

**CITY OF DELAWARE
PLANNING COMMISSION
AGENDA
CITY COUNCIL CHAMBERS
1 S. SANDUSKY ST.
6:30 P.M.**

REGULAR MEETING

March 6, 2019

1. ROLL CALL
2. APPROVAL of the Motion Summary of the Planning Commission meeting held on February 6, 2019, as recorded and transcribed.
3. REGULAR BUSINESS
 - A. 2019-0236: A request by People in Need of Delaware County for approval of a Development Plan Exemption for a service pavilion (shelter), Phase 1 and 2, on approximately 1.907 acres zoned M-2 (General Manufacturing District) and located at 138 Johnson Drive.

Anticipated Process

 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public comment (not a public hearing)
 - d. Commission Action
 - B. 2019-0225: A request by Metro Development LLC for approval of a Final Development Plan for the Seattle House Apartments (240 units) on approximately 24.212 acres zoned R-6 and B-3 PMU (Planned Mixed Use Overlay District) and located on the north side of US 36/37 and the south side of Bowtown Road just east of the Chesrown auto storage lot.

Anticipated Process

 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public comment (not a public hearing)
 - d. Commission Action
2. PLANNING DIRECTOR'S REPORT
3. COMMISSION MEMBER COMMENTS AND DISCUSSION
4. NEXT REGULAR MEETING: April 3, 2019
5. ADJOURNMENT

**PLANNING COMMISSION
FEBRUARY 6, 2019
MOTION SUMMARY**

ITEM 1. Roll Call

Chairman Simpson called the meeting to order at 6:30 p.m.

Members Present: Robert Badger, Jim Halter, Dean Prall, Andy Volenik, Mayor Carolyn Kay Riggle, Vice-Chairman George Mantzoros, and Chairman Stacy Simpson

Staff Present: Carrie Fortman, Project Engineer and Dave Efland, Planning and Community Development Director

ITEM 2. APPROVAL of the Motion Summary of the Planning Commission meeting held on January 16, 2019, as recorded and transcribed.

Motion: Mr. Halter motioned to approve the Motion Summary for the Planning Commission meeting held on January 16, 2019, as recorded and transcribed, seconded by Mayor Riggle. Motion approved by a 7-0 vote.

ITEM 3. REGULAR BUSINESS

A. 2019-0023: A request by Carrols Corporation for approval of a Final Development Plan for a Burger King on approximately 1.14 acres on property zoned B-3 PUD (General Business District with a Planned Unit Development Overlay District) and located at 1034 West Central Avenue (US 37).

Anticipated Process

a. Staff Presentation

Prior to the presentation, Chairman Simpson notified the applicant that he is employed at a Wendy's and asked the applicant would prefer for him to recuse himself from the discussion. Mr. Fox informed the Commission that he did not have concerns with Chairman Simpson's employment status.

Mr. Efland reviewed the proposed site plan and access to the property. He discussed that Burger Kind is proposing to develop an approximate 2,981 square foot building with a drive thru and a 40 space parking lot for the last out lot. The proposal includes the demolition of the existing house. He discussed that the site would be accessed by a full movement curb cut on the Ace Hardware private access from West Central Avenue. West Central Avenue is to be widened by the applicant to allow for an east bound turn lane into the private drive. Pedestrian connectivity was discussed and

the sidewalk is to be extended form West Central Avenue along the private drive. Mr. Efland provided the renderings of the proposed building elevations and that the limestone on the building shall be Delaware blue limestone. All roof top mechanical equipment will be screened from public view.

Mr. Prall discussed plans for landscaping and mounding. Mr. Efland discussed that there will not be mounding. Mr. Halter voiced a concern over the odor from cooking during warmer weather and the noise from trash pickup in the early am. Mr. Halter also voiced a concern over the increase of traffic on West Central Avenue.

b. Applicant Presentation

APPLICANT:

Steve Fox
1066 Dublin Road, Suite 100
Columbus, Ohio 43215

Amanda Aldridge
Carrols Corporation
917 Harbor View
Memphis, Tennessee

Ms. Aldridge discussed the expected volume during peak times and that it is not as high as other fast food restaurants. She informed the Commission that she will look into the trash pickup times. She discussed the plans to reach out to the neighbors to discuss any concerns.

Mr. Halter voiced his concern over the lack of traffic signal at the site and that traffic can back up very easy in the area. Ms. Fortman discussed that a traffic light was not warranted in the area when reviewed during the original plan. During the original planning, Buehlers was still operating and generated more traffic than currently.

c. Public comment (not a public hearing)

There was no public comment.

d. Commission Action

Motion: Mr. Prall motioned to approve 2019-0023, along with all staff recommendations and conditions, seconded by Mr. Badger. Motion approved by a 7-0 vote.

B. 2019-0139: A request by Grden Property for review of a Concept Plan for

the Grden Property Subdivision consisting of 246 single family lots on approximately 102 acres located on the north side of Peachblow Road just east of the Belmont Place Subdivision.

Anticipated Process

a. Staff Presentation

Mr. Efland discussed the Concept Plan for the Grden Property Subdivision consisting of 246 single family lots on approximately 102 acres located on the north side of Peachblow Road. He discussed that this area is located east of the Belmont Place Subdivision. Mr. Efland discussed that site is currently located in the township and that the applicant is considering annexing the property into the City for a single-family subdivision. He discussed that the site is located within the City utility service area. He discussed that the applicant would propose 3 different lot sizes, with the smallest being at 52 feet wide. The Concept Plan is comparable to the Communities of Glenross and Belmont Place. He discussed planned road connections and the current 150 ft. wide powerline easement that runs through the property.

b. Applicant Presentation

APPLICANT:

Bob Grden
10590 Wellington Blvd.
Powell, Ohio 43065

Michael R. Shade
P.O. Box 438
Delaware, Ohio 43015

Mr. Grden discussed that the property was purchased in 1989 by his Father and that the property is currently utilized for farming. He discussed that there are high tension wires running across the southeast corner of the property. He discussed the intention to have a developer, such as Ryan Homes come in and develop the property. He discussed current challenges to the site, which include a utility connection through OhioHealth's property. Mr. Grden provided information from the NRDC report supporting current trends to develop on smaller lots. Mr. Prall requested if the 52 ft. lots would be directed towards 55 years and older. Mr. Grden discussed that there would be a dual purpose for the lots for older adults and first time home buyers. Mr. Prall recommended that there be more active space or amenities put into the plan and distinct signage to help differentiate the different communities.

Mr. Shade discussed the requirements and annexation process and the requirement to notify surrounding homeowners.

Mr. Halter discussed the need to update the Zoning Code to reflect current trends on lot and house size.

c. Public comment (not a public hearing)

There was no public comment.

d. No Action Required

ITEM 4. PLANNING DIRECTOR'S REPORT

Mr. Efland provided an update on activities from 2018 from the Planning Department. He highlighted the work from the downtown façade programs. He discussed permits requested in 2018 and estimated population growth.

Ms. Fortman provided an update regarding new requirements by AEP form street lighting.

ITEM 5. COMMISSION MEMBER COMMENTS AND DISCUSSION

ITEM 6. NEXT REGULAR MEETING: March 6, 2019

ITEM 7. ADJOURNMENT:

Motion: Chairman Simpson moved for the Planning Commission meeting to adjourn. The meeting adjourned at 8:41 p.m.

Chairperson

Elaine McCloskey, Clerk

APPLICANT/OWNER

People In Need, Inc. of Delaware County Ohio
138 Johnson Drive
Delaware, Ohio 43015

REQUESTS

2019-0236: A request by People In Need of Delaware County Ohio for approval of a Development Plan Exemption for a service pavilion (shelter), Phase 1 and 2, on approximately 1.907 acres zoned M-2 (General Manufacturing) and located at 138 Johnson Drive.

PROPERTY LOCATION & DESCRIPTION

The subject parcel is located at 138 Johnson Drive just east of London Road and encompasses approximately 1.907 acres. The subject property is zoned M-2 (General Manufacturing) as are the properties to the north, south, east, and west.

BACKGROUND/PROPOSAL

People In Need (PIN) started a project back in 2014 in conjunction with the Mid-Ohio Food Bank to bring free fresh produce to Delaware County for people who need it most. The produce is distributed outside, regardless of weather, on the last Wednesday of every month from March through November at 138 Johnson Drive. Since its inception, these markets have grown in attendance as the event has had other agencies and services join. PIN does actively manage the event to prevent overcrowding and the proposed structure would help facilitate the people and resources. The proposed service pavilion is almost 3,000 square feet and is designed to be built in two phases. The first phase includes the construction of the concrete pad and roof structure while the second phase would include the enclosure of all or part of the structure. The first phase will meet the existing needs of the produce market while the second phase will be constructed at a later date as the program develops and additional funding becomes available. PIN is a not for profit enterprise and relies upon donations, including the ability to construct this project.

STAFF ANALYSIS

- **ZONING:** The construction of the proposed service pavilion (minor construction) requires a Development Plan Exemption approved by the Planning Commission.
- **GENERAL ENGINEERING:** Per the Engineering Department, the proposed service pavilion is a minor construction on the site and would not require any engineering drawings.
- **ROADS AND ACCESS:** The access to the site would remain the same from Johnson Drive through the parking lot to the proposed service pavilion. PIN arranges pickups for its clients at different times to reduce traffic congestion.
- **SITE CONFIGURATION:** The proposed 2,940 square foot service pavilion would be located just north of the existing parking lot approximately 30 feet from the east property line and 100 feet from the north property line. This is the same location where the distribution of produce currently takes place as a series of tents are used to provide protection from the elements. The first phase of construction of the service pavilion would have a concrete slab with a metal roof structure. The second phase of construction would enclose the structure and provide emergency lighting.
- **DESIGN:** The proposed one story service pavilion in Phase 1, with a maximum height of 13.5 feet, would be open to the north, south, east, and west with wall panels partially covering each side. The service pavilion would be supported by wood poles and have a sloped metal roof. The proposed structure would be painted to match the existing building. Phase 2 would enclose the open walls of Phase 1.
- **LANDSCAPING & SCREENING:** No additional landscaping is proposed nor would be required with the minor addition.
- **TREE PRESERVATION:** No trees would be removed in the construction of the service pavilion.
- **SIGNAGE:** No additional signage is requested in this proposal.

- **LIGHTING:** No additional lighting is proposed.
- **DEVELOPMENT PLAN EXEMPTION:** Section 1129.06(k) of the Zoning Code authorizes the Director of Planning and Community Development to exempt small incidental construction, which does not result in an adverse impact to the site or surroundings, from the development plan review process. Should the Director make such a determination, the Planning Commission shall confirm or overturn the determination.

Section 1129.06(k) Development Plan Exemption. When a minor alteration is proposed to an existing building, structure, use or site arrangement the Director of Planning and Community Development may make a preliminary determination that such a proposal is not contrary to the Zoning Ordinance and will not result in any material adverse impact to the site or surrounding areas. In such case, the Director may further determine that such proposal is not subject to development plan review. Such determination shall primarily apply to small incidental construction on large zoning lots and when the proposed construction is substantially distant and screened from the adjacent roadways and property lines.

If the Director makes a determination that such a proposal is not a minor alteration, the proposal shall fully comply with the development plan review procedures in Chapter 1129.

- (1) When the Director of Planning and Community Development makes such preliminary determination of administrative approval, the proposal shall be placed on the agenda of the next regularly scheduled Planning Commission meeting. At such meeting, the Planning Commission shall, by motion and majority vote, either:

- A. Confirm the Director of Planning and Community Development's preliminary determination, in which case, the Director may issue a certificate of zoning compliance; or
- B. Overturn the Director of Planning and Community Development's determination and, in so doing, require that the proposal fully comply with the development plan review procedures in Section 1129.06.

The Director finds, preliminarily, that this proposal (Phase 1 and 2) with the conditions noted, is a minor alteration, with no adverse impacts to the site or surroundings, and is not contrary to the Zoning Code.

STAFF RECOMMENDATION – DEVELOPMENT PLAN EXEMPTION (2019-0236)

Staff recommends approval of a request by People In Need of Delaware County Ohio for approval of a Development Plan Exemption for a service pavilion (shelter), Phase 1 and 2, on approximately 1.907 acres zoned M-2 (General Manufacturing) and located at 138 Johnson Drive, with the following condition that:

1. The proposed service pavilion shall be constructed per the submitted plans and shall achieve compliance with the minimum building code requirements (Phase 1 and 2).

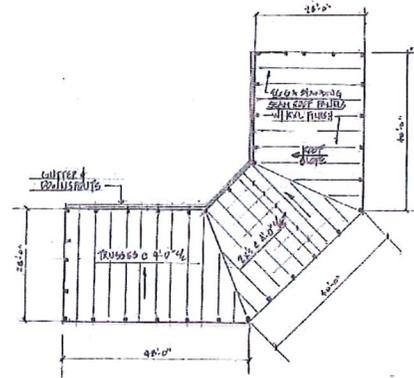
PRODUCE MARKETS

People In Need, started a project back in May of 2014 in conjunction with the Mid-Ohio Food Bank to bring free fresh produce to Delaware County and distribute it to the people who need it most. The markets are scheduled on the last Wednesday of every month March through November and held outdoors regardless of the weather. Since that time, PIN has been able to distribute 378,453 pounds of free fresh produce, dairy and bakery to 4,598 families made up of 6,970 adults, 2,807 seniors and 4,324 children. The only criteria for eligibility is that they have a self-disclosed income at or below 200% of the US Federal poverty guidelines and provide a picture ID.

Since starting the markets, the events have grown to become a vehicle for other agencies and programs to reach out and serve our families. We have hosted free medical clinics, health assessments by the Delaware General Health District, flu shot clinics, voter registration, free hearing checks, distribution of weather alert radios, services for seniors, recruitment for enrollment in the LEADS Head Start program, SNAP benefits sign ups, free starter vegetable plants, and many more services and educational opportunities centered around nutrition and health.

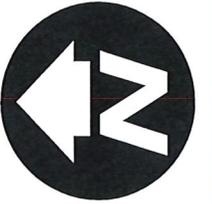
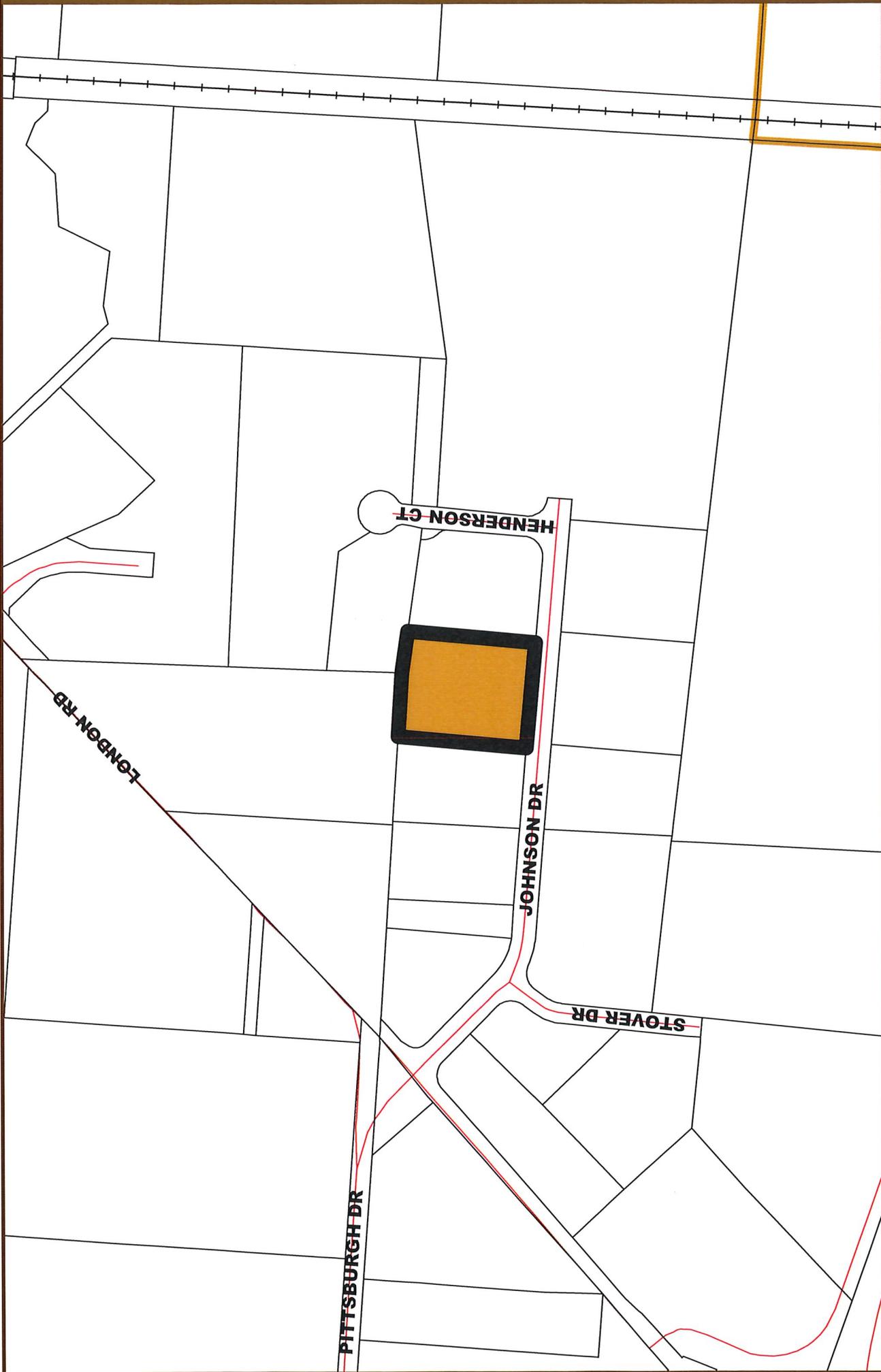


As previously stated, these markets are held outdoors rain or shine. PIN tried to use tents to shade the products from the summer sun as well as the rain and even snow in November, but despite our best efforts these measures were woefully inadequate. PIN's proposal is to build the Kevin James Crowley Community Services Pavilion.



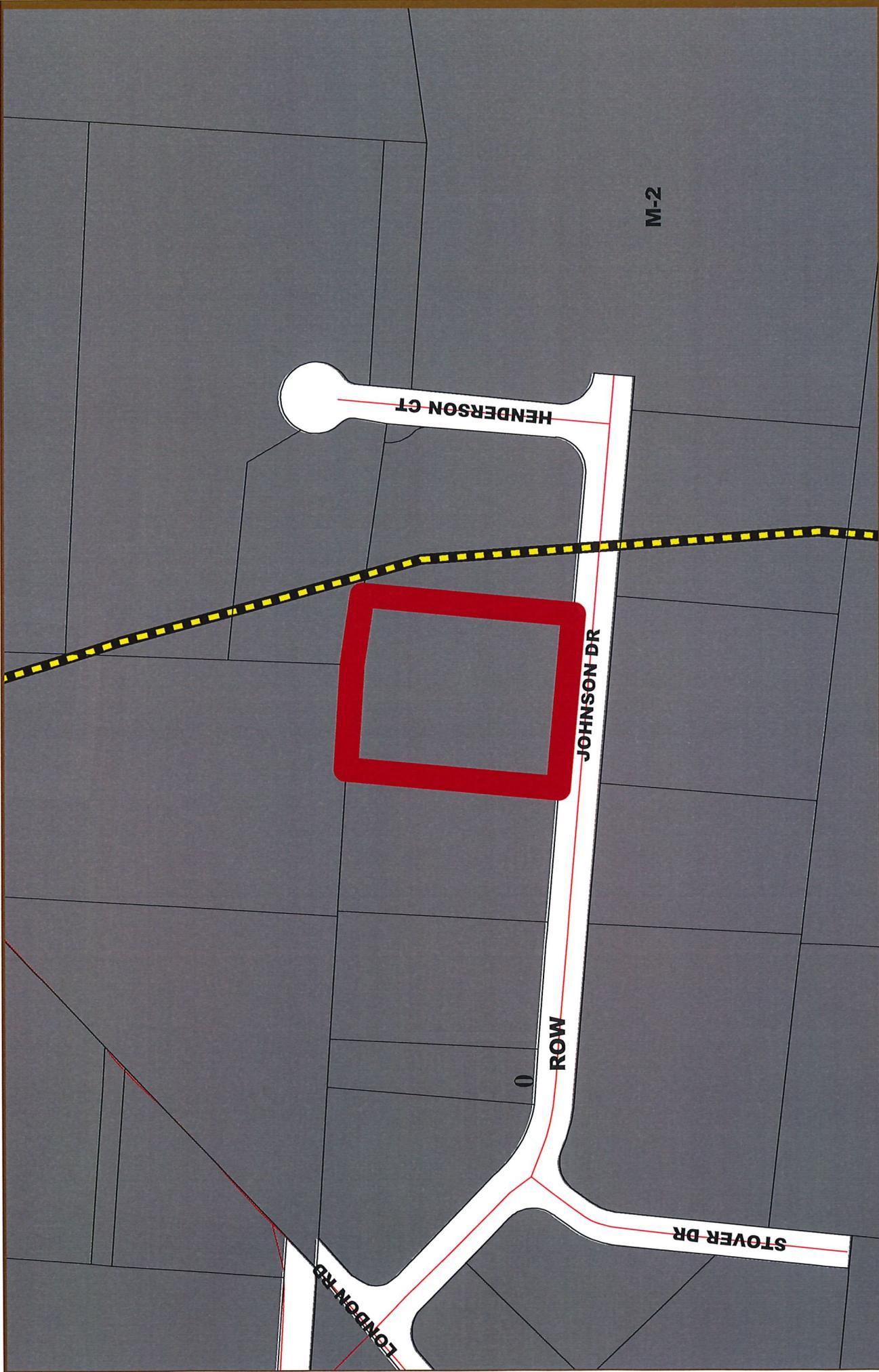
The pavilion was designed to be built in phases. Phase 1 involves the construction of the facility concrete pad and roof structure. This phase will accommodate the existing needs of the Produce Markets. Volunteers and clients will be provided some relief from inclement weather or excessive sun and the donated produce will also be better protected.

As PIN's service programs develop to better serve the Delaware County community and funding is available, Phase 2 will be implemented to enclose all or part of the existing structure to meet the program needs at that time.



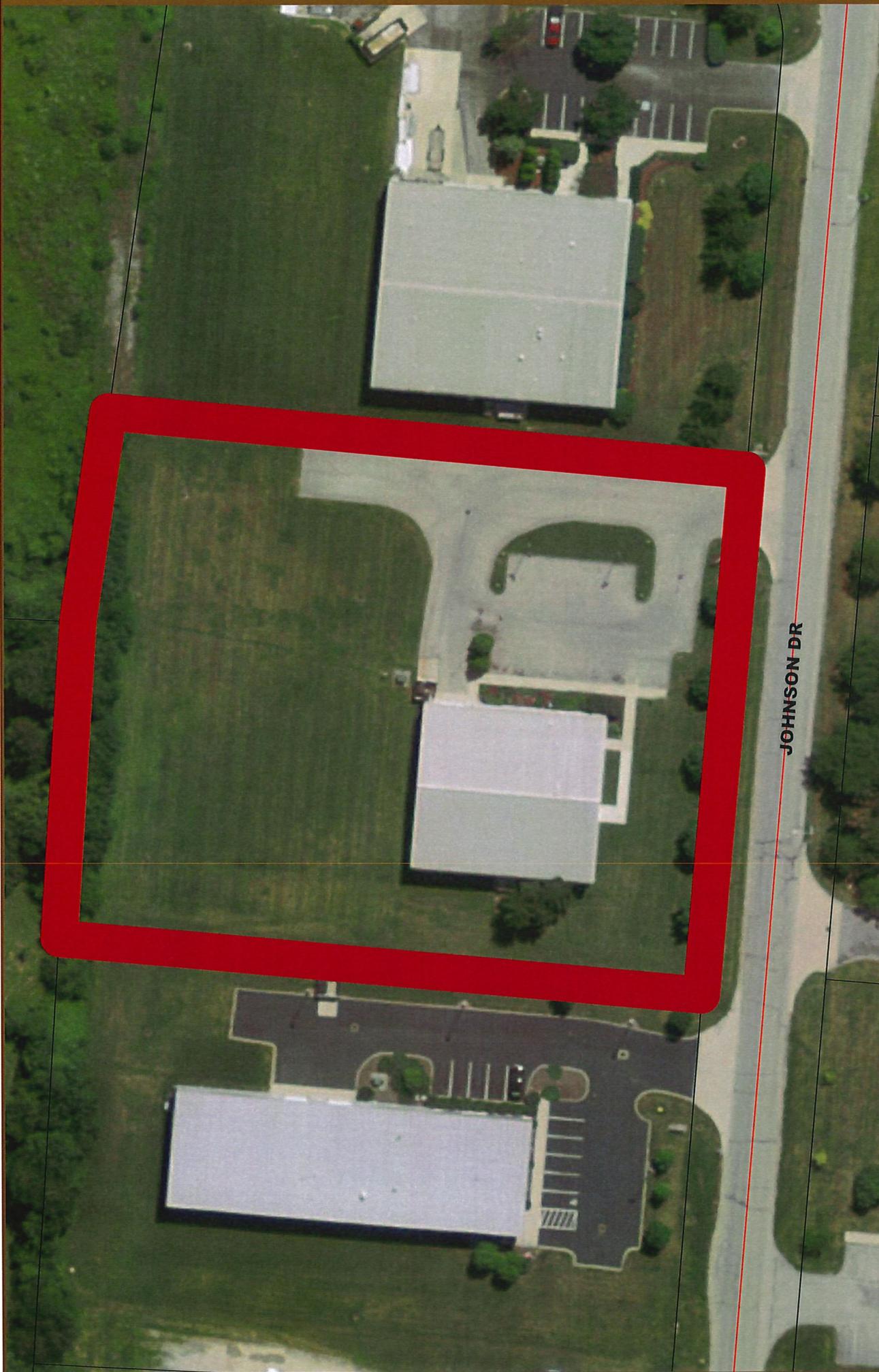
2019-0236
Development Plan Exemption
People In Need - 138 Johnson Drive
Location Map





2019-0236
Development Plan Exemption
People In Need - 138 Johnson Drive
Zoning Map



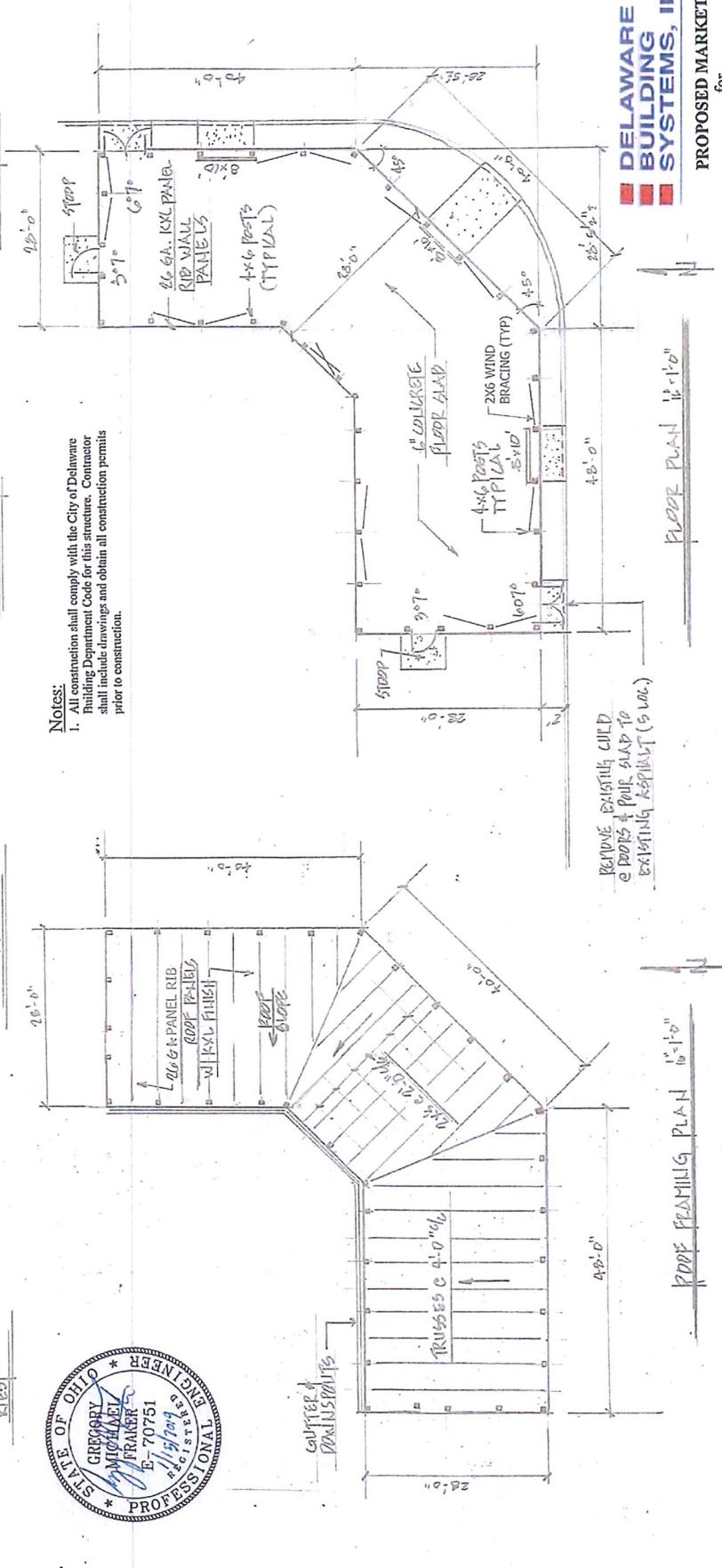
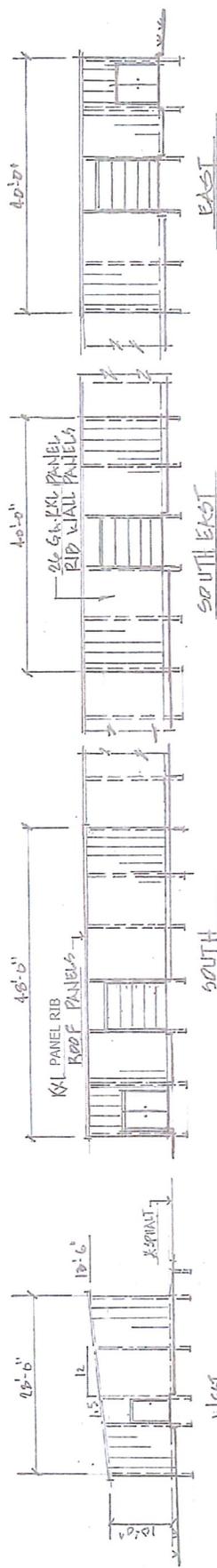


JOHNSON DR



2019-0236
Development Plan Exemption
People In Need - 138 Johnson Drive
Aerial (2016) Map





Notes:
 1. All construction shall comply with the City of Delaware Building Department Code for this structure. Contractor shall include drawings and obtain all construction permits prior to construction.



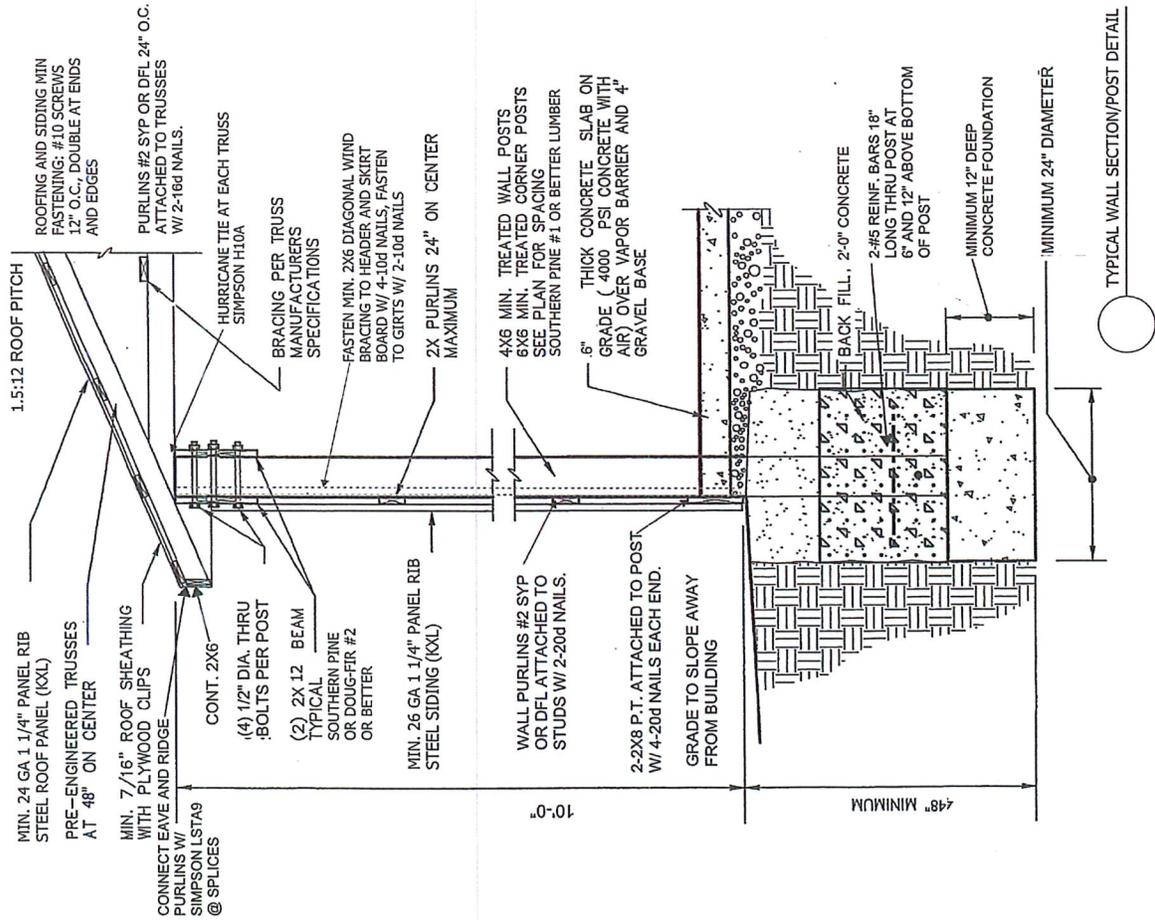
DELAWARE BUILDING SYSTEMS, INC.

PROPOSED MARKET for
PEOPLE IN NEED
 138 Johnson Drive
 Delaware, Ohio

REMOVE EXISTING GIRD
 & POSTS & POUR SLAB TO
 EXISTING LEVEL (5 W.C.)

ROOF FRAMING PLAN 1/4" = 1'-0"

FLOOR PLAN 1/4" = 1'-0"



PROPOSED MARKET
for
PEOPLE IN NEED
138 Johnson Drive
Delaware, Ohio

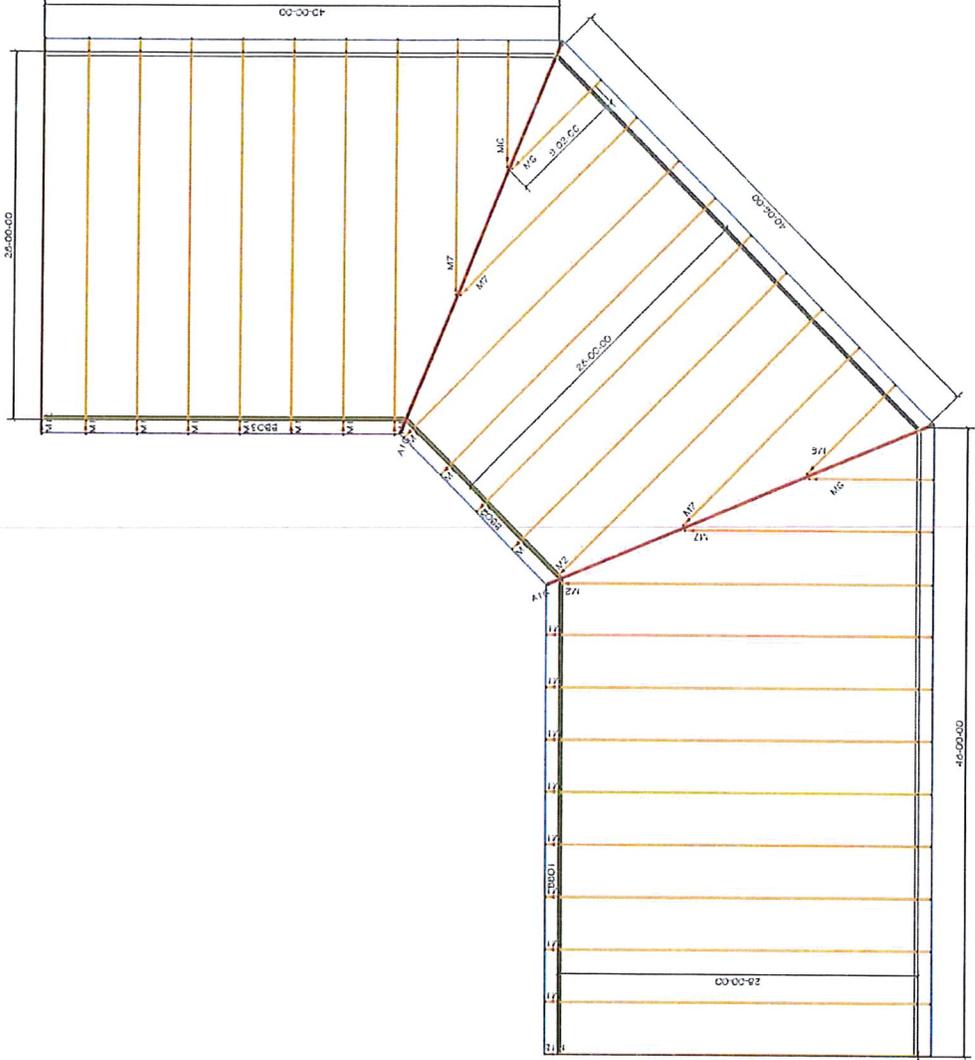
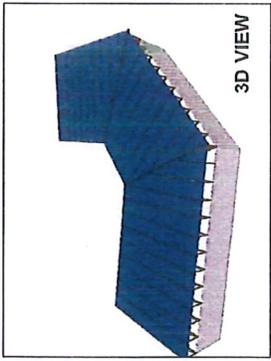
- DESIGN LOADS: ROOF LIVE LOAD = 20 PSF
- ROOF DEAD LOAD = 5 PSF TOP CHORD, 5 PSF BOTTOM CHORD
- WIND LOAD = 115 MPH, EXPOSURE B
- IMPORTANCE FACTOR = 1.0
- ALLOWABLE SOIL BEARING PRESSURE = 1500 PSF ASSUMED
- DIMENSIONS ARE APPROXIMATE, BUILDER TO DETERMINE ALL FINAL DIMENSIONS
- COORDINATED WITH OPENINGS, TRUSSES, ETC.
- ALL OTHER CONSTRUCTION REQUIREMENTS, ACCESSORIES, ETC. BY BUILDER TO COMPLY WITH OHIO BUILDING CODE
- FASTENERS TO BE HOT DIP GALVANIZED OR OTHERWISE CORROSION RESISTANT, COMPATIBLE WITH MATERIALS AND TREATMENT OF LUMBER

Quote

		Sold To: INSIDE SALES				AppWrt Job No. 1484822		Ship Date 7/26/2018			
						OnLine Job No.		Quote Account PO			
Plant: Delaware Truss 130 Johnson Drive Delaware, OH 740-549-0465		SubDvsn: PEOPLE IN NEED, OH Lot: SHED Model/Elev: SHED Options Shlpment Roof				Req'd Engineering		Req'd Layouts			
Sales Rep JERRY TESTA Sales Area Dist Center Designer		Directions SEE JERRY FOR PRICING				Job Contacts Name Phone Fax		Site Office			
		Truss ID	Quantity	Type	Slope (Depth)	Left	Right	Stub	Height Weight/Ply	Total Weight	
		Span									
		A1G 30-2-7	4 (2-2Ply)	ROOF	TC: 1.39	OH: 1-1-0	OH: 1-1-0		4-11-6 ht 299 lbs.	598 lbs	
		M1 28-0-0	19	ROOF	TC: 1.5	OH: 1-0-0	OH: 1-0-0		4-11-8 ht 123 lbs.	2337 lbs	
		M1E 28-0-0	2	ROOF	TC: 1.5	OH: 1-0-0	OH: 1-0-0		4-11-8 ht 149 lbs.	298 lbs	
		M2 28-0-0	2	ROOF	TC: 1.5		OH: 1-0-0		4-11-8 ht 122 lbs.	244 lbs	
		M6 8-8-6	4	ROOF	TC: 1.5		OH: 1-0-0		4-11-8 ht 42 lbs.	168 lbs	
		M7 18-4-4	4	ROOF	TC: 1.5		OH: 1-0-0		4-11-8 ht 75 lbs.	300 lbs	
		Total Trusses:	35							Total Weight: 3,945 lbs	
Miscellaneous Items:		Quantity	Item	Description							
		66	H2.5A	TieDown (H2.5A)							
		8	LSSU210	Hanger (LSSU210)							
Accepted By Seller By: _____ Title: _____ Date Of Acceptance: _____			Accepted By Buyer Purchaser: _____ By: _____ Title: _____ Address: _____ Phone: _____ Date: _____				Truss Pkg: \$3,670.00 Tax: \$0.00 Shipping: \$0.00 Total Price: \$3,670.00				
TAX NOT INCLUDED NOTICE: Errors in dimensions or quantities will be corrected at the Expense of BuildersFirst Source only if items supplied do not match the above described order. Please refer to "Bracing Wood Truss: Commentary and Recommendations", HIB-91, published by Truss Plate Institute, Inc. It is the customers responsibility to provide access to the jobsite. THIS QUOTATION IS NULL AND VOID IF NOT AGREED TO WITHIN THIRTY DAYS.											

TRUSS PLACEMENT GUIDE

THIS LAYOUT IS INTENDED FOR QUOTING PURPOSES ONLY - NOT FOR CONSTRUCTION



NOTES:
 DO NOT CUT OR MODIFY TRUSSES.
 TRUSSES ARE SPACED 24" ON CENTER UNLESS NOTED OTHERWISE.
 REFER TO THE INDIVIDUAL TRUSS DESIGN DRAWINGS FOR THE APPLICABLE BRACING AND MULTI-PLY CONNECTION REQUIREMENTS.
 PER ANSI TR 1.0-2009 THE TRUSS ENGINEER IS RESPONSIBLE FOR CONNECTIONS TO TRUSS CONNECTIONS AND TRUSS PLY TO PLY CONNECTIONS. THIS PLACEMENT PLAN RECOMMENDS TRUSSES TO BE SPACED 24" ON CENTER UNLESS OTHERWISE NOTED. THE DESIGNER SHALL BE REVIEWED BY THE BUILDING DESIGNER TO RESOLVE ALL ROOF FORCES ADEQUATELY TO THE FOUNDATION.
 ALL TRUSS TIES TO BE INSTALLED BEFORE O.S.B. IS APPLIED TO ROOF

DO NOT CUT TRUSSES! TRUSSES CUT BY ANY TRADE / SUB-CONTRACTOR WITHOUT FIRST RECEIVING PERMISSION AND DIRECTION FROM BUILDERS FIRST SOURCE, (740) 549 0465, SHALL BE CONTRACTOR / BUILDER RESPONSIBILITY! NO EXCEPTIONS

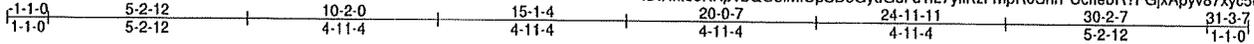
CUSTOMER:		SHED	
JOB NAME & MODEL:		SHED	
Address: Warren Co, OH		Salesperson:	
Scale:	Quote #: 1484822	Drawn By: Master	Designed By: Master
Date: 07/25/18	Lot #: ...		



Job 1484822	Truss A1G	Truss Type Roof Special Girder	Qty 2	Ply 2	SHED	Job Reference (optional)
----------------	--------------	-----------------------------------	----------	----------	------	--------------------------

Builders First Source, Delaware, Ohio 43015

Run: 8.200 s Jun 12 2018 Print: 8.200 s Nov 30 2017 M/Tek Industries, Inc. Wed Sep 19 11:01:49 2018 Page 1
ID: Hkt30KkP?bQQ5iMUpSDoGyuGdi-u1I2YllKzFmpR0ShrPUclfebR?FGjxApv87xyc5qW



Scale = 1:53.0

1.39 | 12

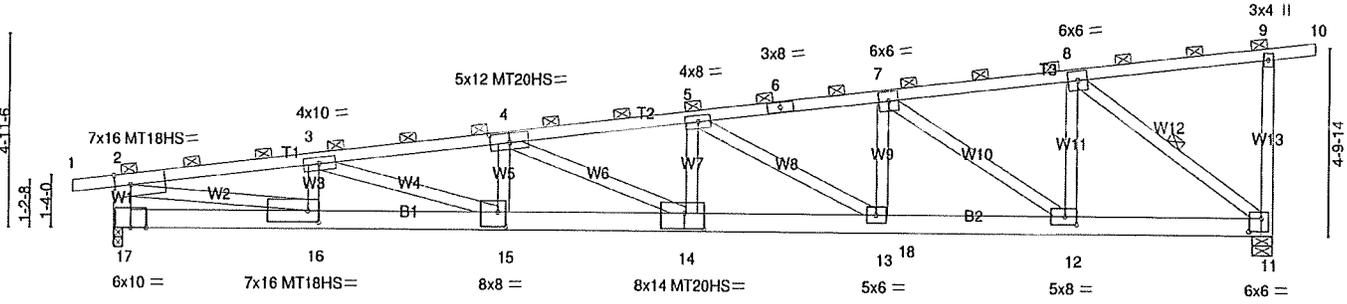


Plate Offsets (X,Y) --	[2:0-5-2,Edge], [4:0-6-0,0-3-0], [11:0-3-12,0-4-0], [12:0-3-8,0-2-8], [14:0-6-4,0-4-12], [15:0-2-8,0-4-8], [16:0-3-8,0-3-8]
------------------------	-----------------------------------------------------------------------------------------------------------------------------

LOADING (psf)	SPACING-	CSI.	DEFL.	PLATES	GRIP
TCLL 25.0	4-0-0	TC 0.79	in (loc) l/defl L/d	MT20	197/144
TCDL 5.0	Plate Grip DOL 1.15	BC 0.92	Vert(LL) -0.60 14-15 >600 240	MT20HS	148/108
BCLL 0.0	Lumber DOL 1.15	WB 0.91	Vert(CT) -0.79 14-15 >455 180	MT18HS	197/144
BCDL 5.0	Rep Stress Incr NO	Matrix-MS	Horz(CT) 0.12 11 n/a n/a	Weight: 300 lb	FT = 20%
	Code IBC2015/TPI2014				

LUMBER-
TOP CHORD 2x4 SPF No.2 *Except*
T1: 2x4 SP 2400F 2.0E, T2: 2x4 SPF 1650F 1.5E
BOT CHORD 2x6 SPF 1650F 1.5E
WEBS 2x4 SPF No.3 *Except*
W1: 2x6 SPF 1650F 1.5E, W2: 2x4 SPF 1650F 1.5E

BRACING-
TOP CHORD 2-0-0 oc purlins (3-6-12 max.), except end verticals
(Switched from sheeted: Spacing > 2-0-0).
BOT CHORD Rigid ceiling directly applied or 9-5-3 oc bracing.
WEBS 1 Row at midpt 8-11

REACTIONS. (lb/size) 11=3654/0-6-5 (min. 0-1-13), 17=4087/0-2-14 (min. 0-1-8)
Max Horz 17=284(LC 5)
Max Uplift 11=-1086(LC 8), 17=-1196(LC 4)

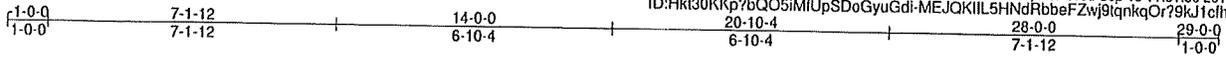
FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD 2-3=-11183/3174, 3-4=-15018/4367, 4-5=-11862/3498, 5-6=-8568/2654, 6-7=-8534/2657,
7-8=-4292/1332, 9-11=-430/145, 2-17=-3816/1159
BOT CHORD 16-17=-478/1106, 15-16=-3196/11061, 14-15=-4335/14823, 13-14=-3429/11646,
13-18=-2582/8478, 12-18=-2582/8478, 11-12=-1231/4231
WEBS 3-16=-2112/693, 3-15=-1224/4020, 4-15=-440/1187, 4-14=-3386/973, 5-14=-339/1518,
5-13=-3612/966, 7-13=-831/2727, 7-12=-5094/1620, 8-12=-888/3026, 8-11=-5266/1618,
2-16=-2885/10146

- NOTES-**
- 2-ply truss to be connected together with 10d (0.131"x3") nails as follows:
Top chords connected as follows: 2x4 - 1 row at 0-7-0 oc, 2x6 - 2 rows staggered at 0-9-0 oc.
Bottom chords connected as follows: 2x6 - 2 rows staggered at 0-6-0 oc.
Webs connected as follows: 2x4 - 1 row at 0-9-0 oc.
 - All loads are considered equally applied to all plies, except if noted as front (F) or back (B) face in the LOAD CASE(S) section. Ply to ply connections have been provided to distribute only loads noted as (F) or (B), unless otherwise indicated.
 - Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasd=91mph; TC DL=3.0psf; BC DL=3.0psf; h=25ft; Cat. II; Exp C; enclosed; MWFRS (envelope); cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60
 - Dead loads shown include weight of truss. Top chord dead load of 5.0 psf (or less) is not adequate for a shingle roof. Architect to verify adequacy of top chord dead load.
 - All plates are MT20 plates unless otherwise indicated.
 - This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
 - * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
 - Bearing at joint(s) 11, 17 considers parallel to grain value using ANSI/TPI 1 angle to grain formula. Building designer should verify capacity of bearing surface.
 - Provide mechanical connection (by others) of truss to bearing plate at joint(s) 17.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1086 lb uplift at joint 11 and 1196 lb uplift at joint 17.
 - This truss is designed in accordance with the 2015 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
 - Graphical purlin representation does not depict the size or the orientation of the purlin along the top and/or bottom chord.

Continued on page 2

Job 1484822	Truss M1	Truss Type Monopitch	Qty 19	Ply 1	SHED
Builders First Source, Delaware, Ohio 43015					Job Reference (optional)

Run: 8:200 s Jun 12 2018 Print: 8:200 s Nov 30 2017 Mitek Industries, Inc. Wed Sep 19 11:01:50 2018 Page 1
 ID:Hk130Kkp7bQ05iMiUpSDoGyuGdi-MEJOKIL5HNdRbbeFZwj9tqnkqOr79k1fchfNyc5qV



Scale = 1:50.5

9-5-3	18-6-13	28-0-0
9-5-3	9-1-11	9-5-3
Plate Offsets (X, Y)-- [2:0-3-8, Edge], [2:0-0-6, 0-2-12], [8:0-3-5, Edge]		

LOADING (psf)	SPACING-	4-0-0	CSI.	DEFL.	in (loc)	l/defl	L/d	PLATES	GRIP
TCLL 25.0	Plate Grip DOL	1.15	TC 0.96	Vert(LL)	-0.45 11-13	>741	240	MT20	197/144
TCDL 5.0	Lumber DOL	1.15	BC 0.70	Vert(CT)	-0.65 11-13	>513	180	MT20HS	148/108
BCLL 0.0 *	Rep Stress Incr	NO	WB 1.00	Horz(CT)	0.14 10	n/a	n/a	MT18HS	197/144
BCDL 5.0	Code IBC2015/TPI2014		Matrix-MS						Weight: 124 lb FT = 20%

LUMBER-	BRACING-
TOP CHORD 2x4 SPF 1650F 1.5E *Except*	TOP CHORD 2-0-0 oc purlins (2-8-10 max.), except end verticals
T2: 2x4 SP 2400F 2.0E	(Switched from sheeted: Spacing > 2-0-0).
BOT CHORD 2x4 SP 2400F 2.0E	Rigid ceiling directly applied or 6-1-3 oc bracing.
WEBS 2x4 SPF No.3 *Except*	WEBS 1 Row at midpt 5-11, 7-10
W7, W2: 2x4 SPF No.2, W1: 2x6 SPF 1650F 1.5E	2 Rows at 1/3 pts 4-14
OTHERS 2x4 SPF No.3	

REACTIONS. (lb/size) 10=2071/0-3-8 (min. 0-1-11), 14=2082/0-3-8 (min. 0-1-12)
 Max Horz 14=291(LC 9)
 Max Uplift 10=500(LC 12), 14=535(LC 8)

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
 TOP CHORD 2-15=-665/231, 3-15=-609/235, 3-4=-591/240, 4-5=-5318/1482, 5-6=-3604/1030,
 6-7=-3512/1039, 8-10=-514/316, 2-14=-669/415
 BOT CHORD 13-14=-1839/5284, 12-13=-1625/4882, 11-12=-1625/4882, 10-11=-993/2882
 WEBS 4-13=-73/389, 5-13=-48/590, 5-11=-1588/601, 7-11=-226/1214, 7-10=-3185/1010,
 4-14=-4860/1439

- NOTES-**
- 1) Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasd=91mph; TCDL=3.0psf; BCDL=3.0psf; h=25ft; Cat. II; Exp C; enclosed; MWFRS (envelope) and C-C Exterior(2) -1-0-0 to 2-0-0, Interior(1) 2-0-0 to 29-0-0 zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
 - 2) Dead loads shown include weight of truss. Top chord dead load of 5.0 psf (or less) is not adequate for a shingle roof. Architect to verify adequacy of top chord dead load.
 - 3) All plates are MT20 plates unless otherwise indicated.
 - 4) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
 - 5) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
 - 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 500 lb uplift at joint 10 and 535 lb uplift at joint 14.
 - 7) This truss is designed in accordance with the 2015 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
 - 8) Graphical purlin representation does not depict the size or the orientation of the purlin along the top and/or bottom chord.

LOAD CASE(S) Standard

Job 1484822	Truss M1E	Truss Type GABLE	Qty 2	Ply 1	SHED
----------------	--------------	---------------------	----------	----------	------

Builders First Source, Delaware, Ohio 43015

Job Reference (optional)

Run: 8:200 s Jun 12 2018 Print: 8:200 s Nov 30 2017 MTek Industries, Inc. Wed Sep 19 11:01:50 2018 Page 1
ID:Hkt30Kkp?bOO5iMfUpSDoGyuGdi-MEJJKIL5HNdRbbeFZwj9tqnrqOr?95Ji chfINyc5qV



Scale = 1:50.5

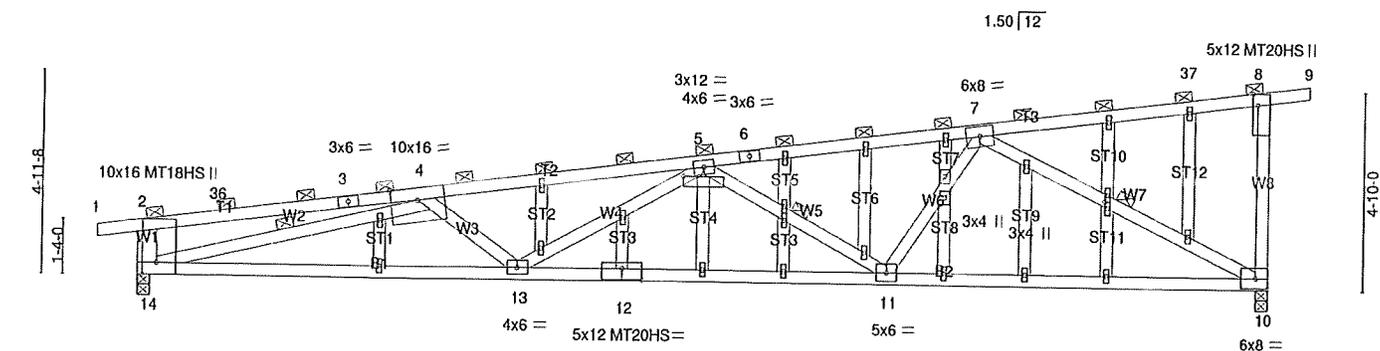


Plate Offsets (X, Y)--	[2:0-3-8, Edge], [2:0-0-6, 0-2-12], [5:0-6-0, 0-0-12], [8:0-3-5, Edge], [12:0-6-0, 0-3-4], [33:0-1-15, 0-0-12]
------------------------	----------------------------------------------------------------------------------------------------------------

LOADING (psf)	SPACING-	CSI.	DEFL.	PLATES	GRIP
TCLL 25.0	4-0-0	TC 0.95	in (loc) l/defl L/d	MT20	197/144
TCDL 5.0	Plate Grip DOL 1.15	BC 0.70	Vert(LL) -0.44 11-13 >752 240	MT20HS	148/108
BCLL 0.0	Lumber DOL 1.15	WB 0.98	Vert(CT) -0.64 11-13 >520 180	MT18HS	197/144
BCDL 5.0	Rep Stress Incr NO	Matrix-MS	Horz(CT) 0.14 10 n/a n/a		Weight: 150 lb FT = 20%
	Code IBC2015/TPI2014				

LUMBER-	BRACING-
TOP CHORD 2x4 SPF 1650F 1.5E *Except*	TOP CHORD 2-0-0 oc purlins (2-8-12 max.), except end verticals
T2: 2x4 SP 2400F 2.0E	(Switched from sheeted: Spacing > 2-0-0).
BOT CHORD 2x4 SP 2400F 2.0E	Rigid ceiling directly applied or 6-1-3 oc bracing.
WEBS 2x4 SPF No.3 *Except*	WEBS 1 Row at midpt 5-11, 7-10, 4-14
W7: 2x4 SPF No.2, W1: 2x6 SPF 1650F 1.5E, W2: 2x4 SPF 1650F 1.5E	
OTHERS 2x4 SPF No.3	

REACTIONS. (lb/size) 10=2071/0-3-8 (min. 0-1-11), 14=2082/0-3-8 (min. 0-1-12)
Max Horz 14=291(LC 9)
Max Uplift 10=500(LC 12), 14=535(LC 8)

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD 2-36=652/228, 3-36=597/232, 3-4=578/237, 4-5=532/1482, 5-6=3603/1030,
6-7=3511/1039, 8-10=514/316, 2-14=665/414
BOT CHORD 13-14=1840/5287, 12-13=1625/4881, 11-12=1625/4881, 10-11=993/2882
WEBS 4-13=74/388, 5-13=48/592, 5-11=1588/601, 7-11=226/1214, 7-10=3185/1010,
4-14=4876/1443

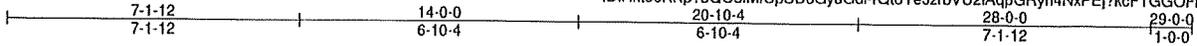
- NOTES-
- 1) Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasd=91mph; TCDL=3.0psf; BCDL=3.0psf; h=25ft; Cat. II; Exp C; enclosed; MWFRS (envelope) and C-C Exterior(2) -1-0-0 to 2-0-0, Interior(1) 2-0-0 to 29-0-0 zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
 - 2) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
 - 3) Dead loads shown include weight of truss. Top chord dead load of 5.0 psf (or less) is not adequate for a shingle roof. Architect to verify adequacy of top chord dead load.
 - 4) All plates are MT20 plates unless otherwise indicated.
 - 5) All plates are 1.5x4 MT20 unless otherwise indicated.
 - 6) Gable studs spaced at 2-0-0 oc.
 - 7) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
 - 8) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
 - 9) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 500 lb uplift at joint 10 and 535 lb uplift at joint 14.
 - 10) This truss is designed in accordance with the 2015 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
 - 11) Graphical purlin representation does not depict the size or the orientation of the purlin along the top and/or bottom chord.

LOAD CASE(S) Standard

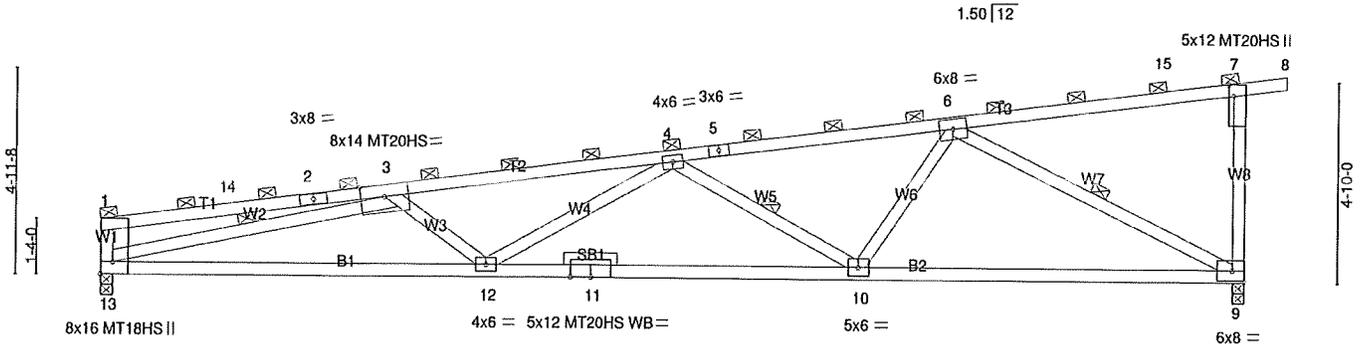
Job 1484822	Truss M2	Truss Type MONOPITCH	Qty 2	Ply 1	SHED
----------------	-------------	-------------------------	----------	----------	------

Builders First Source, Delaware, Ohio 43015

Run: 8:200 s Jun 12 2018 Print: 8:200 s Nov 30 2017 M/Tek Industries, Inc. Wed Sep 19 11:01:51 2018 Page 1
ID:Hkt30Kkp?b005iMIUpSDoGyuGdi-rQtoYeJzrbVU2IAqpGRyh4NxPEJ7kcFTGGOFBpys5qU



Scale = 1:49.9



9-5-3 9-5-3	18-6-13 9-1-11	28-0-0 9-5-3
----------------	-------------------	-----------------

Plate Offsets (X,Y)-- [1:0-0-4,0-1-12], [7:0-3-5,Edge], [13:Edge,0-3-8]

LOADING (psf)	SPACING-	CSI.	DEFL.	PLATES	GRIP
TCLL 25.0	Plate Grip DOL 1.15	TC 0.96	in (loc) l/defl L/d	MT20	197/144
TCDL 5.0	Lumber DOL 1.15	BC 0.71	Vert(LL) -0.46 10-12 >724 240	MT20HS	148/108
BCLL 0.0 *	Rep Stress Incr NO	WB 0.99	Vert(CT) -0.66 10-12 >505 180	MT18HS	197/144
BCDL 5.0	Code IBC2015/TPI2014	Matrix-MS	Horz(CT) 0.14 9 n/a n/a	Weight: 122 lb	FT = 20%

LUMBER-	BRACING-
TOP CHORD 2x4 SPF 1650F 1.5E *Except*	TOP CHORD 2-0-0 oc purlins (2-9-15 max.), except end verticals
T1: 2x4 SPF No.2, T2: 2x4 SP 2400F 2.0E	(Switched from sheeted; Spacing > 2-0-0).
BOT CHORD 2x4 SP 2400F 2.0E	BOT CHORD Rigid ceiling directly applied or 6-0-1 oc bracing.
WEBS 2x4 SPF No.3 *Except*	WEBS 1 Row at midpt 4-10, 6-9, 3-13
W7,W1: 2x4 SPF No.2, W2: 2x4 SPF 1650F 1.5E	
OTHERS 2x4 SPF No.3	

REACTIONS. (lb/size) 9=2080/0-3-8 (min. 0-1-12), 13=1937/0-3-8 (min. 0-1-10)
Max Horz 13=287(LC 9)
Max Uplift 9=502(LC 12), 13=-446(LC 8)

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD 1-14=-462/150, 2-14=-414/150, 2-3=-369/155, 3-4=-5428/1562, 4-5=-3627/1050,
5-6=-3535/1059, 7-9=-513/315, 1-13=-443/245
BOT CHORD 12-13=-1887/5439, 11-12=-1632/4917, 10-11=-1632/4917, 9-10=-998/2901
WEBS 3-12=-137/376, 4-12=-74/621, 4-10=-1602/602, 6-10=-234/1222, 6-9=-3207/1016,
3-13=-5218/1588

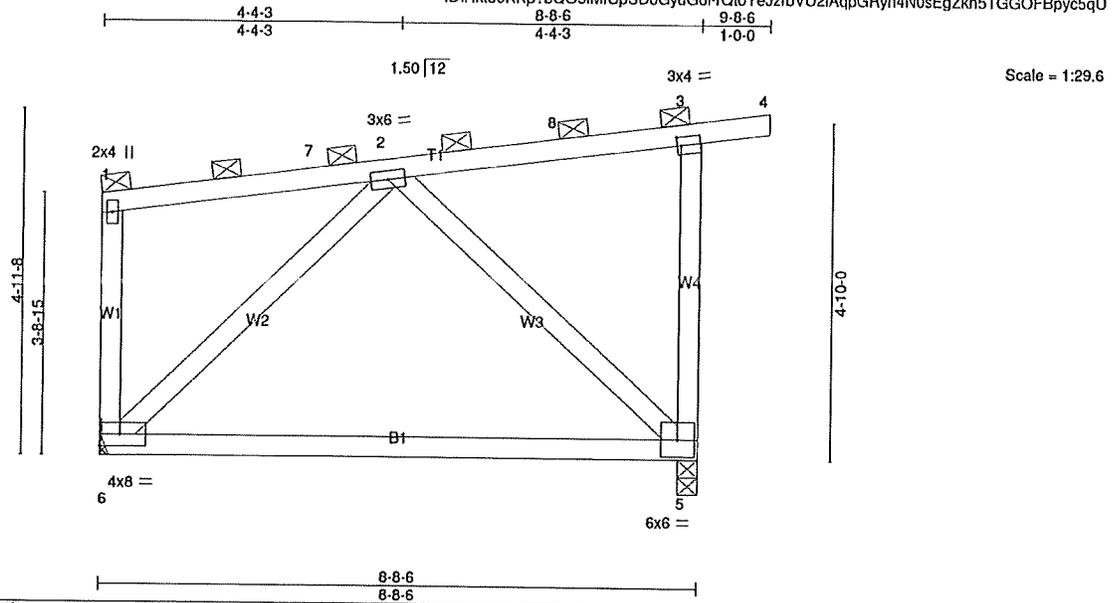
- NOTES-
- 1) Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasd=91mph; TCDL=3.0psf; BCDL=3.0psf; h=25ft; Cat. II; Exp C; enclosed; MWFRS (envelope) and C-C Exterior(2) 0-1-12 to 3-1-12, Interior(1) 3-1-12 to 29-0-0 zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
 - 2) Dead loads shown include weight of truss. Top chord dead load of 5.0 psf (or less) is not adequate for a shingle roof. Architect to verify adequacy of top chord dead load.
 - 3) All plates are MT20 plates unless otherwise indicated.
 - 4) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
 - 5) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
 - 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 502 lb uplift at joint 9 and 446 lb uplift at joint 13.
 - 7) This truss is designed in accordance with the 2015 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
 - 8) Graphical purlin representation does not depict the size or the orientation of the purlin along the top and/or bottom chord.

LOAD CASE(S) Standard

Job 1484822	Truss M6	Truss Type Monopitch	Qty 4	Ply 1	SHED
----------------	-------------	-------------------------	----------	----------	------

Builders First Source, Delaware, Ohio 43015

Run: 8:200 s Jun 12 2018 Print: 8:200 s Nov 30 2017 M:Tek Industries, Inc. Wed Sep 19 11:01:51 2018 Page 1
ID:Hkt30KKp7bQQ5iMfUpSDoGyuGdl-rQtoYeJzrbVU2AapGRYh4N0sEgZkn5TGGOFBpys5qU



Scale = 1:29.6

Plate Offsets (X,Y)-- [3:0-0-11,0-1-8]

LOADING (psf)	SPACING-	4-0-0	CSI.	DEFL.	in (loc)	l/defl	L/d	PLATES	GRIP
TCLL 25.0	Plate Grip DOL	1.15	TC 0.68	Vert(LL)	-0.37	5-6	>271	MT20	197/144
TCDL 5.0	Lumber DOL	1.15	BC 0.93	Vert(CT)	-0.56	5-6	>181		
BCLL 0.0	Rep Stress Incr	NO	WB 0.29	Horz(CT)	0.00	5	n/a		
BCDL 5.0	Code IBC2015/TPI2014		Matrix-MS						
								Weight: 42 lb	FT = 20%

LUMBER-
TOP CHORD 2x4 SPF No.2
BOT CHORD 2x4 SPF No.2
WEBS 2x4 SPF No.3

BRACING-
TOP CHORD 2-0-0 oc purlins (6-0-0 max.), except end verticals (Switched from sheeted: Spacing > 2-0-0).
BOT CHORD Rigid ceiling directly applied or 8-9-4 oc bracing.

REACTIONS. (lb/size) 5=735/0-3-8 (min. 0-1-8), 6=579/Mechanical
Max Horz 6=285(LC 9)
Max Uplift 5=197(LC 9), 6=165(LC 8)

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD 3-5=-373/266
BOT CHORD 5-6=-405/418
WEBS 2-5=-413/414, 2-6=-411/330

NOTES-

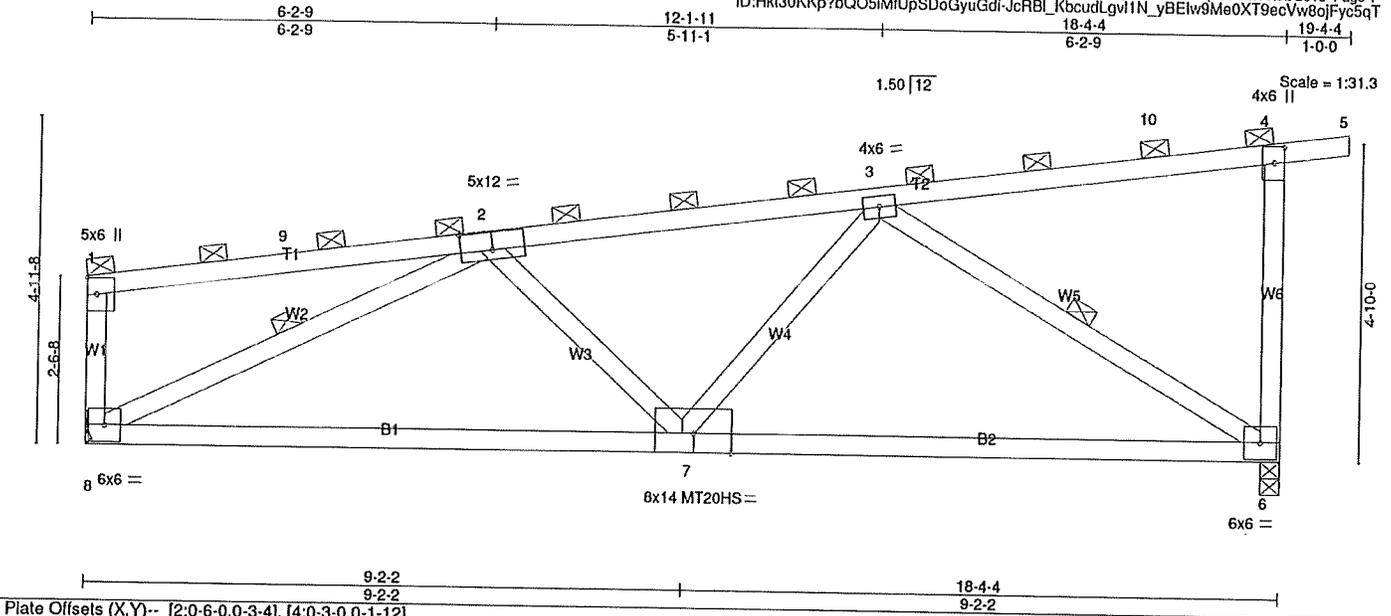
- 1) Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasd=91mph; TCDL=3.0psf; BCDL=3.0psf; h=25ft; Cat. II; Exp C; enclosed; MWFRS (envelope) and C-C Exterior(2) 0-1-12 to 3-1-12, Interior(1) 3-1-12 to 9-8-6 zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- 2) Dead loads shown include weight of truss. Top chord dead load of 5.0 psf (or less) is not adequate for a shingle roof. Architect to verify adequacy of top chord dead load.
- 3) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 4) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- 5) Refer to girder(s) for truss to truss connections.
- 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 197 lb uplift at joint 5 and 165 lb uplift at joint 6.
- 7) This truss is designed in accordance with the 2015 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
- 8) Graphical purlin representation does not depict the size or the orientation of the purlin along the top and/or bottom chord.

LOAD CASE(S) Standard

Job 1484822	Truss M7	Truss Type Monopitch	Qty 4	Ply 1	SHED
----------------	-------------	-------------------------	----------	----------	------

Builders First Source, Delaware, Ohio 43015

Run: 8.200 s Jun 12 2018 Print: 8.200 s Nov 30 2017 Mitek Industries, Inc. Wed Sep 19 11:01:52 2018 Page 1
ID:Hkt30KkP?bQO5iMUpSDoGyuGdi-JcRBI_KbcudLgvl1N_yBEIw9Me0XT9ecVw8ojFyc5qT



LOADING (psf)	SPACING- 4-0-0	CSI.	DEFL.	in (loc)	l/defl	L/d	PLATES	GRIP
TCLL 25.0	Plate Grip DOL 1.15	TC 0.82	Vert(LL)	-0.29	7-8	>735	MT20	197/144
TCDL 5.0	Lumber DOL 1.15	BC 0.94	Vert(CT)	-0.45	7-8	>481	MT20HS	148/108
BCLL 0.0 *	Rep Stress Incr NO	WB 0.59	Horz(CT)	0.04	6	n/a		
BCDL 5.0	Code IBC2015/TPI2014	Matrix-MS						
							Weight: 75 lb	FT = 20%

LUMBER-

TOP CHORD 2x4 SPF No.2
BOT CHORD 2x4 SPF 1650F 1.5E
WEBS 2x4 SPF No.3

BRACING-

TOP CHORD 2-0-0 oc purlins (3-10-1 max.), except end verticals
(Switched from sheeted: Spacing > 2-0-0).
Rigid ceiling directly applied or 7-9-13 oc bracing.
BOT CHORD
WEBS 1 Row at midpt 3-6, 2-8

REACTIONS.

(lb/size) 6=1406/0-3-8 (min. 0-2-3), 8=1260/Mechanical
Max Horz 8=286(LC 9)
Max Uplift 6=342(LC 12), 8=293(LC 8)

FORCES.

(lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD 2-3=-1719/510, 4-6=-468/299, 1-8=-339/197
BOT CHORD 7-8=-818/1781, 6-7=-613/1429
WEBS 3-7=-45/573, 3-6=-1633/604, 2-8=-1876/648

NOTES-

- 1) Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasd=91mph; TCCL=3.0psf; BCDL=3.0psf; h=25ft; Cat. II; Exp C; enclosed; MWFRS (envelope) and C-C Exterior(2) 0-1-12 to 3-1-12, Interior(1) 3-1-12 to 19-4-4 zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- 2) Dead loads shown include weight of truss. Top chord dead load of 5.0 psf (or less) is not adequate for a shingle roof. Architect to verify adequacy of top chord dead load.
- 3) All plates are MT20 plates unless otherwise indicated.
- 4) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 5) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- 6) Refer to girder(s) for truss to truss connections.
- 7) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 342 lb uplift at joint 6 and 293 lb uplift at joint 8.
- 8) This truss is designed in accordance with the 2015 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
- 9) Graphical purlin representation does not depict the size or the orientation of the purlin along the top and/or bottom chord.

LOAD CASE(S) Standard

APPLICANT/OWNER

Metro Development LLC
470 Olde Worthington Road
Westerville, Ohio 43083

REQUEST

2019-0225: A request by Metro Development LLC for approval of a Final Development Plan for the Seattle House Apartments (240 units) on approximately 24.212 acres zoned R-6 and B-3 PMU (Planned Mixed Use Overlay District) and located on the north side of US 36/37 and the south side of Bowtown Road just east of the Chesrown auto storage lot.

PROPERTY LOCATION & DESCRIPTION

The development site encompasses 24.212 acres which was divided into two sub-areas in previous Zoning and Preliminary Development Plan actions. Sub-Area A would encompass approximately 20.972 acres of multi-family property and Sub-Area B would encompass approximately 3.24 acres of a commercial property and open space. The submitted Final Development Plan application is only for the development of the apartment buildings and associated infrastructure. The majority of the site is zoned R-6 PMU while the extreme southwestern portion of the site fronting US 36/37 is zoned B-3PMU. The properties to the south are zoned B-3 and B-3 PMU across US 36/37, the properties to the west are zoned B-3 and R-1 (One-Family Residential District) and the four properties to the north are zoned A-1 (Agricultural District) and R-2 (One-Family Residential District) in the City. The remaining properties to the north and the properties to the east are zoned FR-1 (Farm Residential) in the County.

BACKGROUND/PROPOSAL

In August and September 2018, the Planning Commission and City Council (Ordinance 18-70) approved a Rezoning Amendment, Conditional Use Permit and Preliminary Development Plan for 240 apartment units in 10 buildings on approximately 20.972 acre of the site . Also included is a 2.45 acre commercial out lot and an 0.79 acre open space in Sub-Area B on the southwestern portion of the property fronting US 36/37.

Now the developer is proposing a Final Development Plan to advance the apartment project to construction. The site would be accessed from US 36/37 at the existing main traffic signal for Glenwood Commons through a north/south access road (Sky View Lane) that bisects Biltmore Drive which is an east/west connector required per the City Thoroughfare Plan. The proposed two curb cuts on Biltmore Drive would extend into an interior looped private street network that would access the apartment units while an emergency only access point would access Bowtown Road to the north. The apartment development would have a clubhouse, pool, active and passive open space and walking paths. A bike path would be constructed on the north side and a sidewalk on the south side of Biltmore Drive and a sidewalk would be constructed on the south side of Bowtown Road.

STAFF ANALYSIS

- **ZONING:** The subject site is zoned R-6 & B-3 PMU which allows the apartment complex with an appropriate site plan that achieves compliance with the approved development text and minimum City development requirements.
- **GENERAL ENGINEERING:** The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND ACCESS:** The developer prepared a traffic impact study to determine any improvements that would be required to the transportation network in the area based on the subject development and adopted Thoroughfare Plan that would be approved by the City Engineer. The developer would be responsible for any

improvements and/or financial obligations the subject residential development would have in the area per the City Engineer.

The site would have access from a north/south access road (Sky View Lane) at the current main traffic signal for Glenwood Commons on US 36/37 that would extend north and bisect with the proposed extension of Biltmore Drive to the east and west property lines per the City Thoroughfare Plan. Because the east and west property lines of the property are not at or near 90 degrees with adjacent properties, Biltmore Drive shall be extended to the east and west lines of the property per the City Engineer with right of way dedicated to the City to stub to the property lines to the east and west respectively. The apartment development would have two full access curb cuts on Biltmore Drive and an emergency access only curb cut on Bowtown Road. The internal loop street network would be private streets built to public standards per the City Engineer. In conclusion, the entire development would have to achieve compliance with the minimum engineering, public works and fire department requirements.

- **PEDESTRIAN CONNECTIVITY:** External and internal pedestrian connectivity are proposed within the development. A bike path would be required on the north side of Biltmore Drive per the adopted Bicycle and Pedestrians Master Plan 2027 and a sidewalk would be required on the south side of Biltmore Drive. The submitted plan does not identify a sidewalk on the south side of Biltmore Drive east of Sky View Lane as required. A sidewalk would typically be required on the east and west side of the north/south connector but staff is requesting a sidewalk on the west side only and a contribution of \$20,000 in lieu of a sidewalk on the east side of the north/south access drive so a sidewalk can be extended to the Glenwood Commons site south of existing Kohl's traffic signal to provide connectivity north and south of US 36/37 (between the subject site and Glenwood Commons). The developer is proposing an internal private sidewalk network to connect buildings, parking lots and all the amenities that would connect with the proposed bike path on Biltmore Drive. A internal sidewalk connection shall be extended from the east side of building 7 to the proposed bike path on Biltmore Drive. In addition an internal multi-use path shall be extended from the emergency access drive west to the multi-use path that is connected to the sidewalk on Bowtown Road per the approved Preliminary Development Plan. Also, a sidewalk would be installed on the south side of Bowtown Road per City requirements.
- **SITE CONFIGURATION:** As mentioned earlier, there are two full movement curb cuts proposed from Biltmore Drive that would extend into a private loop street configuration with apartment buildings, detached garages and parking spaces loaded on both sides of the looped street. Two north/south private streets bisect the loop street with two apartment buildings and four detached garages fronting the private street. The subject development has 480 parking spaces provided while 480 parking spaces are required (2 spaces per dwelling unit based on 240 proposed dwelling units). Of the 480 parking spaces, there are 420 on-street parking spaces (12 spaces would be ADA accessible) and 60 parking spaces located in nine detached garages.

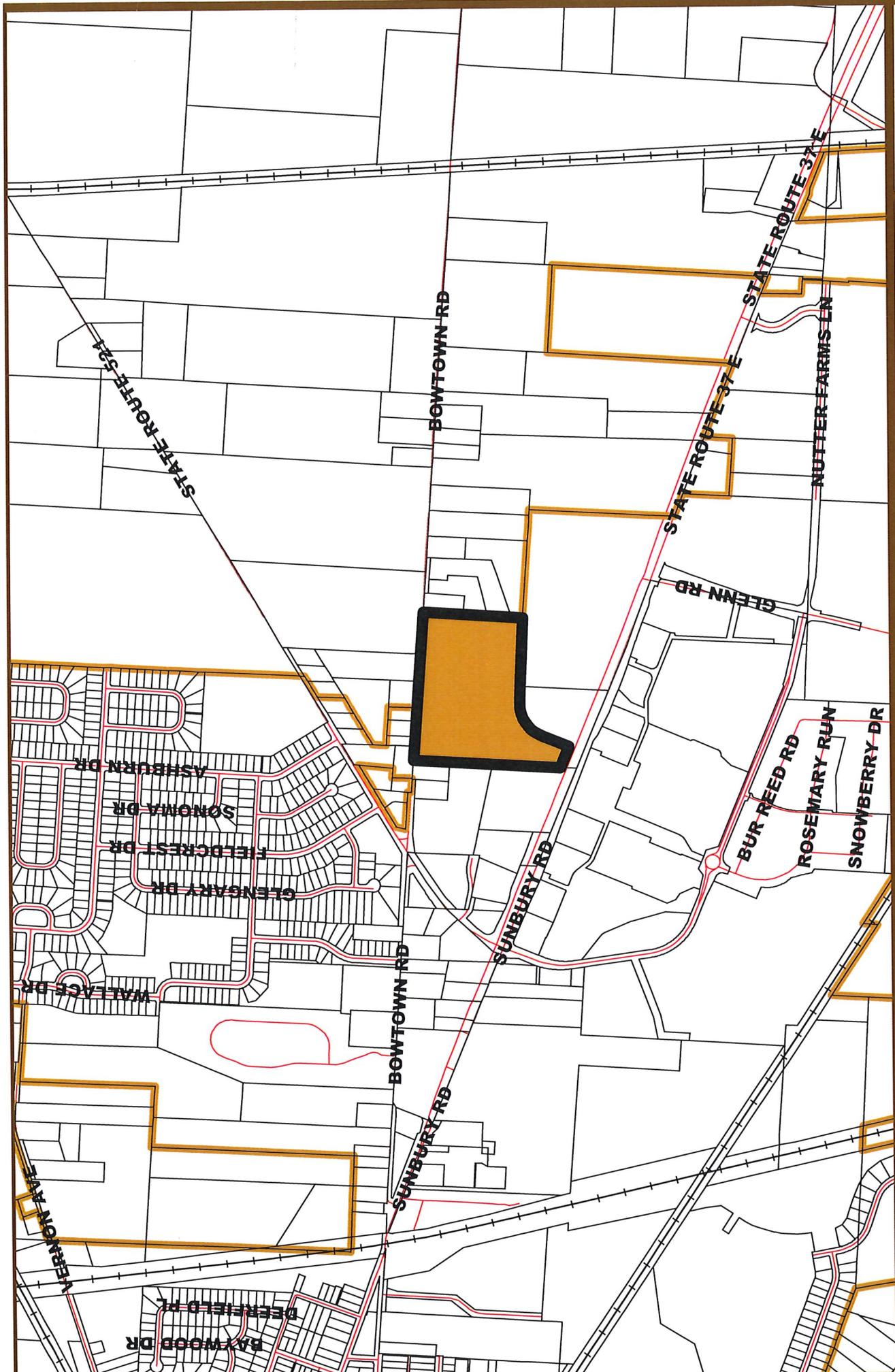
The 240 units in 10 buildings would be divided into 60 one bedroom units and 180 two bedroom units. This equates to 75% two bedroom units for the development. Each building would have 24 units and would be three stories in height (42 feet). The one bedroom and two bedroom units would range in size between 678 to 933 square feet. The plans indicate there is 6.29 acres of open space (approximately 26%) within the development that includes the following amenities: a clubhouse with a pool, deck, grill station, fire pit and chairs with open space located to the north, a community garden located between buildings 5 and 8, a large open space playfield located between buildings 8 and 10 (any open playfield space shall be flat and any storm water drains should be located at the edges of the area to eliminate catch basins being located in the middle of any open field surface, a dog park separated for small and large dogs located north of building 9, benches, trash receptacles, and pet waste stations are located along the internal multi-use path and sidewalks throughout the apartment complex, a bike rack is located near the clubhouse and the mail kiosk is located just east of the clubhouse. Trash compactors are located on the northwestern and southeastern portions of the site. The trash compactor shall be enclosed by a brick or stone wall to match the buildings and have wood doors painted to match. The trash compactor on the northeastern portion of the site is buffered by the 10 foot high mound from the adjacent residents. A proposed detention basin is located on the southeastern portion of the site fronting Biltmore Drive. The detention basins shall achieve compliance with any engineering requirements.

- **BUILDING DESIGN:** The proposed ten buildings would have identical elevations with the same architectural design style and color pallet. All the three story buildings would have a maximum height of 42 feet with the following building materials: 1). Delaware blue vein limestone or equivalent wainscoting; 2). Majority of the elevations would be vinyl siding and vinyl shake siding with some Delaware blue vein limestone or equivalent, 3). The pitched roof would have asphalt shingles; 4). Aluminum handrails on the balconies 5). Standing seam metal roof over the main entrances into the building. To achieve compliance with the approved Preliminary Development Plan requirements, the apartment buildings facing Biltmore Drive and Bowtown Road (the south side of buildings 1, 6 & 7 and the north side of buildings 3, 4 & 9) would have hardie plank horizontal and vertical siding and hardie plank shake siding instead of vinyl siding.
- **LANDSCAPING & SCREENING:** The applicant is proposing a comprehensive landscape plan that includes public and private street trees, shade trees, foundation landscaping and significant perimeter mounding and buffering. The apartment and the commercial out lot frontage along the north/south access road and Biltmore Drive requires street trees and 2-3 foot high undulating mounding with landscaping (a mixture of deciduous trees, evergreen trees and shrubs) to be consistent with the zoning code and other recently approved projects. Per the approved Preliminary Development Plan, the several mature trees along Bowtown Road shall be preserved along with constructing a minimum 10 foot high mound with minimum 6 foot high evergreens planted in a soldier course manner and wrapped around the eastern and western portions of the site to screen the adjacent single family houses. The mound just north of the emergency access road on Bowtown Road adjacent to two single family homes is only 6 feet high and needs to be increased to 10 feet high. Also the mound needs to be wrapped along the northern property line approximately 250 feet from the Bowtown Road property line and wrapped around the southern property line approximately 360 feet from the Bowtown Road property line. The mound shall be feathered down to grade at no less than 3:1 to ensure a mound height this tall is constructed as tall as possible in these areas respectively. The evergreen trees on the Bowtown Road mound and wraparound shall be minimum 6 foot high evergreens planted in a soldier course manner along Bowtown Road to provide a consistent year round buffer. The developer is planting trees along the eastern property line south of the proposed mound to supplement the existing tree row that straddles the property line in this area. The interior landscaping within the apartment development appears to achieve compliance with the code except for each parking island shall require a tree to create a public street tree appearance throughout the development. Also each building would have foundation plantings to achieve compliance with the zoning code. Finally entry landscaping and signage would be installed at the main entrance on Biltmore Drive. The Shade Tree Commission approved the landscape plans on February 26, 2019.
- **TREE REMOVAL & REPLACEMENT:** The developer provided a tree survey that indicates they are preserving 505 (23 trees) caliper inches of qualified trees (6 inches caliper or larger) and removing 68 (3 trees) caliper inches of trees. Therefore the developer is preserving significantly more trees than are being removed and achieves compliance with the approved development text.
- **GATEWAYS & CORRIDORS PLAN:** The applicant is proposing a ground sign that would be located on the west side of the main entrance on Biltmore Drive into the apartment complex. The sign would be almost 5 feet tall and encompass approximately 17.28 square feet and would have a limestone base and sides. The sign base shall be constructed of Delaware blue vein limestone or equivalent to achieve compliance with the approved development text and the adopted Gateways and Corridors Plan. No other signage is proposed.
- **LIGHTING:** The applicant is proposing street lighting for the public and private streets respectively. The applicant is proposing 12 light poles along the public streets (Sky View Lane and Biltmore Drive) that would be 15 feet high with the standard City light fixtures. The public street lights would have to be approved by the City. For the private apartment streets, the applicant is proposing 34 light poles at 14.33 feet high pole with an American Revolution residential light fixture. The private development lighting plan was approved by the City on February 19, 2019.
- **REFUSE SERVICE:** The developer is proposing private trash compactors on the northwestern and southeastern portions of the site. As mentioned above, the trash compactors shall be enclosed by brick or stone to match the buildings and have wood doors painted or stained to match and be buffered from the residential property to the east by landscaping and mounding.

STAFF RECOMMENDATION (2018-0225 – FINAL DEVELOPMENT PLAN)

Staff recommends approval of a request by Metro Development LLC for a Final Development Plan for the Seattle House Apartments (240 units) on approximately 24.212 acres zoned R-6 and B-3 PMU (Planned Mixed Use Overlay District) and located on the north side of US 36/37 and the south side of Bowtown Road just east of the Chesrown auto storage lot, with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The traffic impact study shall be approved by the City and the developer shall be responsible for any improvements and/or financial obligations of the traffic impact study per the City Engineer and/or County Engineer.
3. Sky View Lane and Biltmore Drive shall be constructed per the City Engineer.
4. The emergency only access road from Bowtown Road to the apartment complex shall be constructed per the City Engineer and Fire Department.
5. A bike path shall be conducted on the north side of Biltmore Drive per the adopted Bicycle and Pedestrians Master Plan 2027 and a sidewalk shall be required on the south side of Biltmore Drive.
6. A sidewalk shall be constructed on the south side of Bowtown Road.
7. The developer shall make a \$20,000 payment in lieu of constructing a sidewalk on the east side of the north/south connector road prior to construction drawing approval.
8. The one and two bedroom apartment unit sizes shall range in size between a minimum 678 (one bedroom) to 933 (two bedroom) square feet.
9. The height of the buildings shall not exceed 42 feet (to the peak of the eave) and shall not exceed 3 stories.
10. The building materials and colors shall meet the approved development text and submitted Final Development Plans.
11. The apartment buildings facing Biltmore Drive and Bowtown Road (the south side of buildings 1, 6 & 7 and the north side of buildings 3, 4 & 9) shall be constructed of cement fiber horizontal and vertical siding and cement fiber shake siding instead of vinyl siding.
12. The limestone on the buildings, garages, ground sign base, etc. shall be Delaware blue vein limestone or equivalent as approved by City Staff.
13. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color.
14. The Applicant shall submit all building elevations along with material and color samples for all building materials for staff review and approval.
15. The trash compactor enclosures shall be constructed of brick or stone walls to match the buildings and have wood doors painted or stained to match and shall be buffered from the residential property to the east by a mound with landscaping.
16. The apartment frontage along Biltmore Drive shall require street and shade trees along with a 2-3 foot high undulating mounding with landscaping (a mixture of deciduous trees, evergreen trees and shrubs).
17. The several mature trees along Bowtown Road shall be preserved along with constructing a minimum 10 foot high mounding with minimum 6 foot high evergreens trees planted in a soldier course manner (staggered) along Bowtown Road to provide a consistent year round buffer. Also the mound shall be wrapped along the eastern property line approximately 250 feet from the Bowtown Road property line and wrapped around the western property line approximately 360 feet from the Bowtown Road

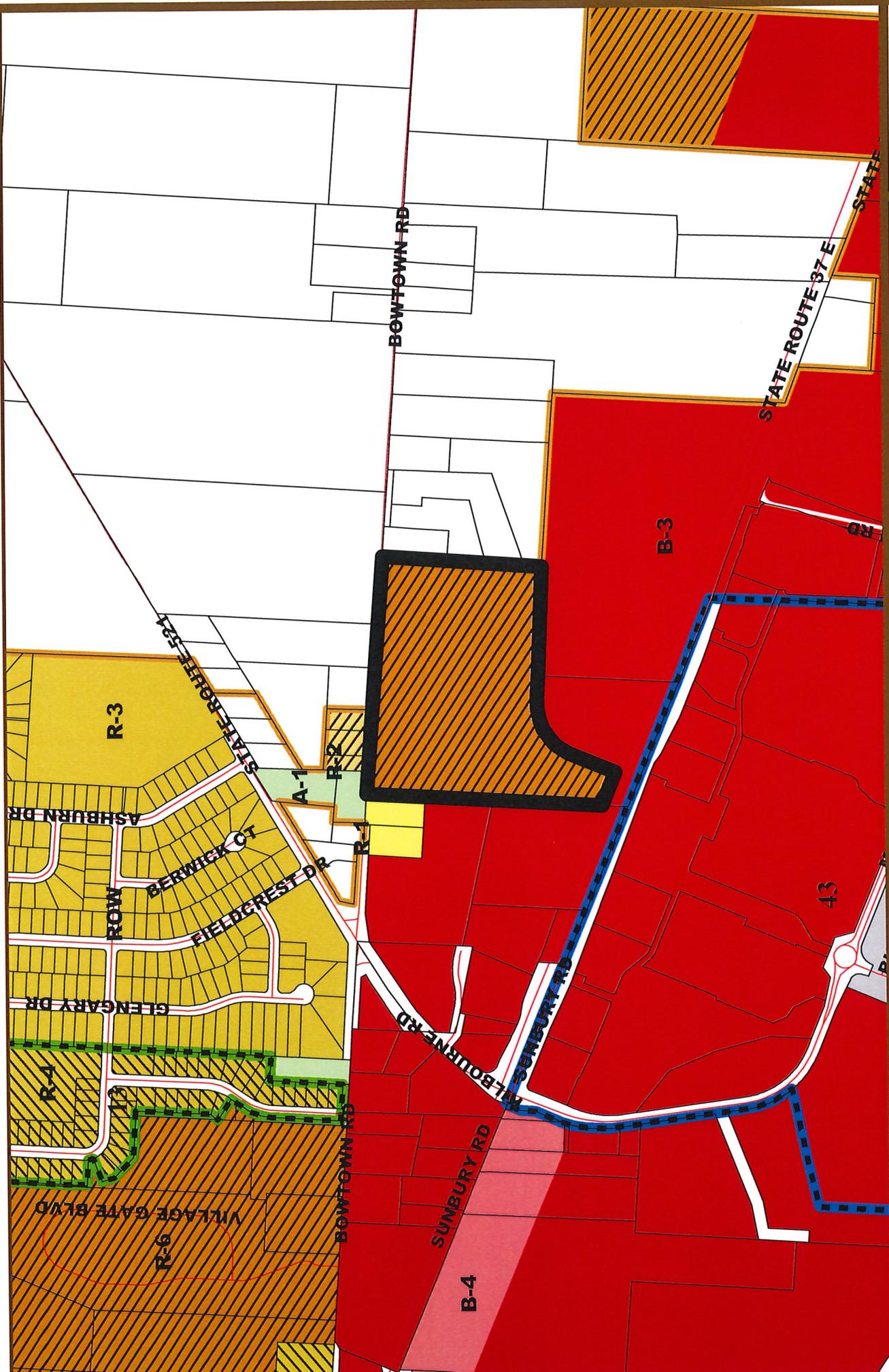


2019-0225
 Final Development Plan
 Seattle House Apartments - Bowtown Road
 Location Map





2019-0225
Final Development Plan
Seattle House Apartments - Bowtown Road
Zoning Map





2019-0225
Final Development Plan
Seattle House Apartments - Bowtown Road
Aerial (2016) Map



SEATTLE HOUSE (BOWTOWN SOUTH)

STATE OF OHIO, COUNTY OF DELAWARE, CITY OF DELAWARE,
 BEING PART OF FARM LOT 28, QUARTER TOWNSHIP 4, TOWNSHIP 5, RANGE 19, UNITED STATES MILITARY LANDS,
 AND BEING PART OF FARM LOT 18, QUARTER TOWNSHIP 3, TOWNSHIP 5, RANGE 18, UNITED STATES MILITARY LANDS.

PC CASE NO. _____ APPROVED BY THE PLANNING COMMISSION ON _____
 APPROVED AND ACCEPTED THIS _____ DAY OF _____ BY ORDINANCE NO. _____
 WHEREIN ALL EASEMENTS, SHOWN DEDICATED HEREON ARE ACCEPTED AS SUCH BY THE CITY COUNCIL OF THE
 CITY OF DELAWARE, OHIO.

CITY CLERK: ELAINE MCLOSKEY

CITY MANAGER: THOMAS HOMAN

PLANNING & COMMUNITY DEVELOPMENT DIRECTOR: DAVID M. EFLAND, AICP

PUBLIC WORKS DIRECTOR / CITY ENGINEER: WILLIAM L. FERRIGNO P.E.

DIRECTOR OF PUBLIC UTILITIES: BRAD STANTON

TRANSFERRED THIS _____ DAY OF _____ AUDITOR, DELAWARE COUNTY, OHIO

FILED FOR RECORD THIS _____ DAY OF _____ RECORDER, DELAWARE COUNTY, OHIO
 AT _____ FEE _____

FILE NO. _____

PLAT CABINET _____ SLIDE _____

OFFICIAL RECORD _____ PAGE _____

SITUATED IN THE STATE OF OHIO, COUNTY OF DELAWARE, CITY OF DELAWARE, BEING PART OF FARM LOT 28, QUARTER
 TOWNSHIP 4, TOWNSHIP 5, RANGE 19, UNITED STATES MILITARY LANDS AND BEING PART OF FARM LOT 18, QUARTER TOWNSHIP
 3, TOWNSHIP 5, RANGE 18, UNITED STATES MILITARY LANDS, BEING ALL OF A 24.212 ACRE TRACT OF LAND CONVEYED TO
 OF RECORD IN OFFICIAL RECORD VOLUME 537, PAGE 1476, (ALL REFERENCES TO RECORDS BEING
 ON FILE IN THE OFFICE OF THE RECORDER, DELAWARE COUNTY, OHIO).

THE UNDERSIGNED, _____ AN OHIO LIMITED LIABILITY COMPANY BY _____ OWNER OF THE
 LANDS PLATTED HEREIN, DULY AUTHORIZED IN THE PREMISES, DOES HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS
 THE "SEATTLE HOUSE (BOWTOWN SOUTH)", A SUBDIVISION CONTAINING LOTS NUMBERED 1-3 INCLUSIVE, DOES HEREBY ACCEPT
 THIS PLAT AND DO VOLUNTARILY DEDICATE 2.907 ACRES FOR PRIVATE ROAD AND RIGHT OF WAY ALL OR PART OF SKY VIEW
 LANE AND BILTMORE DRIVE, AS SHOWN HEREON AND NOT HERETOFORE DEDICATED.

IN WITNESS WHEREOF, _____ OF _____
 HAS HEREUNTO SET HIS HAND THIS _____ DAY OF _____

SIGNED AND ACKNOWLEDGED _____
 XXXXXXXXXXXXXXXXXXXXXXXX

BY: _____
 XXXXXXXXXXXXXXXXXXXXXXXX

STATE OF OHIO
 COUNTY OF DELAWARE:

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED _____ AREA EXECUTIVE
 VICE PRESIDENT OF SAID _____ WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT TO BE HIS
 VOLUNTARY ACT AND DEED AND THE VOLUNTARY ACT AND DEED OF SAID _____ FOR THE USES AND
 PURPOSES EXPRESSED THEREIN.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THIS
 _____ DAY OF _____

MY COMMISSION EXPIRES _____

CERTIFICATION:
 WE DO HEREBY CERTIFY THAT WE HAVE SURVEYED THE ATTACHED PREMISES, PREPARED THE
 PLAT AND THAT SAID PLAT IS CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF.
 ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. DIMENSIONS SHOWN ALONG
 CURVES ARE CHORD MEASUREMENTS. PERMANENT MARKERS, MAGNETIC NAILS AND IRON PINS ARE
 TO BE PLACED AS SHOWN UPON COMPLETION OF CONSTRUCTION NECESSARY TO THE IMPROVEMENTS
 OF THIS LAND.

MARK ALAN SMITH
 PROFESSIONAL LAND SURVEYOR NO. 8232

EXHIBIT B-1



Civil & Environmental Consultants, Inc.

250 Old Wilson Bridge Road · Suite 250 · Worthington, OH 43085
 614-540-6633 · 888-598-6808
 www.ceecinc.com

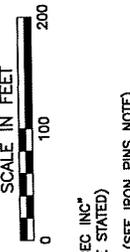
SEATTLE HOUSE
 (BOWTOWN SOUTH)
 METRO DEVELOPMENT

CITY OF DELAWARE
 DELAWARE COUNTY, OHIO

DRAWN BY: _____ KAS (CHECKED BY: _____) MMS (APPROVED BY: _____) DRAFT (DRAWING NO.: _____)

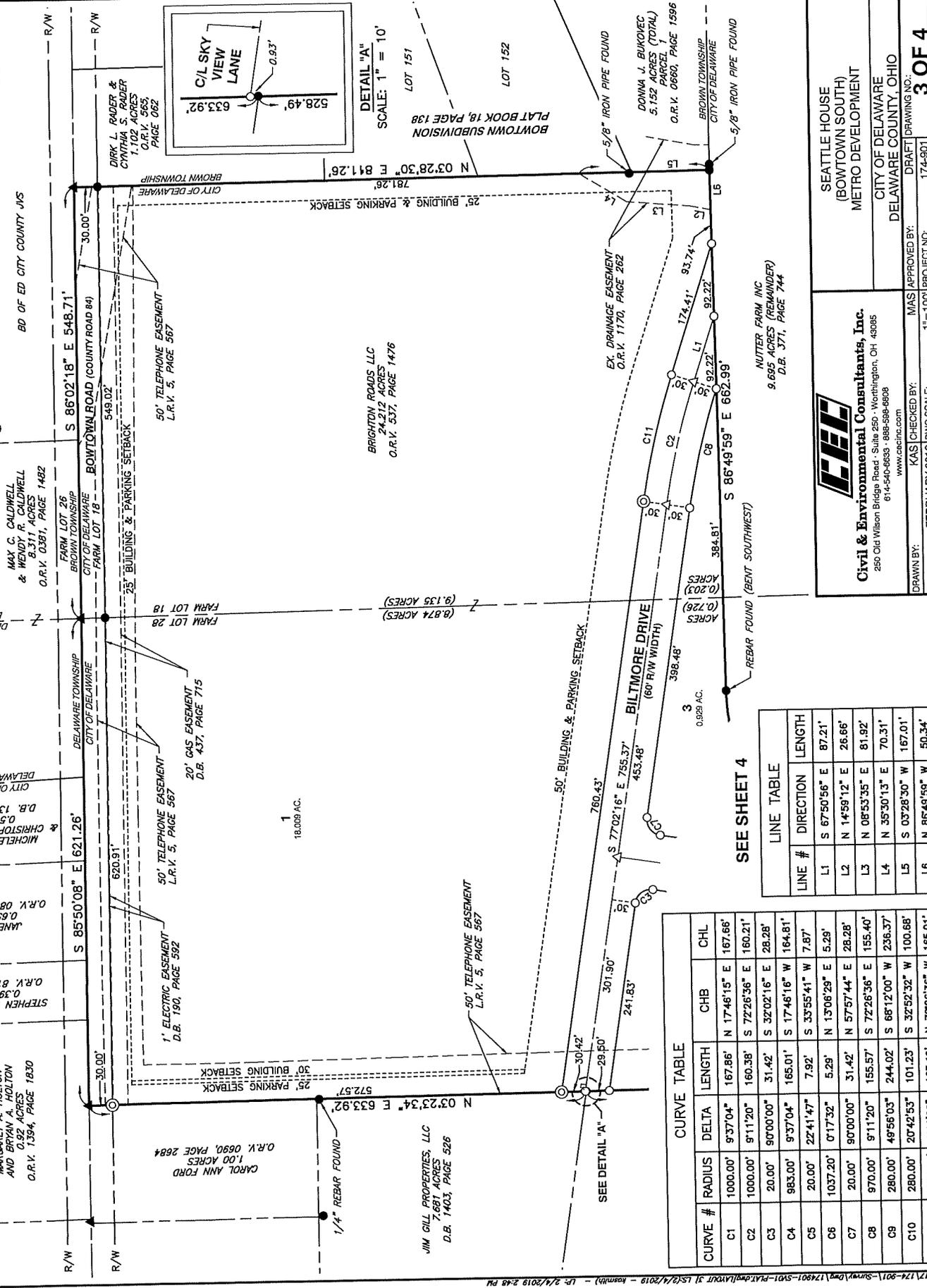
DATE: FEBRUARY 2019 DWG SCALE: 1"=100' PROJECT NO.: 174-901

1 OF 4

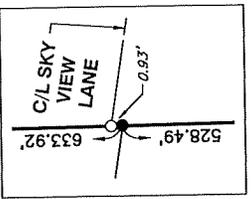


- LEGEND**
- ▲ MAG NAIL FOUND
 - △ MAG NAIL SET
 - 5/8" REBAR FD. "CEC INC." (UNLESS OTHERWISE STATED)
 - REBAR SET & CAP (SEE IRON PINS NOTE)
 - ⊙ PERMANENT MARKER (1" REBAR SET)

BO OF ED CITY COUNTY JVS



DETAIL "A"
SCALE: 1" = 10'



SEE SHEET 4

CURVE TABLE

CURVE #	RADIUS	DELTA	LENGTH	CHB	CHL
C1	1000.00'	9°37'04"	167.86'	N 17°46'15" E	167.66'
C2	1000.00'	9°11'20"	160.38'	S 72°26'36" E	160.21'
C3	20.00'	90°00'00"	31.42'	S 32°02'16" E	28.28'
C4	983.00'	9°37'04"	165.01'	S 17°46'16" W	164.81'
C5	20.00'	22°41'47"	7.92'	S 33°55'41" W	7.87'
C6	1037.20'	0°17'32"	5.29'	N 13°06'29" E	5.29'
C7	20.00'	90°00'00"	31.42'	N 57°57'44" E	28.28'
C8	970.00'	9°11'20"	155.57'	S 72°26'36" E	155.40'
C9	280.00'	49°58'03"	244.02'	S 86°12'00" W	236.37'
C10	280.00'	20°42'53"	101.23'	S 32°52'32" W	100.68'
C11	1030.00'	9°11'20"	165.19'	N 72°26'36" W	165.01'

LINE TABLE

LINE #	DIRECTION	LENGTH
L1	S 67°50'56" E	87.21'
L2	N 14°59'12" E	26.66'
L3	N 08°53'35" E	81.92'
L4	N 35°30'13" E	70.31'
L5	S 03°28'30" W	167.01'
L6	N 86°49'59" W	50.34'

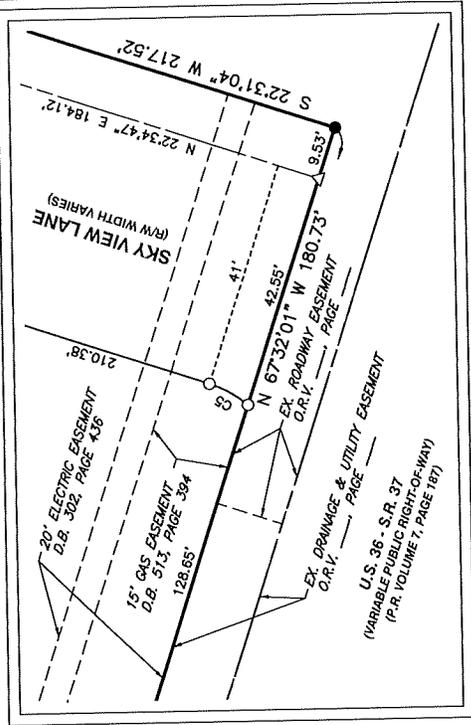
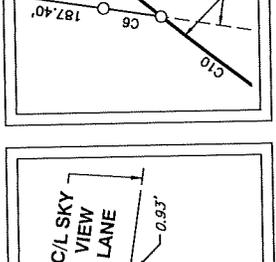
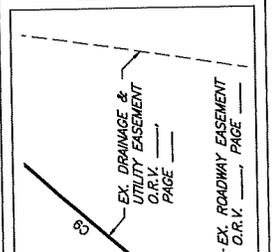
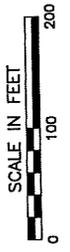
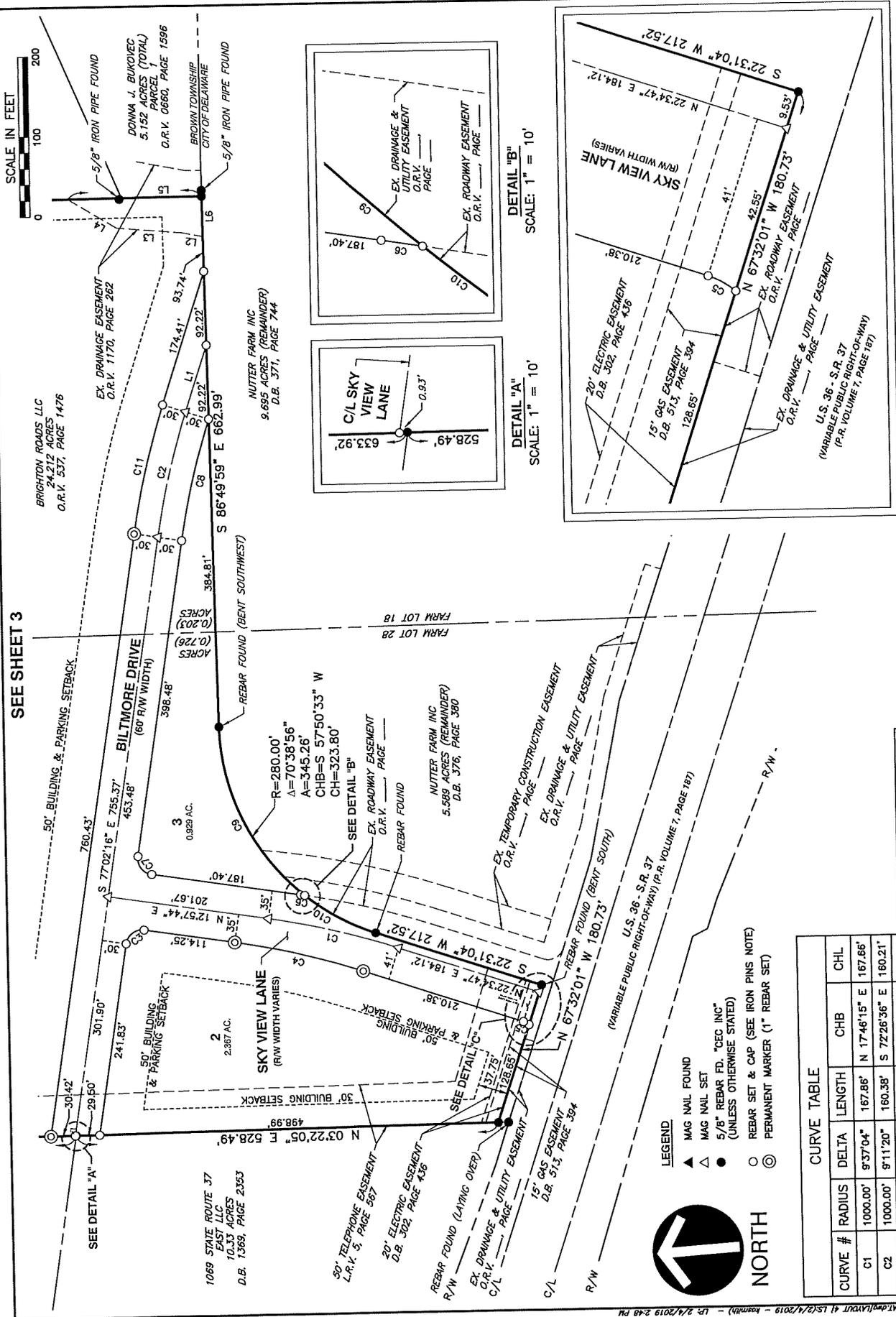


Civil & Environmental Consultants, Inc.
250 Old Wilson Bridge Road - Suite 250 - Worthington, OH 43085
614-540-6633 - 888-598-6808
www.cecinc.com

SEATTLE HOUSE
(BOWTOWN SOUTH)
METRO DEVELOPMENT
CITY OF DELAWARE
DELAWARE COUNTY, OHIO

DRAWN BY: KAS CHECKED BY: MAS APPROVED BY: [Signature]
DATE: FEBRUARY 2019 DWG SCALE: 1"=100' PROJECT NO: 174-901
DRAWING NO: 3 OF 4

SEE SHEET 3



LINE #	DIRECTION	LENGTH
L1	S 67°50'56" E	87.21'
L2	N 14°59'12" E	26.66'
L3	N 08°53'35" E	81.92'
L4	N 35°30'13" E	70.31'
L5	S 03°28'30" W	187.01'
L6	N 86°49'59" W	50.34'

CURVE #	RADIUS	DELTA	CHB	CHL
C1	1000.00'	9°37'04"	N 17°46'15" E 167.66'	167.66'
C2	1000.00'	9°11'20"	S 72°26'36" E 180.21'	180.21'
C3	20.00'	90°00'00"	S 32°02'16" E 28.28'	28.28'
C4	983.00'	9°37'04"	S 17°46'16" W 164.81'	164.81'
C5	20.00'	22°41'47"	S 33°55'41" W 7.87'	7.87'
C6	1037.20'	0°17'32"	N 13°08'29" E 5.29'	5.29'
C7	20.00'	90°00'00"	N 57°57'44" E 28.28'	28.28'
C8	970.00'	9°11'20"	S 72°26'36" E 155.40'	155.40'
C9	280.00'	49°56'03"	S 68°12'00" W 236.37'	236.37'
C10	280.00'	20°42'55"	N 101.23' S 32°52'32" W 100.68'	100.68'
C11	1030.00'	9°11'20"	N 165.19' S 72°26'36" W 165.01'	165.01'

- LEGEND**
- ▲ MAG NAIL FOUND
 - △ MAG NAIL SET
 - 5/8" REBAR FD. "CEC INC" (UNLESS OTHERWISE STATED)
 - REBAR SET & CAP (SEE IRON PINS NOTE)
 - ◎ PERMANENT MARKER (1" REBAR SET)



SCALE: 1" = 20'

SCALE: 1" = 10'

SCALE: 1" = 10'



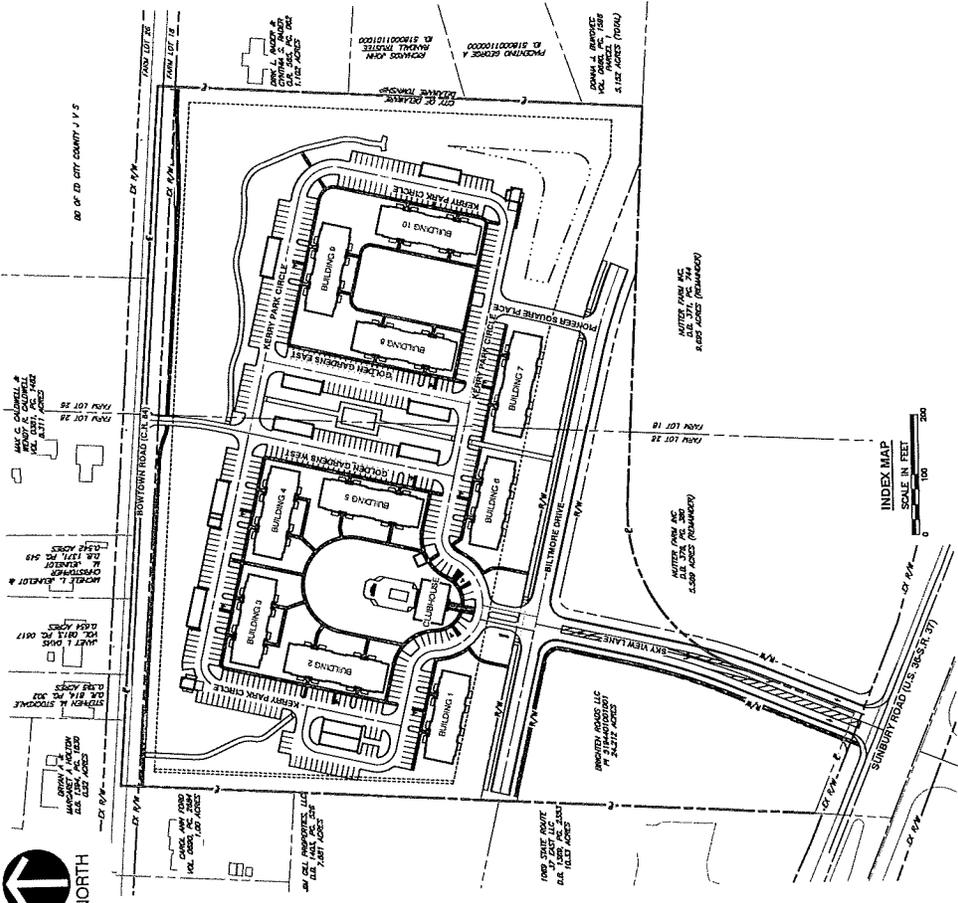
Civil & Environmental Consultants, Inc.
 250 Old Wilson Bridge Road · Suite 250 · Worthington, OH 43085
 614-540-6693 · 888-998-8808
 www.cecinc.com

SEATTLE HOUSE
 (BOWTOWN SOUTH)
 METRO DEVELOPMENT
 CITY OF DELAWARE
 DELAWARE COUNTY, OHIO

DRAWN BY: KAS (CHECKED BY: MAS) (APPROVED BY: DRAFT)
 DATE: FEBRUARY 2019
 PROJECT NO: 174-901
 DRAWING NO: 4 OF 4

FINAL DEVELOPMENT PLAN SEATTLE HOUSE

JANUARY 2019
SITUATED IN THE STATE OF OHIO,
CITY OF DELAWARE, DELAWARE COUNTY



INDEX MAP
SCALE IN FEET
0 100 200

BENCHMARKS (NAVD 88)

- SOURCE: BENCH MARK
- TOP OF A 30" X 30" IRON WITH A CAP MARKED C.E.C. INC. TRAVEL #1
- DELATION WAS ESTABLISHED USING SURVEYING METHODS AND A 30" DIA. 0.002-0.003 SOLUTION
- USING ONE SUBSTANTIAL B.S. WITH BENCHMARK 123456789
- NORTHING 2300123456
- EASTING 1234567890
- ELEVATION 1234.56
- BENCHMARK 1: CORNER MARK ON CONCRETE EAST OF INTERSECTION OF STATE ROUTE 231 AND SOUTHWEST ROAD ON THE SOUTH SIDE OF SOUTHWEST ROAD. ELEV. = 840.07'
- BENCHMARK 2: CORNER MARK ON CONCRETE EAST OF INTERSECTION OF STATE ROUTE 231 AND SOUTHWEST ROAD ON THE SOUTH SIDE OF SOUTHWEST ROAD. ELEV. = 840.29'
- BENCHMARK 3: CORNER MARK ON CONCRETE EAST OF INTERSECTION OF STATE ROUTE 231 AND SOUTHWEST ROAD ON THE SOUTH SIDE OF SOUTHWEST ROAD. ELEV. = 841.20'
- BENCHMARK 4: CORNER MARK ON THE NORTHEAST CORNER OF THE CONCRETE BASE OF THE TRAFFIC LIGHT ON THE NORTH SIDE OF U.S. ROUTE 231/STATE ROUTE 27, NORTH OF VISION SIGNAL STORE ADDRESS 100 SUNBURY ROAD. ELEV. = 840.27'
- BENCHMARK 5: CORNER MARK ON THE NORTHEAST CORNER OF THE CONCRETE BASE OF THE TRAFFIC LIGHT ON THE NORTH SIDE OF U.S. ROUTE 231/STATE ROUTE 27, NORTH OF ADDRESS FINAL STATE ADDRESS 100 SUNBURY ROAD. ELEV. = 840.27'

ENGINEER/SURVEYOR
CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
250 OLD WILSON BRIDGE ROAD, SUITE 250
WORTHINGTON, OH 43085
PHONE: (614) 492-8200

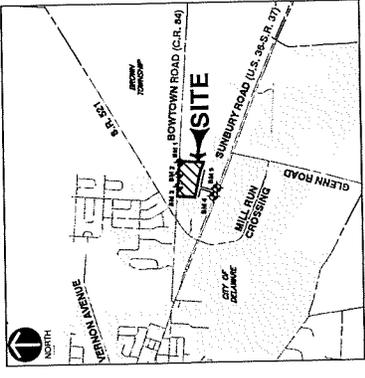
DEVELOPER
METRO DEVELOPMENT
100 SUNBURY ROAD, SUITE 100
WORTHINGTON, OH 43085
PHONE: (614) 540-3400

OWNER
SEATTLE HOUSE LLC
SUITE 100
100 SUNBURY ROAD
WORTHINGTON, OH 43085

ARCHITECT
PETER PLANNING & DESIGN
100 SUNBURY ROAD, SUITE 100
WORTHINGTON, OH 43085
PHONE: (614) 492-1884

REFERENCE

1. ALL INFORMATION HAS BEEN OBTAINED FROM THE RECORDS OF THE CITY OF DELAWARE, OHIO.
2. ALL INFORMATION HAS BEEN OBTAINED FROM THE RECORDS OF THE CITY OF DELAWARE, OHIO.
3. ALL INFORMATION HAS BEEN OBTAINED FROM THE RECORDS OF THE CITY OF DELAWARE, OHIO.
4. ALL INFORMATION HAS BEEN OBTAINED FROM THE RECORDS OF THE CITY OF DELAWARE, OHIO.



SITE DATA

TOTAL AREA AC	41.61 AC
TOTAL PAVED AREA AC	41.61 AC
TOTAL PAVED PERCENTAGE	100.00%
TOTAL PARKING SPACES	417
TOTAL BUILDING AREA AC	52.24 AC
TOTAL UTILITY AC	240
TOTAL UTILITY PERCENTAGE	0.58%
TOTAL UTILITY SPACES	180
TOTAL UTILITY PERCENTAGE	0.43%
TOTAL UTILITY SPACES PER 1,000 TOTAL SPACES	43
TOTAL UTILITY SPACES PER 1,000 TOTAL SPACES	43
TOTAL UTILITY SPACES PER 1,000 TOTAL SPACES	43
TOTAL UTILITY SPACES PER 1,000 TOTAL SPACES	43

DRAWING INDEX

SHEET	DRAWING NO.	SHEET TITLE
1	C000	COVER SHEET
2	C001	TYPICAL SECTIONS
3	C100	DETAIL CONCRETE
4	C200	DETAIL PARKING
5	C300	DETAIL SHEDDING PLAN
6	C400	DETAIL SHEDDING PLAN
7	C500	DETAIL UTILITY PLAN
8	C600	DETAIL UTILITY PLAN
9	C700	DETAIL UTILITY PLAN
10	C800	DETAIL UTILITY PLAN



APPROVED BY:
CITY OF DELAWARE, OHIO

PC CASE NO. _____ APPROVED BY THE PLANNING COMMISSION ON _____

APPROVED THIS _____ DAY OF _____, 2019
DAVID H. EDWARDS, JACOBI PLANNING & COMMUNITY DEVELOPMENT DIRECTOR

EXHIBIT C-1

COVER SHEET

PROJECT NO. 117501

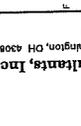
DATE FEBRUARY 2019

AS NOTED

REVISION RECORD

NO.	DATE	DESCRIPTION

Civil & Environmental Consultants, Inc.
250 Old Wilson Bridge Road - Suite 250 - Worthington, OH 43085
614-640-8200
www.pcc.com



METRO DEVELOPMENT
CITY OF DELAWARE, OHIO
DELAWARE COUNTY

SEATTLE HOUSE
(BOWTOWN SOUTH)

C000

SHEET 1 OF 10

C700
SHEET

LIGHTING PLAN

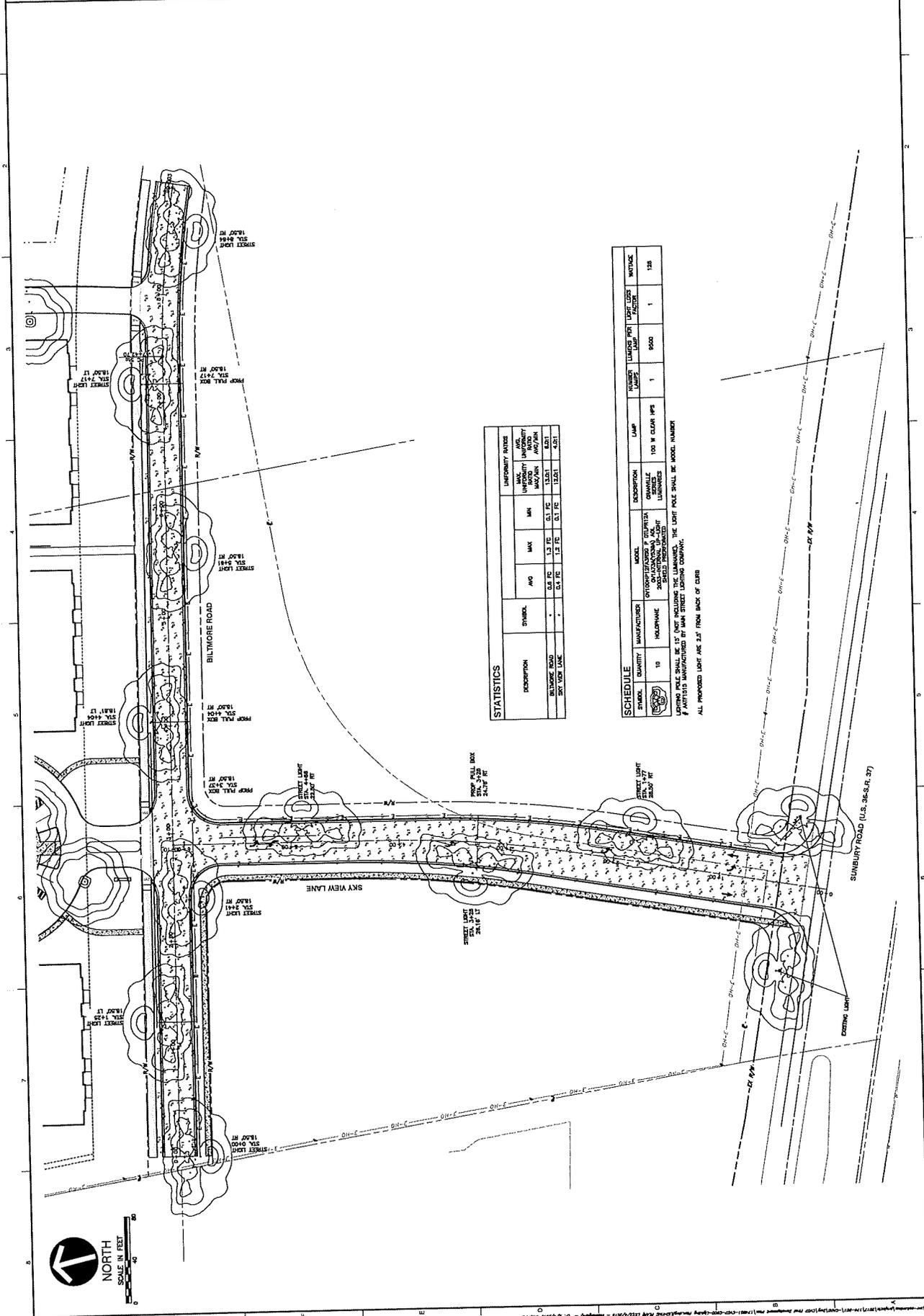
DATE	FEBRUARY 2019
PROJECT NO.	174-501
SCALE	1" = 40'
DESIGNED BY	174-501
CHECKED BY	
DATE	

**SEATTLE HOUSE
METRO DEVELOPMENT
(BOWTOWN SOUTH)
CITY OF DELAWARE, OHIO
DELAWARE COUNTY**

Civil & Environmental Consultants, Inc.
250 Old Wilson Bridge Road - Suite 250 - Worthington, OH 43085
614-540-6333 • 688-898-6808
www.civil.com



NO.	DATE	DESCRIPTION



STATISTICS

DESCRIPTION	SYMBOL	UNIFORMITY RATIO		
		AVG	MAX	MIN
BILTMORE ROAD SUN VIEW LANE	•	0.4 FC	1.3 FC	0.1 FC
		0.4 FC	1.3 FC	0.1 FC
		0.4 FC	1.3 FC	0.1 FC

SCHEDULE

SYMBOL	QUANTITY	MANUFACTURER	MODEL	DESCRIPTION	LAMP	100' W CLEAR HPS	LUMENS PER LAMP	LUMENS PER SQUARE FOOT	NOTES
•	10	HOLEXPANE	2000-INT-100-10-10	GRANVILLE 2000-INT-100-10-10 LIGHT FIXTURES	100 W CLEAR HPS	1	9000	1	128

ALL PROPOSED LIGHT POLES SHALL BE 25' FROM BACK OF CURB.
LAMP AND BALLAST SHALL BE 10' FROM BACK OF CURB.
IF PARTIAL MANUFACTURED BY MAIN STREET LIGHTING COMPANY, THE LIGHT POLE SHALL BE MODEL NUMBER





American Revolution LED Series 247L

PRODUCT OVERVIEW



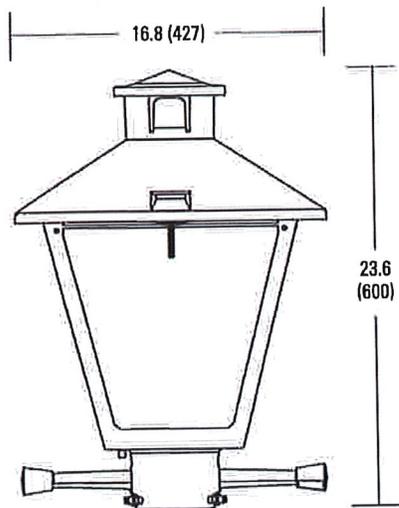
Features:

- Die-cast aluminum housing and hood for long-life performance
- Die-cast trigger latch (TL) and captive thumb screws option available for easy access to internal components
- Optical assembly designed for maximum performance, available in Type II, Type III and Type V
- Hinged hood and captive thumb screws provision afford quick, easy access to electrical and optical area for servicing
- Slipfitter with three set screws allows secure installation to pole sizes 2-3/8" or 3" O.D.
- Surge protection device (standard) exceeds ANSI C62.41 Category C1 criteria (surge tested at 10kV/5kA)
- Complies with ANSI: C136.2, C136.10, C136.15
- CSA listed and suitable for up to 30°C ambient
- Rated L70, LED life greater than 100,000 hours at 25°C
- Replaces up to 150W HPS light source incumbant models
- LED electronic 0V-10V dimmable driver
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

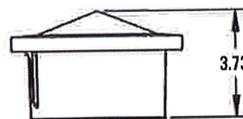
Applications:

Streetscapes
Walkways
Pathways
Parks

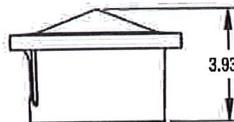
DIMENSIONS



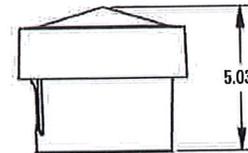
Effective Projected Area (EPA)
The EPA for the American Revolution Series 247 is 1.6 sq. ft.
P5 or P7 option total height is 24.9 (633).
Approx. Wt. = 36 lbs.



Cupola height
P3 without ROAM
Shown in line diagram



Cupola height
P5/P7 without ROAM



Cupola height
P5/P7 with ROAM

All dimensions are inches (millimeters) unless otherwise noted.

American Revolution LED

Series 247L

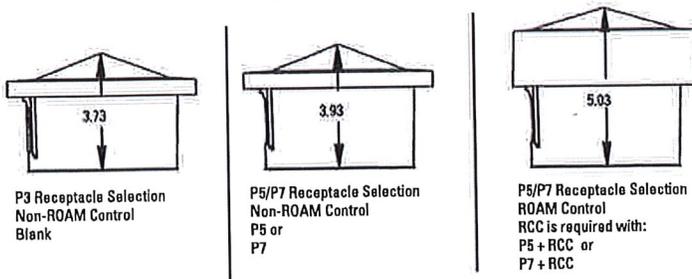
ORDERING INFORMATION

Example: 247L 20LEDE70 MVOLT 4K R3 AY

Series	Performance Package	Voltage	Color Temperature (CCT)
247L American Revolution LED	20LEDE10 20 Chips, 1050 mA Driver, 72 input watts 20LEDE70 20 Chips, 700 mA Driver, 45 input watts 10LEDE10 10 Chips, 1050 mA Driver, 38 input watts 10LEDE70 10 Chips, 700 mA Driver, 25 input watts 10LEDE53 10 Chips, 525 mA Driver, 18 input watts 10LEDE35 10 Chips, 350 mA Driver, 13 input watts	MVOLT Multi-volt, 120-277V 347 347V 480 480V	3K 3000K 4K 4000K 5K 5000K

Distribution	Optics	Options
R2 Type II R3 Type III R5 Type V	AY Acrylic PY Polycarbonate	<u>Paint</u> ¹ (blank) Black (standard) GY Gray DDB Dark Bronze WH White BZ Bronze <u>Photocontrol</u> (blank) 3 pin NEMA Photocontrol Receptacle (standard) NR ² No Photocontrol Receptacle P5 ³ 5 pin NEMA Photocontrol Receptacle (dimnable driver included) P7 ³ 7 pin NEMA Photocontrol Receptacle (dimnable driver included) PCLL ^{4,5} Solid State Long Life Photocontrol PCSS ^{4,5,6} Not CSA Listed Solid State Long Life Photocontrol (120-277V) <u>Miscellaneous</u> SS Stainless steel hardware NL NEMA Label XL Not CSA Listed TL Tool-less Entry LDR ⁷ Ladder Rest SH Shorting Cap SHX ⁶ Not CSA Listed Shorting Cap HSB House Side Shield Black HSW House Side Shield White CR Enhanced Corrosion Resistant Finish RCC ⁸ ROAM Dimming Node Cupola Cover <u>Accessories</u> RNC57 ³ ROAM Dimming Node Cupola Cover

Cupola size based on type of control and receptacle



Notes:

- Other colors available, please contact factory
- PC and SH not available with NR option
- Taller cupola cover (RCC) is required when used with ROAM or other similar wireless monitoring control systems
- Standard failure mode="Fail On"
- Photocontrols supplied with ANSI Standard Turn-On levels
- XL option is required
- Ships with unit, field installed
- Required when using ROAM or other similar wireless monitoring control systems

AELE American Electric Lighting

AEL Headquarters, 3825 Columbus Road, Granville, OH 43023
 www.americanelectricalighting.com
 © 2017 Acuity Brands Lighting, Inc. All Rights Reserved. 07/28/17

Warranty Five-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx
 Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Please contact your sales representative for the latest product information.

American Revolution LED

Series 247L

OPERATING CHARACTERISTICS

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

LED Quantity, mA, CCT	Input Watts	TOTAL LUMENS											
		R2-AY	LPW	R3-AY	LPW	R5-AY	LPW	R2-PY	LPW	R3-PY	LPW	R5-PY	LPW
20LEDE10 3K	73	5,495	75	5,553	76	6,068	83	5,156	71	5,210	71	5,694	78
20LEDE10 4K	73	5,900	81	5,962	82	6,516	89	5,451	75	5,576	76	6,111	84
20LEDE10 5K	73	5,937	81	5,999	82	6,556	90	5,568	76	5,626	77	6,149	84
20LEDE70 3K	46	4,103	89	4,147	90	4,531	99	3,848	84	3,889	85	4,249	92
20LEDE70 4K	46	4,407	96	4,453	97	4,867	106	4,115	89	4,164	91	4,545	99
20LEDE70 5K	46	4,434	96	4,481	97	4,897	106	4,140	90	4,184	91	4,573	99
10LEDE10 3K	39	2,936	75	2,967	76	3,242	83	2,779	71	2,808	72	3,068	79
10LEDE10 4K	39	3,153	81	3,187	82	3,482	89	2,959	76	2,990	77	3,267	84
10LEDE10 5K	39	3,173	81	3,206	82	3,504	90	2,981	76	3,011	77	3,292	84
10LEDE70 3K	26	2,115	81	2,137	82	2,336	90	2,012	77	2,034	78	2,223	86
10LEDE70 4K	26	2,271	87	2,295	88	2,508	96	2,106	81	2,128	82	2,326	89
10LEDE70 5K	26	2,285	88	2,309	89	2,523	97	2,126	82	2,148	83	2,347	90
10LEDE53 3K	19	1,662	87	1,681	88	1,836	97	1,561	82	1,578	83	1,724	91
10LEDE53 4K	19	1,785	94	1,804	95	1,972	104	1,670	88	1,688	89	1,845	97
10LEDE53 5K	19	1,796	95	1,816	96	1,984	104	1,683	89	1,702	90	1,859	98
10LEDE35 3K	14	1,150	82	1,162	83	1,270	91	1,079	77	1,090	78	1,191	85
10LEDE35 4K	14	1,234	88	1,248	89	1,364	97	1,162	83	1,175	84	1,284	92
10LEDE35 5K	14	1,243	89	1,256	90	1,372	98	1,165	83	1,177	84	1,287	92



AEL Headquarters, 3825 Columbus Road, Granville, OH 43023
www.americanelectricalighting.com
 © 2017 Acuity Brands Lighting, Inc. All Rights Reserved. 07/28/17

Warranty Five-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomersResources/terms_and_conditions.aspx
 Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Please contact your sales representative for the latest product information.

REVISIONS

- GENERAL LAYOUT NOTES**
- BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY WAS PREPARED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. 7250 WOOD WILSON BRIDGE RD #250, WORKINGTON, OH. 43087 / (614) 346-6645
 - ALL DIMENSIONS ARE TAKEN TO FACE OF CURB OR BUILDING WHERE APPLICABLE UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL LAYOUT AND ADJUST AS REQUIRED FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY DIMENSIONS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
 - BROOM FINISH ON CONCRETE SHALL BE PERPENDICULAR TO TRAFFIC FLOW.
 - USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
 - CONTRACTOR SHALL REFER QUESTIONS ON MATERIALS, FINISHES, LABOR, AND/OR FINISHES TO THE DIMENSIONS NOT SPECIFIED HEREIN TO THE LANDSCAPE ARCHITECT.
 - THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THIS DRAWING. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREE TO BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES TO BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

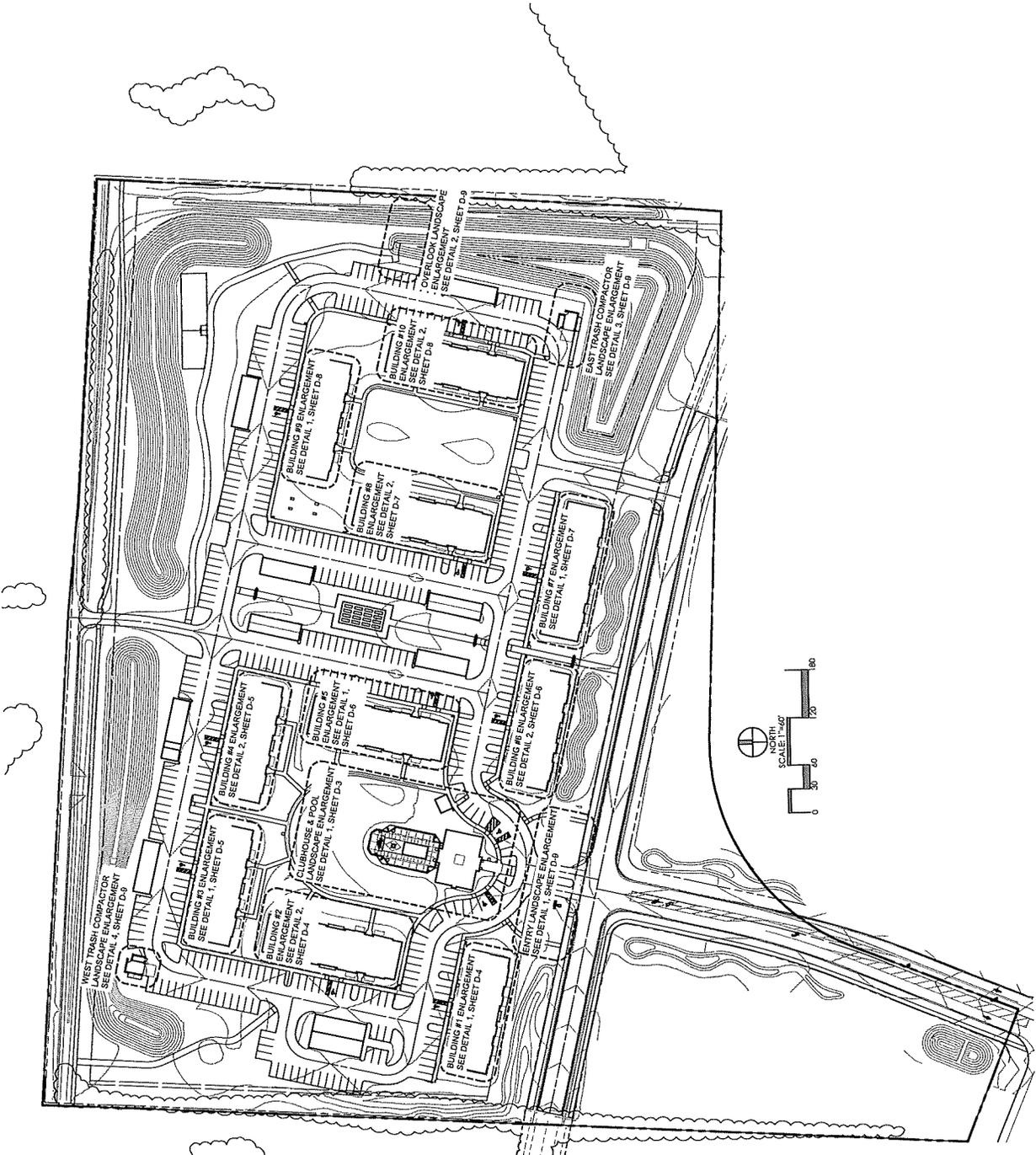
OVERALL SITE PLAN

SEATTLE HOUSE
METRO DEVELOPMENT
470 CDE WORKING DR
SUITE 100
WESTERVILLE, OHIO 43082

Paris Planning & Design
LANDSCAPE ARCHITECTURE
SUITE 401
COLUMBUS OH 43215
P (614) 437-1844
WWW.PARISPLANNINGDESIGN.COM

DATE	2/6/19
PROJECT	17138
SHEET	

D-1



REVISIONS

POOL LANDSCAPE AND CLUBHOUSE PLANS

SEATTLE HOUSE
 METRO DEVELOPMENT
 4000 WEST 100th AVE
 WESTLYNNE, OHIO 44098

Faris Planning & Design
 LANDSCAPE ARCHITECTURE
 2424 N. 15th Street
 Suite 401
 Columbus, OH 43215
 p (614) 471-1844
 www.farisplanning.com

DATE	2/16/19
PROJECT	17138
SHEET	D-3

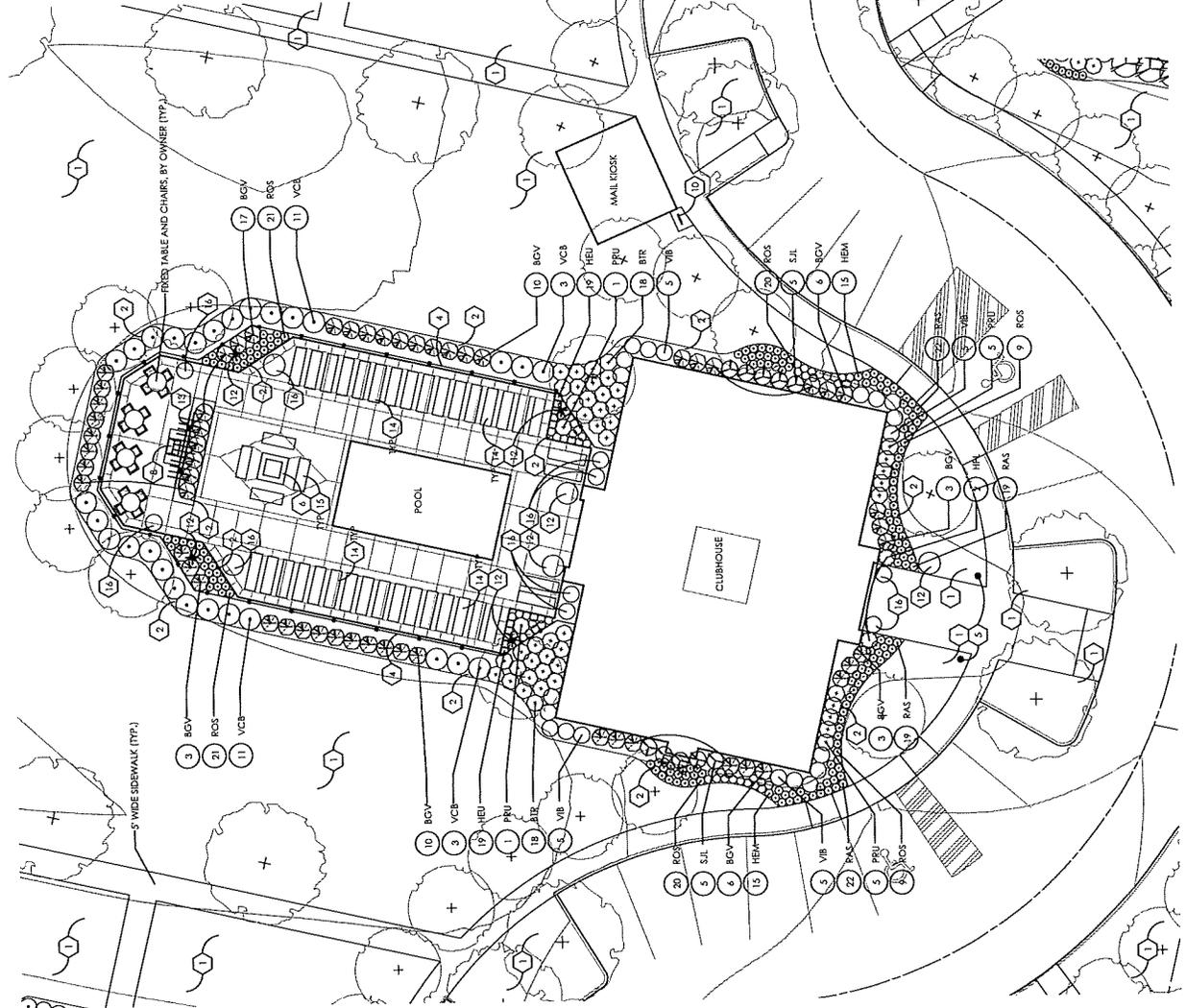
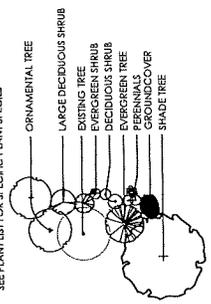
GENERAL PLANTING NOTES:

1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM OF SEVEN SLOTTED HARDWOOD BARK MULCH. HEDGES SHALL BE PLANTED IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE FILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
7. SOODING / SEEDING BY LANDSCAPE CONTRACTOR.
8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN IDENTIFIED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
9. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEED/SODDED.
10. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

CONSTRUCTION NOTES:

1. LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
2. LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
3. POOL AND DOG PARK FENCE AND GATE. SEE DETAIL 4 ON SHEET D-12 FOR MORE INFORMATION.
4. FLAG POLE. SEE DETAIL 1 ON SHEET D-13 FOR MORE INFORMATION.
5. TREE PIT AND BURNER. BURNER (1 LESS THAN PIT DIMENSIONS BETWEEN SEATING), TOKK, C-500 MULTI-VOLT GRANITE TIMER. SEE DETAIL 2 ON SHEET D-13 FOR MORE INFORMATION.
6. GRILL STATION, WINE-4 GRILL WITH MANGOS SLEEVE AND MANGOS DOUBLE DOORS. AVAILABLE FROM WHF OUTDOOR GRILLS. SEE DETAIL 4 ON SHEET D-13 FOR MORE INFORMATION.
7. BIKE RACK, PARK-IT-2-BIKE RACKS, TBR-13, BLACK, AVAILABLE FROM TRETOP PRODUCTS. SEE DETAIL 2 ON SHEET D-14 FOR MORE INFORMATION.
8. TRASH RECEPTACLES, NORRIGATE RECEPTACLES, TBR-13, BLACK, AVAILABLE FROM TRETOP PRODUCTS. SEE DETAIL 4 ON SHEET D-14 FOR MORE INFORMATION.
9. POOL AREA LIGHT AND POST, CEIL ONE LIGHT OUTDOOR LIGHTING, AVAILABLE FROM TRETOP PRODUCTS. SEE DETAIL 5 ON SHEET D-14 FOR MORE INFORMATION.
10. SINGLE POST ARBOR. SEE DETAIL 6 ON SHEET D-14 FOR MORE INFORMATION.
11. CHASE LOUNGE CHAIR. FINAL LOCATION AND STYLE BY OWNER.
12. FIRE PIT SEATING. FINAL LOCATION AND STYLE BY OWNER.
13. ROUND PLANTER. FINAL LOCATION AND STYLE BY OWNER.

PLANT KEY TYPICALS
 SEE PLANT LIST FOR SPECIFIC PLANT SPECIES

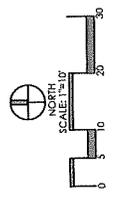


PLANT LIST

CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN

QTY	1 SET	BOTANICAL NAME	SIZE	COND.	REMARKS
1	1	BOV	NO. 2	CONT	GREEN VELVET BOXWOOD
2	2	BIR	NO. 2	CONT	ROSE GLOW JAPANESE BARBERRY
3	3	HPL	NO. 3	CONT	LIME LIGHT HYDRANGEA
4	4	PRU	NO. 2	CONT	PURPLE LEAF SAND CHERRY
5	5	ROS	NO. 1	CONT	GRO LOW PACIFIC SUMAC
6	6	SIL	NO. 2	CONT	LITTLE PRACASS SPREA
7	7	VCB	NO. 5	CONT	BLUE AMEREN VIBURNUM
8	8	VRB	NO. 5	CONT	KOREAN SPICE VIBURNUM
9	9	HEH	NO. 1	CONT	HAPPY RETURNS DAYLILY
10	10	HEU	NO. 1	CONT	SOUTHERN COMFORT HEUCHERA

*NOTE: ANNUALS TO BE PLANTED BY OWNER. NOT IN INITIAL LANDSCAPE COSTS.



REVISIONS

LANDSCAPE ENLARGEMENTS

SEATTLE HOUSE
METRO DEVELOPMENT
470 OLIVE WASHINGTON ROAD
WESTERVILLE, OHIO 43082

PARIS PLANNING & DESIGN
1400 EAST 12TH AVE
COLUMBUS, OH 43215
614.294.1944
www.parisplanning.com

DATE	2/6/19
PROJECT	17138
SHEET	

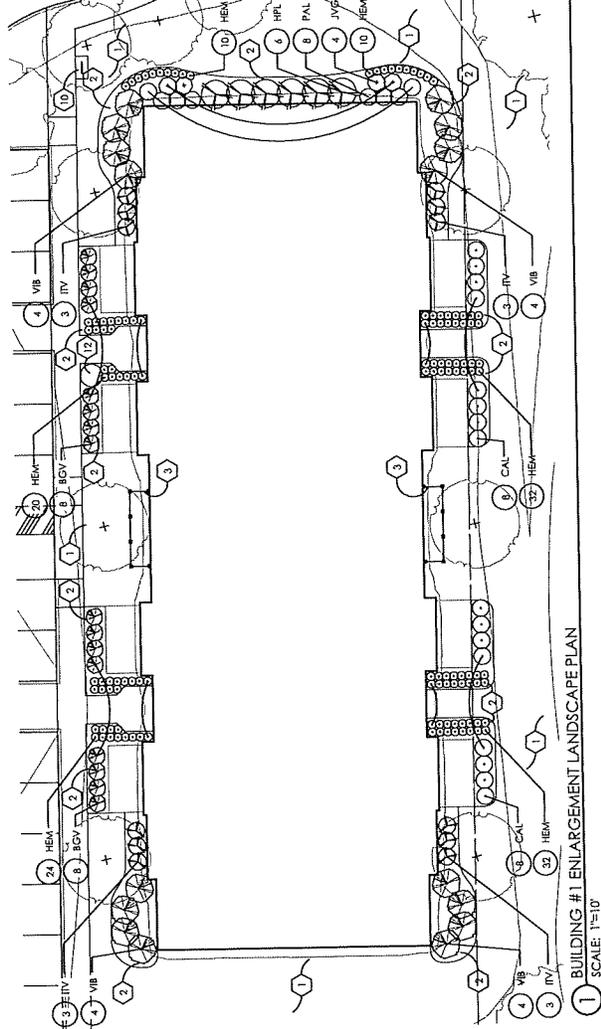
D-4

BUILDING #1 PLANT LIST
(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

SHRUBS	LET	BOTANICAL NAME	SIZE	COND.	REMARKS
6	HPL	HYDRANGEA PANCULATA 'LIMELIGHT'	NO. 5	CONT	
12	IVY	HEA VIRGINICA 'HENRY'S GARNET'	NO. 7	CONT	
4	JVG	JUNIPERUS VIRGINIANA 'GREY OWL'	NO. 3	CONT	
14	VIB	VIBURNUM CARLISLEI	NO. 3	CONT	
14	BOV	IBIDUS GREEN VELVET	NO. 3	CONT	
PERENNIALS/ORNAMENTAL GRASSES					
8	HEA	HEMOCALUS ACUTER ORA 'KARL FOERSTER'	NO. 2	CONT	
8	HEA	HEMOCALUS 'HAPPY RETURNS'	NO. 1	CONT	
8	PAL	PEROVSKIA ATTRICULATA 'LITTLE SPIRE'	NO. 1	CONT	
*NOTE: ANNUALS TO BE PLANTED BY OWNER. NOT IN INITIAL LANDSCAPE COSTS.					

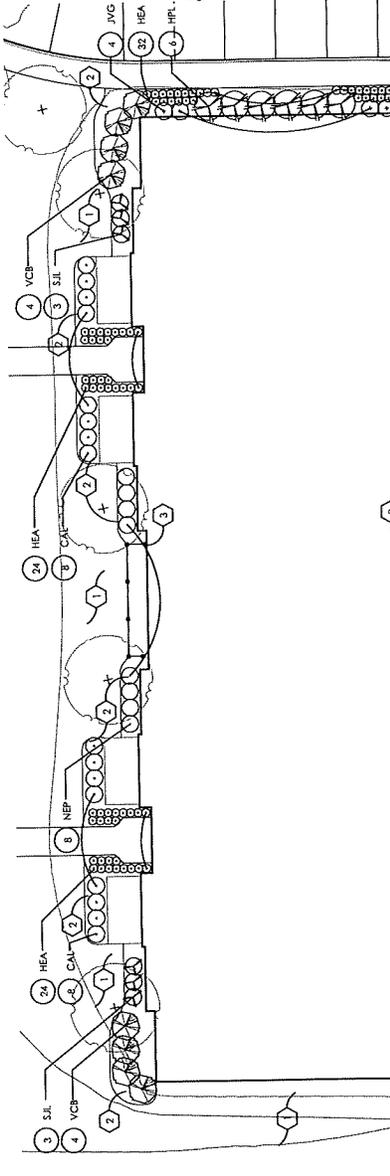
BUILDING #2 PLANT LIST
(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

SHRUBS	LET	BOTANICAL NAME	SIZE	COND.	REMARKS
4	HPL	HYDRANGEA PANCULATA 'LIMELIGHT'	NO. 5	CONT	
4	JVG	JUNIPERUS VIRGINIANA 'GREY OWL'	NO. 1	CONT	
12	SIL	SPIRAEA JAPONICA 'LITTLE PRINCESS'	NO. 2	CONT	
16	VCS	VIBURNUM DISTANTUM 'CHRISTOM BLUE MUFFIN'	NO. 2	CONT	
16	TDH	THUNIA OCCIDENTALIS 'THEY MIDGET'	NO. 2	CONT	
PERENNIALS/ORNAMENTAL GRASSES					
16	CAL	CALICEA ACUTER ORA 'KARL FOERSTER'	NO. 2	CONT	
16	CAL	CALICEA 'ALWAYS AFTERNOON DAILY'	NO. 1	CONT	
16	NEP	NEPHEA X PAXSONII 'WALKER'S LOW'	NO. 1	CONT	
*NOTE: ANNUALS TO BE PLANTED BY OWNER. NOT IN INITIAL LANDSCAPE COSTS.					

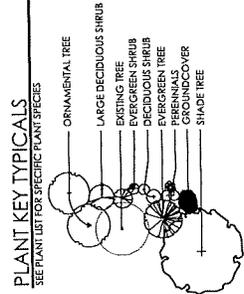


1 BUILDING #1 ENLARGEMENT LANDSCAPE PLAN
SCALE: 1"=10'

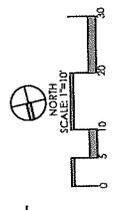
- GENERAL PLANTING NOTES:**
- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
 - ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
 - PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - PLANTING BEDS SHALL HAVE A MINIMUM 2" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEIGHTS IN A CONTINUOUS BED.
 - ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
 - ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
 - SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
 - THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/ SODDED.
 - ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.



2 BUILDING #2 ENLARGEMENT LANDSCAPE PLAN
SCALE: 1"=10'



- CONSTRUCTION NOTES:**
- LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
 - LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
 - A/C CONDENSER SCREENING FENCE, SEE DETAIL 5 ON SHEET D-12 FOR MORE INFORMATION.
 - BIKE RACK, PARKIT 2-BIKE RACKS, TBK-15, BLACK, AVAILABLE FROM TREE OF PRODUCTS. SEE DETAIL 2 ON SHEET D-14 FOR MORE INFORMATION.
 - TWASH RECEPTACLES, NORRIGATE RECEPTACLES, TBK-15, BLACK, AVAILABLE FROM TREE OF PRODUCTS. SEE DETAIL 4 ON SHEET D-14 FOR MORE INFORMATION.

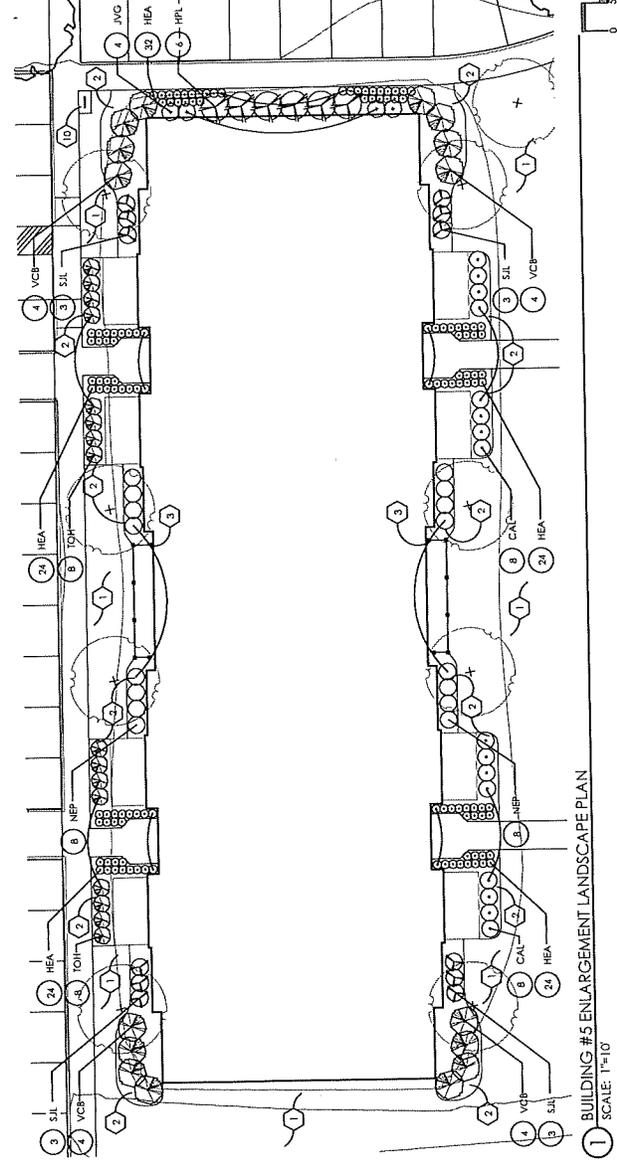
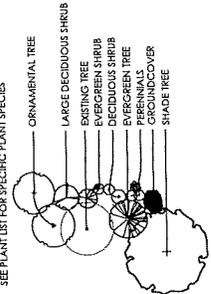


REVISIONS

GENERAL PLANTING NOTES:

1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 2" DEEP SPREADS OF HARDWOOD BARK, MULCH, MULCH BEDS IN A CONTIGUOUS BED.
5. ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
7. SOODING / SEEDING BY LANDSCAPE CONTRACTOR.
8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE DESIGN PROFESSIONAL. THE EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DURING THE COURSE OF THE PROJECT. THE CONTRACTOR SHALL LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
9. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/SODDED.
10. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

PLANT KEY TYPICALS



NO.	DATE	DESCRIPTION

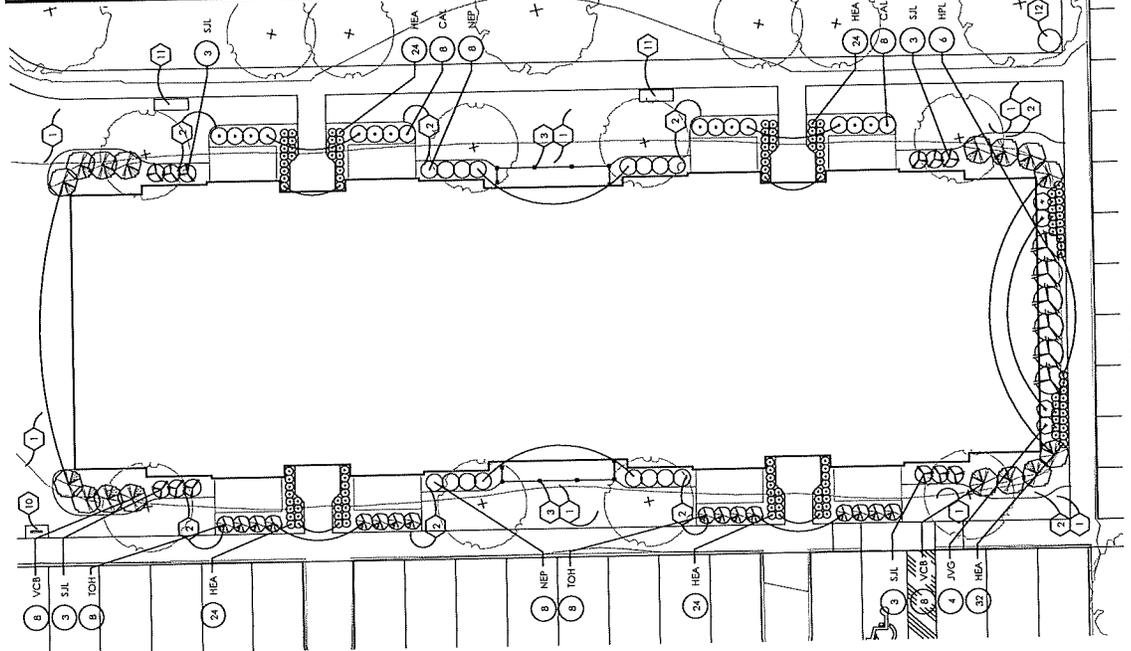
LANDSCAPE ENLARGEMENTS

SEATTLE HOUSE
METRO DEVELOPMENT
410 ODE WASHINGTON ROAD
WESTERVILLE, OHIO 43082

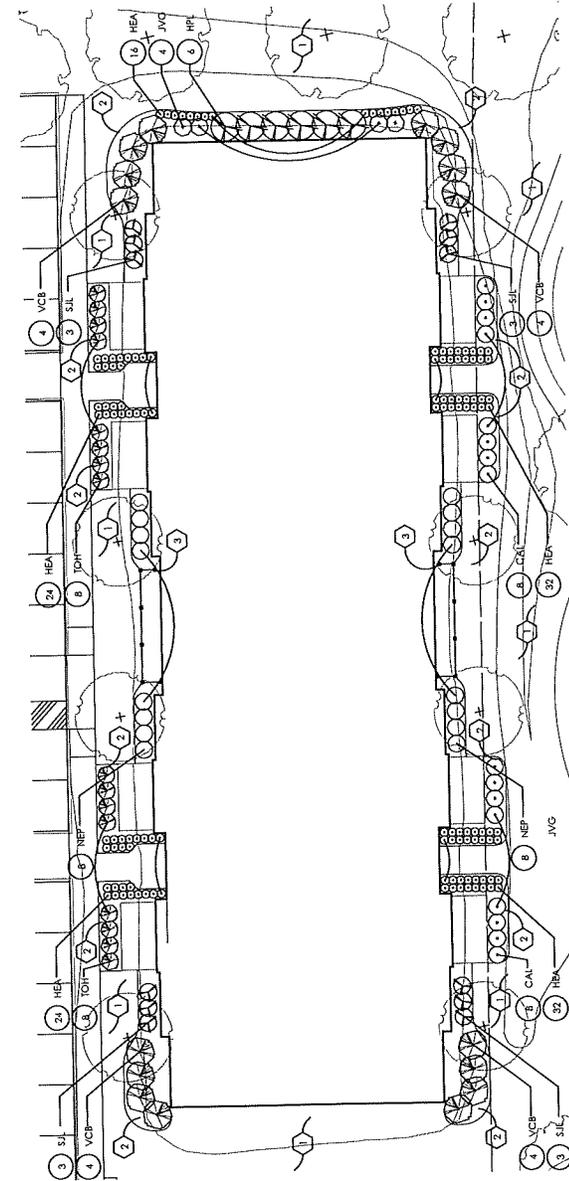
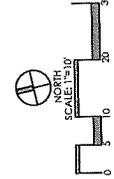
Paris Planning & Design
LANDSCAPE ARCHITECTURE
2414 45th Street
Suite 401
Columbus, OH 43215
614.475.1944
www.parisplanninganddesign.com

DATE 2/16/19
PROJECT 17138
SHEET

D-7



② BUILDING #8 ENLARGEMENT LANDSCAPE PLAN
SCALE: 1"=10'



① BUILDING #7 ENLARGEMENT LANDSCAPE PLAN
SCALE: 1"=10'

BUILDING #7 PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	SIZE	COND.	REMARKS
5	SHRUBS	LIMELIGHT HYDRANGEA	NO. 5	CONT	
6	JVG	HYDRANGEA PANICULATA 'LIMELIGHT'	NO. 1	CONT	
12	SIL	JUNIPERUS VIRGINIANA 'GREY OWL'	NO. 2	CONT	
16	VCB	SPRAEA JAPONICA 'LITTLE PRINCESS'	NO. 2	CONT	
16	TOH	VIBURNUM DENTATUM 'CHRISTOMY BLUE AUFFEN'	NO. 2	CONT	
16	TOH	THUJA OCCIDENTALIS 'HEIT MIDGET'	NO. 2	CONT	
PERENNIALS/ORNAMENTAL GRASSES					
16	CAL	CALAMAGROSTIS ACUTIFLORA 'KARI FORSTER'	NO. 2	CONT	
16	HEA	HEBERCALLIS ALWAYS AFTERNOON DAVILLY	NO. 1	CONT	
16	NEP	NEPETA HYASINOSUS 'WALLER'S LOW'	NO. 1	CONT	

*NOTE: ANNUALS TO BE PLANTED BY OWNER. NOT IN INITIAL LANDSCAPE COSTS.

BUILDING #8 PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	SIZE	COND.	REMARKS
5	SHRUBS	LIMELIGHT HYDRANGEA	NO. 5	CONT	
6	JVG	HYDRANGEA PANICULATA 'LIMELIGHT'	NO. 1	CONT	
12	SIL	JUNIPERUS VIRGINIANA 'GREY OWL'	NO. 2	CONT	
16	VCB	SPRAEA JAPONICA 'LITTLE PRINCESS'	NO. 2	CONT	
16	TOH	VIBURNUM DENTATUM 'CHRISTOMY BLUE AUFFEN'	NO. 2	CONT	
16	TOH	THUJA OCCIDENTALIS 'HEIT MIDGET'	NO. 2	CONT	
PERENNIALS/ORNAMENTAL GRASSES					
16	CAL	CALAMAGROSTIS ACUTIFLORA 'KARI FORSTER'	NO. 2	CONT	
16	HEA	HEBERCALLIS ALWAYS AFTERNOON DAVILLY	NO. 1	CONT	
16	NEP	NEPETA HYASINOSUS 'WALLER'S LOW'	NO. 1	CONT	

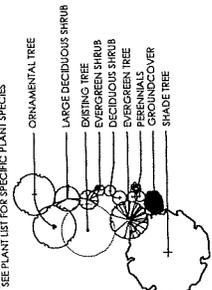
*NOTE: ANNUALS TO BE PLANTED BY OWNER. NOT IN INITIAL LANDSCAPE COSTS.

CONSTRUCTION NOTES:

- LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- AC CONDENSER SCREENING FENCE. SEE DETAIL 5 ON SHEET D-19 FOR MORE INFORMATION.
- BIKE RACK, PARK-IT 24"X6" RACKS, TBR-15, BLACK, AVAILABLE FROM TRETOP PRODUCTS. SEE DETAIL 2 ON SHEET D-14 FOR MORE INFORMATION.
- METAL BENCH, NORTHGATE PARK BENCH, TBR-15, BLACK, AVAILABLE FROM TRETOP PRODUCTS. SEE DETAIL 3 ON SHEET D-14 FOR MORE INFORMATION.
- TRASH RECEPTACLES, NORTHGATE RECEPTACLES, TBR-15, BLACK, AVAILABLE FROM TRETOP PRODUCTS. SEE DETAIL 4 ON SHEET D-14 FOR MORE INFORMATION.

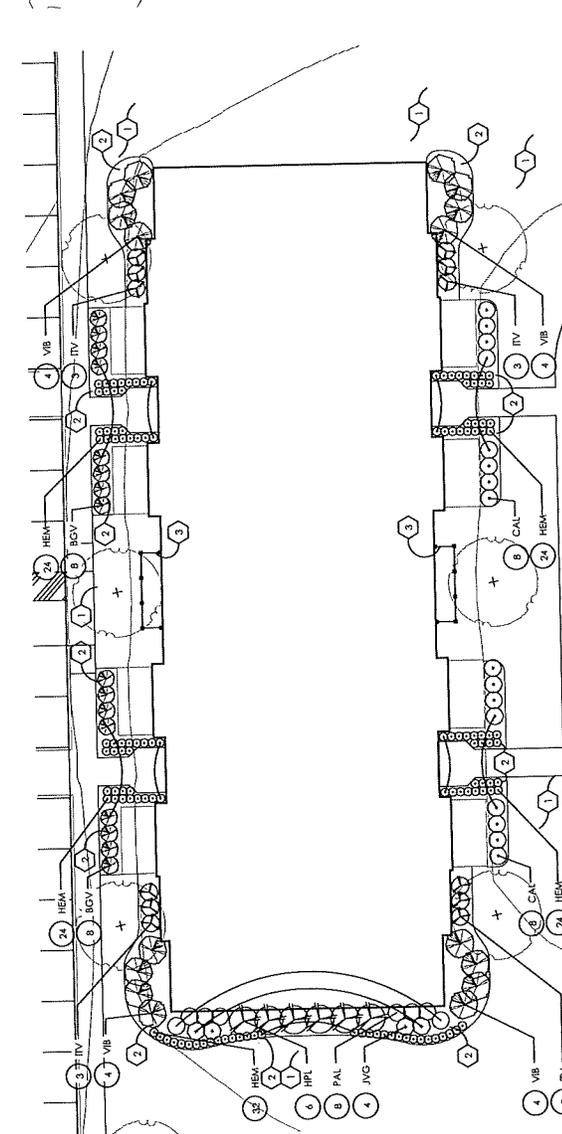
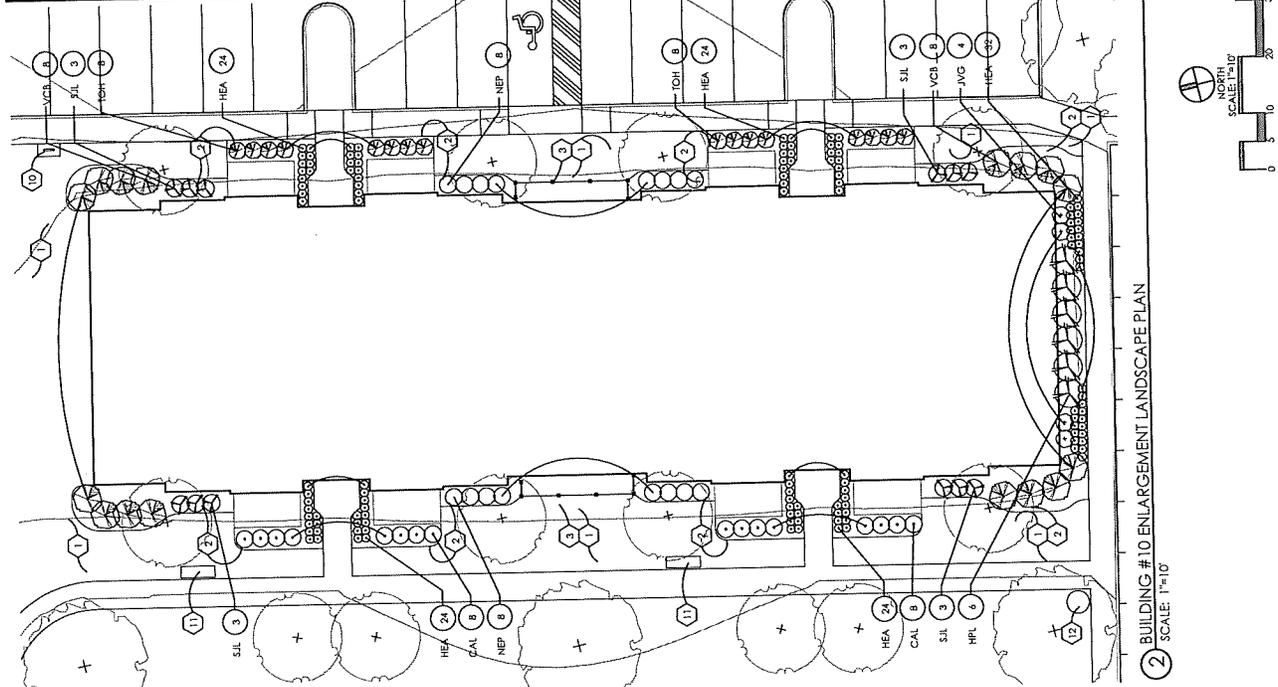
PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



GENERAL PLANTING NOTES:

- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDED HARDWOOD BARK MULCH. MULCH HEIGHT IN A CONTIGUOUS BED.
- ALL PLANTING BEDS TO BE FILLED TO A MINIMUM DEPTH OF 12".
- ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
- SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
- THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO PROPERLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/SODDED.
- ALL EXISTING PLANT MATERIAL SHOWN ON THE PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.



1 BUILDING #9 ENLARGEMENT LANDSCAPE PLAN
SCALE: 1"=10'

GENERAL PLANTING NOTES:

1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDED HARDWOOD BARK MULCH. MULCH DEEPS IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
6. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
7. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO PROPERLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
8. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED / SODDED.
9. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

BUILDING #9 PLANT LIST
(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

SHRUBS	KEY	BOTANICAL NAME	SIZE	COND.	REMARKS
	NO. 3	LIMEIGHT HYDRANGEA		CONT.	
	NO. 2	HEA VIRGINICA 'HERBERT GARNET'		CONT.	
	NO. 1	JUNIPERUS VIRGINIANA 'GREY OWL'		CONT.	
	NO. 5	KOREAN PRINCE VIBURNUM		CONT.	
	NO. 2	GREEN VELVET BOXWOOD		CONT.	
	NO. 2	KARL FOERSTER LEATHER REED GRASS		CONT.	
	NO. 1	HAPPY RETURNS DAYLILY		CONT.	
	NO. 1	LITTLE SPIRE RUSSIAN SAGE		CONT.	

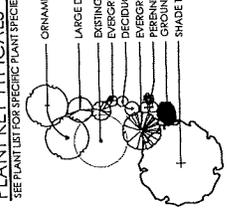
BUILDING #10 PLANT LIST
(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

SHRUBS	KEY	BOTANICAL NAME	SIZE	COND.	REMARKS
	NO. 5	LIMEIGHT HYDRANGEA		CONT.	
	NO. 2	GREY OWL JUNIPER		CONT.	
	NO. 2	LITTLE PRINCESS SPirea		CONT.	
	NO. 2	BLUE PRINCESS SPirea		CONT.	
	NO. 2	FEEL THE MOOSE! ARBORVITAE		CONT.	
	NO. 2	KARL FOERSTER LEATHER REED GRASS		CONT.	
	NO. 1	ALWAYS AFTERNOON DAYLILY		CONT.	
	NO. 1	WALKER'S LOW CATMINT		CONT.	

CONSTRUCTION NOTES:

1. LAWN AREA. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
2. LANDSCAPE AREA. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
3. A/C CONDENSER SCREENING FENCE. SEE DETAIL 5 ON SHEET D-12 FOR MORE INFORMATION.
4. BIRE PACK, PARK-IT 2-BURE PACKS, TBR-15. BLACK, AVAILABLE FROM TRETOP PRODUCTS. SEE DETAIL 2 ON SHEET D-14 FOR MORE INFORMATION.
5. METAL BENCH, NORTH-FACE PARK BENCH, TBR-15. BLACK, AVAILABLE FROM TRETOP PRODUCTS. SEE DETAIL 3 ON SHEET D-14 FOR MORE INFORMATION.
6. TBSH RECEPTACLES, NORTH-FACE RECEPTACLES, TBR-15. BLACK, AVAILABLE FROM TRETOP PRODUCTS. SEE DETAIL 4 ON SHEET D-14 FOR MORE INFORMATION.

PLANT KEY FOR SPECIFIC PLANT SPECIES



REVISIONS	DATE	DESCRIPTION

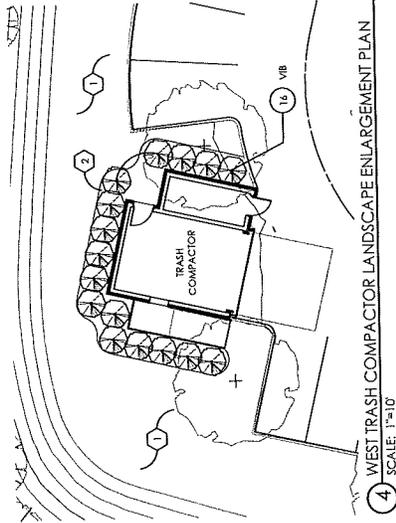
LANDSCAPE ENLARGEMENTS

SEATTLE HOUSE
METRO DEVELOPMENT
470 ODE WASHINGTON AVENUE
SUITE 100
WESTERVILLE OHIO 43082

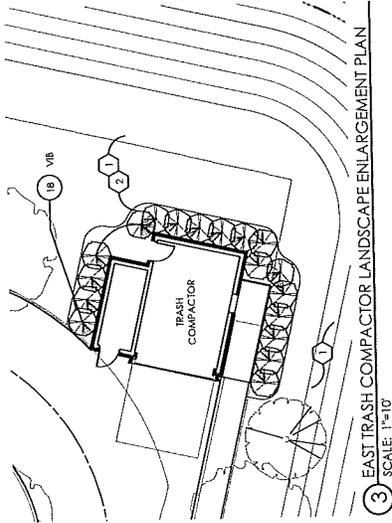
Paris Planning & Design
LANDSCAPE ARCHITECTURE
SUITE 401
COLUMBUS OH 43215
P (614) 437-1244
WWW.PARISPLANNINGDESIGN.COM

DATE	2/16/19
PROJECT	17138
SHEET	D-9

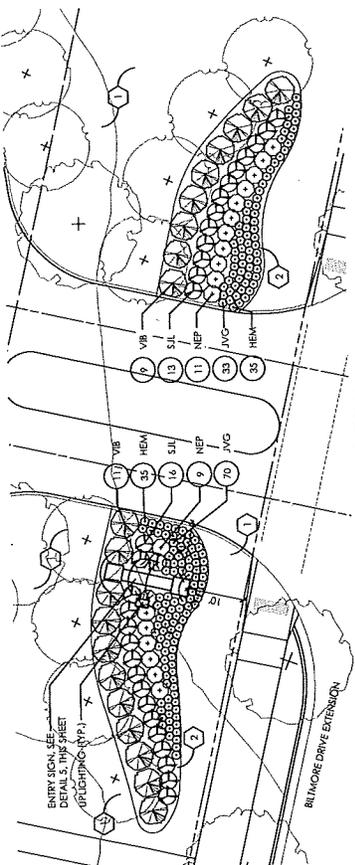
D-9



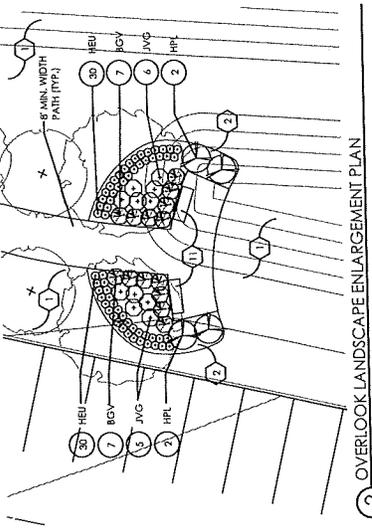
4 WEST TRASH COMPACTOR LANDSCAPE ENLARGEMENT PLAN
SCALE: 1"=10'



3 EAST TRASH COMPACTOR LANDSCAPE ENLARGEMENT PLAN
SCALE: 1"=10'

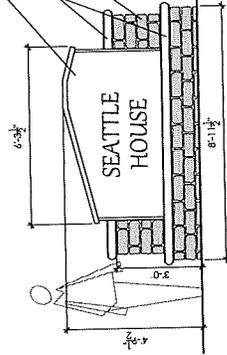


1 BALTIMORE DR EXT ENTRY LANDSCAPE ENLARGEMENT PLAN
SCALE: 1"=10'



2 OVERLOOK LANDSCAPE ENLARGEMENT PLAN
SCALE: 1"=10'

- DEVELOPMENT SIGN. (±17,28 SF.)
- LIMESTONE ACCENT BAND AND CAP.
- STONE VENEER SIGN WALL.



5 TYPICAL ENTRY SIGN
N.T.S.

PLANT LIST
(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	SITE	COND.	REMARKS
14	BGV	BIRCH GREEN VELVET	NO. 2	CONT	
4	HPL	HYPONIXIA PANDANACEA	NO. 3	CONT	
114	JVG	JAPANESE SPYRAEA GREY OWAL	NO. 1	CONT	
4	JVG	SPRAEA JAPONICA LITTLE PRINCESS	NO. 2	CONT	
54	VIB	VIBURNUM CARLIS	NO. 3	CONT	
70	HEM	HEMORICALLIS HAPPY RETURNS	NO. 1	CONT	
60	HEU	HEICHERA SOUTHERN COMFORT	NO. 1	CONT	
20	NEP	NEPETA SPAENSENII WALKER'S LOW	NO. 1	CONT	
20	NEP	NEPETA SPAENSENII WALKER'S LOW	NO. 1	CONT	

*NOTE: ANNUALS TO BE PLANTED BY OWNER. NOT IN INITIAL LANDSCAPE COSTS.

GENERAL PLANTING NOTES:

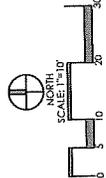
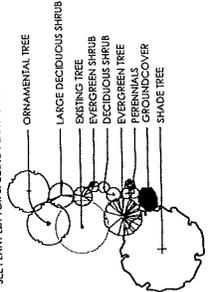
- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTING BEDS SHALL HAVE A MINIMUM 1" DEEP SHREDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED. ALL PLANTING BEDS TO BE FILLED TO A MINIMUM DEPTH OF 12".
- ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
- SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
- THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ACCESS TO UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, RNE GRASSES AND SEEDS/ SOODED.
- ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

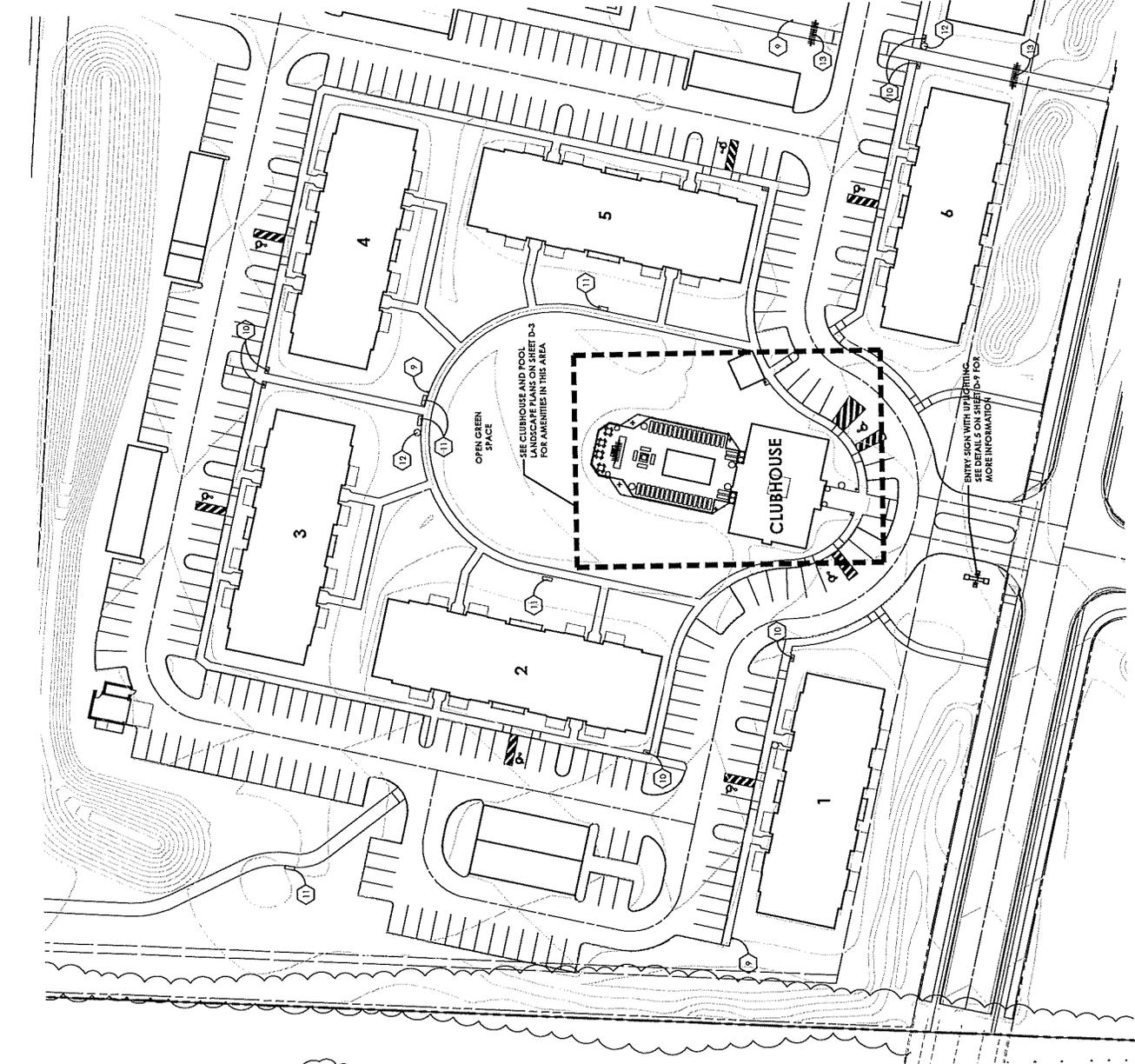
CONSTRUCTION NOTES:

- LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- METAL BENCH, NORTHGATE PARK BENCH, 18"-1.5" BLACK. AVAILABLE FROM TREETOP PRODUCTS. SEE DETAIL 3 ON SHEET D-14 FOR MORE INFORMATION.

PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES





GENERAL LAYOUT NOTES

- BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY WAS PREPARED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC., 250 W. OLD WILSON BRIDGE RD #250, WORTHINGTON, OH 43087 / (614) 340-5653
- ALL DIMENSIONS ARE TAKEN TO FACE OF CURB OR BUILDING WHERE APPLICABLE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL LAYOUT AND ADJUST AS REQUIRED FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY DIMENSIONS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- BROOM FINISH ON CONCRETE SHALL BE PERPENDICULAR TO TRAFFIC FLOW.
- USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL REFER QUESTIONS ON MATERIALS, FINISHES, LABOR, AND/OR PERFORMANCE STANDARDS NOT SPECIFIED HEREIN TO THE LANDSCAPE ARCHITECT.
- THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES AND REPRESENTATIVE THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MAY OCCUR AS A RESULT OF ANY AND ALL ACTIONS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

CONSTRUCTION NOTES:

- PEWASTE STATION, TERRAROUND ELITE DOG WASTE STATION. AVAILABLE FROM TERRAROUND SOLUTIONS. SEE DETAIL 1 ON SHEET D-14 FOR MORE INFORMATION.
- BIKE RACK, PARK-IT 2-BIKE RACKS, TBR-1S, BLACK, AVAILABLE FROM TREEPOP PRODUCTS. SEE DETAIL 2 ON SHEET D-14 FOR MORE INFORMATION.
- METAL BENCH, NORTIGATE PARK BENCH, TBR-1S, BLACK, AVAILABLE FROM TREEPOP PRODUCTS. SEE DETAIL 3 ON SHEET D-14 FOR MORE INFORMATION.
- BRUSH RECEPTACLES, NORTIGATE RECEPTACLES, TBR-1S, AVAILABLE FROM TREEPOP PRODUCTS. SEE DETAIL 4 ON SHEET D-14 FOR MORE INFORMATION.
- SINGLE POST AIRBOR, SEE DETAIL 6 ON SHEET D-14 FOR MORE INFORMATION.

REVISIONS

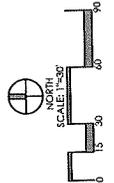
WEST AMENITIES PLAN

SEATTLE HOUSE
 METRO DEVELOPMENT
 470 OLDE WORTHINGTON ROAD
 WESTERVILLE, OHIO 43082

Paris Planning & Design
 LANDSCAPE ARCHITECTURE
 +
 LANDSCAPE ARCHITECTURE
 Suite 407
 2424 N. State Street
 Columbus, OH 43215
 P (614) 451-1844
 www.pdpplanninganddesign.com

DATE	2/16/19
PROJECT	17138
SHEET	

D-10



REVISIONS

EAST AMENITIES
PLAN

SEATTLE HOUSE
METRO DEVELOPMENT
PREPARED FOR
470 OLIVE WORTHINGTON ROAD
SUITE 100
WESTERLYE OHIO 43082

Paris Planning & Design
LANDSCAPE ARCHITECTURE
243 E. 55th Street
Suite 401
Columbus, OH 43215
P (614) 451-1144
www.parisplanninganddesign.com

DATE	2/6/19
PROJECT	17138
SHEET	

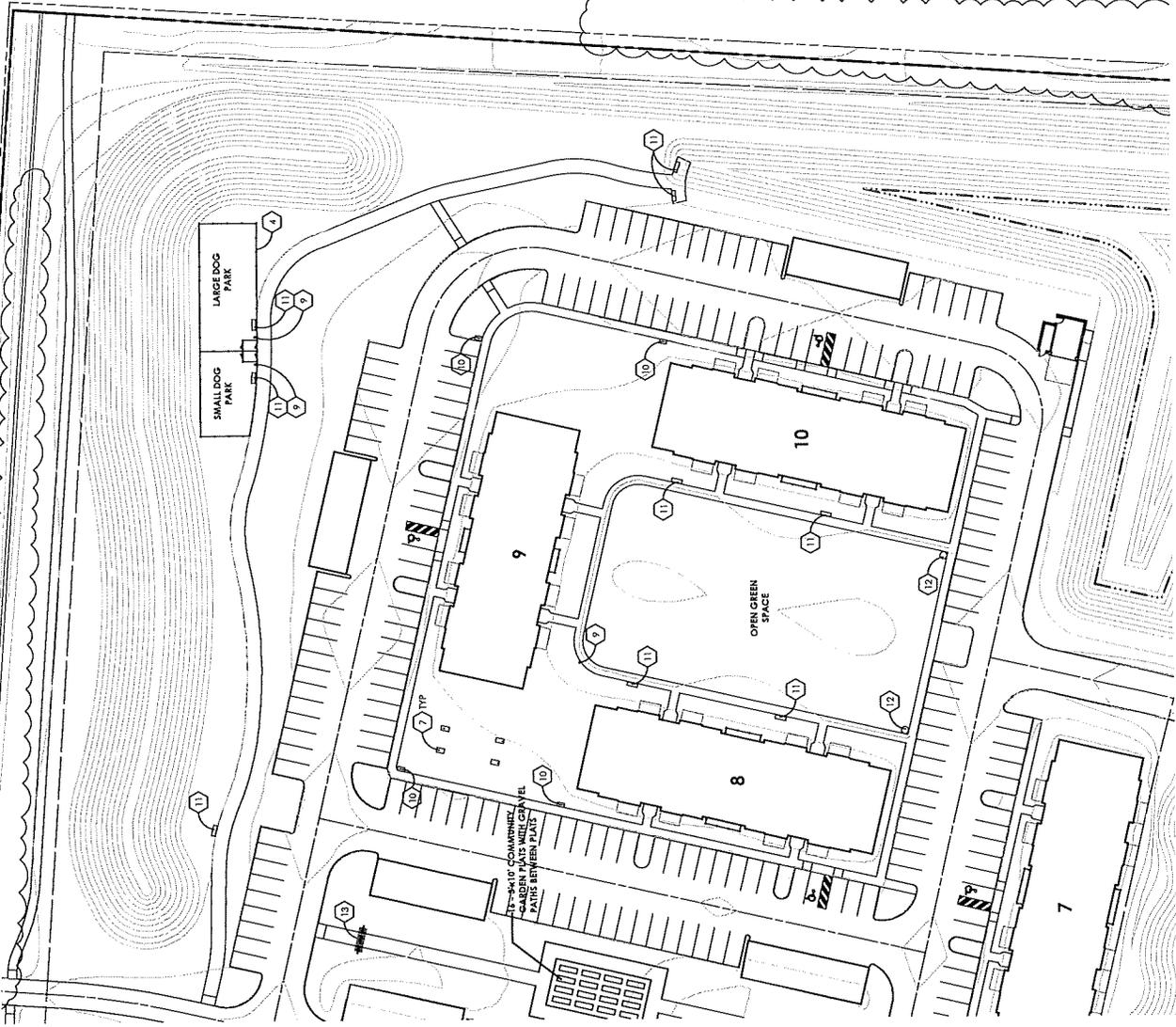
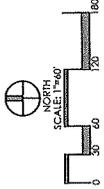
D-11

GENERAL LAYOUT NOTES

- BOUNDARY TOPOGRAPHIC AND UTILITY SURVEY WAS PREPARED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. / 250 W OLD WILSON BRIDGE RD #250, WORKINGTON, OH 43085 / (614) 540-6439
- ALL DIMENSIONS ARE TAKEN TO FACE OF CURB OR BUILDING WHERE APPLICABLE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL LAYOUT AND ADJUST AS REQUIRED FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY DIMENSIONS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- RECON. FINISH ON CONCRETE SHALL BE PERPENDICULAR TO TRAFFIC FLOW.
- USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL REFER QUESTIONS ON MATERIALS, FINISHES, LABOR, AND/OR PERFORMANCE STANDARDS NOT SPECIFIED HEREIN TO THE LANDSCAPE ARCHITECT.
- THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN VERIFIED BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UTILITIES AND/OR STRUCTURES AND/OR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

CONSTRUCTION NOTES:

- POOL AND DOG PARK FENCE AND GATE. SEE DETAIL 4 ON SHEET D-12 FOR MORE INFORMATION.
- PRECAST CORNHOLE BOARD. AVAILABLE FROM DOT AND SONS CONCRETE PRODUCTS. SEE DETAIL 3 ON SHEET D-13 FOR MORE INFORMATION.
- PET WASTE STATION PRODUCTS: BLUE BOWL WASTE STATION. SEE DETAIL 1 ON SHEET D-14 FOR MORE INFORMATION.
- BEEHIVE BACK. PARIT-D-BEE BACKS. TRB-15. BLACK. AVAILABLE FROM TRETOP PRODUCTS. SEE DETAIL 2 ON SHEET D-14 FOR MORE INFORMATION.
- METAL BENCH, NORTHGATE PARK BENCH. TRM-15. BLACK. AVAILABLE FROM TRETOP PRODUCTS. SEE DETAIL 3 ON SHEET D-14 FOR MORE INFORMATION.
- TRASH RECEPTACLES. NORTHGATE RECEPTACLES. TRR-15. BLACK. AVAILABLE FROM TRETOP PRODUCTS. SEE DETAIL 4 ON SHEET D-14 FOR MORE INFORMATION.
- SINGLE POST ARBOR. SEE DETAIL 6 ON SHEET D-14 FOR MORE INFORMATION.



REVISIONS	

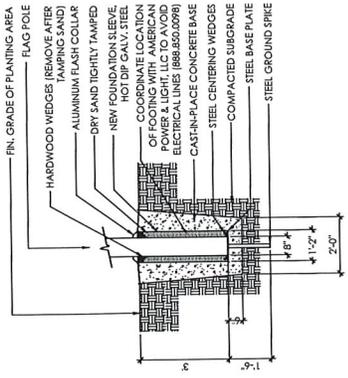
SITE DETAILS

SEATTLE HOUSE
METRO DEVELOPMENT
LANDSCAPE ARCHITECTURE
470 OLE WORTHINGTON ROAD
WESTERLY OHIO 43082

Rais Planning & Design
LANDSCAPE ARCHITECTURE
Site 401
243 N. 5th Street
Cedar Rapids, IA 52401
p (515) 451-1144
www.raispdp.com

DATE	2/6/19
PROJECT	171.38
SHEET	

D-13



1 FLAG POLE FOOTING
SCALE: N.T.S.



Product Description
PRECAST CORNICE BOARD
This precast concrete cornice board is designed to provide a clean, finished look to the top of a grill station. It features a recessed area for the grill and a decorative top edge. The board is made of high-strength concrete and is easy to install. It is available in various colors and finishes to match your outdoor space.

INSTALLATION
1. Prepare the base surface by leveling and compacting the subgrade.
2. Place the precast cornice board on the base, ensuring it is level and aligned with the grill opening.
3. Secure the board in place using the provided fasteners or anchors.
4. Check the alignment and level of the board before finalizing the installation.

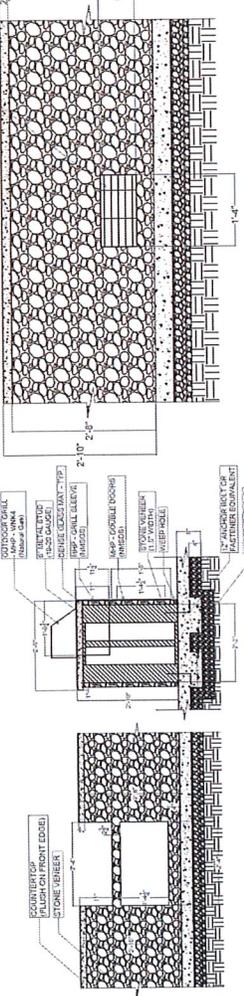
NOTE:
This precast concrete cornice board is not intended for use as a structural component. It is designed for decorative purposes only.

FINISHES:
Available in various colors and finishes, including: Natural Stone, Dark Stone, Light Stone, and Smooth Concrete.

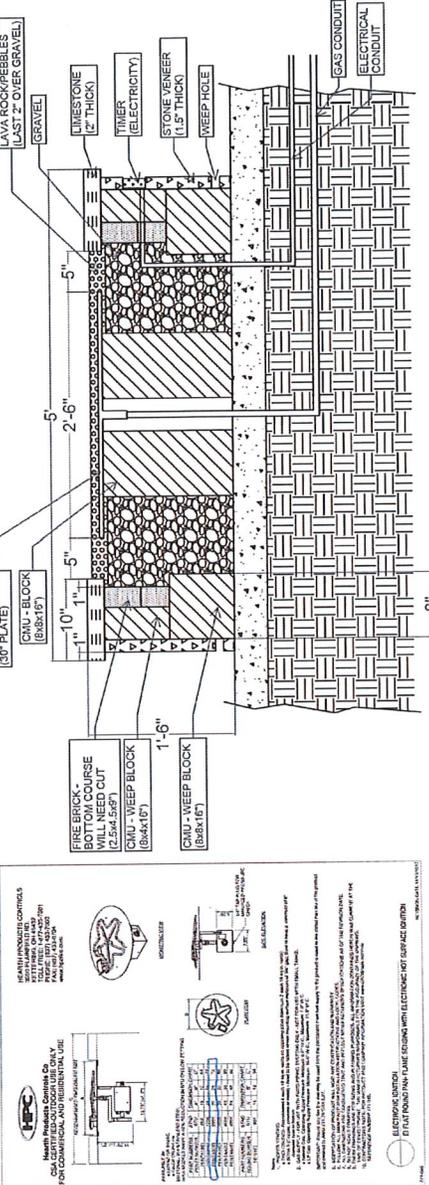
CONTACT US:
1-800-451-1144
www.raispdp.com

3 PRECAST CORNHOLE BOARD DETAIL
SCALE: N.T.S.

GRILL STATION (34" MAX HEIGHT - ADA)
MHP - GRILL SLEEVE AND SMALL DOUBLE DOORS
- OVERALL DIM: 31" W X 20" H
- OPENING DIM: 27" W X 16" H
- GRILL SLEEVE - NISSGS
- OVERALL DIM: 31" W X 11.25" H X 19.25" D
- OPENING DIM: 27" W X 11" H X 15" D



4 GRILL STATION DETAIL
SCALE: N.T.S.



2 FIRE PIT DETAIL
SCALE: N.T.S.

MHP OUTDOOR GRILLES
PREMIUM BUILDING OPTIONS

A Division of Modern Home Products

CONTACT US AND CONSULT YOUR OUTDOOR ENTERTAINMENT AREA

Customize your grill with a variety of premium building options. Choose from a variety of materials, finishes, and colors to match your outdoor space. Our grill building options include:

- Stainless Steel Grill Serves
- Solid Burner
- Double Door Construction
- Large Double Doors

Call us today at 1-800-451-1144 or visit our website at www.raispdp.com for more information.

Grill Model	Grill Type	Grill Material	Grill Finish	Grill Color	Grill Dimensions (W x H x D)	Grill Weight (lbs)	Grill Price (USD)
MHP-3000	30\"/>						

MHP OUTDOOR GRILL BUILDING OPTIONS

Option	Material	Finish	Color	Price (USD)
Stainless Steel Grill Serves	Stainless Steel	Brushed	Silver	150.00
Solid Burner	Cast Iron	Black	Black	75.00
Double Door Construction	Cast Iron	Black	Black	100.00
Large Double Doors	Cast Iron	Black	Black	125.00

Call us today at 1-800-451-1144 or visit our website at www.raispdp.com for more information.

REVISIONS	

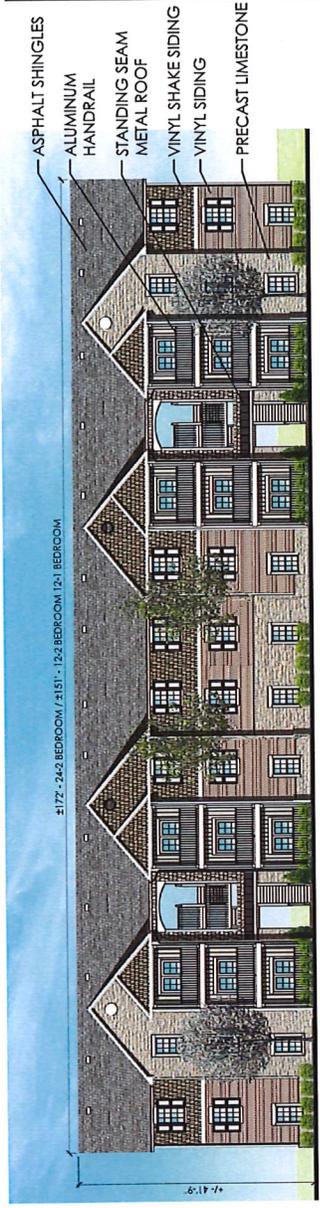
ILLUSTRATIVE BUILDING ELEVATIONS

SEATTLE HOUSE
 METRO DEVELOPMENT
 470 OLIVE WORTHINGTON ROAD
 WESTERVILLE, OHIO 43082

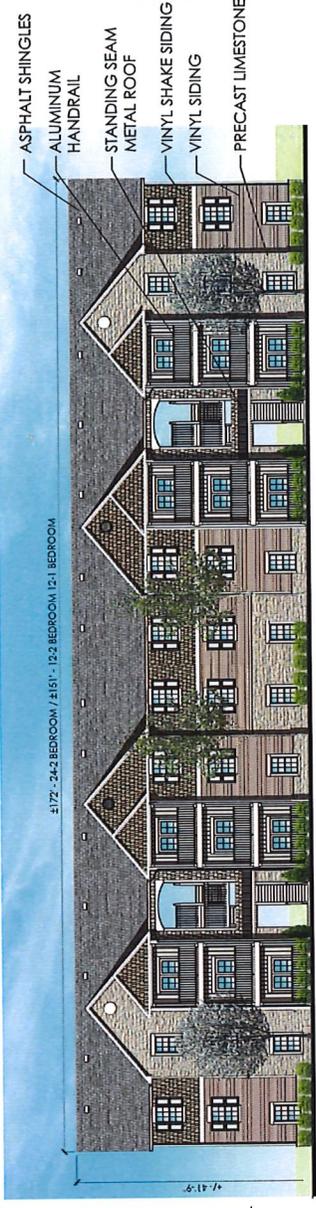
Paris Planning & Design
 LAND PLANNING + URBAN ARCHITECTURE
 STATE #01
 1431 N. 25th Street
 Columbus, OH 43215
 P (614) 427-1944
 www.parisplanninganddesign.com

DATE	2/16/19
PROJECT	17138
SHEET	

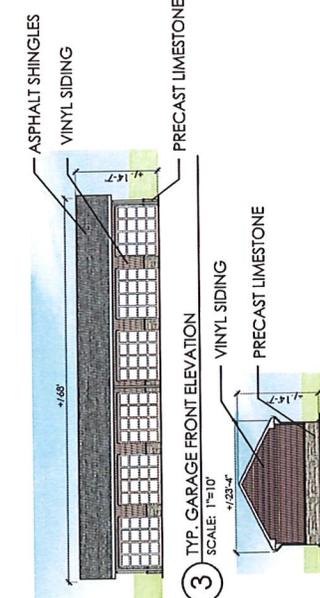
E-1



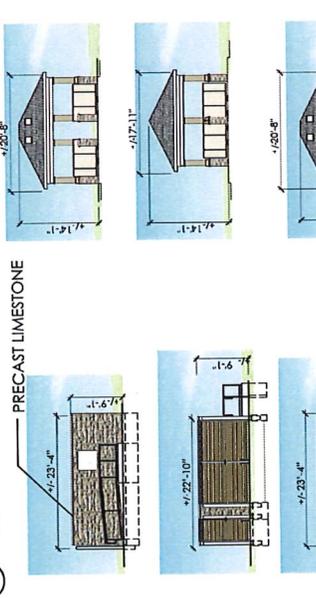
1 TYPICAL 3 STORY BUILDING, FRONT ELEVATION
 SCALE: 1"=10'



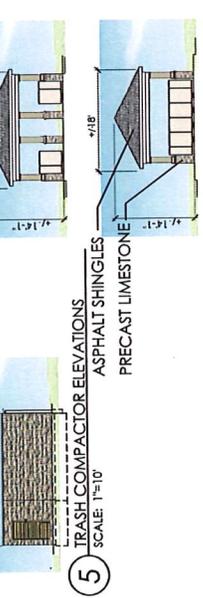
2 TYPICAL 3 STORY BUILDING, REAR ELEVATION
 SCALE: 1"=10'



3 TYP. GARAGE FRONT ELEVATION
 SCALE: 1"=10'



4 TYP. GARAGE SIDE ELEVATION
 SCALE: 1"=10'



5 TRASH COMPACTOR ELEVATIONS
 SCALE: 1"=10'



6 MAIL STATION ELEVATIONS
 SCALE: 1"=10'

REVISIONS

BILTMORE DRIVE
FRONTAGE ILLUSTRATIVE
BUILDING ELEVATIONS

SEATTLE HOUSE
PREPARED FOR
METRO DEVELOPMENT
470 OLDE WORHNGTON ROAD
WESTERVILLE, OHIO 43082

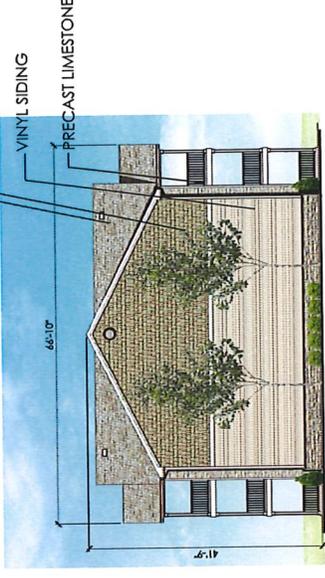
Paris Planning & Design
LAND PLANNING + LANDSCAPE ARCHITECTURE
201 N. 51st St
P.O. Box 427184
Columbus, OH 43215
614.271.1844
www.parisplanninganddesign.com

DATE	2/6/19
PROJECT	17138
SHEET	

E-2



1 TYPICAL 3 STORY BUILDING FACING BOWTOWN RD. & BILTMORE DR., FRONT ELEVATION
SCALE: 1"=10'



3 TYPICAL 3 STORY BUILDING, SIDE ELEVATION
SCALE: 1"=10'



2 TYPICAL 3 STORY BUILDING, SIDE ELEVATION
SCALE: 1"=10'

REVISIONS	

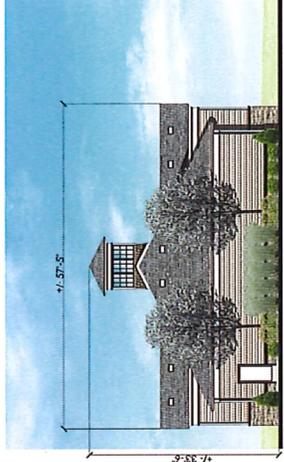
ILLUSTRATIVE
CLUBHOUSE
ELEVATIONS

SEATTLE HOUSE
FRANCO ARCHITECTS
MERO DEVELOPMENT
470 OLDE WORKINGTON ROAD
SUITE 100
WESTERVILLE, OHIO 43082

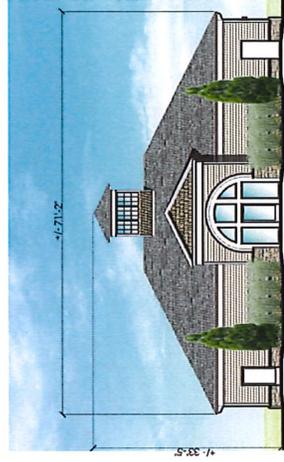
Paris Planning & Design
LAND PLANNING + Landscape Architecture
Suite 401
2431 56th Street
Piquette, OH 45375
P (614) 487-1954
www.parisplanninganddesign.com

DATE	2/6/19
PROJECT	17138
SHEET	

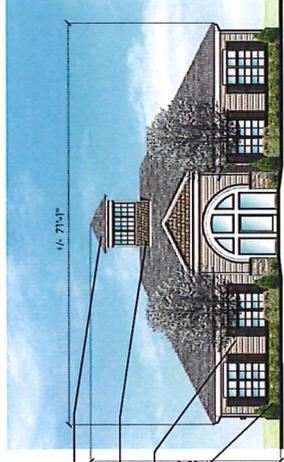
E-3



2 CLUBHOUSE - SIDE ELEVATION
SCALE: 1"=10'



4 CLUBHOUSE - REAR ELEVATION
SCALE: 1"=10'



1 CLUBHOUSE - FRONT ELEVATION
SCALE: 1"=10'



3 CLUBHOUSE - SIDE ELEVATION
SCALE: 1"=10'

