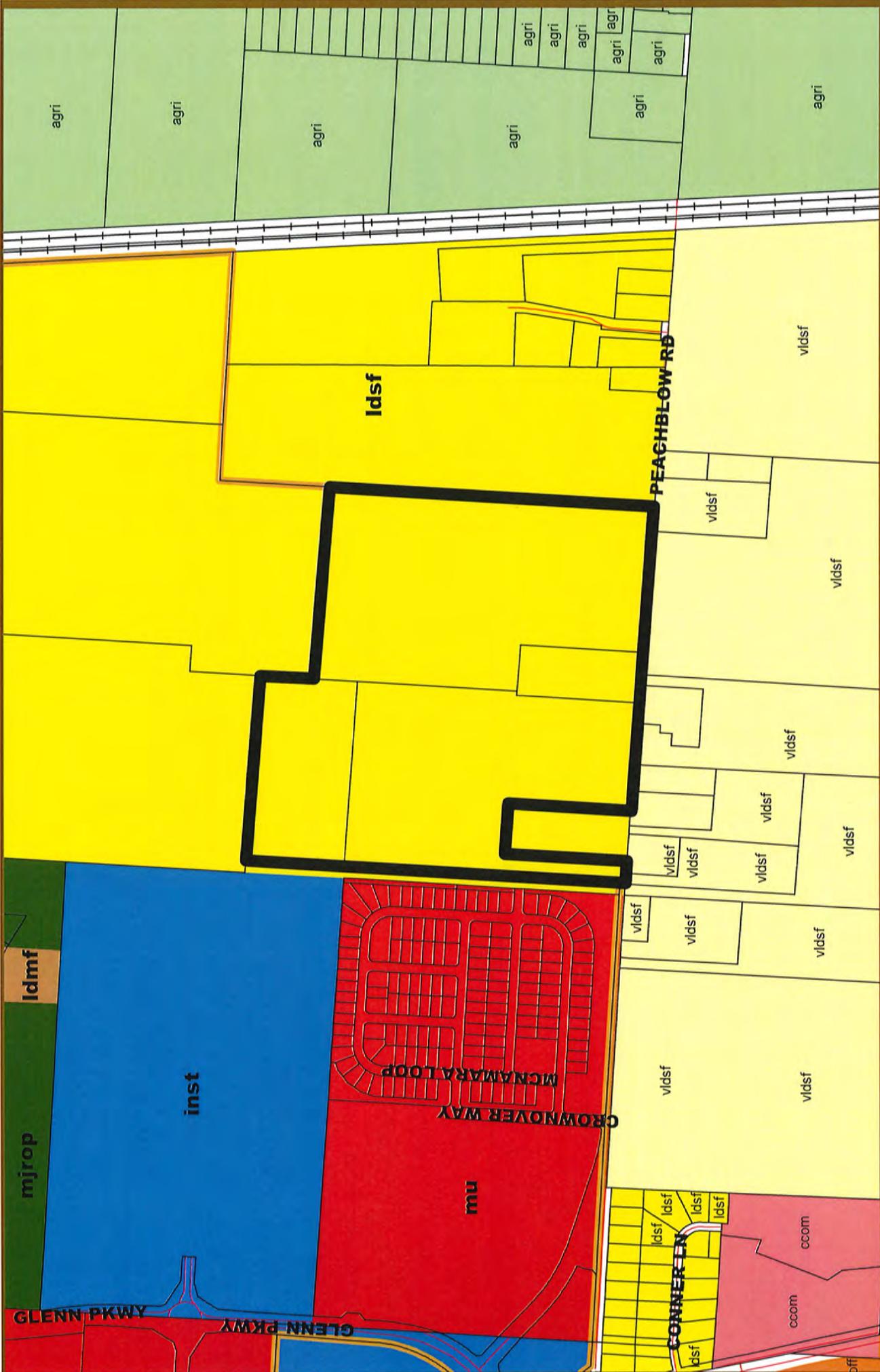
1. Sidewalks or multi-use paths shall be provided throughout the open space to link the amenities of the open space to the adjacent public sidewalk or pathway network and provide active recreation throughout as approved on the Preliminary Development Plan.
2. Crosswalks leading to open spaces shall be provided and as acceptable by the City Engineer.
3. Amenities include two tot lots, a public picnic with shelter and picnic benches, bocce ball, open space and gathering areas, and extensive multi-use paths and landscaping as depicted on the Preliminary Development Plan. Tot lots shall be exceptionally well programmed and appointed with a variety of amenities across the development including areas for active field space. The final details of each shall be reviewed and approved with every Final Development Plan and Final Subdivision Plat.
4. All open spaces shall be constructed with the public infrastructure with the respective phase in which the open space is located. Landscaping shall be installed at the first time of year in which it is appropriate to install such plant material provided the acceptance of public improvements occurs during an inappropriate time for planting and the incomplete landscaping is bonded with the City.

I. Entry Features and Signs. With the Final Development Plan, a comprehensive entry feature and signage plan shall be submitted. All signs shall be designed and located in a manner that is appropriate and consistent with the overall design of the Subdivision. Internally illuminated signs are prohibited, but externally illuminated and backlighting (haloglow) of lettering is permitted. Decorative internally illuminated pillar and sign wall caps as depicted on the Site Details of the submittal shall not be considered internally illuminated signage and shall be allowed with this PMU.



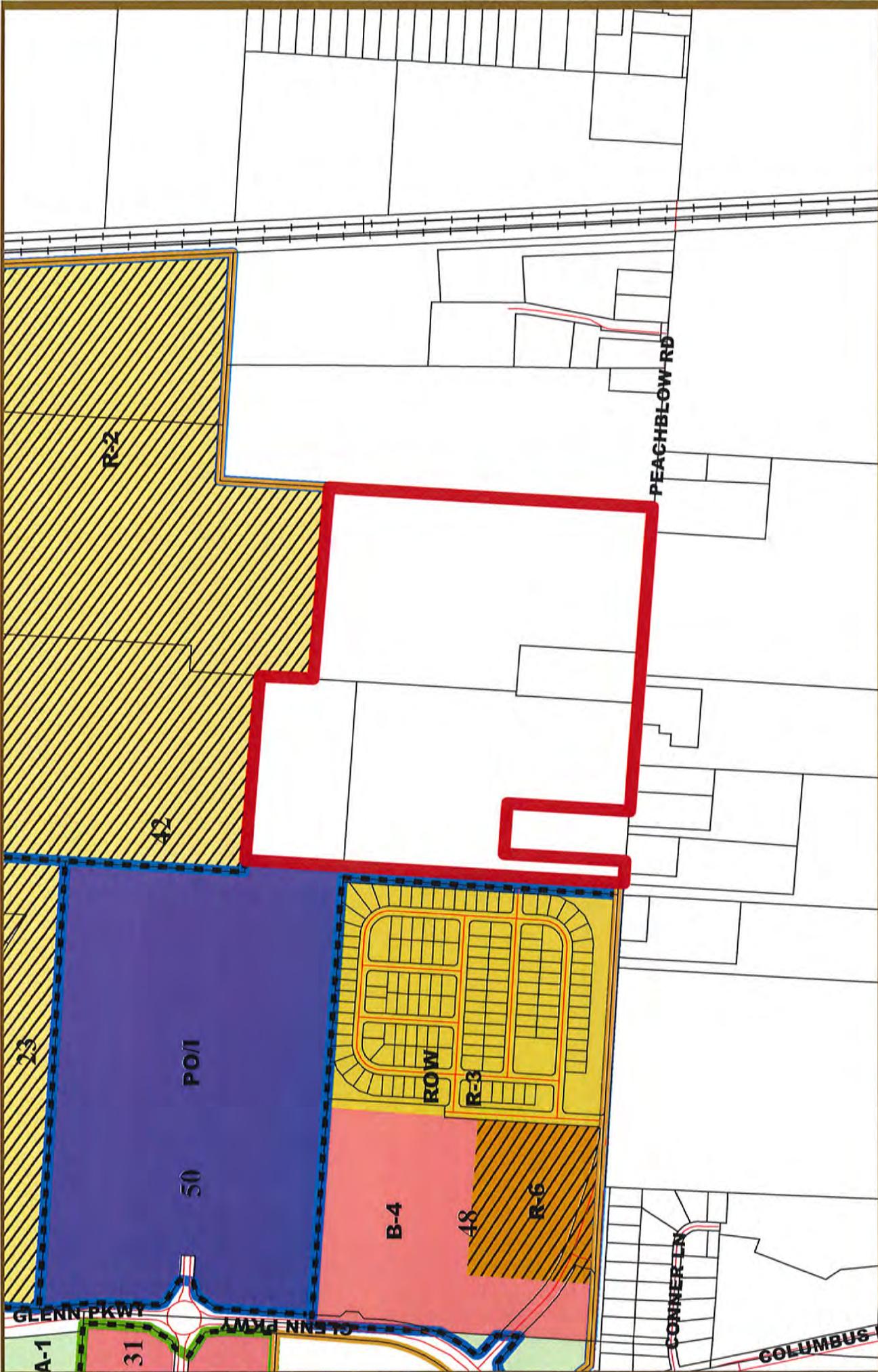
2019-0640-0642
Rezoning Amendment, Conditional Use Permit &
Preliminary Development Plan
Winterbrooke Place
Location Map





2019-0640-0642
 Rezoning Amendment, Conditional Use Permit &
 Preliminary Development Plan
 Winterbrooke Place
 Comprehensive Plan Map





2019-0640-0642
 Rezoning Amendment, Conditional Use Permit &
 Preliminary Development Plan
 Winterbrooke Place
 Zoning Map





2019-0640-0642
Rezoning Amendment, Conditional Use Permit &
Preliminary Development Plan
Winterbrooke Place
Aerial (2016) Map







REVISIONS	

EXISTING CONDITIONS
PLAN

WINTERBROOKE PLACE
ARLINGTON BUILDERS
1500 MILLINGTON BLVD
FOMTL, OH 43063

Paris Planning & Design
Landscape Architecture
15400 E. 15th Ave
Denver, CO 80202
303.447.1111
www.parisplanning.com

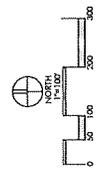
DATE 4/3/19
PROJECT 17082
SHEET

C-3

SOIL TYPES

1. BSA - BROWN SILT LOAM, 0 TO 2 PERCENT SLOPES
2. BSB - BROWN SILT LOAM, 2 TO 4 PERCENT SLOPES
3. BSC - BROWN SILT LOAM, 4 TO 6 PERCENT SLOPES
4. PWS - HEAVY BROWN CLAY, 0 TO 1 PERCENT SLOPES

SEE INCLUDES FOR MORE INFORMATION PER OLAHAWKE COUNTY GS AND SOIL TYPES INFORMATION IS PER UDA.



REVISIONS

OPEN SPACE PLAN

WINTERBROOKE PLACE
 RAYMOND
 ARINGTON BUILDERS
 1500 WINTERBROOKE PLACE
 FORT WORTH, TEXAS 76104

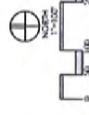
Tart's Planning & Design
 1400 FRANKLIN
 SUITE 100
 FORT WORTH, TEXAS 76104
 PHONE: 817.336.1111
 WWW.TARTSPANNING.COM

DATE	4/24/19
PROJECT	17032
SHEET	

C-5

SITE DATA

TOTAL SITE AREA	512.64 AC
TOTAL REQUIRED OPEN SPACE	160.13 AC (31%)
TOTAL PROVIDED OPEN SPACE	137.62 AC (27%)
REQUIRED PARK OPEN SPACE	135.24 AC (26%)
PROVIDED PARK OPEN SPACE	114.22 AC (22%)
UNPAID OPEN SPACE	21.40 AC (4%)
UNPAID OPEN SPACE	20.92 AC (4%)
UNPAID OPEN SPACE	20.92 AC (4%)



REVISIONS

NO.	DATE	DESCRIPTION

WINTERBOURNE DRIVE
LANDSCAPE PLAN

WINTERBROOKE PLACE
LANDSCAPE PLAN

Part's Planning & Design
 10000 BELLEVILLE ROAD, SUITE 100
 WILMINGTON, DE 19804
 TEL: 302.436.1111 FAX: 302.436.1112
 WWW.PARTSPANNING.COM

DATE: 4/24/19
 PROJECT: 17082
 SHEET: D-2

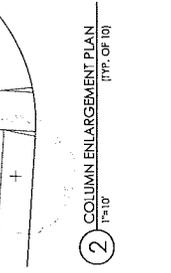
PLANT LIST
 COMMON NAME | BOTANICAL NAME | SITE | COND. | REMARKS

1	AME	AMELANCHIER * GRANDIFLORA	AUTUMN BRILLIANCE	1" FC CAL.	B&B
2	GR2	GRACIOSA BRICK TOP	GRACIOSA BRICK TOP	2" CAL.	B&B
3	GR2	GRACIOSA BRICK TOP	GRACIOSA BRICK TOP	2" CAL.	B&B
4	GR2	GRACIOSA BRICK TOP	GRACIOSA BRICK TOP	2" CAL.	B&B
5	GR2	GRACIOSA BRICK TOP	GRACIOSA BRICK TOP	2" CAL.	B&B
6	UD	LIQUIDAMBAR STRACONIA	MADRONE	2" CAL.	B&B
7	UD	LIQUIDAMBAR STRACONIA	MADRONE	2" CAL.	B&B
8	MAG	MAGNOLIA VIRGINIANA	MAGNOLIA	1" FC CAL.	B&B
9	MAG	MAGNOLIA VIRGINIANA	MAGNOLIA	2" CAL.	B&B
10	MAG	MAGNOLIA VIRGINIANA	MAGNOLIA	2" CAL.	B&B
11	MAG	MAGNOLIA VIRGINIANA	MAGNOLIA	2" CAL.	B&B
12	MAG	MAGNOLIA VIRGINIANA	MAGNOLIA	2" CAL.	B&B
13	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
14	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
15	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
16	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
17	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
18	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
19	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
20	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
21	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
22	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
23	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
24	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
25	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
26	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
27	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
28	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
29	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
30	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
31	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
32	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
33	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
34	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
35	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
36	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
37	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
38	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
39	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
40	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
41	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
42	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
43	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
44	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
45	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
46	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
47	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
48	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
49	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
50	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
51	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
52	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
53	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
54	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
55	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
56	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
57	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
58	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
59	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
60	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
61	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
62	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
63	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
64	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
65	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
66	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
67	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
68	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
69	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
70	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
71	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
72	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
73	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
74	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
75	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
76	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
77	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
78	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
79	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
80	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
81	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
82	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
83	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
84	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
85	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
86	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
87	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
88	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
89	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
90	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
91	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
92	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
93	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
94	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
95	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
96	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
97	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
98	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
99	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B
100	W	WIRE BRUSH	WIRE BRUSH	5" FC HGT.	B&B

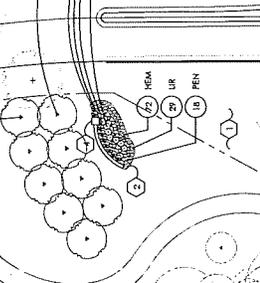
CONSTRUCTION NOTES:

1. ALL AREAS PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
2. LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
3. ENTRY COLUMN - SEE SHEET D-5/ DETAIL 4
4. ENTRY SIGN - SEE SHEET D-5/ DETAIL 5
5. SHELTER HOUSE - SEE SHEET D-5/ DETAIL 1
6. 10' LOT - SEE SHEET D-5/ DETAIL 2
7. BOCCO COURT - SEE SHEET D-5/ DETAIL 3
8. TEMPORARY SIGN - SEE SHEET D-5/ DETAIL 4

2 COLUMN ENLARGEMENT PLAN
 (TYP. OF 10)

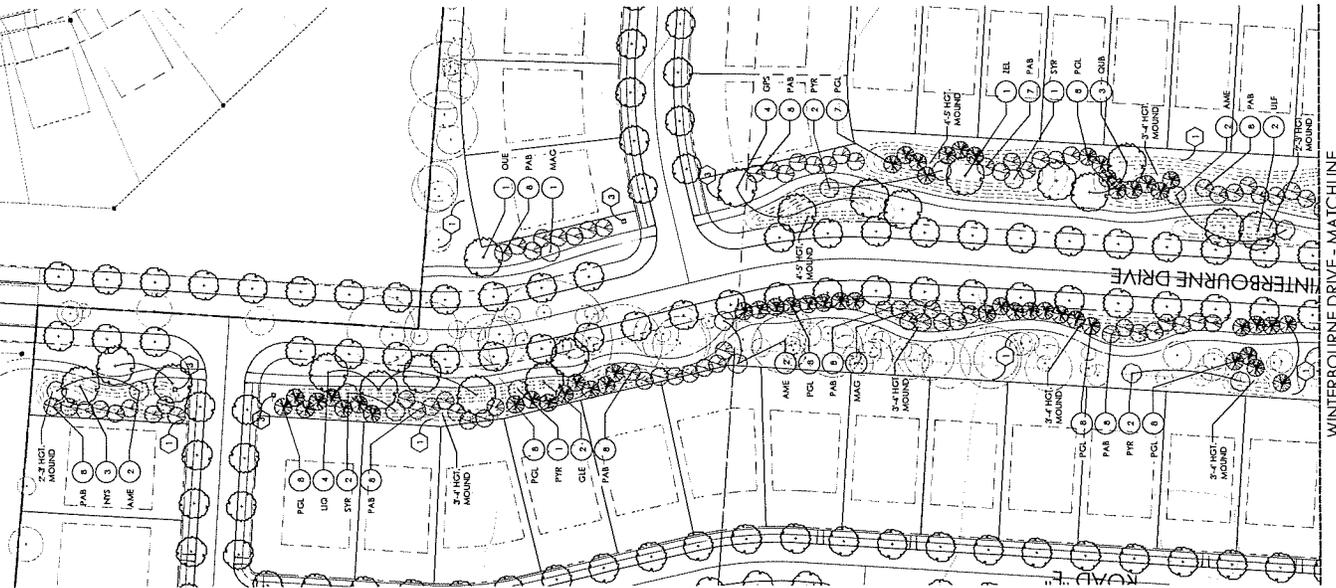
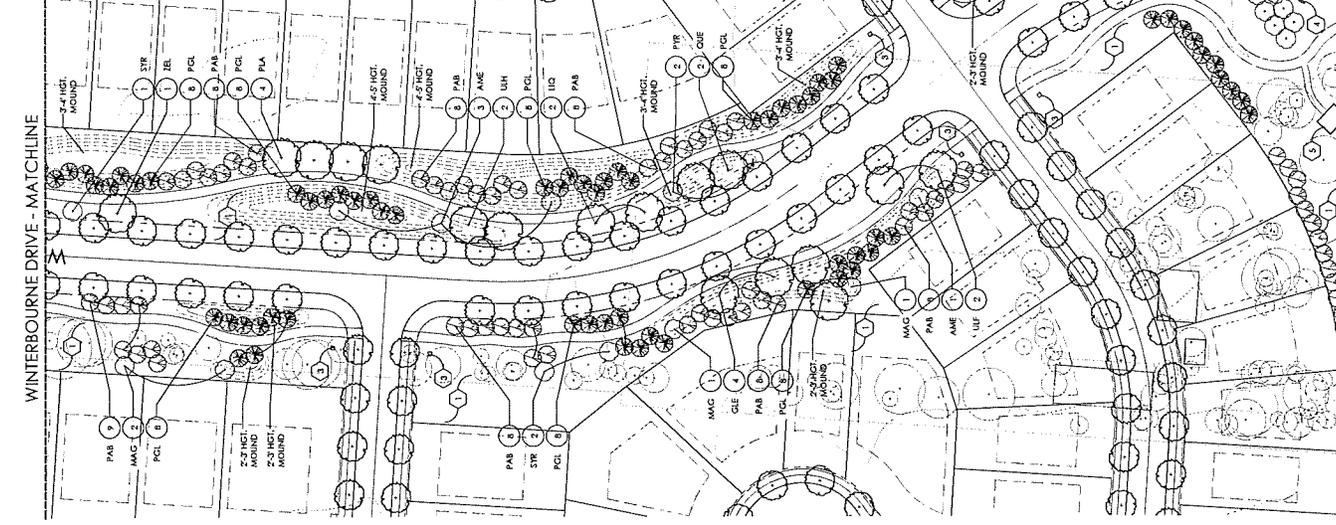
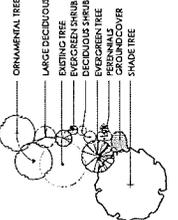


1 ENTRY FEATURE ENLARGEMENT PLAN
 (TYP. OF 30)



PLANT KEY TYPICALS
 SEE PLANT LIST FOR SPECIFIC PLANT SPECIES

- 1 - ORNAMENTAL TREE
- 2 - LARGE DECIDUOUS SHRUB
- 3 - EVERGREEN SHRUB
- 4 - DECIDUOUS SHRUB
- 5 - EVERGREEN TREE
- 6 - GRASS COVER
- 7 - SHADE TREE



REVISIONS

NO.	DATE	DESCRIPTION

ENLARGEMENT LANDSCAPE PLANS

WINTERBROOKE PLACE

Taris Planning & Design
 LANDSCAPE ARCHITECTS
 240 N. 4th Street
 Columbus, OH 43215
 TEL: 614.291.1144
 WWW.TARISPLANNING.COM

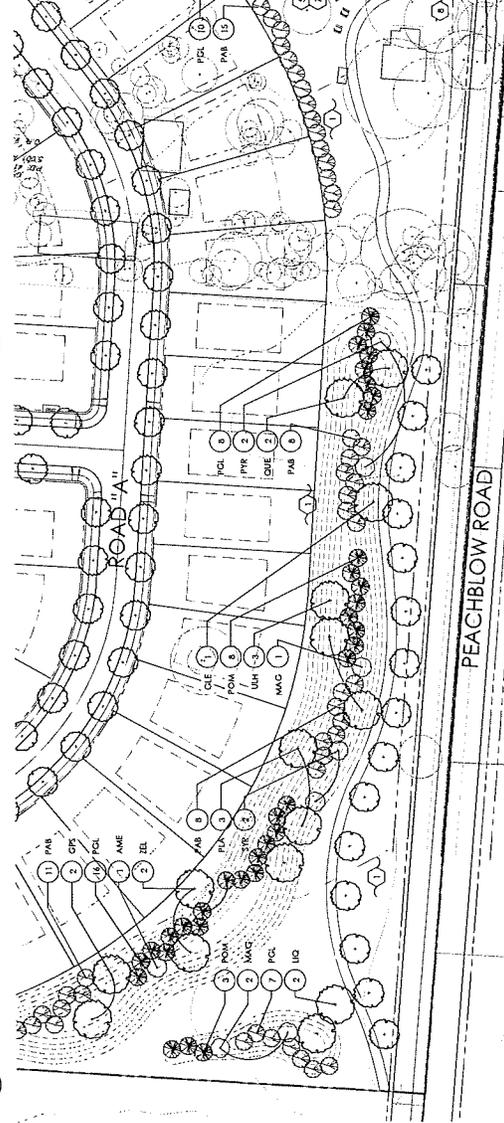
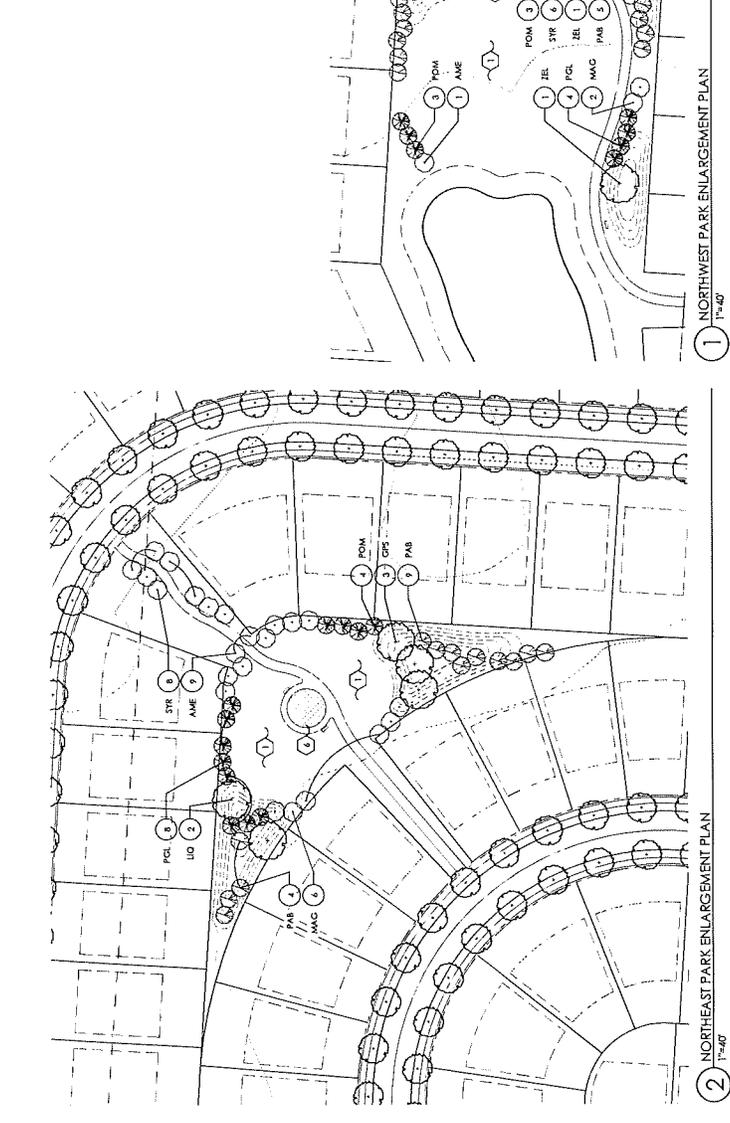
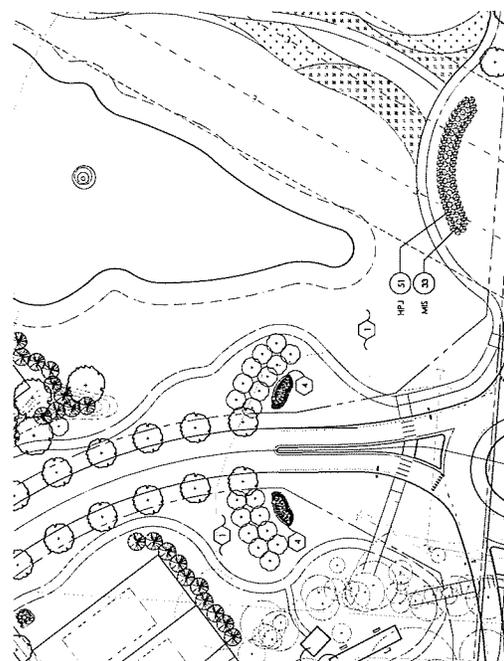
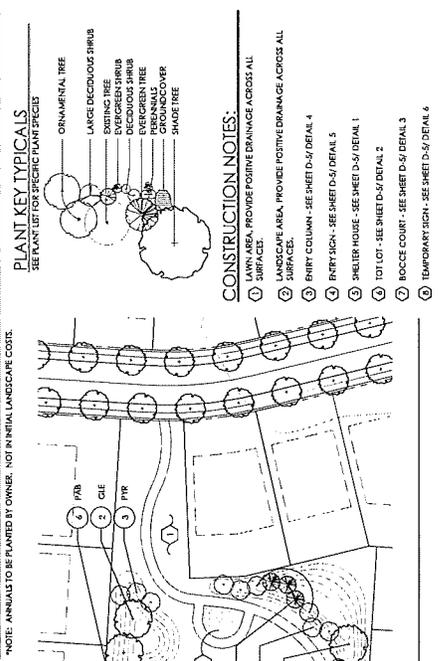
DATE	4/24/19
PROJECT	17082
SHEET	

D-3

PLANT LIST
 (CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SITE	COND.	REMARKS
11	AME	AMBELANCHIER * GRANDIDORA	AUTUMN BRILLIANCE	1, 2 CAL	BAB	
5	OPS	GRANCO BLODA	PRINCETON SPERRY	2 CAL	BAB	
3	GLE	CELESTIA TRICANTHOS	NEWM'S STICCOLE	2 CAL	BAB	
3	MAQ	MAGNOLIA VIRGINIANA	AMERICAN MAGNOLIA	1, 2 CAL	BAB	
11	MAG	MAGNOLIA VIRGINIANA	AMERICAN MAGNOLIA	1, 2 CAL	BAB	
66	PAB	PICEA ABIES	NORWAY SPRUCE	5-4 HOI.	BAB	
51	PCL	PICEA CLAUCA	WHITE SPRUCE	5-4 HOI.	BAB	
3	PJA	PLATANUS ACERIFOLIA	NORTON CIRCLE	2 CAL	BAB	
5	PRP	PRUNUS CALLERYANA	CLEVELAND SELECT	1, 2 CAL	BAB	
2	QNE	QUERCUS RUBRA	RED OAK	2 CAL	BAB	
3	UHL	ULMUS * HORSFIELD	WAX LEAF	2 CAL	BAB	
4	ZEL	ZELKOVA SERATA	GREEN VASE	2 CAL	BAB	
3	HYD	HYDRANGEA PANICULATA	JANE	24 HOI.	BAB	
30	MSC	MISCANTHUS SINENSIS	ORACULUM	2 CAL	CONE	
3	PER	PERENNIAL ORNAMENTAL GRASSES				

*NOTE: ANNUALS TO BE PLANTED BY OWNER. NOT IN FINAL LANDSCAPE COTE.



REVISIONS

ENLARGEMENT LANDSCAPE PLANS

WINTERBROOKE PLACE

Taris Planning & Design
 LANDSCAPE ARCHITECTS
 240 N. 4th Street
 Columbus, OH 43215
 TEL: 614.291.1144
 WWW.TARISPLANNING.COM

DATE	4/24/19
PROJECT	17082
SHEET	

D-3

REVISIONS

SITE DETAILS

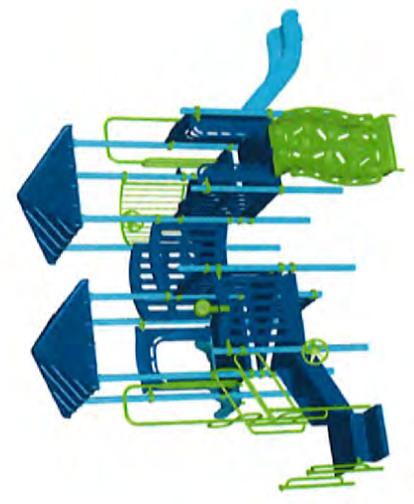
WINTERBROOKE PLACE
 AN ARINGTON BUILDERS
 PROJECT
 10000 WINTERBROOKE PLACE
 FORT LEE, VA 22041

Farris Planning & Design
 14000 WINTERBROOKE PLACE
 FORT LEE, VA 22041
 DATE: 4/23/19
 PROJECT: 17082
 SHEET: D-5

D-5



1 SHELTER HOUSE
 OR OWNER APPROVED EQUAL



2 TOT LOT
 OR OWNER APPROVED EQUAL



3 BOCCIE COURT
 OR OWNER APPROVED EQUAL

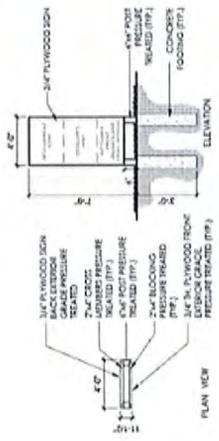


4 ENTRY COLUMN
 SCALE: 1" = 4'



5 ENTRY SIGN
 SCALE: 1" = 4'

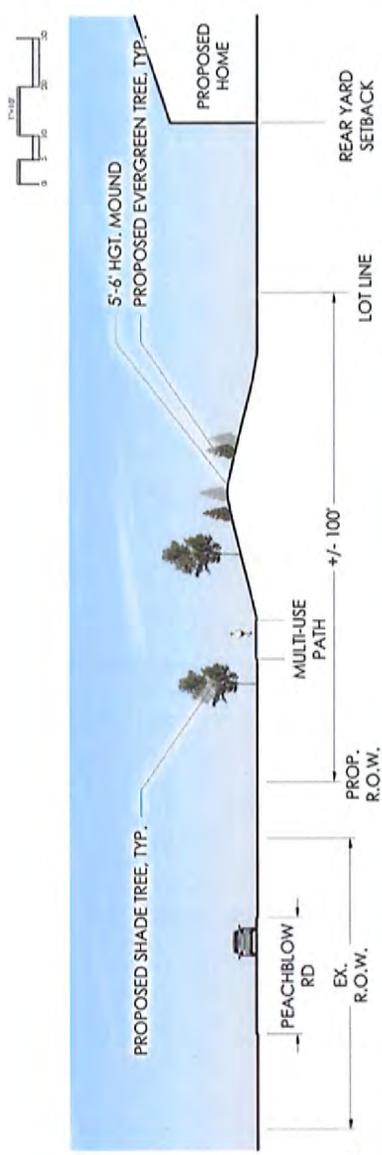
NOTE: 12 MIN. SPACING FROM R.O.W. SIGNAGE TO BE DOUBLE ZERO



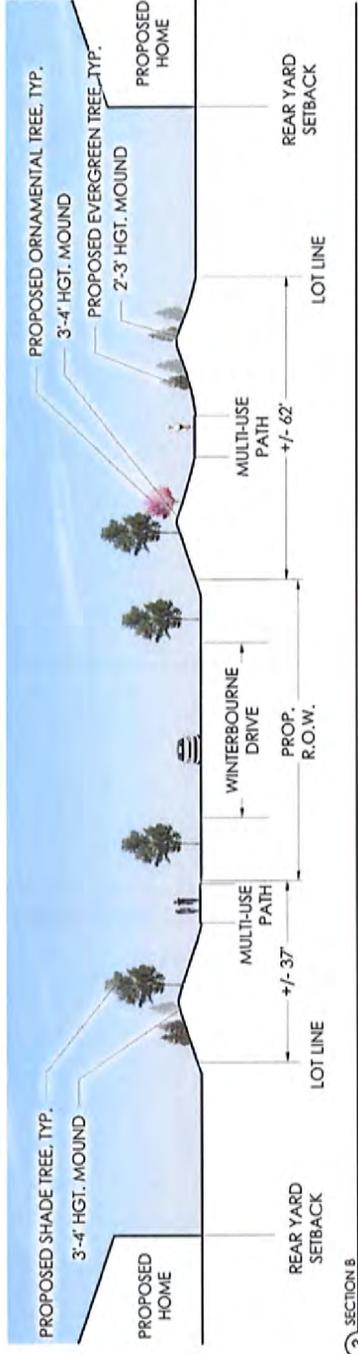
6 TEMPORARY SIGN DETAIL
 N.T.S.



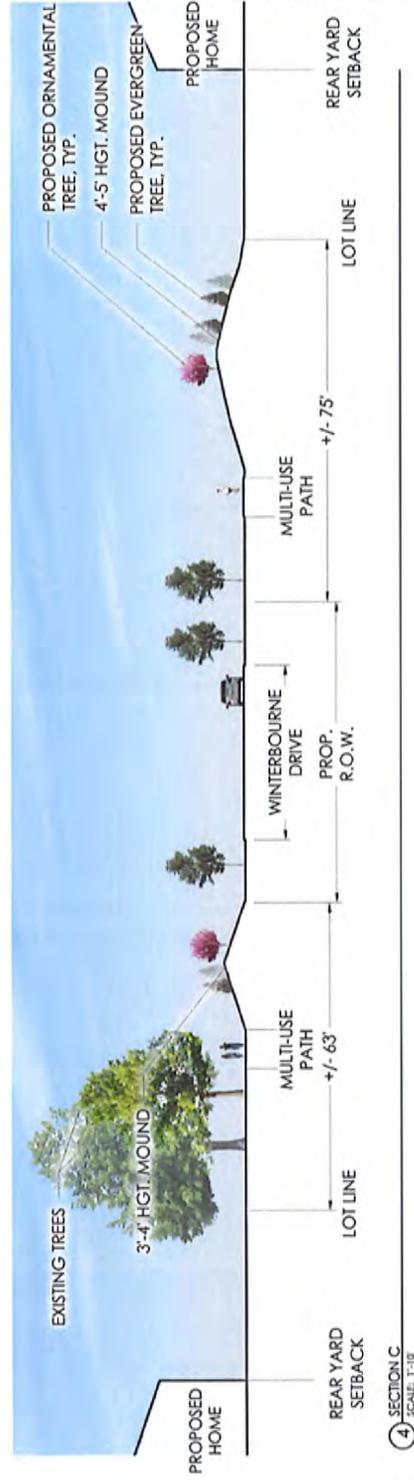
1 KEY PLAN
N.T.S.



2 SECTION A
SCALE: 1"=10'



3 SECTION B
SCALE: 1"=10'



4 SECTION C
SCALE: 1"=10'

NO.	DATE	DESCRIPTION

LANDSCAPE SECTIONS

WINTERBROOKE PLACE
ARINGTON BUILDERS
10001 WINTERBROOKE
FROYL, CH 22035

Farris Planning & Design
1402 JAMES MADISON BLVD
SUITE 400
FALLS CHURCH, VA 22044
703.441.1144
www.farrisplanning.com

DATE	4/24/19
PROJECT	17082
SHEET	

NO.	DATE	DESCRIPTION

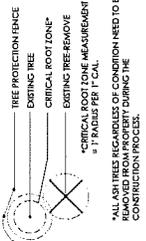
TREE PRESERVATION PLAN

WINTERBROOKE PLACE
ARLINGTON BUILDERS
PRACTICES
10590 WALKINGHAY
FONTELL, OH 43025

Paris Planning & Design
LANDSCAPE ARCHITECTS
2414 N. 11TH
DUBLIN, OH 43015
www.parisplanninganddesign.com

DATE	4/24/19
PROJECT	1708Z
SHEET	

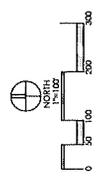
D-7



CONSTRUCTION NOTES:
PRESERVED TREES ARE TO BE PROTECTED BY FENCING.
SEE DETAIL 1, THIS SHEET.

EXISTING TREE DATA

TOTAL TREES PRESERVED	311 TREES
CAULPHER INCHES PRESERVED	1771.5 CAULPHER INCHES
TOTAL TREES TO BE REMOVED	107 TREES
CAULPHER INCHES REMOVED	915 CAULPHER INCHES
TOTAL TREES	318 TREES
TOTAL CAULPHER INCHES	2686.5 CAULPHER INCHES



DATE	4/3/19
PROJECT	17082
SHEET	

WINTERBROOKE PLACE
 MEMPHIS
 ARINGTON BUILDERS
 10000 CENTRAL EXPRESS
 MEMPHIS, TN 38114

Part's Planning & Design
 2445 S. W. 10th St.
 Ft. Lauderdale, FL 33311
 Phone: 954.577.1111
 Fax: 954.577.1112

NO. #	SP. #	SPECIES	COND.	REMARKS	DATE	CAUSE
402	14	OAK	FAIR	REMOVE	5.3	REMOVE
403	14	SPRUE	FAIR	REMOVE	8.0	REMOVE
404	7	RED CEDAR	GOOD	REMOVE	4.5	REMOVE
405	9	HAWTHORN	FAIR	REMOVE	4.5	REMOVE
406	7	BOXELDER	GOOD	REMOVE	2.5	REMOVE
407	7	ASH	POOR	REMOVE	3.5	REMOVE
408	7	CHERRY	FAIR	REMOVE	4.5	REMOVE
409	19	HACCHERRY	GOOD	REMOVE	1.9	REMOVE
410	9	HACCHERRY	FAIR	REMOVE	4.0	REMOVE
411	17	OAK	GOOD	REMOVE	7.0	REMOVE
412	9	OAK	GOOD	REMOVE	3.0	REMOVE
413	4	BOXELDER	FAIR	REMOVE	4.0	REMOVE
414	8	CHERRY	FAIR	REMOVE	4.0	REMOVE
415	4	ASH	FAIR	REMOVE	4.0	REMOVE
416	10	OAK	GOOD	REMOVE	1.9	REMOVE
417	10	OAK	GOOD	REMOVE	1.9	REMOVE
418	8	BOXELDER	POOR	REMOVE	4.0	REMOVE
419	10	BOXELDER	FAIR	REMOVE	4.0	REMOVE
420	22	EM	POOR	REMOVE	4.0	REMOVE
421	10	EM	POOR	REMOVE	4.0	REMOVE
422	10	OAK	GOOD	REMOVE	4.0	REMOVE
423	11	BOXELDER	FAIR	REMOVE	4.0	REMOVE
424	10	BOXELDER	GOOD	REMOVE	1.9	REMOVE
425	7	BOXELDER	FAIR	REMOVE	3.5	REMOVE
426	18	BOXELDER	FAIR	REMOVE	9.0	REMOVE
427	18	EM	FAIR	REMOVE	9.0	REMOVE
428	11	BOXELDER	FAIR	REMOVE	1.9	REMOVE
429	28	BOXELDER	FAIR	REMOVE	1.9	REMOVE
430	11	BOXELDER	FAIR	REMOVE	3.5	REMOVE
431	22	EM	POOR	REMOVE	4.0	REMOVE
432	4	ASH	GOOD	REMOVE	3.5	REMOVE
433	4	ASH	GOOD	REMOVE	3.5	REMOVE
434	17	OAK	GOOD	REMOVE	3.0	REMOVE

NO. #	SP. #	SPECIES	COND.	REMARKS	DATE	CAUSE
384	11	EM	POOR	REMOVE	9.0	REMOVE
385	8	OAK	FAIR	REMOVE	4.5	REMOVE
386	11	EM	FAIR	REMOVE	5.0	REMOVE
387	7	EM	GOOD	REMOVE	3.5	REMOVE
388	7	MATEL	FAIR	REMOVE	3.5	REMOVE
389	7	MATEL	FAIR	REMOVE	3.5	REMOVE
390	19	EM	FAIR	REMOVE	5.0	REMOVE
391	19	EM	FAIR	REMOVE	5.0	REMOVE
392	19	EM	FAIR	REMOVE	5.0	REMOVE
393	8	CHERRY	GOOD	REMOVE	8.0	REMOVE
394	8	OAK	GOOD	REMOVE	8.0	REMOVE
395	9	OAK	GOOD	REMOVE	8.0	REMOVE
396	9	ASH	HEAD	REMOVE	19.0	REMOVE
397	16	EM	FAIR	REMOVE	9.0	REMOVE
398	16	EM	FAIR	REMOVE	9.0	REMOVE
399	21	EM	FAIR	REMOVE	10.5	REMOVE
400	21	EM	FAIR	REMOVE	10.5	REMOVE
401	15	OAK	GOOD	REMOVE	4.5	REMOVE
402	15	CHERRY	HEAD	REMOVE	4.5	REMOVE
403	9	OAK	GOOD	REMOVE	9.0	REMOVE
404	9	OAK	FAIR	REMOVE	4.0	REMOVE
405	15	OAK	FAIR	REMOVE	7.5	REMOVE
406	7	CHERRY	POOR	REMOVE	3.0	REMOVE
407	9	OAK	FAIR	REMOVE	4.5	REMOVE
408	9	OAK	FAIR	REMOVE	4.5	REMOVE
409	21	OAK	HEAD	REMOVE	11.0	REMOVE
410	21	OAK	GOOD	REMOVE	2.0	REMOVE
411	21	OAK	GOOD	REMOVE	2.0	REMOVE
412	27	CHERRY	POOR	REMOVE	5.5	REMOVE
413	27	CHERRY	POOR	REMOVE	5.5	REMOVE
414	12	OAK	FAIR	REMOVE	4.0	REMOVE
415	12	OAK	FAIR	REMOVE	4.0	REMOVE
416	11	UNCLD	FAIR	REMOVE	7.5	REMOVE
417	11	UNCLD	FAIR	REMOVE	7.5	REMOVE
418	11	UNCLD	FAIR	REMOVE	7.5	REMOVE
419	24	MATEL	FAIR	REMOVE	3.5	REMOVE
420	24	MATEL	FAIR	REMOVE	3.5	REMOVE
421	14	OAK	POOR	REMOVE	1.4	REMOVE
422	14	OAK	POOR	REMOVE	1.4	REMOVE
423	14	OAK	POOR	REMOVE	1.4	REMOVE
424	14	OAK	POOR	REMOVE	1.4	REMOVE
425	14	OAK	POOR	REMOVE	1.4	REMOVE
426	14	OAK	POOR	REMOVE	1.4	REMOVE
427	14	OAK	POOR	REMOVE	1.4	REMOVE
428	14	OAK	POOR	REMOVE	1.4	REMOVE
429	14	OAK	POOR	REMOVE	1.4	REMOVE
430	14	OAK	POOR	REMOVE	1.4	REMOVE
431	14	OAK	POOR	REMOVE	1.4	REMOVE
432	14	OAK	POOR	REMOVE	1.4	REMOVE
433	14	OAK	POOR	REMOVE	1.4	REMOVE
434	14	OAK	POOR	REMOVE	1.4	REMOVE
435	14	OAK	POOR	REMOVE	1.4	REMOVE
436	14	OAK	POOR	REMOVE	1.4	REMOVE
437	14	OAK	POOR	REMOVE	1.4	REMOVE
438	14	OAK	POOR	REMOVE	1.4	REMOVE
439	14	OAK	POOR	REMOVE	1.4	REMOVE
440	14	OAK	POOR	REMOVE	1.4	REMOVE

NO. #	SP. #	SPECIES	COND.	REMARKS	DATE	CAUSE
284	17	SPRUE	FAIR	REMOVE	4.0	REMOVE
285	17	MATEL	FAIR	REMOVE	5.0	REMOVE
286	11	MATEL	FAIR	REMOVE	5.5	REMOVE
287	11	MATEL	FAIR	REMOVE	5.5	REMOVE
288	6	ASH	FAIR	REMOVE	1.1	REMOVE
289	6	OAK	GOOD	REMOVE	8.0	REMOVE
290	11	CHERRY	GOOD	REMOVE	1.1	REMOVE
291	11	CHERRY	POOR	REMOVE	1.1	REMOVE
292	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
293	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
294	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
295	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
296	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
297	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
298	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
299	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
300	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
301	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
302	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
303	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
304	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
305	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
306	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
307	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
308	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
309	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
310	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
311	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
312	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
313	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
314	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
315	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
316	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
317	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
318	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
319	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
320	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
321	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
322	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
323	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
324	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
325	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
326	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
327	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
328	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
329	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
330	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
331	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
332	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
333	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
334	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
335	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
336	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
337	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
338	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
339	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
340	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
341	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
342	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
343	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
344	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
345	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
346	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
347	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
348	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
349	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
350	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
351	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
352	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
353	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
354	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
355	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
356	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
357	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
358	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
359	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
360	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
361	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
362	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
363	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
364	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
365	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
366	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
367	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
368	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
369	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
370	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
371	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
372	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
373	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
374	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
375	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
376	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
377	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
378	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
379	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
380	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
381	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
382	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
383	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
384	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
385	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
386	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
387	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
388	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
389	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
390	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
391	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
392	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
393	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
394	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
395	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
396	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
397	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
398	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
399	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
400	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
401	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
402	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
403	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
404	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
405	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
406	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
407	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
408	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
409	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
410	17	CHERRY	FAIR	REMOVE	3.5	REMOVE
411	17					

UTILITY PLAN

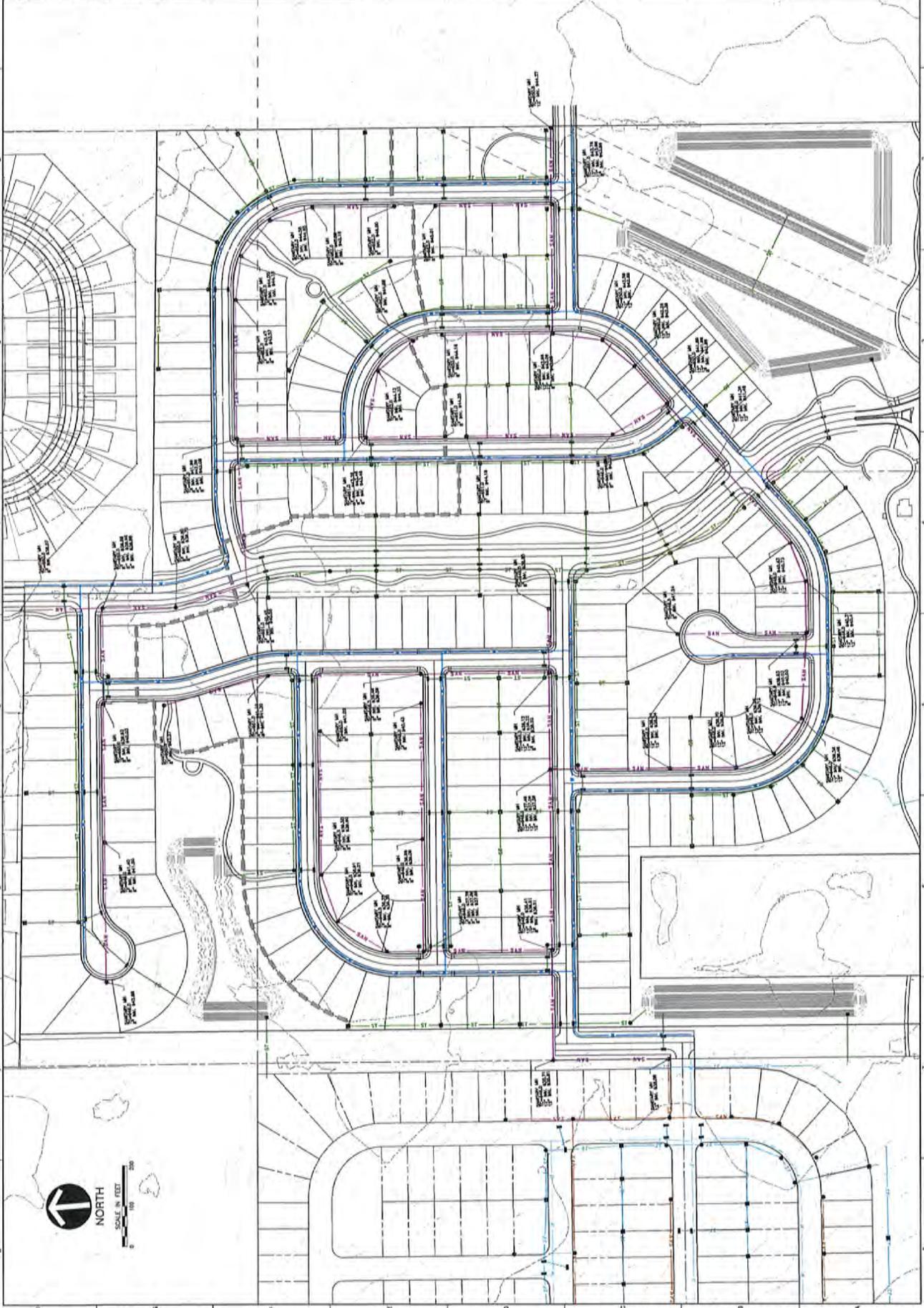
DATE	APRIL 2019
DESIGNED BY	
CHECKED BY	
DATE	12-2-2018
PROJECT NO.	172-259
APPROVED BY	

ARLINGTON BUILDINGS, INC
 GARDEN PROPERTY
 CITY OF DELAWARE
 DELAWARE COUNTY, OHIO

Civil & Environmental Consultants, Inc.
 250 Old Water Bridge Road - Suite 200 - Worthington, OH 43085
 614-461-6523 - FAX 608-6808
 www.cedec.com



NO.	DATE	DESCRIPTION



**DESCRIPTION OF A PROPOSED ANNEXATION OF
A 100.648 ACRE TRACT
TO THE CITY OF DELAWARE
DELAWARE COUNTY, OHIO**

Situated in the State of Ohio, County of Delaware, Township of Berlin, located in Farm Lots 28 and 29, Section 3, Township 4, Range 18, of the United States Military Lands, and part of 45.968 acres, 5.001 acres, 36.502 acres and 14.542 acres as described in deed to Grden LLC, of record in Official Record 951, Page 2796, all being of record in the Recorder's Office, Delaware County, Ohio and being more particularly described as follows:

BEGINNING, at a common corner of said 45.968 acres and a 90.584 acres as described in deed to Pulte Homes of Ohio LLC, of record in Official Record 1327, Page 1465, and said corner being an angle point in the existing City of Delaware Corporation Line as established by Ordinance Number 06-67 and of record in Official Record 718, Page 2150;

Thence South 00°58'45" West, with the west line of a 44.049 acre tract as described in deed to Evans Farm Delaware LLC, of record in Official Record 1334, Page 2672, a distance of 1908.62 feet, to a point on the north right of way line of Peachblow Road (Co. Rd. 98, 60 foot right of way);

Thence North 88°00'00" West, with the north right of way line of Peachblow Road, a distance of 1806.56 feet, to a point on the east line of a 5.000 acre tract described in deed to John Gundling and Toni Tiburzio, of record in Official Record 560, Page 167;

Thence North 01°03'26" East, with the east line of said 5.000 acres, a distance of 696.00 feet, to a point at the northeast corner of said 5.000 acre tract;

Thence North 88°00'00" West, with the north line of said 5.000 acres, a distance of 300.04 feet, to a point at the northwest corner of said 5.000 acre tract;

Thence South 01°03'26" West, with the west line of said 5.000 acres, a distance of 696.00 feet, to a point on the north right of way line of Peachblow Road;

Thence North 88°00'00" West, with the north right of way line of Peachblow Road, a distance of 120.02 feet, to a point on the east line of a 105.278 acre tract as described in deed to Grady Memorial Hospital, of record in Official Record 594, Page 212 and an angle point in the existing City of Delaware Corporation Line as established by Ordinance Number 05-15, of record in Official Record 740, Page 394;

Thence North 01°03'26" East, with the west line of said 36.502 acres and said 14.542 acres and the east line of the said 105.278 acre tract and the said existing City of Delaware Corporation Line, a distance of 2232.71 feet, to a point on the south line of a said 90.584 acre tract and the said existing City of Delaware Corporation Line.

Thence with said 90.584 acres and the existing City of Delaware Corporation line the following course:

South 87°40'25" East, a distance of 1084.42 feet, to a point;

South 00°58'45" West, a distance of 314.78 feet, to a point;

South 87°50'50" East, a distance of 1137.39 feet, to a point at a common corner of said 45.968 acres and a 90.584 acres, containing 100.648 acres, more or less, being approximately 21.272 acres in Farm Lot 28 and approximately 79.376 acres in Farm Lot 29.

4769.09 lineal feet of perimeter is contiguous with the existing corporation line of the City of Delaware.

A total of 10296.52 lineal feet of annexed perimeter.

46.3% of the perimeter of the annexed area is contiguous to the existing city of Delaware Corporation Line.

Being an Expedited II annexation.

No island of unincorporated area is being created with this annexation.

All bearings and distances shown on this survey are per deed of record and not the result of an actual boundary survey.



CIVIL & ENVIRONMENTAL CONSULTANTS, INC.

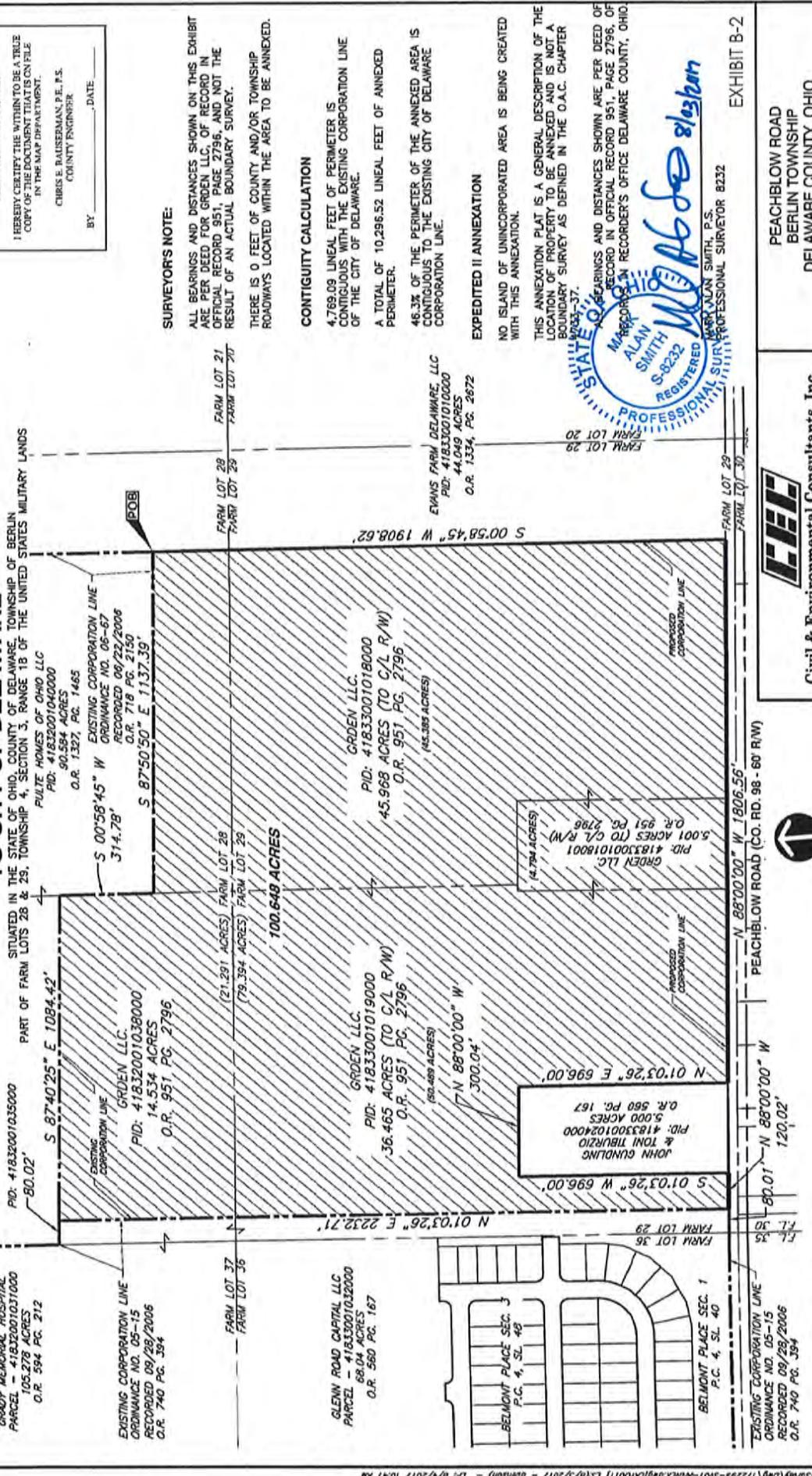
8/09/2017

Mark Alan Smith, P.S.
Registered Surveyor No. 8232

Date

County Engineer
Delaware County, Ohio
I hereby certify the within to be a true copy
of the document that is on file in the Map
Department.
CHRIS E. BAUSERMAN, P.E., P.S.
County Engineer
By _____, Date _____

MAP OF TERRITORY TO BE ANNEXED TO CITY OF DELAWARE



COUNTY ENGINEER
 WILMARE COUNTY, OHIO
 I HEREBY CERTIFY THE WITHIN TO BE A TRUE
 COPY OF THE DOCUMENT THAT IS ON FILE
 IN THE MAP DEPARTMENT.
 CHUCK E. BAUSERMAN, P.E. P.S.
 COUNTY ENGINEER
 BY: _____ DATE: _____

SURVEYOR'S NOTE:

ALL BEARINGS AND DISTANCES SHOWN ON THIS EXHIBIT ARE PER DEED FOR GROEN LLC, OF RECORD IN OFFICIAL RECORD 951, PAGE 2796, AND NOT THE RESULT OF AN ACTUAL BOUNDARY SURVEY.
 THERE IS 0 FEET OF COUNTY AND/OR TOWNSHIP ROADWAYS LOCATED WITHIN THE AREA TO BE ANNEXED.

CONTIGUITY CALCULATION

4,789.08 LINEAL FEET OF PERMETER IS CONTIGUOUS WITH THE EXISTING CORPORATION LINE OF THE CITY OF DELAWARE.
 A TOTAL OF 10,296.52 LINEAL FEET OF ANNEXED PERMETER.
 48.3% OF THE PERIMETER OF THE ANNEXED AREA IS CONTIGUOUS TO THE EXISTING CITY OF DELAWARE CORPORATION LINE.

EXPEDITED II ANNEXATION

NO ISLAND OF UNINCORPORATED AREA IS BEING CREATED WITH THIS ANNEXATION.
 THIS ANNEXATION PLAT IS A GENERAL DESCRIPTION OF THE LOCATION OF PROPERTY TO BE ANNEXED AND IS NOT A BOUNDARY SURVEY AS DEFINED IN THE O.A.C. CHAPTER 173.37.

ALL BEARINGS AND DISTANCES SHOWN ARE PER DEED OF RECORD IN OFFICIAL RECORD 951, PAGE 2796, OF RECORD IN RECORDER'S OFFICE DELAWARE COUNTY, OHIO.

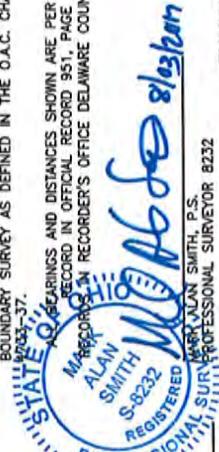
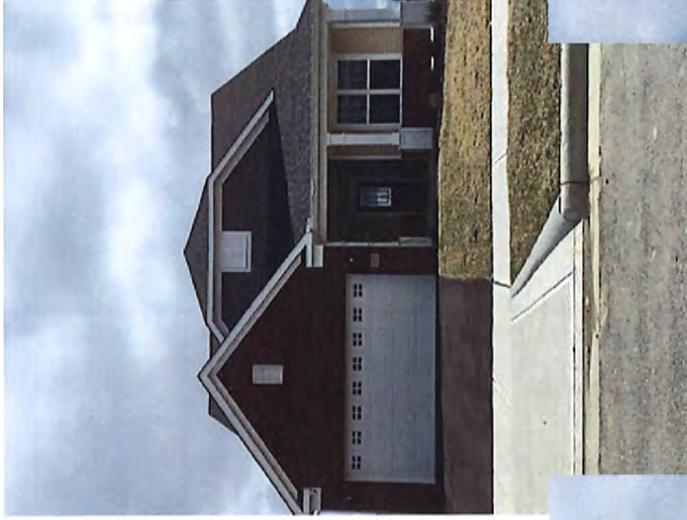


EXHIBIT B-2

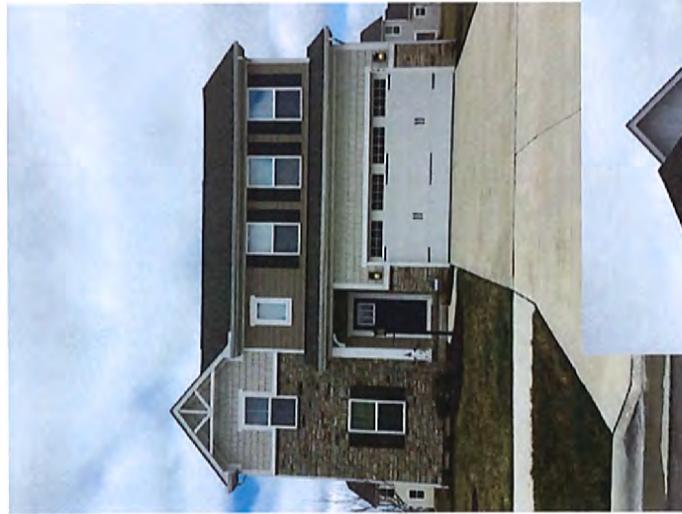
 Civil & Environmental Consultants, Inc. 250 Old Wilson Bridge Road - Suite 250 - Worthington, OH 43085 614-540-8633 - 888-588-8808 www.ceeinc.com	DRAWN BY: _____ CHECKED BY: _____ APPROVED BY: _____ DATE: AUGUST 2017 DWS SCALE: 1"=300'
	PEACHBLOW ROAD BERLIN TOWNSHIP DELAWARE COUNTY, OHIO ANNEXATION PLAT MAS DRAWING NO.: 172-299 PROJECT NO.: 1"-300'



52' LOT EXAMPLES

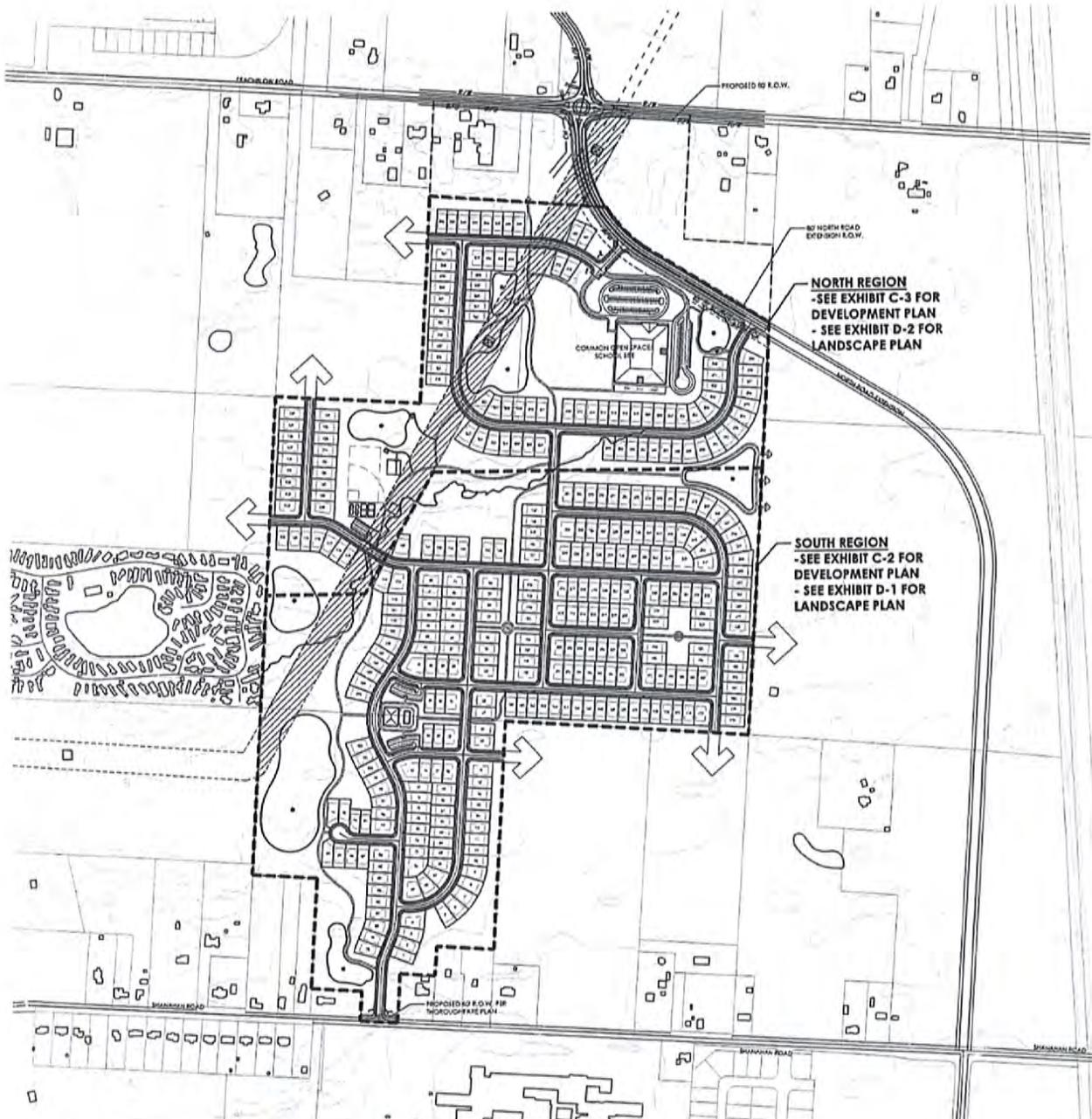


65' LOT EXAMPLES



80' LOT EXAMPLES





NORTH REGION
 -SEE EXHIBIT C-3 FOR
 DEVELOPMENT PLAN
 - SEE EXHIBIT D-2 FOR
 LANDSCAPE PLAN

SOUTH REGION
 -SEE EXHIBIT C-2 FOR
 DEVELOPMENT PLAN
 - SEE EXHIBIT D-1 FOR
 LANDSCAPE PLAN

VICINITY MAP



SITE DATA - R-3 WITH PRD OVERLAY

TOTAL ACRES	1182.43 AC	56 x 130 LOTS	120 (20%)
NET DEVELOPABLE AREA (NPA GROSS)	1135.67 AC	42 x 130 LOTS	127 (20%)
BASED-MS	111.44 AC	44 x 130 LOTS	115 (20%)
ACTUAL NET DEVELOPABLE	1143.41 AC		
TOTAL LOTS	362 LOTS		
GROSS DENSITY	1.96 DU/AC		
NET DENSITY	3.82 DU/AC		
COMBACH OPEN SPACE	~16431 AC		
TOTAL OPEN SPACE	~16431 AC		
OPEN SPACE (20% REQUIRED)	MIN		

REVISED - BZC 19-001
SUBMITTED
03/26/2019

OVERALL DEVELOPMENT PLAN

BERLIN MEADOWS - R-3 WITH PRD OVERLAY

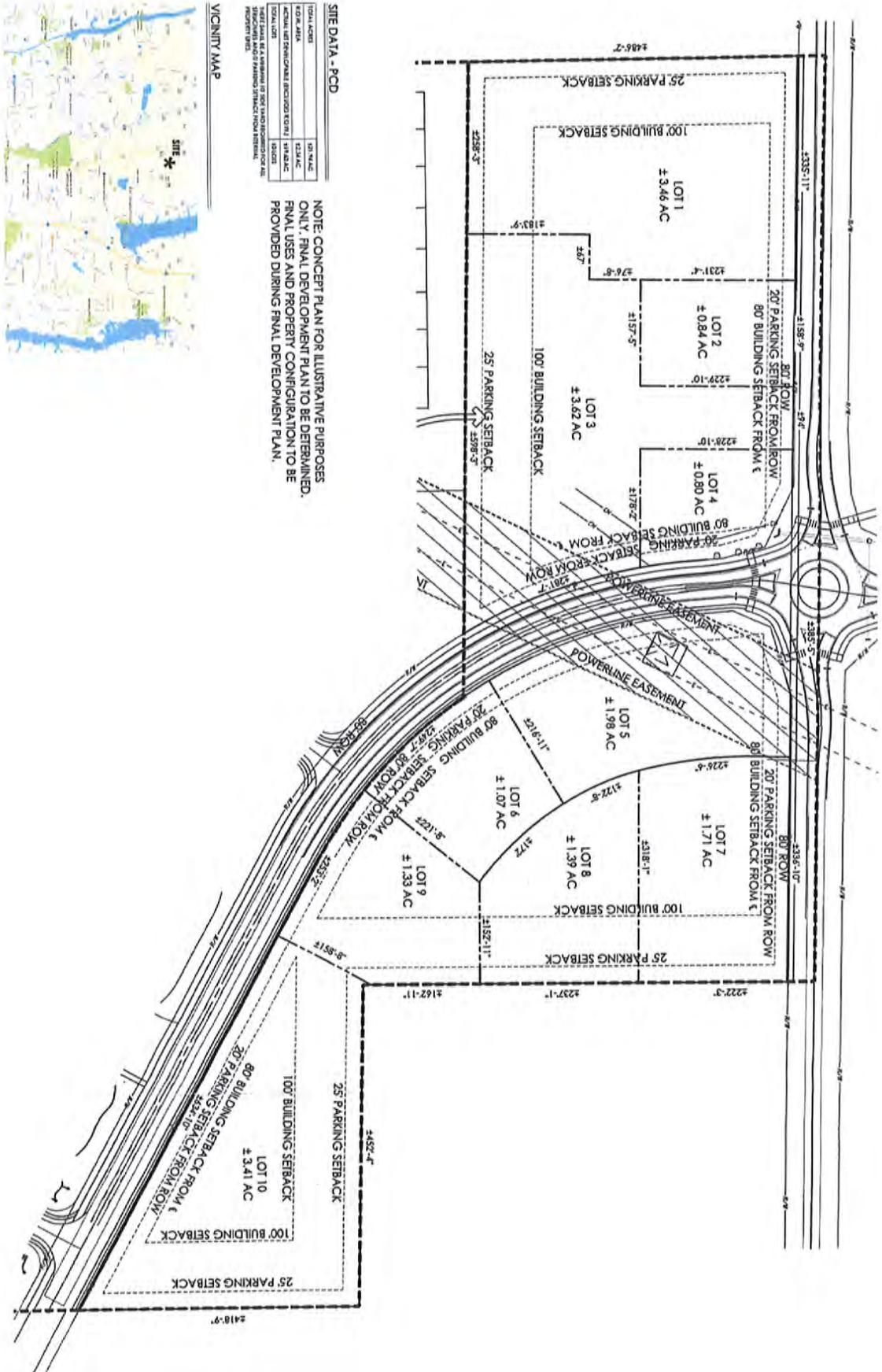
PREPARED FOR METRO DEVELOPMENT

DATE: 02/01/19

EXHIBIT C-1



Faris Planning & Design
 1440 PLAINWOOD
 214 N. 8th Street
 #114, 48714
 LANDSCAPE ARCHITECTURE
 1440 PLAINWOOD
 214 N. 8th Street
 #114, 48714
 www.farisplanninganddesign.com



SITE DATA - PCD

TOTAL ACRES	60.74 AC
ACRES ADJACENT TO HIGHWAY	12.54 AC
ACRES OF UNDEVELOPED PROPERTY	14.54 AC
TOTAL LOTS	10 LOTS
NOTE: THIS PLAN IS A PRELIMINARY PLAN AND DOES NOT REPRESENT THE FINAL DEVELOPMENT PLAN. THE FINAL DEVELOPMENT PLAN WILL BE PROVIDED DURING THE FINAL DEVELOPMENT PLAN.	

NOTE: CONCEPT PLAN FOR ILLUSTRATIVE PURPOSES ONLY. FINAL DEVELOPMENT PLAN TO BE DETERMINED. FINAL USES AND PROPERTY CONFIGURATION TO BE PROVIDED DURING FINAL DEVELOPMENT PLAN.

VICINITY MAP



DEVELOPMENT PLAN
BERLIN MEADOWS - PCD
 PREPARED FOR MERO DEVELOPMENT
 DATE: 2/20/11

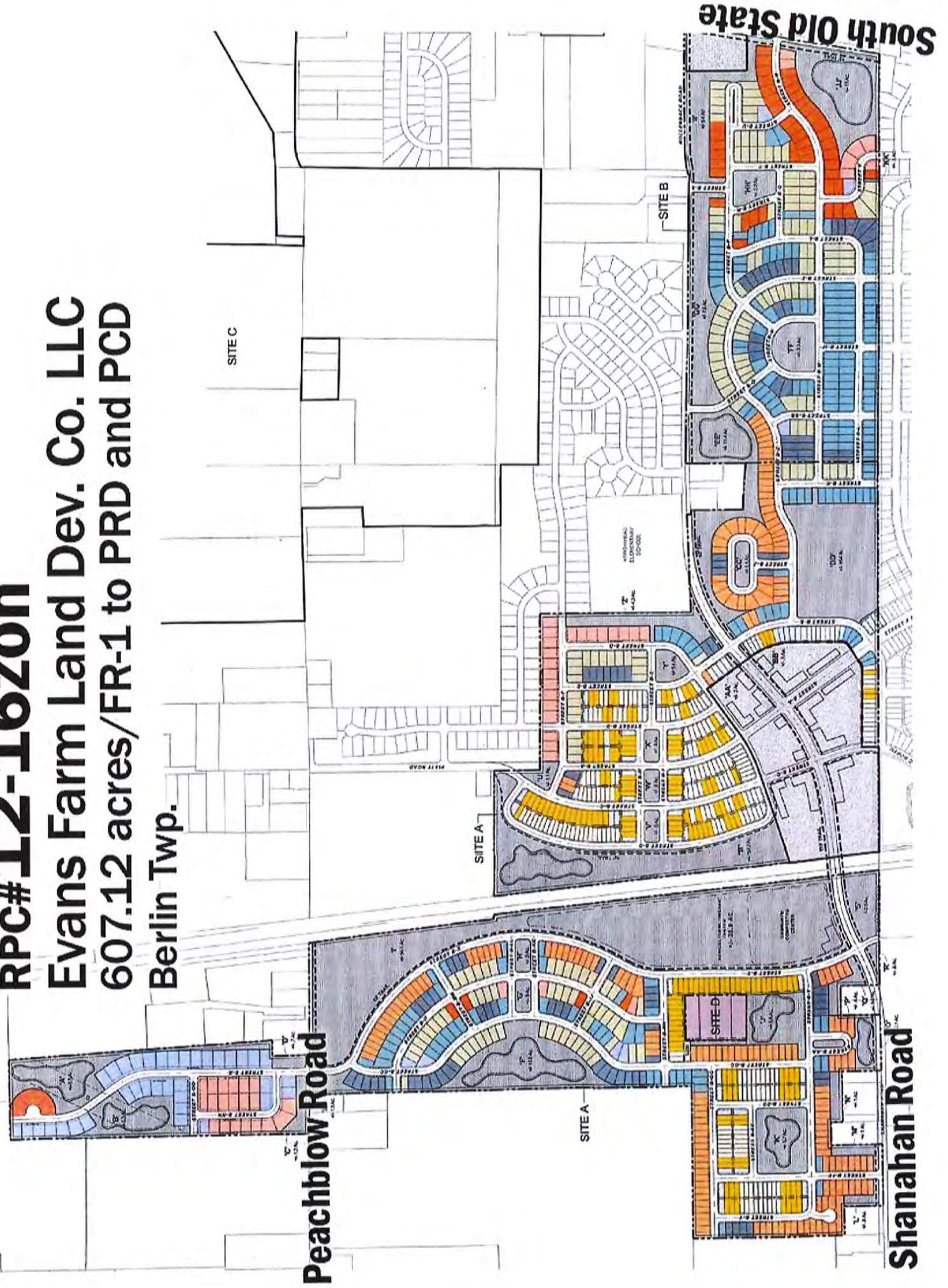
EXHIBIT C-1

Paris Planning & Design
 ARCHITECTS
 1000 W. 10th Street, Suite 100
 Lincoln, NE 68502
 Phone: (402) 441-1111
 Fax: (402) 441-1112
 www.parisplanning.com

RPC#09-19Z0n Metro Development 20.85 acres / FR-1 & PID to PCD Berlin Twp.



RPC# 12-16Z0N
Evans Farm Land Dev. Co. LLC
607.12 acres/FR-1 to PRD and PCD
Berlin Twp.



COMMUNITY IMPACT ASSESSMENT

Project Name	Winterbrooke Place
Applicant	Robert L. Grden Designated Manager
Owner	Grden LLC
Zoning Requested	R-3 with Conditional Use Permit for PMU (Planned Mixed-Use)

A. General Provisions and Requirements:

1. Acreage	100.648 Acres Exclusive of Existing Right-Of-Way
2. Pin Nos.	<u>Parcels Presently in the Township of Berlin, Delaware County, OH until Annexed:</u> 41832001038000; 41833001018000; 41833001018001 and 41933001019000 as is Currently Shown on the Delaware County Auditor's Tax Duplicate
3. Current Zoning	<u>Lands Presently in the Township of Berlin:</u> FR-1 (Farm Residential District)

B. Specific Information

1. Legal Description	See Addendum A attached hereto. Grden LLC currently owns a total of 101.968 acres of which 1.32 acres is the road right of way. See Addendum A-1 for the Legal Description of the 100.648 acres being annexed to the City of Delaware, Ohio. The last recorded survey indicated a total acreage of 102.0138. This was
----------------------	---

	recalculated at the time of the preparation of Map of Annexation and is reflected in the Petition for Annexation.																																
a. Reference	Official Record Vol. 951, Pages 2796-2801, Recorders Office, Delaware County, Ohio																																
b. Current Land Assessment	Two current Ditch Assessments. One for Ditch Construction and one for Ditch Maintenance which runs from 2018 – 2025.																																
c. Adjacent Parcels/ Including Ownership	<table border="1"> <thead> <tr> <th><u>PIN</u></th> <th><u>Owner</u></th> </tr> </thead> <tbody> <tr> <td>41832001035000</td> <td>PULTE HOMES OF OHIO LLC</td> </tr> <tr> <td>41832001040000</td> <td>PULTE HOMES OF OHIO LLC</td> </tr> <tr> <td>41833001010000</td> <td>EVANS FARM DELAWARE LLC</td> </tr> <tr> <td>41833001013000</td> <td>REBECCA JANE KRUPAR JAMES MATTHEW KOCH</td> </tr> <tr> <td>41833001014000</td> <td>KENNEY ASSET MANAGEMENT LLC</td> </tr> <tr> <td>41833001016000</td> <td>PEACHBLOW LAND II LLC</td> </tr> <tr> <td>41833001017000</td> <td>PEACHBLOW LAND II LLC</td> </tr> <tr> <td>41833001020000</td> <td>JFMG II LLC</td> </tr> <tr> <td>41833001024000</td> <td>JOHN M. GUNDLING TONI T. TIBURZIO</td> </tr> <tr> <td>41833001021000</td> <td>MARK E VANDEVORT NANCY VANDERVORT</td> </tr> <tr> <td>41833001022002</td> <td>PATRICIA ANN LOGAN</td> </tr> <tr> <td>41833001022000</td> <td>PATRICIA ANN LOGAN</td> </tr> <tr> <td>41833001023000</td> <td>MICHAEL E ZYSK RENEE M ZYSK</td> </tr> <tr> <td>41833001022001</td> <td>JENNIFER STRAWSER DYAN STRAWSER</td> </tr> <tr> <td>41832001031000</td> <td>GRADY MEMORIAL HOSPITAL</td> </tr> </tbody> </table>	<u>PIN</u>	<u>Owner</u>	41832001035000	PULTE HOMES OF OHIO LLC	41832001040000	PULTE HOMES OF OHIO LLC	41833001010000	EVANS FARM DELAWARE LLC	41833001013000	REBECCA JANE KRUPAR JAMES MATTHEW KOCH	41833001014000	KENNEY ASSET MANAGEMENT LLC	41833001016000	PEACHBLOW LAND II LLC	41833001017000	PEACHBLOW LAND II LLC	41833001020000	JFMG II LLC	41833001024000	JOHN M. GUNDLING TONI T. TIBURZIO	41833001021000	MARK E VANDEVORT NANCY VANDERVORT	41833001022002	PATRICIA ANN LOGAN	41833001022000	PATRICIA ANN LOGAN	41833001023000	MICHAEL E ZYSK RENEE M ZYSK	41833001022001	JENNIFER STRAWSER DYAN STRAWSER	41832001031000	GRADY MEMORIAL HOSPITAL
<u>PIN</u>	<u>Owner</u>																																
41832001035000	PULTE HOMES OF OHIO LLC																																
41832001040000	PULTE HOMES OF OHIO LLC																																
41833001010000	EVANS FARM DELAWARE LLC																																
41833001013000	REBECCA JANE KRUPAR JAMES MATTHEW KOCH																																
41833001014000	KENNEY ASSET MANAGEMENT LLC																																
41833001016000	PEACHBLOW LAND II LLC																																
41833001017000	PEACHBLOW LAND II LLC																																
41833001020000	JFMG II LLC																																
41833001024000	JOHN M. GUNDLING TONI T. TIBURZIO																																
41833001021000	MARK E VANDEVORT NANCY VANDERVORT																																
41833001022002	PATRICIA ANN LOGAN																																
41833001022000	PATRICIA ANN LOGAN																																
41833001023000	MICHAEL E ZYSK RENEE M ZYSK																																
41833001022001	JENNIFER STRAWSER DYAN STRAWSER																																
41832001031000	GRADY MEMORIAL HOSPITAL																																
d. Recitation of Covenants Existing or Proposed and Running with the Land	None at Present																																

2. Location and Access	<p>The entire property is located north of Peachblow Road. All access is presently to the south on Peachblow Road with location and access to the east into the Township and county road system and to the west there will be access to Glenn Parkway. If the development is approved, Winterbourne Drive will be constructed through the middle of the development connecting with Winterbourne Drive to the north and eventually the North Street Road extension to the south. Also, if the development is approved a road connection will be made to the west connecting Winterbrooke Place and Belmont Estates at Ensign Lane with an eventual dedication across the Grady Memorial Hospital Property.</p>
3. Adjacent Lands	<p>North - City of Delaware (R-2 One-Family Residential District Pulte Homes of Ohio); East - Township of Berlin (FR-1 Farm Residential). (Evans Farm Delaware LLC Project); South – Township of Berlin FR-1 Housing and Industrial Zoning (Primarily the Kenney Asset Management LLC Development Commercial, Elementary School and Residential Project and Industrial Zoning on the Peachblow Land II LLC Properties). West - City of Delaware Belmont Estates and Glen Road Capital LLC (R-3 One family Residential District and B-4 General Business District; Northwest and West-City of Delaware by Grady Memorial Hospital (PO/I Planned Office/Industrial District)</p>
4. Existing Site Land Use	<p>Current use of lands in the Township of Berlin are Farm/Residential. (FR-1 District). All lands coming into the City are brought into the City of Delaware as agricultural until rezoned.</p>

5. Maps, Charts	See Addendum B attached hereto
6. Environmental Impacts	A Phase One Environmental has been conducted and is attached as Addendum I.
	<p>a. Topography and Drainage: Drainage flow on the property is from northeast to west/ southwest toward the Olentangy River west of the proposed Winterbourne Drive and north to south/ southwest east of Winterbourne Drive. The entire property is sloped towards and part of the Olentangy River Watershed District. See Addendum C, D and E attached hereto.</p> <p>b. Vegetation: This parcel of land has a vegetation in the form of trees in the south-central area of the property. The balance of the acreage has been farming ground for at least 30 years. The remainder of the property is without trees except in the old fence line areas. See Addendum F attached hereto.</p> <p>c. Soils: Map of soils is attached hereto as Addendum G.</p> <p>d. Ecology: Land over the years was agricultural. No unusual vegetation.</p>

<p>7. Air and Noise Pollution</p>	<p>No site activity or uses will be included that will generate any unusual noise or air pollution, except normal dust from farming operations, not normally present in residential developments. There will be a higher level of noise and dust during construction period and will be limited to parcels under construction. Noise from traffic and pollution from existing traffic on U.S. 23 will override any proposed uses that will take place on this property. Traffic is currently not fully using Winterbourne Drive and that may alter vehicle noise in the area. However, most of the traffic will be residential vehicle traffic.</p>
<p>8. Sanitary Sewers & Storm Drainage</p>	<p>At present, drainage is provided by farm tiles and county tiling systems of the 1920's. With development, drainage and retention systems will be installed and constructed on the subject premises to City Standards. Sanitary Sewer and Water are available to be extended to the east through the Grady Memorial Hospital property at Ensign Lane.</p>
<p>9. Traffic and Parking</p>	<p>A traffic study is currently being prepared by Todd Stanhope, Director of Traffic Engineering, Smart Services, Inc. When the traffic study is complete it will be submitted by a separate submission upon coordinating the traffic studies of proposed Berlin Meadows and Winterbrooke Place by the Delaware County Engineer and in coordination with Delaware City Engineer.</p>
<p>10. View Interference</p>	<p>Because of the size of the land and its proposed use and the distance from existing structures planned both to the North, West and South. No significant view interference is expected.</p>
<p>11. Historic Sites</p>	<p>None that applicant is aware of at the present time.</p>

12. Compatibility	The proposed residential development of different houses should enhance and compliment the Pulte Development to the north; Ryan Homes to the west; farm residential development of Evans Farms to the east and south and Kenney Asset Management Development to the south of this project as well as an elementary school site, commercial and existing Industrial uses located in the Township of Berlin opposite the Grden LLC property along Peachblow Road to the South.
-------------------	--

C. Impact on Public Services.

1. Tax Effect	<p>It is difficult to ascertain the overall tax effect of this project. This will be a phased project with various residential uses. Income tax shall be generated from both the Construction Phase and the End Use Phase with three (3) potential residential components, over (5) or possibly six (6) phases.</p> <p>See Addendum H attached hereto.</p> <p>Addendum H includes no income tax projections for the construction phases.</p> <p>A Municipal Impact Fee will be charged as each building permit for each lot is pulled on the project.</p>
---------------	---

2. Police & Fire	City of Delaware has annexed lands to the north and west. No more impact on police and fire is expected than usual police and fire service to the north, east, west and south of the property and the residential property to the east. A fire station is currently being constructed on Cheshire Road at Glenn Road to the northwest. Police and Fire Impact Fees will be paid as each building permit is pulled for each residential unit prior to construction. Fire Service is also provided by the Berlin Township Fire Department.
3. Schools	The entire project is in the Olentangy Local School District. The residential nature of the project should have no more impact on schools under the residential uses currently being developed on the north and west of the project as well as future residential projects planned for the east and south of the project.
4. Parks and Recreation	The primary development plan will set forth location acreage both for recreation and open space throughout the project. Parks and Recreation Impact Fees will be paid at the time permits are pulled for the construction of each residential unit in the subdivision.

5. Traffic Control	<p>Winterbourne Drive is being constructed through this project through the middle of the property. This is a major spine road running north and south through the center of this project and will serve to connect the proposed Winterbourne Drive to the north and the proposed County's North Street Road connected to the south. Additionally, at Peachblow Road, it is anticipated that Delaware County will either install a roundabout or a lighted intersection</p>
--------------------	---

D. General Requirements	
1. Financial Interest	<p>See Addendum H attached hereto.</p> <p>The expected value of the project at build out at current average sale price is \$99,950,000.00 for housing improvements and lot land value.</p>
2. Coordination	<p>All coordination of services has been with the City of Delaware, Ohio. Intersection and access improvements on Peachblow Road on the south will require input and coordination with City of Delaware and the Delaware County Engineers Office. The Delaware County Engineer has full authority for Peachblow Road.</p>
3. Economic Impact	<p>Demands for police and fire services should be similar to all existing residential developments in the City of Delaware.</p> <p>Economic benefits to the community will be significant to the general retail stores and centers presently in the City and County.</p>

4. Construction Scheduling	It seems likely that this project will be phased in its development once if the rezoning and preliminary and final development plans are approved. Internal construction within the project should be capable of completion in a timely manner.
5. Adjacent Development	See Item B. c. above
6. Alternatives	It appears given the surrounding land uses and the City Masterplan and pre-annexation negotiations, the best use of this land is a residential use with buffering along the south property line and possibly limited along the eastern property line abutting Evans Farm property which is currently buffered by an Ohio Edison High Tension Power Line.

Respectfully submitted,



Michael R. Shade
Attorney at Law

WINTERBROOKE PLACE
ADDENDUM A:
ORIGINAL DESCRIPTION

ADDENDUM A

Situated in the State of Ohio, County of Delaware, and in the Township of Berlin:

Being a Part of Lot Number 28 and 29 in Section 3, Township 4, North, Range 18 West, United States Military Lands, Berlin Township, Delaware County, State of Ohio and being more particularly described as follows:

Commencing at an existing 3/4 inch dia. iron pipe located at the southeast corner of Lot 29, said point being on the centerline of County Road 98 (Peachblow Road);

Thence along the centerline of County Road 98 and common line between Lots 29 and 30 North $88^{\circ} 00' 00''$ West for a distance of 333.05 feet to a survey nail set at the southeast corner of hereinafter described 111.169 acre tract and the POINT OF BEGINNING.

Thence continuing along said centerline of County Road 98 and common lot line North $88^{\circ} 00' 00''$ West for a distance of 2306.68 feet to a railroad spike set at the Southwest corner of Lot 29 and grantor's southwest corner;

Thence along Grantor's west line north $01^{\circ} 06' 25''$ East for a distance of 2262.96 feet to an iron pin set at Grantor's Northwest corner (passing over an iron pin set at a distance of 30.00 feet and the Line between Lots 29 and 28 at a distance of 1647.11 feet, more or less);

Thence along Grantor's North line South $87^{\circ} 40' 25''$ East for a distance of 1164.44 feet to an iron pin set on the West line of 39.50 acre tract of land, now or formerly owned by Thomas E. McNamara, Deed Vol. 328, Page 365;

Thence along said West line South $00^{\circ} 58' 45''$ West for a distance of 314.78 feet to an iron pin set at the southwest corner of aforesaid 39.50 acre tract;

Thence along the south line of said 39.50 acre tract South $87^{\circ} 50' 50''$ East for a distance of 1137.39 feet to an iron pin set at Grantor's northeast corner;

Thence along Grantor's East line South $00^{\circ} 58' 45''$ West for a distance of 1938.62 feet to a survey nail set on the centerline of County Road 98 and South line of Lot 29 (passing over the line between Lots 28 and 29 at a distance of 291.45 feet, more or less and iron pin set at a distance of 1907.54 feet) and the PLACE OF BEGINNING.

Containing 24.028 acres, more or less in Lot 28 and 87.141 acres more or less of 111.169 acres, more or less.

This description prepared from a survey performed by Steven A. Fox, Registered Professional Surveyor 7000, and dated March 18, 1989.

EXCEPTING THEREFROM a 4.1552 acre tract:

Situated in the Township of Berlin, County of Delaware, and State of Ohio;

Being a part of Farm Lots 28 and 29, Section 3, Township 4 N., Range 18 W. U.S. Military Lands and being a part of a tract now or formerly owned by Ray L. Grden, Ray D. Grden, Jr., Gary P. Grden and Robert L. Grden, as described in Deed Book 512, Page 421, more particularly described as follows:

Beginning at a railroad spike found in the centerline of County Road 98, Peachblow Road, and at the common corner of Farm Lots 29, 30, 35 and 36 being THE TRUE PLACE OF BEGINNING;

Thence from said POINT OF BEGINNING and with the line common to Farm Lots 29 and 36 and the east line of the property now or formerly owned by Neil K. Rammelsberg and Helen E. Rammelsberg, as described in Deed Book 283, Page 149, North $01^{\circ} 03' 26''$ East (passing at 30.00 feet an iron pin set) a total distance of 1671.97 feet to an iron pin found at the common corner of Farm Lots 28, 29, 36 and 37;

Thence with the line common to Farm Lots 28 and 37, also being the east line of a tract now or formerly owned by Young Soon Lee, as described in Deed Book 504, Page 79, North $01^{\circ} 03' 26''$ East a distance of 590.74 feet to an iron pin set;

Thence with the south line of a tract now or formerly owned by Robert G. Borrows Trustee as described in Deed Book 477, Page 664, South $87^{\circ} 40' 21''$ East a distance of 80.02 feet to an iron pin set;

Thence through the parent tract South $01^{\circ} 03' 26''$ West (passing over an iron pin set at 2232.25 feet) a total distance of 22.62 25 feet to a railroad spike set in the centerline of Peachblow Road and on the south line of Farm Lot 29;

Thence with the line common to Farm Lots 29 and 30 North $80^{\circ} 00' 00''$ west a distance of 80.01 feet to the TRUE POINT OF BEGINNING. **Containing 4.1552 acres**, more or less. Farm Lot 28, containing 1.0853 acres, and Farm Lot 29 containing 3.0699 acres, more or less.

All iron pines set are 5/8" solid iron pins with yellow plastic caps stamped Stults and Associates.

Bearing system based on center line of Peachblow Road County Road 98 taken from Deed Book 497, Page 263.

This tract is not intended to create a building site.

EXCEPTING THEREFROM a 5.00 acre tract:

Situated in the Township of Berlin, County of Delaware, and State of Ohio;

Being a part of Farm Lot 29, Section 3, Township 4, North, Range 18 West U.S. Military Lands and being a part of a tract now or formerly owned by Ray L. Grden, Ray D. Grden, Jr., Gary P. Grden, and Robert L. Grden, as described in Deed Book 512, Page 421, more particularly described as follows:

Commencing at a railroad spike found in the centerline of County Road 98, Peachblow Road, and at the common corner of Farm Lots 29, 30, 35 and 36.

Thence along the centerline of County Road 98 (S. 88° 00' 00" East) a distance of 200.03 feet to a railroad spike set at the PLACE OF BEGINNING.

Thence north 01° 03' 26" East (passing over an iron pin set at 30.00 feet) a total distance of 726.00 feet to an iron pin set;

Thence south 88° 00' 00" East a distance of 300.04 feet to an iron pin set;

Thence South 01° 03' 26" West (passing over an iron pin set at 696.00 feet) a total distance of 726.00 feet to a railroad spike set in the centerline of Peachblow Road and on the south line of Farm Lot 29;

Thence with the line common to Farm Lots 29 and 30 North 80° 00' 00" West a distance of 300.04 feet to THE TRUE POINT OF BEIGNNING.

Containing 5.00 acres, more or less.

All iron pins set are 5/8" solid iron pins with yellow plastic caps stamped Stults and Associates.

Bearing system based on centerline of Peachblow Road County Road 98, taken from Deed Book 497, Page 263.

LEAVING 102.0138 ACRES, MORE OR LESS.

WINTERBROOKE PLACE

ADDENDUM A-1: ANNEXATION DESCRIPTION



Civil & Environmental Consultants, Inc.

ADDENDUM A-1

DESCRIPTION OF A PROPOSED ANNEXATION OF A 100.648 ACRE TRACT TO THE CITY OF DELAWARE DELAWARE COUNTY, OHIO

Situated in the State of Ohio, County of Delaware, Township of Berlin, located in Farm Lots 28 and 29, Section 3, Township 4, Range 18, of the United States Military Lands, and part of 45.968 acres, 5.001 acres, 36.502 acres and 14.542 acres as described in deed to Grden LLC, of record in Official Record 951, Page 2796, all being of record in the Recorder's Office, Delaware County, Ohio and being more particularly described as follows:

BEGINNING, at a common corner of said 45.968 acres and a 90.584 acres as described in deed to Pulte Homes of Ohio LLC, of record in Official Record 1327, Page 1465, and said corner being an angle point in the existing City of Delaware Corporation Line as established by Ordinance Number 06-67 and of record in Official Record 718, Page 2150;

Thence South 00°58'45" West, with the west line of a 44.049 acre tract as described in deed to Evans Farm Delaware LLC, of record in Official Record 1334, Page 2672, a distance of 1908.62 feet, to a point on the north right of way line of Peachblow Road (Co. Rd. 98, 60 foot right of way);

Thence North 88°00'00" West, with the north right of way line of Peachblow Road, a distance of 1806.56 feet, to a point on the east line of a 5.000 acre tract described in deed to John Gundling and Toni Tiburzio, of record in Official Record 560, Page 167;

Thence North 01°03'26" East, with the east line of said 5.000 acres, a distance of 696.00 feet, to a point at the northeast corner of said 5.000 acre tract;

Thence North 88°00'00" West, with the north line of said 5.000 acres, a distance of 300.04 feet, to a point at the northwest corner of said 5.000 acre tract;

Thence South 01°03'26" West, with the west line of said 5.000 acres, a distance of 696.00 feet, to a point on the north right of way line of Peachblow Road;

Thence North 88°00'00" West, with the north right of way line of Peachblow Road, a distance of 120.02 feet, to a point on the east line of a 105.278 acre tract as described in deed to Grady Memorial Hospital, of record in Official Record 594, Page 212 and an angle point in the existing City of Delaware Corporation Line as established by Ordinance Number 05-15, of record in Official Record 740, Page 394;

Thence North 01°03'26" East, with the west line of said 36.502 acres and said 14.542 acres and the east line of the said 105.278 acre tract and the said existing City of Delaware Corporation Line, a distance of 2232.71 feet, to a point on the south line of a said 90.584 acre tract and the said existing City of Delaware Corporation Line.

Thence with said 90.584 acres and the existing City of Delaware Corporation line the following course:

South 87°40'25" East, a distance of 1084.42 feet, to a point;

South 00°58'45" West, a distance of 314.78 feet, to a point;

South 87°50'50" East, a distance of 1137.39 feet, to a point at a common corner of said 45.968 acres and a 90.584 acres, containing 100.648 acres, more or less, being approximately 21.272 acres in Farm Lot 28 and approximately 79.376 acres in Farm Lot 29.

4769.09 lineal feet of perimeter is contiguous with the existing corporation line of the City of Delaware.

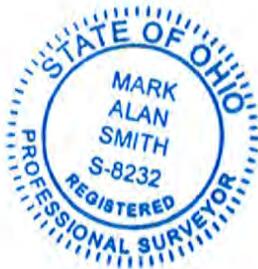
A total of 10296.52 lineal feet of annexed perimeter.

46.3% of the perimeter of the annexed area is contiguous to the existing city of Delaware Corporation Line.

Being an Expedited II annexation.

No island of unincorporated area is being created with this annexation.

All bearings and distances shown on this survey are per deed of record and not the result of an actual boundary survey.

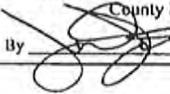


CIVIL & ENVIRONMENTAL CONSULTANTS, INC.

8/03/2017

Mark Alan Smith, P.S.
Registered Surveyor No. 8232

Date

County Engineer Delaware County, Ohio	
I hereby certify the within to be a true copy of the document that is on file in the Map Department.	
CHRIS E. BAUSERMAN, P.E., P.S. County Engineer	
By 	Date 8/7/17



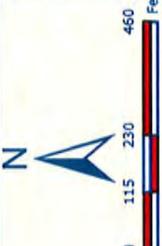
Delaware County Auditor
George Kaitza

WINTERBROOK PLACE ADDENDUM B: MAP OF PROPERTY

Information contained within this map may be used to generally locate, identify and inventory land parcels within Delaware County. Delaware County cannot warrant or guarantee the information contained herein, including, but not limited to its accuracy or completeness. The mapping data shown is approximate and this information is not to be construed or used as a "legal description" of a parcel.

Please report any errors or omissions to the Delaware County Auditor's office.
Prepared by: Delaware County Auditor's GIS Office on March 2019.



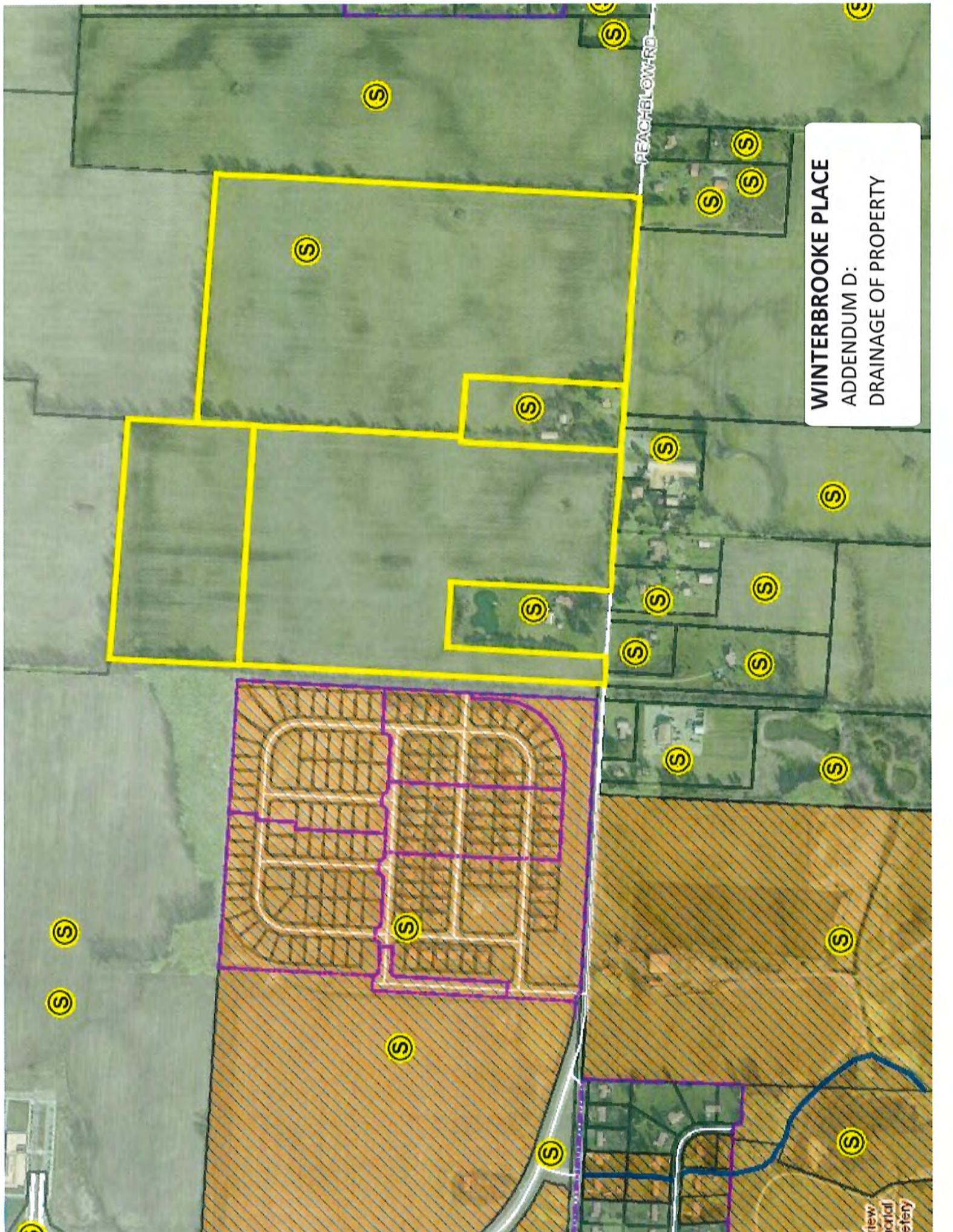


WINTERBROOK PLACE
ADDENDUM C: TOPOGRAPHY OF PROPERTY

Information contained within this map may be used to generally locate, identify and inventory land parcels within Delaware County. Delaware County does not warrant the accuracy, reliability, completeness, or timeliness of the information shown on this map. Aerial photo is current as of April 2018. Please report any errors or omissions to the Delaware County Auditor's office. Prepared by: Delaware County Auditor's GIS Office on March 2015.



Delaware County Auditor
 George Kaitsa

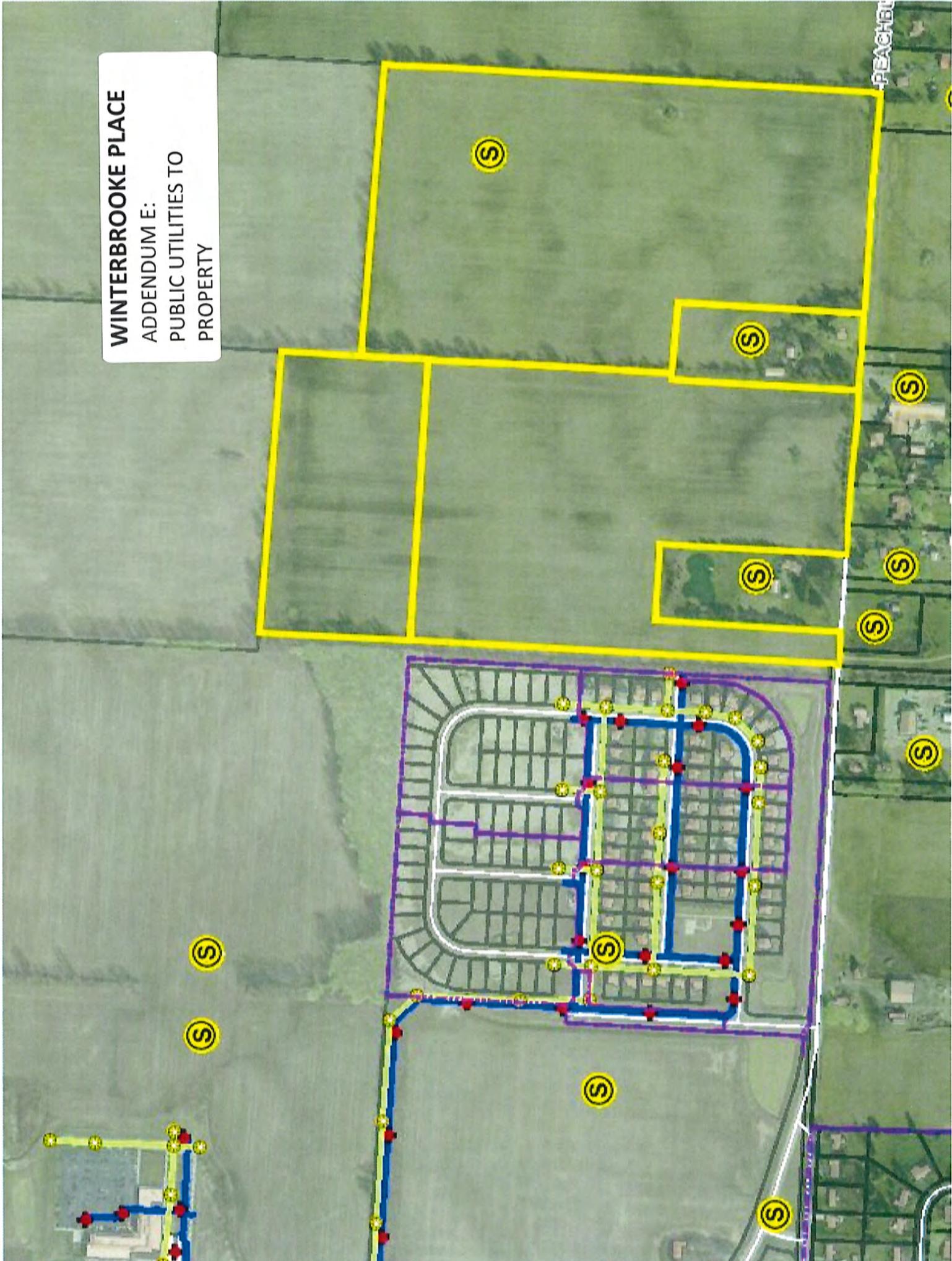


PEACHBLOW RD

WINTERBROOKE PLACE
ADDENDUM D:
DRAINAGE OF PROPERTY

view
portal
refery

WINTERBROOKE PLACE
ADDENDUM E:
PUBLIC UTILITIES TO
PROPERTY



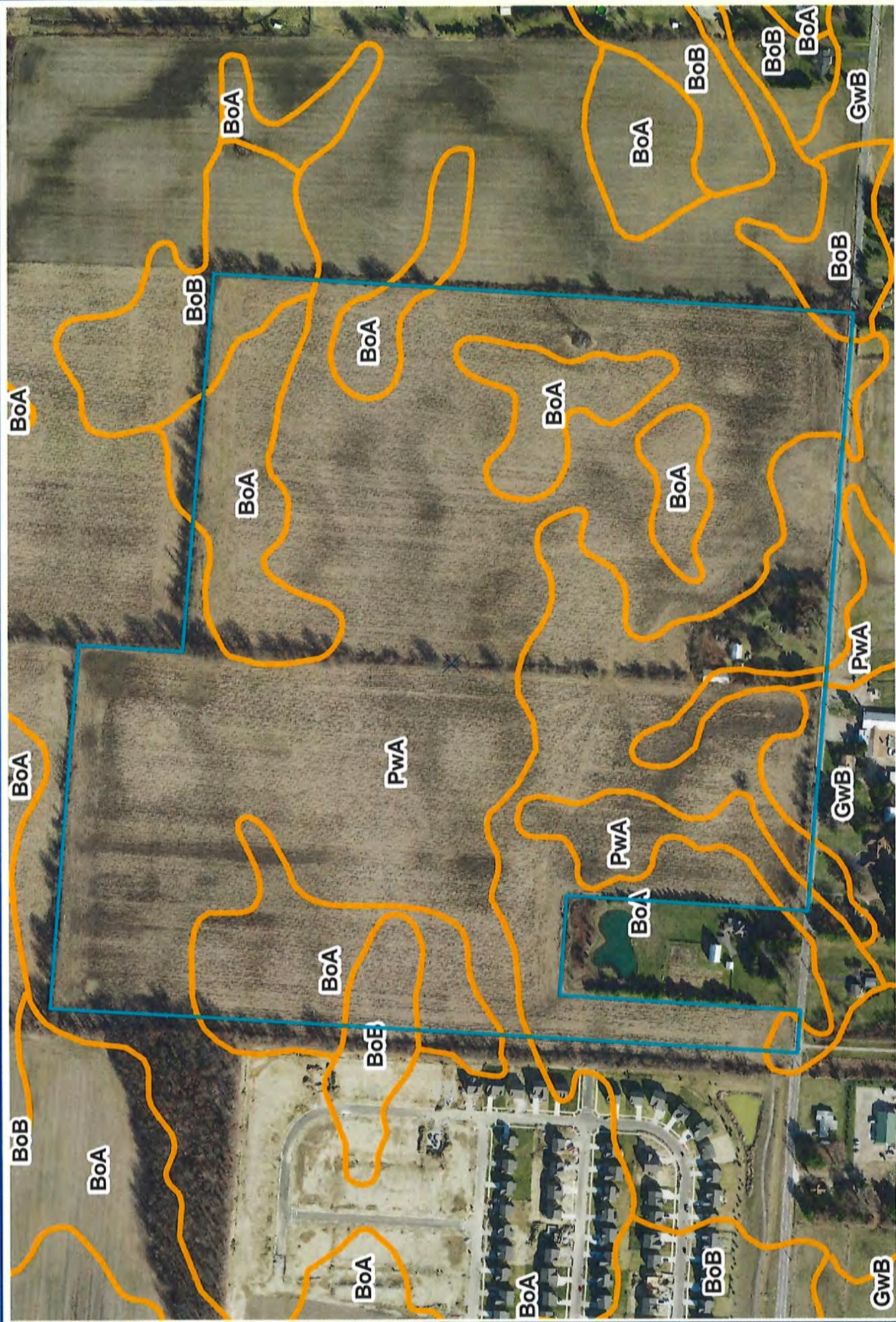


Delaware County Auditor
George Kaitsa

WINTERBROOK PLACE ADDENDUM F: VEGETATION

Information contained within this map may be used to generally locate, identify and inventory land parcels within Delaware County. Delaware County cannot warrant or guarantee the information contained herein, including, but not limited to its accuracy or completeness. The mapping data shown is approximate and this information cannot be construed or used as a "legal description" of a parcel. Aerial photo is current as of April 2018.
Please report any errors or omissions to the Delaware County Auditor's office.
Prepared by: Delaware County Auditor's GIS Office on March 2023.

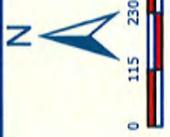




Delaware County Auditor
George Kaitsa

**WINTERBROOK PLACE
ADDENDUM G: SOILS**

Information contained within this map may be used to generally locate, identify and inventory land parcels within Delaware County. Delaware County cannot warrant or guarantee the information contained herein, including, but not limited to its accuracy or completeness. The mapping data shown is approximate and this information cannot be construed or used as a "legal description" of a parcel. Aerial photo is current as of April 2018. Please report any errors or omissions to the Delaware County Auditor's office. Prepared by: Delaware County Auditor's GIS Office on March 2019.



Feet

FEES & CHARGES

PROPERTY OWNERSHIP	TOTAL
AREA	100,648
SCHOOL DISTRICT	
NUMBER OF HOUSING DWELLING UNITS	263
FEE OR CHARGES	
REZONING/ANNEXATION/CUP	11,064.80
PRELIMINARY PLAN / PLAT	33,132.40
FINAL PLAN / PLAT	33,632.40
SUBTOTAL	77,829.60
BUILDING PERMITS AND CHARGES	526,000.00
SANITARY SEWER CAPACITY FEE	1,416,255.00
WATER CAPACITY FEE	1,485,950.00
IMPACT FEES	543,884.00
ENGINEERING FEES	480,422.00
SHSC / TRANSPORTATION CHARGE	921,500.00
TOTAL FEES	5,451,840.60
* AVERAGE ANNUAL UTILITY CHARGE AT BASE RATE	\$151,488.00

TOTAL ESTIMATED PROJECT FEES TO BE PAID TO CITY	\$5,451,840.60
--	-----------------------

TOTAL ESTIMATED ANNUAL INCOME TO BE PAID TO CITY	Full \$842,120.00
---	--------------------------

ADDITIONAL ON AND OFF SITE ROADWAY COST	
WINTERBROOKE DRIVE	\$ 1,612,100.00
ENSIGN DRIVE	\$ 315,000.00
TOTAL	\$ 1,927,100.00

**ADDENDUM H
WINTERBROOKE PLACE**

INCOME TAX

SECTION	TYPE OF HOUSES	NUMBER OF UNITS	AVERAGE HHI	CITY TAX	TOTAL TAX
WINTERBROOK	52'	112	160,000	2960.00	\$331,520.00
	65'	130	180,000	3330.00	\$432,900.00
	80'	21	200,000	3700.00	\$77,700.00
TOTAL			174,105	TOTAL ANNUAL INCOME TAX	\$842,120.00
MEDIAN HOUSEHOLD INCOME- CITY OF DELAWARE	54,367	U.S. CENSUS BUREAU 2010			
MEDIAN HOUSEHOLD INCOME- CITY OF DELAWARE	57,000	* STATISTICAL ATLAS 2016			
POWELL MEDIAN INCOME	147,344				
DOES NOT INCLUDE INCOME TAXES RECEIVED DURING CONSTRUCTION					

PROPERTY TAXES BREAKDOWN

PHASES - WINTERBROOKE PLACE

	NUMBER OF UNITS	AVERAGE SALE PRICE	TOTAL SALE VALUATION	BERLIN TWP	DELAWARE CORP	SCHOOLS
WINTERBROOK						
52' Lots (\$310,000 - \$340,000)	112	\$325,000.00	\$36,400,000.00			
65' Lots (\$375,000 - \$425,000)	130	\$400,000.00	\$52,000,000.00			
80' Lots (\$525,000 - \$575,000)	21	\$550,000.00	\$11,550,000.00			
TOTAL	263	TOTAL	\$99,950,000.00			
		AVERAGE	\$380,038.00	\$217,634.89	\$40,313.84	\$1,876,589.58

WINTERBROOKE PLACE
ADDENDUM I:
PHASE / ENVIRONMENT OF
PROPERTY

PHASE I ENVIRONMENTAL SITE ASSESSMENT REPORT

**GRDEN PROPERTY
PEACHBLOW ROAD
BERLIN TOWNSHIP, DELAWARE COUNTY, OHIO**

Prepared for:

**ARLINGTON BUILDERS, INC.
10590 WELLINGTON BOULEVARD
POWELL, OHIO 43065**

Prepared by:

**CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
250 OLD WILSON BRIDGE ROAD, SUITE 250
WORTHINGTON, OHIO 43085**

CEC Project 172-299

July 6, 2017



Civil & Environmental Consultants, Inc.