

**CITY OF DELAWARE
CITY COUNCIL
CITY COUNCIL CHAMBERS
1 SOUTH SANDUSKY STREET
7:00 P.M.**

AGENDA

6:30 P.M. EXECUTIVE SESSION: pursuant to Ohio Revised Code Section 121.22 (G) (3) pending or imminent court action, Section 121.22 (G) (1) personnel, Section 121.22 (G) (5) matters required to be kept confidential by State statute, Section 121.22 (G) (2) acquisition of property for public purpose and 121.22(G) (8) consideration of confidential information related to a request for economic development assistance.

REGULAR MEETING

April 8, 2019

1. ROLL CALL
2. INVOCATION – Pastor David Soliday, Delaware Unitarian Universalist Fellowship
3. PLEDGE OF ALLEGIANCE
4. APPROVAL of the Motion Summary of the regular meeting of Council held on March 25, 2019, as recorded and transcribed.
5. CONSENT AGENDA
 - A. Acceptance of the Motion Summary of the Planning Commission meeting held on March 6, 2019, as recorded and transcribed.
 - B. Resolution No. 19-18, a resolution appointing members to various Boards, Commissions, and/or Committees, and specifying the term of the appointments.
6. LETTERS, PETITIONS, AND PUBLIC COMMENTS
7. COMMITTEE REPORTS
8. PRESENTATIONS
 - A. Proclamation for Child Abuse Prevention and Sexual Assault Awareness Month; presented to Helpline of Delaware and Morrow Counties
 - B. Second Ward Community Initiative Update – Karriejoi Coit, Executive

Director

9. FOURTH READING of Ordinance No. 19-07, an ordinance amending Chapter 1121 and 1143 of the Planning and Zoning Code of the Codified Ordinances of the City of Delaware. (Massage Establishment Regulations)
10. THIRD READING AND CONTINUED PUBLIC HEARING of Ordinance No. 19-08 (Amended), an ordinance prohibiting smoking within 50 feet of recreational facilities of city parks (Public Hearing from 03/25/19 continued).
11. THIRD READING of Resolution No. 19-16, a resolution expressing Council's direction regarding the Special Events Policy enhancements.
12. CONSIDERATION of Ordinance No. 19-12, an ordinance for Kroger great Lakes Distribution Center approving a Combined Preliminary and Final Development Plan for a building expansion to the Kroger Distribution Center at 2000 Nutter Farms Lane on approximately 162.29 acres and zoned M-2 (General Manufacturing District) with text limitations.
13. CONSIDERATION of Ordinance No. 19-13, an ordinance for Manos Properties for approving a Final Development Plan for the Wesleyan Inn at 235 West William Street on approximately 0.72 acres and zoned PO/I (Planned Office/Institutional District).
14. CONSIDERATION of Ordinance No. 19-14, an ordinance for the Rockwell Company approving a Combined Preliminary and Final Development Plan for The Food Truck Depot at 59 Potter Street on approximately 1.066 acres and zoned R-4 (General Business District).
15. CONSIDERATION of Ordinance No. 19-15, an ordinance supplementing the 2019 Appropriations Ordinance to provide additional funding for the East William Street Road Improvement Project, and declaring an emergency.
16. CONSIDERATION of Ordinance No. 19-16, an ordinance supplementing the 2019 Appropriations Ordinance to provide funding for the renovation of the City Hall Annex and declaring an emergency.
17. CONSIDERATION of Ordinance No. 19-17, an ordinance supplementing the 2019 Appropriations Ordinance to provide additional funding for local road resurfacing work, and declaring an emergency.
18. CONSIDERATION of Resolution No. 19-19, a resolution establishing

restrictions and fees for use of public parking spaces designated for electric vehicle charging.

19. CITY MANAGER'S REPORT
20. COUNCIL COMMENTS
21. ADJOURNMENT

RECORD OF PROCEEDINGS

Minutes of Delaware City Council

Meeting

BEAR GRAPHICS 800-325-8094 FORM NO. 10148

Held March 25 20 19

The regular meeting of Council held March 25, 2019 was called to order at 7:00 p.m., in the City Council Chambers. The following members of Council were present: First Ward Chris Jones, Third Ward Jim Browning, Fourth Ward Kyle Rohrer, At-Large George Hellinger, and Mayor Carolyn Kay Riggle who presided. Absent from the meeting was Second Ward Lisa Keller and Vice-Mayor Shafer. The invocation was given by Pastor Deb Patterson, followed by the Pledge of Allegiance.

Staff Present: Chris Ballard, Assistant City Prosecutor, Lee Yoakum, Community Affairs Coordinator, Dean Stelzer, Finance Director, Bill Ferrigno, Public Works Director/City Engineer, Dave Efland, Planning and Community Development Director, Bruce Pijanowski, Police Chief, and Tom Homan, City Manager

Motion to Excuse: Mr. Jones motioned to excuse Mrs. Keller and Vice-Mayor Shafer, seconded by Mr. Browning. Motion approved by a 5-0 vote.

ITEM 4: APPROVAL OF MINUTES

APPROVAL of the Motion Summary of the regular meeting of Council held on March 11, 2019, as recorded and transcribed.

Motion: Mr. Browning motioned to approve the Motion Summary of the regular meeting of Council held March 11, 2019, seconded by Mr. Rohrer. Motion approved by a 5-0 vote.

ITEM 5: CONSENT AGENDA

- A. Acceptance of the Motion Summary of the Board of Zoning Appeals meeting held on November 14, 2018, as recorded and transcribed.
- B. Acceptance of the Motion Summary of the Parks and Recreation Advisory Board meeting held on January 15, 2019, as recorded and transcribed.
- C. Resolution No. 19-13, a resolution authorizing the City Manager to enter into an agreement with the Ohio Development Services Agency for the Administration of Housing Revolving Loan Funds for the period beginning January 1, 2019 and ending December 31, 2021.
- D. Resolution No. 19-14, a resolution authorizing the City Manager to enter into an Intergovernmental Affiliation Agreement between the Delaware Area Career Center and the City of Delaware Fire Department.
- E. Resolution No. 19-15, a resolution authorizing the City Manager to enter into an agreement with the Ohio Department of Transportation to participate in the cooperative purchase of road salt through the ODOT winter salt purchase contract (018-20).

Motion: Mr. Browning motioned to approve the Consent Agenda, seconded by Mr. Jones. Motion approved by a 5-0 vote.

ITEM 6: LETTERS, PETITIONS, AND PUBLIC COMMENTS

PUBLIC PARTICIPATION:

Jana Banhagel
McDonalds Owner
5049 Cemetery Road

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Held March 25 20 19

Hilliard, Ohio 43026

Ms. Banhagel discussed the need for a variance for a sign at the McDonalds. Mr. Efland plans to contact her regarding the process.

ITEM 7: COMMITTEE REPORT

ITEM 8: PRESENTATIONS

A. Bill Ferrigno, Public Works Director/City Engineer

ITEM 9: ORDINANCE NO. 19-07 [Public Hearing and Third Reading]

AN ORDINANCE AMENDING CHAPTER 1121 AND 1143 OF THE PLANNING AND ZONING CODE OF THE CODIFIED ORDINANCES OF THE CITY OF DELAWARE.

The Clerk read the ordinance for the third time.

PUBLIC PARTICIPATION:

Susan McGrail
268 Silven Drive
Delaware, Ohio

Ms. McGrail discussed her concerns on violations of human rights, human trafficking concerns, and the need to license and regulate massage therapist. She recommended that legislation have requirements that massage therapist have separate addresses.

Dr. John McGrail
268 Silven Drive
Delaware, Ohio

Dr. McGrail voiced a concern over lack of legislation regarding licensure for massage therapist. He discussed the strict regulations from the State of Ohio Medical Board to be a licensed therapist.

EMAIL SUBMISSION:

Chuanyan Zhang

The Clerk read into the record a statement received March 24, 2019 from business owner, Chuanyan Zhang.

Council held a discussion regarding the current legislation. Mayor Riggle and Mr. Jones recommended that the ordinance stipulate that individuals working at the business may not reside there and that all employees be licensed and strike the supervisor capacity.

ITEM 10: ORDINANCE NO. 19-08 [Public Hearing and Second Reading]

AN ORDINANCE PROHIBITING SMOKING WITHIN 50 FEET OF RECREATIONAL FACILITIES IN CITY PARKS.

The Clerk read the ordinance for the second time.

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Held March 25 2019

PUBLIC PARTICIPATION:

Leonard Fisher
Tobacco-Free Delaware County Coalition, Chairperson
2020 Parklawn Drive
Lewis Center, Ohio

Mr. Fisher voiced that the Coalition supports a full smoking and tobacco ban at city parks and that the whole park should be considered a recreational facility.

Linda Diamond
153 North Washington Street
Delaware, Ohio

Ms. Diamond voiced her preference for a complete policy ban of tobacco and smoking products.

Abby Trimble
181 North Washington Street
Delaware, Ohio

Ms. Trimble discussed that the Delaware City Schools and DACC are working to update their tobacco free policy to include vaping.

Ed Paxton
Woodlands Cigar, Owner
153 Glengary Drive
Delaware, Ohio

Mr. Paxton voiced his opposition to the current ordinance.

Kelly Bragg
146 West Lincoln Avenue
Delaware, Ohio

Ms. Bragg voiced her concerns regarding the dangers of second hand smoke.

Karriejoi Coit
Second Ward Community Center, Executive Director
50 Ross Street
Delaware, Ohio

Ms. Coit informed Council that she is a member of the Tobacco-Free Delaware County Coalition and that she often must clean up litter at the Ross Street Park from smokers.

Tom Wolber
Sustainable Delaware, Representative
272 Hearthstone Drive
Delaware, Ohio

Mr. Wolber informed Council that Sustainable Delaware supports tobacco and smoking ban at parks.

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Held March 25 20 19

Councilman Browning requested that the public hearing remain open due to concerns voiced by members of the Parks and Recreation Advisory Board that many members are unavailable due to the scheduled spring break for Delaware City Schools.

ITEM 11: RESOLUTION NO. 19-16 [First Reading]
A RESOLUTION EXPRESSING COUNCIL'S DIRECTION REGARDING THE SPECIAL EVENTS POLICY ENHANCEMENTS.

The Clerk read the resolution for the first time.

PUBLIC PARTICIPATION:

Mark Hardymon
Delaware Art's Festival, Liaison
7981 Perry Road
Delaware, Ohio

Mr. Hardymon discussed the potential to affect the budget of the Art's Festival and the need to look for additional income sources. He provided information on scholarships that are awarded to teachers and local students.

ITEM 12: RESOLUTION NO. 19-16 [First Reading]
A RESOLUTION ACCEPTING THE RECOMMENDATIONS OF THE DELAWARE CITY TAX INCENTIVE REVIEW COUNCIL (TIRC) ON THE STATUS OF THE 2018 COMMUNITY REINVESTMENT AREA (CRA), ENTERPRISE ZONE (EZ) AND TAX INCREMENT FINANCING PROGRAMS (TIF).

The Clerk read the resolution for the first time.

Motion: Mr. Browning motioned to approve Resolution No. 19-16, seconded by Mr. Jones. Motion approved by a 5-0 vote.

ITEM 13: ORDINANCE NO. 19-10 [First Reading]
AN ORDINANCE APPROVING A COMMUNITY REINVESTMENT AREA AGREEMENT AND SCHOOL COMPENSATION AGREEMENT WITH SELO BOLNO LLC, DELAWARE CITY SCHOOLS, DELAWARE AREA CAREER CENTER AND THE CITY OF DELAWARE FOR INVESTMENT IN REAL PROPERTY IMPROVEMENTS ON A BUILDING 5 NORTH SANDUSKY STREET AND DECLARING AN EMERGENCY.

The Clerk read the ordinance for the first time.

APPLICANT:

Chris Duvall
5 North Sandusky Street
Delaware, Ohio

Motion: Mr. Jones motioned to suspend the rules for Ordinance No. 19-10, seconded by Mr. Browning. Motion approved by a 5-0 vote.

Motion: Mr. Jones motioned to enact the emergency clause for Ordinance No. 19-10, seconded by Mr. Browning. Motion approved by a 5-0 vote.

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Held March 25 20 19

Motion: Mr. Jones motioned to adopt Ordinance No. 19-10, seconded by Mr. Browning. Motion approved by a 5-0 vote.

ITEM 14: ORDINANCE NO. 19-11 [First Reading]

AN ORDINANCE AMENDING THE MANAGEMENT, PROFESSIONAL, TECHNICAL, CONFIDENTIAL, AND SUPERVISORY EMPLOYEE PAY PLAN.

The Clerk read the ordinance for the first time.

Motion: Mr. Jones motioned to suspend the rules for Ordinance No. 19-11, seconded by Mr. Browning. Motion approved by a 5-0 vote.

Motion: Mr. Jones motioned to adopt Ordinance No. 19-11, seconded by Mr. Browning. Motion approved by a 5-0 vote.

ITEM 15: FINANCE DIRECTOR'S REPORT

ITEM 16: CITY MANAGER'S REPORT

Mr. Homan provided an update on the bid for the East William Street project and that a future supplemental will be brought before Council due to being slightly over the projected budget. He informed Council that he attended the groundbreaking at the Fairgrounds. He provided an update on the state's Gas Tax Bill and also an update on Riverby regarding sewer services.

ITEM 17: COUNCIL COMMENTS

Mr. Jones discussed working with staff on topics for an upcoming Public Works/Public Utilities Committee meeting.

Mr. Browning voiced concerns received over the littering and incidents that occurred in the downtown area during St. Patrick Day. Chief Pijanowski discussed that there were more people downtown than expected and that will look at additional staffing needs in future.

Mayor Riggle discussed that an email from Assistant City Attorney, Chris Ballard, regarding the ethical concerns of a member of the Sister City Advisory Board and that it was determined that there was no wrong doing from this member. She informed Council that she will be out of town and unavailable to attend the April 1 Work Session.

ITEM 20: ADJOURNMENT

Motion: Mr. Jones motioned to adjourn the meeting. The meeting adjourned at 8:59 p.m.

Mayor Carolyn Kay Riggle

Elaine McCloskey, Council Clerk

PLANNING COMMISSION
March 6, 2019
MOTION SUMMARY

ITEM 1. Roll Call

Chairman Simpson called the meeting to order at 6:30 p.m.

Members Present: Robert Badger, Jim Halter, Andy Volenik, Mayor Carolyn Kay Riggle, and Chairman Stacy Simpson

Members Absent: Dean Prall and Vice-Chairman George Mantzoros

Staff Present: Jonathan Owen, Project Engineer, Jordan Selmek, Zoning Officer, Lance Schultz, Zoning Administrator, and Dave Efland, Planning and Community Development Director

Motion: Mr. Badger motioned to excuse Mr. Prall and Vice-Chairman, seconded by Mayor Riggle. Motion approved by a 5-0 vote.

ITEM 2. APPROVAL of the Motion Summary of the Planning Commission meeting held on February 6, 2019, as recorded and transcribed.

Motion: Mayor Riggle motioned to approve the Motion Summary for the Planning Commission meeting held on February 6, 2019, as recorded and transcribed, seconded by Mr. Volenik. Motion approved by a 5-0 vote.

ITEM 3. REGULAR BUSINESS

A. 2019-0236: A request by People in Need of Delaware County for approval of a Development Plan Exemption for a service pavilion (shelter), Phase 1 and 2, on approximately 1.907 acres zoned M-2 (General Manufacturing District) and located at 138 Johnson Drive.

Anticipated Process

a. Staff Presentation

Mr. Selmek discussed that the proposed pavilion will be almost 3,000 square feet and will be built in two phases. The first phase will be the construction of the concrete pad and roof structure with the second phase will include the enclosure of all or part of the structure. There will be no change to access to the property and no additional landscaping will be required or is proposed. There will be no tree removal during the process and no additional signage is requested.

b. Applicant Presentation

APPLICANT:

Randy Bournique
People in Need, Executive Director
138 Johnson Drive
Delaware, Ohio

Mr. Bournique discussed that the pavilion will be used the last Wednesday of the month from March to November to distribute free fresh produce. Other community agencies will be available during these dates to provide information on additional community resources available.

c. Public comment (not a public hearing)

There was no public comment.

d. Commission Action

Motion: Mr. Badger motioned to approve 2019-0236, along with all staff recommendations and conditions, seconded by Mr. Volenik. Motion approved by 5-0 vote.

- B. 2019-0225: A request by Metro Development LLC for approval of a Final Development Plan for the Seattle House Apartments (240 units) on approximately 24.212 acres zoned R-6 and B-3 PMU (Planned Mixed Use Overlay District) and located on the north side of US 36/37 and the south side of Bowtown Road just east of the Chesrown auto storage lot.

Anticipated Process

a. Staff Presentation

Mr. Schultz discussed the proposed development site, which encompasses 24.212 acres that are divided into two sub-areas. Sub-Area A will encompass approximately 20.972 acres of multi-family housing and Sub-Area B will encompass approximately 3.24 acres of commercial property and open space. He discussed access to the site, which would be accessed from US 36/37 at the existing main traffic signal for Glenwood Commons through a north/south access road that bisects Biltmore Drive. The proposed two curb cuts on Biltmore Drive would extend into an interior looped private street network that would access the apartments. There is an emergency access only on Bowtown Road. Amenities to the development include clubhouse, pool, walking paths, a dog park separated for small and large dogs, and bike path. He discussed that the applicant has prepared a traffic impact study. Parking for the complex will have 480 parking spaces with 420 on-street parking spaces and 60 parking spaces located in nine detached garages. He discussed the location for trash compactors that will be enclosed by a brick or stone wall. He discussed

the landscaping plan.

Mr. Badger questioned what phase Biltmore Drive will be constructed. Mr. Schultz discussed that will occur during Phase 1.

b. Applicant Presentation

APPLICANT:

Joe Thomas
Metro Development
470 Olde Worthington Road
Westerville, Ohio 43083

Todd Faris
Civil & Environmental Consultants, Inc.
243 North 5th Street
Columbus, Ohio

Mr. Thomas informed the Commission that they were agreeable to all conditions. Mayor Riggle questioned if previous concerns for drainage to neighboring properties was looked at. Mr. Owen discussed that they have worked with the Soil and Water Conservation District regarding these issues. Mayor Riggle requested that the applicant consider providing options for recycling.

c. Public comment (not a public hearing)

PUBLIC PARTICIPATION:

George Piacentino
1780 Bowtown Road
Delaware, Ohio

Mr. Piacentino voiced a concern that residents will utilize the emergency only access road off of Bowtown to enter and exit the property.

d. Commission Action

Motion: Mr. Badger motioned to approve 2019-0225, along with all staff recommendations and conditions, seconded by Mr. Volenik. Motion approved by 5-0 vote.

ITEM 4. PLANNING DIRECTOR'S REPORT

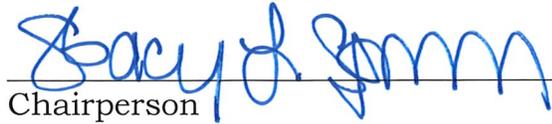
Mr. Efland informed the Commission that there was a BIA presentation held before Council at the March 4 Work Session. He provided information on upcoming Comprehensive Plan Steering Committee meetings.

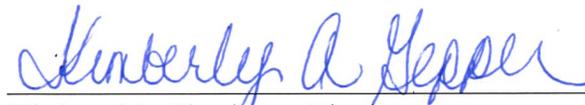
ITEM 5. COMMISSION MEMBER COMMENTS AND DISCUSSION

ITEM 6. NEXT REGULAR MEETING: April 3, 2019

ITEM 7. ADJOURNMENT:

Motion: Chairman Simpson moved for the Planning Commission meeting to adjourn. The meeting adjourned at 7:14 p.m.


Chairperson


Elaine McCloskey, Clerk

Kimberly Gepper, Acting Clerk



FACT SHEET

AGENDA ITEM NO: CONSENT ITEM B DATE: 04/08/2019
ORDINANCE NO: RESOLUTION NO: 19-18
READING: FIRST PUBLIC HEARING: NO

TO: Mayor and Members of City Council
FROM: R. Thomas Homan, City Manager
VIA: ---

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

A RESOLUTION APPOINTING MEMBERS TO VARIOUS BOARDS, COMMISSIONS, AND/OR COMMITTEES, AND SPECIFYING THE TERM OF THE APPOINTMENTS.

BACKGROUND:

REASON WHY LEGISLATION IS NEEDED:

COMMITTEE RECOMMENDATION:

FISCAL IMPACT(S):

POLICY CHANGES:

PRESENTER(S):

Carolyn Kay Riggle, Mayor

RECOMMENDATION:

ATTACHMENT(S)

Resume

RESOLUTION NO. 19-18

A RESOLUTION APPOINTING MEMBERS TO VARIOUS
BOARDS, COMMISSIONS, AND/OR COMMITTEES, AND
SPECIFYING THE TERM OF THE APPOINTMENTS.

WHEREAS, Members are to be appointed to serve on various Committees, Commissions and Boards by the Mayor of the City of Delaware and confirmed by Council; and

WHEREAS, the Mayor has appointed and Council has confirmed the following appointments.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Delaware that:

SECTION 1. The following appointments are hereby made:

1. Shade Tree Commission – Melissa Bargar New Appointment (term expiring June 30, 2021)

SECTION 2. This resolution shall be effective immediately upon its passage.

PASSED: _____, 2019

YEAS ____ NAYS ____
ABSTAIN ____

ATTEST: _____
CITY CLERK

MAYOR



FACT SHEET

AGENDA ITEM NO: 9

DATE: 04/08/2019

ORDINANCE NO: 19-07

RESOLUTION NO:

READING: FOURTH

PUBLIC HEARING: NO

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: Darren Shulman, City Attorney

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE AMENDING CHAPTER 1121 AND 1143 OF THE PLANNING AND ZONING CODE OF THE CODIFIED ORDINANCES OF THE CITY OF DELAWARE.

BACKGROUND:

Pursuant to R.C. 715.61, the City of Delaware can regulate massage establishments. Various municipalities in Ohio have adopted regulatory frameworks of various levels of complexity, as detailed in the memorandum prepared by staff and disseminated to Council on September 7, 2018. Following Council's directive to explore regulatory options via the City's zoning code, staff has developed the following ordinance. "Licensed massage establishments" are specifically defined at a permitted use within the B-1 Limited Business, B-2 Central Business, B-3 Community Business, and B-4 General Business districts in 1143.02 of the Planning and Zoning code. This is where they previously were a permitted use as "health and allied services," and does not expand or contract the districts where they are permitted. To receive the necessary certificate of zoning compliance from the City's planning and community development department to commence this use under Ordinance 1127.02, an applicant must certify that massage treatments will be provided by an individual licensed by the State Medical Board of Ohio to practice "massage therapy" or under the supervision of such a licensee. This new ordinance specifically excepts massage treatments that may be provided incidentally to medical or chiropractic treatment, so as not to over-regulate unrelated businesses.

3/19/19 UPDATE:

At the March 11, 2019, City Council meeting, Council heard from District 19 Senator Andrew Brenner, who mentioned co-sponsoring S.B. 105 to regulate massage establishments. S.B. 105 was recently introduced to the Ohio Senate, and as of March 19, 2019, has not been assigned to a committee or been analyzed by the Legislative Service Commission.

S.B. 105's main change is to expand the definition of "massage therapy" requiring a state license. Previously, R.C. 4731(D) defined "massage therapy" as:

"any treatment of disorders of the human body by the manipulation of soft tissue through the systematic external application of massage techniques including touch, stroking, friction, vibration, percussion, kneading, stretching, compression, and joint movements within the normal physiologic range of motion; and adjunctive thereto, the external application of water, heat, cold, topical preparations, and mechanical devices."

This definition does not encompass so-called "relaxation massages" that are not for treatment of disorders. S.B. 105 would broaden the definition of State-regulated massage therapy to any of the following:

"(1) The manual application of compression, stretch, vibration, or mobilization of the body's organs and tissues, including the components of the musculoskeletal system, peripheral vessels of the circulatory system, and fascia;

(2) Directed, assisted, resistive, or passive movements of the joints within the normal physiologic range of motion;

(3) The external application of water, heat, cold, topical preparations, and mechanical devices."

This definition is similar to that proposed in our ordinance, which was adopted from Westerville Ordinance 759.01(f).

S.B. 105 requires that township regulation of massage establishments include a requirement that all "massage therapy," as defined in the amended R.C. 4731.04, be performed by state license-holders, and that their licenses must be displayed in the establishment. S.B. 105 also expands the amount of shareholders of a massage establishment who would need to register with a township, if a township has enacted such a requirement.

With regards to municipalities, S.B. 105 likewise mandates that if a municipality elects to regulate massage therapy as defined in the amended R.C. 4731.04, the municipality must require massage therapy to be performed by a state licensed individual.

Importantly, these mandates are dependent on whether or not a township or municipality elects to regulate massage establishments, a choice that remains at local discretion.

4/3/19 Update:

Following Council's amendments, the "under the supervision of" language has been struck. All individuals providing massage treatments must be State-licensed as massage therapists, or hold a State license from the State Cosmetology / Barber Board, Board of Nursing, Occupational / Physical Therapy and Athletic Trainers Board / Chiropractic Board, or State Medical Board of Ohio.

Regarding the concern of individuals living in Massage Establishments, language was added requiring certification that providers do not live within the Massage Establishment to obtain a certificate of zoning compliance. Additionally, of the four districts where Licensed Massage Establishments will be a permitted use, only the B-2 district allows any sort of residential use, so individuals living in the Massage Establishments would be already be in violation of the Planning and Zoning Code within the B-1, B-3, and B-4 districts.

REASON WHY LEGISLATION IS NEEDED:

While most massage establishments are legitimate businesses, massage establishments can unfortunately provide a convenient "front" for illegal activities and human-trafficking. By requiring that new massage establishments provide proof of State licensure to practice massage therapy, before being issued a certificate of zoning compliance, this ordinance adds an extra layer of scrutiny to deter illegal activity, within an established regulatory framework.

COMMITTEE RECOMMENDATION:

N/A

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

Darren Shulman, City Attorney

RECOMMENDATION:

Staff recommends that Council take action after the fourth reading as the public hearing is scheduled to occur at the third reading.

ATTACHMENT(S)

ORDINANCE NO. 19-07

AN ORDINANCE AMENDING CHAPTER 1121 AND 1143
OF THE PLANNING AND ZONING CODE OF THE
CODIFIED ORDINANCES OF THE CITY OF DELAWARE
AND DECLARING AN EMERGENCY

WHEREAS, the City of Delaware has both the duty and authority to enact ordinances to protect the health, safety, and welfare of those within its borders; and

WHEREAS, massage services are offered independently or as part of medical or cosmetological services which require appropriate regulations to insure the health, safety, and welfare of citizens and avoid nuisances; and

WHEREAS, pursuant to R.C. 715.61, “Any municipal corporation may regulate and license...all persons engaged in the trade, business, or profession of ... massaging”; and

WHEREAS, Council has determined it to be in the best interest of the health, safety, and welfare of the community to ensure that businesses that offer massage services are operated by individuals who have undergone State licensure; and

WHEREAS, multiple divisions of the State of Ohio already provide comprehensive health and safety requirements as part of occupational licenses that are relevant to massage services, including (but not limited to) the state medical board’s licensing and regulation of massage therapy in accordance with R.C. 4731.15 and related sanctions.

NOW, THEREFORE, BE IT ORDAINED by the City Council of Delaware, State of Ohio:

SECTION 1. That Chapter 1121.02 of the Planning and Zoning Code is amended as follows.

1121.02 – Definitions.

(b)(96.1) MASSAGE means the use of any method on, or friction against, or stroking, kneading, rubbing, tapping, pounding, vibrating, pressing, compressing, percussing, stretching, rotating, heating, cooling, or stimulating of, the external soft parts of a living human body, which may be performed with direct or indirect human contact, or with the aid of an apparatus, appliance, or other tool or object.

(b)(96.2) MASSAGE TREATMENT means providing for a fee or any consideration whatsoever any of the following services:

(1) Massage;

(2) The application of liniments, antiseptics, oils, powders, creams, lotions, ointments, hot or cold liquids or solid objects, or other similar treatments.

(b)(96.3) LICENSED MASSAGE ESTABLISHMENT means any establishment having a fixed place of business where a person or entity advertises the availability of, offers, provides, or permits to be carried on, massage treatments. Prior to issuance of a certificate of zoning compliance for a licensed massage establishment, the applicant must certify to the City that no individuals providing massage treatments reside at separate addresses then the proposed licensed massage establishment and that all massage treatments shall be provided by individuals licensed by the State Medical Board of Ohio pursuant to R.C. 4731.15 to practice “massage therapy.” ~~or individuals under the supervision of those so licensed pursuant to R.C. 4731.15.~~

(A) A “Massage establishment” does not include any establishment where massage treatment is provided as a portion of services provided by individuals licensed by, ~~or under the supervision of individuals licensed by,~~ any of the following:

(1) The Ohio State Cosmetology and Barber Board or its predecessors pursuant to R.C. 4709 or 4713;

(2) The State of Ohio Board of Nursing pursuant to R.C. 4723;

(3) The Ohio Occupational Therapy, Physical Therapy, and Athletic Trainers Board pursuant to R.C. 4755;

(4) The Ohio State Chiropractic Board pursuant to R.C. 4734;

(5) The State Medical Board of Ohio pursuant to R.C. 4730 or R.C. 4762; except those licensed pursuant to R.C. 4731.15 to practice “massage therapy.”

SECTION 2. That the permitted use schedule of Chapter 1143.02 of the Planning and Zoning Code is amended as follows.

(b) Office and Professional Services	B-1 Limited Business	B-2 Central Business	B-3 Community Business	B-4 General Business
(1) Offices—administrative, business and professional	P	P	P	P
(2) Financial institutions, banks	P	P	P	P
(3) Medical and dental offices, health and allied services	P	P	P	P
(4) LICENSED MASSAGE ESTABLISHMENTS	P(a)	P(a)	P(a)	P(a)
P = Principal use permitted by right C = Conditional use A = Accessory use Blank = Use not permitted				
(a) SUBJECT TO CERTIFICATE OF ZONING COMPLIANCE REQUIREMENTS ENUMERATED IN 1121.02(b)(96.3)				

SECTION 3. EMERGENCY CLAUSE. That this ordinance is hereby declared to be an emergency measure, necessary to provide for the public peace, property, health, safety, welfare, and as such will be in full force immediately upon its passage.

VOTE ON RULE SUSPENSION:

YEAS ___ NAYS ___
 ABSTAIN ___

EMERGENCY CLAUSE:

YEAS ___ NAYS ___
 ABSTAIN ___

PASSED: _____, 2019

YEAS ___ NAYS ___
 ABSTAIN ___

ATTEST: _____
 CITY CLERK

 MAYOR



FACT SHEET

AGENDA ITEM NO: 10

DATE: 04/08/2019

ORDINANCE NO: 19-08

RESOLUTION NO:

READING: THIRD

PUBLIC HEARING: YES
April 8, 2019

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: Ted Miller, Parks and Natural Resources Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE PROHIBITING ~~SMOKING USE OF ANY FORM OF TOBACCO~~
WITHIN 50 FEET OF RECREATIONAL FACILITIES OF CITY PARKS.

BACKGROUND:

3/25/2019 UPDATE:

Following amendments and discussion by Council on March 11, 2019, Staff has stricken the references to smokeless tobacco to focus this ordinance on smoking, and has specifically defined which recreational facilities would be subject to this ordinance.

The Parks and Recreation Advisory Board Committee was reminded at their March 19 meeting of the scheduled public hearing. During this meeting the concern was voiced that the public hearing was scheduled during Delaware City Schools Spring Break. They requested that Council continue the public hearing until the April 8 Council meeting.

3/11/2019:

On June 2018, The Parks and Recreation Advisory Board recommended a ban on smoking in all City of Delaware Parks. The recommendation was presented to City Council on July 9, 2018. The discussion resulting in modifying the ordinance from a complete ban to a specified distance of 50 ft. from recreation facilities.

The attached ordinance adds a condition of use for the parks, prohibiting the use of tobacco products within 50 feet of any recreational facility of city parks. Hidden Valley Golf Course is exempted. If a person violates any of the terms of use of the parks (which already include park hours), and they refuse to leave, they may be charged with criminal trespass.

Signs will be posted in prevalent areas and education information will be distributed to athletic programs. The ordinance will allow enforcement of the non-smoking policy when initial warnings are ignored.

City Council suggested a smoking setback from athletic fields, playgrounds and facilities to allow smoking in parks but with a specific minimum distance from areas where smoking could impact others. The revised ordinance was suggested. At the February 25th meeting Council discussed of what types of smokeless tobacco to prohibit. The current draft prohibits all forms of tobacco. This allows further discussion by Council. The ordinance can be amended based on Council's preference.

REASON WHY LEGISLATION IS NEEDED:

Recommendation by the Parks and Recreation Advisory Board with modifications. The proposed ordinance would allow law enforcement to remove from the park, individuals who continue to not comply.

COMMITTEE RECOMMENDATION:

N/A

FISCAL IMPACT(S):

Reduce maintenance costs associated with tobacco product cleanup.

POLICY CHANGES:

Ordinance Revision

PRESENTER(S):

R. Thomas Homan, City Manager
Chris Ballard, Assistant City Attorney

RECOMMENDATION:

Approval

ATTACHMENT(S)

Tobacco Free Delaware County- Tobacco-Free Policies for Parks & Outdoor Recreation Facilities Make Sense.

ORDINANCE NO. 19-08

AN ORDINANCE PROHIBITING **SMOKING** ~~USE OF ANY FORM OF TOBACCO~~ WITHIN 50 FEET OF RECREATIONAL FACILITIES OF CITY PARKS.

BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That Section 933.01 Park hours and conditions of use be amended as follows, to add subsection (f). The existing subsection f will now be subsection (g):

- (a) All City Parks shall be open from dawn to dusk daily, except as follows:
 - (1) There is a sign posted in the park by the City establishing hours of operation that are different from those established herein.
 - (2) The City Manager or his designee grants written approval for the use of a park outside its established hours of operation.
- (b) Definitions:
 - (1) Dawn is defined as one hour before sunrise.
 - (2) Dusk is defined as one hour after sunset.
 - (3) **Smoking is defined for the purposes of this section as inhaling, exhaling, or burning, or carrying any lighted cigar, cigarette, cigarillo, pipe, or other lighted smoking device for burning tobacco or any other plant.**
 - (4) **Electronic cigarette is defined for the purposes of this section as any electronic product or device that produces a vapor that delivers nicotine or any other substance to the person inhaling from the device to simulate smoking, and that is likely to be offered to or purchased by consumers as an electronic cigarette, electronic cigar, electronic cigarillo, or electronic pipe.**
- (c) The City Manager may permit the exclusive use of an area of any City park.
- (d) Written approval for the use of a park outside its established hours or for the exclusive use of an area of a park shall be at the discretion of the City Manager or his designee and may be subject to terms, conditions, or restrictions established by the City Manager.
- (e) The City Manager may order all or part of a City Park to be closed in order to promote and protect public health, safety, and welfare.
- (F) NO PERSON SHALL ENGAGE IN SMOKING OR USE AN ELECTRONIC CIGARETTE ANY FORM OF TOBACCO WITHIN 50 FEET OF ANY RECREATIONAL FACILITY OF CITY PARKS. FOR PURPOSES OF THIS SUBSECTION, RECREATIONAL FACILITIES INCLUDE ARE DEFINED AS PLAYGROUNDS, ATHLETIC FIELDS, TENNIS COURTS, PICKLEBALL COURTS, AQUATIC AREAS, PICNIC SHELTERS AND RESTROOMS, BUT NOT THE HIDDEN VALLEY GOLF COURSE. TOBACCO USE INCLUDES SMOKING, SMOKELESS TOBACCO PRODUCTS, E-CIGARETTES, OTHER SMOKING DEVICES, AND INGESTIBLE FORMS.**
- ~~(F)~~**(G)** No person shall enter or remain on the premises of a City Park in violation of this section. A violation of this Section constitutes a criminal trespass in violation of Section 541.05.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Ohio Revised Code.

VOTE ON RULE SUSPENSION:

YEAS ___ NAYS ___
ABSTAIN ___

PASSED: _____, 2019

YEAS ___ NAYS ___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR



FACT SHEET

AGENDA ITEM NO: 11

DATE: 04/08/19

ORDINANCE NO:

RESOLUTION NO: 19-16

READING: THIRD

PUBLIC HEARING: NO

TO: Mayor and Members of City Council

FROM: Jacqueline M. Walker, Assistant City Manager

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

A RESOLUTION EXPRESSING COUNCIL'S DIRECTION REGARDING THE SPECIAL EVENTS POLICY ENHANCEMENTS.

BACKGROUND:

The City of Delaware is currently the destination of upwards of forty special events every year. These events bring positive recognition for the City and stimulate our local economy. However, the attraction of these events has drawn such recognition that the Special Events Committee was compelled to reach out to City Council for direction in establishing cost sharing policies for these events.

REASON WHY LEGISLATION IS NEEDED:

The costs of these events continue to rise as well as the number of the events being requested. The Special Events Committee is seeking direction from Council regarding cost sharing and DORA liability. This will allow the Committee to charge all event hosts equitably.

COMMITTEE RECOMMENDATION:

Special Events Committee recommends approval

FISCAL IMPACT(S):

POLICY CHANGES:

Special Events Policy

PRESENTER(S):

Jacqueline M. Walker, Assistant City Manager

RECOMMENDATION:

Approval.

ATTACHMENT(S)

RESOLUTION NO. 19-16

A RESOLUTION EXPRESSING COUNCIL'S DIRECTION
REGARDING THE SPECIAL EVENTS POLICY
ENHANCEMENTS.

WHEREAS, The City of Delaware is currently the destination of upwards of forty events every year; and

WHEREAS, the City of Delaware appreciates that these events bring positive recognition for the City and stimulate our local economy; and

WHEREAS, the City recognizes that there are costs of City resources and staff associated with holding these events,

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Delaware, State of Ohio:

SECTION 1. Shared cost policy for an event without a participation fee:

If the special event host is a 501(C)(3) organization or is benefiting a City of Delaware, Ohio based 501(C)(3) entity, the host will pay 50% or \$5,000 (whichever is less) toward the City costs of the event including but not limited to extra staffing of police, fire and public works.

SECTION 2. Shared cost policy for an event with a participation fee:

If the special event host is a 501(C)(3) organization or is benefiting a City of Delaware, Ohio based 501(C)(3) entity, the host will pay 75% or \$7,500 (whichever is less) toward the City costs of the event including but not limited extra staffing of police, fire and public works.

SECTION 3. Policy exemptions:

- Current MainStreet Delaware events (specifically, First Fridays, December Holiday event and the two summer concerts).
- Parades as long as they are stand-alone events without associated events.
- Ironman as there is a separate agreement between the City of Delaware and Ironman that specifically outlines the costs.

SECTION 4. DORA liability change:

As long as a designated outdoor refreshment area pursuant to R.C. 4301.82 (DORA) event does not require a street closing, the 501(C)(3)

organization does not have to produce a certificate of insurance naming the City of Delaware as an additional insured.

SECTION 5. That this resolution shall take effect and be in full force six months from the date of its passage.

PASSED:	_____ , 2019	ACCEPT___	REJECT___
		ABSTAIN___	

ATTEST:	_____	_____
	CITY CLERK	MAYOR



FACT SHEET

AGENDA ITEM NO:	12	DATE:	04/08/2019
ORDINANCE NO:	19-12	RESOLUTION NO:	
READING:	FIRST	PUBLIC HEARING:	NO

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE FOR KROGER GREAT LAKES DISTRIBUTION CENTER APPROVING A COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN FOR A BUILDING EXPANSION TO THE KROGER DISTRIBUTION CENTER AT 2000 NUTTER FARMS LANE ON APPROXIMATELY 162.29 ACRES AND ZONED M-2 (GENERAL MANUFACTURING DISTRICT) WITH TEXT LIMITATIONS

BACKGROUND:

See attached report

REASON WHY LEGISLATION IS NEEDED:

To achieve compliance with Section 1129.05 Final Development Plan requirements of the zoning code.

COMMITTEE RECOMMENDATION:

Planning Commission approved this case 7-0 on April 3, 2019.

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

David Efland, Planning and Community Development Director

RECOMMENDATION:

Staff recommends approval at first City Council reading to advance the project for economic development reasons as submitted with the documented conditions.

ATTACHMENT(S)

See attached

ORDINANCE NO. 19-12

AN ORDINANCE FOR KROGER GREAT LAKES DISTRIBUTION CENTER APPROVING A COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN FOR A BUILDING EXPANSION TO THE KROGER DISTRIBUTION CENTER AT 2000 NUTTER FARMS LANE ON APPROXIMATELY 162.29 ACRES AND ZONED M-2 (GENERAL MANUFACTURING DISTRICT) WITH TEXT LIMITATIONS.

WHEREAS, the Planning Commission at its meeting on April 3, 2019 recommended approval of a Combined Preliminary and Final Development Plan for Kroger Great Lakes Distribution Center for a building expansion to the Kroger Distribution Center at 2000 Nutter Farms Lane on approximately 162.29 acres and zoned M-2 (General Manufacturing District) with text limitations (PC Case 2019-0397).

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Combined Preliminary and Final Development Plan for Kroger Great Lakes Distribution Center for a building expansion to the Kroger Distribution Center at 2000 Nutter Farms Lane on approximately 162.29 acres and zoned M-2 (General Manufacturing District) with text limitations, is hereby confirmed, approved, and accepted with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color.
3. The Applicant shall submit all building elevations along with material and color samples for all building materials for staff review and approval.
4. Any lighting plans shall be reviewed and approved by the City and all lighting must meet the requirements of the Planning & Zoning Code.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all

deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS___NAYS___
ABSTAIN ___

PASSED: _____, 2019

YEAS___ NAYS___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR



APPLICANT/OWNER

Kroger Company
2000 Nutter Farm Lane
Delaware, Ohio 46015

REQUEST

2019-0397: A request by Kroger Great Lakes Distribution Center for approval of a Combined Preliminary and Final Development Plan for a building expansion to the Kroger Distribution Center at 2000 Nutter Farms Lane on approximately 162.29 acres and zoned M-2 (General Manufacturing District) with text limitations.

PROPERTY LOCATION & DESCRIPTION

The property at 2000 Nutter Farms Lane is located on the south of US 36/37, east of Glenn Road and just north and west of the railroad tracks. The subject site is zoned M-2 with text limitations. In the City, the property to the north is zoned B-3 (Community Business District), to the east the property is zoned A-1 (Agricultural) and to the west the property is zoned M-1 (Light Manufacturing District) while the property in the township to the east, west and south is zoned FR-1 (Farm Residential District.).

BACKGROUND/PROPOSAL

In 2002, Planning Commission and City Council approved the Final Development Plan for the Kroger Distribution Center on the 162-acre site and subsequently constructed a 766,127 square foot building including several additions over the years. The original plans called for the area contemplated in this case to be future potential expansion area as well. On March 13, 2019 the Board of Zoning Appeals approved a height variance to allow a portion of the Kroger Distribution Center expansion to be 125 feet in height.

Now Kroger is proposing a 129,568 square foot addition to the southeastern portion of the building. This would bring the total building area to 895,695 square feet after the addition. This would allow for the construction of an advanced technology automated storage retrieval system (ASRS) for Kroger to remain competitive in the grocery store industry. Because the expansion is mostly building, there would be minimal site work required. No additional employees or traffic would result of the proposed expansion.

STAFF ANALYSIS

- **ZONING:** As previously mentioned, the zoning for the subject site is M-2 (General Manufacturing District). Under the current zoning, the building expansion is permitted from a use perspective while the Board of Zoning Appeals approved a variance to allow a specific portion of the expansion to be 125 feet in height
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND ACCESS:** The access to the subject site would remain the same from a traffic signal on US 36/37 through Davidson Lane. An internal drive would be relocated just east of the proposed expansion to provide access around the building.
- **PEDESTRIAN CONNECTIVITY:** No sidewalk or bike path would be required with the proposed expansion.
- **SITE CONFIGURATION:** The proposed 129,568 square foot expansion would be located on the eastern portion of the rear portion of the building into an area which was contemplated for expansion when the distribution center was constructed. As mentioned above, an internal drive would be constructed (relocated) just east of the expansion to encircle the building and connect to the existing parking lot. Also utilities in this area would be relocated along with repaving of the existing parking lot just north of north of the expansion.
- **BUILDING DESIGN:** The proposed expansion building material would be three inch insulated metal panels (painted to match the existing building) on all sides of the building with a flat roof. On the south elevation

there are truck docks with several overhead doors. As mentioned above, approximately 52% (67,701 square feet) of the proposed expansion would be 125 feet high while the remainder of the expansion would be 50 feet high or less (it total approximately 7.5% of the building would be 125 feet in height). All building appurtenances (coping, downspouts, etc.) should be painted to match the adjacent building color.

The applicant has submitted renderings from several vantage points demonstrating that the combination of color and setbacks will result in minimal visual impact even though the addition is large and a portion of it is tall. Additionally, the overall mass and scale of the existing structure means that the addition easily fits into the overall scale.

- **TREE REMOVAL & REPLACEMENT:** No trees would be removed with the proposed expansion.
- **LANDSCAPING & SCREENING:** No additional landscaping and screening is required with proposed expansion.
- **SIGNS:** No additional signage is proposed with the proposed expansion.
- **LIGHTING:** No additional site lighting is proposed except for any lighting required by the building code.

STAFF RECOMMENDATION (2019-0397 COMBINED PRELIMINARY & FINAL DEVELOPMENT PLAN)

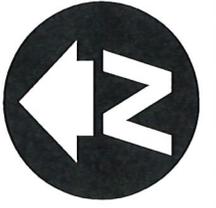
Staff recommends approval of a request by Kroger Great Lakes Distribution Center for a Combined Preliminary and Final Development Plan for a building expansion to the Kroger Distribution Center at 2000 Nutter Farms Lane on approximately 162.29 acres and zoned M-2 (General Manufacturing District) with text limitations, with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color.
3. The Applicant shall submit all building elevations along with material and color samples for all building materials for staff review and approval.
4. Any lighting plans shall be reviewed and approved by the City and all lighting must meet the requirements of the Planning & Zoning Code.

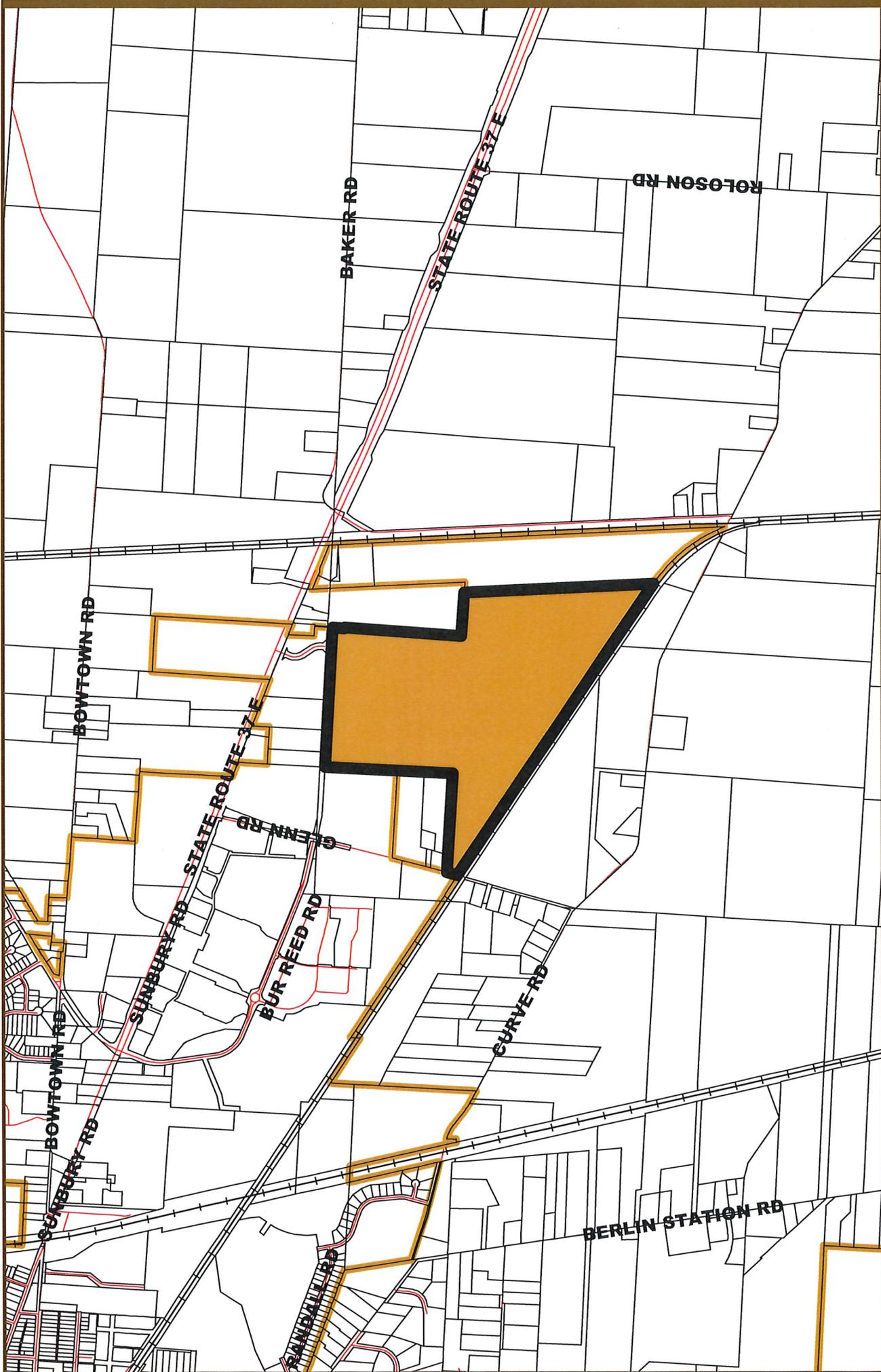
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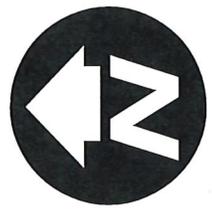
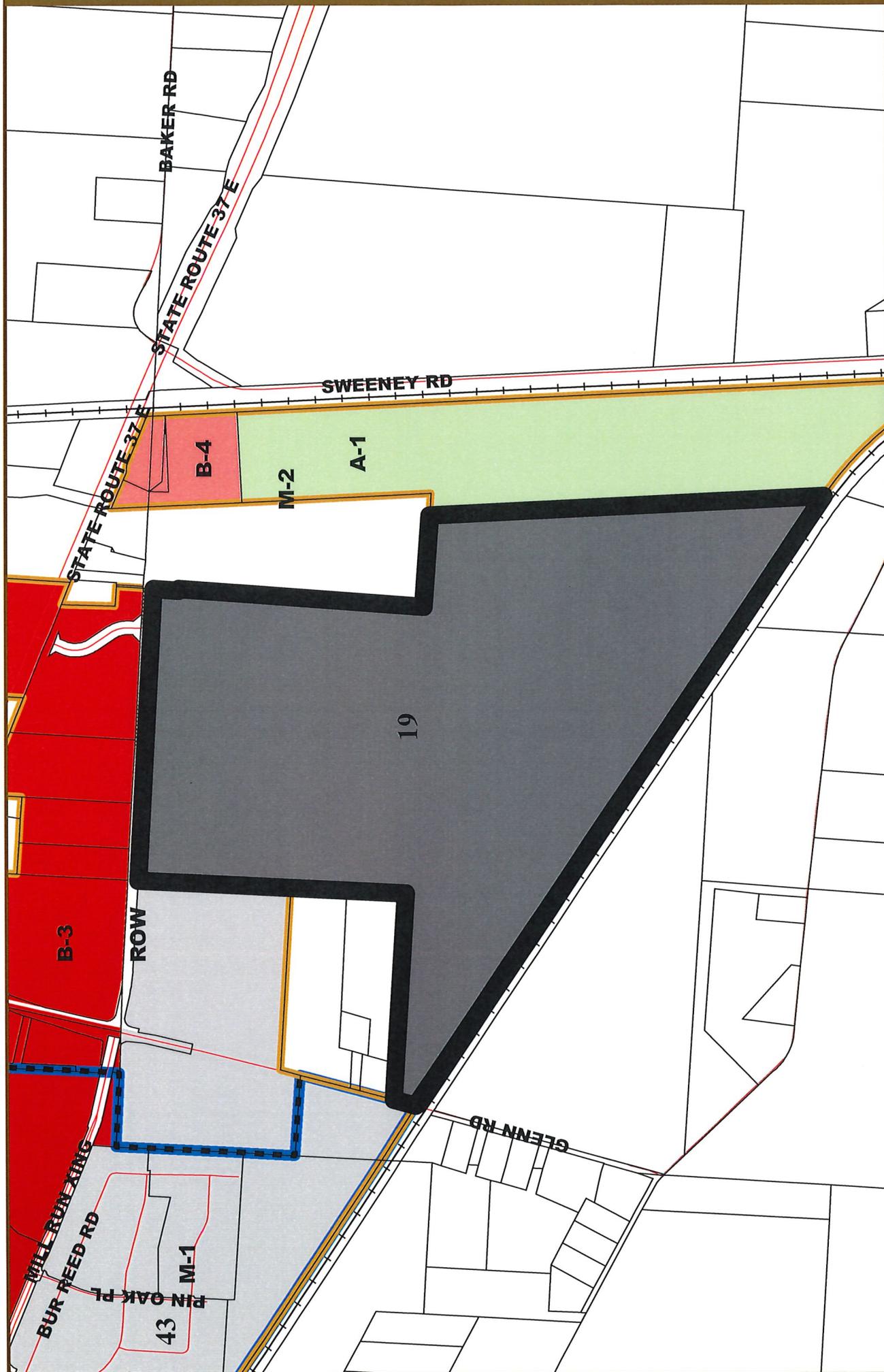
MOTION: _____ 1st _____ 2nd *approved* *denied* *tabled* _____

CONDITIONS/MISCELLANEOUS:

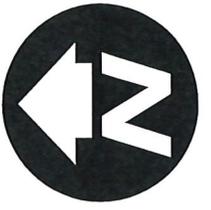


2019-0397
Combined Preliminary and Final Development Plan
Kroger Distribution Center - 2000 Nutter Farms Lane
Location Map





2019-0397
 Combined Preliminary and Final Development Plan
 Kroger Distribution Center - 2000 Nutter Farms Lane
 Zoning Map



2019-0397
Combined Preliminary and Final Development Plan
Kroger Distribution Center - 2000 Nutter Farms Lane
Aerial (2016) Map



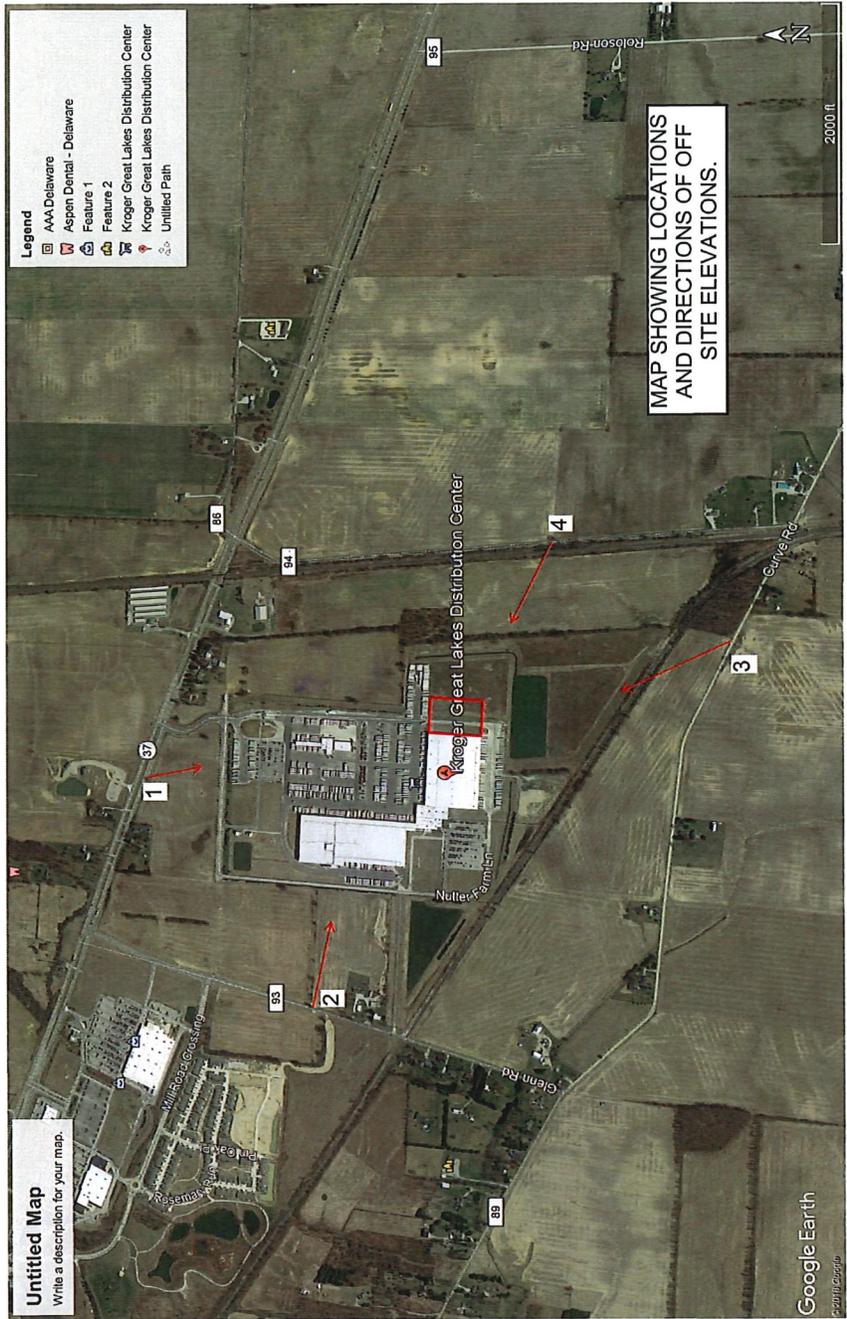
LOCATIONS AND DIRECTIONS OF OFF SITE ELEVATIONS



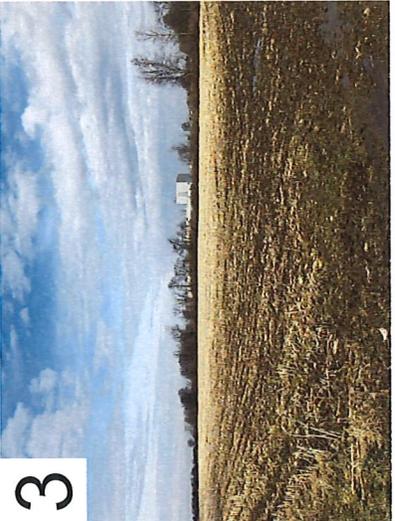
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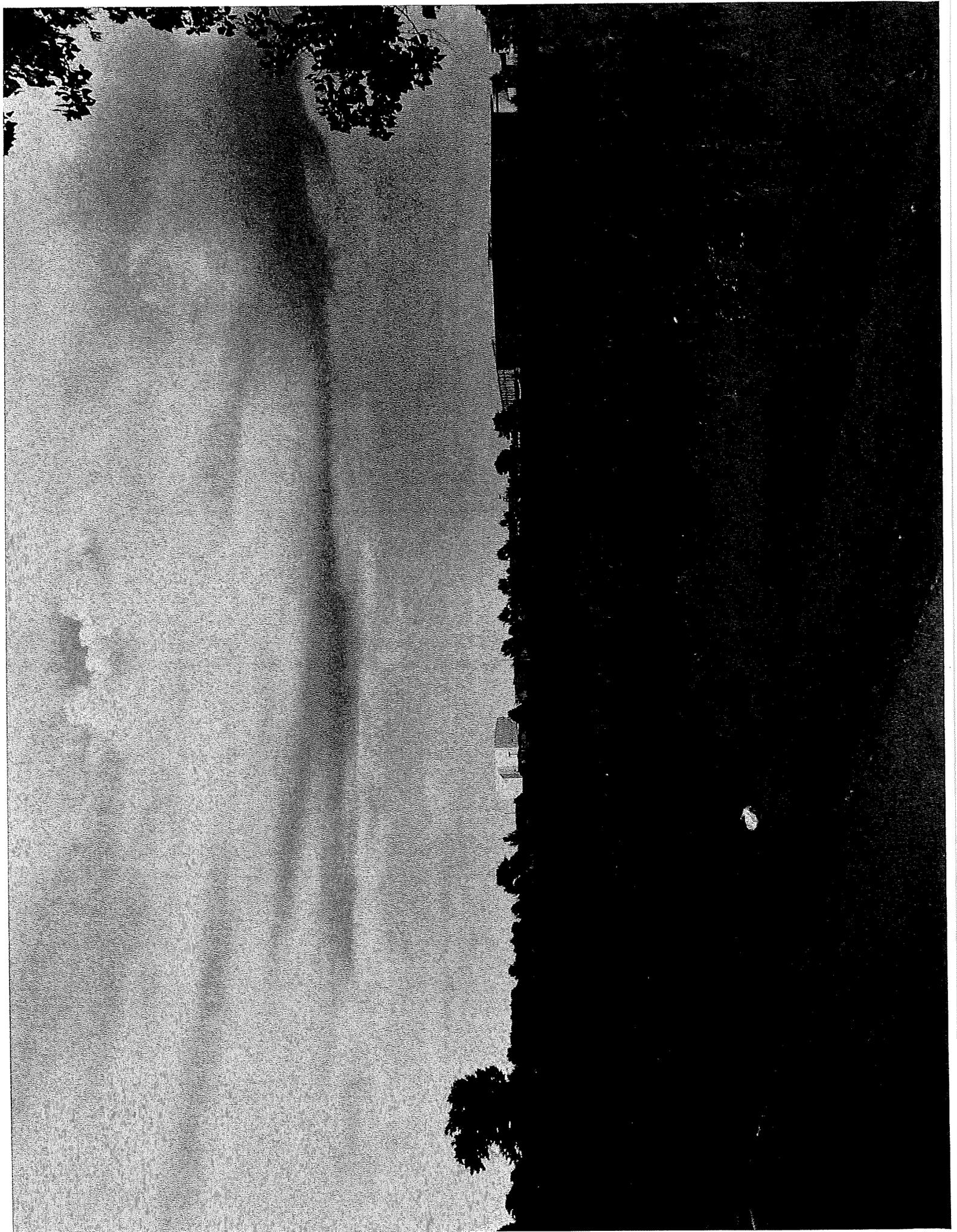
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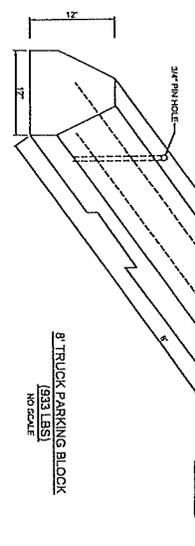
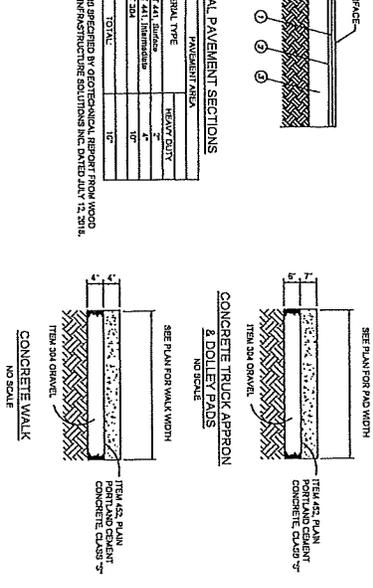
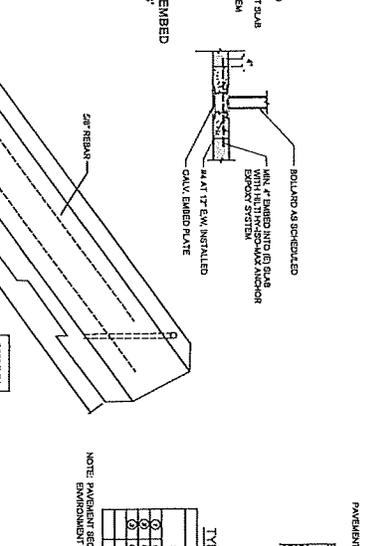
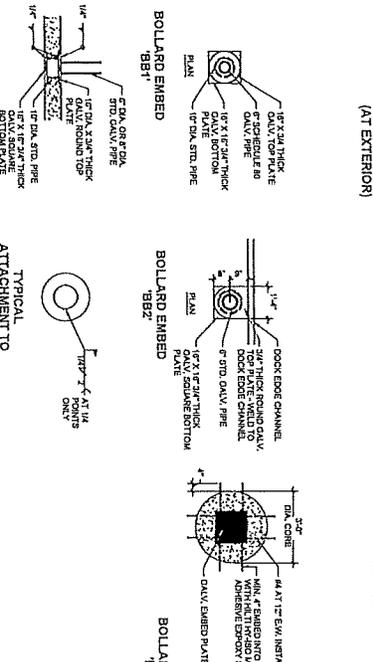
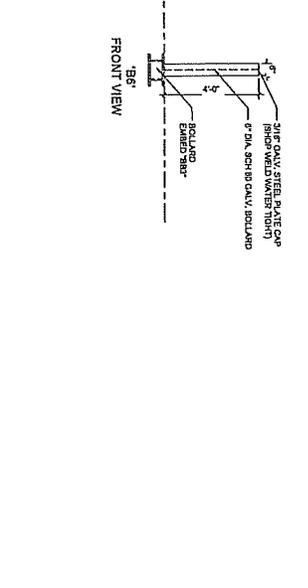
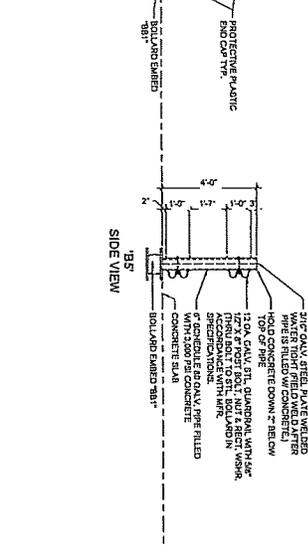
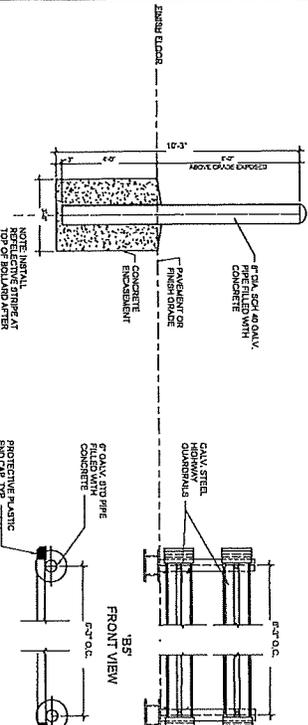
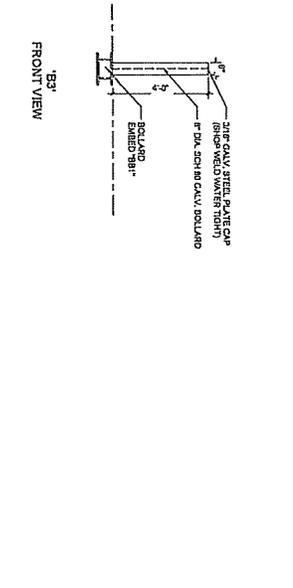
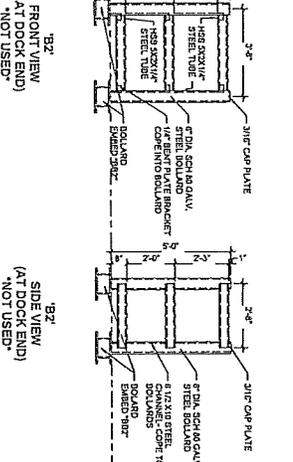
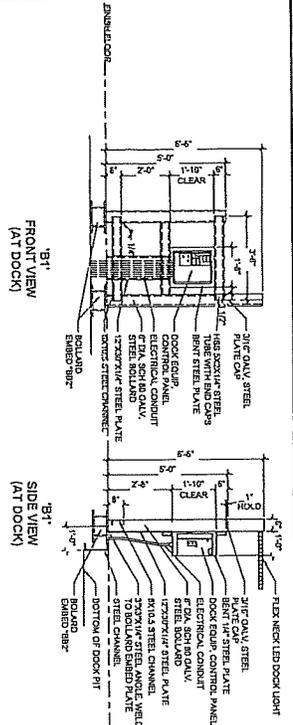
4











NOTE: PAVERS SETTING APPLICABLE BY GEOTECHNICAL REPORT FROM WOOD ENVIRONMENTAL AND INFRASTRUCTURE SOLUTIONS INC. DATED JULY 12, 2016.

TYPICAL PAVEMENT SECTIONS	
PAVEMENT AREA	RELAY QUANTITY
1. 4\"/>	4\"/>
2. 4\"/>	4\"/>
3. 4\"/>	4\"/>
TOTAL: 12\"/>	



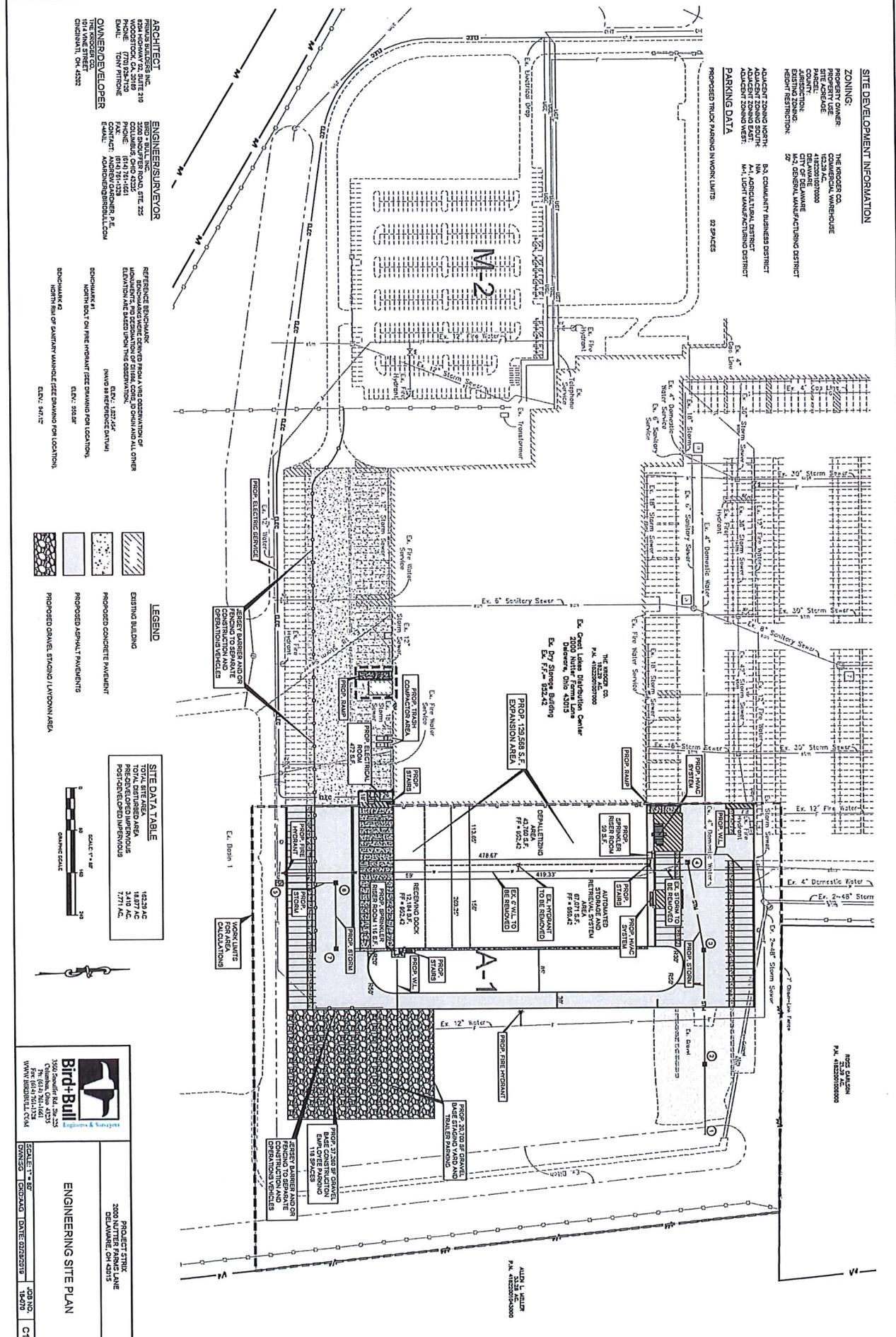
Bird+Bird
 Consulting Engineers, P.C.
 2000 DELAWARE AVENUE
 DELAWARE, OH 43015
 WWW.BIRDBIRD.COM

STANDARD DETAILS

PROJECT: STRUCK PAVEMENT AT DOCK
 2000 DELAWARE AVENUE
 DELAWARE, OH 43015

SCALE: PLAN: 1/4\"/>
 ELEVATION: 3/8\"/>
 DATE: 03/20/2018

JOB NO.: 14207
 C1.4



SITE DEVELOPMENT INFORMATION

ZONING: THE KROGER CO. P.M. 44202000000
 10318 AC
 44202000000
 CITY OF DELAWARE
 MANUFACTURING DISTRICT
 EXISTING ZONING: M-1
 EXISTING DISTRICT: M-1 GENERAL MANUFACTURING DISTRICT

ADJACENT ZONING NORTH: M-1 COMMUNITY BUSINESS DISTRICT
ADJACENT ZONING SOUTH: M-1 COMMUNITY BUSINESS DISTRICT
ADJACENT ZONING WEST: M-1 LIGHT MANUFACTURING DISTRICT

PARKING DATA

PROPOSED TRUCK PARKING IN WORK LIMITS: 23 SPACES

ARCHITECT:
 BIRD & BULL INC.
 2000 NUTTER PARK LANE
 DELAWARE, OH 43015
 PHONE: (614) 761-1100
 FAX: (614) 761-1101
 EMAIL: ARCH@BIRDBULL.COM

ENGINEER/SURVEYOR:
 BIRD & BULL INC.
 2000 NUTTER PARK LANE, GTE. 202
 DELAWARE, OH 43015
 PHONE: (614) 761-1100
 FAX: (614) 761-1101
 EMAIL: ARCH@BIRDBULL.COM

REFERENCE BENCHMARK:
 BENCHMARKING POINT FROM VINE CO. RECORDS
 1000 NUTTER PARK LANE, DELAWARE, OH 43015
 ELEVATION: 425.00 (BASED UPON THE DISTRIBUTION)
 ELEV.: 425.00
 (NAD 83 REFERENCE DATUM)

BENCHMARK #1:
 NORTH CORNER OF PROPOSED PAVEMENT FOR LOCATION
 ELEV.: 425.00

BENCHMARK #2:
 NORTH END OF EXISTING MANHOLE FOR DRAINAGE FOR LOCATION
 ELEV.: 425.00



PROJECT INFO:
 PROJECT: TRUCK
 2000 NUTTER PARK LANE
 DELAWARE, OH 43015

ENGINEERING SITE PLAN

SCALE: 1" = 40'
 SHEET: 050240
 DATE: 02/20/2019

DATE: 03/01/2019
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 C.I.5

ROAD DEVIATION
 P.A. 112232/020000

1/2" Scale (1" = 50')

1/4" Scale (1" = 20')

1/8" Scale (1" = 10')

3/16" Scale (1" = 5')

- LEGEND**
-  EXISTING DRIVEWAY TO REMAIN
 -  EXISTING CONCRETE TO REMAIN
 -  EXISTING DRIVEWAY AREA TO BE REMOVED AND DISPOSED OF
 -  EXISTING CONCRETE TO BE REMOVED AND DISPOSED OF
 -  EXISTING ASPHALT TO BE REMOVED AND DISPOSED OF
 -  EXISTING BUILDING
 -  EXISTING TREE TO BE REMOVED
 -  PROPOSED SAWCUT LINE

CODED NOTES

- ① PROPOSED SAWCUT LINE, PROVIDE STRAIGHT EDGE FOR PROPOSED PAVEMENT.
- ② EXISTING RIPRAP AREA TO BE REMOVED AND DISPOSED OF.
- ③ EXISTING STORM SEWER TO BE REMOVED AND DISPOSED OF.
- ④ EXISTING STORM STRUCTURE TO BE REMOVED AND DISPOSED OF.
- ⑤ EXISTING ROOF DRAIN TO REMAIN IN SERVICE.
- ⑥ EXISTING SLOTTED CURB TO BE REMOVED AND DISPOSED OF.
- ⑦ EXISTING LIGHT POLE AND BASE TO BE REMOVED AND DISPOSED OF. THE SIGN SHALL BE PULLED BACK TO THE DOWNSTREAM JUNCTION BOX.
- ⑧ EXISTING BOLLARD TO BE REMOVED AND DISPOSED OF.
- ⑨ EXISTING FIRE HYDRANT AND VALVE TO BE REMOVED FOR RELOCATION.
- ⑩ EXISTING WATER MAIN TO BE REMOVED AND DISPOSED OF.
- ⑪ EXISTING WALL TO BE REMOVED AND DISPOSED OF.
- ⑫ EXISTING WATERLINE TO BE CAPPED AND FLOODED.
- ⑬ THE CONTRACTOR SHALL DCAWATE AND DETERMINE THE SOURCE OF THE EXISTING #2 STORM SEWER. IF POSSIBLE, THE STORM SEWER TO BE MAINTAINED FROM THE EXISTING BUILDING. NOTIFY THE DESIGN ENGINEER FOR PLANS.



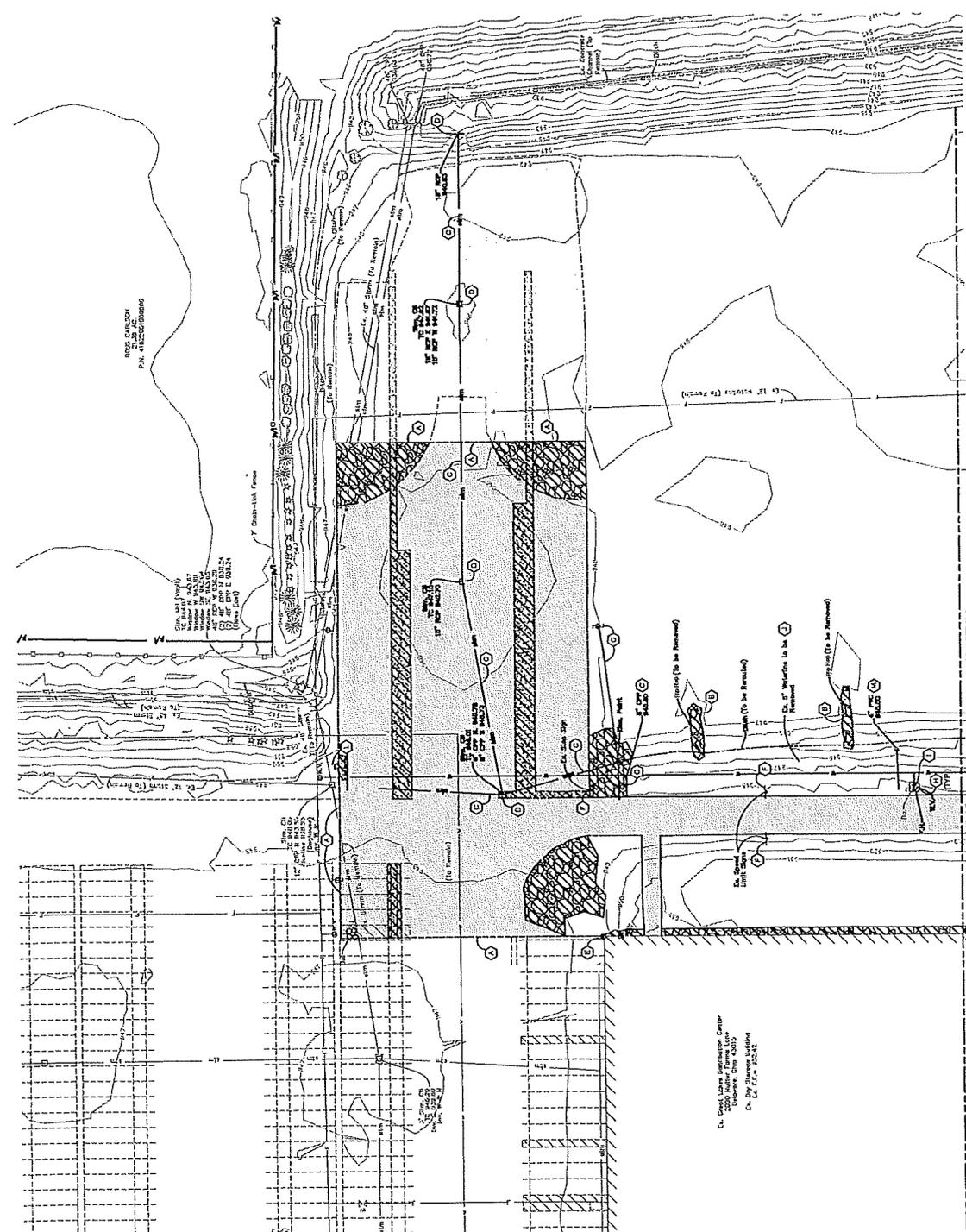
Bird+Build
 300 Guilder Lane, Suite 200
 Columbus, Ohio 43215
 Tel: (614) 348-1060
 WWW.BIRDBUILD.COM

PROJECT STRIK
 2800 W. STATE ST. (N. 1510)
 DELAWARE, OH 43015

EXISTING CONDITIONS AND
 DEMOLITION PLAN (NORTH)

SCALE: 1" = 40'
 JOB NO. 16292018
 DATE: 02/20/18
 DRAWN BY: CW

CS-1



Cs. Great Lakes Distribution Center
 2800 W. State St. (N. 1510)
 Columbus, Ohio 43215
 Cs. Dry Storage Building
 Cs. FF-1 102, 12

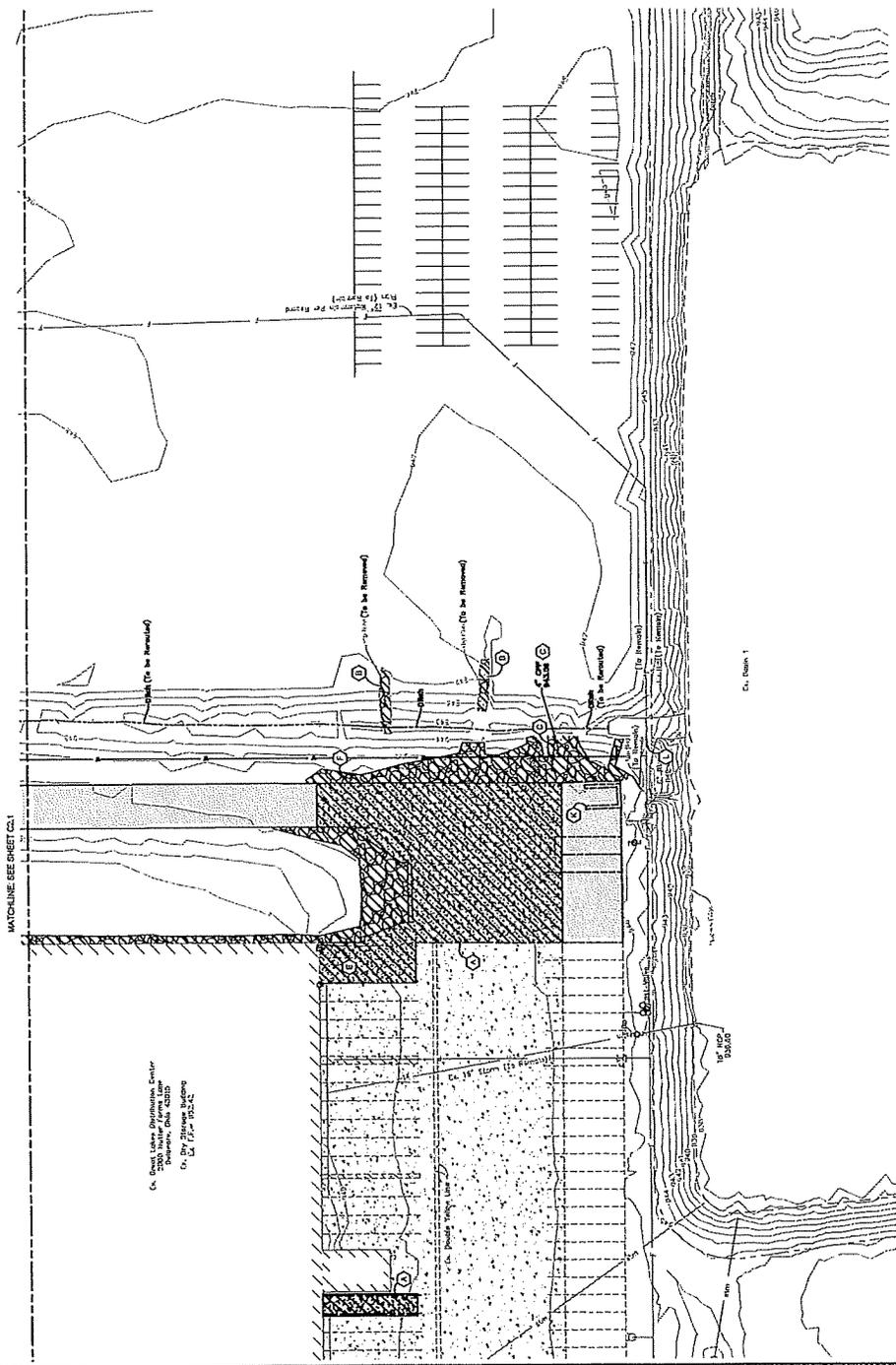
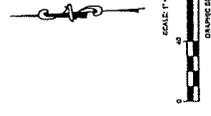
WATERLINE: SEE SHEET 022.

LEGEND

- EXISTING GRAVEL (TO REMAIN)
- EXISTING CONCRETE (TO REMAIN)
- EXISTING GRAVEL AREA TO BE REMOVED AND DISPOSED OF
- EXISTING CONCRETE TO BE REMOVED AND DISPOSED OF
- EXISTING ASPHALT TO BE REMOVED AND DISPOSED OF
- EXISTING BUILDING
- EXISTING TREE TO BE REMOVED
- PROPOSED SAWCUT LINE
- EXISTING LIGHT POLE (TO REMAIN)

CODED NOTES

- (A) PROPOSED SAWCUT LINE. PROVIDE STRAIGHT EDGE FOR PROPOSED PAVEMENT.
- (B) EXISTING RIPRAP AREA TO BE REMOVED AND DISPOSED OF.
- (C) EXISTING STORM SEWER TO BE REMOVED AND DISPOSED OF.
- (D) EXISTING STORM STRUCTURE TO BE REMOVED AND DISPOSED OF.
- (E) EXISTING ROOF DRAIN TO REMAIN IN SERVICE.
- (F) EXISTING EGOH TO BE RELOCATED. REFER TO SITE DIMENSION AND PAVING PLAN.
- (G) EXISTING LIGHT POLE AND BASE TO BE REMOVED AND DISPOSED OF. LIGHTING CONDUIT FOR LIGHT TO BE REUSED AND DISPOSED AT JUNCTION BOX.
- (H) EXISTING BOLLARD TO BE REMOVED AND DISPOSED OF.
- (I) EXISTING FIRE HYDRANT AND VALVE TO BE REMOVED FOR RELOCATION.
- (J) EXISTING WATER MAIN TO BE REMOVED AND DISPOSED OF.
- (K) EXISTING WALL TO BE REMOVED AND DISPOSED OF.
- (L) EXISTING WATERLINE TO BE CAPPED AND PLUGGED.
- (M) THE CONTRACTOR SHALL EXCAVATE AND DETERMINE THE SOURCE OF THE EXISTING STORM SEWER. IF POSSIBLE, THE STORM SEWER SHALL BE MAINTAINED FROM THE EXISTING BUILDING. NOTIFY THE DESIGN ENGINEER FOR PLANS.



By: *[Signature]*
 Date: 07/20/2019

Bird+Bull
 3500 Greater Road, Suite 205
 Columbus, Ohio 43232
 Tel: (614) 751-1661
 WWW.BIRDBULL.COM

PROJECT STRIK
 2900 NORTHERN BLVD
 DELAWARE, OH 43015

**EXISTING CONDITIONS AND
 DEMOLITION PLAN (SOUTH)**

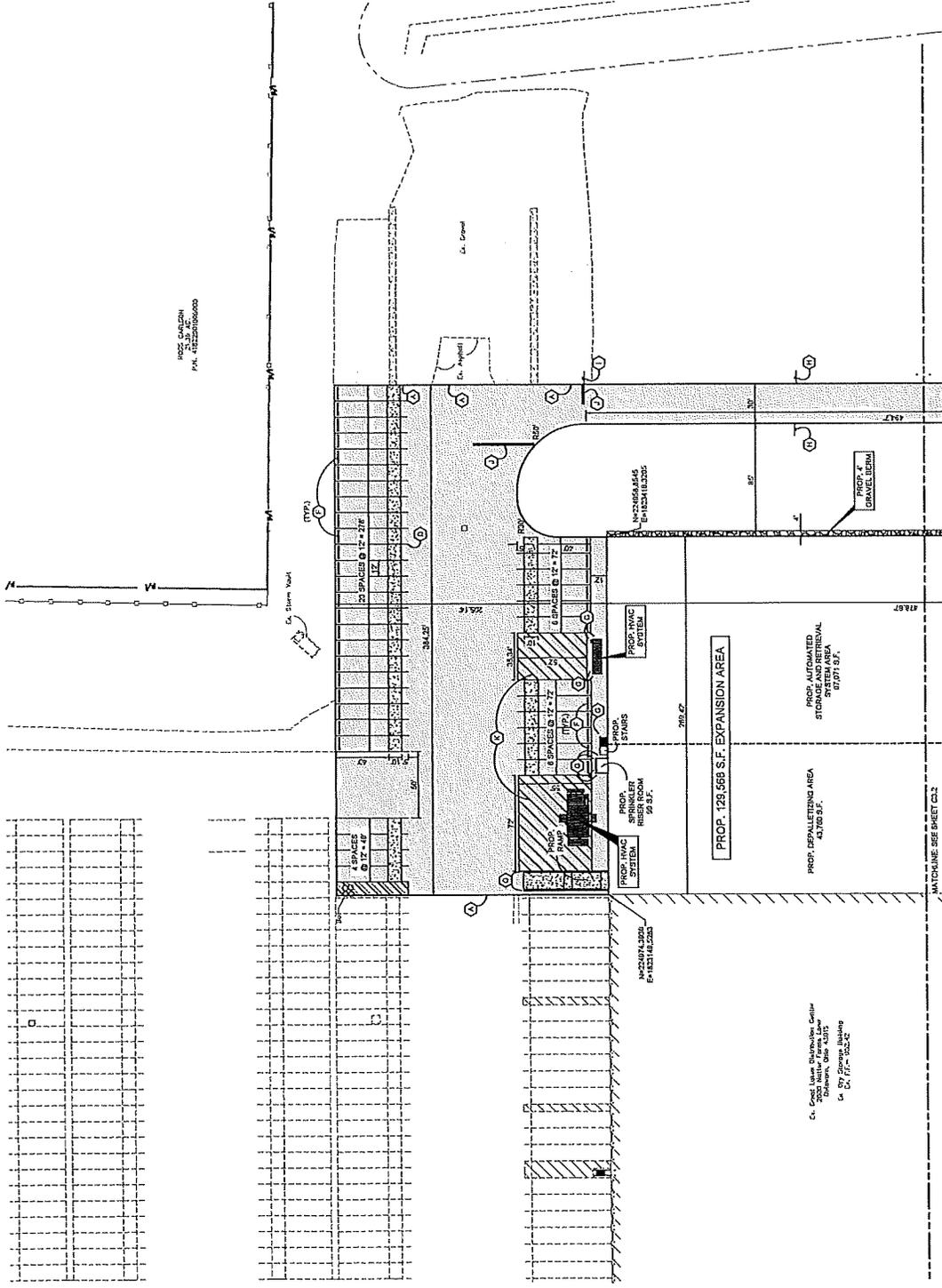
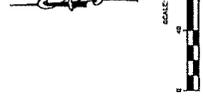
SCALE: 1" = 40'
 DWG NO: 19-070
 DATE: 07/20/2019
 JOB NO: C-2.2

LEGEND

- EXISTING BUILDING
- PROPOSED ASPHALT PAVEMENT PER TYPICAL SECTION ON SHEET C1.1 (TOTAL 387,107 S.F.)
- PROPOSED CONCRETE PAVEMENT PER TYPICAL SECTION ON SHEET C1.1 (TOTAL 28,258 S.F.)
- EXISTING GRAVEL PAVEMENT
- PROPOSED 12" GRAVEL W/ FILTER FABRIC LAYDOWN AREA
- EXISTING CONCRETE PAVEMENT
- SAWCUT LINE - MATCH EXISTING ELEVATION

CODED NOTES

- Ⓐ PROPOSED SAWCUT LINE - PROVIDE FINISH ELEVATION FOR PROPOSED PAVEMENT, APPLY CRACK SEALANT AT BUTT JOINT WHERE NEW SURFACE MEETS EXISTING ASPHALT.
- Ⓑ PROPOSED CONCRETE PAVEMENT TO BE CONSTRUCTED FLUSH WITH ASPHALT PAVEMENT
- Ⓒ LOADING DOCK DOOR
- Ⓓ 4" YELLOW CHANNELING LINE FOR TRAILER PARKING STALL
- Ⓔ PROPOSED TRAILER COMPACTOR AREA, REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS.
- Ⓕ CONCRETE PARKING BLOCK PER DETAIL ON SHEET C1.4
- Ⓖ STEEL ROLL-UP PER DETAIL ON SHEET C1.4
- Ⓗ RELOCATED SPEED LIMIT SIGN
- Ⓘ RELOCATED STOP SIGN
- Ⓚ 24" WHITE STOP BAR
- Ⓛ YELLOW TRANSVERSE DRIPING
- Ⓜ DOUBLE YELLOW LINE FOR PEDESTRIAN PATH

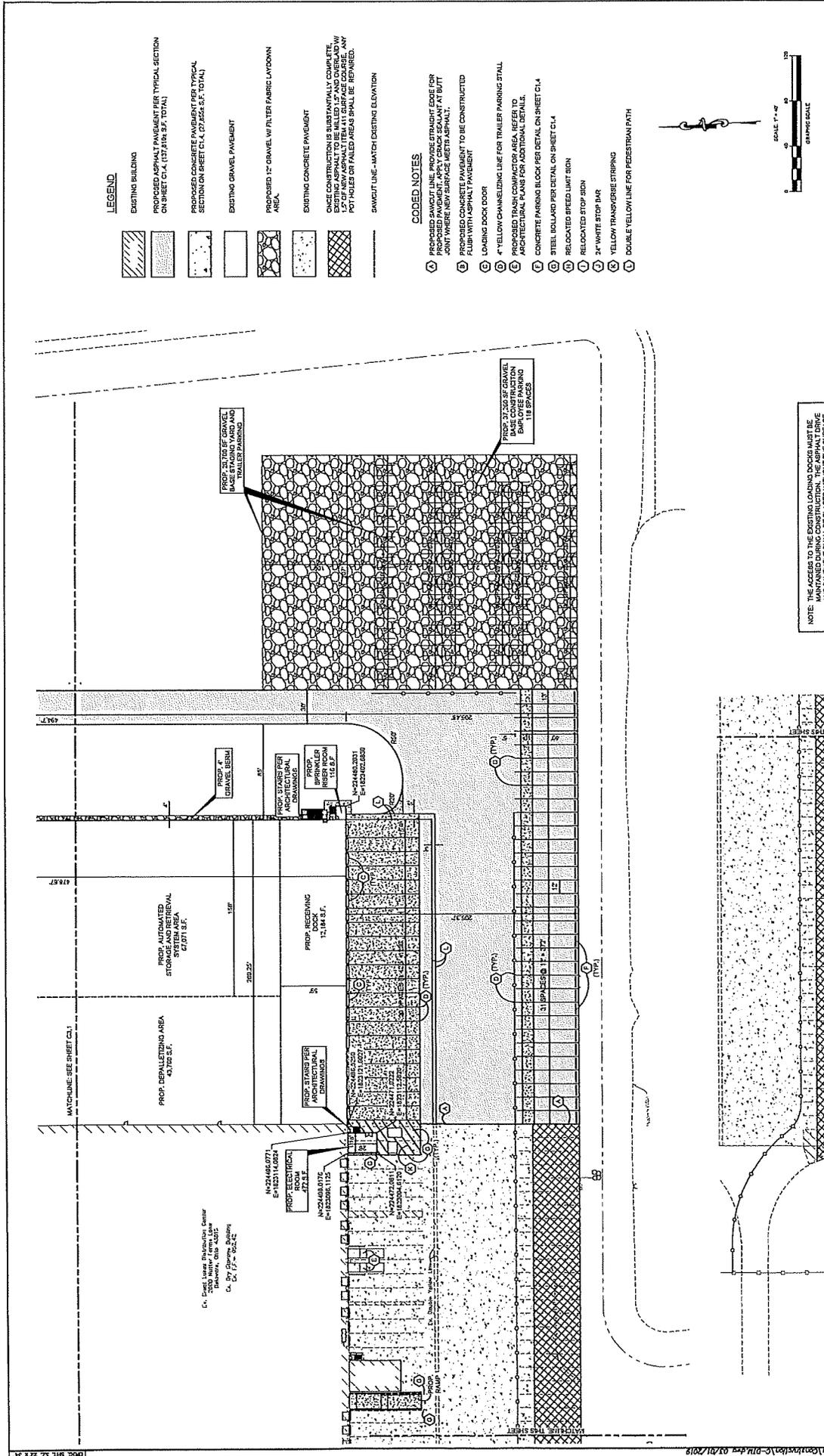


Bird+Bull
 3300 Sandstone Road, Suite 200
 Columbus, OH 43232
 Tel: (614) 731-1661
 Fax: (614) 731-1661
 WWW.BIRDBULL.COM

PROJECT STRIP
 2000 NORTHERN BLVD
 DELAWARE, OH 43015

**SITE DIMENSION AND PAVING PLAN
 (NORTH)**

SCALE: 1" = 40'
 DWG NO: 19-070
 DATE: 02/20/2019
 C3.1



LEGEND

- EXISTING BUILDING
- PROPOSED ASPHALT PAVEMENT PER TYPICAL SECTION ON SHEET C1.4, (17,874 S.F., TOTAL)
- PROPOSED CONCRETE PAVEMENT PER TYPICAL SECTION ON SHEET C1.4, (27,252 S.F., TOTAL)
- EXISTING GRAVEL PAVEMENT
- PROPOSED 12" GRAVEL W/ FILTER FABRIC LAYDOWN AREA
- EXISTING CONCRETE PAVEMENT
- ONCE CONSTRUCTION IS SUBSTANTIALLY COMPLETE EXISTING ASPHALT TO BE MILLED 1.5" AND OVERLAD W/ ASPHALT EMULSION. PATCHES OR FAILED AREAS SHALL BE REPAIRED.
- SAWCUT LINE - MATCH EXISTING ELEVATION

CODED NOTES

- 1. PROPOSED SAWCUT LINE, PROVIDE STRAIGHT EDGE FOR JOINT WHERE NEW SURFACE MEETS ASPHALT.
- 2. PROPOSED CONCRETE PAVEMENT TO BE CONSTRUCTED FLUSH WITH ASPHALT PAVEMENT.
- 3. LOADING DOCK DOOR
- 4. 4" YELLOW CHANNELING LINE FOR TRAILER PARKING STALL
- 5. PROPOSED TRAILER COMPACTOR AREA, REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL DETAIL.
- 6. CONCRETE PARKING BLOCK PER DETAIL ON SHEET C1.4
- 7. STEEL BOLLARD PER DETAIL ON SHEET C1.4
- 8. RELOCATED SPEED LIMIT SIGN
- 9. RELOCATED STOP SIGN
- 10. 24" WHITE STOP MARK
- 11. YELLOW TRANSVERSE STRIPES
- 12. DOUBLE YELLOW LINE FOR PEDESTRIAN PATH

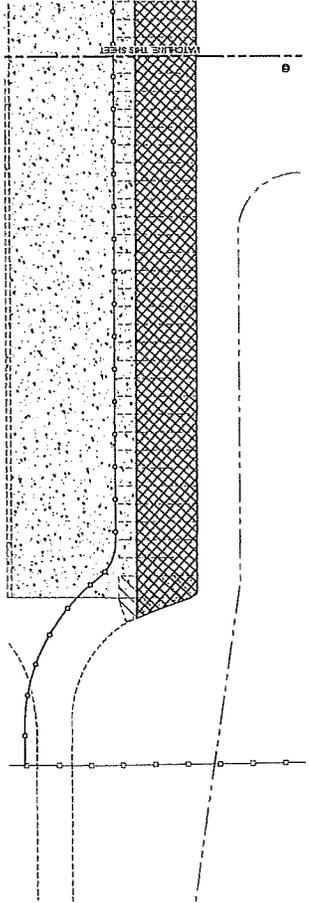
Bird+Bull
 3500 Columbus Ave., Suite 200
 Columbus, Ohio 43232
 Ph: (614) 761-1661
 WWW.BIRDBULL.COM

PROJECT STRIK
 3000
 DELAWARE, OH 43015

**SITE DIMENSION AND PAVING PLAN
 (SOUTH)**

SCALE: 1" = 4'
 DWG NO: 14-070
 DATE: 02/22/2019
 CS3.2

NOTE: THE ACCESS TO THE EXISTING LOADING DOCK MUST BE MAINTAINED DURING CONSTRUCTION. THE ASPHALT DRIVE SHALL BE CONSTRUCTED TO THE DOCK AND USED DURING CONSTRUCTION TO PROVIDE ACCESS TO THE RECEIVING DOCK. ONCE CONSTRUCTION IS COMPLETE, THE ASPHALT DRIVE SHALL BE REPAIRED AND THE FINAL ASPHALT SURFACE COURSE SHALL BE INSTALLED.



STORM AND GRADING LEGEND

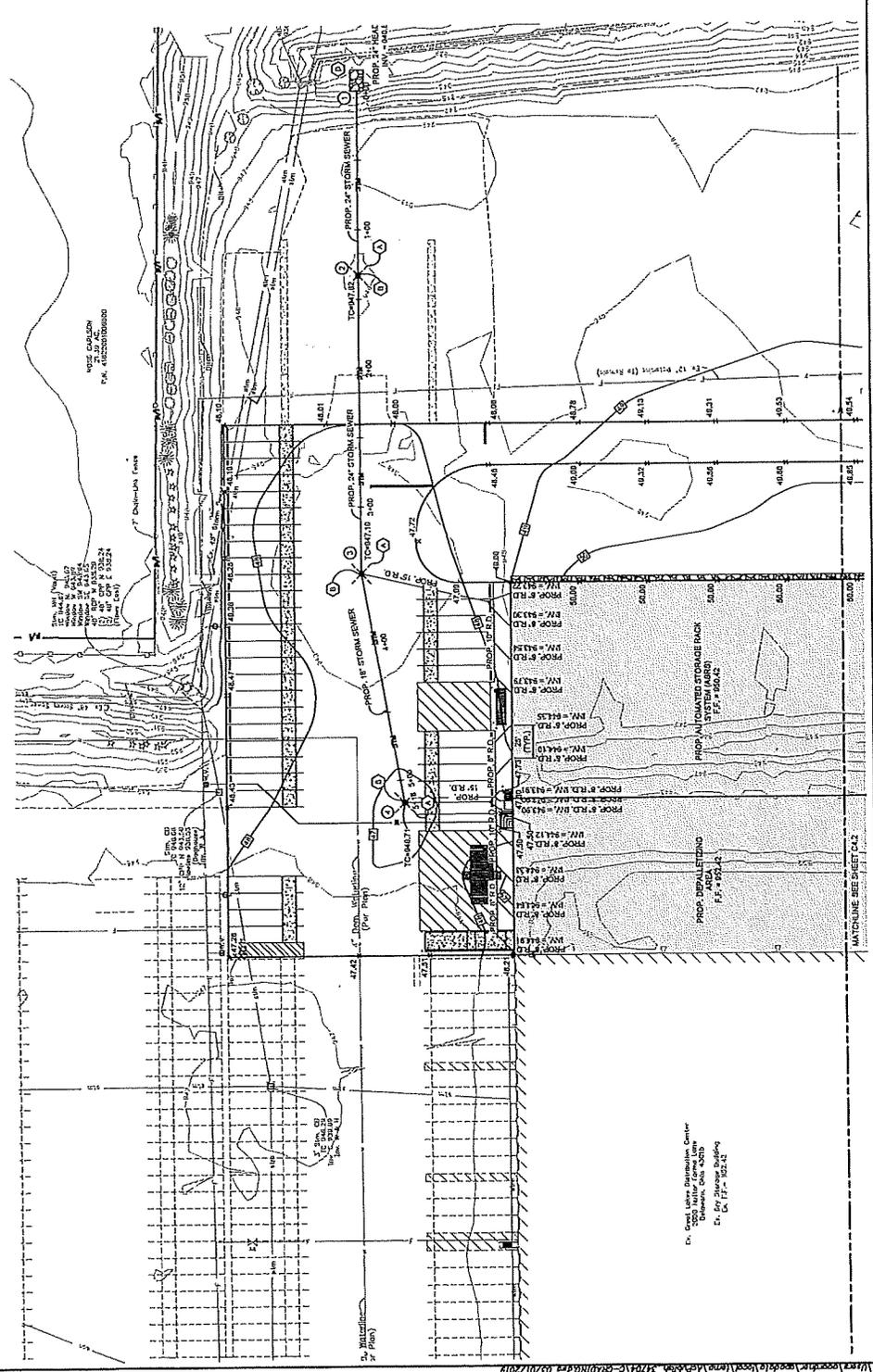
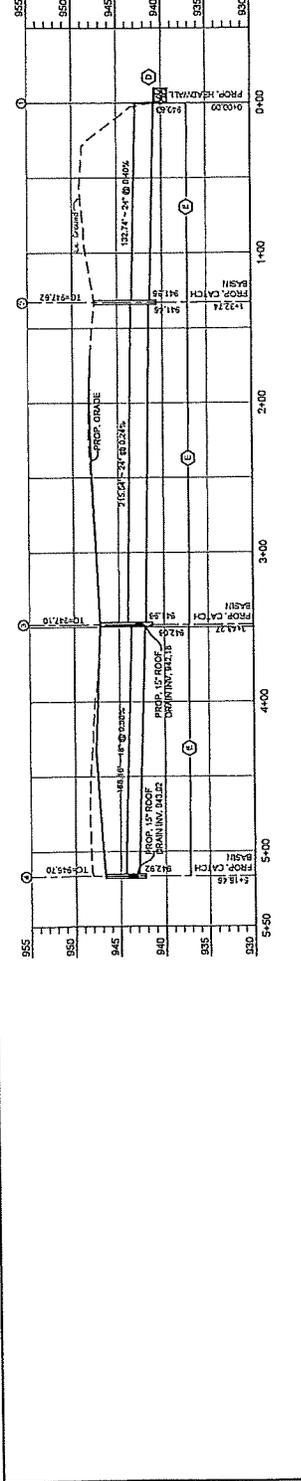
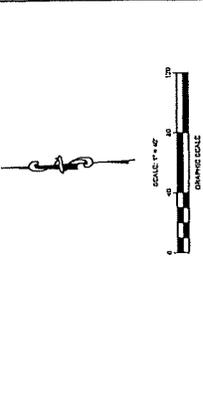
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING STORM MANHOLE
- PROPOSED STORM MANHOLE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- STORM STRUCTURE NUMBER
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING VALVE
- PROPOSED VALVE
- INDICATES DIRECTION OF MAJOR FLOOD FLOWING GREATER THAN 1/4" PER FOOT

CODED NOTES

- NO. & OR NO. ST. AGGREGATE
- PROPOSED PAVEMENT SURFACE
- PROPOSED SUBGRADE
- PERFORATED P.V.C. UNDERDRAIN
- SUBGRADE DRAIN TRENCH DETAIL
- REFILL IN FOOT LENGTHS WHERE UNDESIRABLE TO REMOVE THE UNDERDRAIN IS TO BE INSTALLED AT A LOW GRADE TOWARD THE DETAIL THE UNDERDRAIN IS TO BE INSTALLED AT A LOW GRADE TOWARD THE DETAIL THE UNDERDRAIN IS TO BE INSTALLED AT A LOW GRADE TOWARD THE DETAIL
- EXISTING AREA TO BE REMOVED AND REPLACED.
- EROSION AREA TO BE REGRADED AND STABILIZED W/ ROCK CHANNEL PROTECTION.
- TYPE "C" ROCK CHANNEL PROTECTION IF #1 1/2" W/ FILTER FABRIC
- COMPACTED GRANULAR BACKFILL PER ITEM 012

STORM STRUCTURE COORDINATE TABLE	
NO.	COORDINATE
1	13279.854
2	13280.071
3	13280.288
4	13280.505
5	13280.722
6	13280.939
7	13291.156

STORM STRUCTURE BEARING AND DISTANCE TABLE		
STRUCTURE	BEARING	DISTANCE
1-2	S89°03'E	132.74'
2-3	S89°03'E	21.84'
3-4	S89°03'E	19.50'
4-5	S89°03'E	19.50'
5-6	S89°03'E	19.50'



Bird+Ball
300 Delaware Road, Suite 400
P.O. Box 152
P.O. Box 152
Delaware, OH 43015
WWW.BIRDBALL.COM

PROJECT STRIK
3000 DELAWARE ROAD
DELAWARE, OH 43015

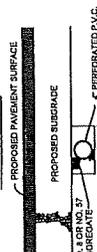
STORM SEWER AND GRADING PLAN
(NORTH)

SCALE: 1" = 20'
JOB NO.: CA-1
DATE: 05/26/10
DRAWN: 10/07

STORM AND GRADING LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING STORM MANHOLE
- PROPOSED STORM MANHOLE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- STORM STRUCTURE NUMBER
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING VALVE
- PROPOSED VALVE
- INDICATES DIRECTION OF MAJOR FLOW AFTER STORM
- 18" x 24" VENT STORM

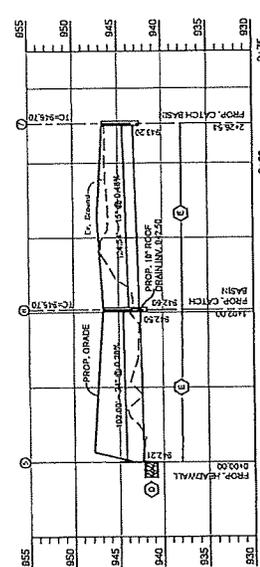
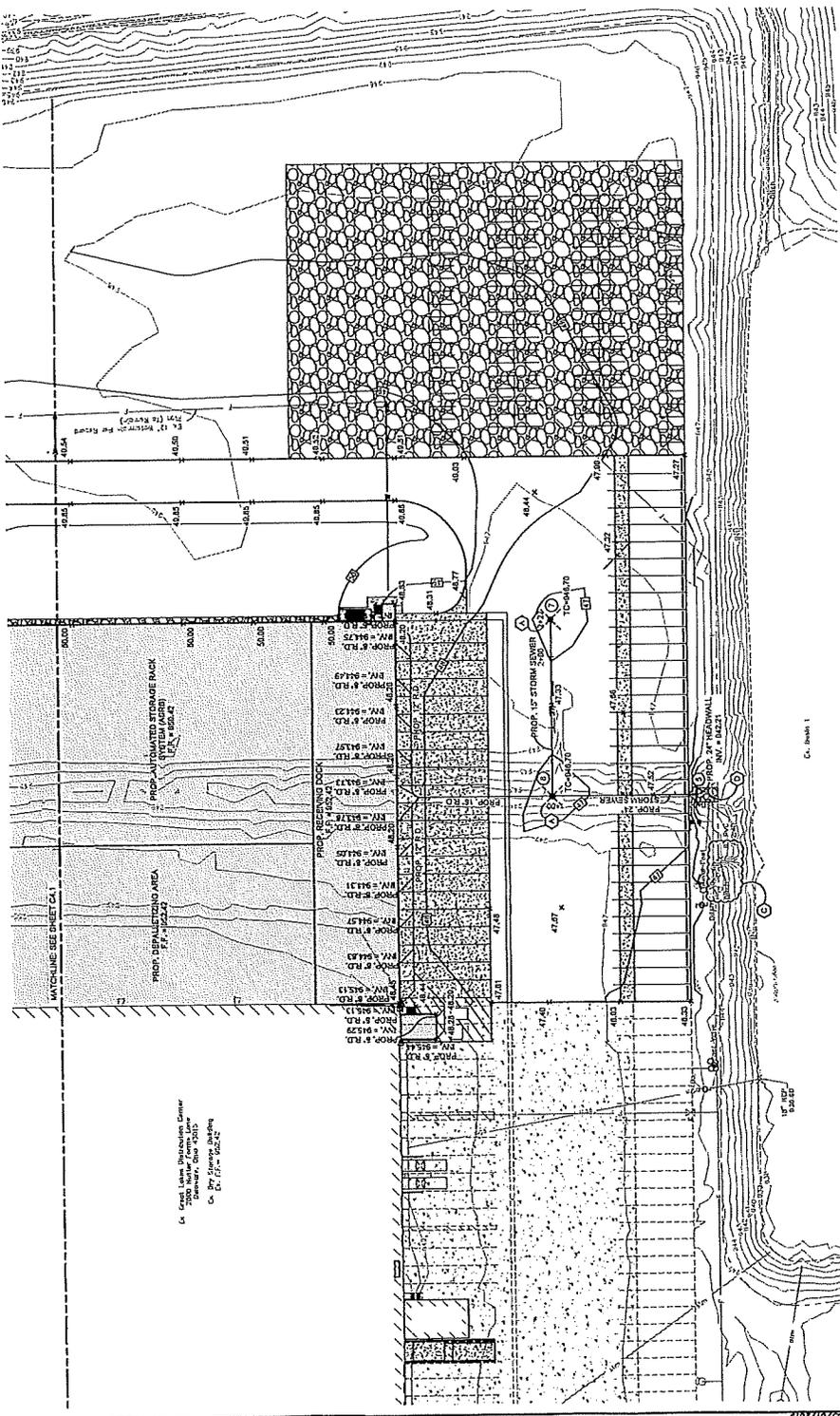
CODED NOTES



NO. 1 OR NO. 57 AGGREGATE
12" PERFORATED P.A.C.
UNDERDRAIN
PROPOSED PAVEMENT SURFACE

SUBGRADE DRAIN TRENCH DETAIL

- INSTALL 10 FOOT LENGTHS (WHERE ALLOWABLE) OF PERFORATED P.A.C. DETAIL. THE UNDERDRAIN IS TO BE INSTALLED AT A 1.0% GRADE TOWARD THE STRUCTURE WITH THE UPSTREAM END DAMMED UP TO PREVENT BACKFLOW. THE UNDERDRAIN SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC AFTER INSTALLATION.
- EXISTING CATCH BASIN TO BE REMOVED AND REPLACED.
- PROPOSED AREA OF SLOPE TO BE REGRADED AND STABILIZED W/ ROCK CHANNEL PROTECTION.
- TYPE "C" ROCK CHANNEL PROTECTION 12" x 6" x 1.5" W/ FILTER FABRIC
- COMPACTED GRANULAR BACKFILL PER ITEM #12



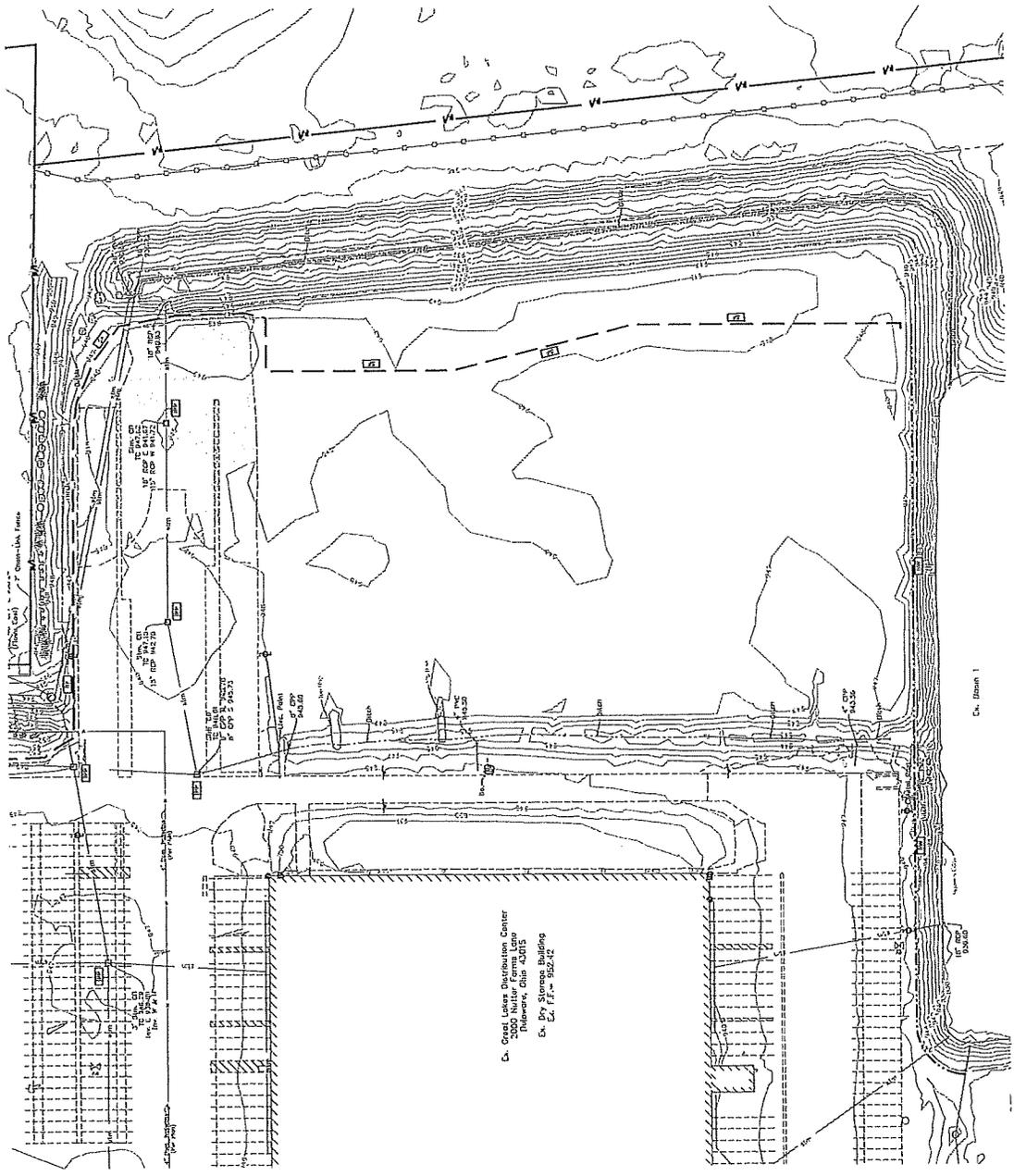


Bird+Bull
3100 Champlain Road, Suite 200
Cincinnati, OH 45245
Tel: (513) 763-1661
www.birdandbull.com

PROJECT: STORM SEWER AND GRADING PLAN (SOUTH)
2000 W. STATE ST. LANE
DELAWARE, OH 43015

SCALE: 1" = 40'
DRAWN: [] DATE: 02/28/2018
JOB NO.: 18470
C4.2

THIS PLAN MUST BE POSTED ON-SITE
IN THE PROJECT TRAILER.
A COPY OF THE EROSION AND SEDIMENT
CONTROL PLAN AND THE
APPROVED EPA STORMWATER PERMIT
SHALL BE KEPT ONSITE AT ALL TIMES.



- LEGEND**
- Existing Contour
 - Temporary Seeding and Mulching
 - Permanent Seeding and Mulching
 - Inlet Protection - Pavement
 - Temporary Sediment Ribs/Skimmer
 - Concrete Washout Area
 - Temporary Construction Fencing
 - Silt Fence
 - Straw/Wattle
 - Indicates Direction of Major Flood Routing
 - Stabilized Construction Entrance



Bird+Bull
Engineering & Surveying
300 Columbus Ave., Suite 200
Columbus, Ohio 43215
Ph: (614) 394-1161
Fax: (614) 394-1162
WWW.BIRDBULL.COM

PROJECT STRIK
5000 PROJECT STRIK LANE
DELAWARE, OH 43015

**EXISTING CONDITIONS
EROSION AND SEDIMENT CONTROL
PLAN**

SCALE: 1" = 40'
DATE: 02/22/2019
JOB NO.: 19-07
DWG NO.: C6.1

Cx. Great Lakes Distribution Center
3000 Columbus Ave., Suite 200
Columbus, Ohio 43215
C. P. Strawn Building
C. P. Strawn Building
C. P. Strawn Building

THIS PLAN MUST BE POSTED ON-SITE
IN THE PROJECT TRAILER.
A COPY OF THE EROSION AND SEDIMENT
CONTROL PLAN AND THE
APPROVED EPA STORMWATER PERMIT
SHALL BE KEPT ON-SITE AT ALL TIMES.

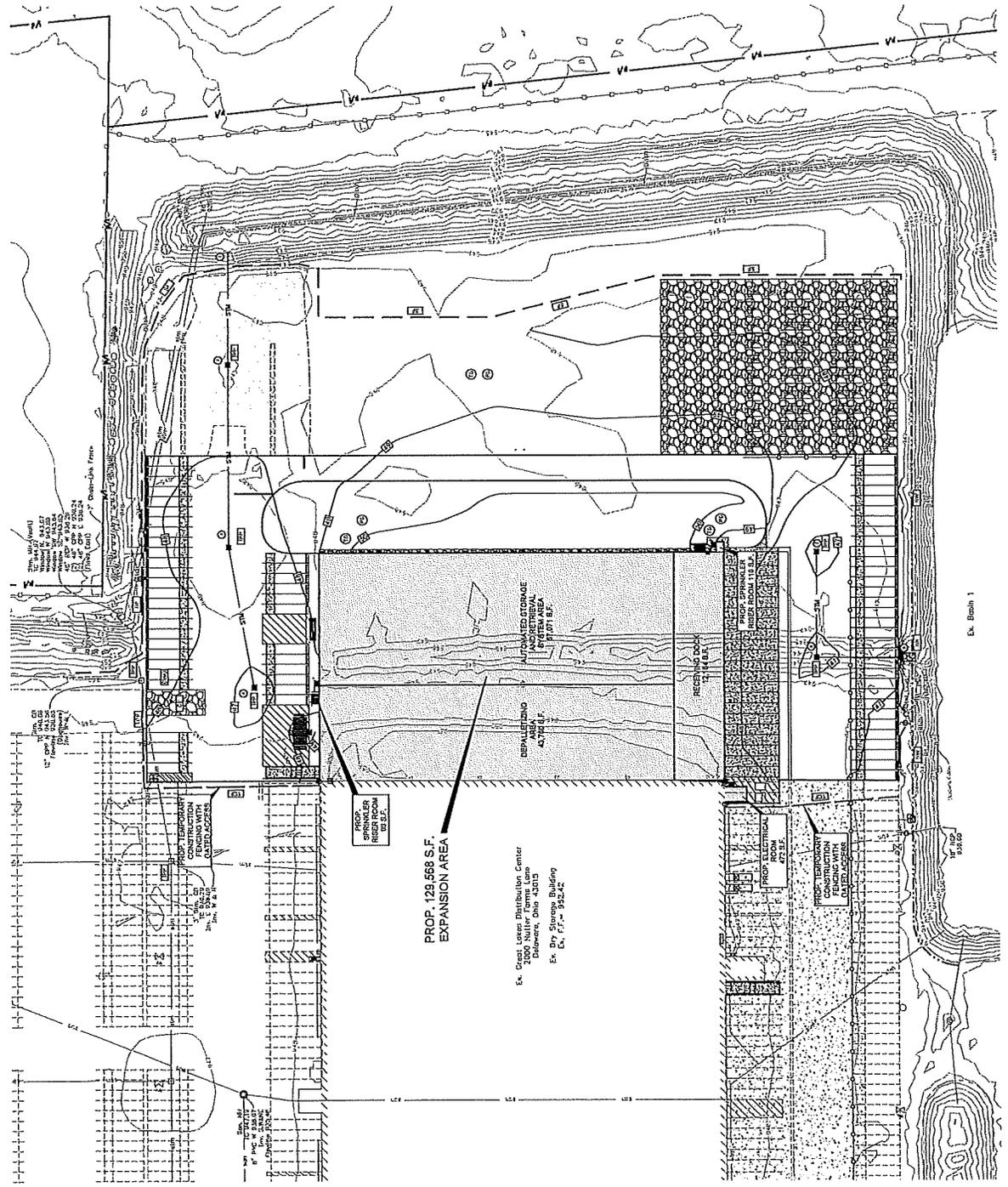
LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- TEMPORARY SEEDING AND MULCHING
- PERMANENT SEEDING AND MULCHING
- INLET PROTECTION - PAVEMENT
- TEMPORARY SEDIMENT TRAP
- CONCRETE WASHOUT AREA
- TEMPORARY CONSTRUCTION FENCING
- SILT FENCE
- STRAW MATS
- INDICATES DIRECTION OF MAJOR FLOOD ROUTING
- STABILIZED CONSTRUCTION ENTRANCE

NOTE:
TEMPORARY CONSTRUCTION FENCING IS TO BE
CONSTRUCTED TO MAINTAIN TRAILER ACCESS
AS NECESSARY.



PROJECT STRIKE
3300 MULLER FARMS LANE
DELEWARE, OH 43015
**FINAL CONDITIONS
EROSION AND SEDIMENT CONTROL
PLAN**
SCALE: 1" = 40'
JOB NO. | C6.2
DWG#S | C600A05 | DATE: 07/26/2018



Ex. Bath 1

Ex. Great Lakes Distribution Center
3300 Muller Farms Lane
Delaware, Ohio 43015
Ex. Dry Storage Building
Ex. #1 - 952.42

SITE DEVELOPMENT INFORMATION

ZONING:
 THE KROGER CO.
 PROPERTY OWNER
 102.39 AC.
 SITE AREA
 4133201070000
 PARCEL
 CITY OF DELAWARE
 JURISDICTION
 M-2 GENERAL MANUFACTURING DISTRICT
 HEIGHT RESTRICTION
 35'

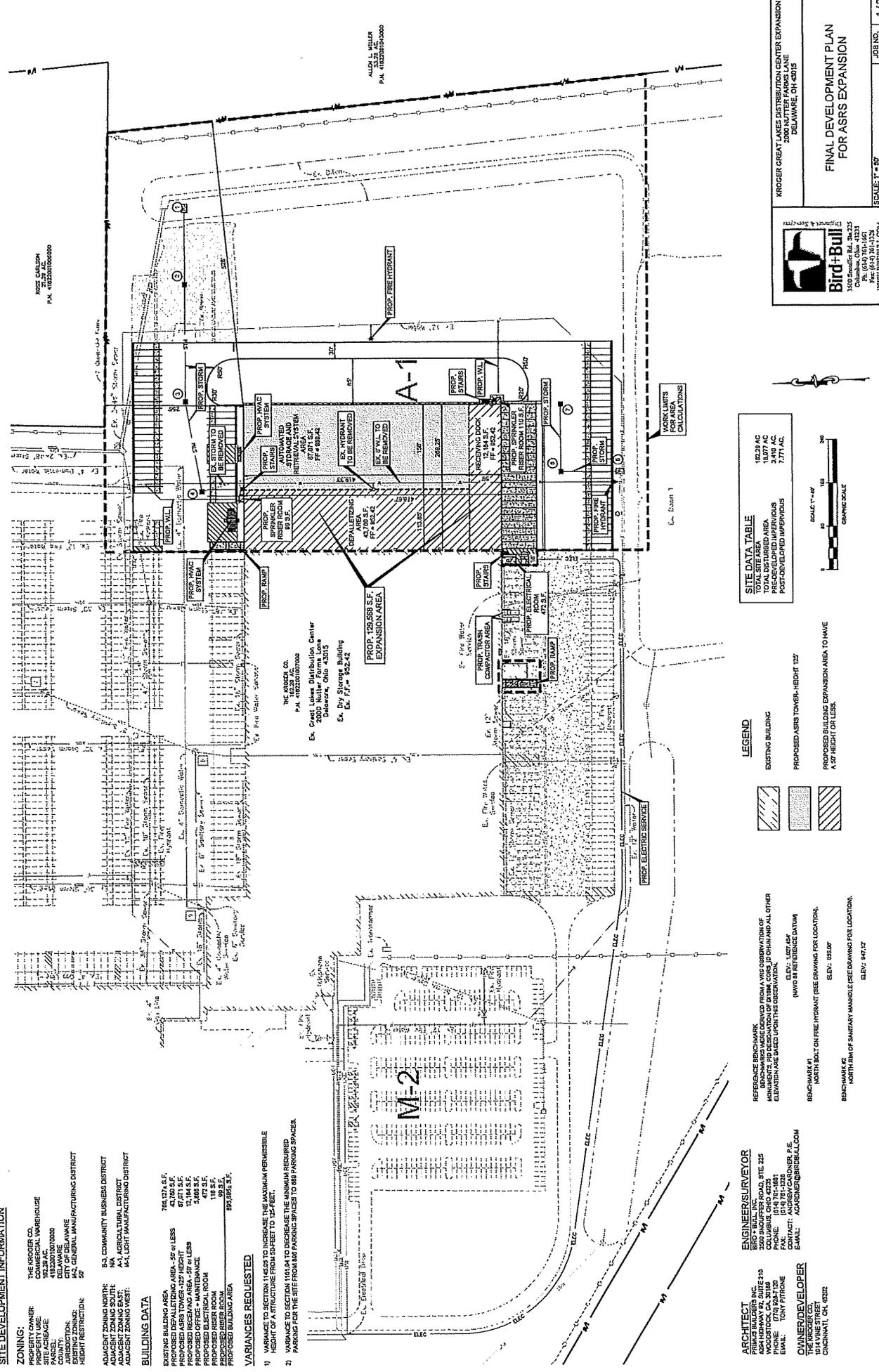
ADJACENT ZONING NORTH: B-1 COMMUNITY BUSINESS DISTRICT
ADJACENT ZONING SOUTH: A-1 AGRICULTURAL DISTRICT
ADJACENT ZONING EAST: M-2 LIGHT MANUFACTURING DISTRICT
ADJACENT ZONING WEST: M-2 LIGHT MANUFACTURING DISTRICT

BUILDING DATA

EXISTING BUILDING AREA 716,174 S.F.
 PROPOSED AREA TO BE REMOVED 5,071 S.F.
 PROPOSED RECEIVING AREA - 52' x 114.3 S.F.
 PROPOSED OFFICE - MAINTENANCE 5,848 S.F.
 PROPOSED RIBSER ROOM 114 S.F.
 PROPOSED RIBSER ROOM 993.5 S.F.
 PROPOSED BUILDING AREA 993,051 S.F.

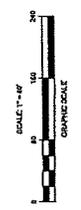
VARIANCES REQUESTED

- VARIANCE TO SECTION 116.02 TO INCREASE THE MAXIMUM PERMISSIBLE HEIGHT OF A STRUCTURE FROM 35 FEET TO 45 FEET.
- VARIANCE TO SECTION 116.04 TO DECREASE THE MINIMUM REQUIRED PAVING FOR THE SITE FROM 100' PARKING SPACES TO 105' PARKING SPACES.

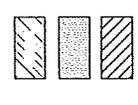


SITE DATA TABLE

TOTAL SITE AREA	102.39 AC
EXISTING BUILDING AREA	716,174 S.F.
POST-DEVELOPED IMPERVIOUS	3,410 AC
POST-DEVELOPED PERVIOUS	7,771 AC



LEGEND



EXISTING BUILDING
 PROPOSED BUILDING EXPANSION AREA TO HAVE A 35' HEIGHT OR LESS
 PROPOSED ASRS TOWER - HEIGHT 125'

REVISIONS: REVISIONS FROM A VISUAL OBSERVATION OF THE SURROUNDING AREA AND THE BUILDING. ELEVATIONS ARE BASED UPON THE OBSERVATION. ELEVATIONS ARE BASED UPON THE OBSERVATION. (HORIZONTAL REFERENCE DATUM)

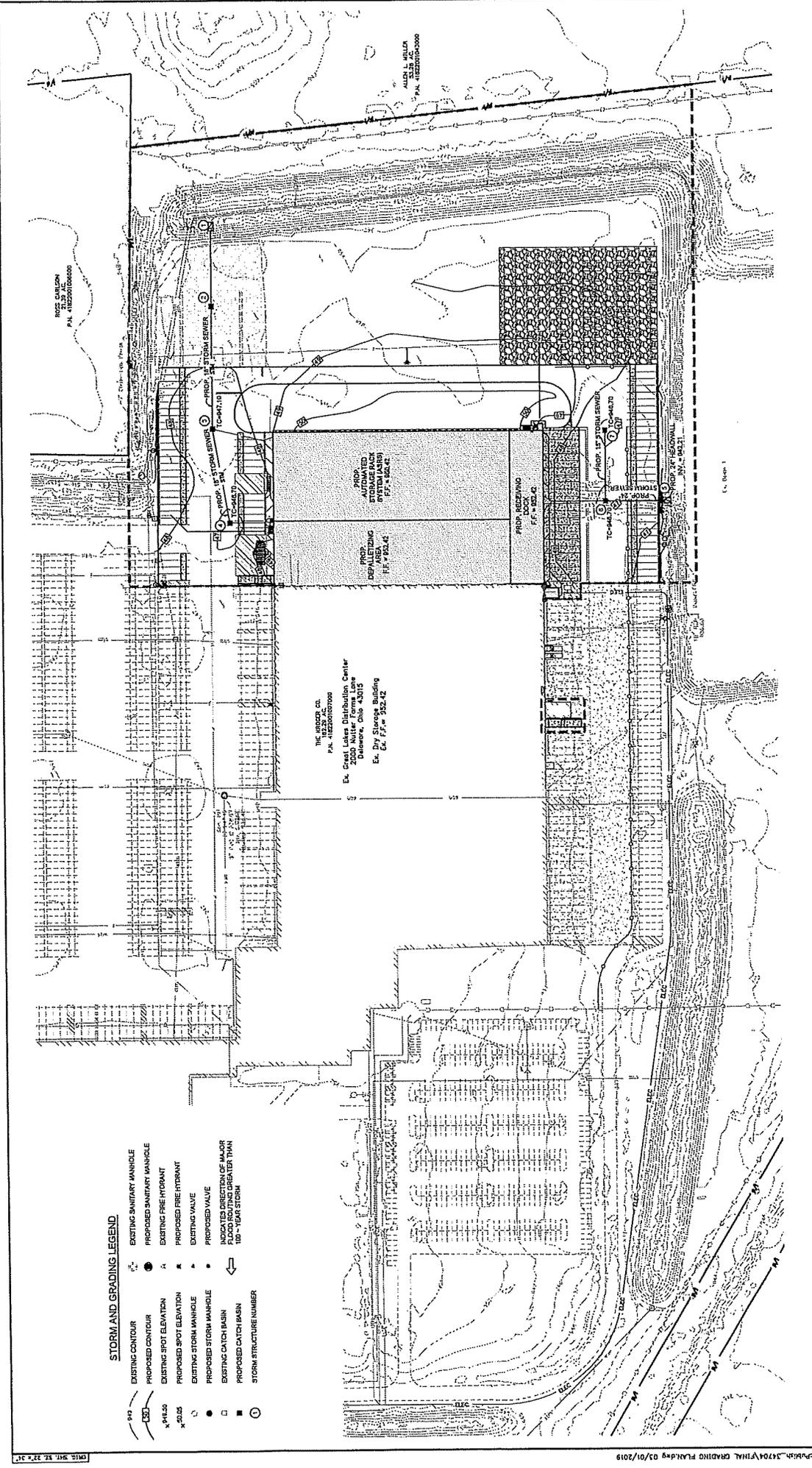
BENCHMARK #1
 NORTH BOLT ON FIRE HYDRANT (SEE DRAWING FOR LOCATION).
 ELEV.: 582.00'

BENCHMARK #2
 NORTH BOLT ON FIRE HYDRANT (SEE DRAWING FOR LOCATION).
 ELEV.: 547.32'

ENGINEER/SURVEYOR
 BIRD+BUILL
 2500 SANDYBROOK ROAD, SUITE 225
 COLUMBIANA, OHIO 43025
 PHONE: (614) 761-1324
 FAX: (614) 761-1324
 CONTRACT: AGRSVC04000001_P1
 EMAIL: AGRSVC@BIRDBULL.COM

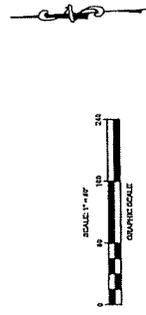
ARCHITECT
 BIRD+BUILL
 3509 Exchange Rd., 2nd Fl.
 Columbus, Ohio 43221
 Phone: (614) 761-1324
 Fax: (614) 761-1324
 www.birdbull.com

OWNER/DEVELOPER
 THE KROGER CO.
 101 WINE STREET
 CINCINNATI, OH 45202



STORM AND GRADING LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING STORM MANHOLE
- PROPOSED STORM MANHOLE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING VALVE
- PROPOSED VALVE
- EXISTING STRUCTURE NUMBER
- PROPOSED STRUCTURE NUMBER



KROGER GREAT LAKES DISTRIBUTION CENTER EXPANSION
2000 Nuster Farms Lane
Dulles, OH 43015

FINAL GRADING PLAN
FOR ASRS EXPANSION

JOB NO. 15-070
DATE: 2/22/2019
2 / 2

Bird+Bull
 3500 Sandhill Rd., Ste. 235
 Columbus, Ohio 43235
 Fax: (614) 391-1334
 WWW.BIRDBULL.COM

michael d. jones, AIA
 architect
 8224 Highway 52, Suite 220
 Woodstock, GA 30189
 Tel. 770.575.3790

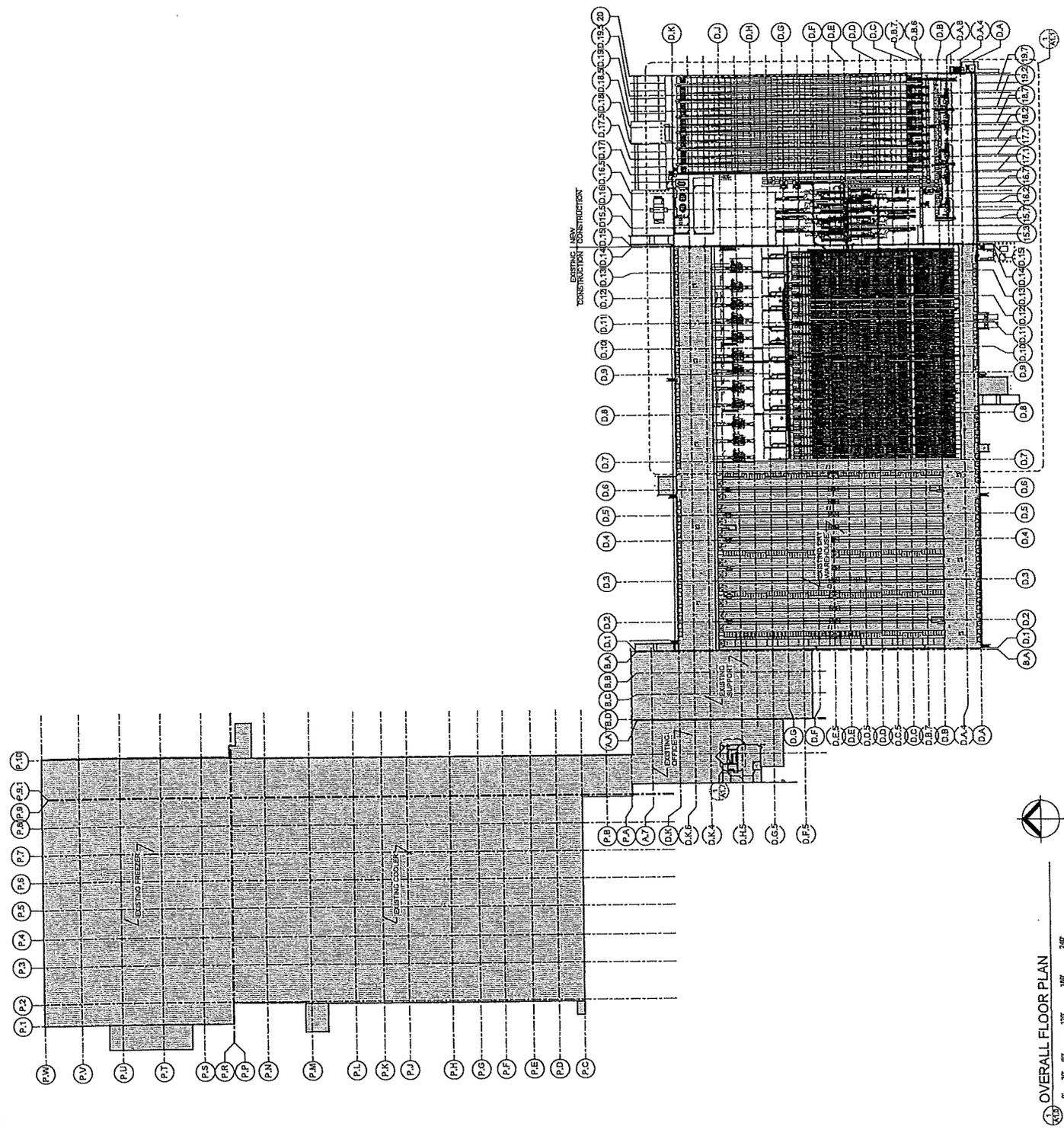
PRIMUS
 BUILDERS, INC.
 8224 Highway 52, Suite 210
 Woodstock, GA 30189
 Tel. 770.575.7124
 www.primusbldg.com

A Warehouse
 Expansion For:

CONFIDENTIAL
 CLIENT

PROJECT NO.	18-032
DATE	08/28/2018
DESCRIPTION	WAREHOUSE EXPANSION
PROJECT	WAREHOUSE EXPANSION

OVERALL FLOOR
 PLAN
 A1.0



OVERALL FLOOR PLAN
 0 50' 100' 200'
 SCALE 1/8" = 1'-0"

michael d. jones, AIA
architect
8254 Highway 92, Suite 220
Woodstock, CA 95189
tel. 770.575.5790

PRIMUS
BUILDERS, INC.
8254 Highway 92, Suite 270
Woodstock, CA 95189
www.primusbldrs.com

A Warehouse
Expansion For.

CONFIDENTIAL
CLIENT

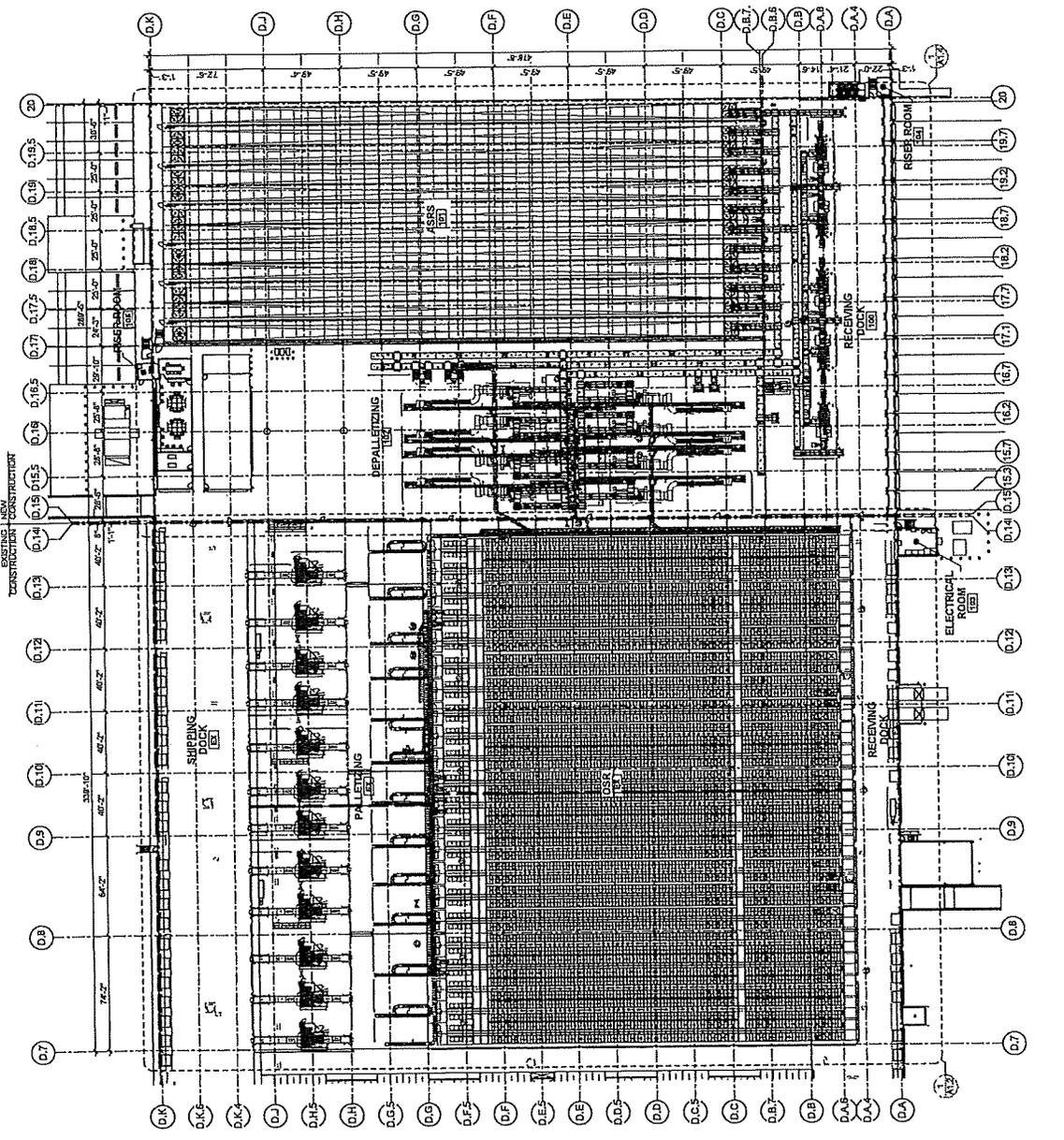
PARTIAL FLOOR
PLAN

A1.1

BUILDING AREA SUMMARY

SPACE	AREA
DEPALLETING DOCK	47,700 SF
ASRS	67,071 SF
RECEIVING DOCK	12,184 SF
SHIPPING DOCK	4,929 SF
OFFICE	473 SF
ELECTRICAL ROOM	116 SF
RISER ROOM	80 SF
GRAND TOTAL	129,369 SF

EXISTING CSR RENOVATION	11,281 SF
EXISTING RECEIVING DOCK	10,000 SF
EXISTING SHIPPING DOCK	15,370 SF
GRAND TOTAL	36,651 SF



PARTIAL FLOOR PLAN
SCALE: 1" = 30'-0"

Michael D. Jones, AIA
 architect
 6254 Highway 92, Suite 220
 Woodstock, GA 30189
 Tel. 770.575.5790

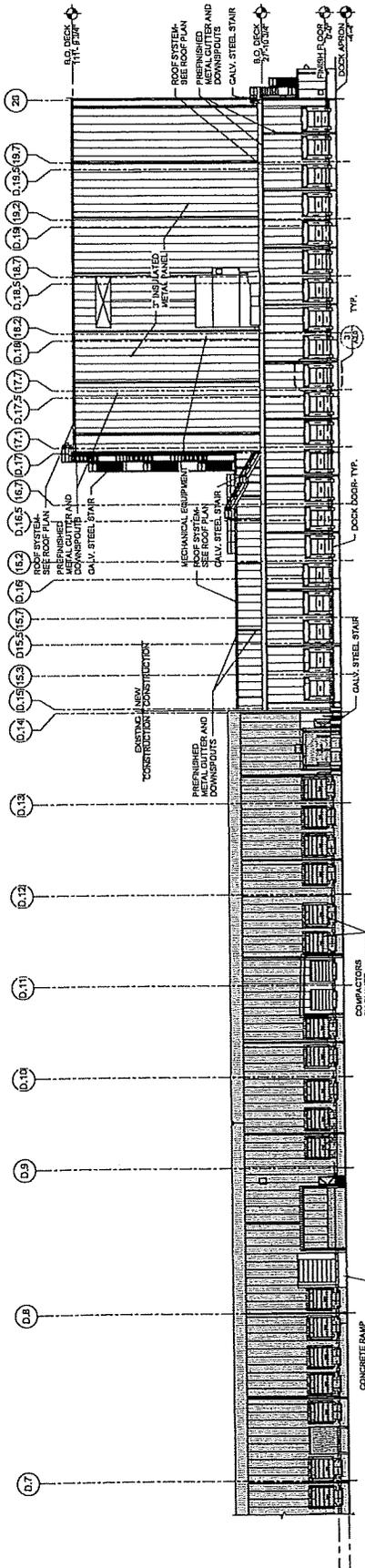


A Warehouse
 Expansion For:

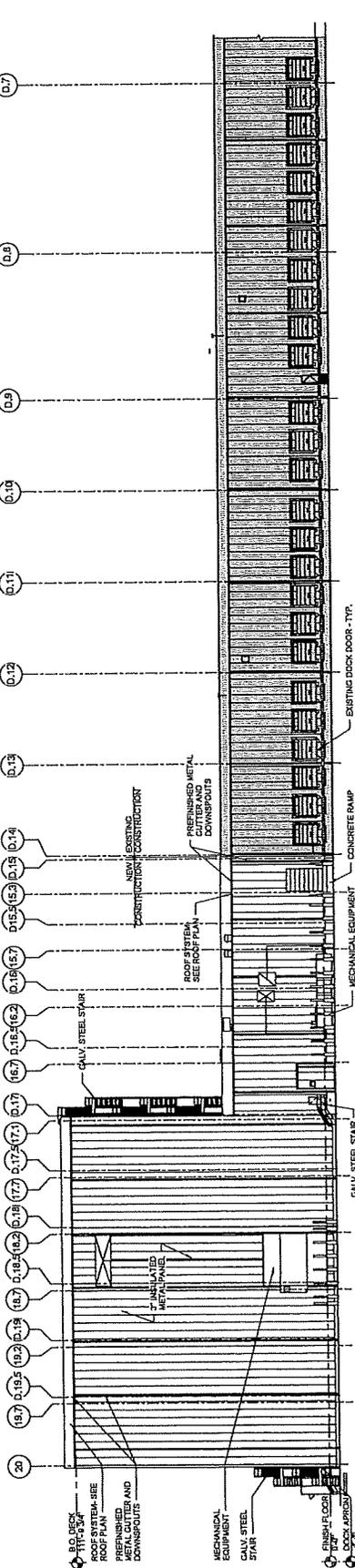
CONFIDENTIAL
 CLIENT

PROJECT NO.	18-032
DATE	06/10/19
DESIGNED BY	MICHAEL D. JONES
DRAWN BY	ARND BRUNNEN
CHECKED BY	ANDREW TAYLOR
DATE	06/10/19

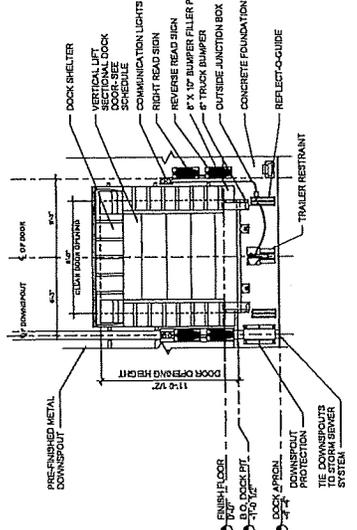
EXTERIOR
 ELEVATIONS



(2) OVERALL SOUTH ELEVATION
 SCALE 1" = 20'-0"



(2) OVERALL NORTH ELEVATION
 SCALE 1" = 20'-0"



(2) ENLARGED DOCK DOOR ELEV. - SHELTER
 SCALE 1/4" = 1'-0"

michael d. jones, AIA
 architect
 8264 Highway 92, Suite 220
 Woodstock, GA 30189
 Tel. 770.575.5790

PRIMUS
 BUILDERS, INC.
 6264 Highway 92, Suite 210
 Woodstock, GA 30189
 Tel. 770.575.5790
 www.primusbldg.com

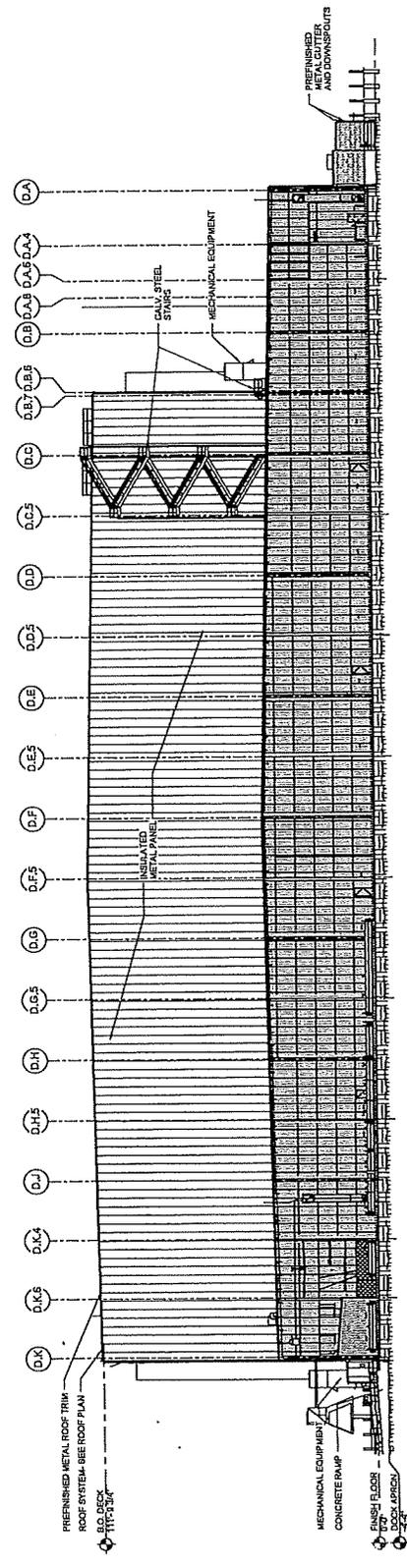
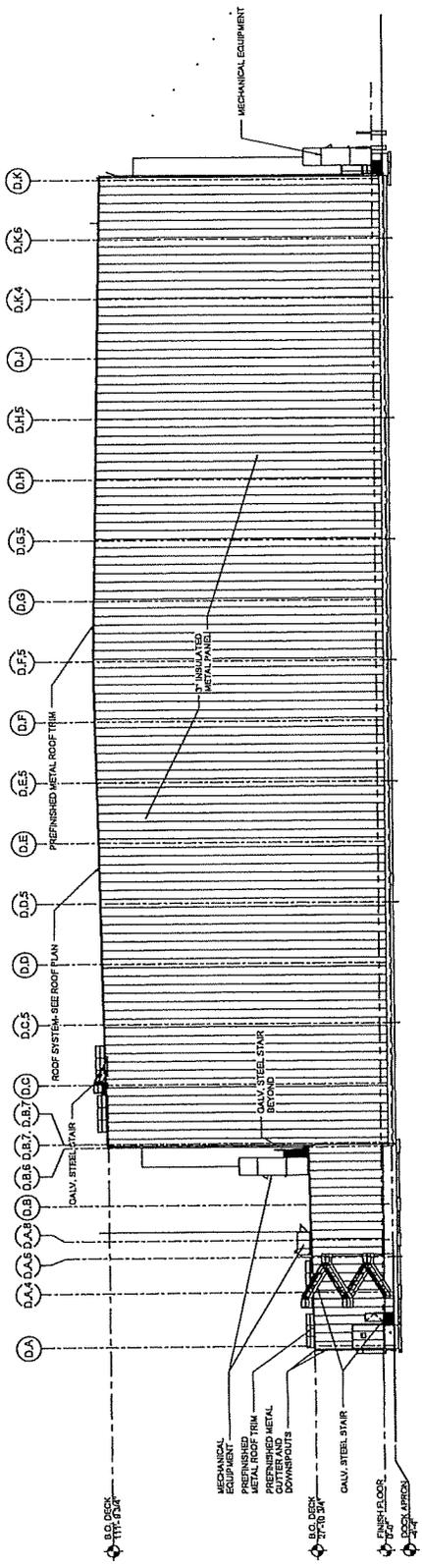
A Warehouse
 Expansion For:

CONFIDENTIAL
 CLIENT

PROJECT NO.	18-032
DATE	11/13/2014
DESIGNER	DR. JONES ARCHITECT
CLIENT	PRIMUS BUILDERS, INC.
PROJECT NAME	A Warehouse Expansion
PROJECT ADDRESS	6264 Highway 92, Suite 210, Woodstock, GA 30189
PROJECT PHONE	770.575.5790
PROJECT FAX	770.575.5790
PROJECT EMAIL	mdj@drjonesarchitect.com
PROJECT WEBSITE	www.primusbldg.com

EXTERIOR
 ELEVATION

A2.1



**DESCRIPTION OF
SAILS DISTRIBUTION CENTER
GLENN ROAD
DELAWARE, OHIO
CONTAINING 164.728 ACRES
July 27, 2001**

Situate in Section 2, Township 4 North, Range 18 West United States Military Lands, City of Delaware and Township of Berlin, County of Delaware, State of Ohio, and being a 65.371 acre tract out of a 115 10 acre tract of land conveyed to Robert J and Susan J Davidson by deed of record in Deed Book 636, Page 811 and all of a 99.353 (99 357 acres surveyed) acre tract of land conveyed to Glennel Partners by deed of record in Deed Book 602, Page 630 (all references to deeds, microfiche, plats, surveys, etc refer to the records of the Delaware County Recorder's Office, unless noted otherwise) and being more particularly bounded and described as follows:

Beginning at a railroad spike found at the intersection of the north line of the New York Central Railroad and the centerline of Glenn Road (Township Road 93) also being in the Corporation Line of the City of Delaware and being the southwest corner of said 99 353 acre tract,

thence along the centerline of said Glenn Road and a west line of said 99 353 acre tract North fifteen degrees thirty-two minutes fourteen seconds East (N15°32'14"E) for one hundred fifty and 16/100 feet (150 16') to spike found at the northwest corner of said 99 353 acre tract and the southwest corner of a 1 00 acre tract of land conveyed to Rodger Glenn by deed of record in Deed Book 331, Page 291, also being in the north line of Lot 28 and the south line of Lot 29,

thence leaving said centerline along the north line of said 99 353 acre tract and said Lot 28 and the south line of said 1 00 acre tract and the south line a 6 857 acre tract of land conveyed to Glenn Farm Partnership by deed of record in Official Record 64, Page 725 and said Lot 29 South eighty-six degrees twenty minutes three seconds East (S86°20'03"E) for one thousand two hundred twelve and 62/100 feet (1212 62') to a stone found at the southeast corner of said 6 857 acre tract and the southwest corner of said 115 10 acre tract,

thence along the east line of said 6 857 acre tract, the east line of a 8 735 acre tract of land conveyed to Glenn Farm Partnership by deed of record in Official Record 64, Page 725, the east line of a 67 5 acre tract of land conveyed to Nutter Farm, Inc by deed of record in Deed Book 636, Page 808, and the west line of said 115 10 acre tract North three degrees nineteen minutes forty seconds East (N03°19'40"E) for one thousand six hundred fifty-one and 01/100 feet (1651 01')

to a cross set on a stone on the north line of said Lot 29 also being in the north line of Berlin Township and the south line of Brown Township,

thence on a new dividing line across said 115 10 acre tract and along the north line of said Lot 29 and said Berlin Township and the south line of said Brown Township and said Lot 17 South eighty-six degrees forty-eight minutes fifteen seconds East (S86°48'15"E) for one thousand seven hundred twenty-two and 33/100 feet (1722 33') to an iron pin set on a west line of a 25 35 acre tract of land conveyed to Ralph R. and Marie J. Grooten by deed of record in Deed Book 327, Page 400 and the east line of said 115 10 acre tract also being in said Corporation Line of the City of Delaware,

thence leaving the north line of said Lot 29 and said Berlin Township and the south line of said Brown Township, along a west line of said 25 35 acre tract and an east line of said 115.10 acre tract, also along said Corporation Line of the City of Delaware for the following seven (7) courses

1) South four degrees thirty-nine minutes thirteen seconds West (S04°39'13"W) for two hundred one and 66/100 feet (201 66') to an iron pin set,

2) South eighty-five degrees fifty minutes forty-seven seconds East (S85°50'47"E) for sixteen and 34/100 feet (16 34') to an iron pin set being on the east line of said Lot 29,

3) along the east line of said Lot 29 South four degrees thirty-nine minutes thirteen seconds West (S04°39'13"W) for one thousand four hundred sixty-three and 55/100 feet (1463 55') to an iron pin set at the southwest corner of said 25 35 acre tract and the southeast corner of said 115 10 acre tract, said point also being at the southeast corner of said Lot 29, the northeast corner of said Lot 28, the southwest corner of Lot K, and the northwest corner of Lot M, and in the north line of said 99 353 acre tract,

4) along the south line of said 25 35 acre tract and the south line of Lot K being the north line of said Lot M, the north line of said 99 353 acre tract South eighty-six degrees twenty minutes three seconds East (S86°20'03"E) for five hundred fifty-two and 70/100 feet (552 70') to an iron pin set marking the northeast corner of said 99 353 acre tract and the northwest corner of a 40.60 acre tract as conveyed to Allen L. Miller by deed of record in Deed Book 536, Page 162,

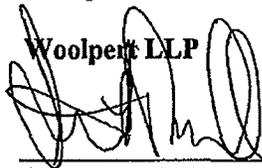
5) leaving the north line said Lot M and the south line of said Lot K along the west line of said 40 60 acre tract and the east line of said 99 353 acre tract South two degrees twenty-nine minutes twenty-three

seconds East (S02°29'23"E) for two thousand three hundred thirty-three and 39/100 feet (2333.39') to an iron pipe found in the north line of the New York Central Railroad, being the south west corner of said 40 60 acre tract and the southeast corner of said 99 353 acre tract,

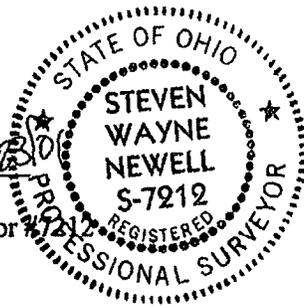
6) along the north line of said New York Central Railroad and the south line of said 99.353 acre tract on a curve to the left with a radius of one thousand nine hundred sixty and 00/100 feet (1960 00') for an arc distance of thirty-five and 44/100 feet (35 44'), chord bearing North fifty-five degrees forty-two minutes twenty-five seconds West (N55°42'25"W) for thirty-five and 44/100 feet (35 44'), delta angle of said curve being one degree two minutes nine seconds (1°02'09") to an iron pipe found,

7.) continuing along the north line of said New York Central Railroad and the south line of said 99.353 acre tract North fifty-six degrees thirteen minutes thirty seconds West (N56°13'30"W) for four thousand two hundred ninety-five and 71/100 feet (4295 71') to the POINT OF BEGINNING, containing one hundred sixty-four and 728/1000 (164 728) acres, more or less, (being 65 371 acres in Lot 29, 0 119 acres on Lot 27, 67.504 acre in Lot 28 and 31 734 acres in Lot M), subject however to all covenants, conditions, restrictions, reservations, rights-of-way, and easements contained in any instrument of record pertaining to the above described tract of land

This description was prepared from a field survey performed by Woolpert LLP in June, 2001, with bearings based upon Ohio State Plane Coordinates (NAD 83) North Zone All iron pins set are 5/8" iron pins with plastic caps stamped Woolpert LLP

Woolpert LLP


Steven W. Newell
Ohio Professional Surveyor



GENERAL WARRANTY DEED

Robert J. Davidson and Susan J. Davidson, husband and wife, (Grantors) for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, hereby grant, with general warranty covenants to **The Kroger Co., an Ohio corporation**, (Grantee) with a tax mailing address of 1014 Vine Street, Cincinnati, OH 45202-1100, the real property located in the City of Delaware, Delaware County, Ohio (the "Property") and more particularly described as follows:

**SEE EXHIBIT A ATTACHED HERETO AND INCORPORATED
HEREIN BY THIS REFERENCE.**

Grantors' general warranty covenants are subject to the following: (a) zoning and building laws, ordinances and other governmental rules and regulations; (b) public streets and highways; (c) covenants, agreements, reservations, restrictions, servitudes, easements and rights-of-way of record; and (d) the lien of real estate taxes and assessments which are not yet due and payable.

Parcel Number: 418-220-01-007-000

Prior Deed Reference: Official Record Volume 396, page 500, and Official Record Volume 636, page 811

Tax Mailing Address: 1014 Vine Street, Cincinnati, OH 45202-1100

EXECUTED this 8th day of May, 2002.


Robert J. Davidson

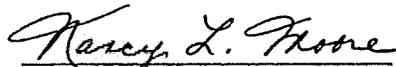

Susan J. Davidson

STATE OF OHIO:

COUNTY OF FRANKLIN, SS:

Before me, a Notary Public in and for said State and County, on the 8th day of May, 2002, personally appeared **Robert J. Davidson and Susan J. Davidson**, who acknowledged the signing of the foregoing instrument to be their free acts and deeds for the uses and purposes set forth herein.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed my official seal on the 8th day of May, 2002.


Notary Public

This document prepared by:
George Naumoff, Attorney
921 Eastwind Drive, Suite 133
Westerville, Ohio 43081



NANCY L. MOORE
NOTARY PUBLIC, STATE OF OHIO
MY COMMISSION EXPIRES SEPT. 15, 2004

**DESCRIPTION OF
65.371 ACRES OUT OF
115.10 ACRES FOR
SAILS DISTRIBUTION
CENTER**

Situate in Section 2, Township 4 North, Range 18 West, United States Military Lands, City of Delaware and the Township of Berlin, County of Delaware, State of Ohio, and being a 65.371 acre tract out of an original 115.10 acre tract of land as conveyed to Robert J. and Susan J. Davidson by deed of record in Deed Book 636, Page 811 (all references to deeds, microfiche, plats, surveys, etc. refer to the records of the Delaware County Recorder's Office, unless noted otherwise) and being more particularly bounded and described as follows:

Commencing for reference at a railroad spike found at the intersection of the north line of the New York Central Railroad and the centerline of Glenn Road (Township Road 93) also being in the Corporation Line of the City of Delaware as recorded in Plat Cabinet 1 page 570A;

thence along the centerline of said Glenn Road and the west line of a 99.353 acre tract of land as conveyed to Glendel Partners by deed of record in Deed Book 602, Page 630 North fifteen degrees thirty-two minutes fourteen seconds East (N15°32'14"E) for one hundred fifty and 16/100 feet (150.16') to spike found at the northwest corner of said 99.353 acre tract and the southwest corner of a 1.00 acre tract of land conveyed to Rodger Glenn by deed of record in Deed Book 331, Page 291, also being in the north line of Lot 28 and the south line of Lot 29;

thence leaving said centerline along the north line of said 99.353 acre tract and the south line of said 1.00 acre tract and the south line of a 6.86 acre tract of land as conveyed to Glenn Farm Partnership by deed of record in Official Record 64, Page 725 South eighty-six degrees twenty minutes three seconds East (S86°20'03"E) for one thousand two hundred twelve and 62/100 feet (1212.62') to a stone found at the southeast corner of said 6.86 acre tract and the southwest corner of said 115.10 acre tract being the **TRUE PLACE OF BEGINNING** of the herein described tract;

thence along the east line of said 6.857 acre tract, the east line of a 8.74 acre tract of land as conveyed to Glenn Farm Partnership by deed of record in Official Record 64, Page 725, the east line of a 36.00 acre tract of land as conveyed to Nutter Farm, Inc. by deed of record in Deed Book 636, Page 808, and the west line of said 115.10 acre tract North three degrees nineteen minutes forty seconds East (N03°19'40"E) for one thousand six hundred fifty-one and 01/100 feet (1651.01') to a cross set on a stone on the north line of said Lot 29 and the south

line of Lot 17 also being in the north line of Berlin Township and the south line of Brown Township;

thence on a new dividing line across said 115.10 acre tract, along the north line of said Lot 29 and said Berlin Township and the south line of said Lot 17 and said Brown Township South eighty-six degrees forty-eight minutes fifteen seconds East (S86°48'15"E) for one thousand seven hundred twenty-two and 33/100 feet (1722.33') to an iron pin set on a west line of a 25.35 acre tract of land as conveyed to Ralph R. and Marie J. Grooten by deed of record in Deed Book 327, Page 400 and the east line of said 115.10 acre tract also being in said Corporation Line of the City of Delaware;

thence leaving the north line of said Lot 29 and said Berlin Township and the south line of said Brown Township, along a west line of said 25.35 acre tract and an east line of said 115.10 acre tract, also along said Corporation Line of the City of Delaware for the following three (3) courses:

- 1.) South four degrees thirty-nine minutes thirteen seconds West (S04°39'13"W) for two hundred one and 66/100 feet (201.66') to an iron pin set;
- 2.) South eighty-five degrees fifty minutes forty-seven seconds East (S85°50'47"E) for sixteen and 34/100 feet (16.34') to an iron pin set being on the east line of said Lot 29 and the west line of Lot K;
- 3.) along the east line of said Lot 29 and the west line of said Lot K South four degrees thirty-nine minutes thirteen seconds West (S04°39'13"W) for one thousand four hundred sixty-three and 55/100 feet (1463.55') to an iron pin set at the southwest corner of said 25.35 acre tract and the southeast corner of said 115.10 acre tract, said point also being at the southeast corner of said Lot 29, the northeast corner of said Lot 28, the southwest corner of Lot K, and the northwest corner of Lot M, and in the north line of said 99.353 acre tract;

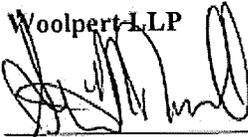
thence along the south line of said 115.10 acre tract and said Lot 29 and the north line of said 99.353 acre tract and said Lot 28 North eighty-six degrees twenty minutes three seconds West (N86°20'03"W) for one thousand seven hundred and 17/100 feet (1700.17') to the **TRUE POINT OF BEGINNING**, containing sixty-five and 371/1000 (65.371) acres, more or less, subject however to all covenants, conditions, restrictions, reservations, rights-of-way, and easements contained in any instrument of record pertaining to the above described tract of land.

DESCRIPTION FOR CLOSING ONLY	
<input type="checkbox"/>	RPC Approval Required <i>rx-D</i>
<input checked="" type="checkbox"/>	Municipal Approval Required <i>43</i>
<i>5-10-01</i>	Delaware County Engineer <i>CS</i>

This description was prepared from a field survey performed by Woolpert LLP in June, 2001, with bearings based upon the Ohio State Plane Coordinate System, North Zone, North American Datum of 1983.

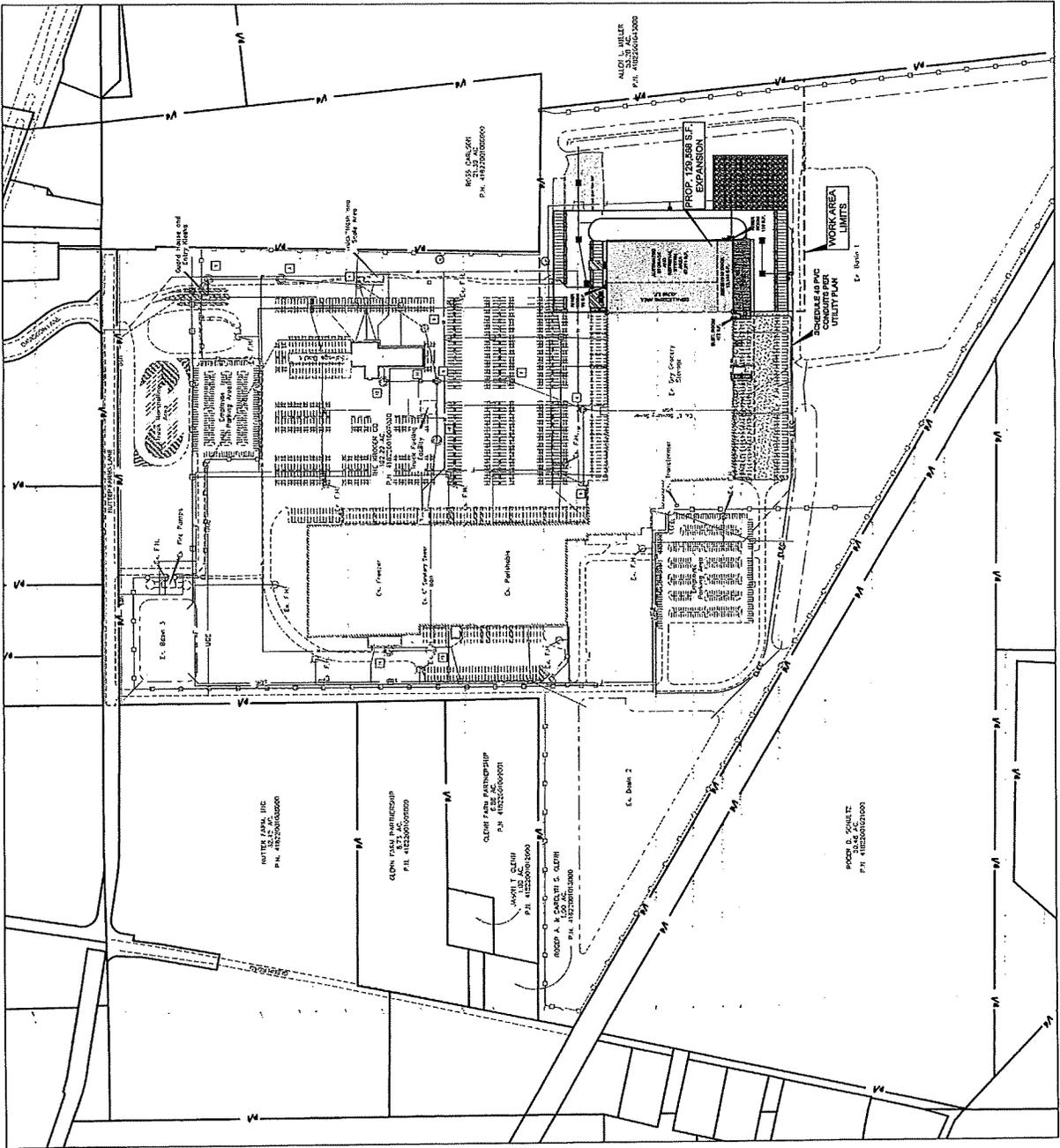
All iron pins set are 5/8" diameter, 30" long rebars with plastic caps stamped "Woolpert LLP"

Woolpert LLP



Steven W. Newell
Ohio Professional Surveyor





PROJECT STRIK
2000 MUTTER FARMS LANE
DELAWARE, OH 43015

OVERALL SITE MAP

SCALE: 1" = 200'
DATE: 02/28/2018
JOB NO.: 18-070
C1.8



**CITY OF DELAWARE, OHIO
PLANNING & COMMUNITY DEVELOPMENT
MASTER APPLICATION FORM**



Project # _____ Case # _____

Planning Commission

- | | | |
|--|---|---|
| <input type="checkbox"/> Amended Final Development Plan | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use |
| <input type="checkbox"/> Amended Final Subdivision Plat | <input type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Vacation-Alley |
| <input type="checkbox"/> Amended Preliminary Development Plan | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat | <input type="checkbox"/> Floodplain Permit | <input type="checkbox"/> Vacation-Street |
| <input type="checkbox"/> Annexation Review | <input type="checkbox"/> Lot Split | Board of Zoning Appeals |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Development Plan | <input type="checkbox"/> Conditional Use Permit |
| <input type="checkbox"/> Concept Plan | <input type="checkbox"/> Preliminary Dev Plan Extension | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Preliminary Sub Plat | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Determination of Similar Use | <input type="checkbox"/> Preliminary Sub Plat Extension | |
| <input type="checkbox"/> Development Plan Exemption | <input type="checkbox"/> Rezoning | |
| <input type="checkbox"/> Final Development Plan | <input type="checkbox"/> Subdivision Variance | |

Subdivision/Project Name Kroger Great Lakes Distribution Center Expansion Address 2000 Nutter Farms Lane, Delaware Ohio 43015
 Acreage 162.29 ac. Square Footage 129,556 s.f. Number of Lots N/A Number of Units N/A
 Zoning District/Land Use M-2 Proposed Zoning/Land Use M-2 Parcel # 418220010070000

Applicant Name Michael D. Jones, AIA Architect Contact Person Randy Broome

Applicant Address 8294 Highway 92, Suite 210, Woodstock, GA 30189

Phone 770.928.7120 ext. 264 Fax _____ E-mail rbroome@primusds.com

Owner Name Kroger Company Contact Person Bill Knight

Owner Address 2000 Nutter Farm Lane, Delaware, Ohio 43015

Phone (502) 429-4807 Fax 502-420-6738 E-mail bill.knight@kroger.com

Engineer/Architect/Attorney Bird+Bull Engineering Contact Person Andrew Gardner

Address 3500 Snuffer Road, Columbus Ohio 43235

Phone 614-761-1661 Fax 614-761-1328 E-mail agardner@birdbull.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

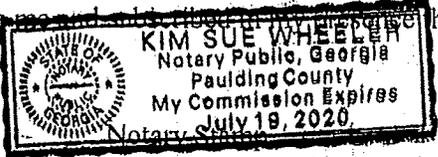
William Knight
Owner Signature

William Knight
Owner Printed Name

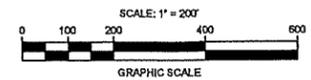
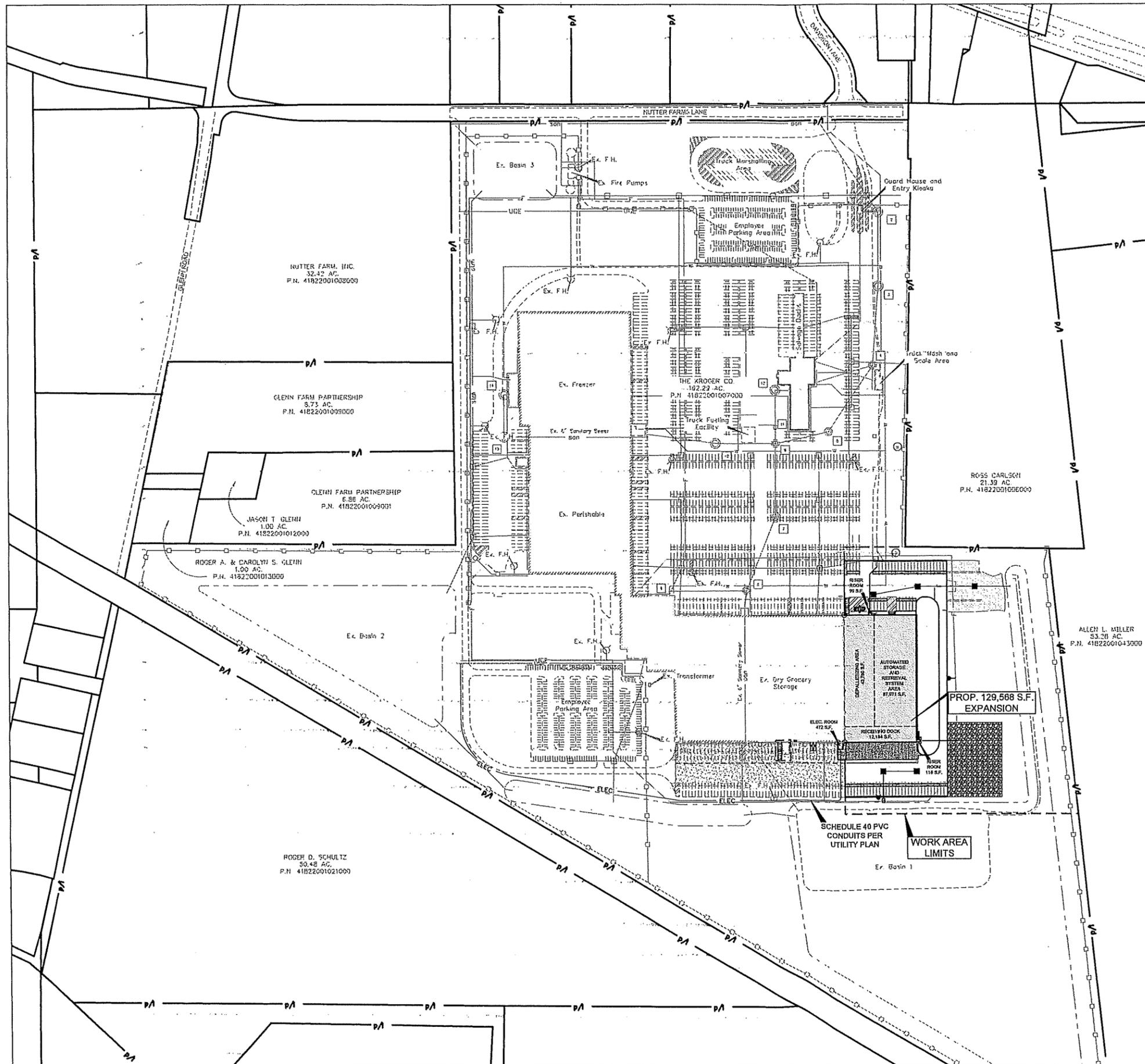
[Signature]
Agent Signature

Randy Broome
Agent Printed Name

Sworn to before me and I have subscribed to this 26 day of February, 2019



Kim Sue Wheeler
Notary Public



Bird+Bull
Engineers & Surveyors

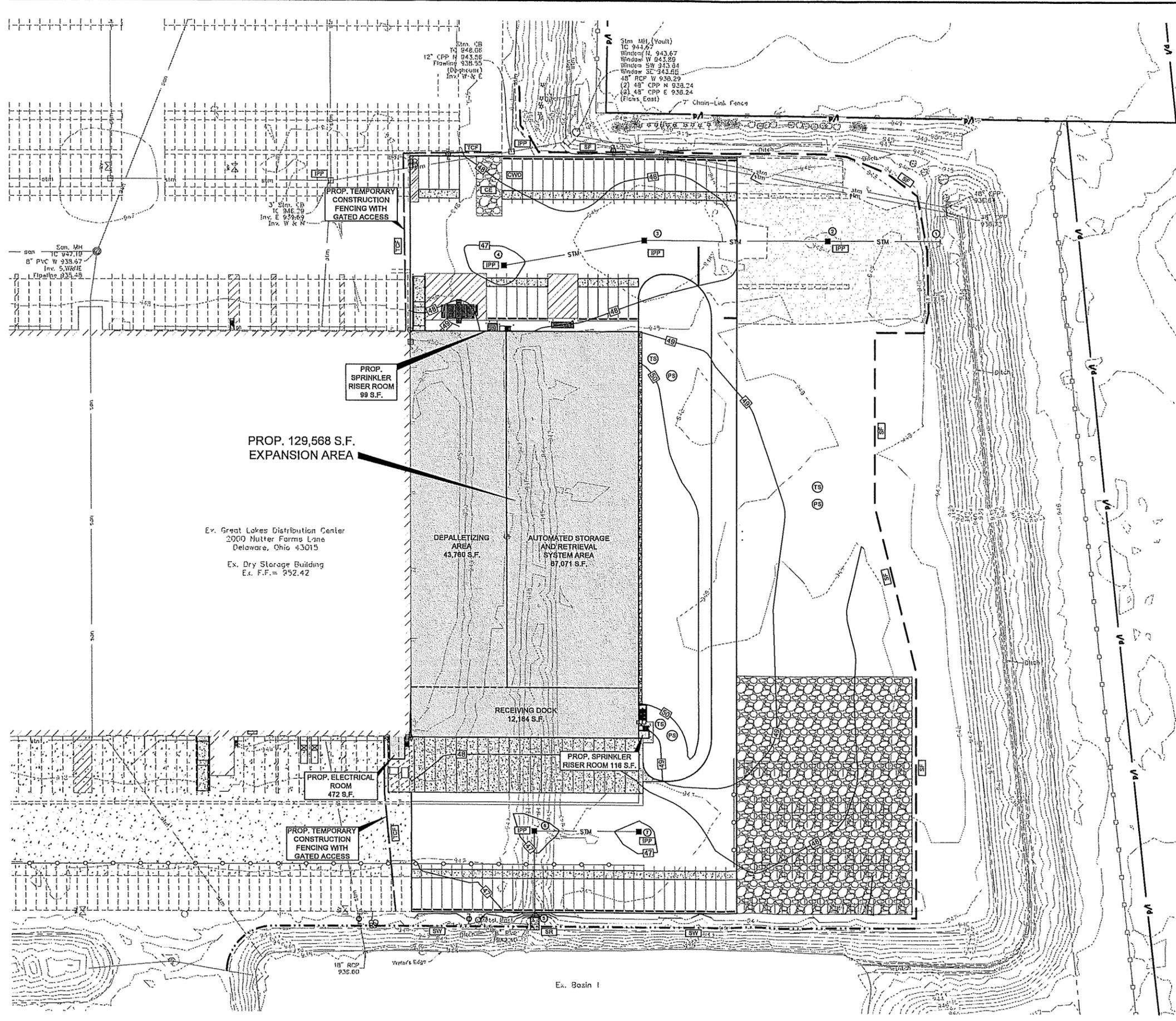
3500 Snuffer Road, Suite 225
Columbus, Ohio 43235
Ph: (614) 761-1661
Fax: (614) 761-1328
WWW.BIRDBULL.COM

PROJECT STRIX
2000 NUTTER FARMS LANE
DELAWARE, OH 43015

OVERALL SITE MAP

ORIG. SHIT. SZ. 22' x 34'

I:\Jobs\2018\10701\000\DWG\Design\Construction\C-ESC-FINAL.dwg 03/01/2019

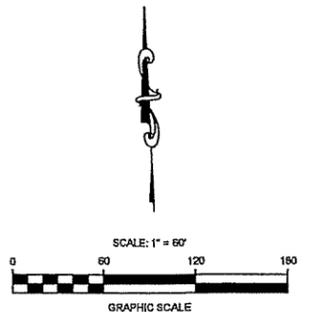


THIS PLAN MUST BE POSTED ON-SITE
 IN THE PROJECT TRAILER.
 A COPY OF THE EROSION AND SEDIMENT
 CONTROL PLAN AND THE
 APPROVED EPA STORMWATER PERMIT
 SHALL BE KEPT ONSITE AT ALL TIMES.

LEGEND

- 948 EXISTING CONTOUR
- 49 PROPOSED CONTOUR
- TS TEMPORARY SEEDING AND MULCHING
- PS PERMANENT SEEDING AND MULCHING
- IPP INLET PROTECTION - PAVEMENT
- SR TEMPORARY SEDIMENT RISER/SKIMMER
- CWY CONCRETE WASHOUT AREA
- TCF TEMPORARY CONSTRUCTION FENCING
- SF SILT FENCE
- SW STRAW WATTLE
- INDICATES DIRECTION OF MAJOR FLOOD ROUTING
- CE STABILIZED CONSTRUCTION ENTRANCE

NOTE:
 TEMPORARY CONSTRUCTION FENCING IS TO BE
 MOVED AS NECESSARY THROUGHOUT
 CONSTRUCTION TO MAINTAIN TRAILER ACCESS
 AS NECESSARY.



Bird+Bull
 Engineers & Surveyors
 3500 Snouffer Road, Suite 225
 Columbus, Ohio 43235
 Ph: (614) 761-1661
 Fax: (614) 761-1328
 WWW.BIRDBULL.COM

PROJECT STRIX
 2000 NUTTER FARMS LANE
 DELAWARE, OH 43015

**FINAL CONDITIONS
 EROSION AND SEDIMENT CONTROL
 PLAN**



FACT SHEET

AGENDA ITEM NO: 13

DATE: 04/08/2019

ORDINANCE NO: 19-13

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: NO

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE FOR MANOS PROPERTIES FOR APPROVING A FINAL DEVELOPMENT PLAN FOR THE WESLEYAN INN AT 235 WEST WILLIAM STREET ON APPROXIMATELY 0.72 ACRES AND ZONED PO/I (PLANNED OFFICE/INSTITUTIONAL DISTRICT).

BACKGROUND:

See attached report

REASON WHY LEGISLATION IS NEEDED:

To achieve compliance with Section 1129.05 Final Development Plan requirements of the zoning code.

COMMITTEE RECOMMENDATION:

Planning Commission approved this case 7-0 on April 3, 2019.

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

David Efland, Planning and Community Development Director

RECOMMENDATION:

Staff recommends approval as submitted with the documented conditions.

ATTACHMENT(S)

See attached

ORDINANCE NO. 19-13

AN ORDINANCE FOR MANOS PROPERTIES FOR APPROVING A FINAL DEVELOPMENT PLAN FOR THE WESLEYAN INN AT 235 WEST WILLIAM STREET ON APPROXIMATELY 0.72 ACRES AND ZONED PO/I (PLANNED OFFICE/INSTITUTIONAL DISTRICT).

WHEREAS, the Planning Commission at its meeting on April 3, 2019 recommended approval of a Final Development Plan for Manos Properties for the Wesleyan Inn at 235 West William Street on approximately 0.72 acres and zoned PO/I (Planned Office/Institutional District) (PC Case 2019-0408).

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Final Development Plan for Manos Properties for the Wesleyan Inn at 235 West William Street on approximately 0.72 acres and zoned PO/I (Planned Office/Institutional District), is hereby confirmed, approved, and accepted with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The ingress to the site at the easternmost curb cut shall include a two-way left turn lane on West William Street, west of the existing dedicated left turn lane to Elizabeth Street, in order to separate left turning vehicles on West William Street from westbound through traffic. The two-way left turn lane shall be designed in accordance with City standards and shall be approved by the City Engineer with all required roadway widening being on the south side of the street and not impacting parking on the north side of the street. All necessary associated improvements including, but not limited to, sidewalk and utility pole relocations shall be made by the developer.
3. Because no public storm sewer exists adjacent to the site, a storm sewer extension shall be required to be designed and constructed by the developer. Design of the storm sewer and any associated roadway restoration shall need to be approved by the Public Works Department and Public Utilities Department.

4. An emergency access point shall be required on the southeastern portion of the site adjacent to the Ohio Wesleyan parking lot that is accessed off Oak Hill Avenue. An executed agreement by the subject property owner and Ohio Wesleyan University shall be recorded at the County prior to final occupancy. The exact type of connection, road materials and barrier shall be approved by the Fire Department and City Engineer.
5. The canopy above the main (east) entrance shall achieve compliance with the minimum Fire Department clearance requirements.
6. Any mechanical equipment shall be screened from public view.
7. The number of hotel rooms shall not exceed 43 rooms.
8. The number of required parking spaces shall be 43 or in accordance with the approved Final Development Plan. Plan.
9. The proposed building shall achieve compliance with the City design standards per the Final Development Plan as approved by staff.
10. The limestone on the building shall be Delaware blue limestone or equivalent as approved by City Staff.
11. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color.
12. The Applicant shall submit all building elevations along with material and color samples for all building materials for staff review and approval.
13. The applicant shall have to replace the removed trees with the same total caliper inches of trees or make a payment in lieu of replacement of \$34,400 (\$100 per caliper inch x 340 caliper inches) or a combination of both to achieve compliance with Chapter 1168 Tree Preservation Regulations prior to construction drawing approval.
14. Any street trees or other on-site trees damaged by construction shall be replaced.
15. A six foot high solid wood fence shall be located along the southern property line of the subject site and the western property line of 239 West William Street to screen the adjacent uses. The landscaping shall be on the adjacent residential side of the fence along the west and south property lines
16. Any landscape plans shall be reviewed and approved by the Shade Tree Commission.
17. The lighting plan shall achieve compliance with the minimum zoning requirements and shall be reviewed and approved by the City. The light poles shall be black the light fixture shall be cut off style.
18. The building sign on the canopy on the east elevation shall achieve compliance with minimum zoning requirements.
19. The ground sign based shall be Delaware blue vein or equivalent to achieved compliance with the adopted Gateways and Corridor Plan.

- 20. The entire development shall achieve compliance with the minimum engineering, public works and fire department requirements.
- 21. The dumpster enclosure shall be made of brick or stone to match the building and shall have wood or metal doors painted to match.
- 22. The Board of Zoning Appeals shall approve a side yard parking setback variance.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS ___ NAYS ___
 ABSTAIN ___

PASSED: _____, 2019

YEAS ___ NAYS ___
 ABSTAIN ___

ATTEST: _____
 CITY CLERK

 MAYOR

APPLICANT/OWNER

Manos Properties
5973 Macewen Court
Dublin, Ohio 43017

REQUEST

2019-0408: A request by Manos Properties for approval of a Final Development Plan for The Wesleyan Inn at 235 West William Street on approximately 0.72 acres and zoned PO/I (Planned Office/Institutional).

PROPERTY LOCATION & DESCRIPTION

The subject 0.72 acre property is located at 235 West William Street which is located on the south side of the street. The property at 235 West William Street is zoned PO/I (Planned Office/Institutional District). The properties to the north are zoned R-3 (One-Family Residential District), the property to the south is zoned PO/I, the property to the east is zoned PO/I and the property to the west is zoned R-3 and it is owned by the applicant.

BACKGROUND/PROPOSAL

The owner requested a Rezoning Amendment to PMU, Conditional Use Permit and Preliminary Development for a 43 room Inn located at 235 and 239 West William Street that was approved by the Planning Commission in June 2018 but ultimately denied by City Council in August 2018. Then in November 2018, the Planning Commission and City Council approved a Conditional Use Permit and Preliminary Development Plan for a 43 room Inn on the single 0.72 acre parcel at 235 West William Street.

Now, the owner is proposing a Final Development Plan to advance the construction of the Inn which is permitted on the subject PO/I zoned parcel per the City Council approved Conditional Use Permit. The owner purchased the former Ohio Wesleyan dormitory/theme house in 2017 from Ohio Wesleyan University. The owner is proposing to renovate and expand the former dormitory at 235 West William Street into a three-story 43 room Inn (7 suites) which encompasses approximately 14,407 total square feet on a building footprint of only 5,223 square feet. Two access points from West William Street would access and encircle the proposed Inn with 43 parking spaces. The developer owns the single family house at 239 West William Street and the house would be demolished and converted into a park like setting that would be heavily landscaped with a 6 foot high wood fence located on the western property line serving as an additional buffer to the adjacent residential homes to the west and south.

The developer proposes to preserve and renovate the original Perkins house rather than simply demolish it as is his right. This is a welcome approach to staff while integrating an adaptive reuse of the property as proposed. Additionally, it needs to be clearly understood that the property proposed for the Inn is in fact zoned appropriately for such use being PO/I currently, which allows the use conditionally. Overall, this proposal preserves and repairs the dilapidated Perkins home, adaptively reuses the site, contains and orients the Inn to the adjacent University owned property and provides adequate parking and converts 239 West William Streets into a park like setting with heavy landscaping. This would provide a reasonable transition between the huge Stuyvesant Hall dormitory, health center, fitness center, performance space and a kitchen to the residential neighborhood to the west and 237 student residents occupying the approximate 21,700 footprint.

STAFF ANALYSIS

- **ZONING:** As previously mentioned, 235 West William Street is zoned PO/I which permits a hotel as a conditional use with approval by the Planning Commission and City Council in November 2018. The subject Final Development Plan would need to be approved by the Planning Commission and City Council while a minor parking setback variance would need to be approved by Board of Zoning Appeals which is scheduled for April 10, 2019.
- **GENERAL ENGINEERING:** The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.

- **ROADS AND ACCESS:** The proposed 43 room hotel would not generate enough traffic to require a traffic impact study per the City Engineer. The subject development would have two curb cuts from West William Street that would access a 43 space parking lot. The eastern most curb cut would be full movement (ingress and egress) while the western most curb cut would be for egress (out only). The ingress at the eastern most proposed curb cut shall include a two-way left turn lane on West William Street, west of the existing dedicated left turn lane to Elizabeth Street, in order to separate left turning vehicles on West William Street from westbound through traffic. The two-way left turn lane must be designed in accordance with City standards and approved by the City Engineer with all required roadway widening being on the south side of the street and not impacting parking on the north side of the street. All necessary associated improvements including, but not limited to, sidewalk and utility pole relocations are to be made by the developer. Because no public storm sewer exists adjacent to the site, a storm sewer extension will be required to be designed and constructed by the developer. Design of the storm sewer and any associated roadway restoration will need to be approved by the Public Works Department and Public Utilities Department. The site drives and parking areas shall accommodate fire truck turning movements. An emergency access point is proposed at the southeastern portion of the site to provide access to emergency personnel from the adjacent Ohio Wesleyan University parking lot. An access agreement shall be obtained from the university. The exact type of connection, road materials and barrier would need to be determined by the Fire Department and City Engineer. Ultimately, the entire development would have to achieve compliance with the minimum engineering, public works and fire department requirements.
- **PEDESTRIAN CONNECTIVITY:** Per the adopted Bicycle and Pedestrian Master Plan 2017, there are not any proposed bike plans across the subject properties. However, the existing sidewalk along West Williams Street would remain and would have to be maintained by the developer.
- **SITE CONFIGURATION:** The existing 4,465 square foot house at 235 West William Street would be preserved, renovated and expanded by a 9,942 square foot addition (three stories high – 43.5 feet) for a total 14,407 square foot Inn that would have 43 rooms (7 suites). This would be contained on a footprint of only 5,223 square feet. The aforementioned two curb cuts from West William Street would access a 43 space parking lot with two handicap spaces located along the eastern access drive adjacent to the proposed Inn. Because the parking lot along the western portion of the site is located within the 10 foot parking setback, the Board of Zoning Appeals would have to approve a parking setback variance in this area. The main entrance is located on the east side (the University side) of the building and would have a canopy over the drive through for the patron's convenience and there would be a secondary patron access on the western portion of the building. A six foot high solid wood fence would be located along the southern property lines to screen the adjacent houses. Also, the conversion of 239 West William Street into a park like setting with heavily landscaping would have a 6 foot high solid wood fence along the western property line to buffer the house to the west. Stairs would connect the western parking lot to the park like setting at 239 West William Street. In addition, there are heavily wooded properties between the subject site and the properties to the south which creates a natural buffer to the single family houses fronting Oak Hill Avenue. Finally, a dumpster would be located on the southwestern portion of the site and shall have an enclosure made of brick or stone with wood or metal doors painted to match.
- **BUILDING DESIGN:** Staff and the applicant have worked through a series of designs to attempt to find a design and materials that are high quality, complement the existing homes in the area, do not try to mimic the existing historic home in a fake manner and try to break down the scale of the building using architectural elements. The developer's proposed three story (approximately 43.5 feet high – by code this could be a maximum 75 feet high) elevation would have the following architectural elements, building materials and colors:
 - The existing building would be preserved, fully renovated and upgraded where appropriate.
 - Limestone wainscoting would be installed around new the addition to match the existing building.
 - The building materials for the new addition would include bricks that are 2 to 3 shades darker than the existing building.

STAFF RECOMMENDATION (2019-0408 FINAL DEVELOPMENT PLAN)

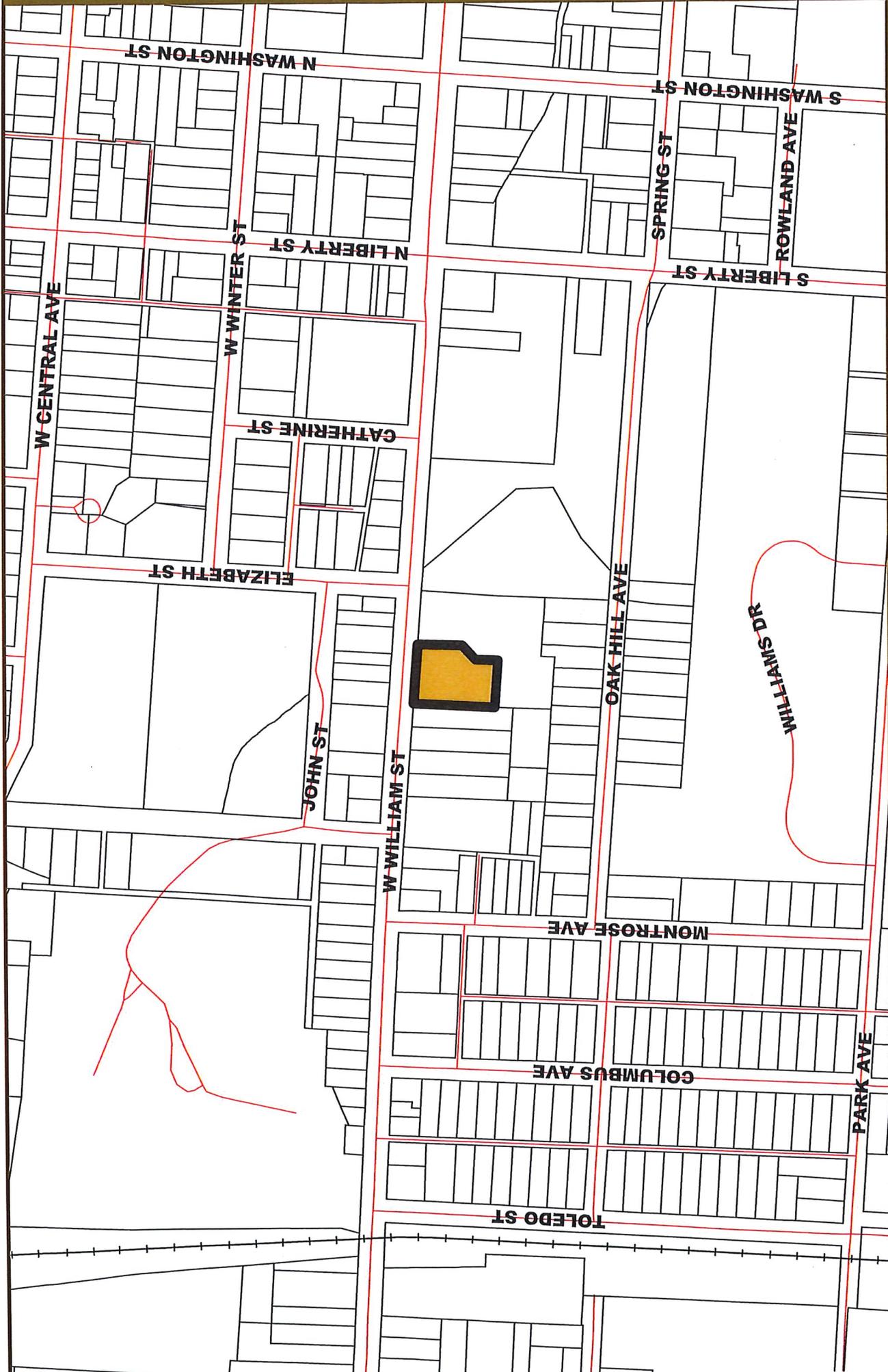
Staff recommends approval of a request by Manos Properties for a Final Development Plan for The Wesleyan Inn at 235 West William Street on approximately 0.72 acres and zoned PO/I (Planned Office/Institutional), with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The ingress to the site at the easternmost curb cut shall include a two-way left turn lane on West William Street, west of the existing dedicated left turn lane to Elizabeth Street, in order to separate left turning vehicles on West William Street from westbound through traffic. The two-way left turn lane shall be designed in accordance with City standards and shall be approved by the City Engineer with all required roadway widening being on the south side of the street and not impacting parking on the north side of the street. All necessary associated improvements including, but not limited to, sidewalk and utility pole relocations shall be made by the developer.
3. Because no public storm sewer exists adjacent to the site, a storm sewer extension shall be required to be designed and constructed by the developer. Design of the storm sewer and any associated roadway restoration shall need to be approved by the Public Works Department and Public Utilities Department.
4. An emergency access point shall be required on the southeastern portion of the site adjacent to the Ohio Wesleyan parking lot that is accessed off Oak Hill Avenue. An executed agreement by the subject property owner and Ohio Wesleyan University shall be recorded at the County prior to final occupancy. The exact type of connection, road materials and barrier shall be approved by the Fire Department and City Engineer.
5. The canopy above the main (east) entrance shall achieve compliance with the minimum Fire Department clearance requirements.
6. Any mechanical equipment shall be screened from public view.
7. The number of hotel rooms shall not exceed 43 rooms.
8. The number of required parking spaces shall be 43 or in accordance with the approved Final Development Plan. Plan.
9. The proposed building shall achieve compliance with the City design standards per the Final Development Plan as approved by staff.
10. The limestone on the building shall be Delaware blue limestone or equivalent as approved by City Staff.
11. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color.
12. The Applicant shall submit all building elevations along with material and color samples for all building materials for staff review and approval.
13. The applicant shall have to replace the removed trees with the same total caliper inches of trees or make a payment in lieu of replacement of \$34,400 (\$100 per caliper inch x 340 caliper inches) or a combination of both to achieve compliance with Chapter 1168 Tree Preservation Regulations prior to construction drawing approval.
14. Any street trees or other on-site trees damaged by construction shall be replaced.
15. A six foot high solid wood fence shall be located along the southern property line of the subject site and the western property line of 239 West William Street to screen the adjacent uses. The landscaping shall be on the adjacent residential side of the fence along the west and south property lines
16. Any landscape plans shall be reviewed and approved by the Shade Tree Commission.
17. The lighting plan shall achieve compliance with the minimum zoning requirements and shall be reviewed and approved by the City. The light poles shall be black the light fixture shall be cut off style.

18. The building sign on the canopy on the east elevation shall achieve compliance with minimum zoning requirements.
19. The ground sign based shall be Delaware blue vein or equivalent to achieved compliance with the adopted Gateways and Corridor Plan.
20. The entire development shall achieve compliance with the minimum engineering, public works and fire department requirements.
21. The dumpster enclosure shall be made of brick or stone to match the building and shall have wood or metal doors painted to match.
22. The Board of Zoning Appeals shall approve a side yard parking setback variance.

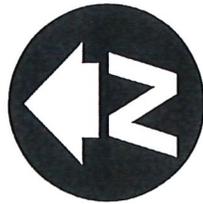
COMMISSION NOTES:

FILE:
ORIGINAL: 3/27/19
REVISED:



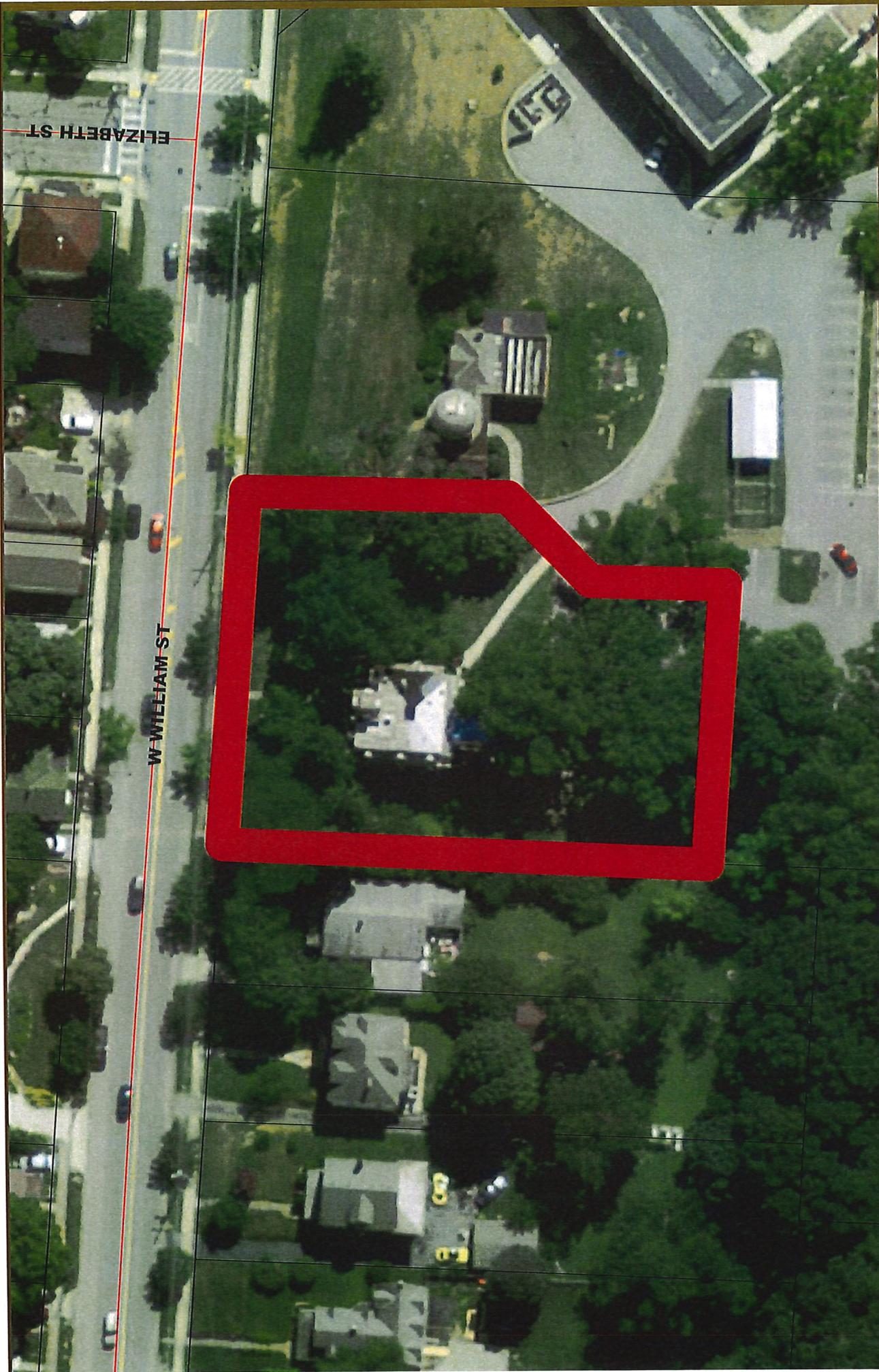
2019-0408
 Final Development Plan
 Wesleyan Inn - 235 West William Street
 Location Map





2019-0408
Final Development Plan
Wesleyan Inn - 235 West William Street
Zoning Map

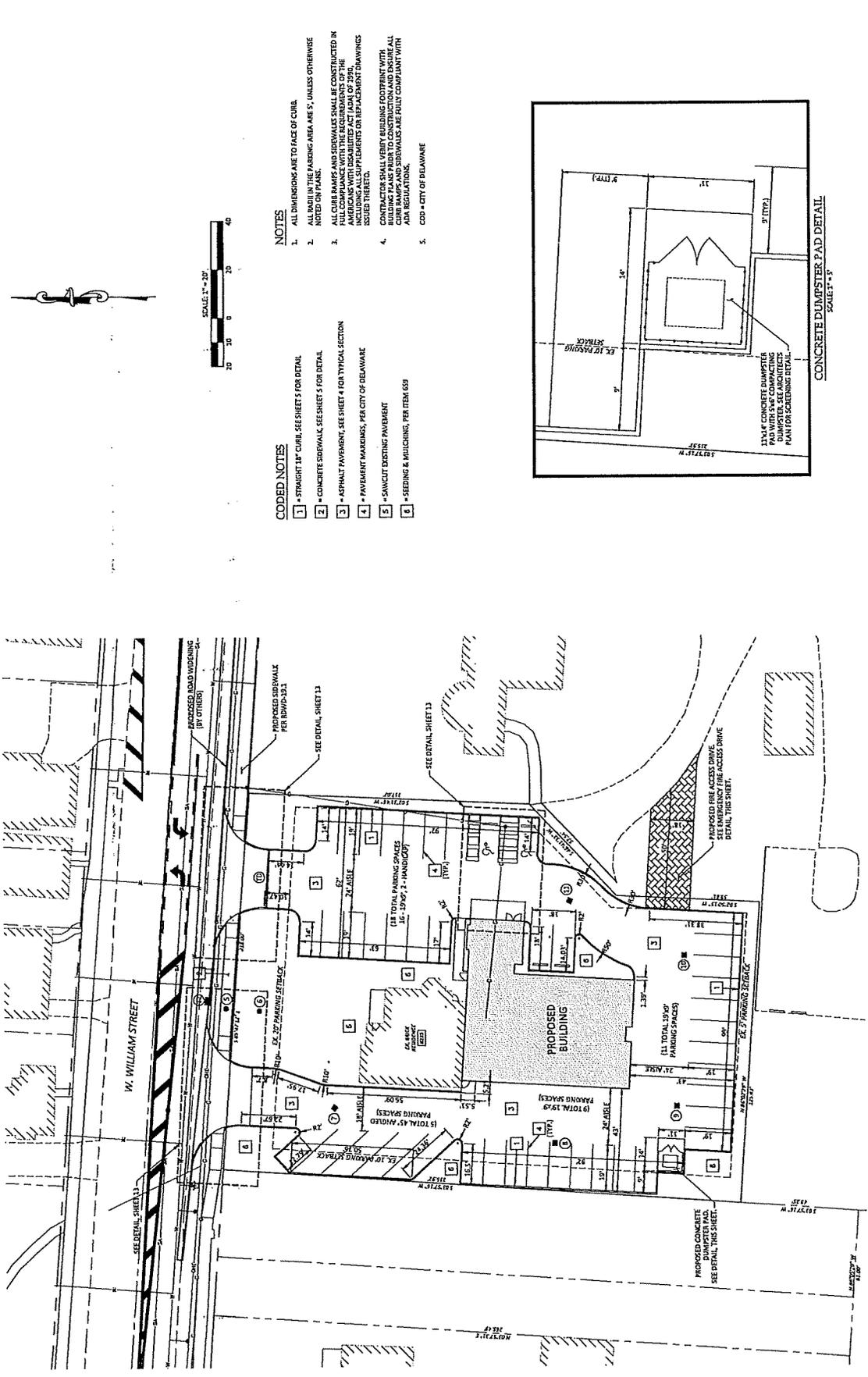




2019-0408
 Final Development Plan
 Wesleyan Inn - 235 West William Street
 Aerial (2016) Map

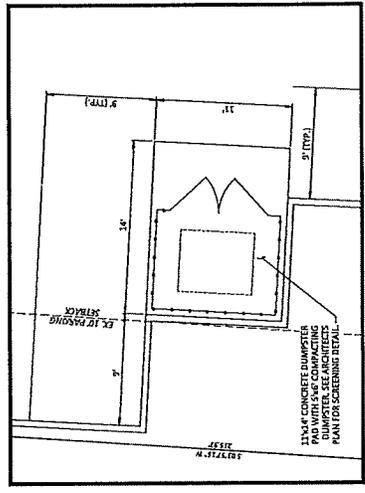
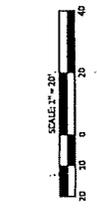


JOB NO.	1024
DRAWN BY	MMH
DESIGN BY	MMH
CHECKED BY	CHT
SHEET	

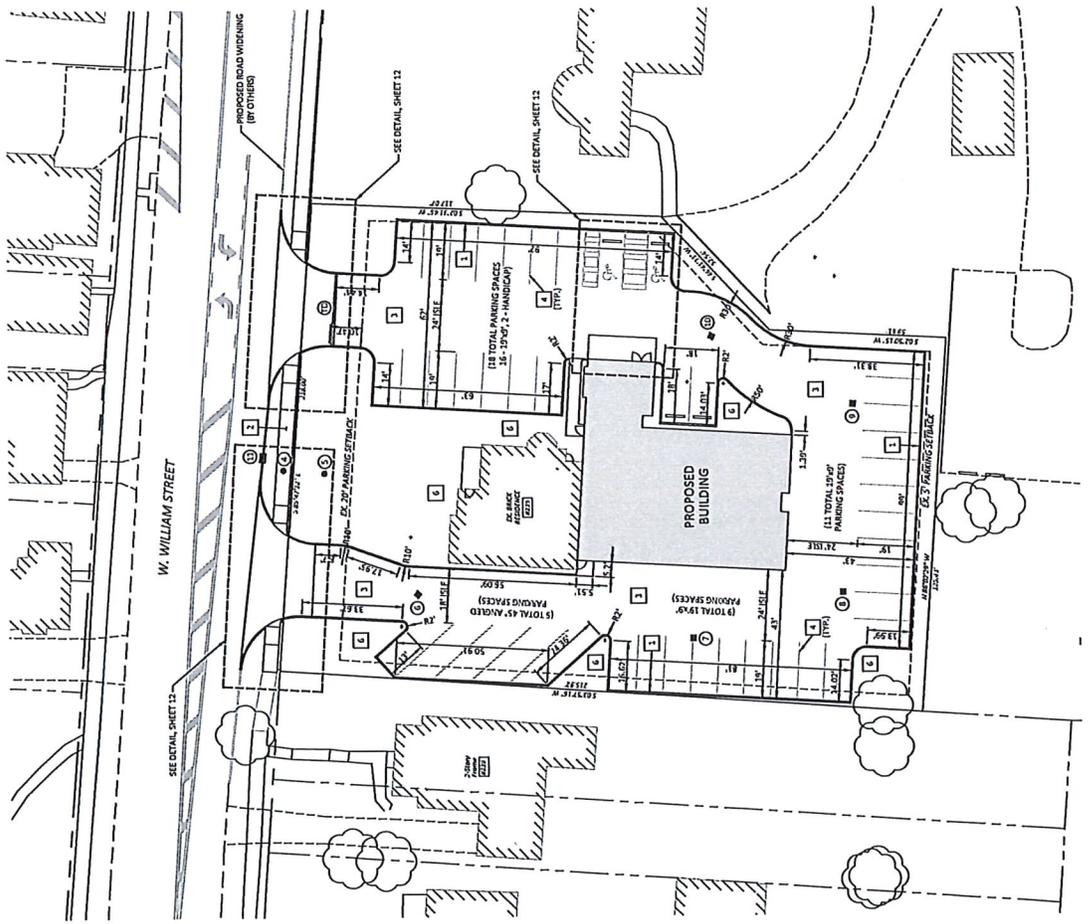


- NOTES**
1. ALL DIMENSIONS ARE TO FACE OF CURB.
 2. ALL CURB AND GUTTER PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AMERICAN ROAD & BUILDING BUILDING CODES (ARBC) AND THE AMERICAN ROAD & BUILDING BUILDING CODES (ARBC) SUPPLEMENTS OR REPLACEMENT DRAWINGS ISSUED THEREIN.
 3. CONTRACTOR SHALL VERIFY BUILDING FOOTPRINT WITH BUILDING PLANS PRIOR TO CONSTRUCTION AND ENSURE ALL CURB DAMPS AND SUBURVALS ARE FULLY COMPLIANT WITH ADA REGULATIONS.
 4. CDD - CITY OF DELAWARE

- CODED NOTES**
- 1 - STRAIGHT IP CURB, SEE SHEET 7 FOR DETAIL
 - 2 - CONCRETE SUBURVAL, SEE SHEET 5 FOR DETAIL
 - 3 - ASPHALT PAVEMENT, SEE SHEET 4 FOR TYPICAL SECTION
 - 4 - PAVEMENT MARKINGS, PER CITY OF DELAWARE
 - 5 - SAW CUT EXISTING PAVEMENT
 - 6 - SEEDING & MULCHING, PER ITEM 603



CONCRETE DUMPFSTER PAD DETAIL
 SHEET 7-1



CODED NOTES

- 1 = STRAIGHT 18" CURB, SEE SHEET 12 FOR DETAIL
- 2 = CONCRETE SIDEWALK, SEE SHEET 12 FOR DETAIL
- 3 = ASPHALT PAVEMENT, SEE SHEET 3 FOR TYPICAL SECTION
- 4 = PAVEMENT MARKINGS, PER CITY OF DELAWARE
- 5 = SAWCUT EXISTING PAVEMENT
- 6 = SEEDING & MULCHING, PER ITEM 639

NOTES

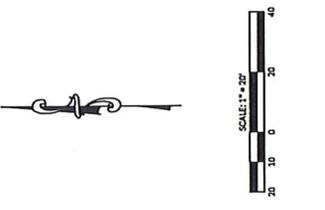
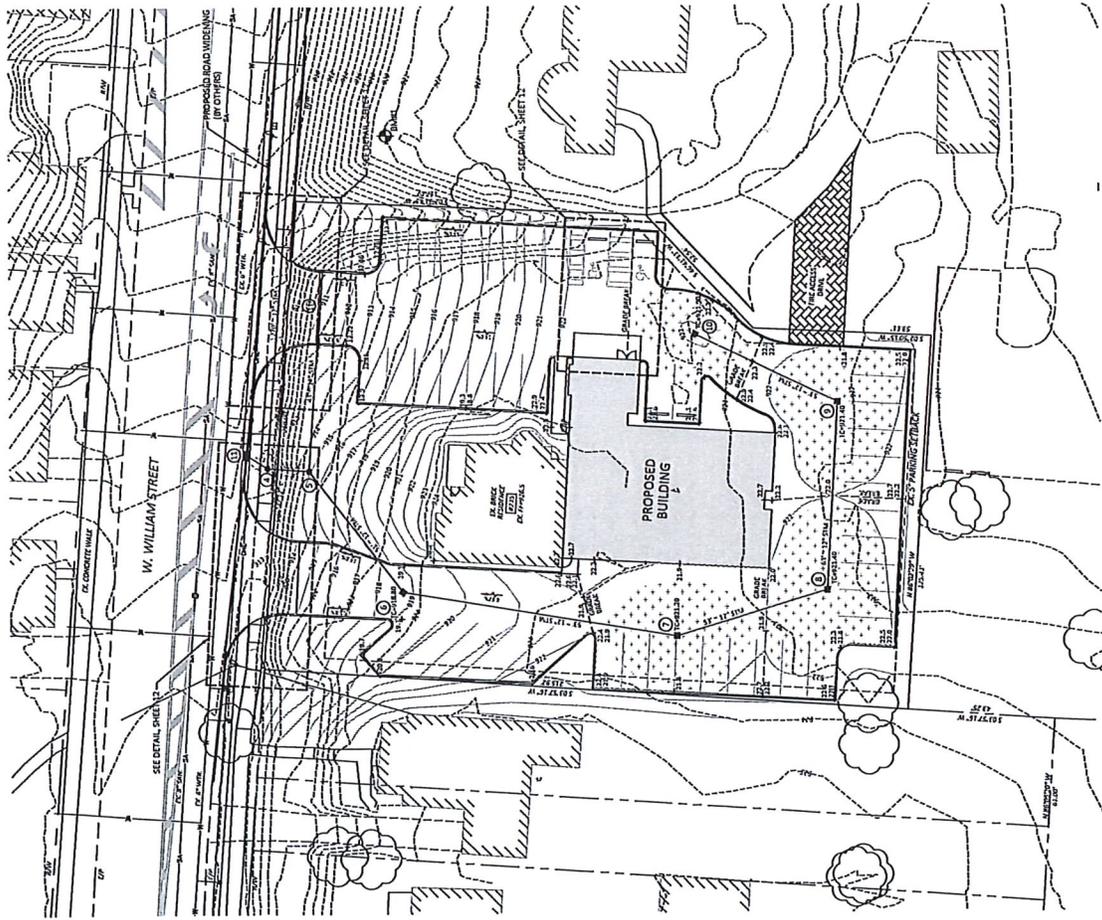
- 1. ALL DIMENSIONS ARE TO FACE OF CURB.
- 2. ALL BUILDINGS IN THE PARKING AREA ARE 5' UNLESS OTHERWISE NOTED ON PLANS.
- 3. COD - CITY OF DELAWARE

NOTE: PROPOSED DUMPSTER REFUSE AREA TO BE LOCATED INTERNALLY (SEE ARCHITECT'S PLAN FOR DETAIL)

STORM SEWER, GRADING AND PONDING PLAN
 WESLEYAN INN SITE
 235 W. WILLIAM STREET
 CITY OF DELAWARE, OHIO

REV.	DESCRIPTION

DIST. NO. 2023
 DRAWN BY MAM
 DESIGN BY MAM
 CHECKED BY DAT
 SHEET
8
 OF
 14



- LEGEND**
- PROPOSED PONDING LOT STORMWATER PONDING AREA.
- NOTES**
- 1. STORMWATER IS DETAINED IN THE PARKING LOT FOR UP TO THE 10-YEAR STORM.
 - 2. ADD 990 TO ALL PROPOSED ELEVATIONS TO MATCH EXISTING DATUM. D.C. 37.3 + 997.2
 - 3. MINIMUM SLOPE ON ASPHALT PAVEMENT - 2%
 - 4. MINIMUM SLOPE - 1%
 - 5. SIDEWALKS MINIMUM CROSS SLOPE - 2%
 - 6. MINIMUM RUNNING SLOPE - 5%
 - 7. SEE SHEET 13 FOR DETAILS.
 - 8. SEE SHEETS 4-11 FOR STORM SEWER PROFILE.
 - 9. ROOF DRAIN SLOPE 6" MIN. 2%, 8" D. MIN. 0.75%

PROJECT DATUM

HORIZONTAL DATUM: FOR THIS PROJECT IS OHIO STATE PLANE
 HORIZONTAL DATUM: FOR THIS PROJECT IS OHIO STATE PLANE
 COORDINATE SYSTEM, NORTH ZONE.

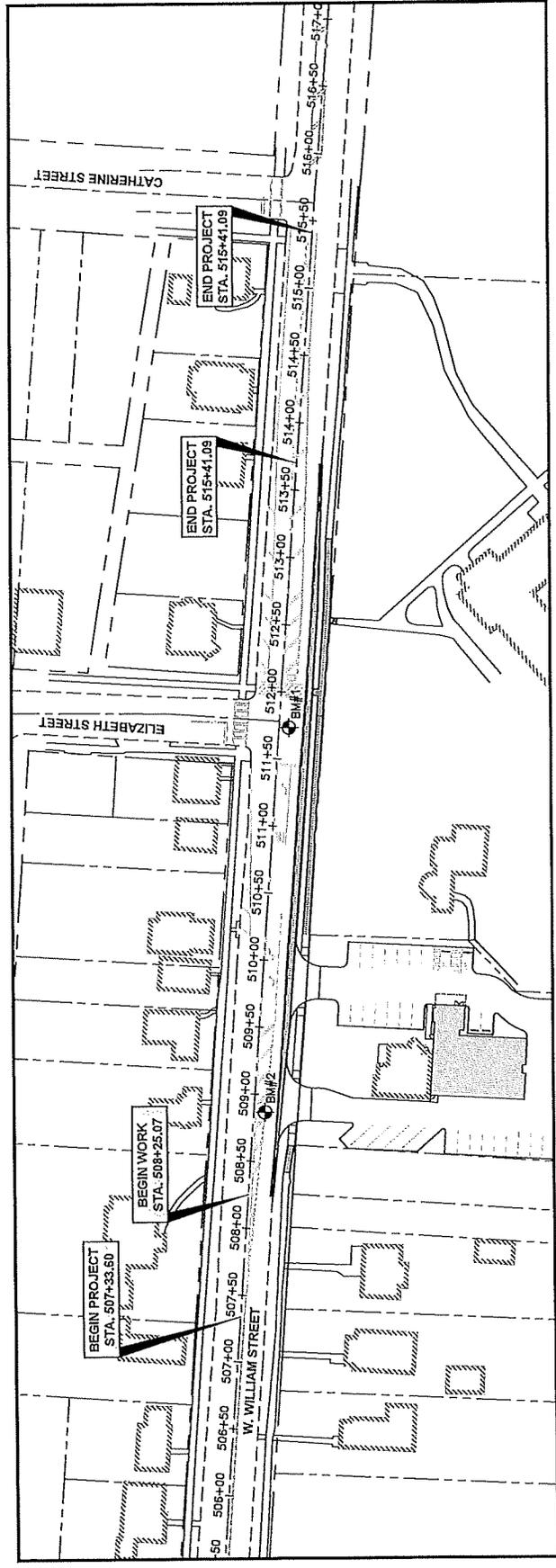
VERTICAL DATUM: FOR THIS PROJECT IS NAVD83.
 VERTICAL DATUM FOR THIS PROJECT IS NAVD83.

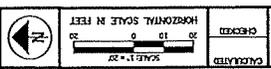
BENCHMARKS

BM#1: RIM OF SANITARY SEWER MANHOLE AT APPROXIMATE CENTERLINE
 INTERSECTION OF W. WILLIAM STREET AND ELIZABETH STREET.
 ELEVATION=900.41

BM#2: RIM OF SANITARY SEWER MANHOLE IN W. WILLIAM STREET, 290'
 WEST OF ELIZABETH STREET.
 ELEVATION=913.31

LINE TYPES	SYMBOLS
EXISTING FENCE	□
EXISTING GAS	○
EXISTING RIGHT-OF-WAY	—
EXISTING SANITARY SEWER	—
EXISTING SANITARY SEWER, FORCE MAIN	—
EXISTING WATER	—
EXISTING STORM SEWER	—
EXISTING UNDERGROUND TELEPHONE	—
EXISTING UNDERGROUND ELECTRIC	—
EXISTING OVERHEAD ELECTRIC WIRE	—
POWER POLE W/GUY WIRE & LIGHT POLE	—
EXISTING CATCH BASIN	□
EXISTING CURB INLET	□
EXISTING SANITARY MANHOLE	○
EXISTING FIRE HYDRANT	▽
EXISTING SIGN	—
EXISTING TREE W/SIZE	○
EXISTING SHRUB	○
EXISTING SHRUB ROW	—
EXISTING LIGHT POLE	—
EXISTING POWER POLE	—
EXISTING POWER POLE W/LIGHT	—
PROPOSED CATCH BASIN	□
PROPOSED MANHOLE	○
ABBREVIATIONS	
EXISTING EX
TOP OF CASTING TC
PROPOSED P
RIGHT-OF-WAY R/W
EDGE OF PAVEMENT E/P





PLAN AND PROFILE
WEST WILLIAM STREET IMPROVEMENTS

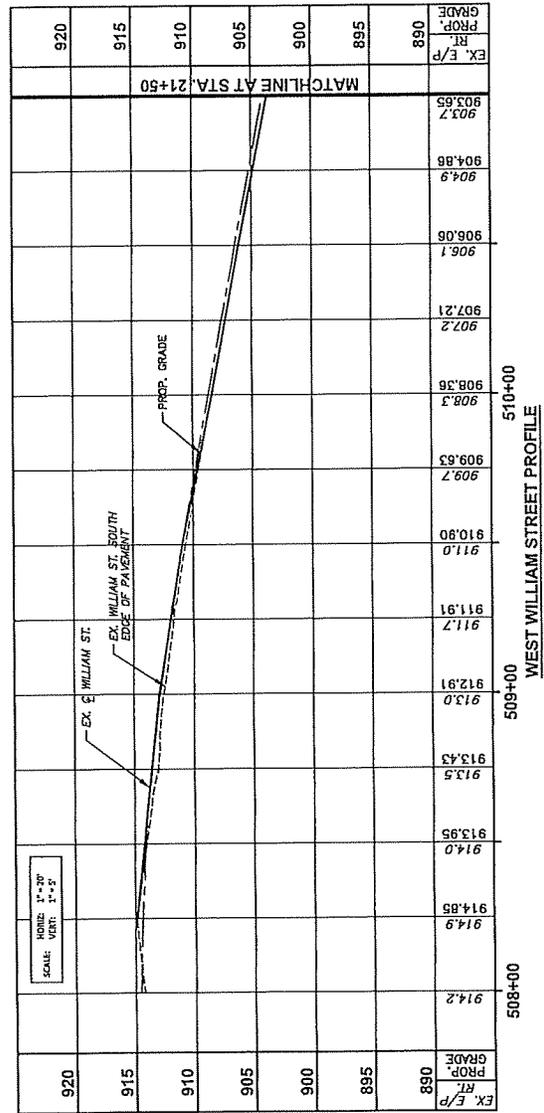
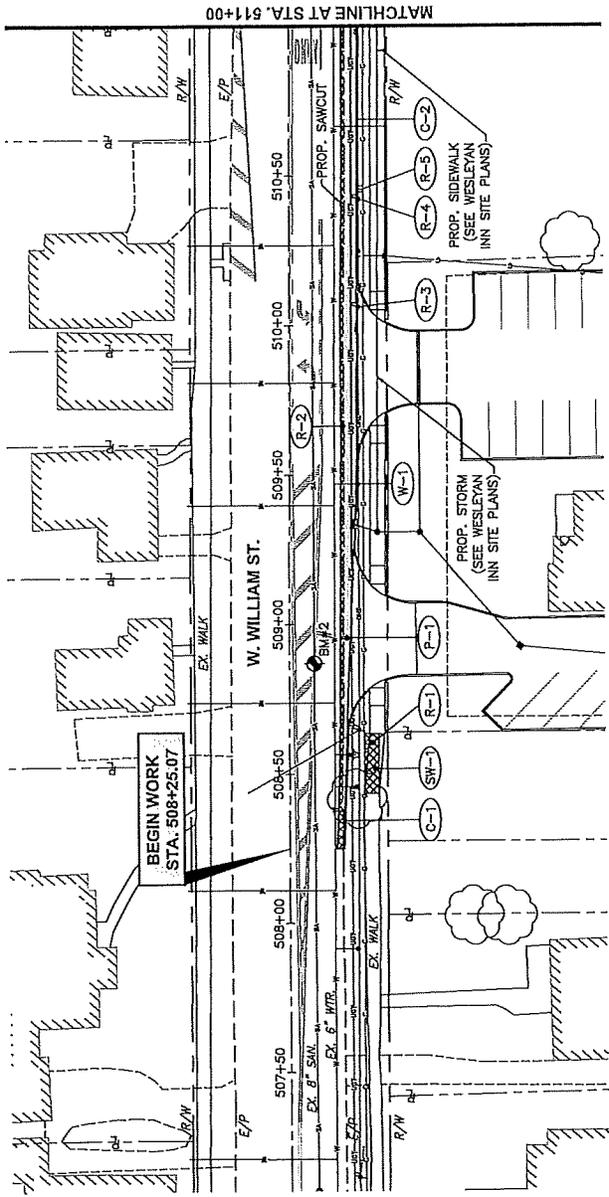
WESLEYAN INN
ROAD WIDENING



NOTE: THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THEIR DEPTHS AND LOCATIONS. THE CONTRACTOR SHALL CALL THE UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO WORK IN THE VICINITY OF THEIR UNDERGROUND FACILITIES.

LEGEND
 - EXISTING ASPHALT PAVEMENT/CONCRETE WALK TO BE REMOVED AND DISPOSED OF

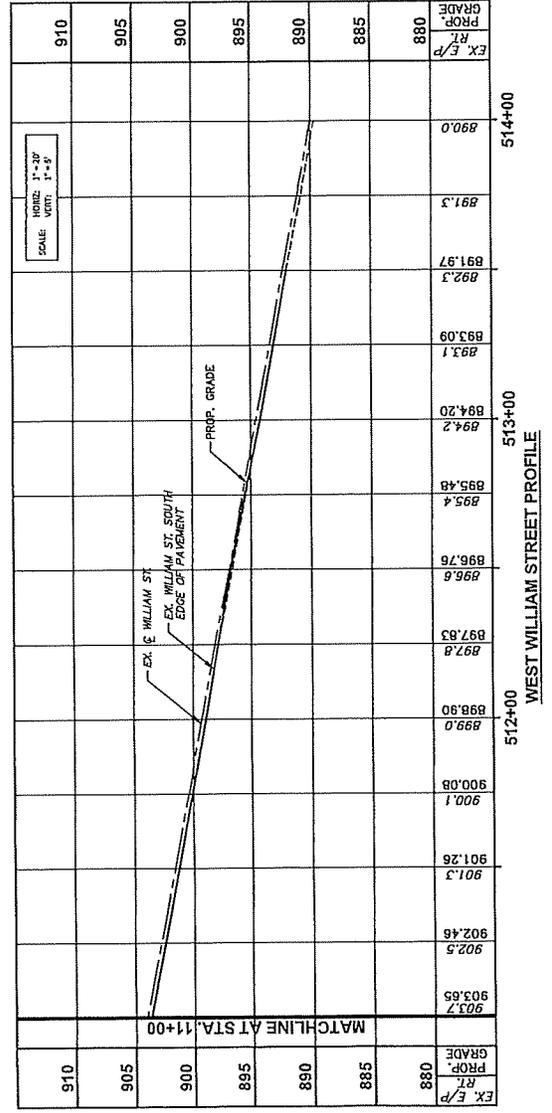
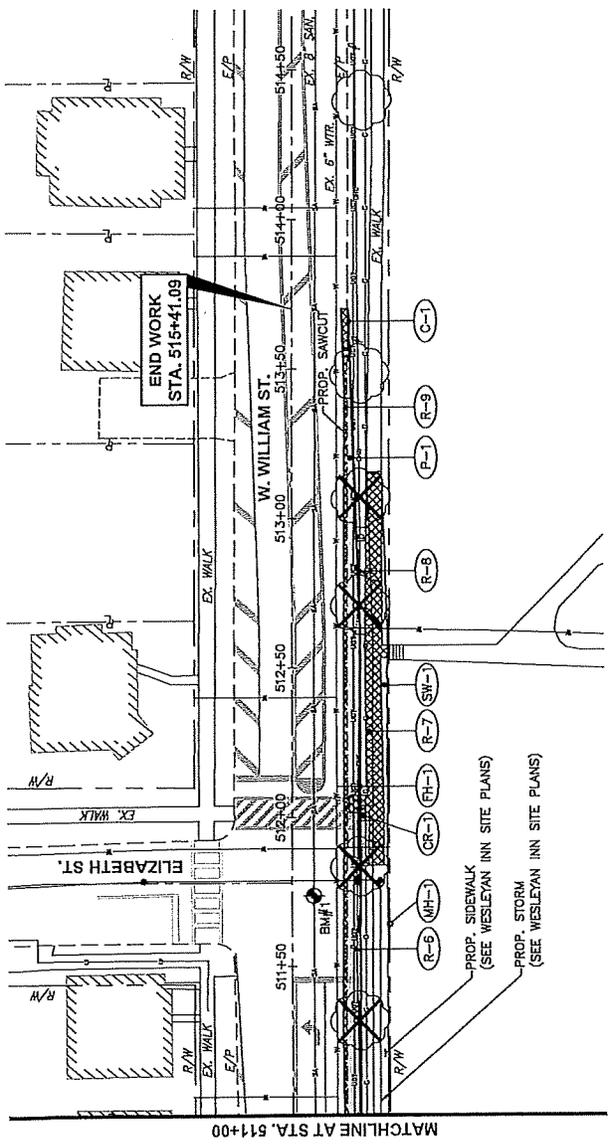
NO	STATION TO STATION	DESCRIPTION	UNIT	QTY	EST. QTY	EST. COST
C-1	508+25.07 TO 508+63.90	ASPHALT PAVEMENT REMOVED	SY	96		
C-2	510+17.92 TO 511+00	ASPHALT PAVEMENT REMOVED	SY	32		
P-1	508+25.07 TO 511+00	PAVEMENT REMOVED	EA	1		
R-1	508+43.47 TO 508+63.47	POLE REMOVED	EA	1		
R-2	508+25.07 TO 511+00	TELEPHONE PEDESTAL REMOVED	EA	1		
R-3	510+06	VALVE BOX ADJUSTED TO GRADE	EA	1		
R-4	510+46	CONCRETE WALK (4")	SF	101		
R-5	510+46	CONCRETE WALK (4")	SF	101		
SW-1	508+43.47 TO 508+63.47	STRAIGHT 18" CONCRETE CURB	LF	121		
W-1	509+47	6" AGGREGATE BASE	CY	22		
		5" ASPHALT AGGREGATE BASE	CY	22		
		2" ASPHALT CONCRETE TYPE 2, INTERMEDIATE BASE (MEDIUM TRAFFIC)	CY	22		
		1-1/2" ASPHALT CONCRETE TYPE 1 (MEDIUM TRAFFIC)	CY	6		
		6" AGGREGATE BASE	CY	22		
		5" ASPHALT AGGREGATE BASE	CY	22		
		SUBGRADE COMPACTION	SY	133		
		TELEPHONE PEDESTAL REMOVED	EA	1		
		POLE REMOVED	EA	1		
		PAVEMENT REMOVED	SY	32		
		SIDEWALK REMOVED	SF	96		
		STATION TO STATION				
		TOTAL TO GENERAL SUMMARY				



LEGEND

- (Symbol: Circle with an 'X') = REMOVE EXISTING TREE
- (Symbol: Hatched pattern) = EXISTING ASPHALT PAVEMENT/CONCRETE WALK TO BE REMOVED AND DISPOSED OF

NO	STATION TO STATION	SIDE	DESCRIPTION	UNIT	AMOUNT	REMARKS
C-1	511+00 TO 515+41.09	RT.	CR-1	511+98.92 TO 512+03.92	RT.	512+10
FH-1	512+10	RT.	511+64			
P-1	511+00 TO 515+41.09	RT.				
R-6	511+56	RT.				
R-7	511+84 TO 513+15.50	RT.				
R-8	512+82	RT.				
R-9	511+00 TO 515+41.09	RT.				
SW-1	511+84 TO 513+15.50	RT.				
TOTAL TO GENERAL SUMMARY						
751						
32						
2						
133						
23						
23						
6						
8						
1						
632						
48						
270						
1						



WILLIAM ST.



SHADE TREE CHOICES

- THORNLESS HONEYLOCUST
- * ELM HYBRIDS
- RED, WHITE, BLACK OAK
- SUGAR OR FREEMANS MAPLE
- HACKBERRY
- TULIP POPLAR
- HICKORY
- BLACK WALNUT
- * SWAMP WHITE OAK
- * LONDON PLANE TREE

EVERGREEN TREES/SHRUBS

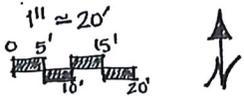
- NORWAY SPRUCE
- 'GREEN GIANT' ARBOVITAE
- ≥ 12' TALL EVERGREEN
- 'NIGRA' ARBOVITAE
- 6' TALL EVERGREEN
- 'WOODWARDII' ARBOVITAE
- 3' GLOBE EVERGREEN
- 'GRUNE KRUEEL' WESTERN ARB.
- 'HEIZ MIDGET' ARB. OR SIMILAR

UNDERSTORY/ORNAMENTAL TREES & SHRUBS

- DOGWOOD
- SERVICE BERRY
- REDBUD
- ARROWWOOD VIB.
- SMOOTH HYDRANGEA
- GROW-LOW SUMAC

ORNAMENTAL GRASS

- 'SHENANDOAH'
- RED SWITCH GRASS



LANDSCAPE PLAN

1	SHEET 1/1	WESLEYAN INN SITE, 235-239 W. WILLIAM ST.
	REVISIONS	DELAWARE, OHIO

URBAN WILD LTD
MAR. 2019
740 972-2337

CONCEPT: ADDITION TO BE ARCHITECTURALLY DISTINGUISHABLE AND MODERN, SO THAT NEW WORK AVOIDS CREATING A "FAKE" APPEARANCE THAT WOULD APPEAR TOO MASSIVE AND UNAUTHENTIC. THE GOAL IS TO JUXTAPOSE THE HISTORIC WITH CONTEMPORARY. MAKE THE ADDITION REcede INTO THE BACKGROUND, AND TO KEEP THE VISUAL FOCUS ON THE ORIGINAL HISTORIC BUILDING.

METAL FLASHING- 'MANSARD BROWN'

BRICK - 'TERRA COTTA'

BRICK- 'MANSARD BROWN'

FLAT ROOF TO REDUCE HEIGHT

+/-69'-5"

GLASS CONNECTOR

CLEAR GLASS, 'BRONZE' FRAMES

EXISTING ASPHALT SHINGLES - BROWN BLEND

'MANSARD BROWN' TRIM (TYP ALL TRIM, WINDOWS, FASCIA, SOFFITS, ETC.)

BRICK- 'RED/ORANGE' 2-3 SHADES DARKER THAN EXISTING BUILDING

ALUM WINDOWS CLEAR GLASS, 'BRONZE' FRAMES WITH MULLIONS

+/-36'-7"

+/-35'-6"

+/-43'-5"

EXISTING BRICK- RED/ORANGE BLEND

INDICATING ALLOW BASE OF BUILDING

SCALE: 1/4" = 1'-0" (SECTION TO MATCH EXISTING)

East Elevation

EXISTING BUILDING MATERIALS:
STONE FOUNDATION, ORANGE BRICK,
WOOD WINDOWS, PAINTED WOOD TRIM

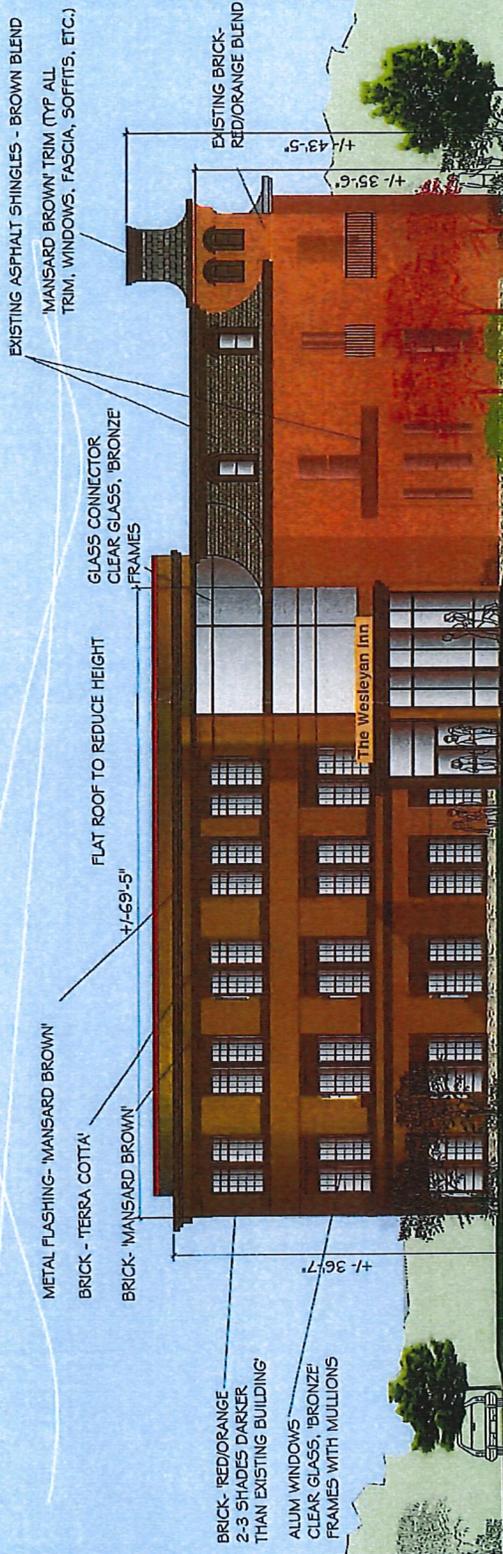
PAINT COLORS: MATCH OTADEL ARCHITECTURAL PRODUCTS, FINISH 500

The Wesleyan Inn

East
Elevation

A-1

CONCEPT: ADDITION TO BE ARCHITECTURALLY DISTINGUISHABLE AND MODERN, SO THAT NEW WORK AVOIDS CREATING A "FAKE" APPEARANCE THAT WOULD APPEAR TOO MASSIVE AND UNAUTHENTIC. THE GOAL IS TO JUNCTAPOSE THE HISTORIC WITH CONTEMPORARY. MAKE THE ADDITION RECEDE INTO THE BACKGROUND, AND TO KEEP THE VISUAL FOCUS ON THE ORIGINAL HISTORIC BUILDING.



METAL FLASHING- 'MANSARD BROWN'
 BRICK - 'TERRA COTTA'
 BRICK- 'MANSARD BROWN'

BRICK- RED/ORANGE
 2-3 SHADES DARKER
 THAN EXISTING BUILDING
 ALUM. WINDOWS
 CLEAR GLASS, 'BRONZE'
 FRAMES WITH MULLIONS

East Elevation

The Wesleyan Inn

Canopy lettering

THE WESLEYAN INN

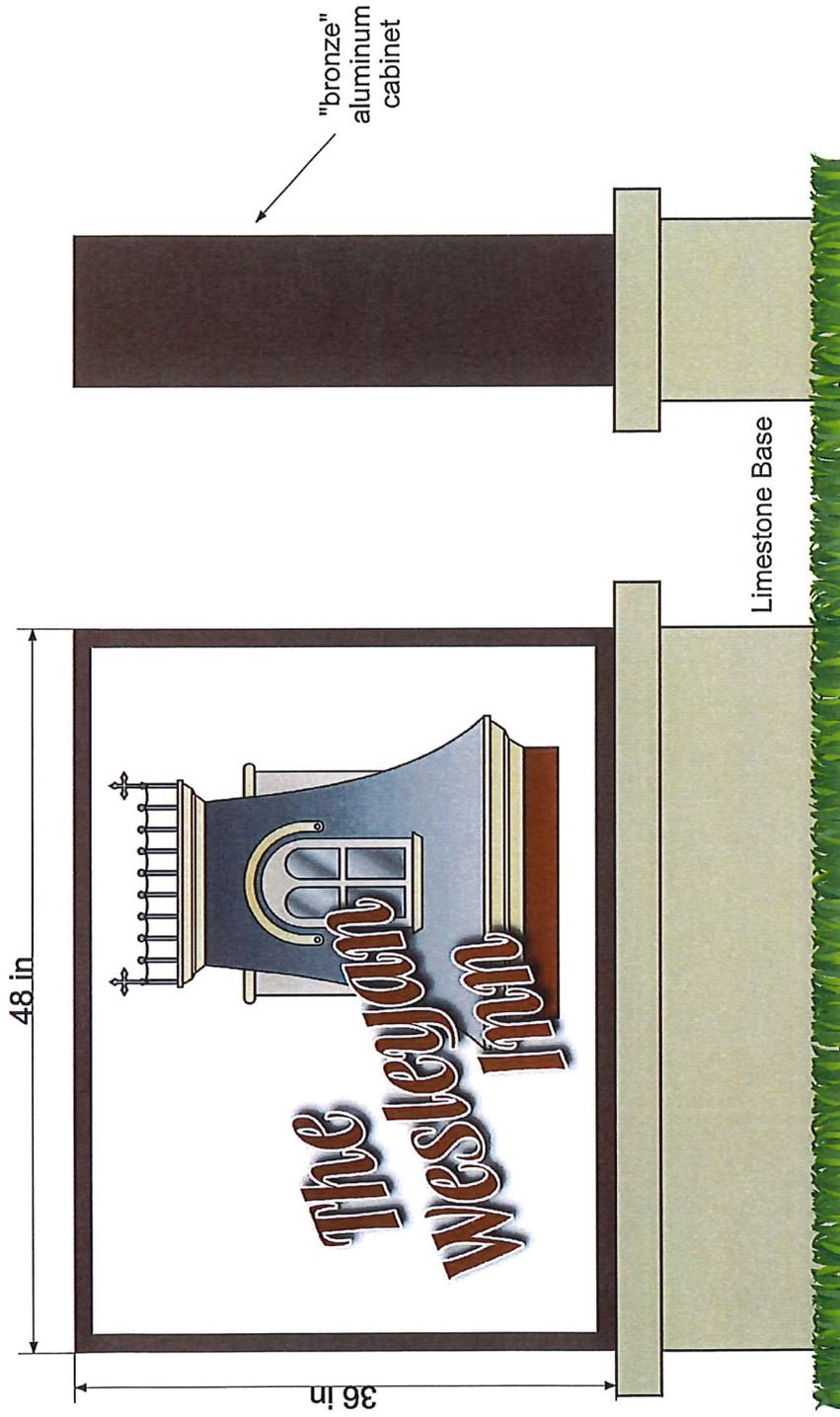
+/- 15'

East
 Elevation

A-1

12" Letters

Internally Lit Double-sided Sign
12 SF



All Drawings / Designs / Derivatives © LEHNER SIGNS, INC. All Rights Reserved.



Client:

James Manos

Project:

ORDER #-
235 W. William St.

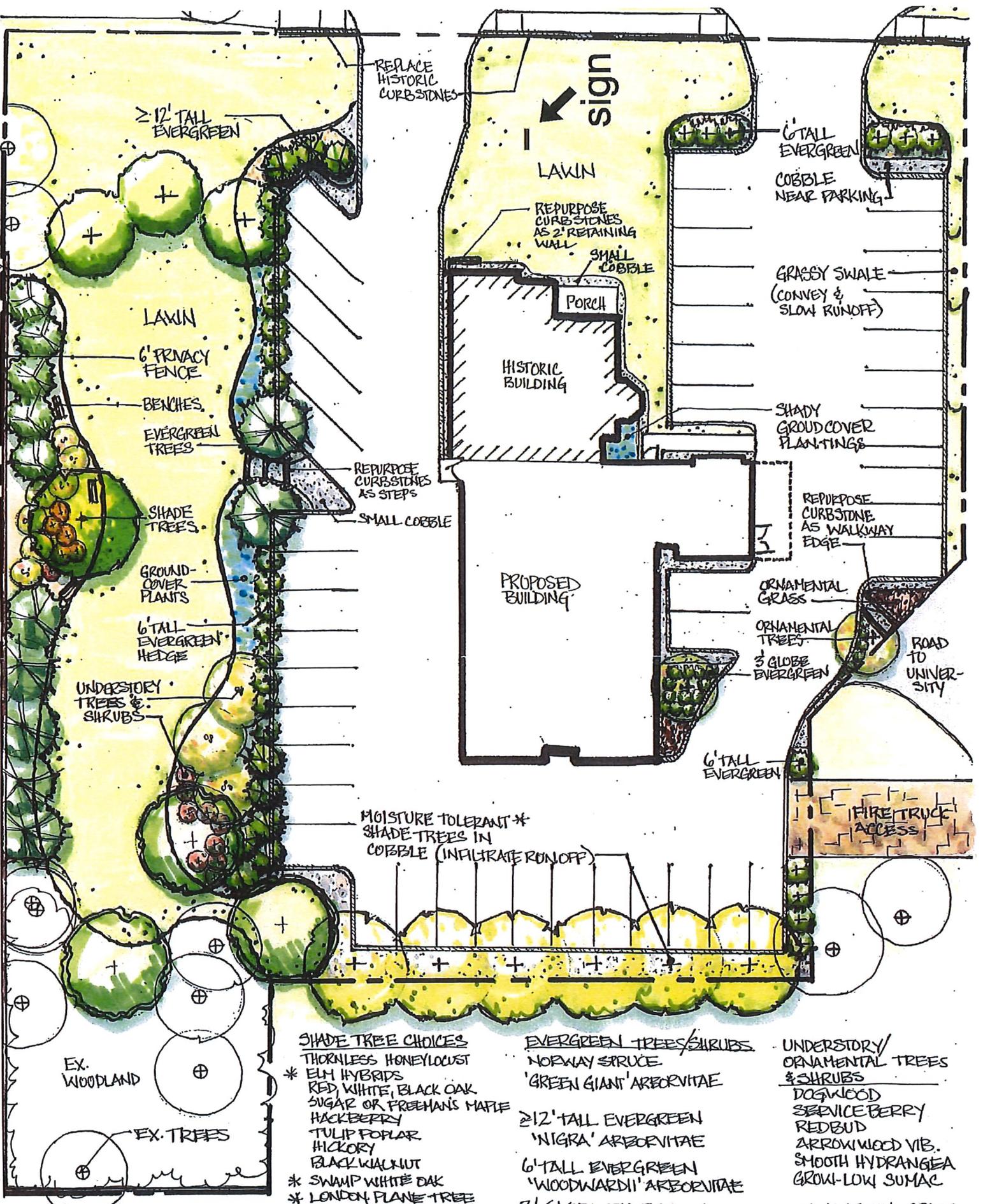
Notes:

Double-sided monument sign

Date:

3-20-19

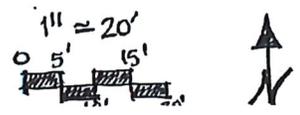
phone: (614) 258-0500 fax: (614) 258-0052 2983 Switzer Avenue Columbus, Ohio 43219



- SHADE TREE CHOICES**
 THORNLESS HONEYLOCUST
 * ELM HYBRIDS
 RED WHITE, BLACK OAK
 SUGAR OR FREEMAN'S MAPLE
 HACKBERRY
 TULIP POPLAR
 HICKORY
 BLACK WALNUT
 * SWAMP WHITE OAK
 * LONDON PLANE TREE

- EVERGREEN TREES / SHRUBS**
 NORWAY SPRUCE
 'GREEN GIANT' ARBOVITAE
 ≥ 12' TALL EVERGREEN
 'NIGRA' ARBOVITAE
 6' TALL EVERGREEN
 'WOODWARDII' ARBOVITAE
 3' GLOBE EVERGREEN
 'GRUNE KRUGEL' WESTERN ARB.
 'HETZ MIDGET' ARB. OR SIMILAR

- UNDERSTORY / ORNAMENTAL TREES & SHRUBS**
 DOGWOOD
 SERVICE BERRY
 REDBUD
 ARROWWOOD VIB.
 SMOOTH HYDRANGEA
 GROW-LOW SUMAC
ORNAMENTAL GRASS
 'SHENANDOAH'
 RED SWITCH GRASS



LANDSCAPE PLAN

Luminaire Schedule

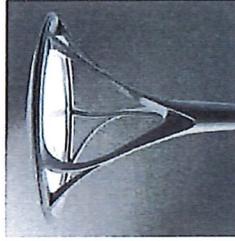
Symbol	Qty	Label	Arrangement	LF	Description	Lum. Watts	Lum. Lumens
⊙	1	AR2	STICKE	0-920	INVUE FARB-82-42P-01-T2	48	5194
⊙	4	AR3	STICKE	0-920	INVUE FARB-82-42P-01-T3	48	4524
⊙	1	AR4	STICKE	0-920	INVUE FARB 82 L2P 01 T4	48	4691
⊙	2	AR5	STICKE	0-920	INVUE FARB-82-42P-01-T5	41	4529

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Ang/Min	Max/Ax
PAVED LIT	ILLUMINATION	FC	1.21	4.4	0.1	12.10	49.02
PROPERTY LINC	ILLUMINATION	FC	0.04	0.3	0.0	N/A	N/A

NOTES:
 1. ALL CALC POINTS AT CORNER.
 2. FIXTURE MOUNTING HEIGHTS NOTED WITH LABEL.

F.I.C.N. Lighting solutions
Invue



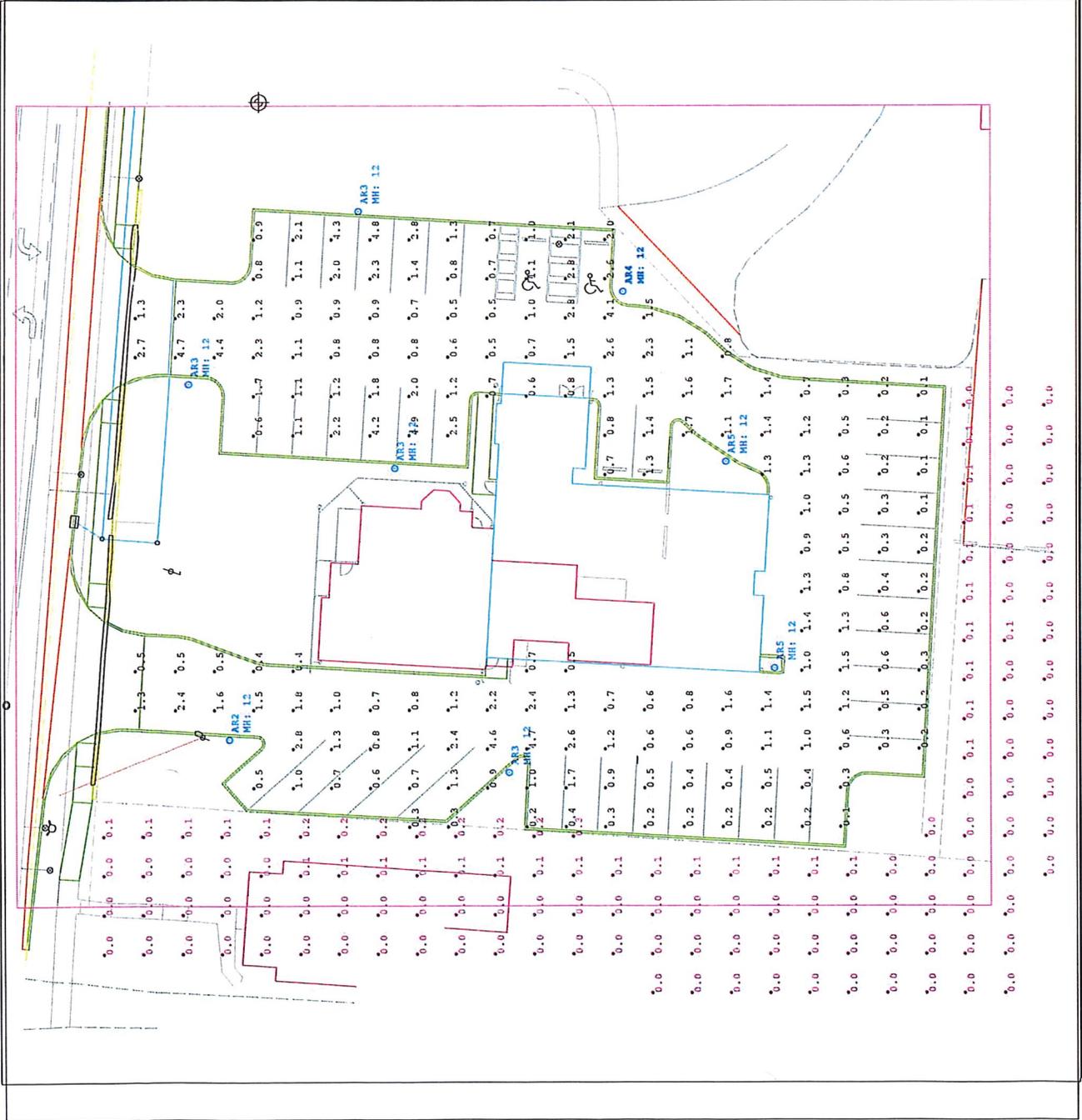
ARB SERIES

WESLEYAN INN
SITE LIGHTING ANALYSIS

PREPARED BY:



SPECTRUM LIGHTING
 700 TAYLOR AVE.
 COLUMBUS, OH 43219
www.spectrumohio.com



INTERNATIONAL DARK SKY ASSOCIATION

<http://darksky.org/>

Outdoor Lighting Basics

Modern society requires outdoor lighting for a variety of needs, including safety and commerce. IDA recognizes this but advocates that any required lighting be used wisely. To minimize the harmful effects of light pollution, lighting should

- Only be on when needed
- Only light the area that needs it
- Be no brighter than necessary
- Minimize blue light emissions
- Be fully shielded (pointing downward)

The illustration below provides an easy visual guide to understand the differences between unacceptable, unshielded light fixtures and those fully shielded fixtures that minimize skyglow, glare and light trespass.

Types of Light

Most people are familiar with incandescent or compact fluorescent bulbs for indoor lighting, but outdoor lighting usually makes use of different, more industrial, sources of light. Common light sources include low-pressure sodium ("LPS"), high-pressure sodium ("HPS"), metal halide and light emitting diodes ("LEDs").

LPS is very energy efficient but emits only a narrow spectrum of pumpkin-colored light that some find to be undesirable. Yet, LPS is an excellent choice for lighting near astronomical observatories and in some environmentally sensitive areas.

HPS is commonly used for street lighting in many cities. Although it still emits an orange-colored light, its coloring is more "true to life" than that of LPS.

In areas where it's necessary to use white light, two common choices are metal halide and LEDs. One of the advantages of LED lighting is that it can be dimmed. Thus, instead of always lighting an empty street or parking lot at full brightness, LEDs can be turned down, or even off, when they aren't needed and then brought back to full brightness as necessary. This feature both saves on energy and reduces light pollution during the night.

Because of their reported long life and energy efficiency, LEDs are rapidly coming into widespread use, replacing the existing lighting in many cities. However, there are important issues to consider when making such a conversion. See our [LED Practical Guide](#) for more information.

Color Matters

As the illustration above, it is crucial to have fully shielded lighting, but we now know that the color of light is also very important. Both LED and metal halide fixtures contain large amounts of blue light in their spectrum. Because blue light brightens the night sky more than any other color of light, it's important to minimize the amount emitted. Exposure to blue light at night has also been shown to harm [human health](#) and [endanger wildlife](#). IDA recommends using lighting that has a color temperature of no more than 3000 Kelvins.

Lighting with lower color temperatures has less blue in its spectrum and is referred to as being "warm." Higher color temperature sources of light are rich in blue light. IDA recommends that only warm light sources be used for outdoor lighting. This includes LPS, HPS and low-color-temperature LEDs. In some areas, the white light of even a low-color-temperature LED can be a threat to the local nighttime environment. In those cases, LPS or narrow-spectrum LEDs are preferred choices.

Outdoor Lighting Basics

Modern society requires outdoor lighting for a variety of needs, including safety and commerce. IDA recognizes this but advocates that any required lighting be used wisely. To minimize the harmful effects of light pollution, lighting should

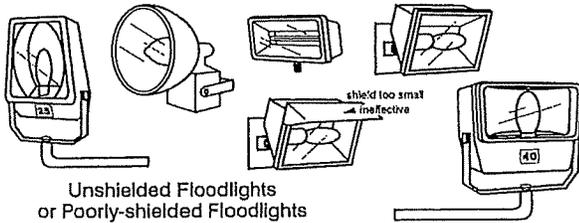
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The illustration below provides an easy visual guide to understand the differences between unacceptable, unshielded light fixtures and those fully shielded fixtures that minimize skyglow, glare and light trespass.

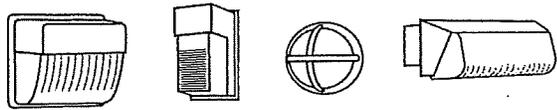
Examples of Acceptable / Unacceptable Lighting Fixtures

Unacceptable / Discouraged

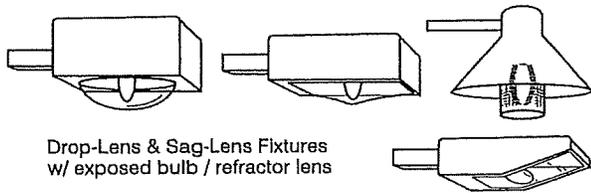
Fixtures that produce glare and light trespass



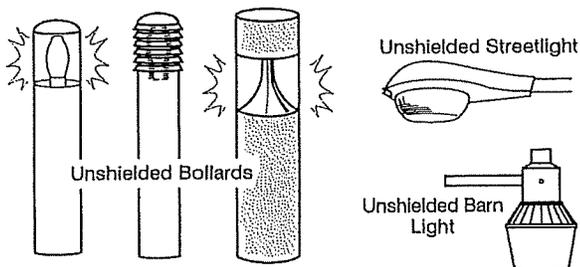
Unshielded Floodlights or Poorly-shielded Floodlights



Unshielded Wallpacks & Unshielded or Poorly-shielded Wall Mount Fixtures



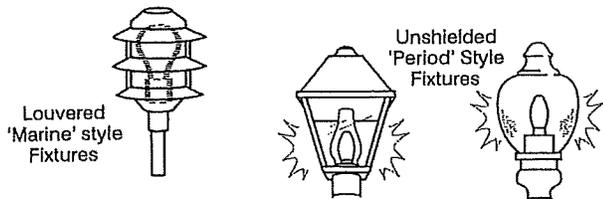
Drop-Lens & Sag-Lens Fixtures w/ exposed bulb / refractor lens



Unshielded Streetlight

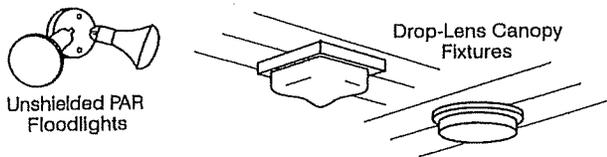
Unshielded Bollards

Unshielded Barn Light



Louvered 'Marine' style Fixtures

Unshielded 'Period' Style Fixtures

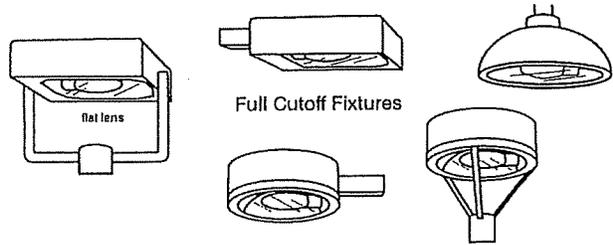


Unshielded PAR Floodlights

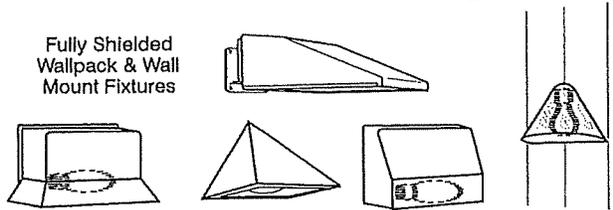
Drop-Lens Canopy Fixtures

Acceptable

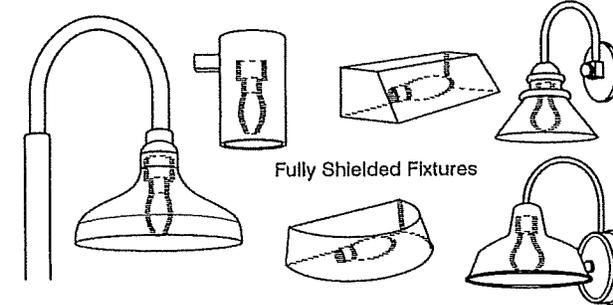
Fixtures that shield the light source to minimize glare and light trespass and to facilitate better vision at night



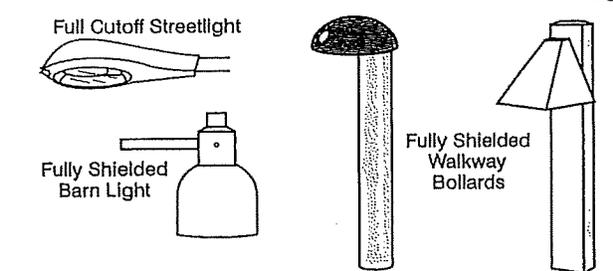
Full Cutoff Fixtures



Fully Shielded Wallpack & Wall Mount Fixtures



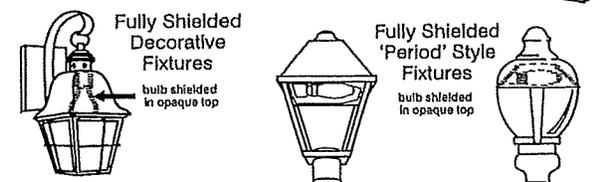
Fully Shielded Fixtures



Full Cutoff Streetlight

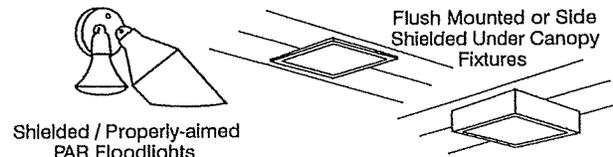
Fully Shielded Barn Light

Fully Shielded Walkway Bollards



Fully Shielded Decorative Fixtures

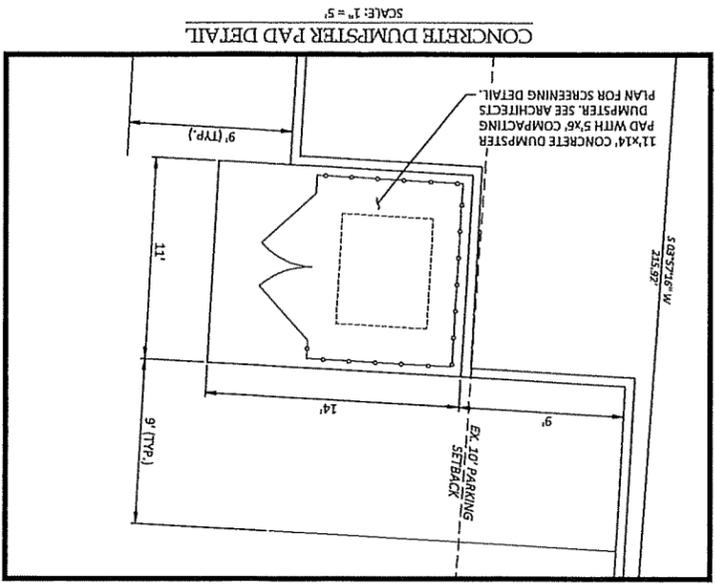
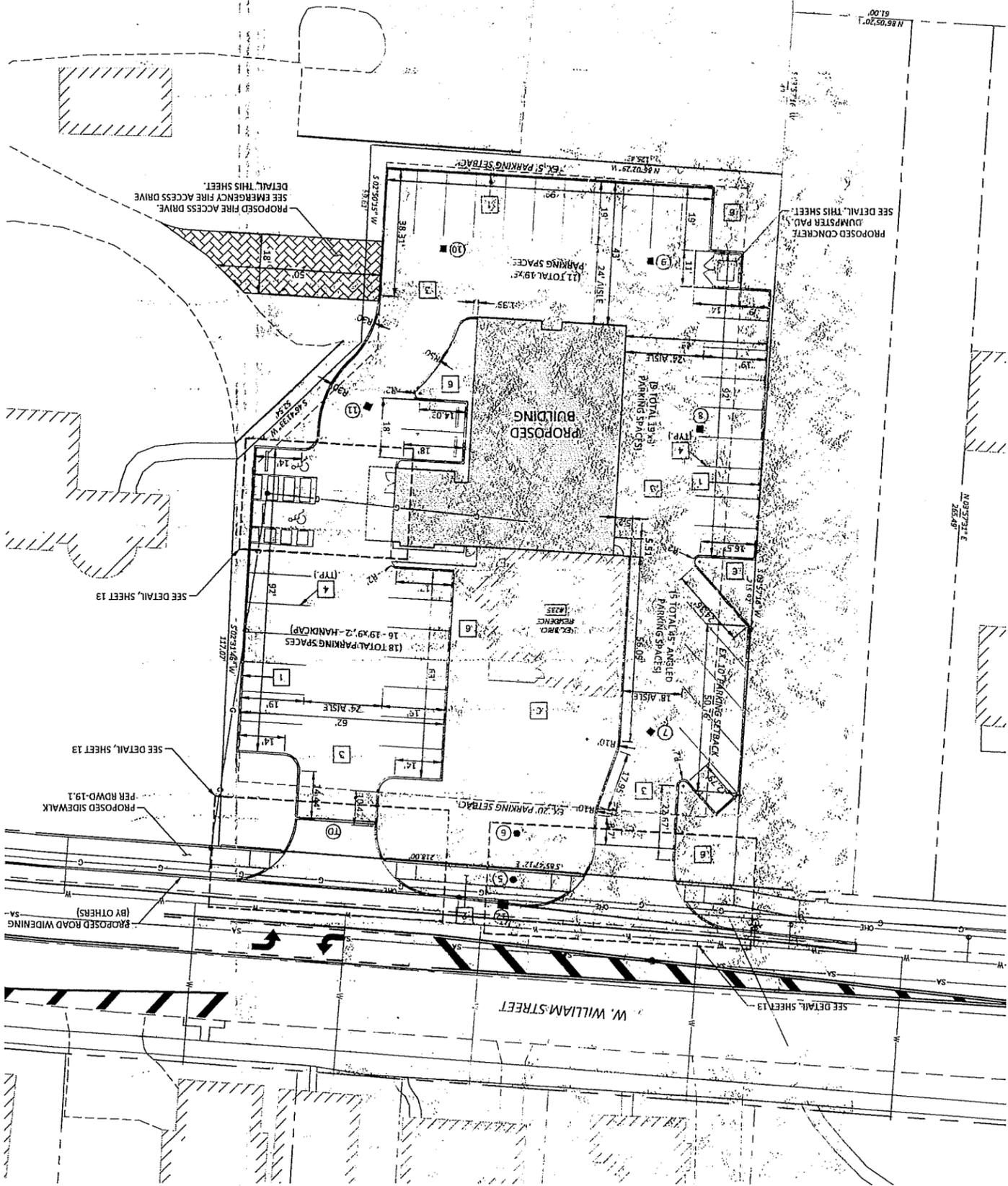
Fully Shielded 'Period' Style Fixtures



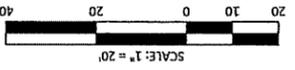
Shielded / Properly-aimed PAR Floodlights

Flush Mounted or Side Shielded Under Canopy Fixtures

Illustrations by Bob Crellin © 2005. Rendered for the Town of Southampton, NY. Used with permission.



- CODED NOTES**
- 1 = STRAIGHT 18" CURB, SEE SHEET 5 FOR DETAIL
 - 2 = CONCRETE SIDEWALK, SEE SHEET 5 FOR DETAIL
 - 3 = ASPHALT PAVEMENT, SEE SHEET 4 FOR TYPICAL SECTION
 - 4 = PAVEMENT MARKINGS, PER CITY OF DELAWARE
 - 5 = SAWCUT EXISTING PAVEMENT
 - 6 = SEEDING & MULCHING, PER ITEM 659
- NOTES**
- 1. ALL DIMENSIONS ARE TO FACE OF CURB.
 - 2. ALL RADII IN THE PARKING AREA ARE 5', UNLESS OTHERWISE NOTED ON PLANS.
 - 3. ALL CURB RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 1990, INCLUDING ALL SUPPLEMENTS OR REPLACEMENT DRAWINGS ISSUED THERE TO.
 - 4. CONTRACTOR SHALL VERIFY BUILDING FOOTPRINT WITH BUILDING PLANS PRIOR TO CONSTRUCTION AND ENSURE ALL CURB RAMPS AND SIDEWALKS ARE FULLY COMPLIANT WITH ADA REGULATIONS.
 - 5. COD = CITY OF DELAWARE



DUMPSTER PAD EXHIBIT
 WESLEYAN INN SITE
 235 W. WILLIAM STREET
 CITY OF DELAWARE, OHIO

JOB NO.	1024
DRAWN BY	MJM
DESIGN BY	MJM
CHECKED BY	CMT

SHEET 1

TBBB
CIVIL
ENGINEERING, LLC

5792 Gaelic Court
 Dublin, Ohio 43016
 Phone (614) 704-5878 • Chartered Civil Con

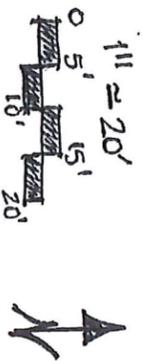
WILLIAM ST.



SHADE TREE CHOICES
 THORNLESS HONEYLOCUST
 * ELM HYBRIDS
 RED WHITE BLACK OAK
 SUGAR OR FREEMAN'S MAPLE
 HACKBERRY
 TULIP POPLAR
 HICKORY
 BLACK WALNUT
 SWAMP WHITE OAK
 * LONDON PLANE TREE

EVERGREEN TREES/SHRUBS
 NORWAY SPRUCE
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 2 1/2' TALL EVERGREEN
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 6' TALL EVERGREEN
 'WOODWARDII' ARBOVITAE
 3' GLOBE EVERGREEN
 'GRUNE KRUEBEL' WESTERN ARB.
 'HETZ MIDGET' ARB. OR SIMILAR

UNDERSTORY/
 ORNAMENTAL TREES
 & SHRUBS
 DOGWOOD
 SERVICE BERRY
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 ARROWWOOD VIB.
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 GROW-LOW SUMAC
 ORNAMENTAL GRASS
 'SHEWAN/DONAH'
 RED SWITCH GRASS

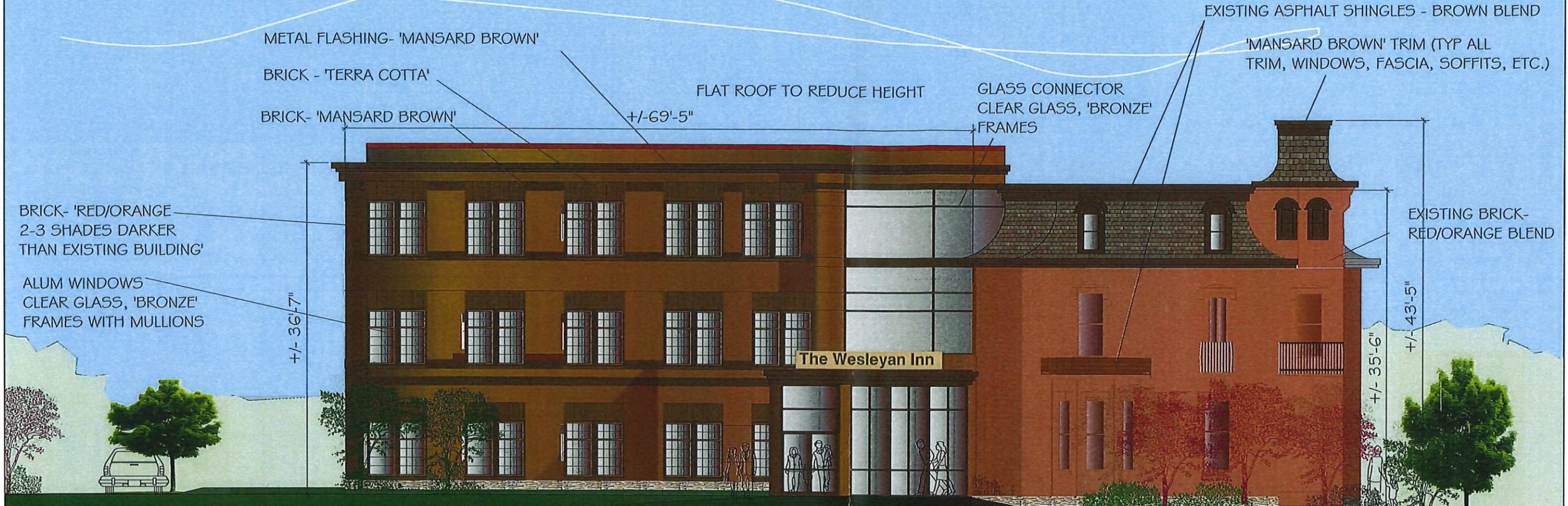


SHEET 1/A
 REVISIONS

LANDSCAPE PLAN
 WESLEYAN INN SITE, 235-239 W. WILLIAM ST.
 DELAWARE, OHIO

URBAN WILD LTD
 MAR. 2019
 740 972-2337

CONCEPT: ADDITION TO BE ARCHITECTURALLY DISTINGUISHABLE AND MODERN, SO THAT NEW WORK AVOIDS CREATING A "FAKE" APPEARANCE THAT WOULD APPEAR TOO MASSIVE AND UNAUTHENTIC. THE GOAL IS TO JUXTAPOSE THE HISTORIC WITH CONTEMPORARY, MAKE THE ADDITION RECEDE INTO THE BACKGROUND, AND TO KEEP THE VISUAL FOCUS ON THE ORIGINAL HISTORIC BUILDING.



LANDSCAPING ALONG BASE OF BUILDING

East Elevation

EXISTING BUILDING MATERIALS:
STONE FOUNDATION, ORANGE BRICK,
WOOD WINDOWS, PAINTED WOOD TRIM

PAINT COLORS- MATCH CITADEL ARCHITECTURAL PRODUCTS - KNAR 500

STONE AT BASE OF ADDITION TO MATCH EXISTING

The Wesleyan Inn

East
Elevation

A-1

Dear City Council Members,

I'm writing in response to the efforts of Manos Properties to impose an unwelcome hotel on our neighborhood. I'm deeply concerned by a notice I recently received for a "parking variance" on William Street.

We, the local residents, went to meeting after meeting over a period of months explaining that we do not want this hotel in our neighborhood. Yet over our wishes, it's going forward anyway.

I just got something in the mail saying yet again the developer wants a "parking variance." I will not accept ANY change to my property or the road in front of my house.

Consider this written notice that you do not have my consent. Wherever it's required, the answer is "no."

We already (allegedly?) settled the matter of dangerously widening our road. I thanked the City Council for rejecting that part of the plan but in truth, it should have never been on the table to begin with!

No one who takes even a glance at how close our homes are to the road would think it's remotely prudent or even sane to widen the road even more!

Why are you allowing this man to do this to our neighborhood? This is a residential area that is already bisected by a very busy street.

He bought a house, not a hotel. Now he wants a no-brand hotel where they won't even serve food? Why would anyone want to stay there?

No one actually believes that's the purpose. Manos lied on several matters right in front of everyone so we don't trust anything that man says. Nor should we.

Who would invest so much money in a hotel in this location? In a community that doesn't want it?

The City Council members say they can't do anything about this nor about the lovely old funeral home being demolished to put in a bank. Who would build a bank when the branches are going the way of the buggy?

Why would we sacrifice a gorgeous old building for some tacky, modern bank building we don't need?

The City already allowed the destruction of lovely historical neighborhoods on the south end of town. Now that area is full of tacky pharmacies, fast food joints, and other ramshackle, trashy businesses. It's very sad and you'd think no one would like to see something like that happen again.

Worse still, there are plenty of places for development on the South and East sides of town which are being ignored in favor of destroying our neighborhood instead.

How does that make any sense at all? Why not put businesses in the sections already destroyed?

What is it you think Delaware has that's so special? Because if you get rid of all the historical buildings and neighborhoods, the answer is **nothing**. It will be just another tacky suburb that's further out of Columbus and not worth the drive.

Are you paying attention to what's happening in our country? Young people want to live in historical, walkable neighborhoods. We already have what they want.

Housing prices in these neighborhoods keep going up and up. Because people want to live in town!

Once you destroy these neighborhoods, they are gone forever. They literally don't build things like this anymore.

Why can't the old neighborhoods simply be left alone? That should be your job. To protect our irreplaceable assets!

In fact, if anything, tax abatements should go to residents so we can fix up our homes. Instead of letting developers horn their way in over our objections to ruin the neighborhood we clearly love!

I have always paid my property taxes on time. This time I paid them on the very last day and was nearly charged a late fee. I never minded paying taxes before even though they're pretty high here but now?

Now I resent paying because I know I'm not represented. What "we the people" want doesn't make any difference at all. It's all about appeasing greedy developers!

If it's really true that City Council can't do anything to stop this outrageous destruction of our city's history, then we have bigger issues than this hotel. Maybe the first step is to empower yourselves?

I'm tired of feeling threatened by this project and ignored by my so-called "representatives." You have let us down and proven to me once and for all that democracy does not work. It's all about the money!

I do appreciate the council representatives who showed some genuine concern for us. I said "thank you" to them and I meant it. It was probably hard for them to even do the right thing when it came to nixing the road widening portion of this project.

But in the end, it seems no one cares that we don't want this and no one is going to stop it. My home is under threat, and for, this city will never be the same.

Please stop this project and start protecting our city from predatory development. Banks and hotels are not more important than people, or at least they shouldn't be.

Sincerely,

Cheryl Hutchinson
256 W William Street
Delaware, OH 43015
(614)260-0408



FACT SHEET

AGENDA ITEM NO: 14

DATE: 04/08/2019

ORDINANCE NO: 19-14

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: NO

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE FOR THE ROCKWELL COMPANY APPROVING A COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN FOR THE FOOD TRUCK DEPOT AT 59 POTTER STREET ON APPROXIMATELY 1.066 ACRES AND ZONED R-4 (GENERAL BUSINESS DISTRICT)

BACKGROUND:

See attached report

REASON WHY LEGISLATION IS NEEDED:

To achieve compliance with Section 1129.05 Final Development Plan requirements of the zoning code.

COMMITTEE RECOMMENDATION:

Planning Commission approved this case 7-0 on April 3, 2019.

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

David Efland, Planning and Community Development Director

RECOMMENDATION:

Staff recommends approval at first City Council reading to advance the project for economic development reasons as submitted with the documented conditions.

ATTACHMENT(S)

See attached

ORDINANCE NO. 19-14

AN ORDINANCE FOR THE ROCKWELL COMPANY APPROVING A COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN FOR THE FOOD TRUCK DEPOT AT 59 POTTER STREET ON APPROXIMATELY 1.066 ACRES AND ZONED R-4 (GENERAL BUSINESS DISTRICT).

WHEREAS, the Planning Commission at its meeting on April 3, 2019 recommended approval of a Combined Preliminary and Final Development Plan for The Rockwell Company for The Food Truck Depot at 59 Potter Street on approximately 1.066 acres and zoned R-4 (General Business District) (PC Case 2019-0415).

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Combined Preliminary and Final Development Plan for The Rockwell Company for The Food Truck Depot at 59 Potter Street on approximately 1.066 acres and zoned R-4 (General Business District), is hereby confirmed, approved, and accepted with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color.
3. The Applicant shall submit all building elevations along with material and color samples for all building materials for staff review and approval.
4. All mechanical equipment shall be screened from public view.
5. The lighting plan shall be reviewed and approved by the Chief Building Official and all lighting shall meet the requirements of the Planning & Zoning Code. The light fixtures shall be cut-off style and the light poles shall be black.
6. Any building and/or ground signage shall achieve compliance with the zoning code and the adopted Gateways and Corridor Plan.
7. Shrubs a minimum three feet high at installation shall be required adjacent to the parking lot fronting Winter Street and Potter Street.

8. The proposed development shall achieve compliance with the Board of Zoning Appeals approved conditions of March 13, 2019.
9. The existing 6 foot high fence shall be renovated to remove the razor wire top and shall be painted black. It shall encircle the outdoor bar area and extend south to almost Winter Street per the submitted plan.
10. The dumpster shall have a wood enclosure and doors to match the building and the exact location along Potter Street shall be coordinated with the City.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS___NAYS___
 ABSTAIN ___

PASSED: _____, 2019

YEAS___NAYS___
 ABSTAIN ___

ATTEST: _____
 CITY CLERK

 MAYOR



PLANNING COMMISSION / STAFF REPORT

CASE NUMBER: 2019-0415

REQUEST: Combined Preliminary & Final Development Plan

PROJECT: Food Truck Depot

MEETING DATE: April 3, 2019

APPLICANT/OWNER

The Rockwell Company
59 Potter Street
Delaware, Ohio 43015

REQUEST

2019-0415: A request by The Rockwell Company for approval of a Combined Preliminary and Final Development Plan for The Food Truck Depot at 59 Potter Street on approximately 1.066 acres and zoned R-4 (General Business District).

PROPERTY LOCATION & DESCRIPTION

The property at 59 Potter Street is zoned B-4 (General Business District) while the properties to the east are zoned B-3 (Community Business District). The properties to north, south and east are railroad right-of-way and are not zoned.

BACKGROUND/PROPOSAL

The owner purchased the property in 2018 and is proposing to renovate the building and convert the former historic railroad freight depot into a bar/restaurant with a 28 space parking lot and outdoor activities including two volleyball courts. In addition, the owner is proposing parking space for multiple food trucks shown on the plan in designated areas that would provide food service for the bar. On March 13, 2019 the Board of Zoning Appeals approved a variance to allow the subject owner to house multiple food trucks (including his) on the subject site throughout the year to provide food service for the bar. There could be many different varieties of trucks that come and go throughout the year but the presumption is that there would essentially always be some on the site.

STAFF ANALYSIS

- **ZONING:** As previously mentioned, the zoning for the subject site is B-4. Under the current zoning, the proposed bar/restaurant is a permitted use with approval of a Combined Preliminary and Final Development Plan by the Planning Commission and City Council.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND ACCESS:** The owner is proposing to construct a 26 space parking lot on the south side of the site with individual ingress and egress curbs cuts. Also the owner is proposing two parallel parking spaces in front of the building on Potter Street.
- **SITE CONFIGURATION:** The approximate 1.066 acre site currently has an approximately 2,670 square foot building that was constructed in 1873 per the Delaware County Auditor with the owner proposing to convert the former freight depot building into a bar/restaurant with wood deck on the west and south elevation overlooking outdoor activities. The outdoor activities include two volleyball courts on the western portion of the site, a grass area and approximately 140 linear feet of pavement to accommodate multiple food trucks along Potter Street and on the northern portion of the parking lot. A three foot high black aluminum fence would separate the food truck area from the interior open area of the bar/restaurant. As mentioned above a 26 space parking lot is located on the southern portion of the site with a retention basin located between the parking lot and Winter Street. An existing 6 foot high fence would be renovated to remove the razor wire top and to be painted black. It would encircle the outdoor bar area and extend south to almost Winter Street. The existing portion of the fence along Winter Street would be removed to allow for better pedestrian access. A

dumpster with a wood enclosure and doors to match the building would be fronting Potter Street near the main entrance with the exact location to be coordinated with the City.

- **BUILDING DESIGN:** The single story structure would be converted into a bar/restaurant with a new deck to be constructed on the south elevation and the deck on the west elevation would be resurfaced. The main entrance into the restaurant would be on the south elevation from the new deck and a second entrance would be on the west elevation from the existing deck. An existing door and window on both east and north elevations would be filled-in while a new door would be installed on the south elevation and two new windows on the west elevation. Also, a window on the west elevation would be filled-in. The existing wood siding would remain but at this time the owner doesn't know what color the building would be painted but it would be a neutral muted color. The pitched roof would have the existing shingles. All building appurtenances (coping, downspouts, etc.) should be painted to match the adjacent building color. Also, staff would require submittal of the color samples to ensure compliance is achieved at building permit approval.
- **TREE REMOVAL & REPLACEMENT:** There does not appear to be removal of any qualifying trees 6 inches in caliper or larger per the proposed plan. .
- **LANDSCAPING & SCREENING:** The applicant is proposing four street trees along Winter Street per code but none are required along Potter Street because there is no current tree lawn. There is one street tree along Central Avenue where there is a tree lawn but the tree lawn does not extend any further west. Per the landscape requirements, shrubs would be required adjacent to the parking lot fronting Winter Street and Potter Street. Staff would suggest creating a tree lawn in front of the proposed parking lot along Potter Street to install the required shrubs. Also, any mechanical equipment located on the site shall be buffered from public view by shrubs. The Shade Tree Commission would have to review and approve the landscape plans.
- **SIGNS:** The applicant is not proposing any ground and/or building signage in this application. Any ground or building signage would have to achieve compliance with the minimum zoning requirements and the adopted Gateways and Corridor Plan.
- **LIGHTING:** The applicant is proposing eight light poles throughout the parking lot, volley ball courts and grass area that would be 25 feet high with light fixtures that would be cut-off style. The light poles shall be black in color. All lighting must meet the requirements of the Planning & Zoning Code and be approved by the Chief Building Official.
- **OUTDOOR SOUND:** Because of the nature of the proposed outdoor uses, the Planning Commission may discuss the possibility of restricting the hours of operations of the subject use. However because of the location of the use along a commercial corridor adjacent to other similar uses coupled with the fact the B-4 zoning district allows outdoor activities without a Conditional Use Permit, staff would not support any hours and/noise restriction with the known facts of the proposal.

STAFF RECOMMENDATION (2019-0415 – COMBINED PRELIMINARY & FINAL DEVELOPMENT PLAN)

Staff recommends approval of a request by The Rockwell Company for a Combined Preliminary and Final Development Plan for The Food Truck Depot at 59 Potter Street on approximately 1.066 acres and zoned R-4 (General Business District), with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color.
3. The Applicant shall submit all building elevations along with material and color samples for all building materials for staff review and approval.
4. All mechanical equipment shall be screened from public view.
5. The lighting plan shall be reviewed and approved by the Chief Building Official and all lighting shall meet the requirements of the Planning & Zoning Code. The light fixtures shall be cut-off style and the light poles shall be black.

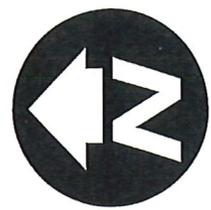
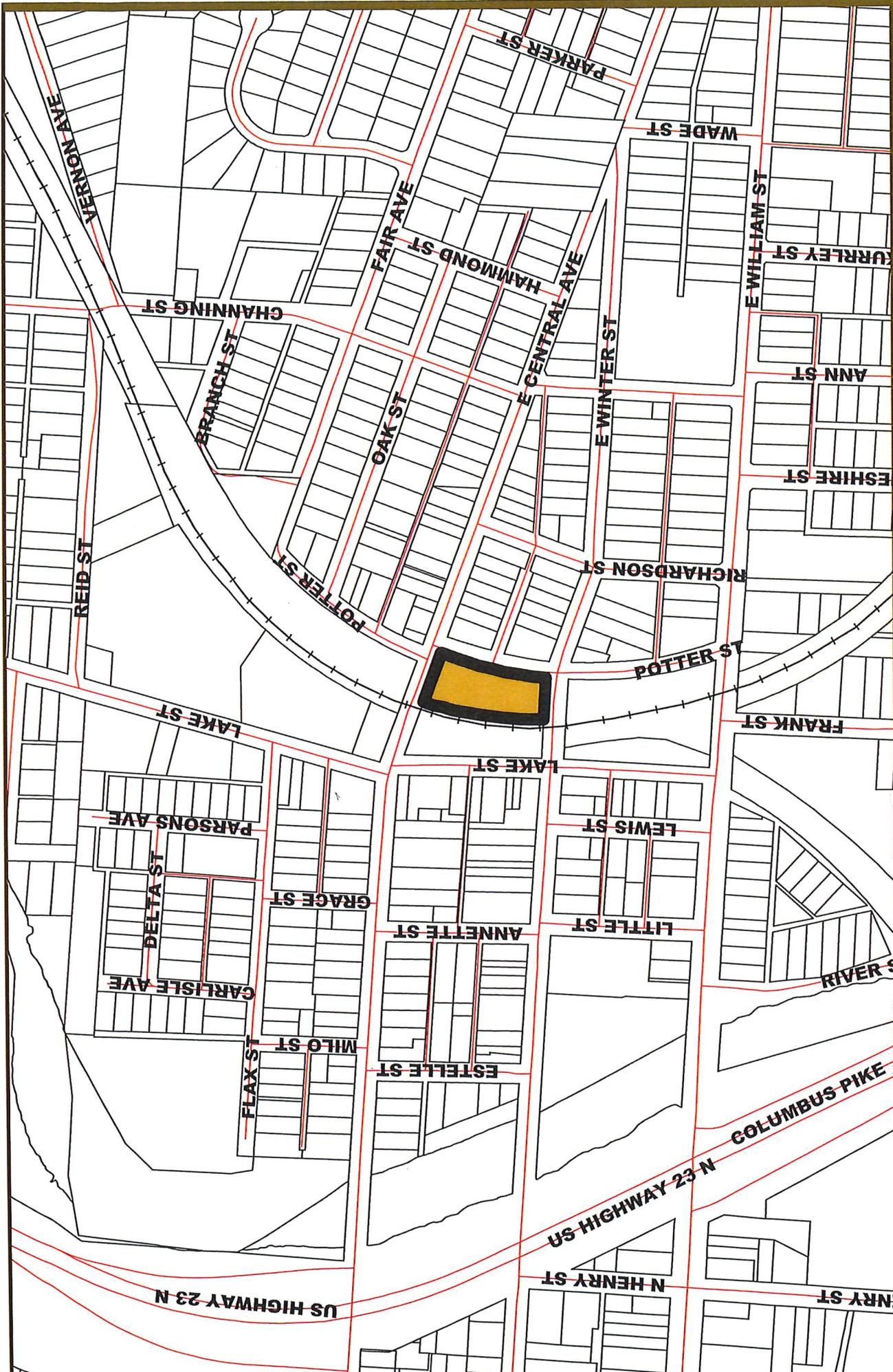
6. Any building and/or ground signage shall achieve compliance with the zoning code and the adopted Gateways and Corridor Plan.
7. Shrubs a minimum three feet high at installation shall be required adjacent to the parking lot fronting Winter Street and Potter Street.
8. The proposed development shall achieve compliance with the Board of Zoning Appeals approved conditions of March 13, 2019.
9. The existing 6 foot high fence shall be renovated to remove the razor wire top and shall be painted black. It shall encircle the outdoor bar area and extend south to almost Winter Street per the submitted plan.
10. The dumpster shall have a wood enclosure and doors to match the building and the exact location along Potter Street shall be coordinated with the City.

COMMISSION NOTES:

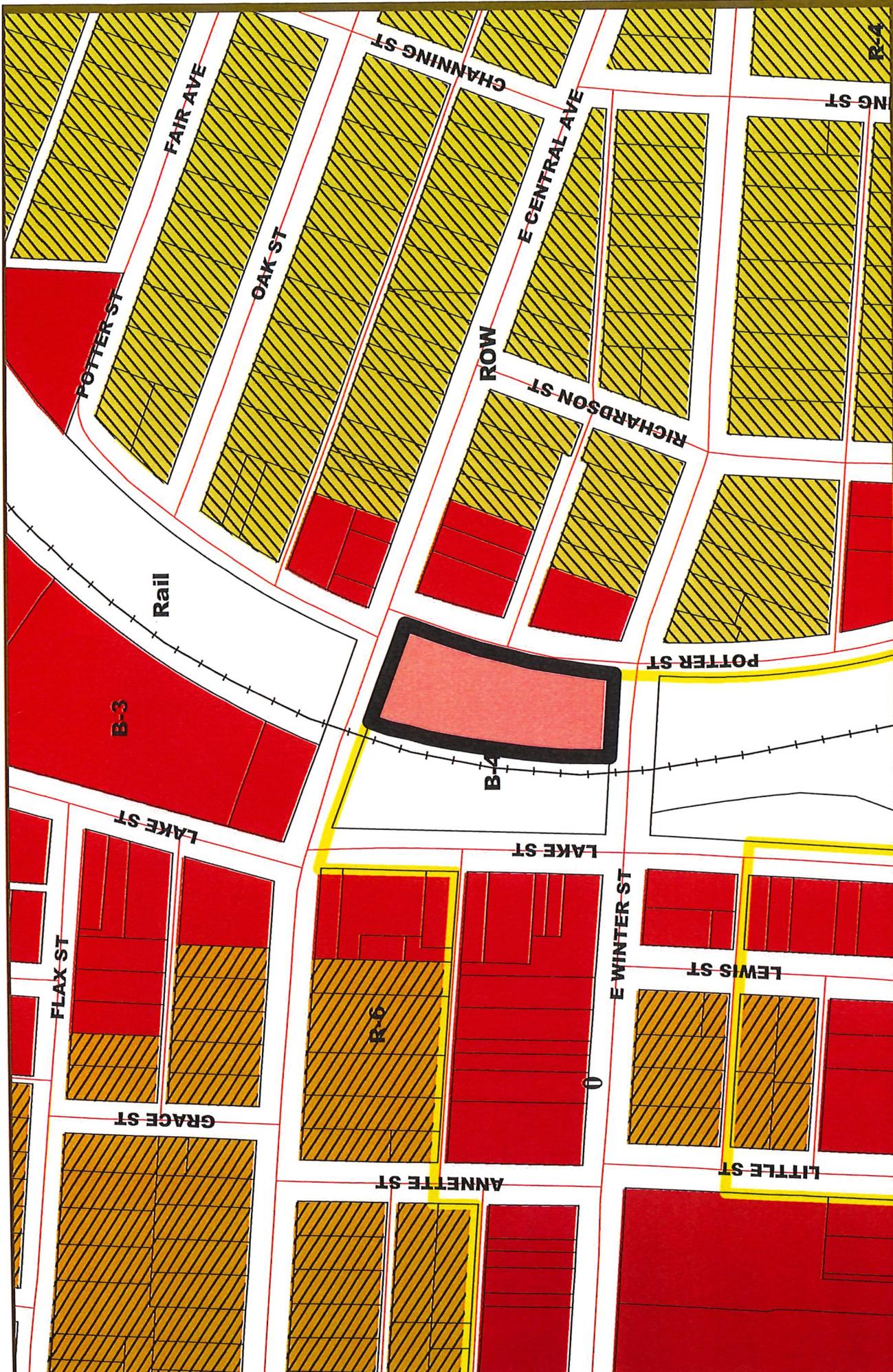
MOTION: _____ 1st _____ 2nd _____ approved _____ denied _____ tabled _____

CONDITIONS/MISCELLANEOUS:

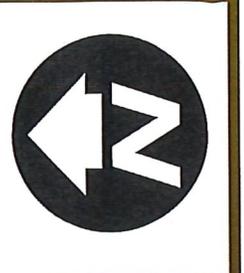
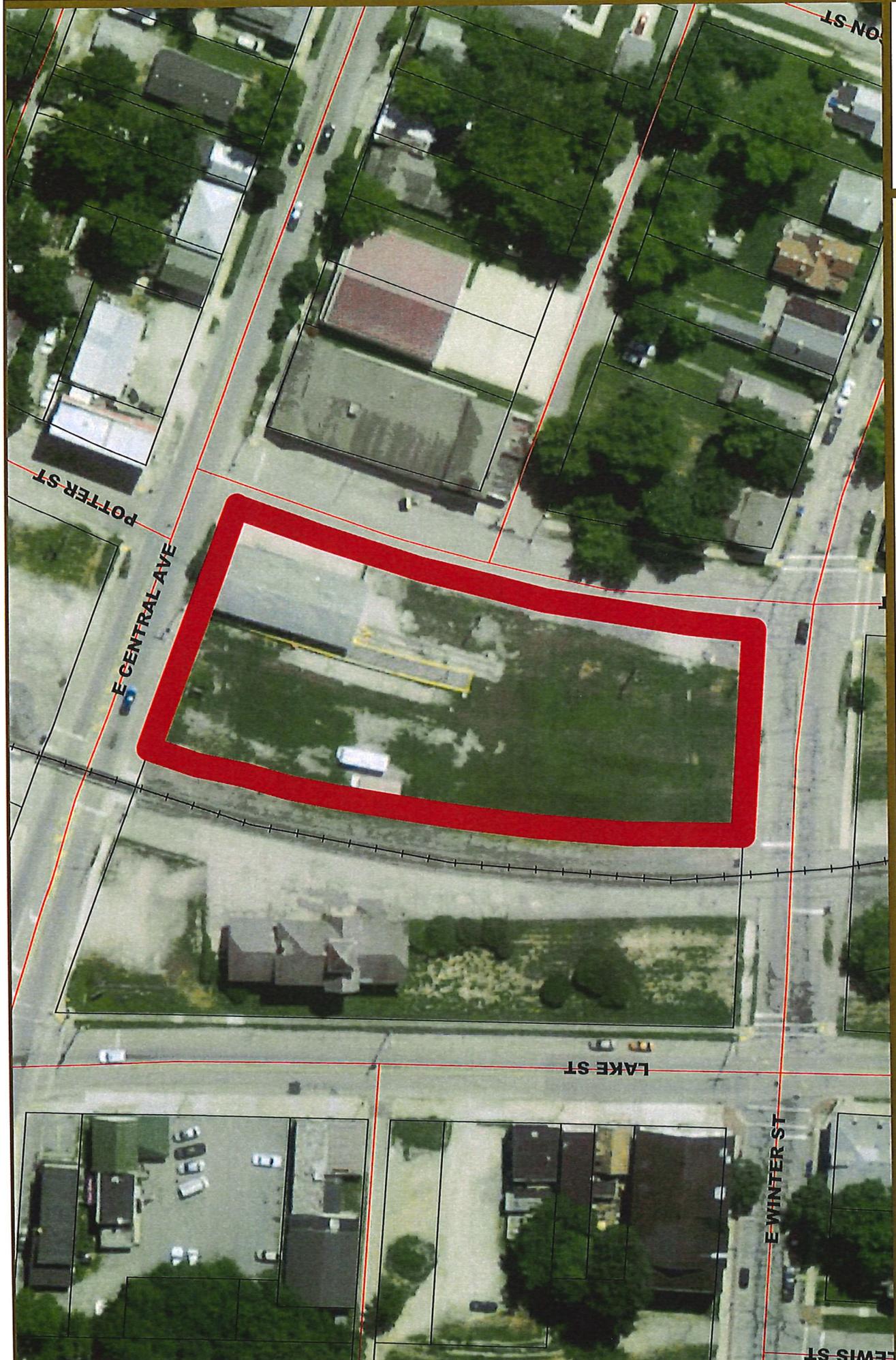
FILE:
ORIGINAL: 3/26/19
REVISED:



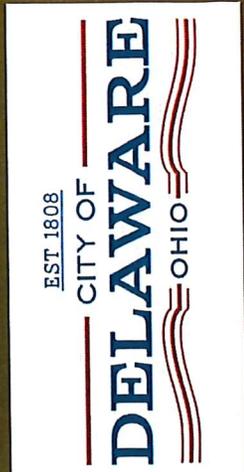
2019-0415
 Combined Preliminary and Final Development Plan
 Food Truck Depot - 59 Potter Street
 Location Map



2019-0415
 Combined Preliminary and Final Development Plan
 Food Truck Depot - 59 Potter Street
 Zoning Map

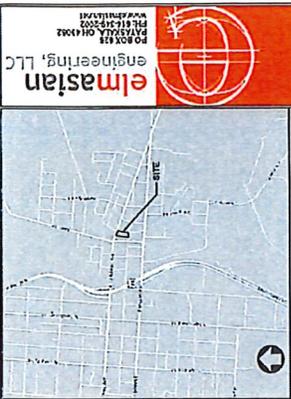


2019-0415
 Combined Preliminary and Final Development Plan
 Food Truck Depot - 59 Potter Street
 Aerial (2016) Map



SITE IMPROVEMENT PLANS FOR FOOD TRUCK DEPOT

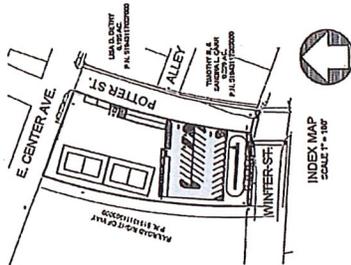
FARM LOT 11, SECTION 4, TOWNSHIP 5, RANGE 19, U.S.M.L.,
CITY OF DELAWARE, DELAWARE COUNTY, OHIO



- SHEET INDEX**
1. PLANS NOTED
 2. SITE DEVELOPMENT PLAN
 3. SITE UTILITIES PLAN
 4. GRADING PLAN
 5. EROSION AND SEDIMENT CONTROL PLAN
 6. EROSION AND SEDIMENT CONTROL DETAILS

STANDARD DRAWINGS
THE STANDARD DRAWINGS LISTED ON THIS PLAN SHALL BE CONSIDERED A PART THEREOF.

- DELAWARE
ELECTRICAL
ELECTRICAL
ELECTRICAL
ELECTRICAL
ELECTRICAL
ELECTRICAL
ELECTRICAL
ELECTRICAL
ELECTRICAL
ELECTRICAL



TITLE SHEET
FOOD TRUCK DEPOT
59 POTTER ROAD, DELAWARE, OH 43015

DATE	2/26/2019
SHEET NO.	N/A
OF	1 OF 7
FILE NO.	PL003

CITY OF DELAWARE APPROVAL:
THE CITY OF DELAWARE ENGINEERS INFRASTRUCTURE DESIGN GROUP FOR LAND DEVELOPMENT ACTIVITIES, THE STANDARD SPECIFICATIONS OF THE STATE OF OHIO AND THE CITY OF DELAWARE STANDARD SPECIFICATIONS SHALL APPLY TO ALL STANDARD DRAWINGS AND SUPPLEMENTAL SPECIFICATIONS SHALL OVERSEE THIS APPROVAL.
THE CITY OF DELAWARE ENGINEER ON THIS PLAN ACCEPTS ONLY CONCURRENCE WITH THE STANDARD SPECIFICATIONS OF THE STATE OF OHIO AND THE CITY OF DELAWARE STANDARD SPECIFICATIONS. THE CITY OF DELAWARE ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT OR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CITY OF DELAWARE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT OR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

CITY OF DELAWARE ENGINEER	DATE
REGISTERED PROFESSIONAL ENGINEER	DATE
NO.	DATE
841187	



NOTES: CONTRACTOR SHALL VERIFY ALL UTILITIES AND SHALL VERIFY ALL UTILITIES PRIOR TO EXCAVATION. THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL UTILITIES PRIOR TO EXCAVATION AND SUBMITTING HIS BID.
ALL ITEMS OF WORK CALLED FOR ON THIS PLAN FOR WHICH NO SPECIFIC METHOD OF PAYMENT IS INDICATED SHALL BE PERFORMED AT THE CONTRACTOR'S RISK AND AT THE COST OF SUCH WORK SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

ESTIMATE OF QUANTITIES

ITEM	UNIT	QUANTITY	DESCRIPTION
202	LF	302	FENCE REMOVED
202	LF	62	CHAIRGIRL REMOVED
202	EA	4	SKIN REMOVED
202	EA	2	SKIN RELOCATED
202	EA	1	POLE REMOVED
202	EA	1	PROVIDER FENCED DRIVE
202	EA	4	INLET PRODUCTION
202	EA	4	INLET PRODUCTION
202	EA	2	AGGREGATE BASE
202	EA	2	AGGREGATE BASE
202	EA	1	NON-INFORMED CONCRETE PAVEMENT
202	EA	1	MODIFIED 200D-100 202 CATCH BASIN
202	EA	1	MAINTENANCE TRAFFIC
202	EA	1	19 INCH HOPE STORNI SEWER PIPE WITH TYPE I BEDDING
991	LF	9	

Ohio Utilities Protection Service
Call Before You Dig
1-800-362-2764
Call before you dig to protect underground utilities and prevent service interruptions.

OWNER
DANA BUCKWELL
THE ROCKWELL COMPANY
10000 ROCKWELL BLVD.
COLUMBUS, OH 43240

ENGINEER
ELASTIC ENGINEERING, LLC
PO BOX 108
COLUMBUS, OH 43260

SURVEYOR
GARDNER SURVEYING, INC.
10000 ROCKWELL BLVD.
COLUMBUS, OH 43240

BENCHMARKS:
SITE BENCH MARK #1 - RAILROAD SPINE FOUND, ELEV=408.32
SITE BENCH MARK #2 - RAILROAD SPINE FOUND, ELEV=408.32
SITE BENCH MARK #3 - RAILROAD SPINE FOUND, ELEV=408.32

STATE PLANE COORDINATE SYSTEM: OHIO NORTH COORD. MGRS

EXISTING UTILITY NOTES

THE IDENTITY AND LOCATION OF THE EXISTING UNDERGROUND UTILITY FACILITIES KNOWN TO BE LOCATED IN THE CONTRACT AREA HAS BEEN VERIFIED BY THE DESIGN ENGINEER ASSIGNED NO RESPONSIBILITY AS TO THE ACCURACY OF THE UNDERGROUND FACILITIES SHOWN ON THIS PLAN. SUPPORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE FOR THE VARIOUS ITEMS.

THE CONTRACTOR SHALL CAUSE NOTICE TO BE GIVEN TO THE REGISTERED UNDERGROUND UTILITY PROTECTION SERVICE (OR FROM THE ISP AND WHO ARE NOT MEMBERS OF A REGISTERED UNDERGROUND UTILITY PROTECTION SERVICE) IN ACCORDANCE WITH SECTION 103.04 OF THE REVISED CODE. THE ABOVE MENTIONED NOTICE SHALL BE GIVEN AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

THE FOLLOWING UTILITY COMPANIES MAY HAVE FACILITIES LOCATED WITHIN THE PROJECT LIMITS:

UTILITY COMPANIES
GENERAL TELEPHONE COMPANY
550 LAUREL STREET
COLUMBUS, OHIO 43215
ATTENTION: WILLIAM HAETHER
(614) 338-2251

DELCO WATER COMPANY, INC.
550 LAUREL STREET
COLUMBUS, OHIO 43215
ATTENTION: SHANE CLARK, P.E.
(614) 348-7414

AMERICAN ELECTRIC POWER
COLUMBUS, OHIO 43215
ATTENTION: ROBERT LAWRENCE
(614) 348-1464

SUBURBAN NATURAL GAS
550 LAUREL STREET
COLUMBUS, OHIO 43215
ATTENTION: JAMES CLARK, P.E.
(614) 348-2429

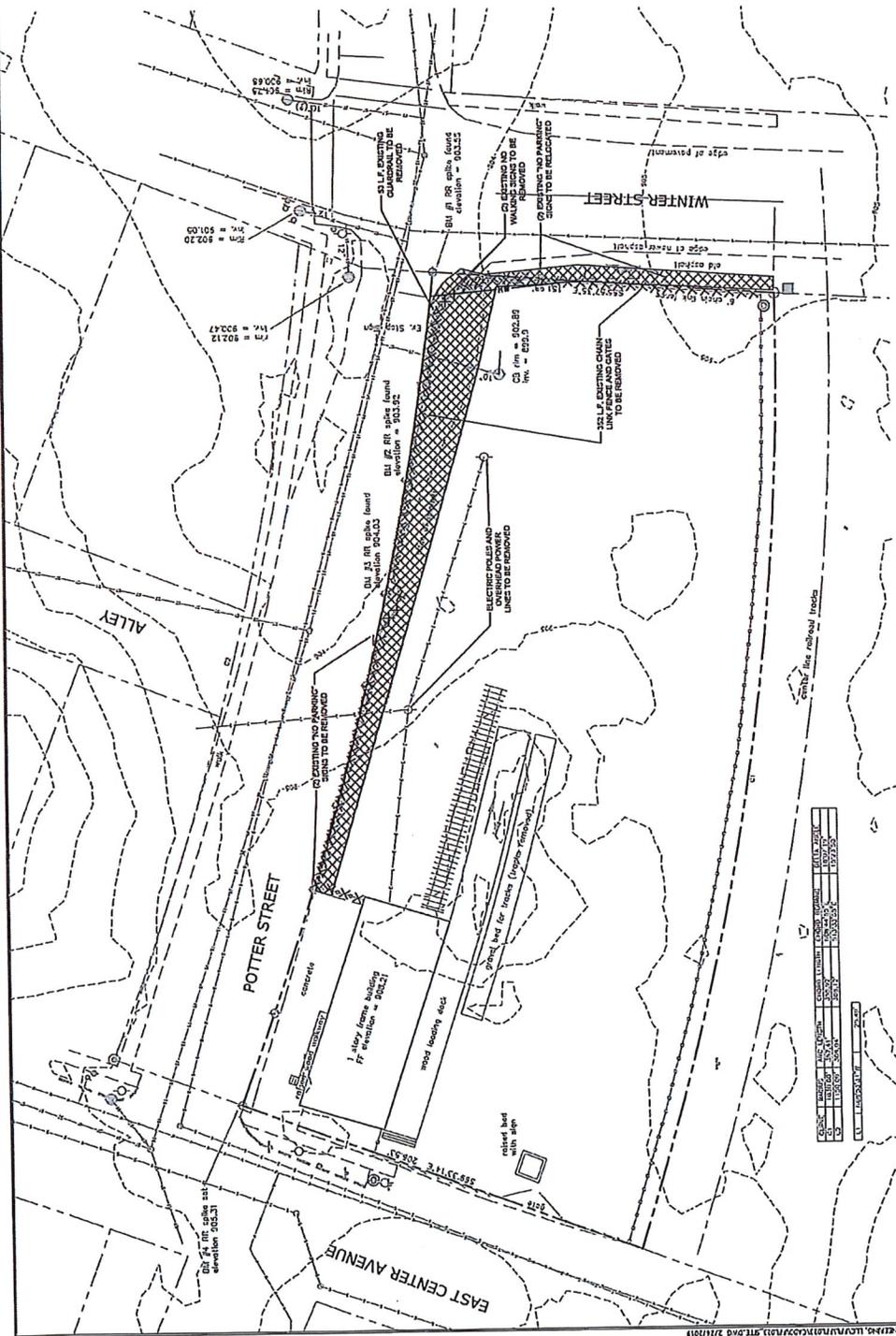
CALL BEFORE YOU DIG
1-800-362-2764
CALL BEFORE YOU DIG TO PROTECT UNDERGROUND UTILITIES



NO.	DATE	DESCRIPTION

Ohio
Utilities
Protection
SERVICE
Call Before You Dig
1-800-362-2764
CALL BEFORE YOU DIG
UNIVERSITY OF CINCINNATI

PAVEMENT LEGEND
EXISTING ASPHALT TO BE REMOVED



SITE DEMOLITION PLAN



DATE	2/26/2019
BY	ELMASTIAN
CHECKED	ELMASTIAN
SCALE	1" = 20'
SHEET NO.	3 OF 7
PROJECT NO.	PFL003
CLIENT	UNIVERSITY OF CINCINNATI

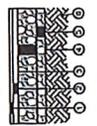
UNIVERSITY OF CINCINNATI ENGINEERING, ARCHITECTURE & PLANNING DEPARTMENT, 100 UNIVERSITY AVENUE, CINCINNATI, OH 45221-0110



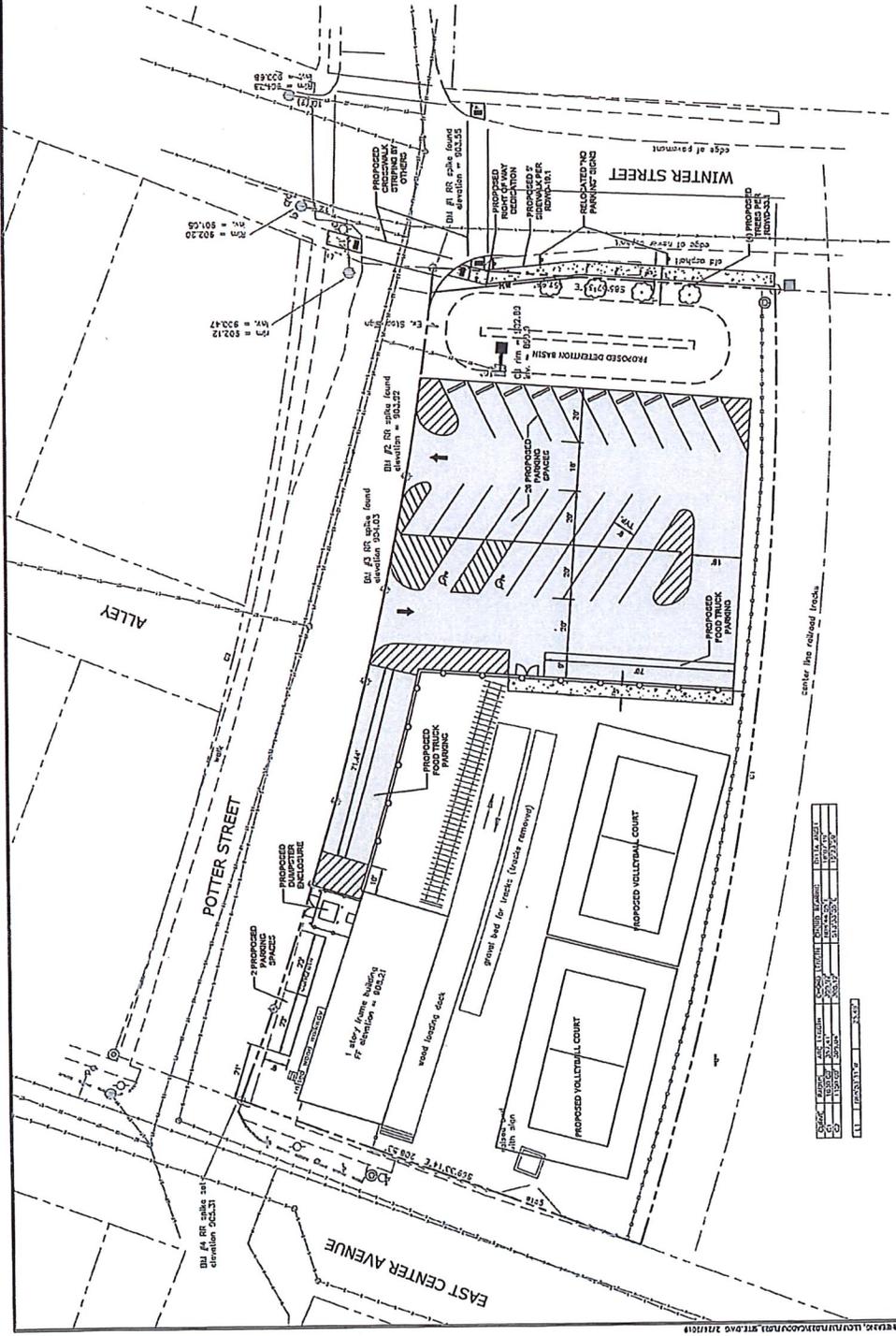
SITE PLAN NOTES

1. ALL DIMENSIONS AND FINISH ARE GIVEN TO EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN WRITING OF ANY DISCREPANCIES. ANY DISCREPANCIES SHALL BE CORRECTED WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK REQUIRED TO CORRECT DISCREPANCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THESE PLANS. IF SUCH NOTIFICATION IS NOT GIVEN.
3. CONTRACTOR SHALL ADJUST AND/OR SMOOTH EXISTING PAVEMENT AS REQUIRED TO PROVIDE A CLEAN, SMOOTH FINISH AND GRADE. CONTRACTOR SHALL SMOOTH AND SMOOTH FINISH TO A SMOOTH, FINISH AND CONTIGUOUS GRADE.
4. STREPS SHALL CONFORM TO CURRENT ODOT MANUAL OF UNIFORM PRACTICES. STREPS SHALL BE 3/4" HIGH, 1/2" WIDE SPACED AS IN PLAN. LONGITUDINAL LINES SHALL BE 3/4" HIGH, 1/2" WIDE SPACED AS IN PLAN. REFER TO LANDSCAPE DRAWINGS FOR PROPOSED TREES AND SHRUBS DETACH AND SPECIFY MATERIALS.

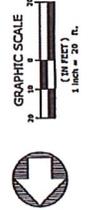
TYPICAL PAVEMENT SECTIONS



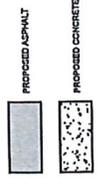
- NOTE: THESE PAVEMENT SECTIONS WERE NOT DERIVED FROM ANY STANDARD SPECIFICATIONS. CONTRACTOR SHALL VERIFY THE SECTIONS ARE SUBJECT TO APPROVAL BY THE OWNER.
- ① 1 1/2" ASPHALT CONCRETE, SURFACE COURSE (MEDIUM TRAFFIC) - ITEM 441
 - ② 1 1/2" ASPHALT CONCRETE, INTERMEDIATE COURSE (MEDIUM TRAFFIC) - ITEM 442
 - ③ INTERMEDIATE PRIME COAT - ITEM 445, 6.4 GAL PER 300 YD.
 - ④ 4" AGGREGATE BASE - ITEM 314
 - ⑤ 4" AGGREGATE BASE - ITEM 314
 - ⑥ COMPACTED SUBGRADE - ITEM 310



SITE DIMENSION PLAN



PAVEMENT LEGEND



NO.	DESCRIPTION	DATE	BY	CHECKED BY
1	ISSUED FOR PERMIT	2/26/2019	JL	JL
2	REVISED PER COMMENTS	3/1/2019	JL	JL
3	REVISED PER COMMENTS	3/1/2019	JL	JL
4	REVISED PER COMMENTS	3/1/2019	JL	JL
5	REVISED PER COMMENTS	3/1/2019	JL	JL
6	REVISED PER COMMENTS	3/1/2019	JL	JL
7	REVISED PER COMMENTS	3/1/2019	JL	JL
8	REVISED PER COMMENTS	3/1/2019	JL	JL
9	REVISED PER COMMENTS	3/1/2019	JL	JL
10	REVISED PER COMMENTS	3/1/2019	JL	JL
11	REVISED PER COMMENTS	3/1/2019	JL	JL
12	REVISED PER COMMENTS	3/1/2019	JL	JL
13	REVISED PER COMMENTS	3/1/2019	JL	JL
14	REVISED PER COMMENTS	3/1/2019	JL	JL
15	REVISED PER COMMENTS	3/1/2019	JL	JL
16	REVISED PER COMMENTS	3/1/2019	JL	JL
17	REVISED PER COMMENTS	3/1/2019	JL	JL
18	REVISED PER COMMENTS	3/1/2019	JL	JL
19	REVISED PER COMMENTS	3/1/2019	JL	JL
20	REVISED PER COMMENTS	3/1/2019	JL	JL

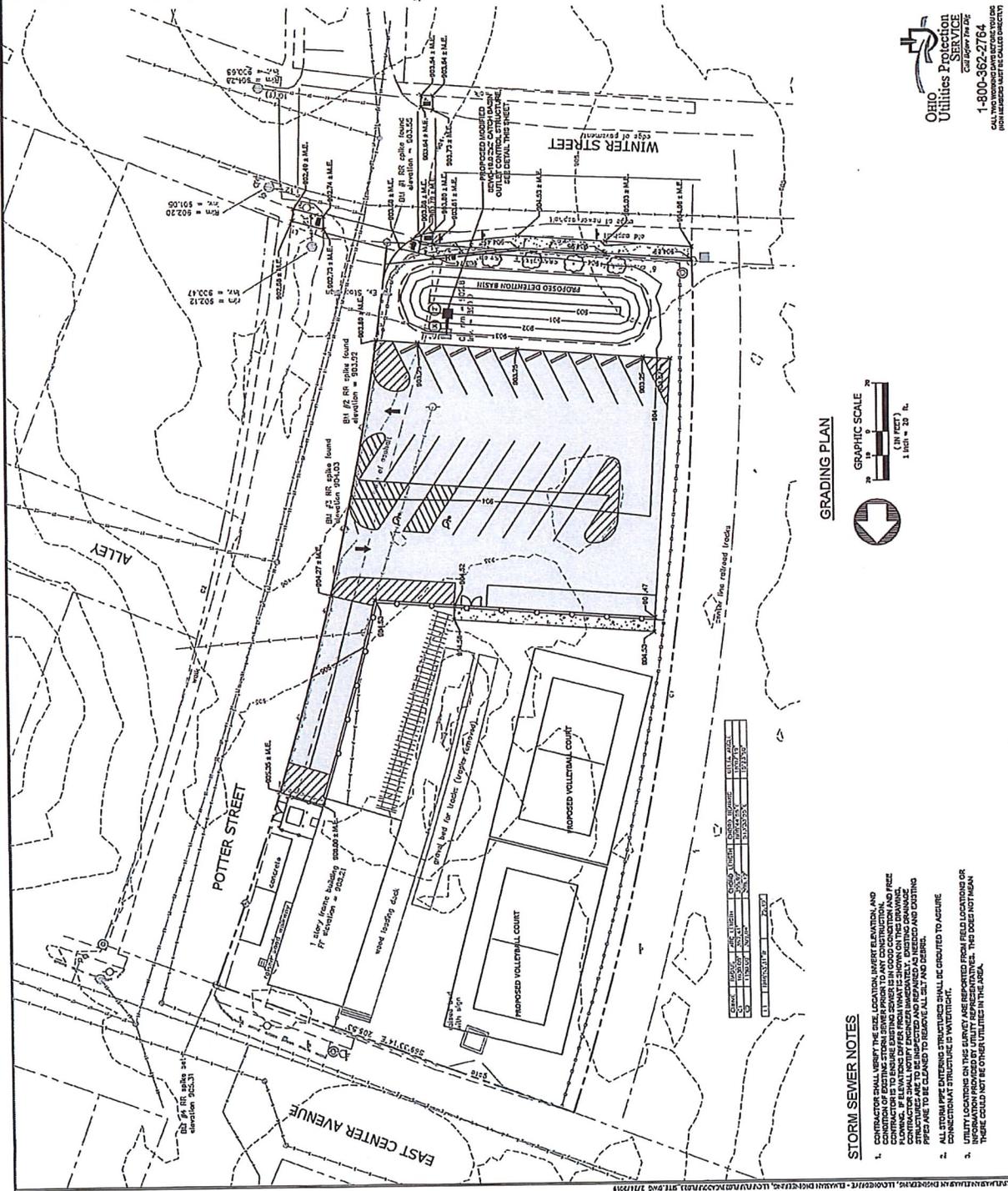
NO.	DESCRIPTION	DATE
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3	AS NOTED	
4	AS NOTED	
5	AS NOTED	
6	AS NOTED	
7	AS NOTED	
8	AS NOTED	
9	AS NOTED	
10	AS NOTED	

GRADING NOTES

1. THE CONTRACTOR SHALL NOTIFY THE OHIO UTILITY PROTECTION SERVICE (800-362-2764) 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. PRIOR TO THE CONSTRUCTION OF THE STORM SEWER AND GRADING OPERATIONS THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES MAY BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION.
3. FIELD CONTROL SHALL BE VERIFIED IN THE GRADING OF AREAS WITH A SLOPE OF LESS THAN 1.5% TO MINIMIZE THE OCCURRENCE OF UNWANTED POOLING.
4. BEFORE STARTING GRADING OPERATIONS, SEE DETAILS AND NOTES ON THE EROSION AND SEDIMENT CONTROL (ESC) PLAN.
5. PRIOR TO SITE CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL INSTALL ALL UTILITY PROTECTION STRUCTURES AND MARKERS. THE CONTRACTOR SHALL PROVIDE TRIP FROM LEAVING THE SITE AT ALL TIMES.
6. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THESE PLANS. A PART OF THE REQUIRED CONSTRUCTION OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THESE PLANS. THE CONTRACTOR SHALL VERIFY THE PLANS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT IF SOILS ARE FOUND. NOTIFY THE PROJECT ENGINEER IF ANY UNDESIRABLE SOILS ARE FOUND.
7. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES EXIST BETWEEN THE PLANS AND THE FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER FOR NECESSARY PLAN OR GRADE CHANGES. NO FIELD EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR VERIFYING THE PLANS AND THE RECOMMENDATIONS SET FORTH IN THESE PLANS. THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.



ELEVATION	AREA
910	0+00
905	0+50
900	1+00
895	1+50
890	2+00
885	2+50
880	3+00
875	3+50
870	4+00
865	4+50
860	5+00
855	5+50
850	6+00
845	6+50
840	7+00
835	7+50
830	8+00
825	8+50
820	9+00
815	9+50
810	10+00



OHIO
Utilities Protection
SERVICE
 Call Before You Dig
 1-800-362-2764
 CALL TWO WORKING DAYS BEFORE YOU DIG
 (NON-EMERGENCY USE ONLY, PLEASE DO NOT CALL)

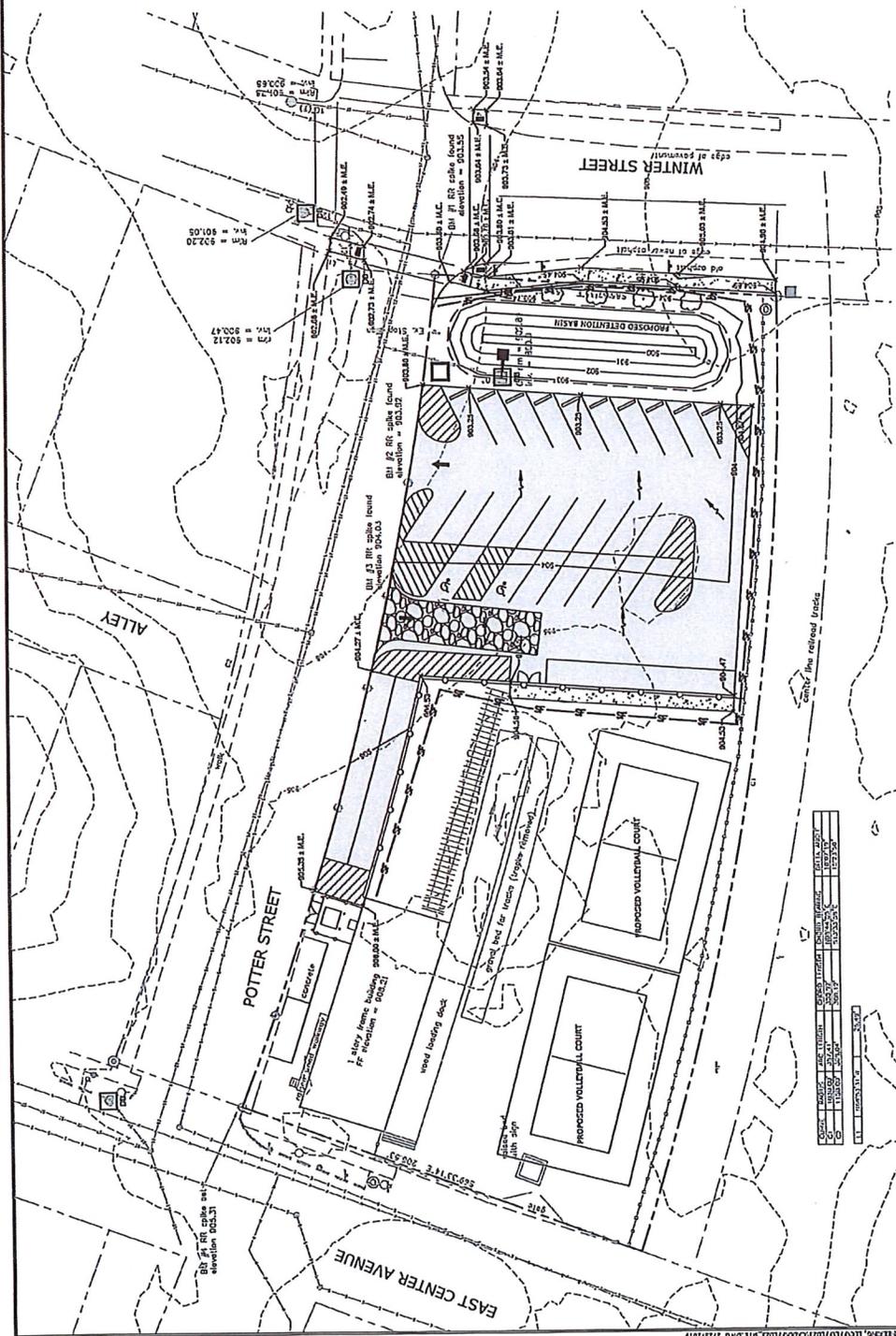
STORM SEWER NOTES

1. CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, INVERT ELEVATION, AND CONDITION OF EXISTING STORM SEWER PRIOR TO ANY GRADING AND FREE FLOWING. IF ELEVATIONS DIFFER FROM WHAT IS SHOWN ON THIS DRAWING, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY. PIPES ARE TO BE CLEANED TO REMOVE ALL SILT AND DEBRIS.
2. ALL STORM PIPE ENTERING STRUCTURES SHALL BE CREDITED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
3. UTILITY LOCATIONS ON THE SURVEY ARE REPORTED FROM FIELD LOCATIONS OR FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF UTILITIES IN THE AREA. THERE COULD NOT BE OTHER UTILITIES IN THE AREA.

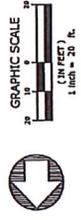
NO.	DATE	DESCRIPTION	BY	CHKD.
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2	7/26/2019	AS NOTED	JLW	JLW
3	7/26/2019	AS NOTED	JLW	JLW
4	7/26/2019	AS NOTED	JLW	JLW
5	7/26/2019	AS NOTED	JLW	JLW
6	7/26/2019	AS NOTED	JLW	JLW
7	7/26/2019	AS NOTED	JLW	JLW
8	7/26/2019	AS NOTED	JLW	JLW
9	7/26/2019	AS NOTED	JLW	JLW
10	7/26/2019	AS NOTED	JLW	JLW

OHIO
Utilities Protection
SERVICE
 Call Before You Dig
 1-800-362-2764
 CALL, TWO WORKING DAYS BEFORE YOU DIG
 FOR INFORMATION VISIT RECALLED.DIRECTV.COM

- LEGEND**
- EXISTING CONTROLS
 - PROPOSED CONTROLS
 - SETBACK PER EMB-15
 - SETBACK PER EMB-16
 - SETBACK PER EMB-18
 - SETBACK PER EMB-19
 - SETBACK PER EMB-20
 - SETBACK PER EMB-21
 - SETBACK PER EMB-22
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 - SETBACK PER EMB-100



EROSION AND SEDIMENT CONTROL PLAN



NO.	DATE	DESCRIPTION	BY	CHKD.
1	2/26/2019	ISSUED FOR PERMITS	ELM	ELM
2	2/26/2019	ISSUED FOR PERMITS	ELM	ELM
3	2/26/2019	ISSUED FOR PERMITS	ELM	ELM
4	2/26/2019	ISSUED FOR PERMITS	ELM	ELM
5	2/26/2019	ISSUED FOR PERMITS	ELM	ELM
6	2/26/2019	ISSUED FOR PERMITS	ELM	ELM
7	2/26/2019	ISSUED FOR PERMITS	ELM	ELM
8	2/26/2019	ISSUED FOR PERMITS	ELM	ELM
9	2/26/2019	ISSUED FOR PERMITS	ELM	ELM
10	2/26/2019	ISSUED FOR PERMITS	ELM	ELM



NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

SWPP CRITERIA

PLANT SPECIFICATIONS:
 BURGAM ENGINEERING, LLC
 4000 PAVANUVA ROAD
 SUITE 1000
 COLUMBIA, OH 43082
 PHONE (614) 321-4322
 FAX (614) 321-4322

OWNER:
 PAULA A. ROOSEVELL
 10000 WOODBURN ROAD
 COLUMBIA, OH 43082
 PHONE (614) 321-4322

PROJECT DESCRIPTION:
 THE PROJECT CONSISTS OF DEVELOPING APPROXIMATELY 1.665 ACRES OF RESIDENTIAL DEVELOPMENT. THE DEVELOPMENT WILL BE IN PLACE TO ACCOMMODATE THE ADDITIONAL STORM WATER RUNOFF.

EXISTING SITE CONDITIONS:
 THE MAJORITY OF THE PROJECT DISCHARGES TO THE SOUTH, TO AN EXISTING CATCH BASIN.

PERFORMING ORGANIZATION:
 BURGAM ENGINEERING, LLC
 4000 PAVANUVA ROAD
 SUITE 1000
 COLUMBIA, OH 43082
 PHONE (614) 321-4322
 FAX (614) 321-4322

PROJECT LOCATION:
 THE PROJECT AREA IS LOCATED WITHIN A BUSINESS AREA.

ADJACENT AREAS:
 EROSION AND SEDIMENT WILL BE CONTROLLED BY THE USE OF CHECK DAMS, BURNI EROSION RIGID, PERFORATED EROSION CONTROL MATS, AND CONSTRUCTION TECHNIQUES TO REDUCE LAND DISTURBANCE.

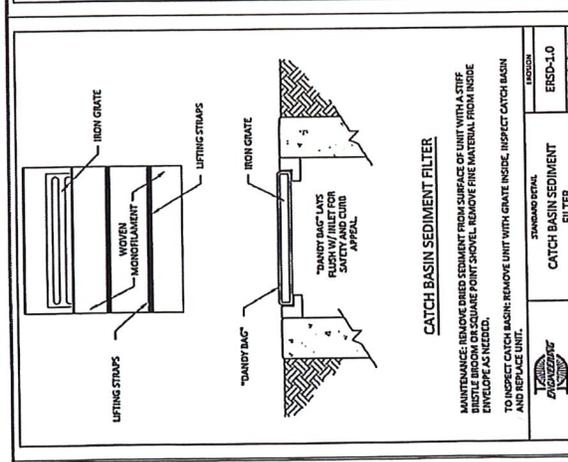
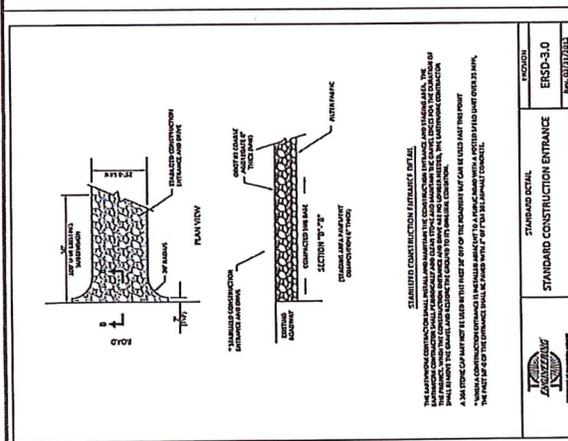
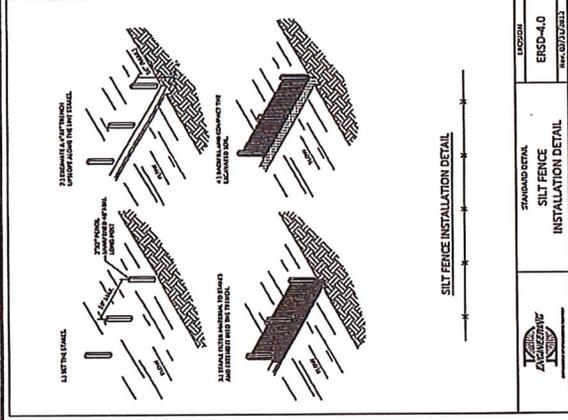
PERMANENT STABILIZATION:
 ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED. GEOTECHNICAL REINFORCEMENT OF BARRIERS EMBANKMENTS IS REQUIRED. EROSION CONTROL MATS SHALL BE PLACED AND MAINTAINED IN ACCORDANCE WITH THIS SCHEDULE.

MAINTENANCE:
 ALL EROSION CONTROL DEVICES ARE TO BE INSPECTED BY THE CONTRACTOR IMMEDIATELY AFTER EACH RAIN EVENT. ANY DAMAGED FACILITIES ARE TO BE REPAIR/REPREPARED IMMEDIATELY AS MAY BE NECESSARY.

CONSTRUCTION:
 THE CONTRACTOR SHALL PROVIDE A SCHEDULE OF OPERATIONS TO THE ENGINEER. THE SCHEDULE SHALL BE PLACED AND MAINTAINED IN ACCORDANCE WITH THIS SCHEDULE.

DISTURBED AREA:
 APPROXIMATELY 6.5 ACRES

PER GENERAL PERMIT NO.:
 NA



TEMPORARY SEEDING & MULCHING FOR EROSION CONTROL

SEED TYPE	SEEDING RATES	PER 1000 SQ FT	PER ACRE
1. FINE FINE	1.00	1000	1000
2. FINE FINE	1.00	1000	1000
3. FINE FINE	1.00	1000	1000
4. FINE FINE	1.00	1000	1000
5. FINE FINE	1.00	1000	1000
6. FINE FINE	1.00	1000	1000
7. FINE FINE	1.00	1000	1000
8. FINE FINE	1.00	1000	1000
9. FINE FINE	1.00	1000	1000
10. FINE FINE	1.00	1000	1000

SOIL PROTECTION CHART

EROSION	NO. OF DAYS								
1	2	3	4	5	6	7	8	9	10

PERMANENT STABILIZATION

1. TAKE EXCAVE TO EXISTING EROSION CONTROL.

2. TAKE EXCAVE TO EXISTING EROSION CONTROL.

3. TAKE EXCAVE TO EXISTING EROSION CONTROL.

4. TAKE EXCAVE TO EXISTING EROSION CONTROL.

5. TAKE EXCAVE TO EXISTING EROSION CONTROL.

6. TAKE EXCAVE TO EXISTING EROSION CONTROL.

7. TAKE EXCAVE TO EXISTING EROSION CONTROL.

8. TAKE EXCAVE TO EXISTING EROSION CONTROL.

9. TAKE EXCAVE TO EXISTING EROSION CONTROL.

10. TAKE EXCAVE TO EXISTING EROSION CONTROL.

STANDARD DETAIL

1. 12" CURB HEIGHT.

2. 12" CURB WIDTH.

3. 12" CURB WIDTH.

4. 12" CURB WIDTH.

5. 12" CURB WIDTH.

6. 12" CURB WIDTH.

7. 12" CURB WIDTH.

8. 12" CURB WIDTH.

9. 12" CURB WIDTH.

10. 12" CURB WIDTH.

STANDARD DETAIL

1. 12" CURB HEIGHT.

2. 12" CURB WIDTH.

3. 12" CURB WIDTH.

4. 12" CURB WIDTH.

5. 12" CURB WIDTH.

6. 12" CURB WIDTH.

7. 12" CURB WIDTH.

8. 12" CURB WIDTH.

9. 12" CURB WIDTH.

10. 12" CURB WIDTH.

STANDARD DETAIL

1. 12" CURB HEIGHT.

2. 12" CURB WIDTH.

3. 12" CURB WIDTH.

4. 12" CURB WIDTH.

5. 12" CURB WIDTH.

6. 12" CURB WIDTH.

7. 12" CURB WIDTH.

8. 12" CURB WIDTH.

9. 12" CURB WIDTH.

10. 12" CURB WIDTH.

STANDARD DETAIL

1. 12" CURB HEIGHT.

2. 12" CURB WIDTH.

3. 12" CURB WIDTH.

4. 12" CURB WIDTH.

5. 12" CURB WIDTH.

6. 12" CURB WIDTH.

7. 12" CURB WIDTH.

8. 12" CURB WIDTH.

9. 12" CURB WIDTH.

10. 12" CURB WIDTH.

STANDARD DETAIL

1. 12" CURB HEIGHT.

2. 12" CURB WIDTH.

3. 12" CURB WIDTH.

4. 12" CURB WIDTH.

5. 12" CURB WIDTH.

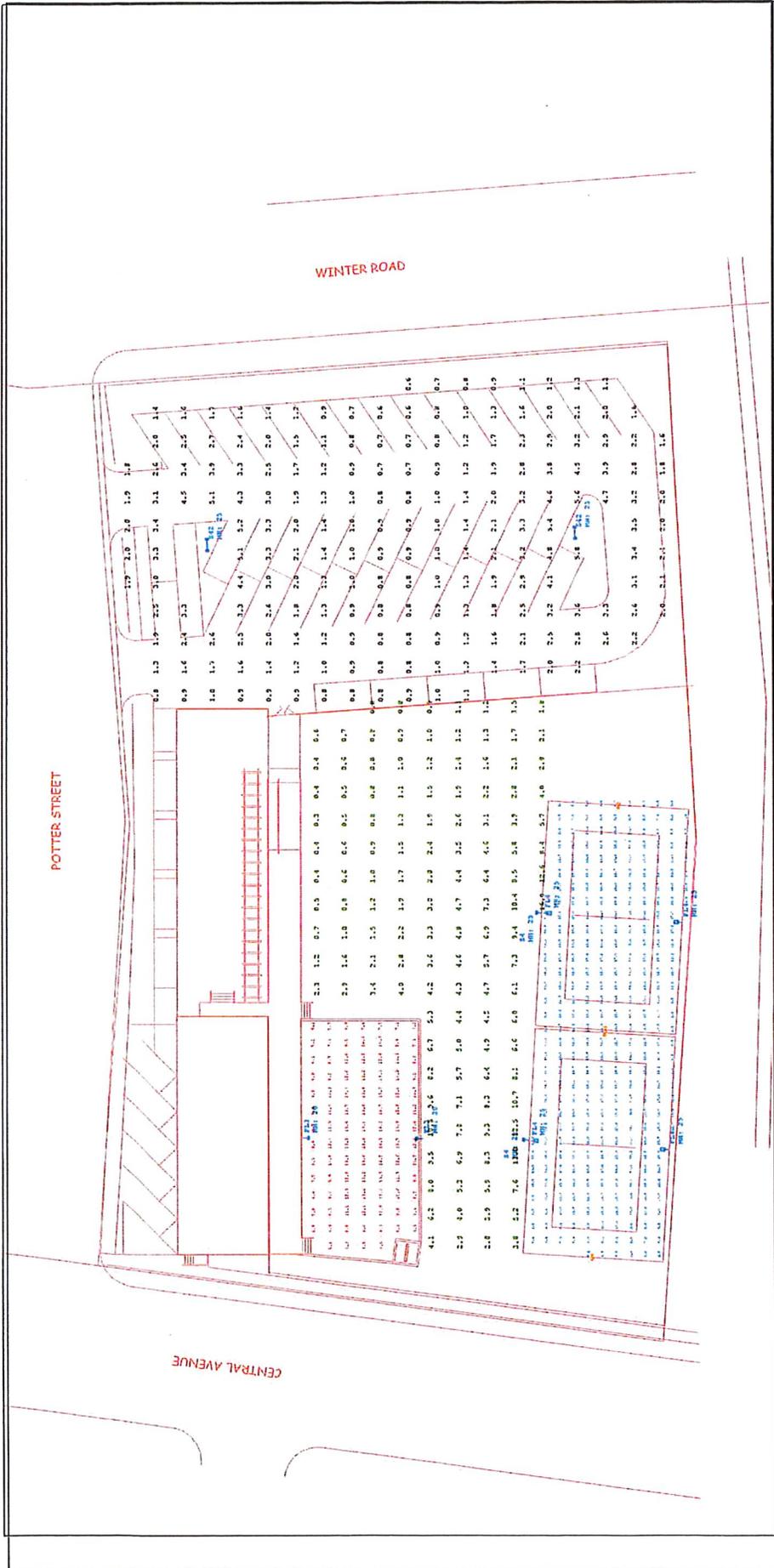
6. 12" CURB WIDTH.

7. 12" CURB WIDTH.

8. 12" CURB WIDTH.

9. 12" CURB WIDTH.

10. 12" CURB WIDTH.



**FOOD TRUCK DEPOT
SITE LIGHTING ANALYSIS REVI**

PREPARED BY:



AL SERIES

Symbol	Qty	Label	Mounting	Height	Beam Angle	Beam Dia	Beam Area	Beam Spacing
1	4	FL4	FIXED	10.00	120	10.00	314.16	30.77
2	4	FL4	FIXED	10.00	120	10.00	314.16	30.77
3	2	FL4	FIXED	10.00	120	10.00	314.16	30.77
4	2	FL4	FIXED	10.00	120	10.00	314.16	30.77

- NOTES:
 1. ALL CALC POINTS AT GRADE.
 2. FUTURE MOUNTING HEIGHTS NOTED WITH LABELS.

Calculation Summary	Label	Qty	Beam Dia	Beam Area	Beam Spacing	Avg	Max	Min	Avg/Min	Max/Min
BEAM COUNT	FL4	10	10.00	314.16	30.77	10.00	10.00	10.00	1.00	1.00
BEAM COUNT	FL4	10	10.00	314.16	30.77	10.00	10.00	10.00	1.00	1.00
BEAM COUNT	FL4	10	10.00	314.16	30.77	10.00	10.00	10.00	1.00	1.00
BEAM COUNT	FL4	10	10.00	314.16	30.77	10.00	10.00	10.00	1.00	1.00
BEAM COUNT	FL4	10	10.00	314.16	30.77	10.00	10.00	10.00	1.00	1.00



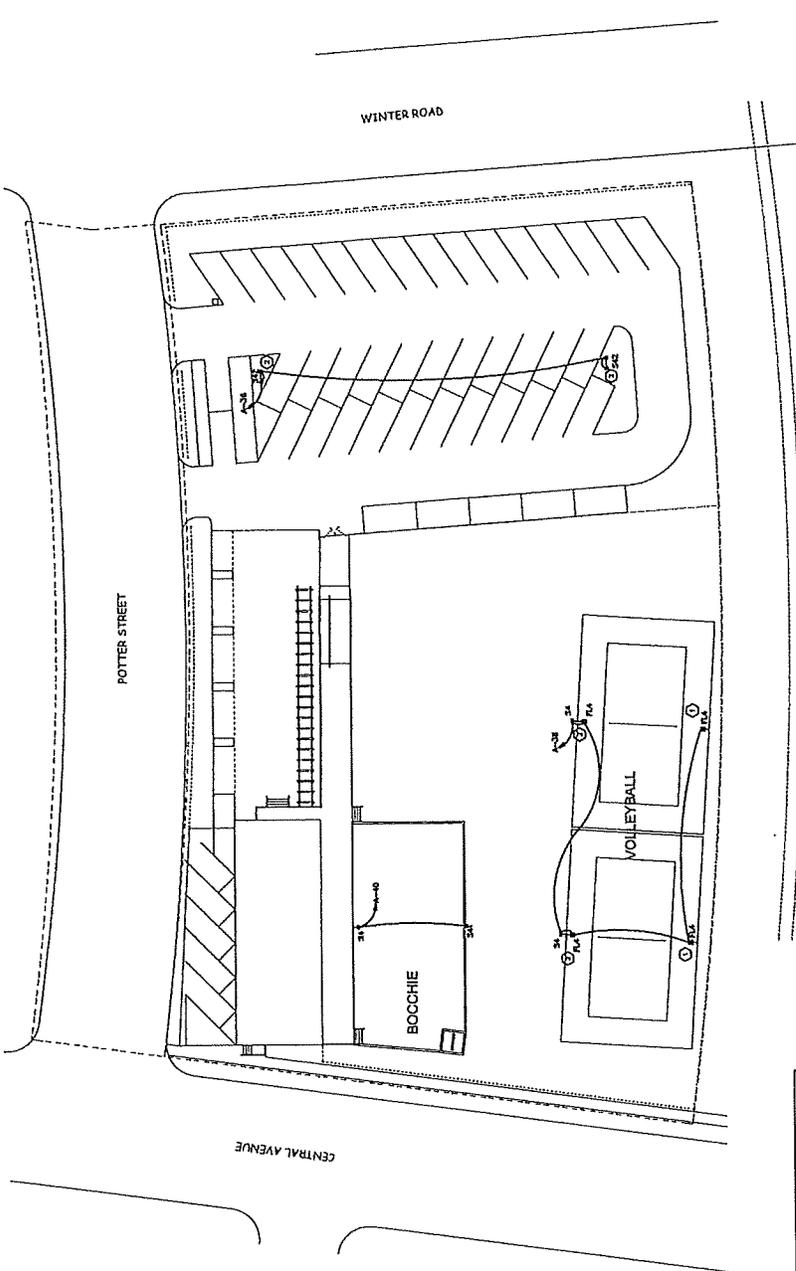
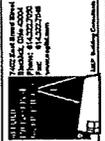
Restaurant Renovation for
59 Potter Street, Delaware, OH 43015

BUILDING DESIGNED & CONSTRUCTION

Terry S. Boutet, Architect
20140 Lexington Road, Fredericktown, OH 43019
(614) 205-7478 - terry@boutetarchitect.com



DATE: 01-03-2016
PROJECT CODE: POTTER STREET
ES1
SITE LIGHTING PLAN



SITE ELECTRICAL PLAN
1-2016-01

LIGHT FIXTURE SCHEDULE

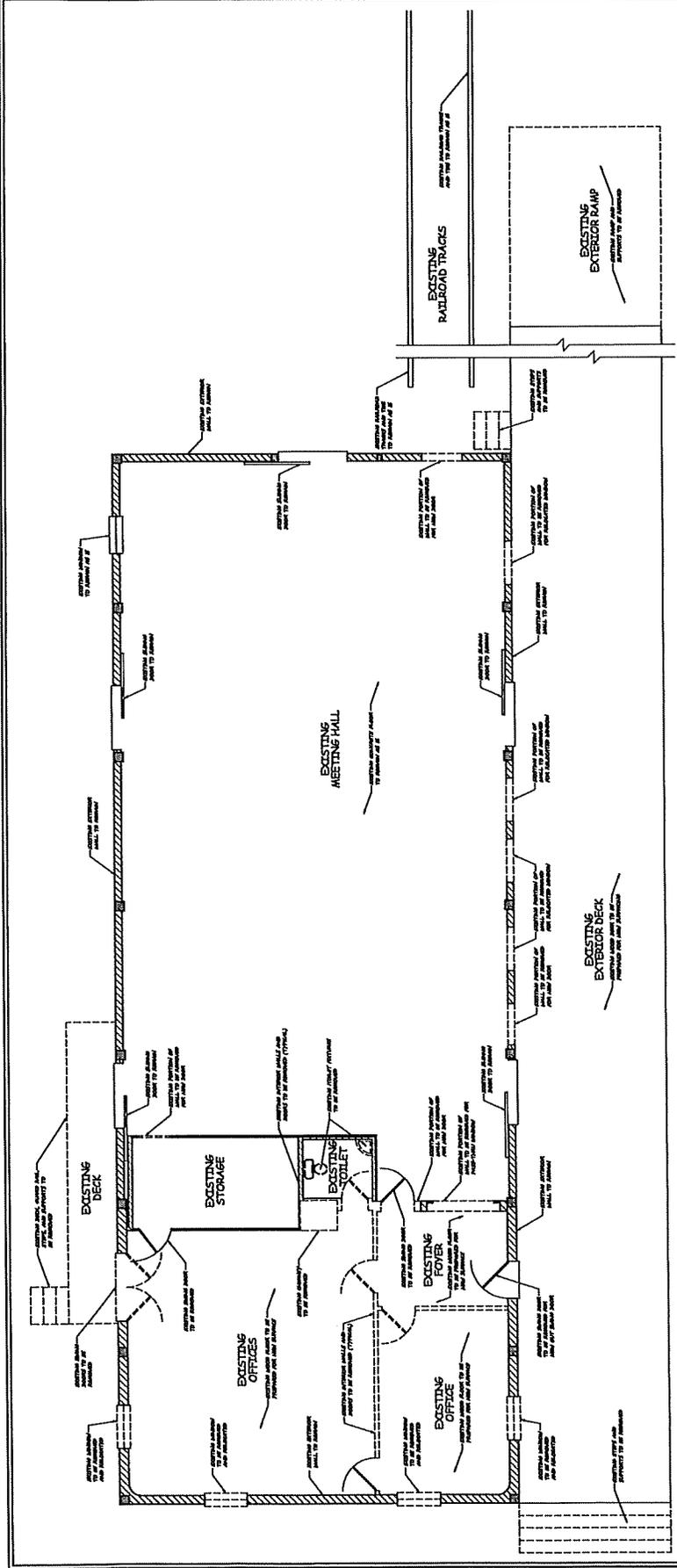
TYPE	MANUFACTURER	LAMP TYPE	WATTAGE	DESCRIPTION
F14	353W LED RECESSED	353W LED	150	LED FLOOD LIGHT MOUNTED AT 25'
S4	353W LED RECESSED	353W LED	150	LED FLOOD LIGHT MOUNTED AT 25' AT VOLLEYBALL COURT.
S42	353W LED RECESSED	353W LED	150	LED FLOOD LIGHT MOUNTED AT 25'.

SEE ELECTRICAL NOTES FOR APPROVAL FOR ALL
CONDUIT AND WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) WITH CORRECTIONS ABOUT SITE.

- KEYED NOTES:**
1. GO TO INSTALL OWNER PROVIDED WOODEN PILES FOR POLE LIGHTS.
 2. GO TO FINISH AND INSTALL WOODEN PILES TO MATCH OWNER PROVIDED PILES.

- GENERAL SITE NOTES:**
1. FINISH CONCRETE UNDER PAVEMENT BY ROUTING AND PATCHING TO MATCH EXISTING CONCRETE.
 2. FINISH CONCRETE UNDER PAVEMENT BY ROUTING AND PATCHING TO MATCH EXISTING CONCRETE.
 3. ALL FINISHES UNDER PAVEMENT SHALL BE TO BE COMPLETED WITH DRIVE, UP TO DRIVE LEVEL, UNLESS OTHERWISE NOTED.

- SITE ELECTRICAL NOTES:**
1. PROVIDE ALL NECESSARY CONDUIT, FITTINGS, CONDUIT, DISCONNECTS, AND WIRING NECESSARY TO INSTALL ALL CIRCUITS AS SHOWN ON THE PLAN.
 2. ALL WIRING SHALL BE IN CONDUIT AND SHALL BE PROTECTED AS SHOWN ON THE PLAN OR AS PER THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS.
 3. GO TO FINISH AND INSTALL FINISHING MATERIAL FOR ALL CONDUITS AS SHOWN ON THE PLAN.



DEMOLITION FLOOR PLAN
 SCALE: 1/4" = 1'-0"

BUILDING CODE 2017 OHIO BUILDING CODE
 PHYSICAL ADDRESS: 59 POTTER STREET, DELAWARE, OHIO 43015
 OCCUPANCY CLASSIFICATION: ASSEMBLY GROUP A-2 (SECTION 1004.3)
 CONSTRUCTION TYPE: EXISTING TYPE I-A (SECTION 1002.2)
 FIRE PROTECTION: NONE REQUIRED (UNDER 100 OCCUPANT LOAD - SECTION 903.2.1.2)
 NONE REQUIRED (UNDER 100 OCCUPANT LOAD - SECTION 903.2.1.2)
 6,000 SQUARE FEET (TABLE 506.2)
 60 FEET (TABLE 504.4)
 21 FEET
 ONE (1) STORY ABOVE GRADE (TABLE 504.4)
 200 FEET MAXIMUM (TABLE 1007.2)
 15' UNCONCENTRATED ASSEMBLY (TABLE 1004.3)
 200 SQUARE FEET FOR EACH COMMERCIAL (TABLE 1004.3)
 300 SQUARE FEET FOR EACH RESIDENTIAL (TABLE 1004.3)
 1,200 SF / 151-93 OCCUPANTS (DINING ROOM SPACE)
 93 - 4 - 11 91 OCCUPANTS TOTAL
 ONE (1) SIGN TO BE MOUNTED IN MAIN SPACE (SECTION 1004.3)
 TWO (2) EXITS REQUIRED (TABLES 1006.2.1 & 1006.3.1)
 FOUR (4) EXITS PROVIDED
 WIDTH ARE 60.0 INCHES PER OCCUPANT (SECTION 1006)
 WIDTH ARE 29.0 INCHES PER OCCUPANT = 69.9 INCHES
 WIDTH ARE 60.0 INCHES PER OCCUPANT (SECTION 1006)
 WIDTH ARE 29.0 INCHES PER OCCUPANT = 69.9 INCHES
 FOUR (4) SERVICE SINK DOORS = 144 INCHES

RESTROOM CODE 2017 OHIO BUILDING CODE SECTION 2902.4 TABLE 2902.1
 OCCUPANCY CLASSIFICATION: ASSEMBLY A-2
 ACTUAL OCCUPANT LOAD: 93 TOTAL MAXIMUM OCCUPANTS
 49 FEMALE MAXIMUM OCCUPANTS
 44 MALE MAXIMUM OCCUPANTS
 TWO (2) RESTROOMS REQUIRED (SECTION 2902.2)
 ONE (1) MALE RESTROOM
 ONE (1) FEMALE RESTROOM
 ONE (1) FAMILY RESTROOM
 NO OTHER RESTROOMS REQUIRED (SECTION 2902.2)
 ONE (1) PER 75 OCCUPANTS
 ONE (1) PER RESTROOM (49 OCCUPANTS)
 ONE (1) PER RESTROOM (49 OCCUPANTS)
 ONE (1) PER RESTROOM (49 OCCUPANTS)
 ONE (1) REQUIRED PER 500 OCCUPANTS
 ONE (1) REQUIRED PER 500 OCCUPANTS
 ONE (1) SERVICE SINK
 ONE (1) SERVICE SINK
 SERVICE SINKS PROVIDED:
 RESTROOMS PROVIDED:
 FAMILY RESTROOMS REQUIRED:
 WATER CLOSETS PROVIDED:
 LAVATORIES PROVIDED:
 DRAINAGE FOUNTAINS REQUIRED:
 DRAINAGE FOUNTAINS PROVIDED:
 SERVICE SINKS PROVIDED:



59 Potter Street, Delaware, OH 43015

Restaurant Renovation

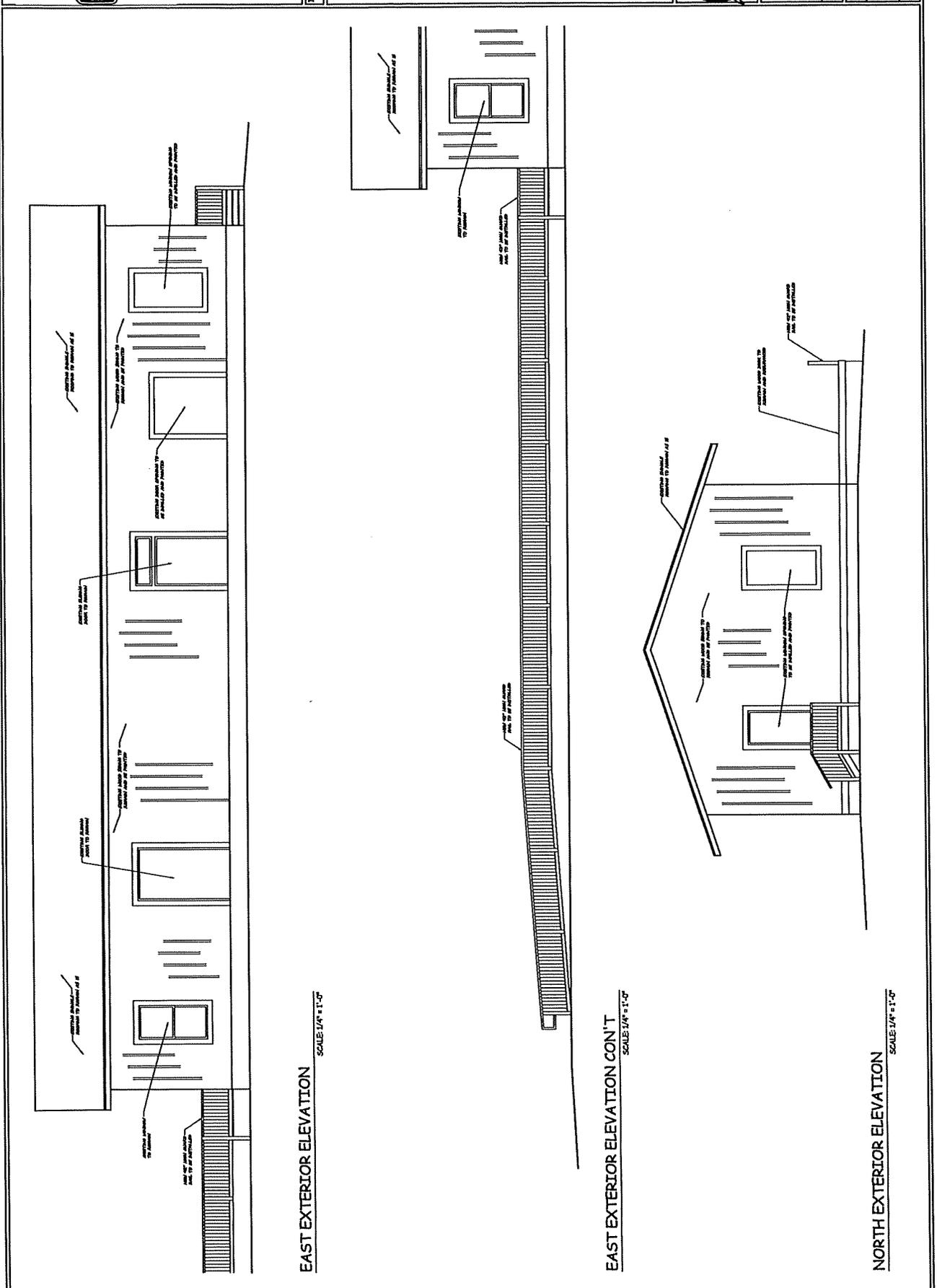
PLANNING DESIGN & CONSTRUCTION

Terry S. Boutet, Architect
 20140 Lexington Road, Fredericktown, OH 43019
 (614) 205-7478 - terryboutetarchitect@gmail.com



CONSTRUCTION
 01-30-2019

DATE	01-30-2019
PROJECT CODE	PTDRW
SHEET	A.4
N & ELEVATIONS	



EAST EXTERIOR ELEVATION
 SCALE 1/4" = 1'-0"

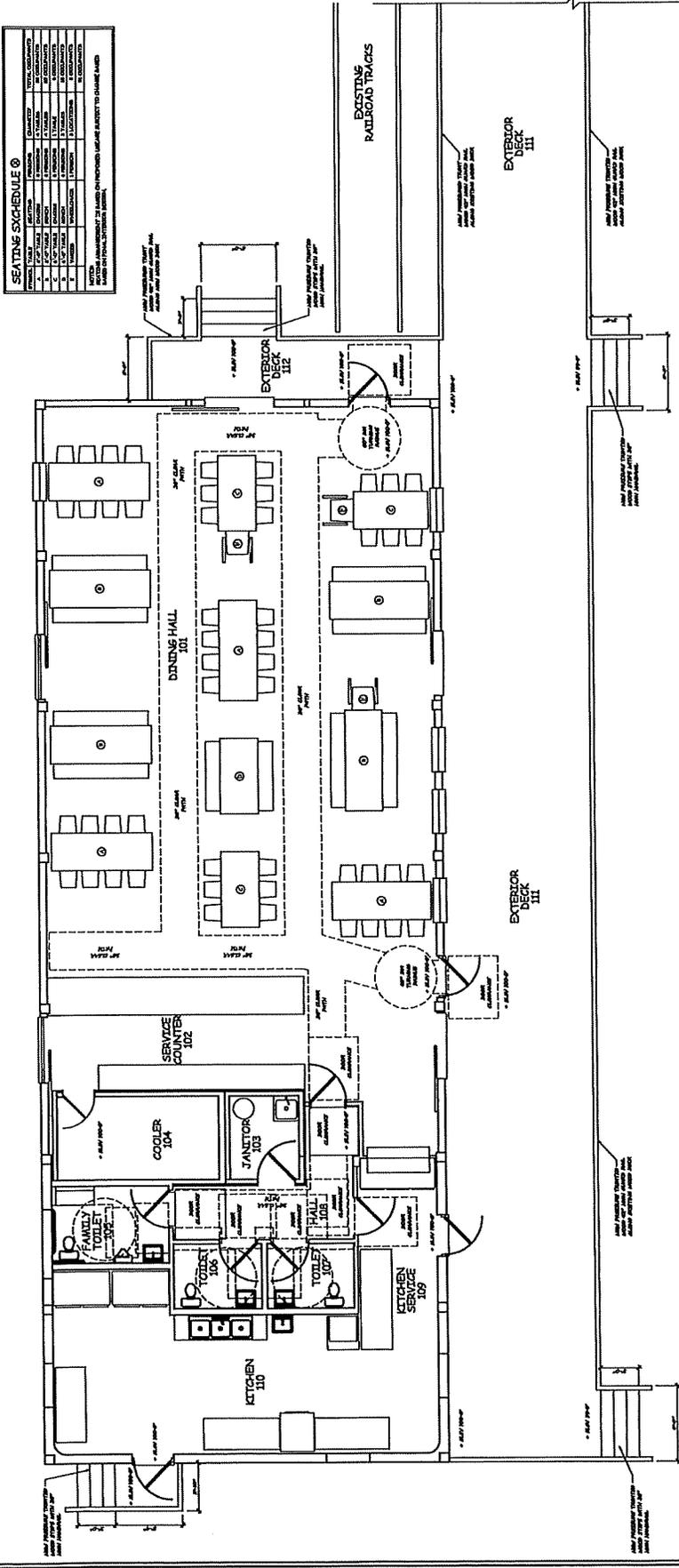
EAST EXTERIOR ELEVATION CON'T
 SCALE 1/4" = 1'-0"

NORTH EXTERIOR ELEVATION
 SCALE 1/4" = 1'-0"

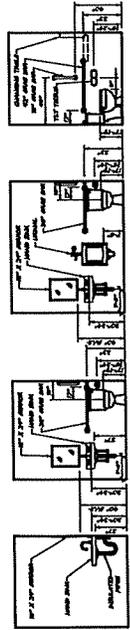
SEATING SCHEDULE

ITEM	QUANTITY	REMARKS
1. 2' x 4' TABLE	12	6 PER SIDE
2. 2' x 4' TABLE	12	6 PER SIDE
3. 2' x 4' TABLE	12	6 PER SIDE
4. 2' x 4' TABLE	12	6 PER SIDE
5. 2' x 4' TABLE	12	6 PER SIDE
6. 2' x 4' TABLE	12	6 PER SIDE
7. 2' x 4' TABLE	12	6 PER SIDE
8. 2' x 4' TABLE	12	6 PER SIDE
9. 2' x 4' TABLE	12	6 PER SIDE
10. 2' x 4' TABLE	12	6 PER SIDE
11. 2' x 4' TABLE	12	6 PER SIDE
12. 2' x 4' TABLE	12	6 PER SIDE
13. 2' x 4' TABLE	12	6 PER SIDE
14. 2' x 4' TABLE	12	6 PER SIDE
15. 2' x 4' TABLE	12	6 PER SIDE
16. 2' x 4' TABLE	12	6 PER SIDE
17. 2' x 4' TABLE	12	6 PER SIDE
18. 2' x 4' TABLE	12	6 PER SIDE
19. 2' x 4' TABLE	12	6 PER SIDE
20. 2' x 4' TABLE	12	6 PER SIDE

NOTES: SEATING ARRANGEMENT IS BASED ON PREVIOUS LAYOUT SUBJECT TO CHANGE BASED ON FIELD CONDITIONS. SEATING IS TO BE INSTALLED AS SHOWN.



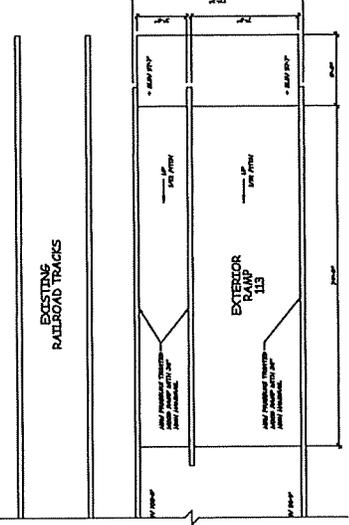
ACCESSIBLE FLOOR PLAN
SCALE: 1/4" = 1'-0"



TYPICAL RESTROOM ELEVATIONS
SCALE: 1/4" = 1'-0"



STAIR DETAILS
SCALE: 1/4" = 1'-0"



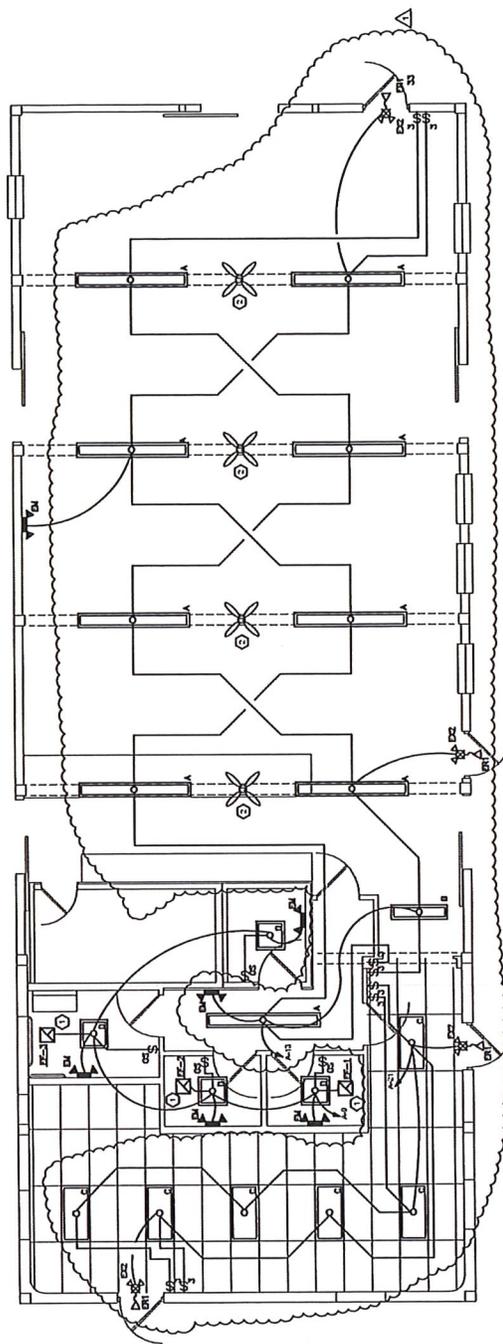
ACCESSIBLE RAMP DETAILS
SCALE: 1/4" = 1'-0"

ACCESSIBLE FLOOR PLAN CON'T.
SCALE: 1/4" = 1'-0"



KEYED NOTES:

1. E2-1, 2, 3, 5, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100. Lighting circuit controlled by occupant sensor.
2. Existing ceiling fan and controls to remain, connected to circuit.



ALL FIXTURES OR APPROVED EQUAL BY OWNER.

TYPE	MANUFACTURER	LAMP	VOLTS	WATTS	DESCRIPTION
A	MULLER	50W LED	120	30	LED 8" SURFACE MOUNT LIGHT FIXTURE.
B	MULLER	50W LED	120	30	LED 4" SURFACE MOUNT LIGHT FIXTURE.
C	MULLER	50W LED	120	30	LED 2x4 RECESSED PANEL, WAX, 3000 LUMENS.
D	MULLER	50W LED	120	30	LED 2x4 RECESSED PANEL, WAX, 3000 LUMENS.
E1	SHURE-LITES	INCLD	120	30	EMERGENCY LIGHT WITH 2 HEADS AND BATTERY WITH REMOTE CAPACITY.
E2	SHURE-LITES	INCLD	120	30	EMERGENCY LIGHT WITH 2 HEADS AND BATTERY WITH REMOTE CAPACITY.
E3	SHURE-LITES	INCLD	120	30	EMERGENCY LIGHT WITH 2 HEADS AND BATTERY WITH REMOTE CAPACITY.
E4	SHURE-LITES	INCLD	120	30	EMERGENCY LIGHT WITH 2 HEADS AND BATTERY WITH REMOTE CAPACITY.
E5	SHURE-LITES	INCLD	120	30	EMERGENCY LIGHT WITH 2 HEADS AND BATTERY WITH REMOTE CAPACITY.

- GENERAL NOTES:**
1. E2 IS RESPONSIBLE TO OBTAIN AND PAY FOR ALL PERMITS, MARKS BY ALL STATE NOT DELETED AND PROCEED.
 2. COORDINATE ALL WORK WITH OTHER TRADES TO ELIMINATE CONFLICTS ON THE JOB.
 3. VERIFY ALL WORK WITH MEASUREMENTS AND PROFESSIONAL MARKERS, AND SUPPLY ALL NEW EQUIPMENT AND MATERIALS.
 4. VERIFY SHOP DRAWINGS AND OPERATIONAL MANUALS OF ALL EQUIPMENT AND ACCESSORIES FOR CORNER APPROVAL, PRIOR TO STARTING WORK.
 5. ALL LOW VOLTAGE AND LINE VOLTAGE WIRING TO BE IN CONDUIT ON MC CABLE, SEPARATE FROM BOLT-ON TYPE CIRCUIT BREAKERS.
 6. ALL ELECTRICAL PANELS TO BE BUNDLED ON SOLID, 7/8" OR EQUAL BY E.C. ON THE SIDE OF THE MAIN PANEL.
 7. ALL PENETRATIONS OF WALL, ROOF AND CEILING TO BE SEALED AS REQUIRED WITH THE SEALANT TO MATCH THE FINISH AS REQUIRED.
 8. MAKE SURE ALL ELECTRICAL WORK IS DONE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.
 9. FLEXIBLE CONDUIT TO BE MC CABLE (NO BOX).
 10. ALL WIRING TO BE COLOR-CODED AS FOLLOWS:
 480/277 VOLT SYSTEM:
 PHASE A OR L1 - BLACK
 PHASE B OR L2 - BROWN
 PHASE C OR L3 - BLUE
 NEUTRAL - WHITE
 GROUNDING - GREEN WITH YELLOW STRIPES
 GROUNDING - GREEN
 11. PROVIDE FLEXIBLE CONDUIT FOR ALL WIRING EQUIPMENT, NOT TO EXCEED 3 FT. IN LENGTH.
 12. ALL CONDUIT AND WIRE TO BE CONCEALED IN WALLS AND CEILING.
 13. BALANCE ALL PANELS WITHIN 7% OF EACH PHASE USED.
 14. PROVIDE LABELS AND TAGS FOR ALL PANELS AND SWITCHGEAR EQUIPMENT. PROVIDE TYPED DIRECTORY OF ALL CIRCUITS LABELED BY ROOM NUMBER OR NAME.
 15. RECEIPTABLE WORKING HEIGHTS SHALL BE 10' A.F.F., UNLESS NOTED OTHERWISE.
 16. CHECK ALL EMERGENCY LIGHT FIXTURES AHEAD OF ANY LOCAL SWITCHING.

812 - 11-24-11 10 003 - 11



Restaurant Renovation
for
59 Potter Street, Delaware, OH 43015

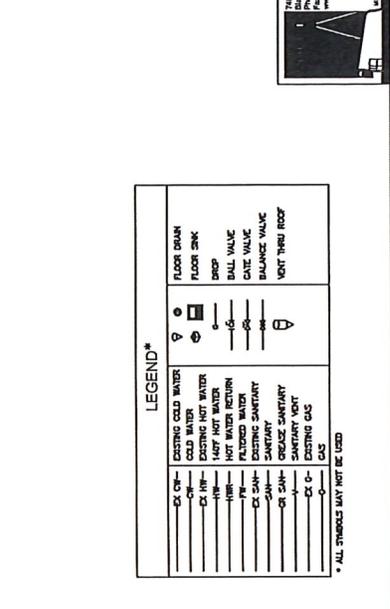
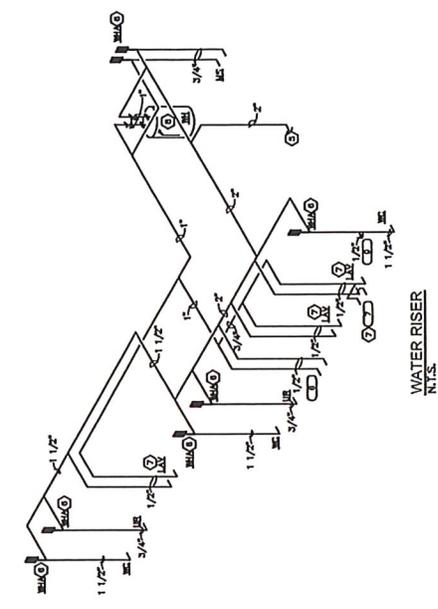
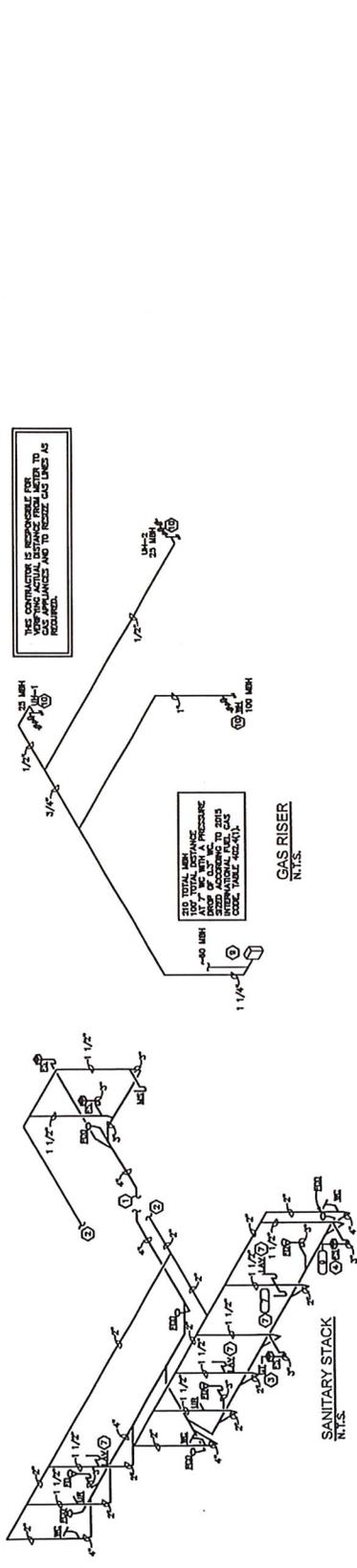
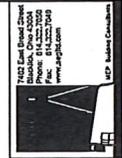
BUILDING DESIGNED & COPYRIGHTED BY

Terry S. Boutet, Architect
20140 Lexington Road, Fredericktown, OH 43019
(614) 205-2478 - terryboutetarchitect@gmail.com



CODE REVISION
01-30-2019

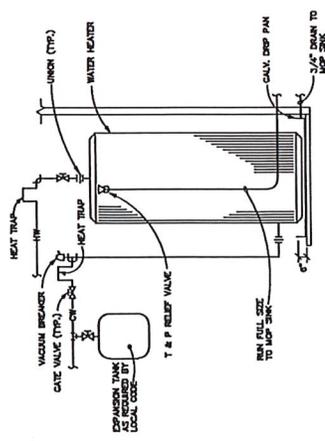
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01-30-2019
PROJECT CODE
19006
SHEET
P2
PLUMBING
ISOMETRICS



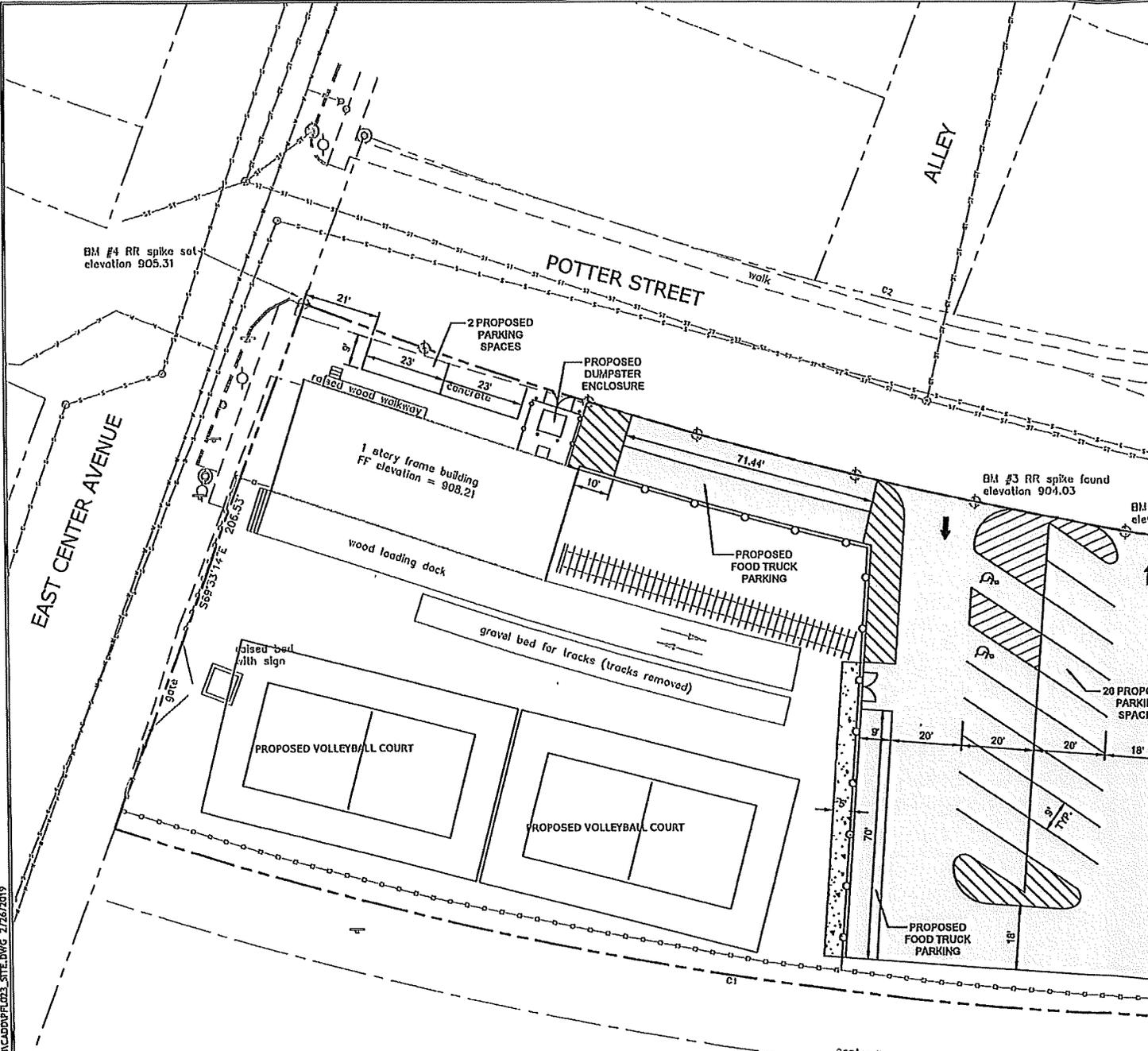
LEGEND*

EX CW	EXISTING COLD WATER	9
CW	COLD WATER	9
HW	HOT WATER	9
HW-R	HOT WATER RETURN	9
FW	FILTERED WATER	9
EX SAN	EXISTING SANITARY	9
SAN	SANITARY	9
EX SAN-H	EXISTING SANITARY HOT	9
SAN-H	SANITARY HOT	9
EX G	EXISTING GAS	9
G	GAS	9

* ALL SYMBOLS MAY NOT BE USED



C:\USERS\ELJAMSI\ELJAMSI\ENGINEERING, L.L.C\DRIVE - ELJAMSI\ENGINEERING, L.L.C\PLANS\CADD\FIELD3_SITE.DWG 2/26/2019



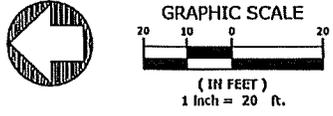
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1030.00'	357.41'	355.92'	N08°44'55" E	10°07'19"
C2	1150.00'	309.04'	308.12'	S13°33'55" E	18°23'50"

L1 1168°53'31" W 25.49'

PAVEMENT LEGEND

-  PROPOSED ASPHALT
-  PROPOSED CONCRETE

SITE DIMENSION PLAN





FACT SHEET

AGENDA ITEM NO: 15

DATE: 4/08/2019

ORDINANCE NO: 19-15

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: NO

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: William L. Ferrigno, P.E., Director of Public Works/City Engineer

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE SUPPLEMENTING THE 2019 APPROPRIATIONS ORDINANCE TO PROVIDE ADDITIONAL FUNDING FOR THE EAST WILLIAM STREET ROAD IMPROVEMENT PROJECT, AND DECLARING AN EMERGENCY.

BACKGROUND:

The East William Street Improvement Project is ready to construct. Bids were opened 3/15/19 and unfortunately were higher than estimated. Re-bidding the project is not a viable option as ODOT Safety Funds granted for this project must be encumbered in Fiscal Year 2019 (ends June 2019). Also, experience shows that re-bidding can result in lower or higher bid amounts. The current 2019 appropriation for this project is \$4,250,000. The new estimated amount needed to construct the project is **\$5,400,000** (including construction engineering and a \$150,000 contingency). ODOT awarded \$650,000 in Safety Funds towards this project earlier this year and has subsequently increased that amount to \$750,000 in reaction to the high bids. MORPC planned to contribute \$727,618 towards the project, and the City has requested this amount be increased to \$900,000. If the request to MORPC is approved, the total amount of available funds for the project (adding in the current balance of the original Veteran's Parkway Federal Earmark) will be **\$5,311,469**.

REASON WHY LEGISLATION IS NEEDED:

This project was included in the City's Capital Improvement Plan and 2019 Budget, however, the funds appropriated are not adequate to award the project.

COMMITTEE RECOMMENDATION:

Reviewed by the Finance Committee at its 04/03/2019 meeting.

FISCAL IMPACT(S):

The current 2019 Budget utilizes a combination of State Highway Improvement Funds (\$300,000) Water Funds (\$300,000) and General Funds (\$671,382) to fund the local share of this project. The General Fund allocation needs increased to \$750,000.

POLICY CHANGES:

None

PRESENTER(S):

William L. Ferrigno, P.E., Director of Public Works/City Engineer

RECOMMENDATION:

Approval at 2nd Reading

ATTACHMENT(S)

None

ORDINANCE NO. 19-15

AN ORDINANCE SUPPLEMENTING THE 2019 APPROPRIATIONS ORDINANCE TO PROVIDE ADDITIONAL FUNDING FOR THE EAST WILLIAM STREET ROAD IMPROVEMENT PROJECT, AND DECLARING AN EMERGENCY.

WHEREAS, the City of Delaware appropriated \$4,250,000 in 2019 for the East William Street Road Improvement Project of which \$3,278,618 was to be grant funded and \$971,382 paid for with City funds, and

WHEREAS, the City recently received bids on the project and the total bid amount including a contingency of \$150,000 was \$5,400,000, and

WHEREAS, additional grant funds were secured in the amount of \$1,061,469, and

WHEREAS, the City's funds necessary to complete the project at the bid price has increased from \$971,382 to \$1,059,913, and

WHEREAS, a supplemental appropriation will be necessary to move forward on this project.

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That there is hereby appropriated from the unencumbered balance of the Capital Improvement Fund \$1,150,000 increasing the following account:

US 36/E. William St. Corridor (410-4104-5541)	\$1,150,000
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SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Ohio Revised Code.

SECTION 3. EMERGENCY CLAUSE. That this ordinance is hereby declared to be an emergency measure necessary to provide for the public peace, safety, health and welfare of the City and for the further reason to provide for the timely awarding of the project construction contracts, and as such will be in full force and effect immediately upon its passage.

VOTE ON RULE SUSPENSION:

YEAS___NAYS___
ABSTAIN ___

VOTE ON EMERGENCY CLAUSE:

YEAS___ NAYS___
ABSTAIN ___

PASSED: _____, 2019

YEAS___ NAYS___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR



FACT SHEET

AGENDA ITEM NO: 16

DATE: 04/08/2019

ORDINANCE NO: 19-16

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: NO

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: Jackie Walker, Assistant City Manager

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE SUPPLEMENTING THE 2019 APPROPRIATIONS ORDINANCE TO PROVIDE FUNDING FOR THE RENOVATION OF THE CITY HALL ANNEX, AND DECLARING AN EMERGENCY.

BACKGROUND:

The City endeavors to create a user friendly space as well as a safe environment for staff and visitors alike.

This supplemental appropriation would authorize \$160,000 in addition to \$846,000 currently funded for the renovation of the City Hall Annex. The additional funds are needed to make the necessary repairs to asphalt and concrete work that were budgeted to be completed with the proposed parking lot/ welcome center to the east of the City Hall Annex as well as security upgrades, flood prevention systems, a restroom facility and to reimburse the contractor for emergency work that was completed during a storm event in November 2018.

REASON WHY LEGISLATION IS NEEDED:

An additional appropriation is needed to complete the City Hall Annex.

COMMITTEE RECOMMENDATION:

N/A

FISCAL IMPACT(S):

The \$160,000 will be used to pay for renovations and security upgrades for the City Hall Annex.

POLICY CHANGES:

N/A

PRESENTER(S):

Jackie Walker, Assistant City Manager

RECOMMENDATION:

Approval

ATTACHMENT(S)

None

ORDINANCE NO. 19-16

AN ORDINANCE SUPPLEMENTING THE 2019 APPROPRIATIONS ORDINANCE TO PROVIDE ADDITIONAL FUNDING FOR BUILDING IMPROVEMENTS AT CITY'S ANNEX BUILDING 18 EAST WILLIAM, AND DECLARING AN EMERGENCY.

WHEREAS, the City of Delaware appropriated \$2,031,686 in 2018 to renovate the former Gazette Building next to City Hall for use by a private business and for office space for the City's Planning and Building Inspection Department, and

WHEREAS, in the course of the renovation several unforeseen cost items were incurred and the additional work is being contemplated to complete the improvements to the building and the surrounding grounds, and

WHEREAS, the unforeseen costs and additional work total \$160,000, and

WHEREAS, a supplemental appropriation will be necessary to complete this project.

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That there is hereby appropriated from the unencumbered balance of the Capital Improvement Fund \$160,000 increasing the following account:

Annex Improvements (410-4118-5528)	\$160,000
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SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Ohio Revised Code.

SECTION 3. EMERGENCY CLAUSE. That this ordinance is hereby declared to be an emergency measure necessary to provide for the public peace, safety, health and welfare of the City and for the further reason to provide for the completion of the Annex Building improvements to reduce the disruption caused by the work, and as such will be in full force and effect immediately upon its passage.

VOTE ON RULE SUSPENSION:

YEAS ___ NAYS ___
ABSTAIN ___

VOTE ON EMERGENCY CLAUSE:

YEAS ___ NAYS ___
ABSTAIN ___

PASSED: _____, 2019

YEAS ___ NAYS ___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR



FACT SHEET

AGENDA ITEM NO: 17

DATE: 04/08/2019

ORDINANCE NO: 19-17

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING:

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: Dean Stelzer, Finance Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE SUPPLEMENTING THE 2019 APPROPRIATIONS ORDINANCE TO PROVIDE ADDITIONAL FUNDING FOR LOCAL ROAD RESURFACING WORK, AND DECLARING AN EMERGENCY.

BACKGROUND: This ordinance increases the City's 2019 local street resurfacing level from the original budget amount of \$150,000 to \$700,000. The revenue sources to support this increase are an additional General Fund allocation of \$350,000 and additional gas tax revenue anticipated for 2019 based on the State of Ohio increasing the gas tax from \$0.28/gallon to \$0.385/gallon effective July 1, 2019.

REASON WHY LEGISLATION IS NEEDED:

To authorize the budget change.

COMMITTEE RECOMMENDATION:

Finance Committee reviewed at the 04/03/2019 meeting; recommended presenting the supplemental appropriation to City Council.

FISCAL IMPACT(S):

Increases the budget for local street resurfacing from \$150,000 to \$700,000.

POLICY CHANGES:

None

PRESENTER(S):

Dean Stelzer

Bill Ferrigno

RECOMMENDATION:

Approval

ATTACHMENT(S):

ORDINANCE NO. 19-17

AN ORDINANCE SUPPLEMENTING THE 2019 APPROPRIATIONS ORDINANCE TO PROVIDE ADDITIONAL FUNDING FOR LOCAL ROAD RESURFACING WORK, AND DECLARING AN EMERGENCY.

WHEREAS, the City of Delaware appropriated \$150,000 in 2019 for local street resurfacing as part of the City's capital improvement plan,

WHEREAS, due to a General Fund budget surplus from 2018 an additional \$650,000 is available for allocation towards capital projects, and, and

WHEREAS, the State of Ohio recently passed the transportation funding bill that increased the gas tax rate by 10.5 cents per gallon 45% of the increase will be allocated to local governmental entities in Ohio, and

WHEREAS, the gas tax increase will be effective July 1, 2019 with the City to receive their proportionate share sometime thereafter, and

WHEREAS, it is the wish of this Council to allocate the additional gas tax revenue for 2019 and a portion of the additional general fund capital improvement allocation to increasing the local street resurfacing amount for 2019 to \$700,000.

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That there is hereby appropriated from the unencumbered balance of the General Fund \$650,000 increasing the following accounts:

Transfer to Street Maint. & Repair (101-0032-5703)	\$ 350,000
Transfer to CIP (101-0032-5701)	\$ 300,000

SECTION 2. That there is hereby appropriated from the unencumbered balance of the Street Maintenance and Repair Fund \$550,000 increasing the following account:

Local Street Resurfacing (200-2020-5530)	\$ 550,000
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SECTION 3. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those

formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Ohio Revised Code.

SECTION 4. EMERGENCY CLAUSE. That this ordinance is hereby declared to be an emergency measure necessary to provide for the public peace, safety, health and welfare of the City and for the further reason to provide for the timely undertaking of additional road maintenance work in 2019, and as such will be in full force and effect immediately upon its passage.

VOTE ON RULE SUSPENSION:

YEAS___NAYS___
ABSTAIN ___

VOTE ON EMERGENCY CLAUSE:

YEAS___ NAYS___
ABSTAIN ___

PASSED: _____, 2019

YEAS___ NAYS___
ABSTAIN ___

ATTEST:

CITY CLERK

MAYOR



FACT SHEET

AGENDA ITEM NO: 18

DATE: 04/08/2019

ORDINANCE NO:

RESOLUTION NO: 19-19

READING: FIRST

PUBLIC HEARING:

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: William L. Ferrigno, P.E., Public Works Director/City Engineer

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

A RESOLUTION ESTABLISHING RESTRICTIONS AND FEES FOR USE OF PUBLIC PARKING SPACES DESIGNATED FOR ELECTRIC VEHICLE CHARGING.

BACKGROUND:

In 2019 the City approved the designation of two public parking spaces as electric vehicle charging points located in the East William Street public parking lot. In order to ensure the availability of the designated charging point locations for use by electric vehicle owners/operators, restrictions are proposed for each of the spaces as follows:

- a. For electric vehicle charging only
- b. 3-hour maximum charge time (7AM to 10PM)
- c. Unlimited charging (10PM to 7AM)

REASON WHY LEGISLATION IS NEEDED:

To establish regulations regarding the use and fees associated with designated electric vehicle charging points.

COMMITTEE RECOMMENDATION:

Parking & Safety Committee recommended approval of the electric vehicle charging points.

FISCAL IMPACT(S):

The cost of electric power will be charged to the user through an electric vehicle charging station account provider and subsequently reimburse to the City for payment of monthly utility billing. User fees are based on the local electric utility rates and charged in Kw/hr usage. These rates can be adjusted through the charging station account provider. Because the spaces have been converted from general parking to electric vehicle charging only, the typical hourly metered parking fees will not be charged to the user.

POLICY CHANGES:

N/A

PRESENTER(S):

William L. Ferrigno, P.E., Public Works Director/City Engineer

RECOMMENDATION:

Approval

ATTACHMENT(S)

Exhibit 'A' Proposed 2019 EV Charging Point locations

RESOLUTION NO. 19-19

A RESOLUTION ESTABLISHING RESTRICTIONS AND FEES FOR USE OF PUBLIC PARKING SPACES DESIGNATED FOR ELECTRIC VEHICLE CHARGING.

WHEREAS, the City has designated two parking stalls located in the south end of the East William Street public parking lot as electric vehicle charging points, and

WHEREAS, these stalls will be equipped with Level 2 electric vehicle charging ports capable of providing an electric vehicle with 25 miles of driving distance with each hour of charge, and

WHEREAS, it is the desire of the City to make these charging points available to multiple operators of electric vehicles throughout the day and early evening hours, and

WHEREAS, hourly rates for use of the electric vehicle charging points will be established based on the current cost of electric power and the operation and maintenance costs associated with the charge ports, and

WHEREAS, each space designated as an electric vehicle charging point will be posted with the following restrictions:

- a. For electric vehicle charging only
- b. 3-hour maximum charge time (7AM to 10PM)
- c. Unlimited charging (10PM to 7AM)

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL FOR THE CITY OF DELAWARE, STATE OF OHIO:

SECTION 1. That the designated electric vehicle charging points located in the East William parking lot will be posted with the specified restrictions.

SECTION 2. That this resolution will be in force and effect immediately upon its passage.

PASSED: _____, 2019

YEAS___ NAYS___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR



Dual Port EV "ChargePoint"
Charging Station



E William EV Parking

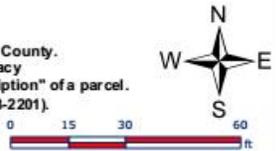


Delaware County Auditor
George Kaltsa

Information contained within this map may be used to generally locate, identify and inventory land parcels within Delaware County.
 Delaware County cannot warrant or guarantee the information contained herein, including, but not limited to its accuracy or completeness. The map parcel lines shown are approximate and this information cannot be constructed or used as a "legal description" of a parcel.
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Prepared by: Delaware County Auditor's GIS Office

Printed on 12/14/2015



TO: Mayor Riggle and Members of Council

FROM: R. Thomas Homan, City Manager

SUBJECT: Miscellaneous Matters

DATE: April 4, 2019

1. **Calendar**

See Attached

2. **Per Section 73 Of The City Charter The City Manager Is To Report Contract Agreements**

See Attached

3. **Meetings**

March 21

- 2022 International City Management Association Conference Discussion

March 28

- Mike Frommer from Delaware County
- Ron Davis and Partners regarding Wolf Industrial Property

April 2

- YMCA Update Meeting

April 3

- Finance Committee Meeting

4. **Required Reading**

April

2019

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
	1 City Council Work Session 6:30 p.m.	2	3 Civil Service-Cancelled Finance Committee 3:30 p.m. Planning 6:30 p.m.	4	5	6
7	8 City Council 7:00 p.m.	9 Sister City Advisory Board 6:00 p.m.	10 BZA 6:30 p.m.	11	12	13
14	15 Parking & Safety 6:00 P.M.-Cancelled	16	17	18 Airport Commission 6:30 p.m.	19	20
21	22 City Council 7:00 p.m.	23 Shade Tree Commission 6:30 p.m.	24 HPC 6:30	25	26	27
28	29	30				

CONTRACT APPROVAL - April 8, 2019

VENDOR	EXPLANATION OF AGREEMENT	2019 AMOUNT	DEPARTMENT
Dell Marketing LP	Office 365 Licensing	\$55,035.53	IT
Rockmill Financial Consulting	Municipal Advisory Services Agreement	\$0.00	Finance
QT Pod	Fueling Terminal	\$13,745	Public Works
Delaware County Foundation	Rutherford Hayes Fund	\$150,000	Parks
Burgess & Niple	West Water Tower Pain Design and Rehabilitation/Inspection	\$35,500	Public Utilities
Rockmill Financial Consulting	Municipal Advisory Service Agreement for upcoming bond issues	\$0.00	Finance
Ohio Wesleyan University	Agreement for EMS during 2019 OHSAA Boys/Girls Lacrosse Games	\$116.20/hr	Fire
Lake Erie Construction Co.	2019 Guardrail and Fence Repair Program	N/A	Public Works
MP Dory	2019 Guardrail and Fence Repair Program	N/A	Public Works