

**CITY OF DELAWARE  
PLANNING COMMISSION  
AGENDA**

**CITY COUNCIL CHAMBERS  
1 S. SANDUSKY ST.  
7:00 P.M.**

REGULAR MEETING

October 17, 2018

1. ROLL CALL
2. APPROVAL of the Motion Summary of the Planning Commission meeting held on September 5, 2018, as recorded and transcribed.
3. REGULAR BUSINESS
  - A. Camp Lazarus
    - (1) 2018-2385: A request by Simon Kenton Council Boy Scouts of America for approval of a Rezoning Amendment for Camp Lazarus from A-1 (Agricultural District) to A-1 PMU (Agricultural District with a Planned Mixed Use Overlay District) encompassing approximately 231 acres and located at 4422 Columbus Pike.
    - (2) 2018-2387: A request by Simon Kenton Council of Boy Scouts of America for approval of a Conditional Use Permit for Camp Lazarus to allow the placement of a PMU (Planned Mixed Use Overlay District) to be established at 4422 Columbus Pike on approximately 231 acres.
    - (3) 2018-2386: A request by Simon Kenton Council of Boy Scouts of America for approval of a Preliminary Development Plan for Camp Lazarus on approximately 231 acres zoned A-1 PMU and located at 4422 Columbus Pike.
  - B. The Wesleyan Inn
    - (1) 2018-2462: A request by Manos Properties for approval of Conditional Use Permit to allow The Wesleyan Inn at 235 West William Street on approximately 0.72 acres zoned PO/I (Planned Office/Institutional).

- (2) 2018-2463: A request by Manos Properties for approval of a Preliminary Development Plan for The Wesleyan Inn at 235 West William Street on approximately 0.72 acres and zoned PO/I (Planned Office/Institutional).

C. Belmont Place West

- (1) 2018-2459: A request by Stavroff Land Development, Inc., for approval of development text amendment to Ordinance 08-113 for Belmont Place (Sub-Area A) for 102 single family lots and 5 commercial out lots located north of Peachblow Road and east of Glenn Parkway on approximately 49.6 acres zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Residential District and Agricultural District with a Planned Mixed Use Overlay District).
- (2) 2018-2460: A request by Stavroff Land Development for approval of Preliminary Development Plan for Belmont Place (Sub-Area A) for 102 single family residential lots and 5 commercial out lots located north of Peachblow Road and east of Glenn Parkway on approximately 49.6 acres zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Residential District and Agricultural District with a Planned Mixed Use Overlay District).
- (3) 2018-2461: A request by Stavroff Land Development for approval of Preliminary Subdivision Plat for Belmont Place (Sub-Area A) for 102 single family residential lots and 5 commercial out lots located north of Peachblow Road and east of Glenn Parkway on approximately 49.6 acres zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Residential District and Agricultural District with a Planned Mixed Use Overlay District).

D. River Street Business Park

- (1) 2018-2493: A request by Tim Colatruglio for approval of a Final Development Plan for River Street Business Park encompassing approximately 2.594 acres (13 properties) located at 45 River Street and zoned B-3 and R-4 PMU (Community Business District and Medium Density Residential District with a Planned Mixed Use Overlay).
- (2) 2018-2494: A request by Tim Colatruglio for approval of an Alley Vacation for River Street Business Park encompassing approximately 2.594 acres (13 properties) located at 45 River Street and zoned B-3 and R-4 PMU (Community Business District and Medium Density Residential District with a Planned Mixed Use Overlay).

4. PLANNING DIRECTOR'S REPORT
5. COMMISSION MEMBER COMMENTS AND DISCUSSION
6. NEXT REGULAR MEETING: November 7, 2018
7. ADJOURNMENT



**PLANNING COMMISSION**  
**September 5, 2018**  
**MOTION SUMMARY**

ITEM 1. Roll Call

Chairman Simpson called the meeting to order at 6:58 p.m.

Members Present: Robert Badger, Jim Halter, Dean Prall, Andy Volenik, Mayor Carolyn Kay Riggle, Vice-Chairman George Mantzoros and Chairman Stacy Simpson.

Staff Present: Jonathan Owen, Project Engineer, Lance Schultz, Zoning Administrator and Dave Efland, Planning and Community Development Director

ITEM 2. APPROVAL of the Motion Summary of the Planning Commission meeting held on August 1, 2018, as recorded and transcribed.

**Motion:** Mr. Halter motioned to approve the Motion Summary for the Planning Commission meeting held on August 1, 2018, as recorded and transcribed, seconded by Mayor Riggle. Motion approved by a 7-0 vote.

ITEM 3. REGULAR BUSINESS

A. Belle Commons – Rezoning (2018-1965), Conditional Use Permit (2018-1966), Preliminary Development Plan (2018-1967), Preliminary Subdivision Plat (2018-1968), Final Subdivision Plat Sub-Area B (2018-1969) and public hearing has been postponed by the applicant until a later date.

Mr. Efland informed the Commission that the Applicant had requested to not present Belle Commons at this meeting.

B. 2018-1988: A request by Mystic Golf and Games LLC., for approval of a Conditional Use Permit at 1159 Columbus Pike within the Delaware Square Shopping Center and zoned B-3 (Community Business District).

**Anticipated Process**

a. Staff Presentation

Mr. Selmek provided information on the zoning surrounding the proposed development. He discussed the access the location and parking plan.

b. Applicant Presentation

**APPLICANT:**

David Sturman

328 Linwood Street  
Delaware, Ohio

Joe Perry  
627 August Drive  
Marion, Ohio

Scott Ritter  
333 North Liberty Street  
Delaware, Ohio

Mr. Sturman provided information on the type of simulation games that will be offered.

c. Public comment (public hearing)

There was no public participation.

d. Commission Action

**Motion:** Mr. Prall motioned to approve 2018-1988, along with all staff conditions and recommendations, seconded by Mr. Badger. Motion approved by a 7-0 vote.

C. 2017-2057: A request by LND Troy Center, LTD for approval of a Development Plan Exemption for Troy Road Shopping Center on approximately 2.50 acres zoned B-3 (Community Business District) and located at 652 West Central Avenue.

**Anticipated Process**

a. Staff Presentation

Mr. Schultz discussed the current zoning and plans to upgrade the exterior façade. He reviewed proposed elevations and informed that the existing site plan will have no changes.

b. Applicant Presentation

**APPLICANT:**  
Errol D'Souza  
P.O. Box 284  
Galena, Ohio

Jeff Baldauf  
Baldauf Construction  
211 Dix Avenue

Marion, Ohio

Mr. D'Souza discussed the occupancy of the building and plans for new signage as new tenants come in.

c. Public comment (not a public hearing)

There was no public participation.

d. Commission Action

**Motion:** Mr. Badger motioned to approve 2017-2057, along with all staff conditions and recommendations, seconded by Mr. Halter. Motion approved by a 7-0 vote.

D. 2018-2050: A request by Source Point for approval of an Amended Final Development Plan for a Parking Lot Expansion for Source Point on approximately 11.41 acres zoned PO/I (Planned Office/Institutional District) and located at 800 Cheshire Road.

**Anticipated Process**

a. Staff Presentation

Mr. Schultz discussed the plan to have additional parking spaces to the property. He informed the Commission that access sites will remain the same. He reviewed the proposed plan.

Mr. Owens discussed the drainage was evaluated and assessed to have plenty of capacity.

Mr. Efland discussed that there was a need during large events to have additional parking spaces. Mr. Prall voiced a concern over the elimination of green space when there is available space along the southern end. Mr. Efland discussed future plans to have a road construction along the southern end.

b. Applicant Presentation

**APPLICANT:**

Amanda Spencer  
59 Grant Street  
Columbus, Ohio

Kim Clewell  
800 Cheshire Road

Delaware, Ohio

Ms. Spencer and Ms. Clewell discussed the plans to increase handicap accessible spots. A discussion was held if there was an additional need for handicap accessible parking. Ms. Clewell discussed that staff will survey members to assess if additional parking is needed at a later date.

c. Public comment (not a public hearing)

There was no public participation.

d. Commission Action

**Motion:** Mr. Prall motioned to approve 2018-2050, along with all staff conditions and recommendations, seconded by Mr. Volenik. Motion approved by a 7-0 vote.

- E. 2018-2255: A request by Medrock LLC for approval of a Final Subdivision Plat for Willowbrook Retail Development Phase 2 on approximately 3.324 acres zoned B-4 PUD (General Business District with a Planned Unit Development District) and located on the south side of US 36 and on the west side of South Houk Road.

**Anticipated Process**

a. Staff Presentation

Mr. Efland reviewed the proposed plat and the plan to subdivide the out lots.

b. Applicant Presentation

APPLICANT:  
Ron Sabatino  
Medrock LLC  
3895 Stoneridge Lane  
Dublin, Ohio

c. Public comment (not a public hearing)

There was no public participation.

d. Commission Action

**Motion:** Mr. Halter motioned to approve 2018-2255, along with all staff conditions and recommendations, seconded by Mr. Volenik. Motion approved by a 7-0 vote.

- F. 2018-2053: A request by Delaware Development Plan LTD for a Concept Plan review for proposed revisions to Coughlin Crossings Sub-Area 5 and for Blue Sky Carwash in Sub-Area 6 on approximately 22.70 acres zoned A-1 PMU (Agricultural District with a Planned Mixed Use Overlay District) and located north of Meeker Way, east of US 23, west of Stratford Road and south of Elliot Estates Subdivision.

**Anticipated Process**

- a. Staff Presentation

Mr. Schultz discussed the proposed Preliminary Development Plan and the changes to Sub Area 5 and 6. He discussed the option to convert Reserve Area A to office buildings or a strip center and Lot 3 to potentially be converted to a restaurant. Mr. Schultz discussed the site plan for the Blue Sky Car Wash.

- b. Applicant Presentation

**APPLICANT:**

Connie Klema  
P.O. Box 991  
Pataskala, Ohio

Ms. Klema provided a presentation of the proposed changes.

Steve Martin  
50 North Sandusky Street  
Delaware, Ohio

Barry Nutter  
Blue Sky Car Wash  
441 Keisel Court  
Powell, Ohio

Mr. Martin discussed the patented system of the Blue Sky Car Wash and the need for the tunnel in the building, along with franchise requirements. Mr. Nutter discussed the success of Blue Sky Car Wash in surrounding areas.

- c. Public comment (not a public hearing)

There was no public participation.

- d. No Commission Action Required

- G. 2018-2260: A request by the City of Delaware for approval of a Development Plan Exemption for a pedestrian connector between City Hall and 18 East William Street on approximately 0.40 acres and zoned B-2 (Central Business District) and located at 1 South Sandusky Street.

**Anticipated Process**

- a. Staff Presentation

Mr. Efland discussed the proposed elevation for the pedestrian connector. He discussed that the second floor of the City Hall Annex building will be ADA compliant with the use of the elevator in the City Hall building.

- b. Applicant Presentation

- c. Public comment (not a public hearing)

There was no public participation.

- d. Commission Action

**Motion:** Mr. Badger motioned to approve 2018-2260, along with all staff conditions and recommendations, seconded by Mr. Halter. Motion approved by a 7-0 vote.

ITEM 4. PLANNING DIRECTOR'S REPORT

Mr. Efland provided an update on the Comprehensive Planning Steering Committee.

ITEM 5. COMMISSION MEMBER COMMENTS AND DISCUSSION

ITEM 6. NEXT REGULAR MEETING: October 17, 2018

Chairman Simpson informed the Commission that he may be unavailable on this date to attend the meeting.

Mr. Efland discussed the progress of Terra Alta.

ITEM 7. ADJOURNMENT:

**Motion:** Chairman Simpson moved for the Planning Commission meeting to adjourn. The meeting adjourned at 8:41 p.m.

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Chairperson

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Elaine McCloskey, Clerk

CASE NUMBERS: 2018-2358-2387

REQUEST: Multiple Requests

PROJECT: Camp Lazarus

MEETING DATE: October 17, 2018

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**APPLICANT/OWNER**

Simon Kenton Council Boy Scouts of America  
807 Kinear Road  
Columbus, Ohio 43213

**REQUEST**

2018-2385: A request by Simon Kenton Council Boy Scouts of America for approval of a Rezoning Amendment for Camp Lazarus from A-1 (Agricultural District) to A-1 PMU (Agricultural District with a Planned Mixed Use Overlay District) for Camp Lazarus encompassing approximately 231 acres and located at 4422 Columbus Pike.

2018-2387: A request by Simon Kenton Council of Boy Scouts of America for approval of a Conditional Use Permit for Camp Lazarus to allow the placement of a PMU to be established (Planned Mixed Use Overlay District) at 4422 Columbus Pike on approximately 231 acres.

2018-2386: A request by Simon Kenton Council of Boy Scouts of America for approval of a Preliminary Development Plan for Camp Lazarus on approximately 231 acres zoned A-1 PMU and located at 4422 Columbus Pike.

**PROPERTY LOCATION & DESCRIPTION**

The subject three parcels are located in Liberty Township but are currently in the process of being annexed into the City and would be zoned within six months automatically to A-1 (Agricultural District) upon annexation per the City zoning code if not zoned concurrently with the annexation. The site is located on the west side of US 23 across from the Delaware County Career Center. The subject site is currently zoned FR-1 (Farm Residential District) in Liberty Township. The properties to the north, south and west are zoned FR-1 in Liberty Township while the properties to the east across US 23 are zoned B-3 (Community Business District) with text limitation, A-1 (Agricultural District) in the City and I (Industrial) in the Liberty Township.

**BACKGROUND/PROPOSAL**

The Simon Kenton Council Boy Scouts of America is proposing to annex their subject three parcels into the City of Delaware and rezone the 230.26 acre site from FR-1 (Farm Residential District) to A-1 PMU (Agricultural District with a Planned Mixed Use Overlay District) for the existing development to achieve compliance with the zoning code and ensure that the property is compatible with the surrounding area while allowing the continuation of their long standing uses. The development would include all the existing facilities which include cabins and shelters, gun and archery ranges, fishing pond, swimming pool, camp fires, chapel, training center, blacksmith shop, trails, amphitheater, activity fields, large dining hall and several shelters, tent camping space and parking areas among other uses. The owner would be able to access City utility services upon annexation. The vast majority of the property is in a permanent conservation easement which shall remain under annexation and zoning. This more than anything, regulates and restricts the uses and the typical construction improvements on the property.

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**STAFF ANALYSIS**

- **LAND USE / COMPREHENSIVE PLAN:** The subject three properties are designated as major open space on the future land use map of the Comprehensive Plan in the Cheshire Subarea. The subject properties would remain a major open space including a camp in a park like setting and would achieve compliance with the Comprehensive Plan.
- **ZONING:** As mentioned above, the rezoning to an A-1 PMU zoning district would allow Camp Lazarus to continue the same land uses and programs as they have currently and in the past per the approved development text.
- **ENGINEERING** Because the camp is an existing site that has been in operation for several years and they are not planning any new development with this application, no formal engineering drawings are required per the City Engineer. Any new or existing utilities to be constructed and/or extended within this development shall comply with the City minimum requirements or as approved by the City Engineer.

- **ROADS AND TRAFFIC:** The existing access locations on US 23 and Chapman Road would remain the same along with the internal private roadway network. Any new or existing public road(s) to be constructed and/or widened within the development shall be allowed per the development text.
- **SITE LAYOUT:** The existing site layout and facilities would remain the same which would include cabins and shelters, gun, BB gun and archery ranges, fishing pond, swimming pool, camp fires, chapel, training center, blacksmith shop, trails, amphitheater, activity fields, large dining hall and several shelters and tent camping space. Any renovated or new building would have to achieve compliance with the approved development text. Parking shall be as shown on the Preliminary Development Plan or as may be modified by any approved future Final Development Plan. An accommodation for large event overflow parking under certain circumstances and per the long standing practice of the site has been made within the development text.
- **LANDSCAPING:** No additional landscaping would be required because Camp Lazarus is an established use in a park like setting
- **TREE PRESERVATION:** Any tree removal and replacement shall be meet all the requirements of Chapter 1168 and the approved development text. Trees covered by the existing and any future permanent conservation easements shall be managed in accordance with those recorded easements and not further regulated by the City.
- **SIGNAGE:** The current signage is compliant with the zoning text and codes and new signage would have to achieve compliance with the approved development text and plans/regulations at the time of the request.
- **LIGHTING:** Building, site, and accent lighting shall be provided in accordance with the current Zoning Code, except that there is no requirement to provide lighting beyond that required by the applicable Building Code. Site lighting shall be minimal and in respect to Perkins Observatory and the major open space.
- **MISC:** The BB gun, gun and archery range that have long existed on the site shall, by zoning text, be allowed to continue as pre-existing uses only if operated, managed and under supervision of the approved institutional use currently on and owning the property. This may not be expanded and shall be completely removed in the future should there noted conditions and restrictions change or not be fully met. There is a companion piece of legislation before City Council currently to modify existing ordinances related to discharging firearms in the City under these very specific and pre-existing circumstances.

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**STAFF RECOMMENDATION (2018-2385 – REZONING AMENDMENT)**

Staff recommends approval of a request by Simon Kenton Council Boy Scouts of America for a Rezoning Amendment for Camp Lazarus from A-1 (Agricultural District) to A-1 PMU (Agricultural District with a Planned Mixed Use Overlay District) for Camp Lazarus encompassing approximately 231 acres and located at 4422 Columbus Pike, with the following conditions that:

- 1) Any future changes shall require conformance to all provision of the Development Text.

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**STAFF RECOMMENDATION (2018-2387 – CONDITIONAL USE PERMIT)**

Staff recommends approval of a request by Simon Kenton Council of Boy Scouts of America for a Conditional Use Permit for Camp Lazarus to allow the placement of a PMU to be established (Planned Mixed Use Overlay District) at 4422 Columbus Pike on approximately 231 acres.

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**STAFF RECOMMENDATION (2018-2386 – PRELIMINARY DEVELOPMENT PLAN)**

Staff recommends approval of a request by Simon Kenton Council of Boy Scouts of America for a Preliminary Development Plan for Camp Lazarus on approximately 231 acres zoned A-1 PMU and located at 4422 Columbus Pike, with following conditions that:

- 1) Any new or existing road(s) to be constructed and/or widened within the development shall comply with the development text.
- 2) Any new or existing utilities to be constructed and/or extended within the development shall comply with the City minimum requirements or as approved by the City Director of Utilities.

- 3) Any new building shall achieve compliance with the design standards of the approved development text.
- 4) Any new signage shall achieve compliance with approved development text.
- 5) Any lighting plan shall be reviewed and approved by the Chief Building Official and achieve compliance with approved development text

**COMMISSION NOTES:**

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*MOTION:*     \_\_\_\_\_ 1<sup>st</sup>     \_\_\_\_\_ 2<sup>nd</sup>     *approved*     *denied*     *tabled* \_\_\_\_\_

*CONDITIONS/MISCELLANEOUS:*

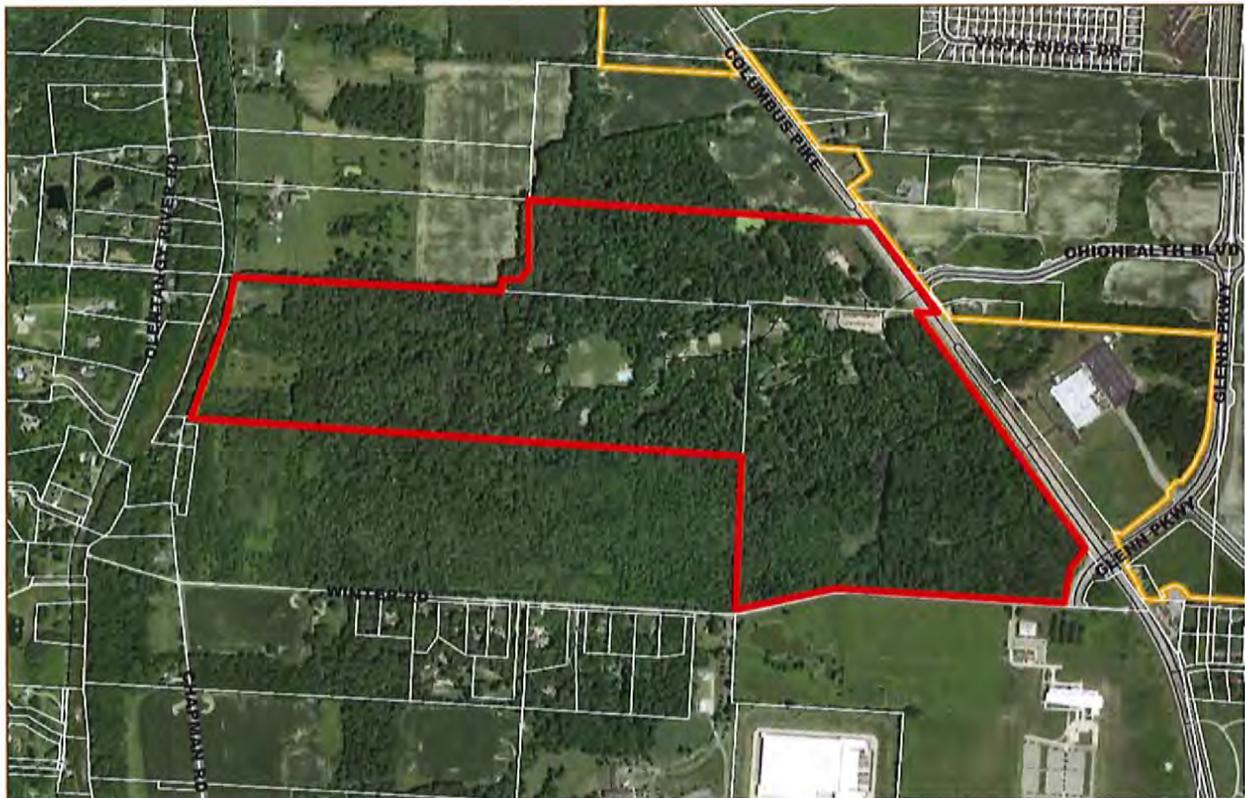
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**FILE:**  
**ORIGINAL:**  
**REVISED:**     10/11/18

CENTRAL OHIO BOY SCOUTS OF AMERICA  
PLANNED MIXED USE DEVELOPMENT TEXT FOR  
CAMP LAZARUS  
4422 COLUMBUS PIKE (US 23)  
DELAWARE, OHIO

1. DESCRIPTION OF DEVELOPMENT

The Simon Kenton Council, Boy Scouts of America is proposing to annex their subject three parcels into the City of Delaware and rezone the 230.26 acre site from FR-1 (Farm Residential District) to A-1 PMU (Agricultural District with Planned Mixed Use Overlay District) for the existing development to achieve compliance with the zoning code and ensure that the property is compatible with the surrounding area. The development would include all the existing facilities which include cabins and shelters, gun and archery ranges, fishing pond, swimming pool, camp fires, chapel, training center, blacksmith shop, trails, amphitheater, activity fields, large dining hall and several shelters and tent camping space.





## 2. GENERAL DEVELOPMENT STANDARDS

- a. **Purpose and Intent.** It is the intent of this existing development to remain as a Boy Scout Camp while integrating with City requirements. Any future expansion and/or development shall be consistent with surrounding uses with compatible and common site improvements, architectural design, signage and amenities in a park like setting. This Development Text represents the zoning requirements for this area unless otherwise noted.
- b. **Conformance with Codified Ordinances and City Policy.** Unless noted otherwise within this development text, all development will be constructed and provided in conformance with the then current Codified Ordinances and City Policy in effect at the time of application.
- c. **Limitations.** Nothing in this text shall prohibit additional restrictions or requirements from being placed on the approval of any Final Development Plan.
- d. **Major Modifications.** Once a Final Development Plan has been approved by City Council, any subsequent major modification to that plan shall only be permitted by resubmission and approval of a revised Final Development Plan through the procedures set forth in the Zoning Code. Major modification for the purposes of this text shall mean any modification of the approved Final Development Plan, as determined by the Director of Planning & Community Development, that results in:
  - (1) Any major change in the use or occupancy other than those uses specifically listed in this text.

- (2) Major change in the approved location of land uses and/or building sizes of more than 10%.
  - (3) Substantial alteration of the basic geometry, including right-of-way width, and/or operation characteristics of any element of the approved private street pattern, access points and parking facilities that results in a change in operating characteristics or character.
- e. **Minor Modifications.** Once a Final Development Plan has been approved by City Council, any subsequent minor modification to that plan shall only be permitted by resubmission and approval by the Director of Planning and Community Development of a revised Final Development Plan. Minor modification for the purposes of this text shall mean any modification of the approved Final Development Plan, as determined by the Director of Planning & Community Development, that results in:
- (1) Any modification that is not considered a major modification by this Zoning Text or by determination of the Director of Planning & Community Development.
  - (2) Any minor change to the use or occupancy of uses specifically allowed in this text or any minor changes to the approved site layout.
  - (3) Minor change in the approved location of land uses.
  - (4) Minor alteration of the basic geometry, including right-of-way width, and/or operation characteristics of any element of the approved private street pattern, access points and parking facilities that results in a change in operating characteristics or character.
  - (5) Minor structural alterations that do not alter the overall design intent of the building.
- f. **Preliminary & Final Development Plan**
- (1) The proposed site plan and building elevations require Preliminary and Final Development Plan approval by the Planning Commission and City Council.
- g. **Tree Removal and Replacement.** Any tree removal and replacement shall meet all requirements of Chapter 1168 with the following replacement schedule:
- (1) Trees in poor condition shall not be replaced (dead, damaged or diseased).
  - (2) Trees in fair condition shall be replaced at 50%.
  - (3) Trees in good condition shall be replaced at 100%
  - (4) Ash trees shall not be counted toward replanting requirements.
  - (5) Trees covered by the existing and any future permanent conservation easements shall be managed in accordance with those recorded easements and not further regulated by the City.
  - (6) The schedule above (items 1-3) shall be applied to any proposed Final Development Plan and a tree survey for any new permanent tree preservation above and beyond what is currently permanently preserved on site (there is an existing easement) as well as any proposed removal of trees shall be developed for each final development plan where trees might be removed outside of the current preservation easement area. This shall be done prior to or concurrent with a Final Development Plan submission. Additional such trees outside of the current preservation easement proposed to be additionally permanently preserved shall be given credit based upon their caliper inches per the tree survey and the schedule above calculated against the total caliper inches proposed to be removed (again in accordance with the schedule

above and the tree survey). If there still remains a balance of caliper inches due, the caliper inches shall be replanted on-site or a payment in lieu of replanting these trees at \$100 per caliper inch shall be made to the city tree fund, or any such combination that achieves a zero balance.

### 3. SITE PLAN

The established 230.26 acre Simon Kenton Council, Boy Scout of America camp (Camp Lazarus), which would be annexed into the City, is located on the west side of US 23 essentially between Ohio Health Boulevard and Glenn Parkway and extends west to Chapman Road. The existing uses include cabins and shelters, gun and archery ranges, fishing and boating pond, swimming pool, camp fires, chapel, training center, blacksmith shop, trails, amphitheater, activity fields, large dining hall and several shelters and tent camping spaces with vaulted latrines. The intent is to annex the site into the City to address the sanitary sewer issues and for the Boy Scout uses and activities to remain the same while transitioning into the City seamlessly. The existing site with its current uses as annexed shall be considered in compliance with the zoning herein.

### 4. SITE USES

**Uses.** The following uses shall be considered permitted, conditionally permitted, or limited uses as represented in the chart below by P, C, or L, respectively, and as defined by attached Chapter 1121 of the Zoning Code. Any use not listed in the chart shall be considered a prohibited use unless amended by action of the Planning Commission and City Council through a Zoning Amendment process.

- (1) **Permitted Uses.** Permitted uses are permitted by-right and shall meet all development standards specified within this text and the Zoning Code, as applicable. The uses existing on the site at the time of enactment of this zoning together with any amendments approved in the future shall be considered in compliance with the zoning herein.
- (2) **Conditionally Permitted Uses.** In addition to all standards specified within this development text, uses listed as conditionally permitted uses shall meet all the then current Zoning Code standards for approval of a Conditional Use Permit current at the time of application for the specific conditional use as well as any other regulations contained within the Zoning Code and applicable to the conditional use.
- (3) **Limited Uses.** Limited uses shall be considered permitted uses subject to complying with all the specific limitations and restrictions as specified within this text as determined by Final Development Plan approval.
- (4) **Accessory Uses and Structures.** Although not specified in the chart below, accessory uses, which are considered allowed uses, include those items that are customarily incidental and secondary to the principal use of the land. Such items include but are not limited to signs, fences, trash receptacles and enclosures, and off-street parking areas. If the uses are specified as conditional or limited uses the processes and limitations shall apply regardless of accessory use status.

Land Use Category	Uses
<b>(a) Residential/Community Facilities</b>	
(1) Single Family	L
(2) Not-For-Profit / Non-Commercial Recreation Facility	L
(3) Agricultural Use	P
(4) School – Public/Private	C
(5) Camp Personnel/ Guest Housing	L
(6) Place of Worship	P
(7) Cemetery	P
(8) Public Cultural Institution Art Gallery	P
(9) Public safety and service facility	P
<b>(b) Non-Residential</b>	
(1) Offices	Accessory
(2) Medical and dental offices, health and allied services	Accessory

(1) **Specific Standards for Limited Uses.** Any use listed as a limited use shall meet all requirements of the Zoning Code, unless otherwise exempted or modified in this Section which shall take precedence in all cases, as determined through the Final Development Plan approval process. If any of the requirements set forth in this text or the then current Zoning Code are not met, the use shall be considered a Conditional Use and a Conditional Use Permit must be approved as set forth in the Zoning Code.

- A. **Single Family.** There is an existing single family home on-site at the time of this annexation and zoning text that is used to house the on-site employee. This home, and only this home, is permitted under this land use category. Repair, additions to and replacement of this home are permitted, subject to the necessary building permits and approvals and in compliance with applicable provisions of this text.
- B. **Not-for-Profit / Non-Commercial Recreation Facility.** This use as it exists on site and under the operation of the current not-for-profit owner (the Simon Kenton Council, Boy Scouts of America) is permitted. This does not include a golf

course or country club. The use includes the range of activities that presently exist on site and as described within this Zoning Text related to the description of the development.

1. The archery and gun\BB ranges are permitted to continue as they exist at the time of the original zoning and annexation. These shall be allowed as pre-existing uses only if operated, managed, and under the supervision of the approved institutional use currently on and owning the property. As such they may not be expanded. If the operational, management, or supervision conditions change or are not met in whole or in part in the future, the gun, archery and BB ranges shall be completely removed from the site and the use shall not be permitted.

C. **Camp Personnel/Guest Housing.** Such use shall meet all requirements of the then current Zoning Code and the following condition:

1. The housing shall be limited to employees and camp volunteers of the Boy Scout of America and day, weekly, monthly or seasonal cabin/guest house for school groups, civic and youth organizations and other entities at the Boy Scouts' discretion.

(5) **Prohibited Uses.**

- i) **Adult Entertainment Businesses:** (also known as sexually oriented businesses) are expressly prohibited from locating anywhere on the proposed Development site.
- ii) **Wireless telecommunication facilities including installations known as small cell sites and Distributed Antenna Systems (DAS):** Towers are expressly prohibited from the entire Development area. Small cell sites, DAS, antennas, and/or amplifiers may be permitted so long as they are completely camouflaged so as to be not visible either within an enclosed building or the structure to which they are attached if external. These shall be reviewed individually administratively for compliance with these regulations.
- iii) **Medical Marijuana:** No medical marijuana principal or accessory uses are permitted on the subject site.
- iv) **Games of Skill:** Accessory or principle for-profit, non-charitable, skill based gaming uses oriented towards adults and designed to substantially mimic gambling devices such as but not limited to spinning skill stop games but not including traditional video arcade type games typically found in restaurant/party center arrangements, for example Dave & Buster's, Magic Mountain, and Chuck E. Cheese

b. **Lot Standards.** The following standards shall apply for lot standards and coverage.

Lot Standards	
(1) Minimum lot area	5 acres
(2) Minimum lot width and frontage*	300 ft.
(3) Maximum building coverage	40%
(4) Maximum lot coverage**	70%

\*Lot frontage requirement may be met by providing the minimum frontage along cross access easements connecting to public streets.

\*\*Lot coverage shall be determined by calculating the total area of any impervious surface divided by the area, excluding any existing public right-of-way, and converted to a percentage.

- c. **Building Setback Standards.** The following standards shall apply for minimum building setbacks, except as otherwise approved on the Final Development Plan. Decorative architectural elements such as canopies and overhangs shall be permitted to encroach into any setback provided that no encroachment shall exceed 5 feet.

Minimum Building Setbacks	
(1) Setback from US 23 (Columbus Pike) and Chapman Road	50 ft.
(2) Perimeter Setback	50 ft.

- d. **Parking Setbacks.** The following standards shall apply for minimum parking setbacks. Parking setbacks include any parking space, parking lot drive aisle, and parking lot circulation aisle, except as otherwise approved on the Final Development Plan. For up to 12 events per year, parking may overflow from established formal lots to any parts of the property to accommodate the event.

Minimum Parking Setbacks	
(1) Setback from US 23 (Columbus Pike) and Chapman Road	50 ft.
(2) Perimeter Setback	30 ft

- e. **Maximum Building Height.** The maximum height of any building or structure shall be 40 feet as measured from finished floor elevation to the highest point of the roof. Existing buildings and climbing tower in place at time of annexation are not subject to this restriction.
- f. **Building Design.** The intent of this regulation is to allow renovations and additions to existing structures to be constructed of similar building materials or natural materials while all new buildings regardless of use shall be consistent with the design, materials,

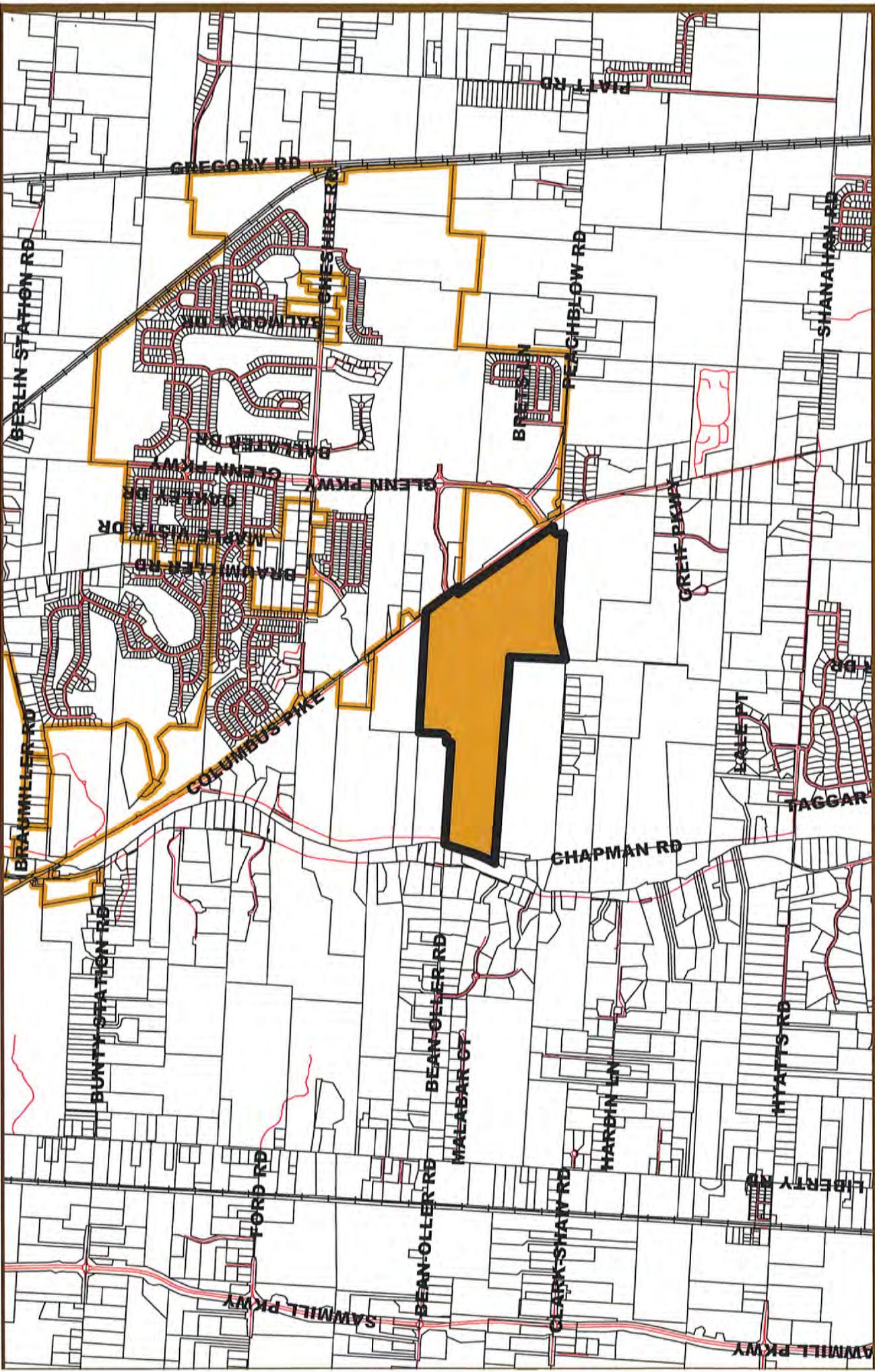
and placement of the existing structures. Flexibility should be accorded the Development Plan review process for building design as a result particularly if a building or structure is not visible from any public way given the sheer size and scale of this property and use.

- g. **Parking.** The amount of parking provided shall not be more than that shown on the Preliminary Development Plan or as may be modified by any approved future Final Development Plan(s).

  - (1) For up to 12 events per year, parking may overflow from established formal lots to any parts of the property to accommodate the event.
  - (2) Future and proposed parking lots may be constructed of qualifying dustless surfaces including gravel as may be approved by the Fire Chief and City Engineer. Lots and access ways shall meet all requirements of safety forces including the Fire Chief and Police Chief.
  - (3) Existing formal lots that are unpaved may remain as such.
- h. **Landscaping and Screening.** All landscaping shall meet the requirements of the Zoning Code and the Gateways & Corridors Plan; except as otherwise approved on the Final Development Plan. The current site as constructed is permitted to remain. Any new construction in the future or parcels split from the original parcels as they existed at the time of annexation shall meet the then current zoning code requirements for landscaping. As most of the site is currently within conservation easement there is not much opportunity for change in this regard.
- i. **Lighting.** Building, site, and accent lighting shall be provided in accordance with the current Zoning Code, except that there is no requirement to provide lighting beyond that required by the applicable Building Code. Site lighting as it exists on site at the time of annexation shall be deemed compliant. Site lighting shall generally be minimal given the current use and any proposed additional lighting in the future shall comply with the then current Zoning and Building Codes.
- k. **Signs.** A comprehensive sign plan shall be provided and approved in conformance with Section 1165.16(c) and will be provided as part of the Final Development Plan. All signage proposed for this Planned Mixed Use Development shall comply with the Gateways & Corridors Plan (GCP) and Chapter 1165 of the City of Delaware Zoning Code.

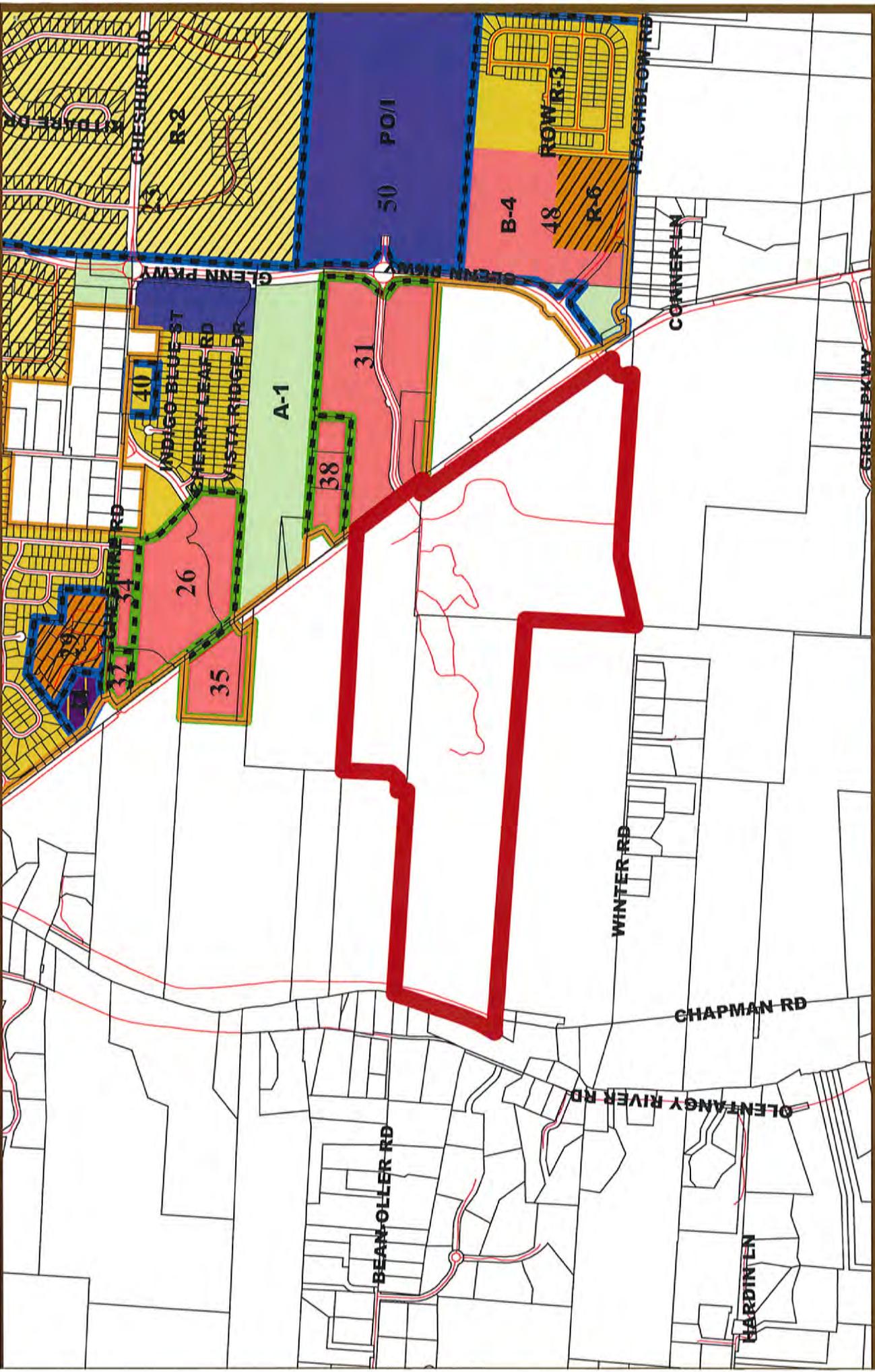
  - 1. All existing signs are permitted to remain, shall be maintained in good repair, and shall be allowed to be repaired and upgraded as might be required by the City. re-facing of existing signs is permitted so long as the size, shape, and location are unaltered.
  - 2. The existing ground sign along Columbus Pike (US 23) shall be permitted as a legal conforming sign. Minor repair or re-facing of the sign is permitted but if voluntarily removed it would need to achieve compliance with the current Zoning Code and Gateway and Corridor Plan.
  - 3. Signs required to denote permanent conservation areas, easements, or partnerships/stewardships are allowed to remain and must be maintained or completely removed.

- l. **Roads.** All roads, drives, and parking areas on site are considered private. These shall be maintained in good repair and shall provide adequate access for emergency services as required by the City of Delaware. Any new road(s) to be constructed and/or widened within the development shall comply with the City minimum requirements or as approved by the City Engineer to be in keeping with the existing roadways and ensuring adequacy for emergency services as determined by the Chief of Police, the Fire Chief, and the City Engineer. Generally, alternative surfaces other than asphalt or concrete shall be permitted so long as they meet the requirement above. Generally, curb and gutter sections shall not be required unless a parcel is split from those existing at the time of annexation and subsequently proposed for construction under a different owner or use than existed at the time of annexation. The engineering drawings for such improvements shall accompany the submittal of the Final Development Plans.
  
- m. **Utilities.** Any new or existing utilities(s) to be constructed and/or extended within the development shall comply with the City minimum requirements or as approved by the City Director of Utilities. The engineering drawings for such improvements shall accompany the submittal of the Final Development Plans.



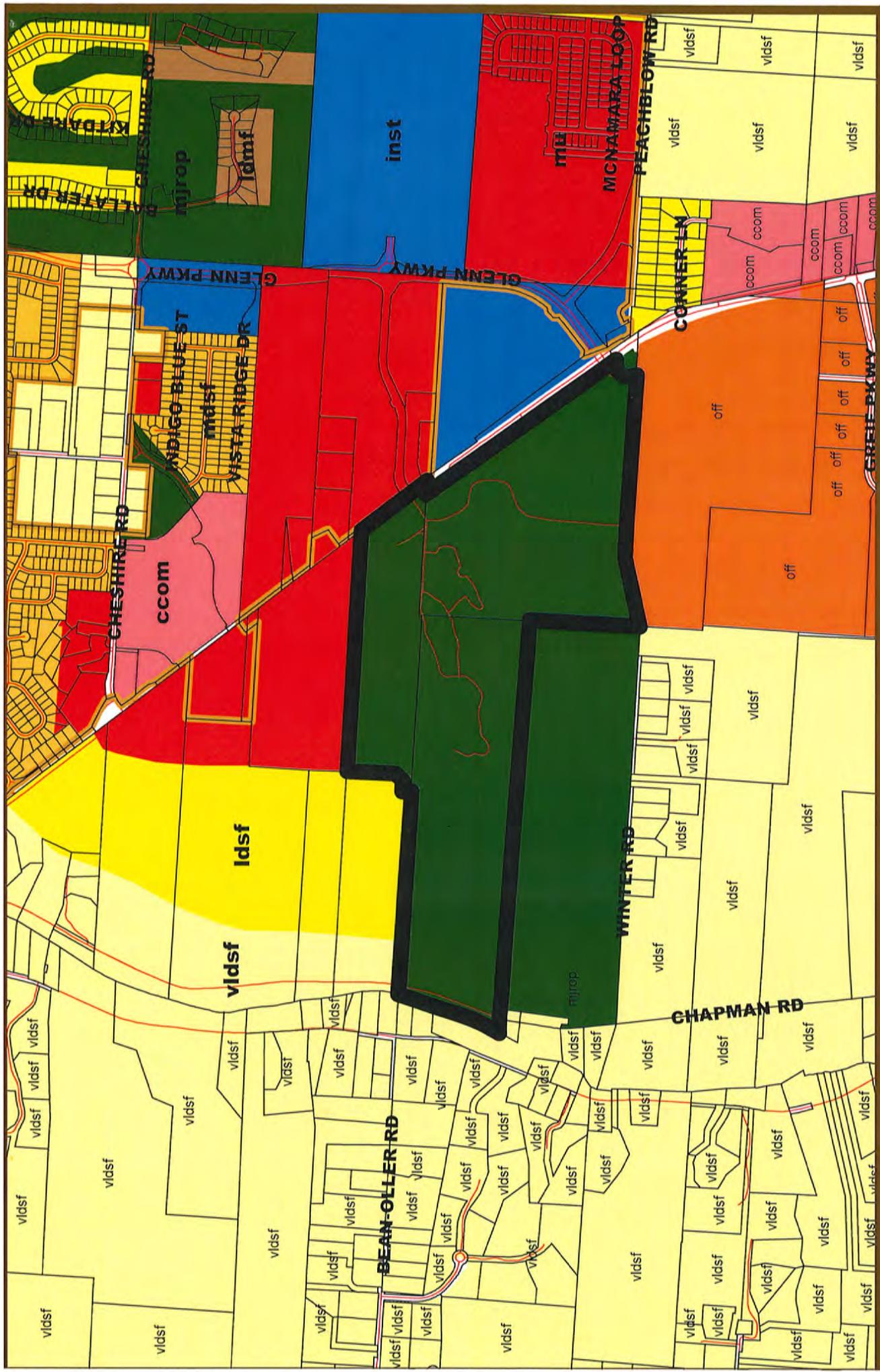
2018-2385-2387  
 Rezoning Amendment, Conditional Use Permit &  
 Preliminary Development Plan  
 Camp Lazarus - Boy Scouts of America  
 Location Map





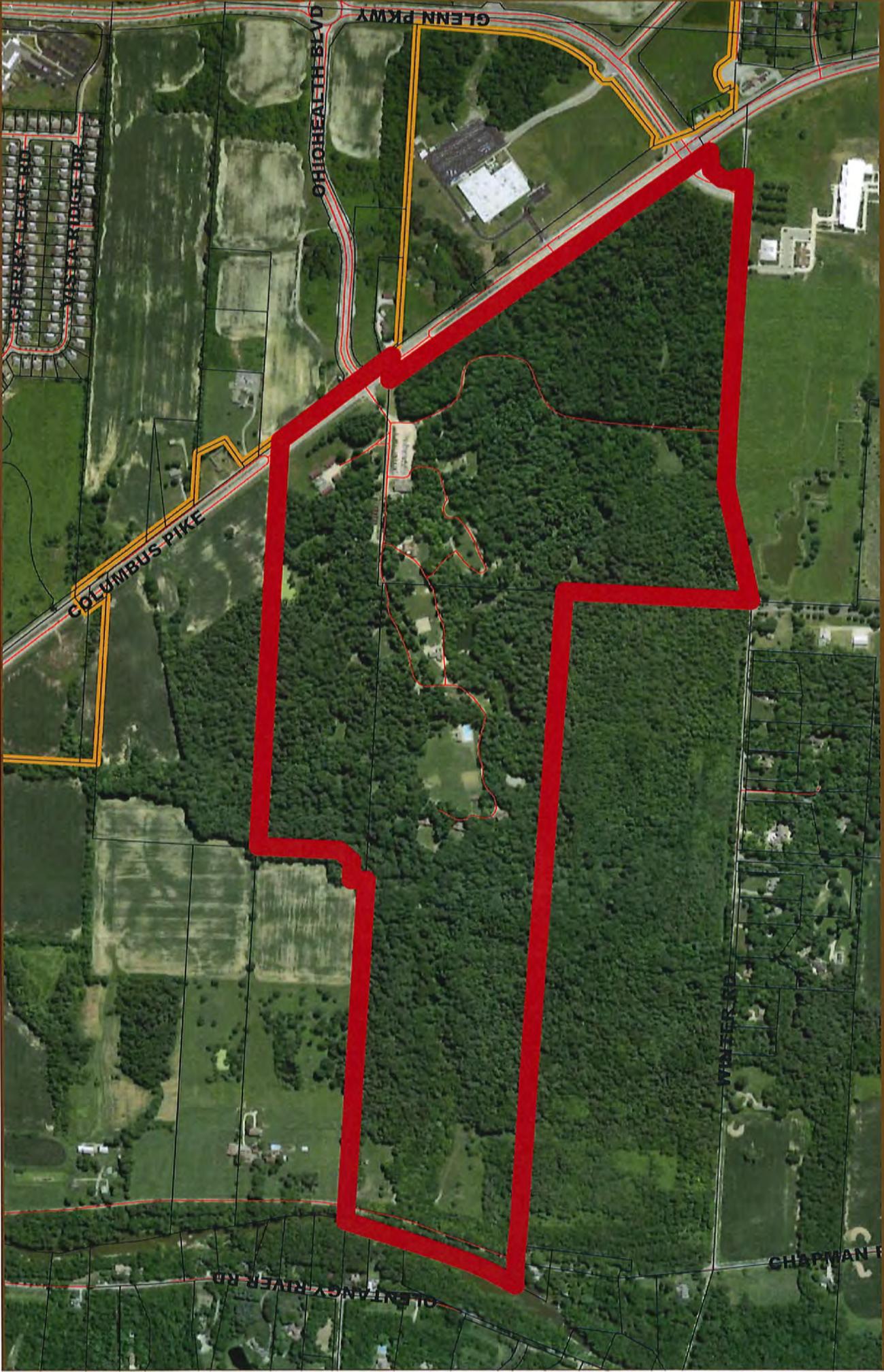
2018-2385-2387  
 Rezoning Amendment, Conditional Use Permit &  
 Preliminary Development Plan  
 Camp Lazarus - Boy Scouts of America  
 Zoning Map





2018-2385-2387  
 Rezoning Amendment, Conditional Use Permit &  
 Preliminary Development Plan  
 Camp Lazarus - Boy Scouts of America  
 Comprehensive Plan Map





2018-2385-2387  
Rezoning Amendment, Conditional Use Permit &  
Preliminary Development Plan  
Camp Lazarus - Boy Scouts of America  
Aerial (2016) Map

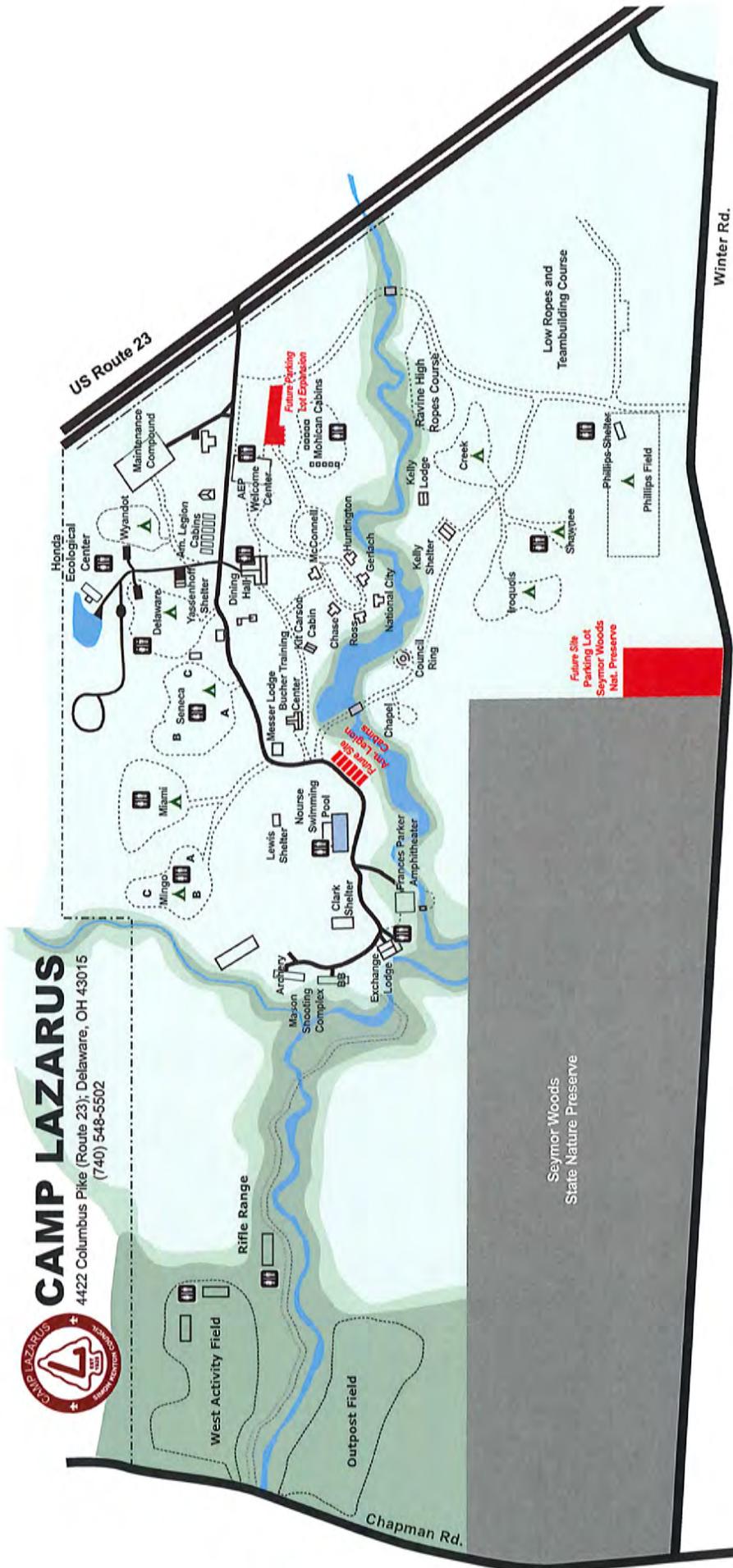






# CAMP LAZARUS

4422 Columbus Pike (Route 23), Delaware, OH 43015  
(740) 548-5502





**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**



Project # \_\_\_\_\_

Case # \_\_\_\_\_

*2018 - 2385 - 202*  
*2018 - 2386 - 2018 DIP*  
*6600*  
*SEP 6 2018*  
CITY OF DELAWARE  
PLANNING & COMMUNITY DEV.

Planning Commission

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|--|--|
| <input type="checkbox"/> Amended Final Development Plan                | <input type="checkbox"/> Final Development Plan Extension        |
| <input type="checkbox"/> Amended Final Subdivision Plat                | <input type="checkbox"/> Final Subdivision Plat                  |
| <input type="checkbox"/> Amended Preliminary Development Plan          | <input type="checkbox"/> Final Subdivision Plat Extension        |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat          | <input type="checkbox"/> Floodplain Permit                       |
| <input type="checkbox"/> Annexation Review                             | <input type="checkbox"/> Lot Split                               |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement                |
| <input type="checkbox"/> Comprehensive Plan Amendment                  | <input checked="" type="checkbox"/> Preliminary Development Plan |
| <input type="checkbox"/> Concept Plan                                  | <input type="checkbox"/> Preliminary Dev Plan Extension          |
| <input checked="" type="checkbox"/> Conditional Use Permit             | <input type="checkbox"/> Preliminary Sub Plat                    |
| <input type="checkbox"/> Determination of Similar Use                  | <input type="checkbox"/> Preliminary Sub Plat Extension          |
| <input type="checkbox"/> Development Plan Exemption                    | <input checked="" type="checkbox"/> Rezoning                     |
| <input type="checkbox"/> Final Development Plan                        | <input type="checkbox"/> Subdivision Variance                    |

- |   |
|---|
| <input type="checkbox"/> Substitution of a Non-Conforming Use             |
| <input type="checkbox"/> Vacation-Alley                                   |
| <input type="checkbox"/> Vacation-Easement                                |
| <input type="checkbox"/> Vacation-Street                                  |
| <b>Board of Zoning Appeals</b>  |
| <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Conditional Use Permit                           |
| <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Variance   |

Subdivision/Project Name Camp Lazarus Address 4422 Columbus Pike, Delaware, OH 43015

Acreage 221.341+/- Square Footage \_\_\_\_\_ Number of Lots \_\_\_\_\_ Number of Units \_\_\_\_\_

Zoning District/Land Use FR-1 Proposed Zoning/Land Use PMU Parcel # 419-440-02-001-000  
419-440-02-003-000  
419-440-03-009-000

Applicant Name Simon Kenton Council Boy Scouts of America Contact Person Jeffrey R. Moe

Applicant Address 807 Kinnear Road, Columbus, OH 43213

Phone 614-310-1329 Fax 740-203-1699 E-mail jeff.moe@scouting.org

Owner Name Simon Kenton Council Boy Scouts of America Contact Person Jeffrey R. Moe

Owner Address 807 Kinnear Road, Columbus, OH 43213

Phone 614-436-7200 Fax 740-203-1699 E-mail jeff.moe@scouting.org

~~Engineer/Architect/Attorney~~ Michael R. Shade Contact Person Michael R. Shade

Address P.O. Box 438, Delaware, OH 43015-0438

Phone 740-363-9232 Fax 740-363-0146 E-mail mrs@ss-dta.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

Owner Signature

Owner Printed Name

Agent Signature

Agent Printed Name

Sworn to before me and subscribed in my presence this 6 day of September, 2018.



Notary MATTHEW S. BEAR, ATTORNEY AT LAW  
NOTARY PUBLIC, STATE OF OHIO  
My commission has no expiration date.  
Section 147.03 R.C.

Notary Public

CASE NUMBER: 2018-2462-2463

REQUEST: Multiple Requests

PROJECT: The Wesleyan Inn

MEETING DATE: October 17, 2018

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**APPLICANT/OWNER**

Manos Properties  
5973 Macewen Court  
Dublin, Ohio 43017

**REQUEST**

2018-2462: A request by Manos Properties for approval of Conditional Use Permit to allow The Wesleyan Inn at 235 West William Street on approximately 0.72 acres and zoned PO/I (Planned Office/Institutional).

2018-2463: A request by Manos Properties for approval of a Preliminary Development Plan for The Wesleyan Inn at 235 West William Street on approximately 0.72 acres and zoned PO/I (Planned Office/Institutional).

**PROPERTY LOCATION & DESCRIPTION**

The subject 0.72 acre property is located at 235 West William Street which is located on the south side of the street. The property at 235 West William Street is zoned PO/I (Planned Office/Institutional District). The properties to the north are zoned R-3 (One-Family Residential District), the property to the south is zoned PO/I, the property to the east is zoned PO/I and the property to the west is zoned R-3 and the property to the west is zoned R-3 and it is owned by the applicant.

**BACKGROUND/PROPOSAL**

The owner requested a Rezoning Amendment to PMU, Conditional Use Permit and Preliminary Development for a 43 room Inn located at 235 and 239 West William Street that was approved by the Planning Commission in June 2018 but ultimately denied by City Council in August 2018.

Now, per the direction of City Council, the owner is proposing a Conditional Use Permit and Preliminary Development Plan for 235 West William Street that is zoned PO/I which permits a hotel as a conditional use. The owner purchased the former Ohio Wesleyan dormitory/theme house in 2017 from Ohio Wesleyan University. The owner is proposing to renovate and expand the former dormitory at 235 West William Street into a four-story 43 room Inn which encompasses approximately 17,392 total square feet on a building footprint of only 3,671 square feet. Two access points from West William Street would access and encircle the proposed Inn with 46 parking spaces. The developer owns the single family house at 239 West William Street and the house would be demolished and converted into a park like setting that would be heavily landscaped with a 6 foot high wood fence located on the western property line serving as a buffer to the adjacent residential homes to the west and south.

The developer proposes to preserve and renovate the original Perkins house rather than simply demolish it as is his right. This is a welcome approach to staff while integrating an adaptive reuse of the property as proposed. Additionally, it needs to be clearly understood that the property proposed for the Inn is in fact zoned appropriately for such use being PO/I currently, which allows the use conditionally. Overall, this proposal preserves and repairs the dilapidated Perkins home, adaptively reuses the site, contains and orients the Inn to the adjacent University owned property and provides adequate parking and converts 239 West William Streets into a park like setting with heavy landscaping. This would provide a reasonable transition between the huge Stuyvesant Hall dormitory, health center, fitness center, performance space and a kitchen to the residential neighborhood to the west and 237 student residents occupying the approximate 21,700 footprint.

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**STAFF ANALYSIS**

- **ZONING:** As previously mentioned, 235 West William Street is zoned PO/I which permits a hotel as a conditional use with approval by the Planning Commission and City Council. The proposal would achieve compliance with Chapter 1148.02 General Criteria of All Conditional Uses and there are not any Supplemental Regulations for Specific Uses for a hotel per Chapter 1148.05. Along with the Conditional Use Permit, the proposal would also require Preliminary Development Plan and Final Development Plan approval by the Planning Commission and City Council.
- **GENERAL ENGINEERING:** The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or

change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.

- **ROADS AND ACCESS:** The proposed 43 room hotel would not generate enough traffic to require a traffic impact study per the City Engineer. The subject development would have two curb cuts from West William Street that would access a 46 space parking lot. Eleven of the parking spaces would be located under the cantilevered portion of the building at the rear of the building. The cantilevered overhang would have to achieve compliance with minimum fire department clearance requirements. The ingress to the site would be from the eastern most curb cut while egress would be from the western most curb cut with access circulating around the building in a clockwise orientation. The ingress at the eastern most proposed curb cut shall include a two-way left turn lane on West William Street, west of the existing dedicated left turn lane to Elizabeth Street, in order to separate left turning vehicles on West William Street from westbound through traffic. The two-way left turn lane must be designed in accordance with City standards and approved by the City Engineer with all required roadway widening being on the south side of the street and not impacting parking on the north side of the street. All necessary associated improvements including, but not limited to, sidewalk and utility pole relocations are to be made by the developer. Because no public storm sewer exists adjacent to the site, a storm sewer extension will be required to be designed and constructed by the developer. Design of the storm sewer and any associated roadway restoration will need to be approved by the Public Works Department and Public Utilities Department. The site drives and parking areas shall accommodate fire truck turning movements. An emergency access point will be required at the southeast corner of the site to provide access to emergency personnel from the adjacent Ohio Wesleyan University parking lot. Staff would suggest eliminating the eastern most parking space along the southern property line to accommodate such emergency connection. The applicant could add an additional parking space just north of the building on the eastern portion of the western access drive by eliminating the proposed parallel parking space and installing two 90 degree parking spaces. An access agreement should be obtained from the university. The exact type of connection and barrier would need to be determined at Final Development Plan approval. Ultimately, the entire development would have to achieve compliance with the minimum engineering, public works and fire department requirements.
- **PEDESTRIAN CONNECTIVITY:** Per the adopted Bicycle and Pedestrian Master Plan 2017, there are not any proposed bike plans across the subject properties. However, the existing sidewalk along West Williams Street would remain and would have to be maintained by the developer.
- **SITE CONFIGURATION:** The existing 2,396 square foot house at 235 West William Street would be preserved, renovated and expanded by a 14,996 square foot addition (four stories high – 51 feet) for a total 17,392 square foot Inn that would have 43 rooms. This would be contained on a footprint of only 3,671 square feet. The aforementioned two curb cuts from West William Street would access a 46 space parking lot with two handicap spaces located along the eastern access drive adjacent to the proposed hotel. The exposed portions of the proposed retaining walls along West William Street and along the eastern and western parking lot shall be faced with Delaware blue vein limestone or equivalent. The main entrance is located on the east side (the University side) of the building and would have a canopy over the drive through for the patron's convenience and there would be a secondary patron access on the western portion of the building. An outdoor patio (porch) would be located above the canopy for the guests. A six foot high solid wood fence would be located along the southern property lines to screen the adjacent houses. Also, the conversion of 239 West William Street into a park like setting with heavily landscaping would have a 6 foot high solid wood fence along the western property line to buffer the house to the west. There would be two sets of stairs located on the eastern and western portions of the site to access Ohio Wesleyan's property and the park like setting at 239 West William Street respectively. In addition, there are heavily wooded properties between the subject site and the properties to the south which creates a natural buffer to the single family houses fronting Oak Hill Avenue. Finally, the garbage refuse area would be located near the back stairs under the cantilevered portion of the building and the applicant would utilize a private refuse service for collection while the detention for the site would be underground beneath the parking lot.
- **BUILDING DESIGN:** Staff and the applicant have worked through a series of designs to attempt to find a design and materials that are high quality, complement the existing homes in the area, do not try to mimic the existing historic home and try to break down the scale of the building using architectural elements. The

developer's proposed four story (approximately 51 feet high) elevation would have the following architectural elements, building materials and colors:

- The existing building would be preserved, fully renovated and upgraded where appropriate.
- The building materials for the new addition shall include brick and/or limestone with fiber cement siding as an accent to the above building materials.
- The bricks on the new addition shall be 2 to 3 shades darker than the existing building.
- All windows on the new addition shall be double hung style with bronze frames and grids.
- The areas around the windows shall have accent features to match the existing building.
- The elevator shaft on the east elevation would be comprised of brick.
- A stone chimney would be an added design element on the east elevation.
- The roof of the existing building shall be comprised of asphalt shingles.
- The roof of the new addition shall be flat with a cornice to match the existing building.
- Limestone wainscoting shall be installed around new the addition to match the existing building.
- Any metal flashing shall be a mansard brown color.
- An expanse of glass with bronze frames shall be permitted for the main entrance (east side) and connector between the existing building and new addition.
- Wrought iron railings are permitted on the balconies, porches, etc. where appropriate as approved on the Final Development Plan..
- Any accessory structure(s) shall consist of brick, limestone, or similar approved products as the exterior material and be designed in a consistent and cohesive manner.
- The mechanical equipment on the roof shall be screened from public view from all sides of the building with a four foot high painted metal panel. The height of such screening shall be equivalent to the height of the highest mechanical equipment.

In conclusion, the proposed building design, materials and colors appear to be consistent with the existing building to create a cohesive and unified design while not trying to have a "fake" appearance of the new design. It should be noted that the approximate 800 square foot rear addition that currently exists on site will be removed with this proposal. This will leave the original house with the proposed Inn addition. The current addition to the rear of the historic home is in particularly bad repair.

- **LANDSCAPING & SCREENING:** The applicant is proposing a comprehensive landscape plan that includes street trees, parking lot landscaping, foundation landscaping, perimeter buffering and creating a park like setting at 239 West William Street. There are existing street trees along West William Street that would likely be maintained but if removed in construction they would have to be replaced. The foundation and parking lot landscaping appear to achieve compliance with the zoning code along with perimeter landscaping with the installation of the 6 foot high fence along the south property line. Also, the house at 239 West William Street would be demolished and converted into a park like setting that would be heavily landscaped with a 6 foot high fence along the western property line to buffer the adjacent residential house. Staff recommends the landscaping be on the adjacent residential side of the fence along the west and south property lines. All landscaping plans shall be reviewed and approved by the Shade Tree Commission.
- **TREE REMOVAL & REPLACEMENT:** The site has trees scattered throughout the site and the applicant submitted a Tree Preservation Plan that documents they are removing almost 203 caliper inches while they are preserving 108 caliper inches. Because this a straight letter zoning district there would not be any concessions for preserved trees unlike a PMU. Therefore, the applicant has a shortfall of 203 caliper inches. The owner would have to replace the removed trees with the same total caliper inches of trees or make a payment in lieu

of replacement of \$20,300 (\$100 per caliper inch x 203 caliper inches) or a combination of both to achieve compliance with Chapter 1168 Tree Preservation Regulations.

- **SIGNAGE:** The applicant provided a narrative describing an illuminated ground sign along West William Street, small directional signs at each curb cut along West Williams Street, canopy signage and signs above each entry door with maximum size limits. The proposed signage would need to be located and identified during the Final Development Plan approval process. Also, all signage shall achieve compliance with the minimum zoning requirements and the adopted Gateways & Corridors Plan.
- **LIGHTING:** The applicant provided a narrative indicating the lighting of the subject development would achieve compliance with the International Dark Sky Association along with the minimum zoning standards. Per the narrative, the driveway and entry drives would have shielded landscaping light fixtures not to exceed 16 inches high, the parking lot would have fully shaded walkway bollards not to exceed 3 feet high, the building would have fully shielded wall mount fixtures on side of the privacy fence not to exceed 5 feet high, shielded wall washer up lights at the base of the foundation, shield wall sconce at entry doors, concealed interior up light LED fixtures in the building tower and recessed can lights on the underside of the canopy. All the proposed light details and locations would need to be identified on the Final Development Plan. Also, all lighting plans would need to be submitted, reviewed and approved by the Chief Building Official and achieve compliance with the minimum zoning requirements. As proposed, all lighting will be very minimal.
- **CONDITIONAL USE PERMIT:** The proposed development achieves compliance with conditional use permit requirements per Chapter 1148.02 General Criteria For All Conditional Use and Chapter 1148.05 Supplemental Regulations for Specific Uses.

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**STAFF RECOMMENDATION (2018-2462 – CONDITIONAL USE PERMIT)**

Staff recommends approval of a request by Manos Properties for a Conditional Use Permit to allow The Wesleyan Inn at 235 West William Street on approximately 0.72 acres and zoned PO/I (Planned Office/Institutional), with the following conditions that:

1. The subject building shall be only used as an Inn and shall not exceed 43 rooms.
2. The building and site shall be developed per the any approved Preliminary and Final Development Plan conditions.

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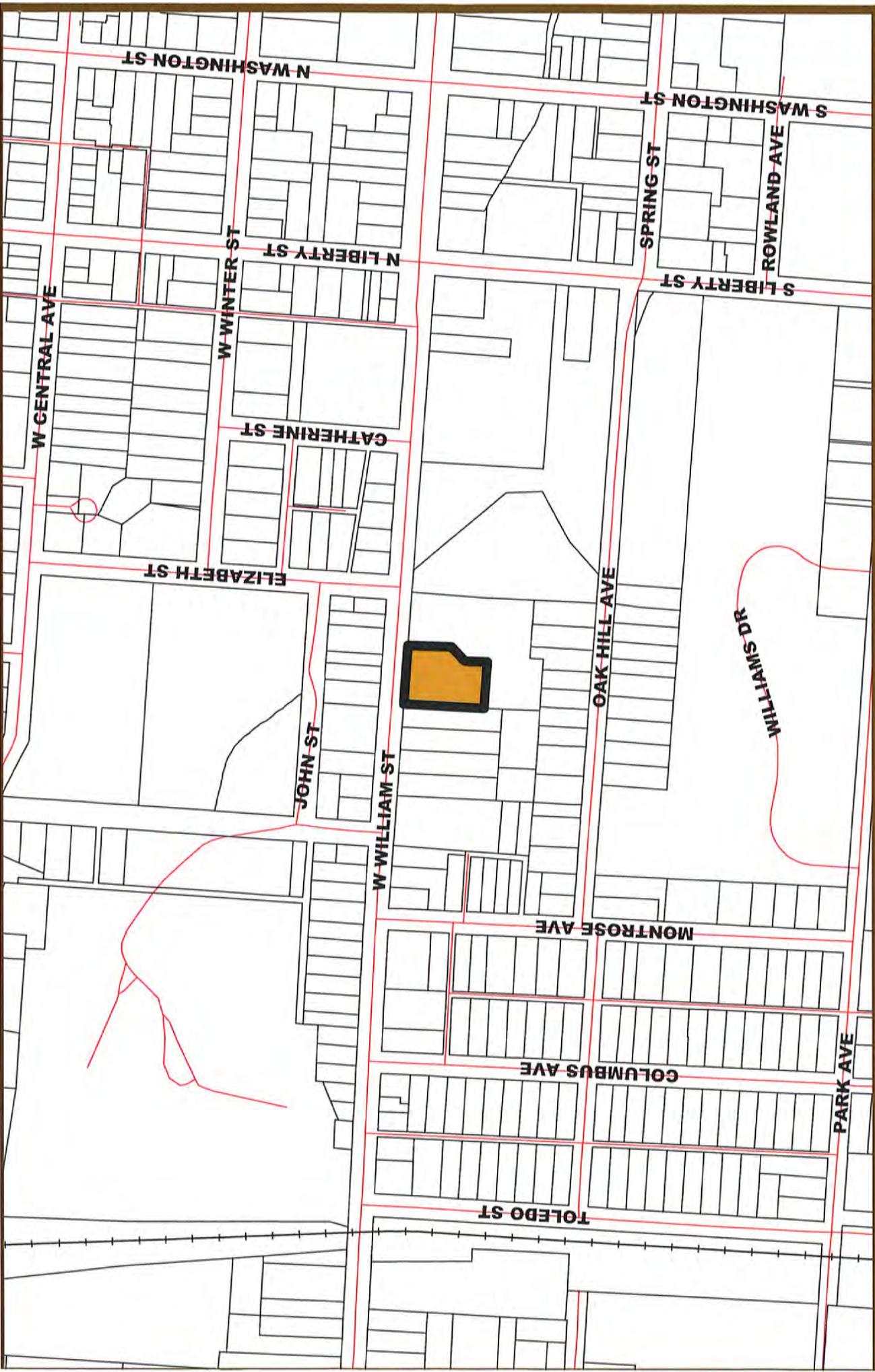
**STAFF RECOMMENDATION (2018-2463 PRELIMINARY DEVELOPMENT PLAN)**

Staff recommends approval of a request by Manos Properties for a Preliminary Development Plan for The Wesleyan Inn at 235 West William Street on approximately 0.72 acres and zoned PO/I (Planned Office/Institutional), with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The ingress to the site at the easternmost curb cut shall include a two-way left turn lane on West William Street, west of the existing dedicated left turn lane to Elizabeth Street, in order to separate left turning vehicles on West William Street from westbound through traffic. The two-way left turn lane shall be designed in accordance with City standards and shall be approved by the City Engineer with all required roadway widening being on the south side of the street and not impacting parking on the north side of the street. All necessary associated improvements including, but not limited to, sidewalk and utility pole relocations shall be made by the developer.
3. Because no public storm sewer exists adjacent to the site, a storm sewer extension shall be required to be designed and constructed by the developer. Design of the storm sewer and any associated roadway restoration shall need to be approved by the Public Works Department and Public Utilities Department.

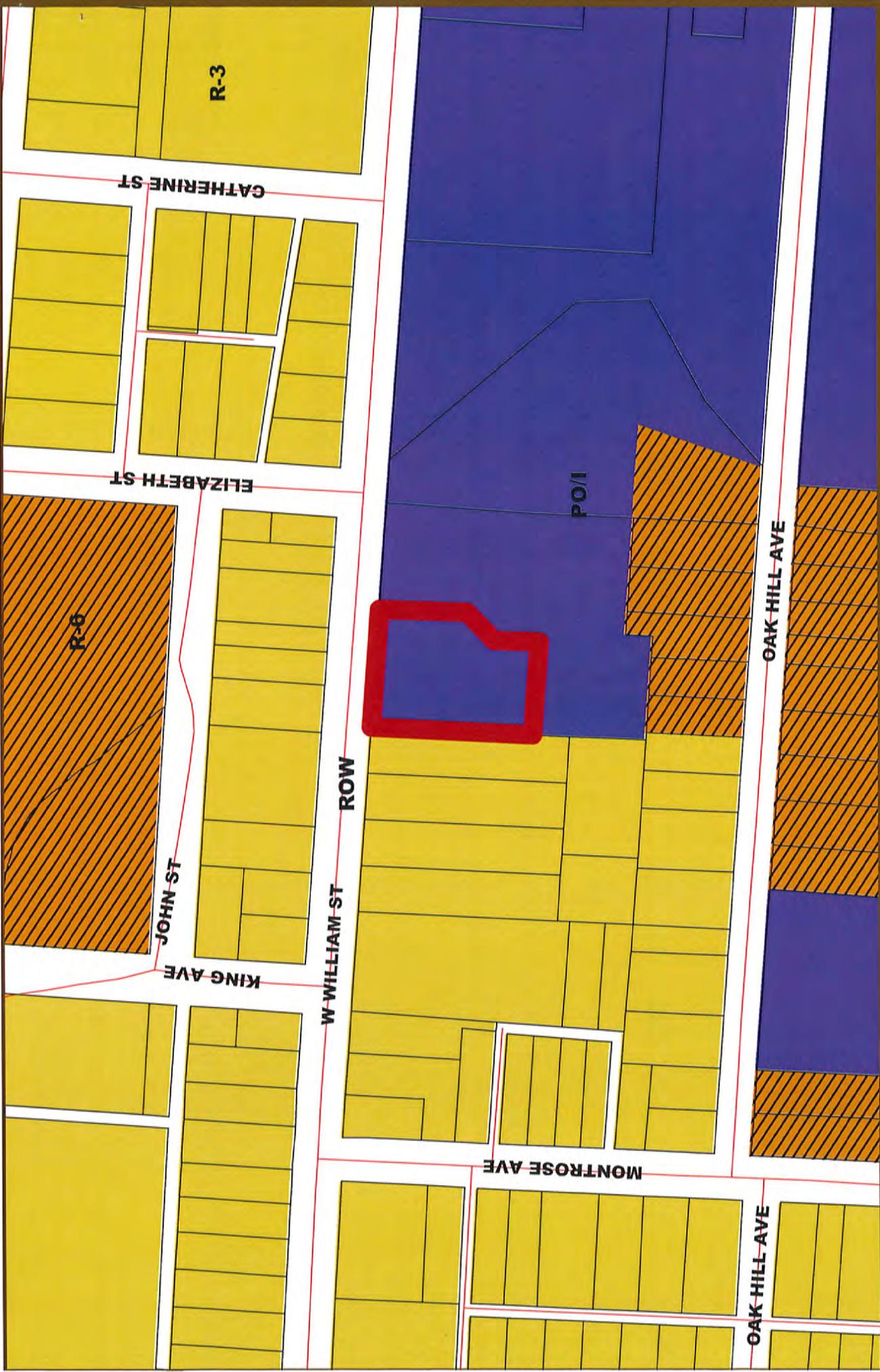
4. An emergency access point shall be required on the southeastern portion of the site adjacent to the Ohio Wesleyan parking lot that is accessed off Oak Hill Avenue. An executed agreement by the subject property owner and Ohio Wesleyan University shall be recorded at the County prior to final occupancy. The exact type of connection and barrier shall be determined during the Final Development Plan approval process.
5. The cantilevered building shall achieve compliance with the minimum Fire Department clearance requirements.
6. Any mechanical equipment shall be screened from public view.
7. The number of hotel rooms shall not exceed 43 rooms.
8. The number of required parking spaces shall be 45 or in accordance with the approved Final Development Plan. Plan.
9. The proposed hotel building shall achieve compliance with the City design standards per the Final Development Plan as approved by staff.
10. Any exposed portion of a retaining wall(s) shall be faced with Delaware blue vein limestone or equivalent as approved by staff.
11. The applicant shall have to replace the removed trees with the same total caliper inches of trees or make a payment in lieu of replacement of \$20,300 (\$100 per caliper inch x 203 caliper inches) or a combination of both to achieve compliance with Chapter 1168 Tree Preservation Regulations prior to construction drawing approval.
12. Any street trees or other on-site trees damaged by construction shall be replaced.
13. A six foot high solid wood fence shall be located along the southern property line of the subject site and the western property line of 239 West William Street to screen the adjacent uses. The landscaping shall be on the adjacent residential side of the fence along the west and south property lines
14. Any landscape plans shall be reviewed and approved by the Shade Tree Commission.
15. A lighting plan shall be documented in the Final Development Plan that achieves compliance with the minimum zoning requirements and shall be reviewed and approved by the Chief Building Official.
16. Any signage shall be documented on the Final Development Plan and shall achieve compliance with the approved development text and the adopted Gateways and Corridor Plan.
17. The entire development shall achieve compliance with the minimum engineering, public works and fire department requirements.





2018-2462-2463  
Conditional Use Permit & Preliminary Development Plan  
Wesleyan Inn - 235 West William Street  
Location Map





2018-2462-2463  
 Conditional Use Permit & Preliminary Development Plan  
 Wesleyan Inn - 235 West William Street  
 Zoning Map





2018-2462-2463  
Conditional Use Permit & Preliminary Development Plan  
Wesleyan Inn - 235 West William Street  
Aerial (2016) Map



Manley Architecture  
Group/MAG  
3820 North High Street  
Columbus, OH 43214  
Ph: (614) 545-1147

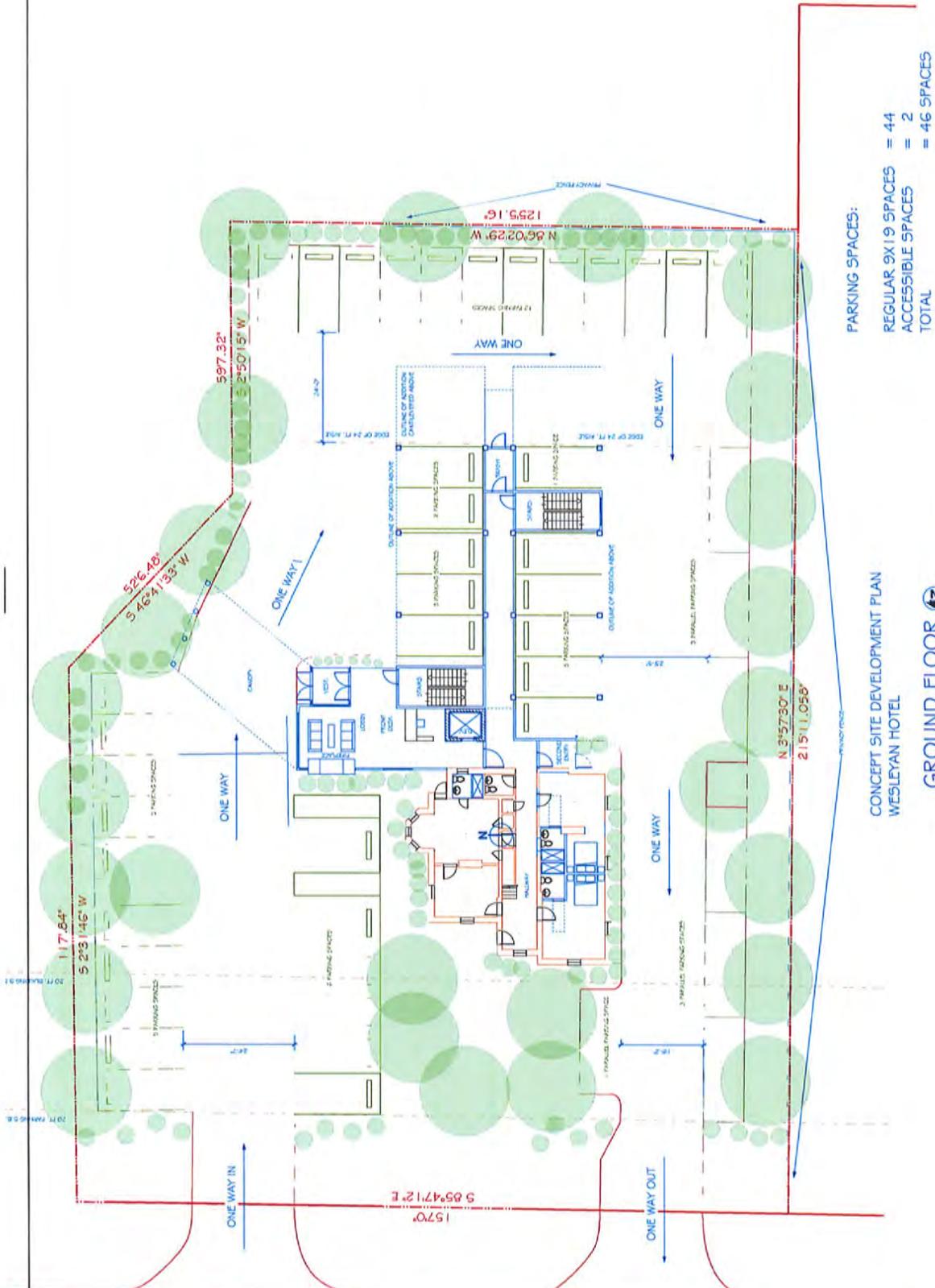
The Wesleyan Inn  
235 W. William St.  
Delaware, Ohio 43015

09/17/18

NO.	DATE	DESCRIPTION
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Site  
Development  
Plan

SD-1



PARKING SPACES:  
REGULAR 9X19 SPACES = 44  
ACCESSIBLE SPACES = 2  
TOTAL = 46 SPACES

CONCEPT SITE DEVELOPMENT PLAN  
WESLEYAN HOTEL  
GROUND FLOOR

WILLIAM ST.

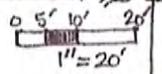


- ⊕ EX TREE PER TREE PRESERVATION PLAN
- + SHADE TREE CHOICES - THORNLESS HONEYSUCKER, ELM HYBRIDS, OAKS, MAPLE, HACKBERRY, BLACK WALNUT, HICKORY, TULIPFRAR.
- + EVERGREEN TREES, SHRUBS, PRIVACY HEDGE CHOICES - NORWAY SPRUCE, BLACK HILLS SPRUCE, WHITE PINE, MISSION & BLACK ARBOVITAE, GREEN & GLOBE AER, GEE OWL JUNIPER, JUNIPER BURKII & CANAERTII, BOXWOOD

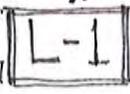
- + UNDERSTORY TREE & SHRUB CHOICES - DOGWOOD, SERVICEBERRY, REDBUD, FRINGETREE, CHOCHEBERRY, BLACKHAWK, HYDRANGEA, CHOCHEBERRY, ARDORWOOD

LANDSCAPE PLAN

WESLEYAN INN - 235 W. WILLIAM ST.



URBAN WILDLTD  
OCT, 2018  
740972-2387



Date: 9/26/2018

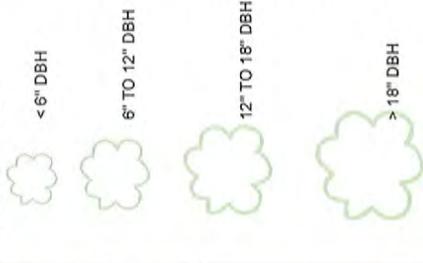
# TREE PRESERVATION PLAN

MANOS PROPERTIES 235 W WILLIAM ST LLC  
235 WEST WILLIAM STREET, DELAWARE, OHIO 43015  
CITY OF DELAWARE | DELAWARE COUNTY

Total Circ. Of On-Site Trees to be Preserved: 205.31  
274.70  
Total Circ. Of All On-Site Trees: 480.01

## LEGEND

### TREE DIAMETER

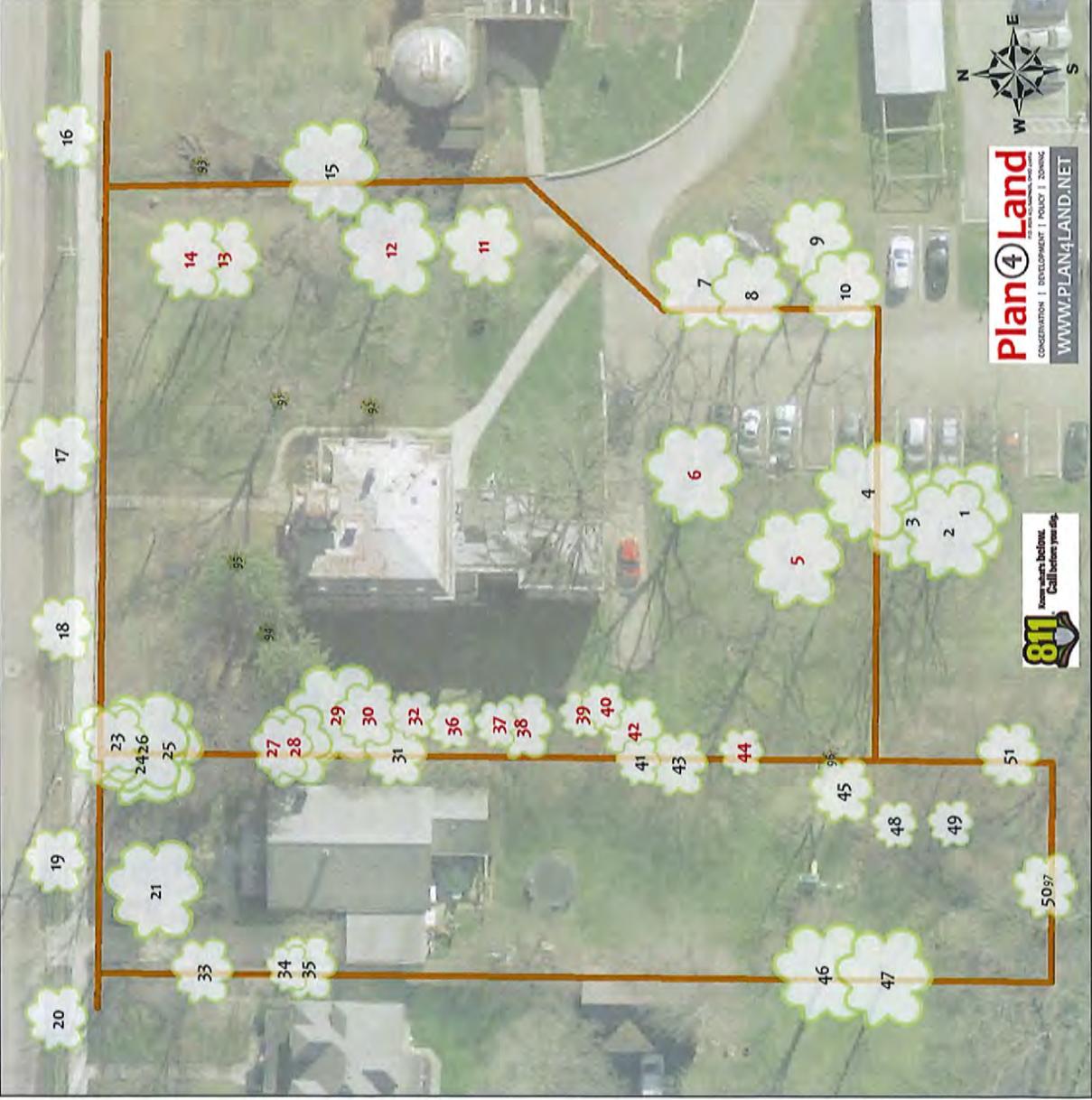


### STUMPS



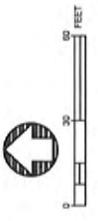
DISCLAIMER: Aerial photography was provided by the Delaware County Auditor's Office, survey lot boundaries by Patridge Surveying and development plan by Elmusian Engineering.

Tree locations were collected by Plan 4 Land, LLC and circumferences were measured at breast height for the largest trunk from each tree base. Plan 4 Land, LLC and its employees are not responsible for damage to or injury from, under and/or above ground utilities. Always call the Ohio Utility Protection Service (OUPS) at 811 before digging. Production rights reserved by Plan 4 Land, LLC.



TREE	CIRC. (IN.)	DIAM. (IN.)	MAJOR	PRESERVE	ON-/OFF-SITE
1	68	21.65	Y	KEEP	OFF-SITE
2	65	20.69	Y	KEEP	OFF-SITE
3	72	22.92	Y	KEEP	OFF-SITE
4	63	20.05	Y	KEEP	ON-SITE
5	89	28.33	Y	REMOVE	ON-SITE
6	93	29.60	Y	REMOVE	ON-SITE
7	62	19.74	Y	KEEP	OFF-SITE
8	54	17.19	Y	KEEP	OFF-SITE
9	54	17.19	Y	KEEP	OFF-SITE
10	39	12.41	Y	KEEP	OFF-SITE
11	54	17.19	Y	REMOVE	ON-SITE
12	72	22.92	Y	REMOVE	ON-SITE
13	52	16.55	Y	REMOVE	ON-SITE
14	38	12.10	Y	REMOVE	ON-SITE
15	87	27.69	Y	KEEP	OFF-SITE
16	20	6.37	Y	KEEP	OFF-SITE
17	41	13.05	Y	KEEP	OFF-SITE
18	26	8.28	Y	KEEP	OFF-SITE
19	29	9.23	Y	KEEP	OFF-SITE
20	21	6.68	Y	KEEP	OFF-SITE
21	62	19.74	Y	KEEP	ON-SITE
22	48	15.28	Y	KEEP	ON-SITE
23	34	10.82	Y	KEEP	ON-SITE
24	64	20.37	Y	KEEP	ON-SITE
25	70	22.28	Y	KEEP	ON-SITE
26	61	19.42	Y	KEEP	ON-SITE
27	28	8.91	Y	REMOVE	ON-SITE
28	48	15.28	Y	REMOVE	ON-SITE
29	95	30.24	Y	REMOVE	ON-SITE
30	28	8.91	Y	REMOVE	ON-SITE
31	29	9.23	Y	KEEP	ON-SITE
32	14	4.46	N	REMOVE	ON-SITE
33	32	10.19	Y	KEEP	ON-SITE
34	16	5.09	N	KEEP	ON-SITE
35	24	7.64	Y	KEEP	ON-SITE
36	18	5.73	N	REMOVE	ON-SITE
37	18	5.73	N	REMOVE	ON-SITE
38	20	6.37	Y	REMOVE	ON-SITE
39	18	5.73	N	REMOVE	ON-SITE
40	13	4.14	N	REMOVE	ON-SITE
41	16	5.09	N	KEEP	ON-SITE
42	20	6.37	Y	REMOVE	ON-SITE
43	19	6.05	Y	KEEP	ON-SITE
44	14	4.46	N	REMOVE	ON-SITE
45	36	11.46	Y	KEEP	ON-SITE
46	77	24.51	Y	KEEP	ON-SITE
47	62	19.74	Y	KEEP	ON-SITE
48	18	5.73	N	KEEP	ON-SITE
49	13	4.14	N	KEEP	ON-SITE
50	32	10.19	Y	KEEP	ON-SITE
51	27	8.59	Y	KEEP	OFF-SITE





PRELIMINARY - NOT FOR CONSTRUCTION

JOB NO.	JAN021
DATE	JULY, 2018
SCALE	HORIZONTAL: 1" = 30'
	VERTICAL: 1" = 5'
SHEET NO.	1/1

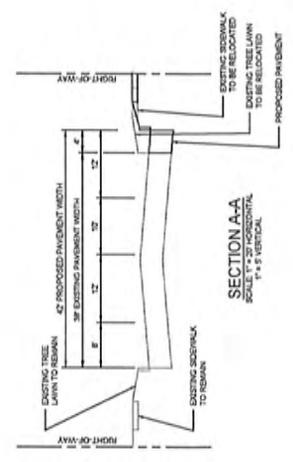
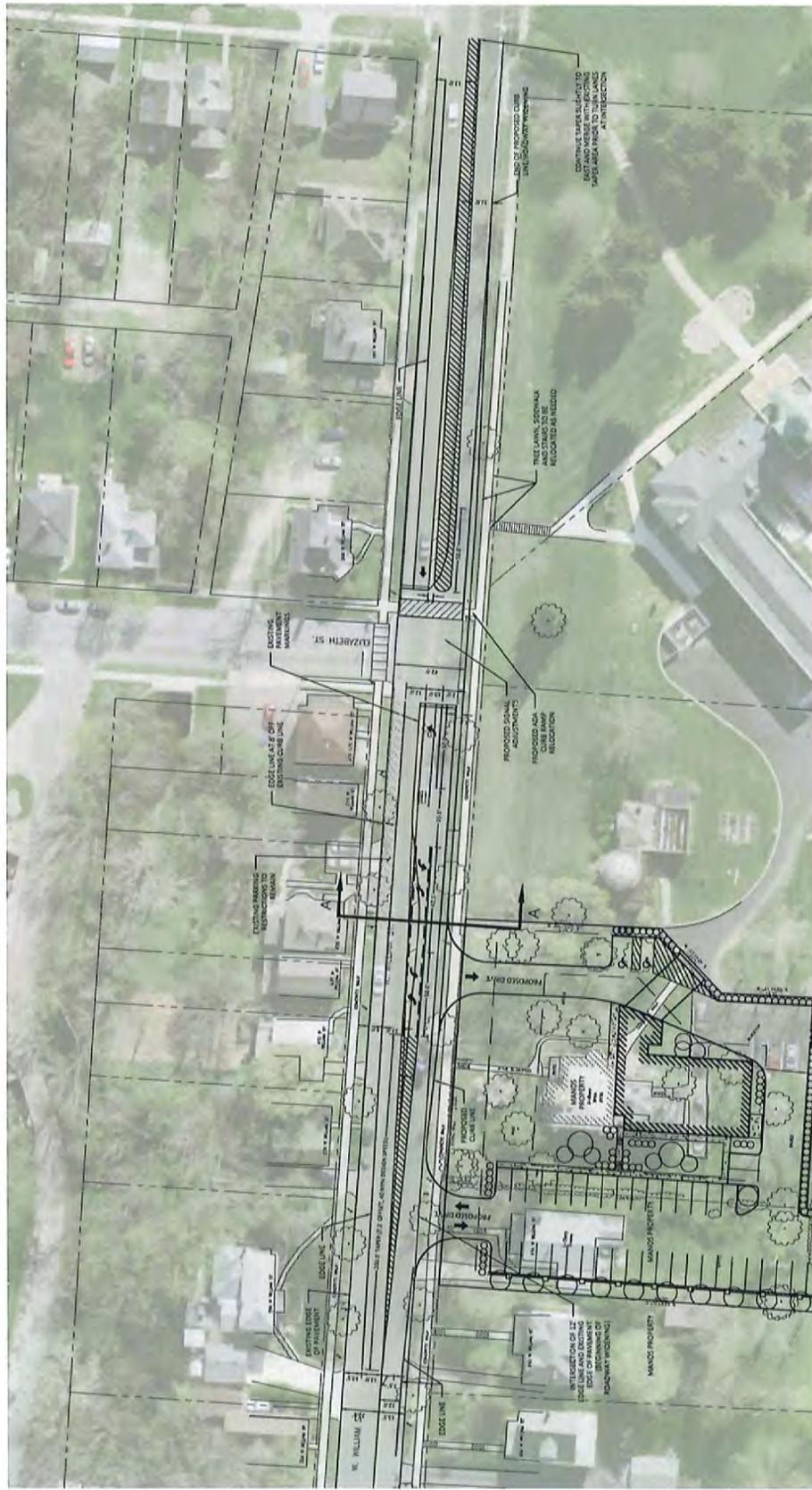
WESLEYAN INN  
STREET IMPROVEMENTS  
WILLIAMS STREET, CLEVELAND, OH 44115

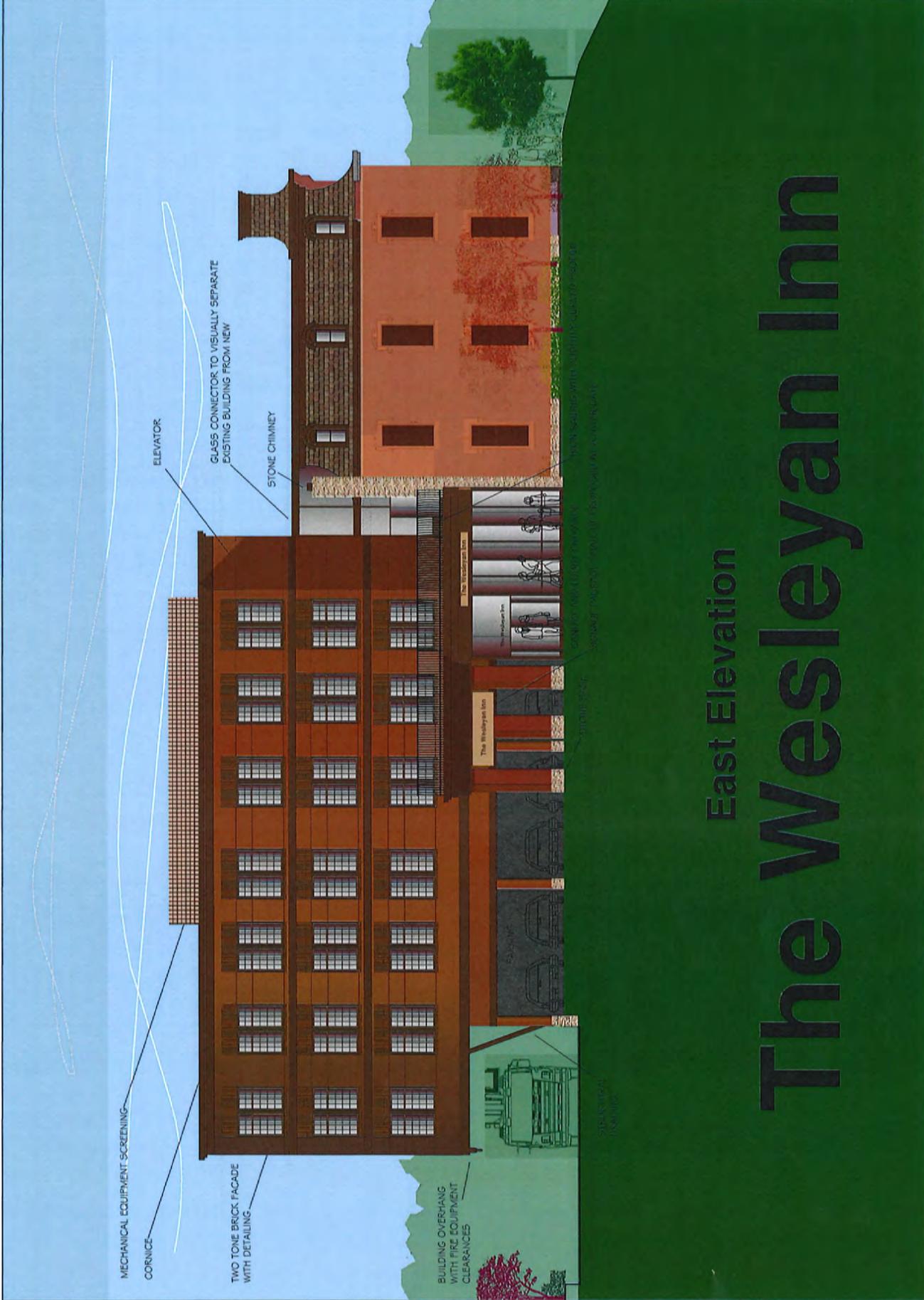


PLAN PREPARED BY:  
WILLIAMS STREET  
CIVIL ENGINEER  
0811 201 0008  
WWW.ELMASIAN.HT



DATE	BY	DESCRIPTION





MECHANICAL EQUIPMENT SCREENING CORNICE

ELEVATOR

GLASS CONNECTOR TO VISUALLY SEPARATE EXISTING BUILDING FROM NEW

STONE CHIMNEY

TWO TONE BRICK FACADE WITH DETAILING

BUILDING OVERHANG WITH FIRE EQUIPMENT CLEARANCES

East Elevation

# The Wesleyan Inn

09/17/18

East Elevation

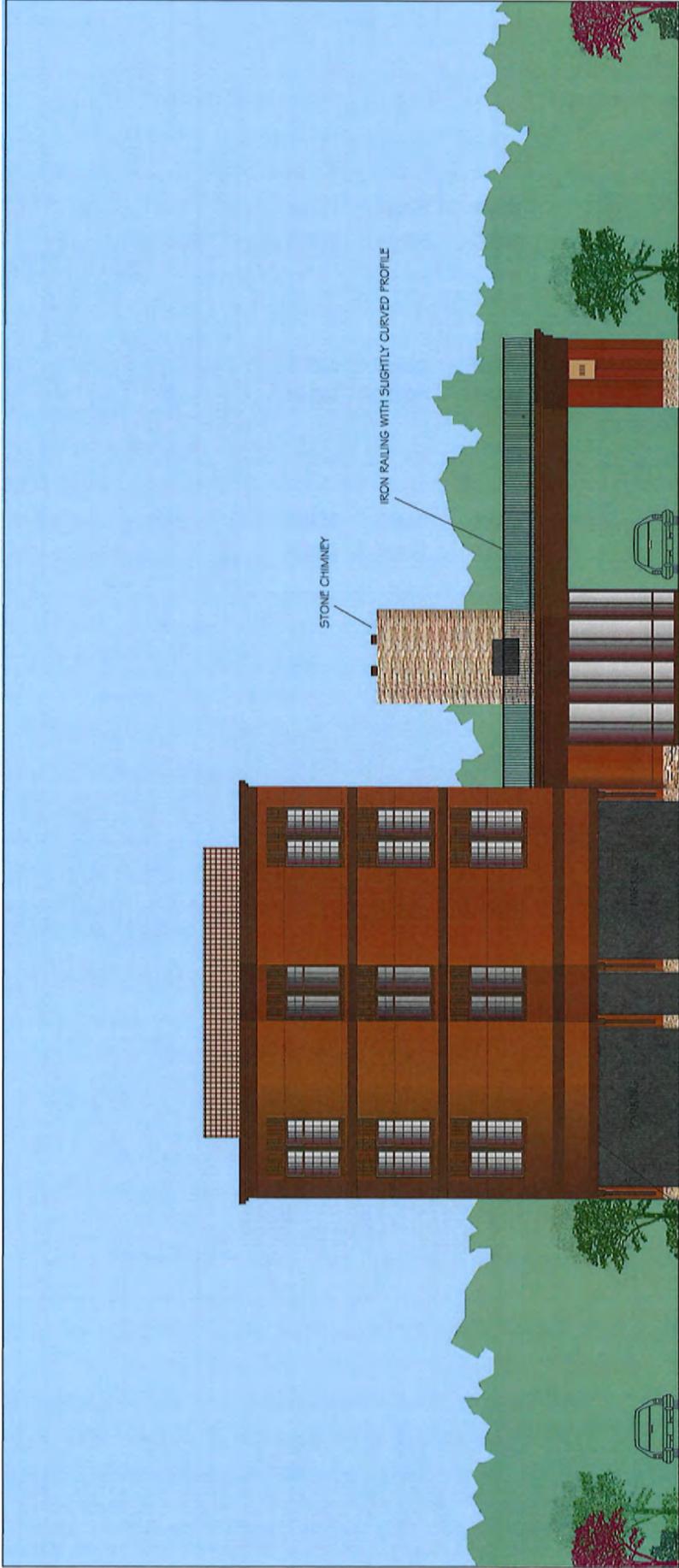
A-1



WEST ELEVATION  
ARCHITECTURAL  
RENDERING

WEST ELEVATION

# The Wesleyan Inn



STONE CHIMNEY

IRON RAILING WITH SLIGHTLY CURVED PROFILE

South Elevation

# The Wesleyan Inn

09/17/16

South  
Elevation

A-3







## PLANNING COMMISSION / STAFF REPORT

CASE NUMBER: 2018-2459-2461

REQUEST: Multiple Requests

PROJECT: Belmont Place

MEETING DATE: October 17, 2018

### APPLICANT/OWNER

Stavroff Land & Development Inc./Glenn Road Capital  
6689 Dublin Center Drive  
Dublin, Ohio 43017

### REQUEST

2018-2459: A request by Stavroff Land Development, Inc., for approval of development text amendment to Ordinance 08-113 for Belmont Place (Sub-Area A) for 102 single family lots and 5 commercial out lots located north of Peachblow Road and east of Glenn Parkway on approximately 49.6 acres zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Residential District and Agricultural District with a Planned Mixed Use Overlay District).

2018-2460: A request by Stavroff Land Development for approval of Preliminary Development Plan for Belmont Place (Sub-Area A) for 102 single family residential lots and 5 commercial out lots located north of Peachblow Road and east of Glenn Parkway on approximately 49.6 acres zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Residential District and Agricultural District with a Planned Mixed Use Overlay District).

2018-2461: A request by Stavroff Land Development for approval of Preliminary Subdivision Plat for Belmont Place (Sub-Area A) for 102 single family residential lots and 5 commercial out lots located north of Peachblow Road and east of Glenn Parkway on approximately 49.6 acres zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Residential District and Agricultural District with a Planned Mixed Use Overlay District).

### PROPERTY LOCATION & DESCRIPTION

The subject properties are located on the east side of Glenn Parkway and north of Peachblow Road. The zoning of the subject properties, which is in Sub-Area A per the May 2009 rezoning (Ordinance 08-113), are B-3, R-6 and A-1 PMU. The surrounding zoning to the north is PO/I PMU (Planned Office/Institutional with a Planned Mixed Use Overlay District) and the zoning to the east is R-3 PMU in the City while the properties to the west and south are in the township zoned I (Industrial District) to the west and FR-1 (Farmland District) to the south. Sub Area A in the development text amendment contains approximately 50 acres while in the original proposal contained approximately 62 acres (the difference was absorbed in the Sub-Area B development and right-of-way). The subject property is vacant farmland with some trees along the northern property line and some scattered in the southern portion of the site. In addition, the subject development is located within the Delaware South New Community Authority, Evans Residential TIF District and Southern Point Commercial TIF District. Also it is located within the southeast Highland Sanitary Sewer area.

### BACKGROUND/PROPOSAL

On May 11, 2009 City Council approved Ordinance's 08-112 and 08-113 which approved a Conditional Use Permit and Rezoning adding a PMU Overlay District (Planned Mixed Use District) on the subject 109 acres. The PMU was divided into Sub Areas A & B which contained 62 and 47 acres respectively (now approximately 56 and 53 acres respectively). Sub Area A permits residential, office, retail services, community facilities and recreational/open space uses while Sub Area B permits residential, office, community facilities and recreational/open space uses.

In December 2013, Planning Commission and City Council approved Preliminary Development Plans and Preliminary Subdivision Plats (Ordinances 13-76 & 13-77) for Sections 1-3 which contained 74 single family lots on approximately 31.5 acres which also included a concept plan of today's Section 4 and 5. Then in March 2014, Planning Commission and City Council approved Final Development Plans for Sections 1-3 (Ordinance 14-16) and Final Subdivision Plat for Section 1 (Ordinance 14-17). Finally in April 2016, Planning Commission and City Council approved Final Subdivision Plats for Sections 2 and 3 (Ordinances 16-30 & 16-31 respectively).

In June 2017, Planning Commission and City Council approved a Preliminary Development Plan, Preliminary Subdivision Plat, Preliminary Subdivision Plat and Final Development Plan for Sections 4 and 5 and Final Subdivision Plat approval for Sections 4 which contained the remaining 21.5 acres of Sub-Area B with 72 single

family lots which is located just north of Sections 1-3. Then in July 2018, Planning Commission and City Council approved the Final Subdivision Plat for Section 5.

Now the applicant is proposing to develop Sub-Area A which contains approximately 50 acres and permits attached single family/patio/condominium units, multi-family, commercial and office uses but not detached single-family uses. Since 2009, the market has changed significantly and now the developer is requesting a zoning text amendment to allow detached single-family, patio, cluster or condominium dwelling units. The developer is proposing 102 single family lots and five commercial out lots in Sub-Area A. Sub-Area A includes a small triangle piece of land roughly bounded today by US 23, Glenn Parkway, Peachblow Road and Old Peachblow Road which encompasses approximately 5.33 acres. This area is envisioned as likely commercial or institutional uses but would have to proceed through Preliminary and Final Development Plan review in the future when and if the development materializes. The original concept was envisioned likely to be a commercial retail center and/or an apartment complex.

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#### STAFF ANALYSIS

- **COMPREHENSIVE PLAN AMENDMENT:** The Comprehensive Plan Future Land Use Map recommends Mixed Use future land use for this and the surrounding properties. The existing zoning complies with this mixed land use recommendation by mixing commercial, office, and residential uses along with the proposed mix of residential densities and unit types in this sub-area. Therefore, the proposed single family subdivision and commercial out lots would achieve compliance with the land use plan.
- **ZONING:** As mentioned above, Sub-Area A is zoned B-3, R-6 and A-1 PMU. From a procedural perspective, a Development Text Amendment, Preliminary Development Plan, Final Development Plan, Preliminary Subdivision Plat and Final Subdivision Plat for Belmont West would require Planning Commission and City Council approval to initiate any construction.

The proposed development text amendments to Sub-Area A of the existing approved development text (Ordinance 08-113) are relatively minor but required to allow the proposed residential and commercial mix of uses in Sub-Area A. The development text revisions would allow detached single family, patio, cluster or condominium dwelling units and two family dwelling units while maintaining commercial uses for the five out lots fronting Glenn Parkway. The amendment would also cap the number of detached single family units (102) and two family dwelling units or attached single family units (250) along with identifying the minimum residential lots standards for the development. From a staff perspective, the proposed detached single family lots would be less dense and a more appropriate option than the currently permitted 400 apartments in Sub-Area A.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on a technical review by the Engineering Department once a complete plan set is submitted for review.
- **UTILITIES:** Both water and sewer utilities would be public and would be extended into Sub-Area A. Also, the development would have to comply with the current storm water requirements. A dry detention pond should be utilized for any stormwater ponds adjacent to Glenn Parkway. If a dry detention pond is not feasible and a wet retention pond is required, the pond shall be located as far as possible from the roadways and a vehicle barrier approved by the City Engineer shall be included along Glenn Parkway if the location of the pond is approximate to the roadway. Furthermore, a pond barrier shall be included along proposed ponds adjacent to Crownover Way and the commercial out lot access road as well as along Peachblow Road adjacent to the existing pond in the Lot 5 outparcel. The subject development is located in the South East Highland Sanitary Sewer District which requires an additional capacity charge of \$3,200 per dwelling unit.
- **ROADS AND ACCESS:** The proposed residential and commercial development would have full movement curb cuts from Glenn Parkway (at Crownover Way) and Peachblow Road (at Crownover Way) as the primary access points to the development. There shall be no access directly off Glenn Parkway to the commercial out lots but the possibility of a right-in/right-out only between out lot 2 and 3 may be revisited with the development of the out lots. However, the private road located behind the four out lots would have a right-in/right-out on Peachblow Road. If and when warranted, the City would install a traffic signal at the Glenn

Parkway and Peachblow Road intersection and at Glenn Parkway at the northern most access point to the Belmont West Subdivision, per previous agreements.

The internal public road network would be a looped road configuration with three streets bisecting in an east/west direction with exit locations at the aforementioned curb cuts on Glenn Parkway and Peachblow Road. Out lot 5 located south of Peachblow Road and fronting US 23 would have a full movement curb cut on Peachblow Road located just east of the retention pond and potentially a right-in/right-out curb cut located just west of retention pond depending on the type of development on lot 5. All the streets would be public and would have to comply with the minimum engineering standards except the private street located on the east side of the four commercial out lots north of Peachblow Road. The private street would have to be constructed to public standards per the City Engineer.

- **SITE LAYOUT:** There are five proposed commercial out lots located along Glenn Parkway with four out lots located north of Peachblow Road (all approximately 1 acre in size) and one out lot located south of Peachblow Road which is 5.33 acres in size plus a 2.45 acre detention pond. There are two existing vacant houses on out lot 5 that are vacant and in disrepair and shall be demolished concurrent with the first development anywhere in Sub-Area A. The 102 single family lot subdivision is located east of the commercial out lots and north of Peachblow Road in a typical subdivision design with a looped road configuration with three streets bisecting the looped road in an east/west direction with double loaded lots. Reserve B serves as a buffer for the residential single family lots from the commercial out lots to the west and Peachblow Road to the south and has a retention pond located on the northern portion of the reserve. Reserve A is located just north of the full movement curb cut on Glenn Parkway which contains a retention pond and the main entrance subdivision signage. A retention pond is located on the eastern portion of out lot 5 just south of Peachblow Road and there is an existing retention pond located just northwest of the Peachblow Road and Crownover Way intersection. Reserve C is a remnant parcel of open space located on the northeastern portion of the site adjacent to Section 5 of the Belmont Place Subdivision.

The revised development text has the following detached single family lot requirements: 7,700 square foot minimum lot, 65 foot minimum lot width at building line, 115 foot minimum lot depth, 25 and 30 foot front yard setback (lots 19-56 have 25 foot front yard setbacks), 8 foot side yard setbacks; 30 foot rear yard setbacks, 1,500 square foot minimum house size and 25 foot building and pavement minimum perimeter setback. In addition, the corner lots would need to be oversized by 30% (85 foot wide) to comply with the current zoning code. The commercial out lots range in size from 1.0 to 5.33 acres and would have to meet the land use and bulk area and setback requirements of the approved development text.

- **DESIGN** The subject development has approved development text that requires specific design requirements for the detached single family residential houses and for the commercial out lot buildings. The residential houses would not only have to meet the minimum standards of the Residential Development Design Criteria and Performance Standards in Chapter 1171 but also the more restrictive residential architectural standards in the approved development text. Some of the upgrades include: 1.) At least 50% of the front elevation of all homes shall consist of approved natural materials as defined in the text (stucco is not considered a natural material); 2.) Upgraded garage door standards for doors that face a public street; 3.) No blank walls; 4.) The same model of home or the same exterior color of the home shall not be placed on adjacent lots and shall not be placed on facing lots. The commercial buildings on the out lots would have to achieve compliance with the approved development text and would be reviewed during the Final Development Plan approval process for each out lot.
- **OPEN SPACE & PARKLANDS** The subject development would have three reserve areas. Reserve A, 1.6 acres in size, is located on the north side of the full movement curb cut on Glenn Parkway and is a passive open space with a retention pond and the main entrance sign for the development. Reserve B is the largest open space at 5.8 acres and serves a dual purpose as a buffer and active open space. The open space has overlapped continuous 4 to 6 foot high mounds with landscaping providing buffer adjacent to the commercial out lots to the west and intermittent 4-6 high mounding with landscaping along Peachblow Road to the south along with having a bike path extended to and looped through the reserve area. Along the bike path within the reserve is a fit-trail with ten stations and there is a retention pond on the northern side of the reserve. Reserve C is a 0.2 acre remnant piece of property that is passive open space located on the northeastern portion of Sub-Area A adjacent to Section 5 (it abuts a passive open space in Section 5 to the east).

- **LANDSCAPING PLAN:** The applicant has submitted a comprehensive landscaping plan that includes street trees, landscaping in Reserves A and B and mounding with landscaping along Peachblow Road. The developer is proposing street trees along all the public residential streets per the zoning code. In Reserve A, the developer is proposing a ground sign with landscaping to create an aesthetically pleasing entrance to the Belmont Place Subdivision from Glenn Parkway. As mentioned above in Reserve B, the developer is proposing overlapped continuous 4 to 6 foot high mounds with landscaping providing buffer adjacent to the commercial out lots to the west and intermittent 4-6 high mounding with landscaping and an intermittent three rail fence along Peachblow Road to the south along with having a bike path extended to and looped through the reserve area. Also, the developer is proposing landscaping with an intermittent three rail fence along the south side of Peachblow Road between the full movement curb cut and right-in only curb to out lot 5 that fronts US 23 and Peachblow Road. Furthermore the appropriate landscaping including street trees along Glenn Parkway would be required for each commercial out lot when approved through the Final Development Plan process. All evergreen trees shall be a minimum 4 foot high at installation and the deciduous trees shall be a minimum 1.75 inch caliper. The maintenance of the reserve areas and the mounding and associated landscaping shall be the responsibility of the Homeowners Association. It is imperative that the Applicant coordinate the landscaping plan and street tree plan with the engineering site development plan so that the landscaping does not impeded visibility at intersections or the visibility of any traffic control signs. The Shade Tree Commission would have to review and approve the aforementioned plans.
- **TREE REMOVAL & REPLACEMENT:** The site is essentially open farmland with the only trees on the site located on the northern property line and some scattered along the southern portion of the site. The applicant submitted a tree survey for Sub-Area A that indicates they are preserving 732 caliper inches of trees and removing 79 caliper inches of trees with 19 caliper inches of trees considered dead, damaged or diseased. The proposed trees to be removed are located in out lot 4 of the commercial development. However, until the subject development has a final grading plan approved, the exact numbers of trees removed would not be determined especially along the northern property line. Therefore, any final tree replacement calculations would have to occur during Final Subdivision Plat approvals for the residential portion of the development and during the Final Development Plan process for the commercial out lots.
- **PEDESTRIAN CONNECTIVITY:** The applicant constructed a bike path along Peachblow Road along Section 1 of Belmont Place and the bike path shall be extended westward across Glenn Parkway per the adopted Bicycle and Pedestrians Master Plan 2027. The applicant is proposing a bike path from almost the eastern portion of Reserve B to the western and northern portion of the subject reserve. As mentioned above, the bike path shall be extend west to Glenn Parkway along Peachblow Road (through commercial out lot 4) and shall be extended north and west through Reserve A to Glenn Parkway to connect to the City bike path network. In addition, the bike path shall be extended from Section 1 of Belmont Place from the current terminus at McNamara Loop across Crownover Way along the northern portion of Reserve B (in place of a sidewalk in this area) to the proposed bike path location on the submitted plans. A sidewalk shall be required along the frontage of the commercial out lots along Glenn Parkway when those lots are developed. In addition, all public streets within the subdivision shall have sidewalks on both sides of the street.
- **SIGNAGE:** The applicant is proposing an entrance sign for the residential subdivision on the north side of the full movement curb cut on Glenn Parkway in Reserve A. The sign would have a limestone base of 2.5 feet with a sign area of almost 36 square feet (16.3 ft x 2.2 ft). The limestone base of the sign shall be Delaware blue limestone or equivalent as approved by staff. In addition, there would also be small instructional signage along the bike path for within Reserve B for the fit –trail per the submitted plan. Any signage for the commercial out lots shall achieve compliance with the approved development text and shall be submitted during the Final Development Plan process
- **LIGHTING PLAN.** The lighting plans would be required for each section of the residential subdivision prior to Final Subdivision Plat approval and for each commercial out lot prior to Final Development Plan approval that would have to achieve compliance with the zoning code and approved development text and be approved by the Chief Building Official.
- **PHASING:** The applicant indicated the site would likely be developed in four phases. The residential development would be Phase 1 along northern portion of the site (Sub-Area A) and Phase 2 would be the

southern portion of the site. The four commercial out lots along Glenn Parkway north of Peachblow Road would be Phase 3 while Phase 4 would be the commercial out lot south of Peachblow Road fronting US 23.

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**STAFF RECOMMENDATION (2018-2459 – REZONING AMENDMENT)**

Staff recommends approval of a request by Stavroff Land Development, Inc., for a Development Text Amendment to Ordinance 08-113 for Belmont Place (Sub-Area A) for 102 single family lots and 5 commercial out lots located north of Peachblow Road and east of Glenn Parkway on approximately 49.6 acres zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Residential District and Agricultural District with a Planned Mixed Use Overlay District), with the following condition that:

1. Any change of land use and/or bulk and setback requirements shall require conformance to all provisions of the Development Text and any conditions of approval.

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**STAFF RECOMMENDATION – (2018-2460 PRELIMINARY DEVELOPMENT PLAN)**

Staff recommends approval of request by Stavroff Land Development for a Preliminary Development Plan for Belmont Place (Sub-Area A) for 102 single family residential lots and 5 commercial out lots located north of Peachblow Road and east of Glenn Parkway on approximately 49.6 acres zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Residential District and Agricultural District with a Planned Mixed Use Overlay District), with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The private street located east of the commercial out lots shall be constructed to public standards.
3. The off-site stormwater improvements shall comply with the minimum City and County regulations.
4. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
5. The proposed detention ponds shall achieve compliance with the minimum engineering requirements.
6. The single family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
7. The commercial buildings on the out lots shall achieve compliance with the development text and applicable sections of the current zoning code.
8. In Reserve B, the developer shall construct overlapped continuous 4 to 6 foot high mounds with landscaping providing a buffer adjacent to the commercial out lots to the west and shall construct an intermittent 4-6 high mound with landscaping and an intermittent three rail fence along Peachblow Road to the south per the submitted plan.
9. All evergreen trees shall be a minimum 6 foot high at installation and the deciduous trees shall be a minimum 1.75 inch caliper. The maintenance of the reserve areas and the mounding and associated landscaping shall be the responsibility of the Homeowners Association
10. Any landscape plans shall be submitted and approved by the Shade Tree Commission.
11. Any tree removal and/or replacement requirements shall achieve compliance with Chapter 1168 Tree Preservation Regulations and shall be required prior to Final Subdivision Plat approvals for each section of the residential development and prior to the Final Development Plan approval for each commercial out lot.
12. The proposed bike path shall be extended west to Glenn Parkway along Peachblow Road (through commercial out lot 4) and shall be extended north and west through Reserve A to Glenn Parkway to connect to the City bike path network. In addition, the bike path shall be extended from Section 1 of Belmont Place Subdivision from the current terminus at McNamara Loop across Crownover Way along the northern portion of Reserve B (in place of a sidewalk in this area) to the proposed bike path location on the submitted plans.
13. All lighting plans shall achieve compliance with the approved development text and current zoning code and be approved by the Chief Building Office during the Final Subdivision Plat process for the

- residential development and Final Development Plan process for the commercial out lots.
14. The entrance ground sign for Belmont Place Subdivision along Glenn Parkway shall have a Delaware blue vein limestone base or equivalent as approved by staff.
  15. Any signage for the commercial out lots shall achieve compliance with the approved development text and current zoning code.
  16. The existing vacant single family houses on commercial out lot 4 shall be demolished prior to building permit approval for any residential or commercial building within Sub-Area A.
  17. These sections of the Belmont Place Subdivision shall be placed in the Delaware South New Community Authority prior to issuance of building permits, is located within the Evans Residential TIF district, is located within the Southern Point Commercial TIF District and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling unit.

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**STAFF RECOMMENDATION – (2018-2461 PRELIMINARY SUBDIVISION PLAT)**

Staff recommends approval of a request by Stavroff Land Development for a Preliminary Subdivision Plat for Belmont Place (Sub-Area A) for 102 single family residential lots and 5 commercial out lots located north of Peachblow Road and east of Glenn Parkway on approximately 49.6 acres zoned B-3, R-6 and A-1 PMU (Community Business District, Multi-Family Residential District and Agricultural District with a Planned Mixed Use Overlay District), with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The private street located east of the commercial out lots shall be constructed to public standards.
3. The off-site stormwater improvements shall comply with the minimum City and County regulations.
4. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
5. The proposed detention ponds shall achieve compliance with the minimum engineering requirements.
6. The single family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
7. The commercial buildings on the out lots shall achieve compliance with the development text and applicable sections of the current zoning code.
8. In Reserve B, the developer shall construct overlapped continuous 4 to 6 foot high mounds with landscaping providing a buffer adjacent to the commercial out lots to the west and shall construct an intermittent 4-6 high mound with landscaping and an intermittent three rail fence along Peachblow Road to the south per the submitted plan.
9. All evergreen trees shall be a minimum 6 foot high at installation and the deciduous trees shall be a minimum 1.75 inch caliper. The maintenance of the reserve areas and the mounding and associated landscaping shall be the responsibility of the Homeowners Association
10. Any landscape plans shall be submitted and approved by the Shade Tree Commission.
11. Any tree removal and/or replacement requirements shall achieve compliance with Chapter 1168 Tree Preservation Regulations and shall be required prior to Final Subdivision Plat approvals for each section of the residential development and prior to the Final Development Plan approval for each commercial out lot.
12. The proposed bike path shall be extend west to Glenn Parkway along Peachblow Road (through commercial out lot 4) and shall be extended north and west through Reserve A to Glenn Parkway to connect to the City bike path network. In addition, the bike path shall be extended from Section 1 of Belmont Place Subdivision from the current terminus at McNamara Loop across Crownover Way along the northern portion of Reserve B (in place of a sidewalk in this area) to the proposed bike path location on the submitted plans.
13. All lighting plans shall achieve compliance with the approved development text and current zoning code and be approved by the Chief Building Office during the Final Subdivision Plat process for the

- residential development and Final Development Plan process for the commercial out lots.
14. The entrance ground sign for Belmont Place Subdivision along Glenn Parkway shall have a Delaware blue vein limestone base or equivalent as approved by staff.
  15. Any signage for the commercial out lots shall achieve compliance with the approved development text and current zoning code.
  16. The existing vacant single family houses on commercial out lot 4 shall be demolished prior to building permit approval for any residential or commercial building within Sub-Area A.
  17. These sections of the Belmont Place Subdivision shall be placed in the Delaware South New Community Authority prior to issuance of building permits, is located within the Evans Residential TIF district, is located within the Southern Point Commercial TIF District and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling unit.

**COMMISSION NOTES:**

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**Glenn Road Capital, LLC**  
**BELMONT PLACE SUBDIVISION**  
**(Revisions to Original Ordinance 08-113)**

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**Planned Mixed Use Development Text & Development Standards**  
**October 17, 2018**~~September 6, 2018~~~~May 8, 2009~~

General Overview

Glenn Road Capital, LLC is proposing a mixed-use development containing approximately 109 +/- acres. The intent of the project will be to provide functional and aesthetically pleasing commercial uses including office, retail, and service-oriented development along with a variety of residential uses which provide multiple housing options, such as single family homes, patio homes, attached or detached condominiums, and multi-family housing (e.g. mid-rise garden and townhome apartments). Residential developments shall include small walkable neighborhood blocks, public green spaces, cohesive architectural styles and a wide range of dwelling sizes and types. It is the intent of the project to compliment the existing and future planned uses along Glenn Parkway and shall consist of quality design, materials and architectural standards.

Property Description

The property consists 109.93 +/- acres and is made up of three parcels: the Glenn Road Capital, LLC property, (parcel #41833001032000 – 103.071 acres), the Peachblow Associates, LLC property (parcel #41944001002000 – 0.80 acres) and a portion of the Joint Vocation School District property (parcel #41944001001000 – 6.057 acres). The latter two parcels are presently not located within the City of Delaware corporation limits. However, Glenn Road Capital, LLC has purchased or has obtained an option to purchase these parcels and will incorporate them into this development through annexation to the City of Delaware and requesting this development text be applied to those parcels as latter set forth. The site is bordered by the Grady Memorial Hospital property (parcel #41832001031000) to the north and east, Peachblow Road to the south, and the future Glenn Parkway to the west. See attached Exhibit “A”.

General Development Standards

Upon the approval of this Development Text, it is intended that an overall preliminary development plan for an entire Sub Area, as defined below, and the first phase or phases of final development plan(s) for each Sub Area(s) may be submitted, considered and processed contemporaneously at the Developers election, with subsequent and remaining final development plan(s) for subsequent phase(s) being considered and approved thereafter for each Sub Area(s) as proposed. Illustrative examples of general development patterns that may emerge are attached as Exhibits “B1”, “B2” and “B3”.

**Minor Modifications.** Once a Preliminary or Final Development Plan has been approved by City Council, the Director of Planning and Community Development may approve any minor modification to the plan. Minor modifications for the purposes of this text shall mean any modification of the approved Preliminary or Final Development Plan that results in:

1. Any modification that is not considered a major modification by this Zoning Text or by determination of the Director of Planning & Community Development.
2. Structural or design alterations that do not alter the overall design intent of the building or development.

In the event the Director of Planning and Community Development or the applicant are unsure whether a change is a minor or a major modification, or the parties are unable to agree, each party reserves the right to submit to the Planning Commission and/or City Council for final determination and/or approval of such minor or major modification.

**Major Modifications.** Once a Preliminary or Final Development Plan has been approved by City Council, any major modification to the plan shall require the approval of a revised Preliminary or Final Development Plan by City Council. Major modifications for the purposes of this text shall mean any modification of the approved Preliminary or Final Development Plan that results in:

1. Any major increase in the non-residential building area (a major increase in building area is defined as an increase of 10% or more in the preliminary aggregate non-residential building area), including any increase that creates more than 2 individual retail or service establishments equal to or greater than 100,000 square feet in gross floor area each.
2. Any major increase in the number of dwelling units allowed by this Development Text. Major increase in the number of dwelling units shall mean an increase of 10% or more in the total number of dwelling units allowed by this Development Text.
3. Any major increase in the type of dwelling units allowed by this Development Text. Major increase in the type of dwelling units shall mean an increase of 10% or more in the type of dwelling unit allowed by this Development Text.
4. Major change in the approved location of land uses or land use sub-areas.
5. Substantial alteration of the basic geometry, including right-of-way width, and/or operation characteristics of any element of the approved public and private street pattern, access points, parking facilities, service access, trash storage facilities, and system of pedestrian paths that results in a change in operating characteristics or character.

**Sub Area Descriptions**

The property shall consist of two sub areas. Sub Area A contains approximately 62 +/- acres and Sub Area B contains approximately 47 +/- acres.

1. Sub Area A: Sub Area A is the western portion of the Glenn Road Capital Tract bounded by the Grady Memorial Hospital property to the north, Peachblow Road to the south, Sub Area B to the east (further defined herein) and the ~~future~~-Glenn Parkway to the west (5062 +/- acres). See attached Exhibit "C".
2. Sub Area B: Sub Area B is the eastern portion of the Glenn Road Capital Tract bounded by the Grady Memorial Hospital to the north and east, Sub Area A to the west, and Peachblow Road to the south (5547 +/- acres). See attached Exhibit "C".

**Permitted Uses**

The following uses shall be permitted:

Sub Area A:

1. Residential
  - a. Attached single family/patio/condominium units
  - b. Multiple family garden and townhome apartments (single story or mid-rise).
  - c. Dwelling units on upper floors of a commercial or office building.

- d. Community services, open space and recreation structures and spaces such as swimming pools, club houses, parks, playgrounds and equipment, community buildings, etc. and associated off-street parking areas.
  - e. Uses customarily accessory hereto
  - f. Temporary uses as authorized by the City of Delaware zoning code.
  - g. Detached single family, patio, cluster or condominium dwelling units
  - h. Two family dwellings
  - i. Other accessory uses that are customarily found in a residential community such as sheds, swimming pools, recreation equipment, etc.
- a. 2. Office and Professional Services
    - Offices – administrative, business and professional
    - b. Financial institutions and banks (excluding check cashing and payroll advance)
    - c. Medical and dental offices, health and allied services
  - 3. Retail Services
    - a. Retail and service establishments in a completely enclosed building with a minimum gross floor area of less than 100,000 square feet
    - b. Retail and service establishments in a completely enclosed building with a minimum gross floor area of 100,000 square feet or greater
    - c. Restaurant
    - d. Drive-thru or walk-up ATM (stand-alone facility)
    - e. Veterinary office (without kennel)
    - f. Veterinary hospital (with or without kennel). Outside runs permitted if sufficiently buffered and as approved as part of a final development plan.
  - 4. Automotive and Transportation
    - a. Gasoline station
    - b. Automotive repair garage as part of a new car sales dealership only
    - c. Automotive sales and rental. Used car sales only as part of a new car dealership
    - d. Automotive service station, light repair and routine maintenance only
    - e. Drive-thru facility associated with any principal permitted use
    - f. Car wash, only as accessory to a permitted use
  - 5. Outdoor display/storage
    - a. Outdoor display
    - b. Outdoor storage
    - c. Garden Center, only as an accessory to permitted uses 3a. and 3b.
  - 6. Community Facilities
    - a. Places of worship
    - b. Schools, public or private
    - c. Schools, trade, business or cultural arts
    - d. Library
    - e. Public cultural institutions and art galleries
    - f. Day care center, child/adult
    - g. Congregate care facility
    - h. Nursing home
  - 7. Recreation/Open Space and Entertainment
    - a. Parks and playgrounds

- b. Indoor recreation and entertainment, not including principal for profit, non-charitable, skill based gaming oriented towards adults and designed to substantially mimic gambling devices such as but not limited to spinning skill stop games. Traditional video arcade type gaming restaurant/party center arrangements, such as Dave & Buster's, Magic Mountain, and Chuck E. Cheese are permitted.
- c. Health club

- 8. Lodging
  - a. Hotel/motel

Sub Area B:

- 1. Residential
  - a. Detached single family, patio, cluster or condominium dwelling units
    - Two family dwellings
  - c. Attached single family, patio, cluster, or condominium dwelling units
  - d. Single story or mid-rise (2-3 stories) multiple-family apartments, such as garden style (flats) or townhomes
  - e. Dwelling units on upper floors of a commercial or office building
  - f. Community services, open space and recreation structures and spaces such as swimming pools, club houses, parks, playgrounds and equipment, community buildings, etc. and associated off-street parking areas
  - g. Other accessory uses that are customarily found in a residential community such as sheds, swimming pools, recreation equipment, etc.
  - h. Temporary uses as authorized by the City of Delaware zoning code.
- 2. Office and Professional Services
  - a. Offices – administrative, business and professional
  - b. Financial institutions and banks (excluding check cashing and payroll advance)
  - c. Medical and dental offices, health and allied services
- 3. Lodging
  - a. Hotel/motel with or without food and beverage
- 4. Community Facilities
  - a. Day care center, child or adult
  - b. Congregate care facility
  - c. Nursing home
- 5. Recreation/Open Space and Entertainment
  - a. Parks and playgrounds
  - b. Indoor recreation and entertainment, not including principal for profit, non-charitable, skill based gaming oriented towards adults and designed to substantially mimic gambling devices such as but not limited to spinning skill stop games. Traditional video arcade type gaming restaurant/party center arrangements, such as Dave & Buster's, Magic Mountain, and Chuck E. Cheese are permitted.
  - c. Health club
  - d. Non-commercial recreation facility

**Additional Standards for Certain Permitted Uses**

Any permitted or accessory use listed below shall meet all such requirements listed below for that permitted use. If any requirement set forth in this text for that specific permitted use is not met, the permitted use shall be considered a Conditional Use and a Conditional Use Permit must be approved as set for in the Zoning Code.

1. Retail and service establishments with a minimum gross floor area of 100, 000 square feet or greater.
  - a. There shall be no more than two (2) "Big Box" retail users permitted. "Big Box" retail use shall be defined as "a single user that exceeds 100,000 square feet of continuous gross floor area (interior space) including a garden center". A Big Box retail user could occur in either a stand alone building or as part of a larger (attached) multi-user building. Additionally, any single Big Box use (per occurrence) shall be limited to a maximum of 200,000 square feet of continuous gross floor area (interior space) to include a garden center.
  - b. Within 30 days of vacation of a "Big Box" user, the property owner shall remove any sign, including any structure or anchorage devices, and repair any exterior surfaces when a sign is removed, including the removal of any ghost signs and temporary signs, except for "For Sale or Lease" signs. Additionally the property owner shall maintain and operate the exterior of the building and property in a manner that is consistent with both the maintenance of the rest of the overall development.
  - c. In the event a Big Box retail development occurs, the development shall contribute to the establishment or enhancement of the community and public spaces by providing at least two community amenities such as a gateway feature, network of pedestrian paths, patio/seating area, pedestrian plaza with benches, outdoor play area, kiosk area, water feature, clock tower, steeple, or other such deliberately shaped area and/or focal feature or amenity that adequately enhances such community and public spaces. Any such feature shall not be constructed of materials that are inferior to the principal materials of the building and landscape
  
2. Stand-Alone ATM Facility.
  - a. The building housing the ATM shall be designed (e.g. architectural details, materials, and colors) and landscaped in a manner substantially similar with the overall design of the development.
  - b. There shall be adequate and safe standing space for persons waiting to use the facility.
  - c. Lighting and signage shall be limited, while not forgoing security and safety.
  
3. Gasoline Station.
  - a. Any canopy or weather cover associated with this use shall be designed in manner that is substantially similar with the overall development and shall not include exposed metal support columns.
  - b. The principal building shall utilize consistent roof lines and building materials compatible with the standards of the overall commercial development.
  - c. Gas pumps shall only be permitted as follows (see Exhibit "H" for illustrative example):
    - i. Pumps shall be located with the pumps and the building perpendicular to the right-of-way, in which case the pumps shall not extend beyond the building towards the right-of-way
    - ii. Pumps shall be located with the pumps behind the building with the building located between the pumps and the right-of-way
    - iii. Pumps shall not be permitted to be located in front of the building facing the right-of-way

4. Drive-Thru Facility Associated with any Permitted use
  - a. A covered drive-thru area or menu board may be permitted in the front of a building, except for the front of any building located along Glenn Parkway.
  - b. Any canopy or weather cover associated with this use shall be designed in manner that is substantially similar with the overall development and shall not include exposed metal support columns.
  - c. All drive-thru menu boards shall be screened to minimize views from public roads.
  - d. Retail Tenants occupying the end of a building or on outparcels may be permitted to have drive-thru unit(s) on the end of the building.
  - e. Drive-thru stacking requirements shall be illustrated on the Final Development Plan and shall be sufficient for the intended use i.e. meets industry standard and allows the site to function properly from a transportation perspective.
  - f. The drive-thru unit(s) shall be detailed with applicable architectural standards and in a manner comparable to and consistent with the architecture of the balance of the development.
5. Car Wash
  - a. Car wash structures shall utilize consistent roof lines and building materials compatible with the standards of the overall commercial development and principal buildings.
6. Outdoor Storage & Outdoor Display for Big Box Users, Grocery and/or Anchor stores
  - a. Permanent outdoor storage and display in the parking area in front of the building is prohibited.
  - b. Seasonal outdoor displays are permitted in parking areas to the front of the building for live vegetation only. Such area location shall be determined with the Final Development Plan approval and shall be restricted as follows:
    - i. it shall not exceed 15,000 square feet
    - ii. it shall be located in the front of the building or to the side
    - iii. it shall be enclosed by decorative fencing.
    - iv. no material shall extend above the top of the fencing
  - c. Mulch, soil, seeds, or other items may be permitted in the parking area on the side of the building with Final Development Plan approval.
  - d. Outdoor display of merchandise is permitted in the walkway area in front of and to the side of the building in limited area to be approved as part of the Final Development Plan. Such outdoor display areas must maintain a minimum pedestrian walkway of 5 feet in width (measured between the front of the building and parking spaces or drive aisle).
  - e. No display items shall be mounted to the side of the building.
7. Garden Center
  - a. Garden centers are considered accessory structures, which are attached to the principal buildings and enclosed on four sides including canopies if desired. Such structures shall be substantially similar in design with the associated retail structure.
8. Day Care Center, Child or Adult
  - a. For the protection of children and adults enrolled in the day care center, all outdoor activity areas shall be enclosed by a fence at a height approved by Planning Commission and City Council. An entry gate shall be securely fastened.
  - b. A drop-off/pick-up area at the front and or side of the principal building that will not impede traffic on or off the site shall be approved to ensure the safety of the children and adults.
  - c. The location and design of the day care center shall provide for the protection of patrons from the traffic, noises, and other hazards of the area and/or the arterial street location.
  - d. Any day care shall not be located directly adjacent to a residential use.
  - e. All day cares must be in compliance with state regulations and rules

- 9. Office and Professional Services in Sub Area B
  - a. Use groups 2a and 2c defined within section Sub Area B Permitted Uses herein shall be permitted entirely in Sub Area B.
  - b. Care shall be given during development plans to ensure layout compatibility with and adequate buffering to surrounding residential uses.
  - c. When adjacent to a residential use a minimum 30 foot landscape/mounding buffer shall be provided in order to screen the residential uses from noise, traffic, etc.
  - d. Financial institutions and banks (use group 2b defined within section Sub Area B Permitted Uses herein) shall only be permitted if it is completely within 450 feet of the Sub Area delineation.
  
- 10. Lodging in Sub Area B
  - a. Shall be permitted within 450 feet of the west or south boundary of Sub Area B delineation only. Care shall be given during development plans to ensure layout compatibility with and adequate buffering to surrounding residential uses.
  - b. When adjacent to a residential use a minimum 30 foot landscape/mounding buffer shall be provided in order to screen the residential uses from noise, traffic, etc.
  
- 11. Community Facilities in Sub Area B
  - a. Shall be permitted within 450 feet of the west or south boundary of Sub Area B delineation only. Care shall be given during development plans to ensure layout compatibility with and adequate buffering to surrounding residential uses.
  - b. When adjacent to a residential use a minimum 30 foot landscape/mounding buffer shall be provided in order to screen the residential uses from noise, traffic, etc.

**Right to Outparcels**

In addition to the uses above, Sub Area A shall be permitted a minimum of up to 8 total outparcels or stand alone buildings along Glenn Parkway, Route 23 and/or the Connector Road provided all lot sizes & setback are met. The minimum outparcel lot size shall be 1-acre. Outlots shall be accommodated as delineated on a future preliminary plan. See Exhibit "B1", "B2" and "B3" for example site plans.

**Overall Density**

Lot coverage for the overall development shall not exceed 70% of the gross area including public rights-of-way.

**Residential Maximum Units**

Sub Area A and B together shall collectively not exceed 600 dwelling units. The following shall be the maximum residential dwelling units permitted in each Sub Area.

- 1. Sub Area A may consist of a single use or a mix of uses while adhering to the following limitations:
  - a. A maximum of 102 detached single family, patio, cluster or condominium dwelling units shall be permitted.
  - b. A maximum of 250 two family dwellings, or attached single family, patio, cluster or condominium units shall be permitted.
  - c. ~~shall be limited to a maximum of 75 attached single family/patio home/condominium units.~~ ~~In addition, t~~o the extent this use has not been fully exhausted within Sub Area B, Sub Area A shall allow a maximum of 400 multi-family garden or townhome apartments.

2. The maximum total residential dwelling units in Sub Area B shall collectively not exceed 525-dwelling units. Sub Area B may consist of a single use or a mix of uses while adhering to the following limitations:
  - a. A maximum of 150 detached single family, patio, cluster, or condominium dwelling units shall be permitted.
  - b. A maximum of 250 two family dwellings, or attached single family, patio, cluster, or condominium dwelling units shall be permitted.
  - c. A maximum of 400 multi-family garden or townhome apartments shall be permitted to the extent this right has not been fully exhausted within Sub Area A.

**Residential Lot Standards**

The following standards shall apply for each type of residential use.

1. Detached Single Family
 

Minimum Lot Area:	7,7008,125 sq. ft.
Minimum Lot Width:	65 ft. at the building line
Minimum Lot Depth:	11525 ft
Minimum Lot Frontage:	35 ft.
Minimum Front Yard Setback:	2530 ft.
Minimum Side Yard Setback:	8 ft.
Minimum Rear Yard Setback:	302530 ft.
Minimum Square Footage:	1,500 sq. ft. (finished living space)
Minimum Perimeter Setback:	25 ft. building and pavement
  
2. Detached Condominium, Cluster Lots, or Patio Home
 

Minimum Lot Area:	4,500 sq. ft.
Minimum Lot Width:	50 ft.
Minimum Lot Depth:	90 ft.
Minimum Lot Frontage:	30 ft.
Minimum Front Yard Setback:	5ft. from right of way (public road) or 8 ft. from edge of street pavement (private road)
Minimum Side Yard Setback:	5 ft.
Minimum Rear Yard Setback:	6 ft.
Minimum Building Separation:	10 ft. side wall to side wall 20 ft. rear wall to rear wall
Minimum Square Footage:	1,250 sq. ft. (finished living space)
Minimum Perimeter Setback:	25 ft. building and pavement
  
3. Attached Single Family, Condominium, Patio Home, or Cluster Lot
 

Minimum Building Setback:	5ft. from right of way (public road) or 8 ft. from edge of street pavement (private road)
Minimum Building Separation:	10 ft. side wall to side wall 20 ft. rear wall to rear wall
Minimum Perimeter Setback:	25 ft. building and pavement
Minimum Square Footage:	1,050 sq. ft. (finished living space)
  
4. Two Family Dwelling
 

Minimum Lot Area:	10,400 sq. ft.
Minimum Lot Width:	80 ft.
Minimum Lot Depth:	130 ft.

Minimum Lot Frontage:	50 ft.
Minimum Front Yard Setback:	5 ft. from right of way (public road) or 8 ft. from edge of street pavement (private road)
Minimum Side Yard Setback:	6 ft.
Minimum Rear Yard Setback:	35 ft.
Minimum Square Footage:	950 sq. ft. per unit
Minimum Perimeter Setback:	25 ft. building and pavement

5. Multiple Family Garden and Townhome Apartments or Dwelling Units on Upper Floors of a Commercial or Office Building:
 

Units Per Structure:	Up to 24 units per structure (typical 14-24 units per structure)
Stories:	1-3 stories
Lot Coverage Maximum:	None
Minimum Square Footage:	1 Bedroom - 600 sq. ft. 2 bedroom - 900 sq. ft. 3 bedroom – 1,050 sq. ft. Townhome – 1,200 sq. ft.
Minimum Building Separation:	10 ft. side wall to side wall 20 ft. rear wall to rear wall
Minimum Front Yard Setback:	5 ft. from right of way (public road) or 8 ft. from edge of street pavement (private road)
Minimum Perimeter Setback:	25 ft.

**Setbacks and Height**

Setbacks along Internal Private or Public Streets are intended to allow flexibility for more traditional neighborhood commercial designs. Reduced setbacks are intended for smaller commercial users and can be used (but not required) to implement a smaller “towncenter character” along the roads. See illustrative examples, Exhibit “D”, detailing requirements for tighter setbacks. In no case shall a building be permitted to be constructed within an existing or proposed easement.

1. Minimum Setbacks. Minimum setbacks, which shall be measured from existing and planned public road rights of way, shall be established as follows:
  - a. US 23:
    - i. 60 ft. Building setback and 60 ft. parking setback from the US 23 right of way.
  - b. Glenn Parkway:
    - i. 25 ft. building and pavement setback.
  - c. Peachblow Road:
    - i. 50 ft. building setback and 20 ft. pavement setback from any commercial building.
    - ii. 50 ft. building and pavement setback from any residential district or use as to serve as a buffer yard.
  - d. Peachblow/Glenn Extension
    - i. 8 ft. for building and pavement setback from any commercial building or multi-story apartment building.
    - ii. 10 ft. for building and pavement setback from any other residential structure.
  - e. Roundabout Road(s) Separating the Sub-Areas if any (as shown on the preliminary development plan):
    - i. 8 ft. for building and pavement setback from any commercial building or multi-story apartment building with a maximum building setback of 15 feet. If the maximum building setback exceeds 15 feet, the minimum building and pavement setback shall be 25 feet.

- ii. 20 ft. for building and pavement setback from any other residential structure.
  - f. Internal Private or Public Streets:
    - i. 8 ft. building and pavement setback from any commercial building or multi-story apartment building.
    - ii. 10 ft. building and pavement setback from any other residential building.
    - iii. Setbacks for internal private streets shall be measured from the back of the curb or edge of pavement on uncurbed sections.
  - g. Interior Lot Lines:
    - i. Interior lot lines shall have a zero (0) setback for parking and buildings as approved on the final development plan.
2. Maximum Height Standards.
- a. Any commercial building shall be a maximum of 55 ft. in height.
  - b. Multi-story apartment buildings shall be a maximum of 45 ft. in height while all other residential buildings shall be a maximum of 35 ft. in height.
  - c. Any commercial structure directly adjacent to and within 100 ft. of a residential district or use shall not exceed 45 ft. in height, except where residential is placed over commercial.
  - d. Architectural elements, such as copulas, spires, dormers, chimneys, etc. may exceed the above referenced height restrictions.

**Access, Parking, Loading and Other Traffic Related Standards and Commitments**

1. Glenn Parkway shall have a right-of-way of 120 ft., plus additional right-of-way to accommodate the proposed roundabout intersection and intersection with US 23 as shown on the current Glenn Parkway Phase I-A plans.
2. Sidewalks or multi-use paths shall be provided as shown on the approved Final Development Plan.
3. Where feasible and practical, shared curb cuts may be developed on common lot lines. In situations where two lots share a curb cut, the maximum number of curb cuts per lot may be increased to 1½ per lot.
4. No curb cuts shall be permitted onto US 23.
5. At all locations, spacing and offsets of curb cuts shall be subject to the approval of the City Engineer.
6. Subject to the approval of the City Engineer, the City will allow curb cuts from the Peachblow/Glenn Extension to the Glenn Road Capital, LLC parcels that will ultimately lay both east and west of this road.
7. Subject to the approval of the City Engineer, the intersection of the Peachblow/Glenn Extension and Glenn Parkway shall be constructed in accordance with the latest version of the Glenn Parkway Phase I-A plans currently planned as a full access signalized intersection or as otherwise mutually agreed by all the parties.
8. Glenn Parkway shall be constructed from the Peachblow/Glenn Extension to the current terminus south of the intersection with Ohio Health Boulevard as shown on the current Glenn Parkway Phase IA plans. An intersection/roundabout and one left in, right out curb cut shall be permitted along Glenn Parkway to serve the development. The City of Delaware shall consider permitting

additional full access or right-in right-out curb cuts along Glenn Parkway to serve the property subject to further traffic study and approval.

9. Curb cuts are subject to final design by the property owner and approval by the City Engineer.
10. Private residential or commercial streets/access drives shall have a minimum pavement width of 25 ft (back of curb to back of curb) and shall have at least 2 drive lanes with no on-street parking at this minimum width.
11. For commercial uses, parking service areas may be shared between uses and separate buildings (through the use of cross0 easements, if necessary). As such and irrespective of use, parking shall be provided at a minimum rate of three (3) spaces per one thousand (1,000) square feet of development within a sub area. Parking may be provided at a minimum ratio determined by the applicant that sufficiently allows the users to satisfy its business needs as approved on the Preliminary Development Plan provided that the parking areas are adequately screened to minimize the scale and mass of the parking area in accordance with the landscape requirements of this Development Text.
12. Overnight parking of semi-trailers and other product delivery vehicles shall be permitted with the service areas at the rear of buildings with designated delivery or dock locations. All engines and compressors must be turned off.
13. Overnight parking of product delivery vehicles may be permitted within the general parking area at locations approved as part of the Final Development Plan.

**Commercial/Retail Architectural Standards**

1. Architectural Requirements – General; these standards shall apply to all permitted uses that are not covered under the office architectural standards or residential architectural standards sections herein.
  - a. The architectural design shall be consistent with the standards set forth in this text and shall be coordinated between the various uses and proposed building types within the commercial/retail development including free-standing out parcel buildings.
  - b. The architectural design of all commercial/retail buildings shall be traditional in nature and shall establish proper relationships with adjacent developments. Quality architecture shall be utilized with a consistent look and feel. All structures shall be designed to be architecturally compatible with each other by employing similar roof pitches, architectural details and be constructed of compatible exterior building materials. Exterior materials shall be primarily masonry incorporating brick and/or stone/synthetic stone with accent materials listed below. All buildings and portions thereof shall retain traditional building massing. Large commercial and retail buildings shall incorporate elements and forms that reduce large masses into an assemblage of definable parts. The scale of the building(s) shall be aided through the use of different materials and architectural elements to help reduce the perception of the building mass. See Exhibits “E1”, “E2”, “E3” and “E4” for illustrative examples of the architectural standards.
  - c. Required architectural features shall include large transparent storefronts and window systems, roof elements such as dormers, cupolas, roof spires, and hip and gable roofs to emphasize and reduce the building scale at the building storefront.
  - d. Buildings shall be oriented to a public street whenever possible.

## 2. Exterior Materials

- a. Predominant exterior building materials shall be of high quality. The permissible building materials shall include the following or shall be a comparable material as approved by the City of Delaware:
  - i. Brick
  - ii. Wood/Engineered Wood (Hardiplank)
  - iii. Stone/Synthetic Stone
  - iv. Stucco/Synthetic Stucco (commonly known as "EIFS") as accent bands or decorative elements only
  - v. Design Brick (integrally colored concrete units)/Quick-brik of appropriate size and quality for the elevation for which it is being applied
  - vi. Dimensional Asphalt Shingles
  - vii. Prefinished Metal Standing Seam Roof Systems
- b. Slate/Synthetic Slate
- c. Split-faced concrete block, painted standard concrete block (CMU), tilt-up concrete panels, or pre-fabricated steel panels are prohibited as exterior building materials. Tilt-up or pre-cast concrete wall panels may be used on elevations not visible to the general public and the exposed exterior surface is textured, patterned or detailed to be complimentary to the building design.
- d. Unless screened by mounding or landscaping as described in the Section Landscaping 4.d. below or as otherwise approved as part of the Final Development Plan, buildings shall generally have a similar degree of exterior finishes on all sides and compositions of similar building materials shall be used on all building elevations visible to the public. Other than for necessary service and loading areas that do not face a public right-of-way and are not visible to the public, blank facades shall not be permitted.
- e. Façade colors shall be of low reflectance, subtle, neutral or earth tone colors. The use of high intensity colors, metallic colors, or fluorescent colors is prohibited.
- f. Building trim may feature brighter colors than façade colors, but exposed neon tubing or LED type lighting are prohibited.
- g. All exterior service doors and overhead doors other than entry/exits shall be made of a heavy gauge metal painted to blend in with the exterior brick masonry.

## 3. Building Massing and Articulation

- a. Unless screened by mounding or landscaping as described in the Section Landscaping 4.d. below or as otherwise approved as part of the Final Development Plan, building facades greater than 100 feet in length shall incorporate recesses and projections a minimum of two (2) feet in depth and a minimum of twenty (20) contiguous feet within each hundred (100) feet of façade length.
- b. Unless screened by mounding or landscaping as described in the Section Landscaping 4.d. below or as otherwise approved as part of the Final Development Plan, building facades shall include a repeating pattern that shall include no less than three of the following elements: color change, texture change, material module change, or expression of architectural or structural bay through a change in plane no less than twelve (12) inches in width, such as an offset, reveal, or projecting rib. At least one of these elements shall repeat horizontally. All elements shall repeat at intervals of no more than thirty (30) feet, either horizontally or vertically.
- c. Exterior Elevations: Each exterior elevation shall be predominately composed of brick masonry or stone/synthetic stone. Brick masonry units shall be sized from standard modular to king size. Utility "design brick" brick (4" high nominal units, 3 5/8" high x 15 5/8" long, that are colored at the time of fabrication) shall be permitted on the front, rear and sides of buildings. Either 4" high (3 5/8") or 8" high nominal units (7 5/8" high) may be used on elevations not visible to the general public. Jack arches and/header details shall be utilized

above storefronts and window openings. Belt lines (horizontal accent bands) shall be used to break up larger masonry walls which can be recessed or pulled from the main wall plane. Soldier courses may be used above door and window openings or as part of a belt line (horizontal accent band). Detail bricks shall be of an accent color that is complimentary to the field brick on the building. Other exterior elevation elements shall include roof fascias and parapet cornices. The same palette of exterior finishes and color shall be used on all sides of a building, unless otherwise detailed in this zoning text.

- d. Unless screened by mounding or landscaping as described in the Section Landscaping 4.d. below or as otherwise approved as part of the Final Development Plan, walls shall have no more than thirty (30) feet of continuous wall length devoid of windows, on any ground floor, unless the wall includes architectural features such as piers, columns, defined bays or an undulation of the building, so that a pedestrian scale, rhythm, and visual interest is created.
  - e. Walls that meet the following criteria shall be exempt from the requirements of subsection Building Massing and Articulation (3)(a)(b)(c) or (d) above:
    - i. Two walls that face one another, are separated by not more than 60 feet and are not visible to public view.
    - ii. The wall faces an area devoted solely to loading and delivery and the wall is screened from view from all public rights-of-way, parking areas and abutting residential areas not visible to the public view.
  - f. Roof line shall provide variations in height and profile to reduce the mass and scale of a large structure and to add visual interest.
4. Building Storefronts, Fenestration and Articulation
- a. All building facades facing a public right-of-way shall employ a minimum of forty percent (40%) fenestration and architectural articulation/details or other architectural elements as described in this text to reduce building scale, add visual interest and create pedestrian visibility and transparency.
5. Roofs
- a. Pitched and flat roofs shall be permitted. Types of roofs are as follows:
    - i. Pitched roofs with gabled or hipped ends.
    - ii. Glass roofs are acceptable in portions of a structure
    - iii. Mansard roofs
    - iv. Flat roofs are permitted but must utilize parapets or cornices to screen bracing or breakup the roof line.
  - b. Roof materials shall be asphalt shingles, cedar shakes or man made cedar shake looking, slate or synthetic slate, prefinished standing seam metal or a comparable material as approved by the City of Delaware. Rubber membrane shall be permitted on flat roofs. Asphalt shingles shall have an "architectural" or "dimensional" appearance and performance.
  - c. The minimum pitch for a primary roof line with a sloped roof shall be 6:12.
  - d. Gutters and downspouts: Gutters shall be metal-type and shall be painted to match fascias. Downspouts shall be installed in a manner comparable to and consistent with the buildings and architecture. Scuppers shall be used at the rear of the building if desired. Through wall scuppers may be permitted where parapet walls are used. Scupper boxes and downspouts at the rear of the building shall be painted to blend in with exterior building color or shall be manufactured with a pre-finished metal of a color which compliments the finished material to which it is affixed. Overflow drains may be an open scupper through a masonry parapet in a manner comparable to and consistent with the buildings and architecture. An open scupper shall be detailed to minimize its appearance on the building elevation.

## 6. Screening

- a. Rooftop equipment, antennas, and similar protrusions shall be installed in compliance with all applicable provisions of the Zoning Code. Parapets, mansard roofs, gable roofs, hip roofs, or dormers shall be used to conceal flat roofs and rooftop mechanical equipment from public view. Where flat roofs are used, all roof mounted equipment shall be completely screened through the use of parapet walls, or other architectural building elements compatible with the building design. All screening elements shall be consistent with the style of architecture of the center. Individual screening units may be used where other means are impractical. Satellite dishes shall be consistent with applicable federal law and all applicable provisions of the Zoning Code and shall be screened when visible to the public view.
- b. All exterior mechanical equipment and appurtenances not located on a roof, including, but not limited to, transformers, air conditioning units not located on rooftops, wall or sprinkler pumps, storage tanks shall be located in designated service areas and where not prohibited by code shall be suitably screened by means of fences, walls, opaque landscaping, or other appropriate screening as approved as part of the Final Development Plan so as not to be visible from any street or adjacent lot. Electrical wireways, meters, gas meter sets, telephone enclosures and other building services/utility devices shall be painted to match the wall finish to which they are attached.
- c. Loading docks, trash collection, outdoor storage and similar facilities and functions, as provided for by code, shall be incorporated into the overall design of the building and the landscaping so that the visual and acoustic impacts of these functions are fully contained and out of view from the public. Screenwall materials shall be compatible with the building materials. Dumpster enclosures shall be fully enclosed (no roof) with a lockable gate.

## 7. Outparcel Buildings Additional Requirements

- a. The architectural details, materials, and colors of all outparcel buildings shall be compatible with the standards for the main retail structures described above. In addition, the following standards shall apply.
- b. The maximum height of any out parcel building shall be twenty-four (24) feet except for architectural features such as parapets, cupolas, etc.
- c. Outparcel buildings are encouraged to use pitched roofs; such pitched roofs shall have a minimum of a 6:12 pitch for primary roof lines.
- d. The owner of the Shopping Center and out parcel will review each out parcel Final Development Plan with its architect prior to submittal for municipal review.
- e. Buildings shall be designed to be seen from all sides and shall be designed to have a comparable level of detail on all sides. Roof elements such as dormers, cupolas, roof spires, and hip and gable roofs shall be encouraged to emphasize and reduce the building scale. All roof-mounted equipment and appurtenances shall be screened.
- f. The outlot building located at the corner of Route 23 and Glenn Parkway may be provided additional architectural detailing and scale to serve as a potential jurisdictional gateway in accordance with the Gateway & Corridor Plan and as approved as part of the Final Development Plan and as such the inclusion of a separate jurisdictional Gateway feature/sign element will not be required. If the building does not serve as the gateway, then a separate gateway feature/sign element shall be provided as approved as part of the Final Development Plan.

### Office Architectural Standards

1. Architectural Requirements – General; these standards shall apply to permitted uses 2a and 2c, Office and Professional Services, within each Sub Area.
  - a. The architectural design shall be consistent with the standards set forth in this text and shall be coordinated between the proposed buildings.
  - b. The architectural design of all commercial office buildings shall be traditional in nature and shall establish proper relationships with adjacent developments. All structures shall be designed to be architecturally compatible with each other by employing similar roof pitches, architectural details and be constructed of compatible exterior building materials. Exterior materials shall be primarily masonry incorporating brick and/or stone with accent materials listed below. All buildings and portions thereof shall retain traditional building massing. Large commercial buildings shall incorporate elements and forms that reduce large masses into an assemblage of definable parts.
  - c. Buildings shall be oriented to a public street whenever possible.
2. Exterior Materials
  - a. Predominant exterior building materials shall be of high quality. The permissible building materials shall include the following or shall be a comparable material as approved by the City of Delaware:
    - i. Brick
    - ii. Wood/Engineered Wood (Hardiplank)
    - iii. Stone/Synthetic Stone
    - iv. Stucco/Synthetic Stucco (commonly known as “EIFS”) as accent bands or decorative elements only
  - b. Aluminum and/or vinyl shall be allowed for trim details only such as soffits, gutters, shutters, etc., but shall not be used as siding products.
  - c. Split-faced concrete block, painted standard concrete block (CMU), tilt-up concrete panels, or pre-fabricated steel panels are prohibited as exterior building materials. Tilt-up or pre-cast concrete wall panels may be used on elevations not visible to the general public and the exposed exterior surface is textured, patterned or detailed to be complimentary to the building design.
  - d. Unless screened by mounding or landscaping as described in the Section Landscaping 4.d. below or as otherwise approved as part of the Final Development Plan, buildings shall generally have a similar degree of exterior finishes on all sides and shall be articulated with recesses, pilasters, fenestration and/or material changes. Compositions of similar building materials shall be used on all building elevations visible to public view.
  - e. Façade colors shall be of low reflectance, subtle, neutral or earth tone colors. The use of high intensity colors, metallic colors, or fluorescent colors is prohibited.
  - f. Building trim may feature brighter colors than façade colors, but exposed neon tubing or LED type lighting are prohibited.
  - g. The use of highly reflective exterior materials is prohibited. Reflective glass is prohibited.
  - h. Roof and building façade colors should be coordinated to complement each other.
3. Building Massing and Articulation
  - a. Exterior Elevations: Each exterior elevation shall be predominately composed of brick masonry or stone/synthetic stone. Brick masonry units shall be sized from standard modular to king size. Utility “design brick” brick (4” high nominal units, 3 5/8” high x 15 5/8” long, that are colored at the time of fabrication) shall be permitted on the front, rear and sides of buildings. Either 4” high (3 5/8” high) or 8” high nominal units (7 5/8” high) may be used on elevations not visible to the general public. Jack arches and/header details shall be utilized above window openings. Belt lines (horizontal accent bands) shall be encouraged to break up

larger masonry walls which can be recessed or pulled from the main wall plane. Soldier courses may be used above door and window openings or as part of a belt line (horizontal accent band). Detail bricks shall be of an accent color that is complimentary to the field brick on the building. Other exterior elevation elements shall include roof fascias and parapet cornices.

- b. Large single story structures shall have roof lines that provide variations in height and profile to reduce the mass and scale of a large structure and to add visual interest.

#### 4. Building Fenestration and Articulation

- a. All building facades facing a public right-of-way shall employ a minimum of forty percent (40%) fenestration and architectural articulation/details or other architectural elements as described in this text to reduce building scale, add visual interest and create pedestrian visibility and transparency.

#### 5. Roofs

- a. Smaller single story buildings will be required to have pitched roofs with gable or hip ends. Flat roofs shall be permitted on buildings of 2 stories or greater or on larger single story buildings when it is impractical due to size but must utilize parapets or cornices to screen bracing or breakup the roof line.
- b. The minimum pitch for a primary roof line with a sloped roof shall be 6:12.
- c. Roof materials shall be asphalt shingles, cedar shakes or man made cedar shake looking, slate or synthetic slate, prefinished standing seam metal or a comparable material as approved by the City of Delaware. Rubber membrane shall be permitted on flat roofs. Asphalt shingles shall have an "architectural" or "dimensional" appearance and performance.
- d. Gutters and downspouts: Gutters shall be metal-type and shall be painted to match fascias. Downspouts shall be installed in a manner comparable to and consistent with the buildings and architecture. Scuppers shall be used at the rear of the building if desired. Through wall scuppers may be permitted where parapet walls are used. Scupper boxes and downspouts at the rear of the building shall be painted to blend in with exterior building color or shall be manufactured with a pre-finished metal of a color which compliments the finished material to which it is affixed. Overflow drains may be an open scupper through a masonry parapet in a manner comparable to and consistent with the buildings and architecture. An open scupper shall be detailed to minimize its appearance on the building elevation.
- e. Interior roof drains shall be used on all buildings greater than two stories in height.

#### 6. Screening

- a. Service courts, waste and refuse areas shall be screened from all public streets by landscaping, mounding and/or walls. Screening shall be at least 6 inches taller than the height of any containers that may be in these areas and shall have the same exterior material as the building. Any overhead service and garage doors in the development shall be screened from the public streets.
- b. All ground mounted mechanical and electrical equipment shall be screened from view from all public streets by mounding, landscaping, wood fencing or a wall that are architecturally compatible with the building.
- c. Rooftop equipment, antennas, and similar protrusions shall be installed in compliance with all applicable provisions of the Zoning Code. Parapets, mansard roofs, gable roofs, hip roofs, or dormers shall be used to conceal flat roofs and rooftop mechanical equipment from public view. Where flat roofs are used, all mounted equipment shall be completely screened through the use of parapet walls, or other architectural building elements compatible with the building design. All screening elements shall be consistent with the style of architecture of the center. Individual screening units may be used where other means are impractical.

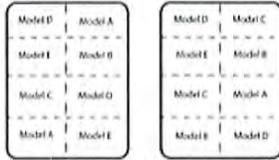
- Satellite dishes shall be consistent with applicable federal law and all applicable provisions of the Zoning Code and shall be screened when visible to the public view.
- d. Accessory buildings, enclosures and any structures that are appurtenant to any building shall be of similar or compatible design, materials and construction.
  - e. Dumpster enclosures shall be fully enclosed (no roof) with a lockable gate.

### Residential Architectural Standards

1. Residential Buildings-Detached or attached Single Family/Condominium/Patio Home/Cluster Home/Two Family Dwelling:
  - a. The architectural design of all single family detached residential dwellings shall be traditional in nature and shall establish proper relationships with adjacent developments. Quality architecture shall be utilized with a consistent look and feel while using compatible exterior building materials. All front elevations shall include a variety of styles, colors, and/or types of materials.
  - b. The architectural design/patterns of attached residential dwellings and/or detached condominium, patio, cluster or two family dwellings may be similar, but not identical, and may be repeated from one building to the next, to the extent possible, to unify the project into a single architectural style. The similarities shall include window styles & patterns, roof pitches, use & mix of exterior materials and building massing. Quality architecture shall be utilized with a consistent look and feel while using compatible exterior building materials.
  - c. Color palette shall consist of earth tones, including white. Additional colors may be used as accents but may not be high gloss colors.
  - d. Buildings primary roof line shall be required to have a minimum 6:12 roof pitch. The principal roof structure will have an overhang of not less than 8 inches and an end rake of not less than 8 inches.
  - e. Lintels and sills in masonry walls shall be brick soldier course, limestone, sandstone, or other manufactured stone products.
  - f. Where wood burning fireplaces are utilized the exposed chimney shall be faced with brick or stone at a minimum. All direct vent fireplaces shall be located in a side or rear yard and shall be screened from view when visible from a public street. .
  - g. All homes shall provide an identifiable entry with entry coverings and stoops being a minimum of 3 feet deep or the minimum necessary for building code regulations, which ever is greater. Any porch shall be a minimum depth of 6 feet.
  - h. All garage doors facing a public street shall adhere to one of the following standards:
    - i. architecturally upgraded to include design elements consistent with the design of the home and development such as matching the door color to the predominant color of the main structure, incorporating a glass course, adding trim packages to give the appearance of stable doors, man doors, hinged swing doors and other similar architectural elements.
    - ii. setback a minimum of 2 feet from the primary wall of the home facing the public street (detached single-family only).
    - iii. not extend closer to the street than the primary wall facing the street (garages of front loaded attached single-family dwelling units only).
  - i. At least 50% of the front elevation of all homes will consist of brick, stone, cultured stone, wood siding, SmartSide, fibrous cement siding, or other approved materials, not including EIFS and excluding foundations, garage doors, entry doors, roofs, gutters, downspouts and windows. Other natural materials or synthetic materials that replicate a natural material and finish will be allowed. Stucco shall specifically not be permitted to count toward the 50% threshold in this section but rather shall be allowed on the remaining 50% or less of the front elevation.
  - j. Exterior materials include the following or shall be a comparable material as approved by the City of Delaware:

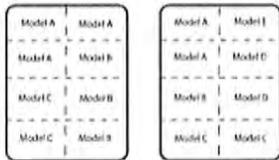
Stucco	(any pattern)
Quarried Stone	(any cut or pattern)
Cultured Stone	(any pattern – special corners and trim pieces are used)
Brick/Brick Veneers	(any bond pattern)
Wood Siding	(wood lap siding, shingle siding, hand split shake siding, cedar shake looking man made materials, board & batten)
Composite Siding	(Synthetic materials comprised of resin bonded wood fibers, glass fiber reinforced cement boards or similar materials which resemble wood siding when painted. Examples include LP and Hardi siding products.)
Vinyl Lap Siding or Board and Batten	(Quality PVC or other molded plastic products mimicking wood lap siding. Material thickness of lap siding products shall be minimum of .040”, and the surface texture shall be smooth and finished with low gloss. Installation shall minimize vertical joints and the use of J-channels at vertical edges. Examples include Wolverine “Restoration Smooth” and Royal Building Products “Architectural Series” products)
Vinyl Shingle or Shakes	(Quality PVC or other molded plastic products with textured surfaces mimicking wood products of the same name. Finished shall be of low gloss. Examples include Certainteed “Cedar Impressions” or Nailite International “Hand Split Shake” and Rough Sawn shingle” products.)
Wood Trims	(standard board sizes or molded shapes)
Composite Trims	(synthetic materials comprised of resin bonded wood fibers, glass fiber reinforced cement boards or similar materials which resemble wood trim when painted. Examples include LP, Hardi and Miratec products.)
Vinyl Trims	(Quality PVC or other molded plastic products mimicking wood boards and molded wood profiles. Material thickness of trim products shall be minimum of .040”, and the surface texture shall be smooth and finished with low gloss. Examples include Certainteed “Vinyl Carpentry” and Royal Building Products “Architectural Series” products)

- k. Trim is required around all corners, entry doors, roofs, gutters, downspouts and windows.
- l. No blank walls shall be permitted.
- m. Roof materials may be asphalt shingles, cedar shake looking man made materials, slate/synthetic slate or shall be a comparable material as approved by the Director of Planning and Community Development. Asphalt shingles shall have an “architectural” or “dimensional” appearance and performance. The use of other roof materials, such as prefinished metal standing seam shall be allowed on a limited basis, but are not required.
- n. Within single-family detached residential developments, the same model of home or the same exterior color of home shall not be placed on adjacent lots and shall not be placed on facing lots.



**Do This**

The same model of home does not appear on two adjacent lots or on lots that are across the street from each other - thereby creating a diverse streetscape.



**Don't Do This**

Having the same model of home appearing in clusters creates a monotonous streetscape that emphasizes conformity over diversity.

2. Residential Buildings- Multi-Family garden or townhome apartments and Dwelling Units on Upper Floors of a Commercial or Office Building:

- a. The architectural design of the buildings shall be 4-sided without emphasis on a single side as a “front” or de-emphasis of the “sides” or “back” in order to create unified, cohesive building designs. See attached Exhibit “F1”, “F2” and “F3” as example multi-family elevations. Exterior materials shall be varied to create visual interest. The use of accent features such as dormers or chimneys are encouraged to enhance the quality of traditional architectural styles.
- b. Architectural patterns shall be similar, but not identical, and may be repeated from one building to the next, to the extent possible, to unify the project into a single architectural style. The similarities shall include window styles & patterns, roof pitches, use & mix of exterior materials and building massing.
- c. Exterior façade materials shall be natural in appearance, but need not be a product of nature. Materials which are virtually indistinguishable from a product of nature when installed and finished will be allowed.
- d. Exterior materials include the following or shall be a comparable material as approved by the City of Delaware:

Stucco	(any pattern – as an accent material)
Quarried Stone	(any cut or pattern)
Cultured Stone	(any pattern – special corners and trim pieces are used)
Brick/Brick Veneers	(any bond pattern)
Wood Siding	(wood lap siding, shingle siding, hand split shake siding, cedar shake looking man made materials, board & batten)
Composite Siding	(Synthetic materials comprised of resin bonded wood fibers, glass fiber reinforced cement boards or similar materials which resemble wood siding when painted. Examples include LP and Hardi siding products.)
Vinyl Lap Siding or Board and Batten	(Quality PVC or other molded plastic products mimicking wood lap siding. Material thickness of lap siding products shall be minimum of .040”, and the surface texture shall be smooth and

finished with low gloss. Installation shall minimize vertical joints and the use of J-channels at vertical edges. Examples include Wolverine "Restoration Smooth" and Royal Building Products "Architectural Series" products)

Vinyl Shingle or Shakes

(Quality PVC or other molded plastic products with textured surfaces mimicking wood products of the same name. Finished shall be of low gloss. Examples include Certaineed "Cedar Impressions" or Nailite International "Hand Split Shake" and Rough Sawn shingle" products.)

Wood Trims

(standard board sizes or molded shapes)

Composite Trims

(synthetic materials comprised of resin bonded wood fibers, glass fiber reinforced cement boards or similar materials which resemble wood trim when painted. Examples include LP, Hardi and Miratec products.)

Vinyl Trims

(Quality PVC or other molded plastic products mimicking wood boards and molded wood profiles. Material thickness of trim products shall be minimum of .040", and the surface texture shall be smooth and finished with low gloss. Examples include Certaineed "Vinyl Carpentry" and Royal Building Products "Architectural Series" products)

- e. Roof materials may be asphalt shingles, cedar shake looking man made materials, slate/synthetic slate or shall be a comparable material as approved by the Director of Planning and Community Development. Asphalt shingles shall have an "architectural" or "dimensional" appearance and performance. The use of other roof materials, such as prefinished metal standing seam shall be allowed on a limited basis, but are not required.

**Landscaping, Tree Preservation, and Screening Standards**

1. Buffer Yards and Landscaping

- a. All landscaping shall comply with Chapter 1166 of the City of Delaware Zoning Code. The portion of any lot located along the Peachblow / Glenn Rd. Extension is not subject to Section 1166.07 Landscaping Requirements for Front Yards; however, the other frontages of such lots (if any) are subject to the requirements of this zoning text and applicable code.
- b. A landscaping plan shall be submitted to the City of Delaware as part of the Final Development Plan for each phase of development. Landscaping shall be in conformance with that which is defined within this text and approved as part of the Final Development Plan.
- c. Reasonable and good faith efforts will be made to preserve healthy existing trees within drainage course areas. Selective clearing of wooded areas is permitted, consistent with the requirements of the City of Delaware Zoning Code. Additionally, standard tree preservation techniques will be utilized to protect trees during all phases of construction.
- d. All planting within the public right-of-way shall be approved by the City of Delaware Shade Tree Commission.

2. Entry Features

- a. Entry features shall include integrated project signage, lighting and landscaping. [Entry features shall have directional shielded up-lighting.](#)
- b. Final location, design, and standards for entry feature construction details, landscape details and signage details will be submitted for approval by the City of Delaware as part of a comprehensive sign plan.

3. Street Trees

- a. Street trees on public and private streets shall be installed in the center of a 7 feet wide tree lawn, between the road edge and sidewalk and/or bikepath.
- b. All street trees (including interior private streets) shall be spaced 40 feet on center. Street trees along the front and sides of the commercial areas shall be "upright" in form to permit view to the interior businesses.
- c. Street trees shall have a minimum caliper size of 1¼", measured at breast height and may be one consistent deciduous species per street.
- d. A street tree plan, specifying the plant type, location, size and condition will be submitted at the Final Development Plan Phase.

4. Additional Landscaping Standards

- a. A single row of trees, as defined by the Shade Tree Commission, shall be provided along Glenn Parkway, within the tree lawns. These trees shall be clustered, but in no case shall the total number of trees be less than if spaced 40' on center. Trees shall be a minimum of 1¼" caliper and shall be one consistent species per street.
- b. All commercial lots shall have parking areas screened from the public right-of-way using a 2-3 ft. undulating earthen mound and plantings. Screening may be accomplished through the use of earth mounds or evergreen hedges while, walls or fencing may be used at areas where not feasible to employ a mound, hedges or landscaping. Screening shall maintain 75% year-round opacity. Along the Peachblow / Glenn Rd. Extension parking lot screening does not have to include the use of earthen mounds as described above, but does need to include the use of hedges and / or other plantings as required by this text and code.
- c. All buildings shall provide landscaping along the foundation and/or entry. Foundation plantings, such as tree wells, hedges, and/or plantation boxes, shall be provided along any Commercial building fronts.
- d. All commercial portions of the main retail center shall have the rear of all buildings that face a different use or are visible to the public, loading areas, and service areas, screened from view. Such screening shall be accomplished through the use of earth mounds, evergreen hedges, walls or fencing. Plain walls and fences may be utilized at necessary and strategic locations such as visible locations where earthen mounds and landscaping can not be utilized or on any interior side of a mound that is not visible to the public view. A minimum 8-10 foot undulating earth mound with a mix of tall deciduous and coniferous plantings that are a minimum 6-7 feet tall and provide a 60% year round opacity, or as otherwise approved as part of the Final Development Plan, shall be provided. Slopes of 2:1 shall be permitted with walls used along the interior side. Landscaping in any 2:1 slope area shall utilize groundcover or shrubs in a mulch bed.
- e. Earth mounding shall be used provided it does not disrupt the master drainage plan.
- f. Landscaping shall not be installed in such areas as to adversely impact visibility in the sight triangle for vehicular traffic.
- g. Interior trees can be clustered to accent architectural features and permit view to internal businesses.
- h. Pedestrian connectivity will be provided throughout the development. Sidewalks, 5 feet in width, or multi-use paths, 8 feet in width, will be provided as generally shown on the preliminary plan and approved at the time of Final Development Plan.

5. Tree Removal and Replacement

- a. Tree removal and replacement shall meet all tree preservation and replacement requirements of the City of Delaware Zoning Code or as otherwise modified by any approved Final Development Plan.

6. Parking Lot Landscaping
  - a. A 170 square foot landscaped island for every ten (10) parking spaces shall be provided
  - b. Each landscape island will include shredded hardwood mulch, one (1) shade tree and four (4) shrubs with a maximum height (including curb) of 3 feet and a maximum width of 10 feet.
  - c. One (1) shade tree shall be provided for every 20 spaces. The minimum size shade trees shall be 2-1/2 inches.
  - d. Parking lot islands, of 340 square feet in area, must be provided along any perpendicular drive or access isle.
  - e. A 20 foot wide landscaped island must be provided between every 10 rows of parking.

### **Lighting**

1. Commercial Buildings
  - a. All external lighting shall conform to Chapter 1158 of the City of Delaware Zoning Code.
  - b. External lighting shall be cutoff type (down lighting) or decorative fixtures, and shall provide no light spillage off the commercial properties or into any adjacent public or private right-of-way. However, buildings and landscaping at entry location may be down-lit, provided that landscaping lighting does not spill over into the public right-of-way or adjoining parcels. Fixture selections and photometric plan approval shall be approved as part of the Final Development Plan.
  - c. All lights shall be arranged to reflect light away from adjacent streets or property. Direct or indirect glare into the eyes of motorists or pedestrians shall be prohibited.
  - d. All external outdoor lighting fixtures within a single sub area shall be from the same or similar manufacturer's type to insure compatibility.
  - e. Parking lot lighting standards shall not exceed 28 feet in height, including base. Decorative poles and fixtures (for an example see Exhibit "G") located at internal private streets and aisles shall not exceed 16 feet in height, including the base.
  - f. All exterior site lighting shall be low pressure sodium lamps, unless otherwise approved by the City of Delaware.
2. Residential
  - a. Residential street lighting shall conform to the City of Delaware Standards for Residential Street Lighting and per the approval of the Chief Building Official.

### **Graphics and Signage - Commercial**

1. A comprehensive signage plan for each Sub Area shall be submitted as part of the Preliminary and Final Development Plan approval. A temporary marketing/for sale or lease sign plan shall be provided as a part of the comprehensive sign plan for the development
2. Signage - General Requirements
  - a. These standards shall apply to the following sign types:
    - i. Freestanding Signs
    - ii. Wall Signs
    - iii. Directional/informational signs
    - iv. Under-canopy signs
    - v. Window signs.
  - b. The graphic area of a sign shall be defined as the entire area enclosing the limits of wording, representation, emblem, or any figure of similar character, any of which form an integral part of the display or serves to differentiate such display from the structure to

- which it is affixed. Any background materials, color or area defined by a border or a frame shall be included as part of the graphic area.
- c. The sign area shall be defined as the area enclosed by the perimeter of the aggregate sign face. When a sign is composed of letters only, the sign area is the sum of the area of the smallest contiguous rectangle capable of containing all adjoining letters.
  - d. Permanent sign type illumination shall be provided by one of the following manners:
    - i. Individually mounted, internally illuminated, face lit, channel letter.
    - ii. Individually mounted, internally illuminated reverse channel letter (“halo” illuminated letter).
  - e. Prohibited graphic types shall include the following:
    - i. Wall mounted enclosed cabinet signs, including illuminated cabinet logos and illuminated multi-graphic panels.
    - ii. Changeable copy.
    - iii. Electronic reader boards.
    - iv. Roof top signs (above the eave line).
    - v. Flashing, traveling, animated, rotating, audible or intermittently illuminated signs.
    - vi. The use of building walls for display of advertising.
    - vii. Signs or advertising erected and maintained on trees or painted or drawn upon rocks or other natural features.
    - viii. Advertising devices that attempt, or appear to attempt, to direct movement of traffic, or which interfere with, imitate or resemble an official sign, signal or device.
    - ix. No vehicle, trailer or equipment of any type may be parked on a building premises or lot for the sole purpose of advertising a business, product, service, event, object, location, organization or the like, except as approved as part of the Final Development Plan.
    - x. Exposed neon or LED graphics or text that is mounted to either the exterior face of the building or that is mounted within the building that is visible from the exterior of the building.
  - f. Permanent Window Signs: Permanent window signs include store names and logos and are permitted to be placed on the storefront window or doors. Only one such window permanent sign shall be permitted per storefront and shall not exceed 4 inches in height. Such signs shall not exceed 20 percent of the window in which the sign is located, inclusive of any other signs. No signs shall be placed in any spandrel glass. For the purposes of this section, window area shall be determined measuring frame to frame and shall not include the total window area of the storefront.
  - g. Window Signs: Window signs indicating hours of operation may be mounted on the entry door or the window immediately adjacent to the entry door. They may not encompass an area larger than 2 square feet.
  - h. Uniform building address signage shall be provided on front storefront glass doors and rear service doors to each individual tenant address. Address numbers on the front doors shall be 6 inches high, mounted at 9 feet above finish floor in the door transom. Signs on the rear service doors shall be 6 inches high, mounted at 5 feet above finish floor. Each tenant shall identify the rear door with the Tenant’s name. All address numerals and tenant names shall be white vinyl letters in Helvetica font.
  - i. Temporary Signs. Temporary window signs include any sign other than the name and/or logo of the business and shall not exceed 20 percent of the window in which the sign(s) is located, inclusive of any other signs. No temporary window sign shall be located at or above the door height. No signs shall be placed in any spandrel glass. For the purposes of this section, window area shall be determined measuring frame to frame and shall not include the total window area of the storefront.

- j. Banners. Banners shall only be authorized during the initial grand opening of the business for a seven (7) day period commencing on the day the business opens to the public.
  - k. Temporary free standing signs shall not be permitted.
3. Shopping Center Identification Signs
- a. Developer shall be permitted to have two (2) Shopping Center Identification Signs listing the name of the Shopping Center and names of selected tenants.
  - b. Shopping Center Identification signs shall not exceed twenty-five (25) feet in height. No graphics may exceed twenty (20) feet above grade.
  - c. Tenant panels on the Shopping Center Identification signs shall be internally illuminated.
  - d. The maximum number of tenants listed per sign shall be six.
  - e. Two (2) secondary shopping center identification signs which identify the shopping center only shall be permitted in locations to be determined as part of the Final Development Plan. The maximum size of the secondary identification signs shall be six (6) feet high by fifteen (15) feet long.
4. Ground signs
- a. One (1) out parcel shall be permitted the right to one (1) ground sign. However, such out parcel shall not be located within 150' of the intersection of State Route 23 and Glenn Parkway.
  - b. Ground signs shall be located at the primary right-of-way frontage along Glenn Parkway. If no right-of-way frontage exists, then interior roadways will be classified as frontage for ground sign purposes.
  - c. Ground signs shall have a maximum height of six (6) feet and a maximum width of ten (10) feet. The graphic area shall not exceed forty (40) square feet per sign face.
  - d. All ground signs are to be constructed with a masonry base that is consistent in color with the retail center.
  - e. All ground signs shall be placed in a landscaped area.
  - f. Each out parcel building site shall provide appropriate directional signage at ingress/egress access points. On site permanent directional signs, e.g. employee and visitor parking, deliveries, etc. will be of a common design, material and size. Maximum height of directional signage shall be four (4) feet and the maximum copy area type face shall be four (4) square feet.
  - g. Tenant ground signs may be externally illuminated. Light sources to illuminate signs shall be shielded from view and down-lit only.
5. Retail Center Tenant Signage – In Line Tenants
- a. Each tenant shall be permitted signage on any façade with frontage on a public or private street with a limit of three (3) such signs per tenant. In all instances the message area letters shall be mounted directly to the building face above each tenant space within the designated sign area as defined in the comprehensive sign plan.
  - b. All Tenant signage may be internally or externally illuminated. External light sources shall be directed toward the sign and shall not cause visibility problems for motorists or adjacent property owners.
  - c. Sign area: The maximum sign area for an in-line tenant shall be two (2) square feet of sign area for each one (1) linear foot of wall to which the signage is to be mounted.
  - d. The horizontal width of each Tenant's copy (i.e. logo, name, etc.) shall be a maximum of 80% of the width of such Tenant's storefront width.
  - e. Sign height: The maximum mounting height of any sign shall not exceed twenty (20) feet above grade, unless the sign area is integrated into the building architecture, and shall not extend above the roof or line of the parapet construction.

- f. Maximum letter height of message area shall be 30", except that maximum height of the upper case letters may be 36". Special attention to descent letters will be considered.
  - g. Each tenant's sign area must terminate twenty-four inches (24") inside the tenant space side limits or corner of a building.
  - h. No sign mounted to a side or rear elevation shall directly face a residential section.
6. Retail Center Tenant Signage – Anchor Store Tenants (stores greater than 100,000 square feet)
- a. Each tenant shall be permitted signage on any façade with frontage on a public or private street. However, there shall be a maximum of three (3) such signs per tenant regardless of the number of public street frontages. Use of individually mounted letters shall be limited to the fronts of stores relative to each tenant space. In all instances the message area letters and/or its sign panel shall be mounted directly to the building face consisting of brick, cast stone, or synthetic stucco building material.
  - b. All Tenant signage shall be internally illuminated. Letter returns shall be the same color.
  - c. Sign area: The maximum sign area of an anchor store tenant shall be two (2) square feet of wall sign for each one (1) linear foot of wall to which the signage is to be mounted. Total signage shall not exceed of four (400) square feet per facade.
  - d. Sign height: The maximum mounting height of any sign shall not exceed twenty-eight (28) feet above grade and shall not extend above the roof or line of the parapet construction.
  - e. Maximum letter height of message area shall be 72".
  - f. The sign area must terminate twenty-four inches (24") inside the tenant space side limits or corner of a building.
  - g. Anchor store signs shall be approved as part of the Final Development Plan. Each store that is greater than 100,000 square feet with multiple public entrances and/or designated separate entrances shall be permitted supplemental wall signs over those entrances. Supplemental signs may not exceed thirty-six (36) inches in height.
  - h. One supplemental exterior wall sign shall be permitted for each individual sublet licensee business located within a major anchor store, consisting of 100,000 square feet or greater. No more than three sub-tenant signs shall be permitted per store.
7. Out-Parcel Building Signs
- a. All wall mounted signage may be internally illuminated.
  - b. Out parcel buildings shall be permitted one (1) wall sign except as noted below. No sign shall be larger than 100 square feet per sign.
  - c. Outlots that have building frontage on two (2) public or private streets shall be permitted a second wall sign. The total aggregate sign area for all such wall signs shall not exceed one hundred fifty (150) square feet per building.
  - d. Out parcel building wall signs shall not be mounted higher than fifteen (15) feet above grade and no less than ten (10) feet above grade and shall not extend above the roof or line of the parapet construction.
  - e. At tenant spaces or buildings where the primary parking field is located to the rear of the building, a secondary wall sign shall be permitted on one of the two types:
    - i. Projecting Tenant Blade Signs
      - a. One (1) blade sign at a maximum of (3) square feet of sign area.
      - b. Each blade sign shall be of the same color as the tenant's canopy sign letters
      - c. No part of any blade sign shall be less than eight (8) feet above the sidewalk or ground level.
    - ii. Wall Mounted Sign Letters
      - a. Internally or externally illuminated individual letters not greater than twenty-four (24) inches in height.
      - b. Sign are shall not exceed fifty percent (50%) of the main façade sign area.

8. Service/Fuel Station Signage
  - a. Signage which displays the purchase price of fuels shall be comprehensively and permanently incorporated on the canopy of any retail service station. Changeable copy or electronic reader boards displaying the fuel price only are permitted.
  - b. In addition to wall mounted signage as provided above, such retail service station may have two signs mounted to the soffit of any canopy placed over the fuel dispensing area. The maximum graphic area of any canopy signage shall be fifty (50) square feet. No canopy signage shall extend above the roofline or below the bottom of the canopy soffit on which it is mounted.
  - c. If the retail service station facility also has a car wash one (1) wall mounted illuminated name sign shall be permitted (in addition to all other signs allowed above).

### Graphics and Signage - Office

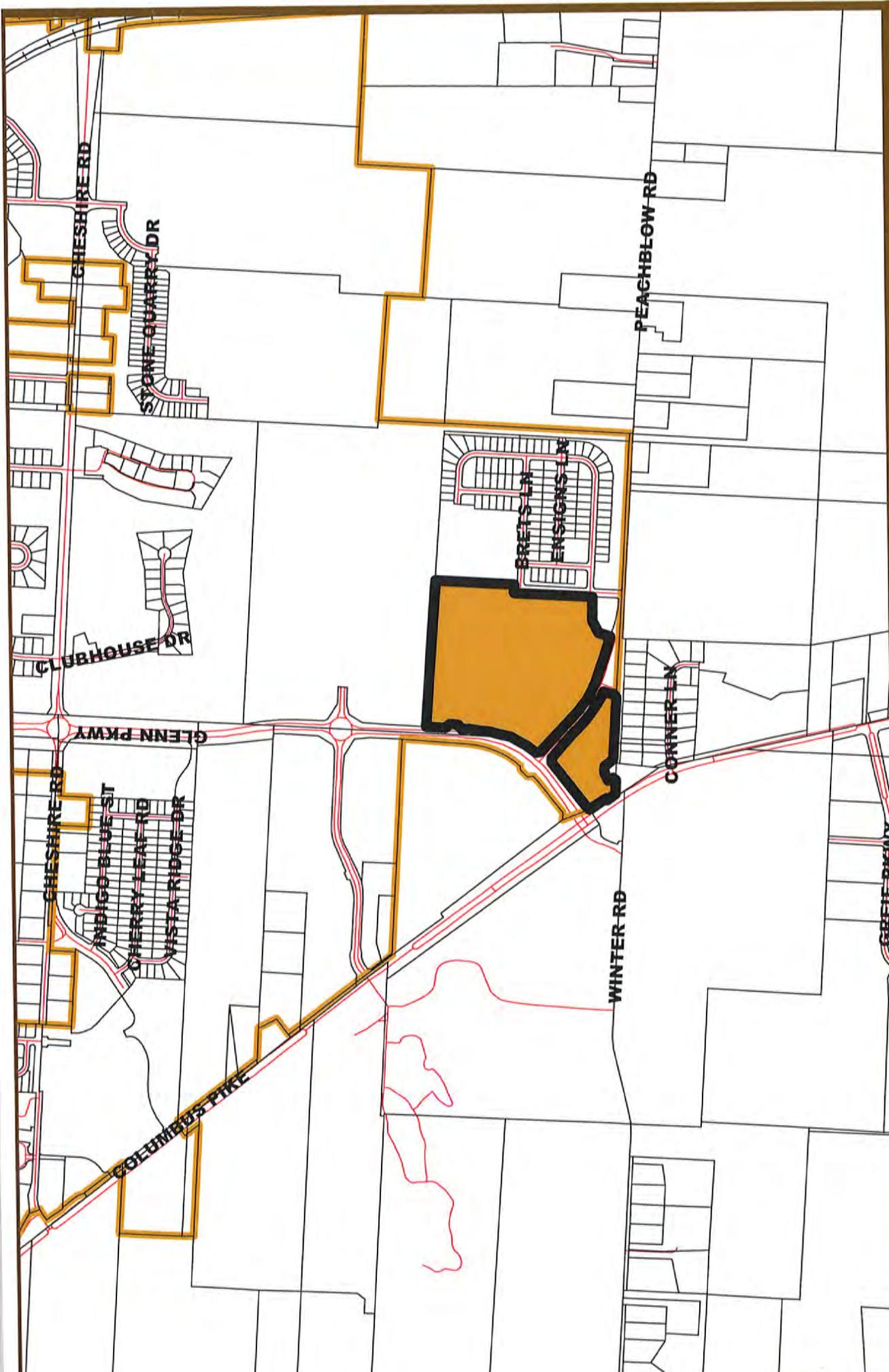
1. Signage - General Requirements
  - a. These standards shall apply to the following sign types:
    - i. Ground Signs
    - ii. Wall Signs
  - b. The graphic area of a sign shall be defined as the entire area enclosing the limits of wording, representation, emblem, or any figure of similar character, any of which form an integral part of the display or serves to differentiate such display from the structure to which it is affixed. Any background materials, color or area defined by a border or a frame shall be included as part of the graphic area.
  - c. The sign area shall be defined as the area enclosed by the perimeter of the aggregate sign face. When a sign, composed of letters only, the sign area is the sum of the area of the smallest contiguous rectangle capable of containing all adjoining letters.
  - d. Prohibited sign types shall include the following:
    - i. Wall mounted enclosed cabinet signs.
    - ii. Roof top signs.
    - iii. Flashing, traveling, animated, rotating, audible or intermittently illuminated signs.
    - iv. Permanent banners, other than temporary or seasonal banners.
    - v. The use of building walls for display of advertising.
    - vi. Signs or advertising erected and maintained on trees or painted or drawn upon rocks or other natural features.
    - vii. No sign shall be attached to any fence within the right-of way of any road.
    - viii. Advertising devices that attempt, or appear to attempt, to direct movement of traffic, or which interfere with, imitate or resemble an official sign, signal or device.
    - xi. No vehicle, trailer or equipment of any type may be parked on a building premises or lot for the purpose of advertising a business, product, service, event, object, location, organization or the like.
    - x. Exposed neon graphics or text that is mounted to either the exterior face of the building or that is mounted within the building that is visible from the exterior of the building.
  - e. Window Signs: All window signs and graphics shall be prohibited.
  - f. Building Address Signage to be indicated on front storefront glass doors to each individual address by installing 10 inch high vinyl letters.
2. Site Identification Signs:
  - a. Each office building shall be allowed one (1) site identification sign per right-of-way frontage. If no right-of-way frontage exists, then interior roadways will be classified as frontage for ground sign purposes.
  - b. Site identification signs shall have a maximum height of eight (8) feet and a maximum width of ten (10) feet. The graphic area shall not exceed sixty (60) square feet per sign face.

- c. All site signs are to be constructed with a limestone or limestone like material (manufactured stone) base. .
  - d. All site signs shall be placed in a landscaped area.
  - e. Each building site may provide appropriate directional signage at ingress/egress access points. On-site permanent directional signs, e.g. employee and visitor parking, deliveries, etc. will be of a common design, material and size. Maximum height of directional signage shall be four (4) feet and the maximum copy area type face shall be four (4) square feet.
  - f. Site signs may be externally illuminated. Light sources to illuminate signs shall be shielded from view.
3. Building Wall Signs:
- a. If a tenant or owner occupies equal to or more than fifty (50) percent of a single building, that tenant or owner shall be permitted to have one (1) exterior wall sign identifying the name of the business. The sign shall be mounted directly to the building face and shall not project more than 10 inches. Corporate logo/identities shall be permitted.
  - b. Permanent wall sign type illumination shall be provided by one of the following manners:
    - i. Individually mounted, internally illuminated, face lit, channel letter.
    - ii. Individually mounted, internally illuminated reverse channel letter (“halo” illuminated letter).
  - c. Sign area: The maximum sign area for a wall mounted sign shall be 48 square feet.
  - d. Sign height: No sign shall extend above the roof or line of the parapet construction.
  - e. Maximum letter height of message area shall be 24 inches.
  - f. The sign area must terminate twenty-four inches (24”) from a corner of a building.
  - g. No sign mounted to a side or rear elevation shall directly face a residential section.

**Miscellaneous Provisions**

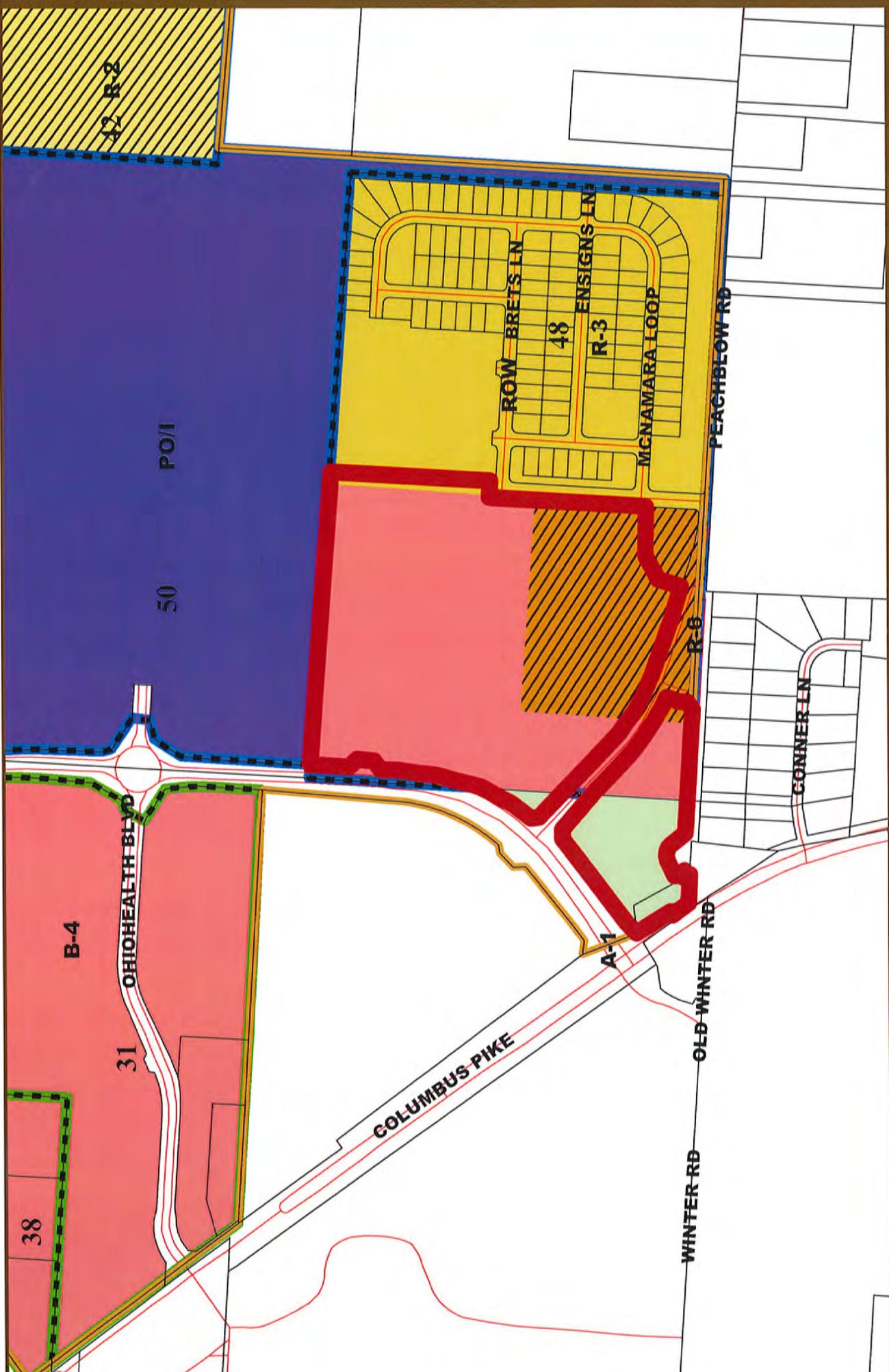
- 1. If the part of the Joint Vocational School District property (parcel #41944001001000) to be purchased by the owner of the Glenn Road Capital Tract (parcel #41833001032000) and Peachblow Associates, LLC property (parcel #41944001002000) are annexed to the City of Delaware, and the then owner of the properties request in writing, within 90 days of such annexations, the properties shall be zoned in accordance with this PMU text as approved by the City of Delaware and it shall become part of Sub Area A.
- 2. Where conflicts exist between Delaware’s base zoning code requirements and this PMU text, this text shall govern and prevail. This property shall conform to the City of Delaware’s zoning code requirements and processes. In instances where this PMU text as approved provides no standards, guidelines, procedures or requirements relative to the City of Delaware’s Zoning Code requirements and processes, the City’s Zoning Code shall govern and prevail.
- 3. The sale of memberships to the pool, community centers, or other accessory uses as part of the residential development shall be permitted.
- 4. Temporary signage shall be allowed for the development as approved with the comprehensive sign plan required herein. Generally, temporary marketing signs will be coordinated in style, size, and will be placed not on every outlot but at strategic, visible locations in order to indicate availability of leasing space and outlots, the developers name and contact number/web site. There shall be no more than 4 such free standing temporary signs for the development as shown on an approved comprehensive sign plan and each sign shall be removed and/or relocated as outlots are leased or sold according to the approved plan. The in-line tenant space will realize their tenant for-lease or sale signs through temporary window signage indicating the name of the developer and contact information.

- ~~5. Open Space and Park Areas: At the time of the drafting of this text, substantial economic and development rights issues remain to be negotiated and determined between the applicant and the City. For this reason a determination regarding parkland and open space dedication and/or fee in lieu of payment has not been finalized. It is anticipated that these negotiations and conclusions will be completed prior to submission of the required preliminary plan and that the open space and parkland issues will be proposed for resolution during this phase of the process. Given this uncertainty, base code requires that this zoning text reflect that the developer will dedicate and/or pay a fee in lieu of parkland at a rate of \$30,000 per required acre unless otherwise negotiated through a separate development agreement and/or the preliminary plan process for the Planned Mixed Use District in order to satisfy Code.~~
- 6.5. Anything contained in Section 1147.06, or any other applicable provision of the Delaware Zoning Code, (chapter 11 Titles One, Three, Five, Seven and Nine of the Codified Ordinances), notwithstanding, this development text is intended to be and shall be construed as the sole source of zoning and development standards for the Glen Road Capitol Tract, PMU district as adopted by the City of Delaware. In particular, the City recognizes that upon adoption, the uses specified herein are sufficient to address the standards, procedures and requirements of Chapter 1148 of the Delaware Zoning Code, and Codified Ordinances, and that all uses herein are approved as permitted uses in the PMU district.
- 7.6. The City of Delaware Gateways and Corridors Standards identifies the corner of Peachblow Road and State Route 23 as a Gateway location. Given the location of this development, it is anticipated that a landscape easement will be established along Route 23 to accommodate a Gateway feature/sign element as depicted in the corridor 2004 standards. The exact size, design and location on this site will be set forth as part of the Final Development Plan.



2018-2459-2461  
 Development Text Amendment, Preliminary  
 Development Plan & Preliminary Subdivision Plat  
 Belmont Place West  
 Location Map





2018-2459-2461  
 Development Text Amendment, Preliminary  
 Development Plan & Preliminary Subdivision Plat  
 Belmont Place West  
 Zoning Map



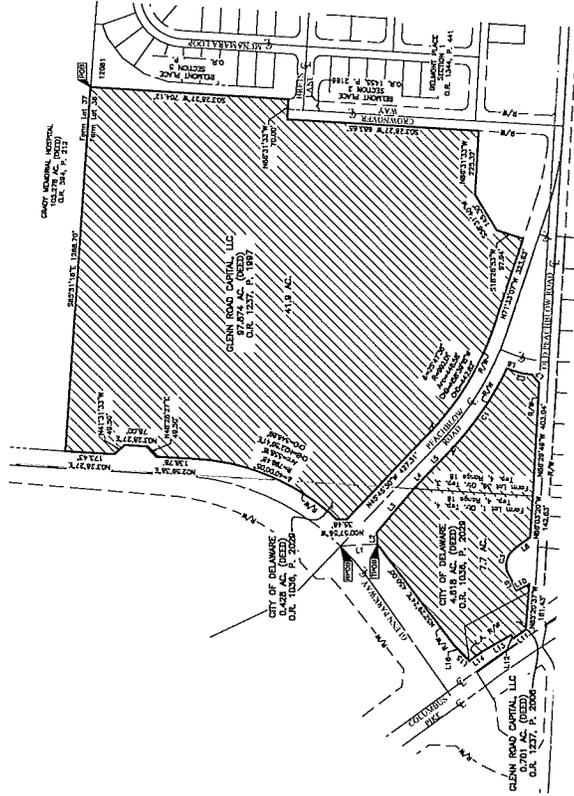


2018-2459-2461  
Development Text Amendment, Preliminary  
Development Plan & Preliminary Subdivision Plat  
Belmont Place West  
Aerial (2016) Map



# ZONING PLAT

FARM LOT 1, QUARTER TOWNSHIP 4, TOWNSHIP 4, RANGE 19  
 FARM LOT 36, QUARTER TOWNSHIP 3, TOWNSHIP 4, RANGE 18  
 UNITED STATES MILITARY LANDS  
 CITY OF DELAWARE, COUNTY OF DELAWARE, STATE OF OHIO



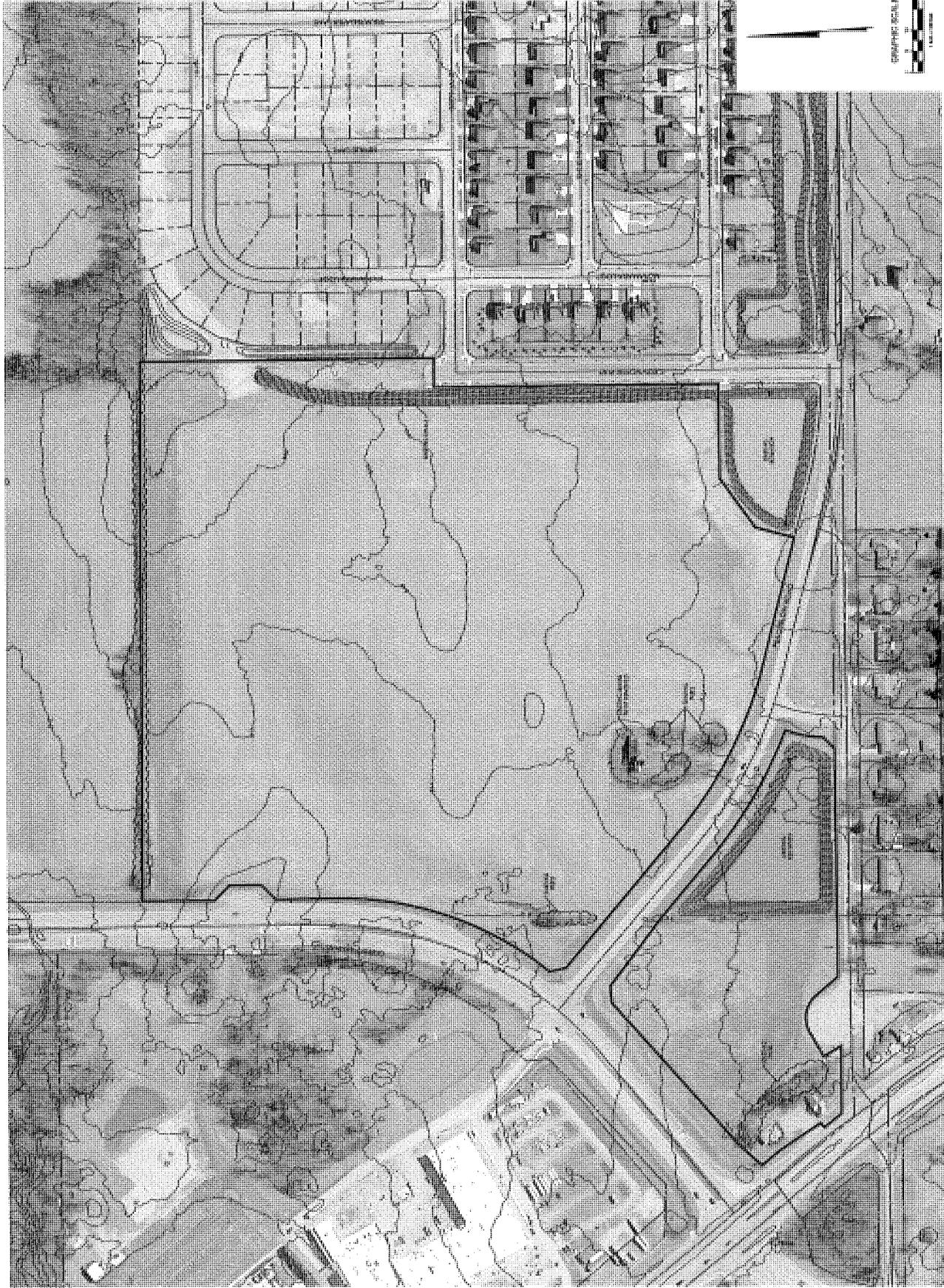
CURVE	DELTA	INSIDE RADIUS	CH. BEARING	CH. DIST.	
C1	87°17'01"	1088.841'	249°12'	250°43'21"	368.07'
C2	18°44'30"	248.896'	73.14'	317°26'42"	72.89'
C3	78°52'12"	73.56'	87.21'	107°03'00"	89.77'

LINE	BEARING	DISTANCE
L1	S82°23'12"	13.18'
L2	S82°23'12"	238.41'
L3	S20°43'21"	368.07'
L4	S48°31'06"	72.89'
L5	S48°31'06"	89.77'
L6	S21°17'00"	183.1'
L7	S48°43'41"	28.47'
L8	S89°25'19"	88.86'
L9	S89°25'19"	88.86'
L10	S28°17'15"	20.02'
L11	N82°23'12"	23.32'
L12	N82°23'12"	13.18'
L13	N20°43'21"	368.07'
L14	N48°31'06"	89.77'
L15	N48°31'06"	72.89'
L16	N21°17'00"	183.1'

EXHIBIT "B-2"

Date: August 24, 2018  
 Scale: 1" = 200'  
 Job No.: 2018-1053  
 Sheet: 1 of 1  
 REVISIONS  
 DATE: 08/24/2018  
 BY: JES/STP





**BELMONT PLACE**  
 City of Delaware, Delaware County, Ohio

PRELIMINARY  
 DEVELOPMENT  
 PLAN

EXISTING  
 CONDITIONS PLAN

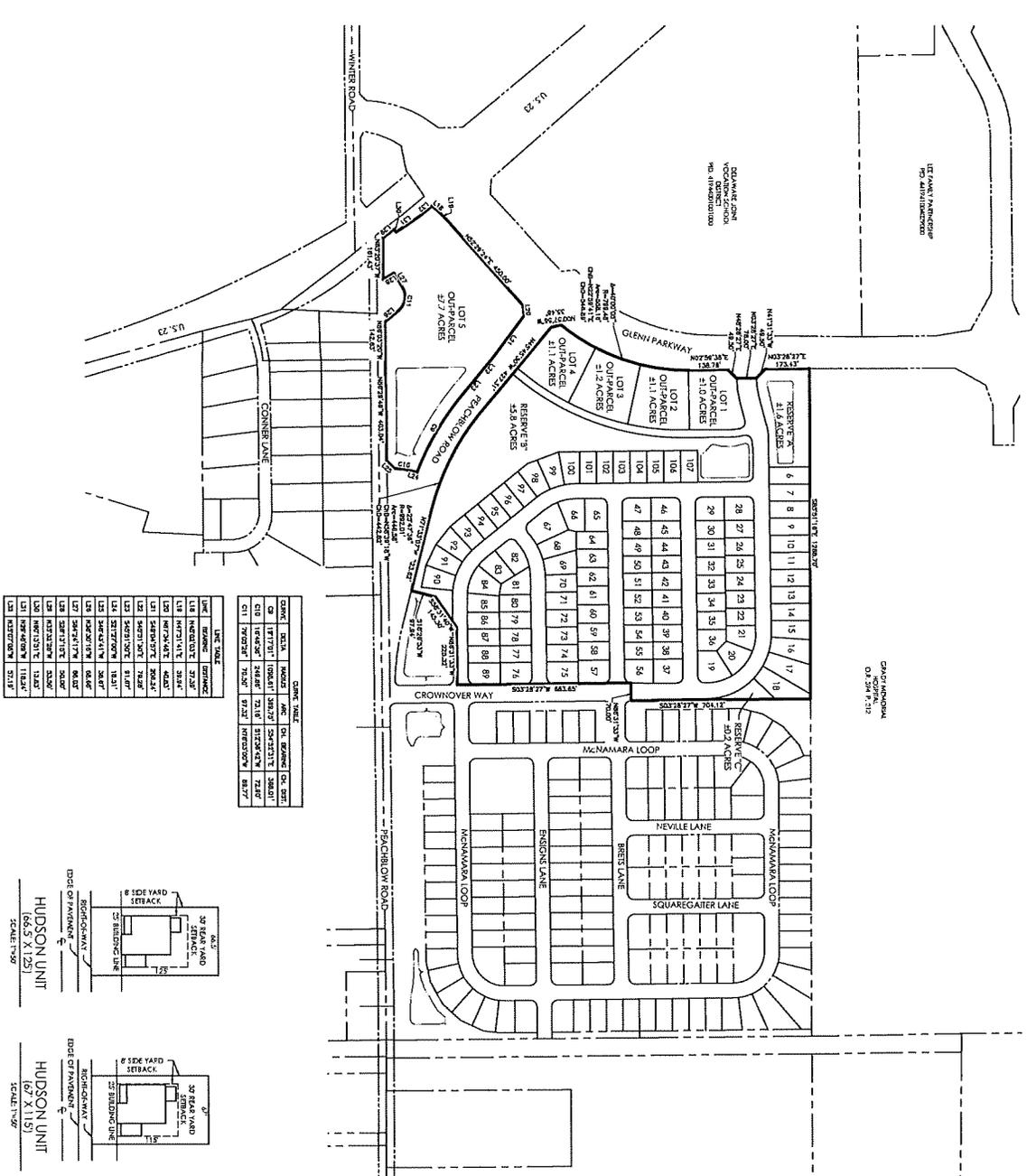
STAYROFF LAND &  
 DEVELOPMENT, INC.  
 1400 DUBLIN CENTER DRIVE  
 DUBLIN, OHIO 43017



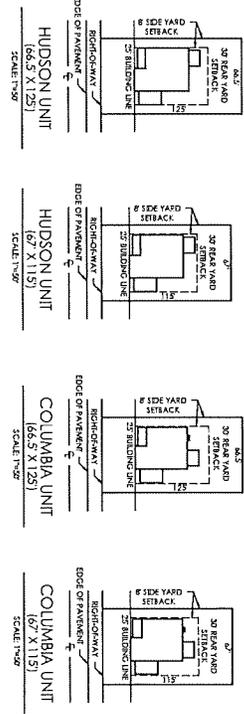
DATE	DESCRIPTION

EXHIBIT "C-1"





LINE	THICKNESS	STYLE	DESCRIPTION
1	3/16"	SOLID	PROPERTY LINE
2	3/32"	DASH	SETBACK LINE
3	3/32"	DASH	SETBACK LINE
4	3/32"	DASH	SETBACK LINE
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183	3/32"	DASH	SETBACK LINE
184	3/32"	DASH	SETBACK LINE
185	3/32"	DASH	SETBACK LINE
186	3/32"	DASH	SETBACK LINE
187	3/32"	DASH	SETBACK LINE
188	3/32"	DASH	SETBACK LINE
189	3/32"	DASH	SETBACK LINE
190	3/32"	DASH	SETBACK LINE
191	3/32"	DASH	SETBACK LINE
192	3/32"	DASH	SETBACK LINE
193	3/32"	DASH	SETBACK LINE
194	3/32"	DASH	SETBACK LINE
195	3/32"	DASH	SETBACK LINE
196	3/32"	DASH	SETBACK LINE
197	3/32"	DASH	SETBACK LINE
198	3/32"	DASH	SETBACK LINE
199	3/32"	DASH	SETBACK LINE
200	3/32"	DASH	SETBACK LINE



**NOTE:**

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. SETBACKS SHALL BE MEASURED FROM THE EXTERIOR CORNER OF THE BUILDING TO THE PROPERTY LINE.
3. SETBACKS SHALL BE MEASURED FROM THE EXTERIOR CORNER OF THE BUILDING TO THE PROPERTY LINE.
4. ALL DIMENSIONS SHALL BE MEASURED TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS SHALL BE MEASURED TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS SHALL BE MEASURED TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS SHALL BE MEASURED TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS SHALL BE MEASURED TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS SHALL BE MEASURED TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS SHALL BE MEASURED TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.

**DESIGN STANDARDS:**

**SUBAREA 'A'**

MINIMUM FRONT YARD SETBACK	30 FEET
MINIMUM SIDE YARD SETBACK	5 FEET
MINIMUM REAR YARD SETBACK	10 FEET
MINIMUM FRONT YARD SETBACK	30 FEET
MINIMUM SIDE YARD SETBACK	5 FEET
MINIMUM REAR YARD SETBACK	10 FEET



**SITE STATISTICS:**

TOTAL ACRES	11.1
NET ACRES	11.1
RESERVE 'A'	1.1
RESERVE 'B'	1.1
RESERVE 'C'	1.1
RESERVE 'D'	1.1
RESERVE 'E'	1.1
RESERVE 'F'	1.1
RESERVE 'G'	1.1
RESERVE 'H'	1.1
RESERVE 'I'	1.1
RESERVE 'J'	1.1
RESERVE 'K'	1.1
RESERVE 'L'	1.1
RESERVE 'M'	1.1
RESERVE 'N'	1.1
RESERVE 'O'	1.1
RESERVE 'P'	1.1
RESERVE 'Q'	1.1
RESERVE 'R'	1.1
RESERVE 'S'	1.1
RESERVE 'T'	1.1
RESERVE 'U'	1.1
RESERVE 'V'	1.1
RESERVE 'W'	1.1
RESERVE 'X'	1.1
RESERVE 'Y'	1.1
RESERVE 'Z'	1.1



**EXHIBIT "D-1"**

**STAVROPOULOS & ASSOCIATES**  
1000 N. HIGHWAY 100, SUITE 100  
DUBLIN, OHIO 43017

**PRELIMINARY DEVELOPMENT PLAN**

**INDEX SHEET**

**BELMONT PLACE**  
City of Delaware . Delaware County . Ohio

**PRELIMINARY DEVELOPMENT PLAN**

**INDEX SHEET**



City of Delaware, Delaware County, Ohio

# BELMONT PLACE

PRELIMINARY  
DEVELOPMENT  
PLAN

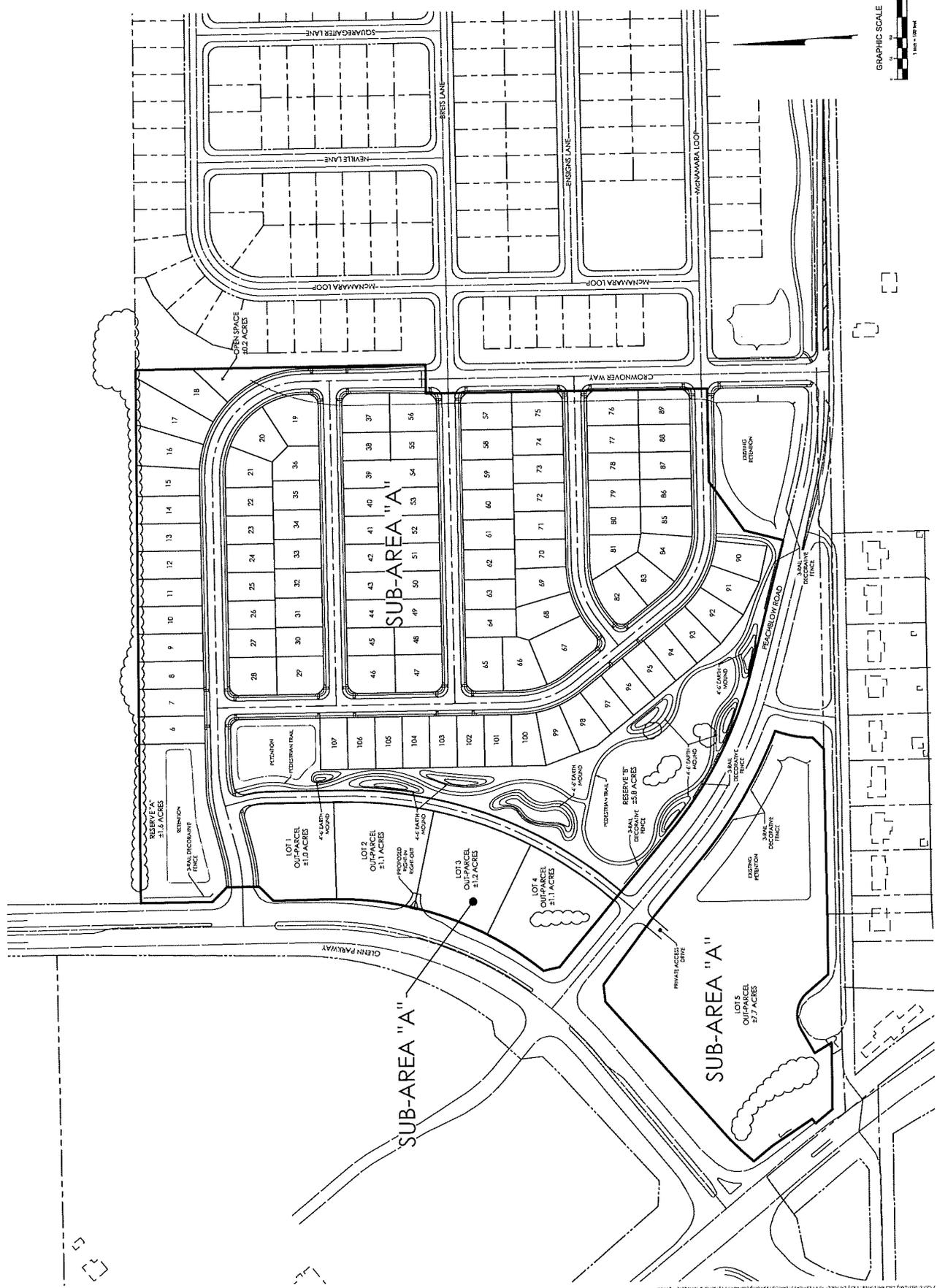
SUB-AREA PLAN

STAVROFF LAND &  
DEVELOPMENT, INC.  
1400 DELAWARE CENTER DRIVE  
TULSA, OHIO 44171



DATE:	SEPTEMBER 14, 2010
STATUS:	PRELIMINARY
SCALE:	AS SHOWN
PROJECT:	BELMONT PLACE
CLIENT:	STAVROFF LAND & DEVELOPMENT, INC.

EXHIBIT "D-3"



12/27/10 10:00 AM STAVROFF LAND & DEVELOPMENT, INC. 1400 DELAWARE CENTER DRIVE TULSA, OHIO 44171

# BELMONT PLACE

PRELIMINARY  
DEVELOPMENT  
PLAN

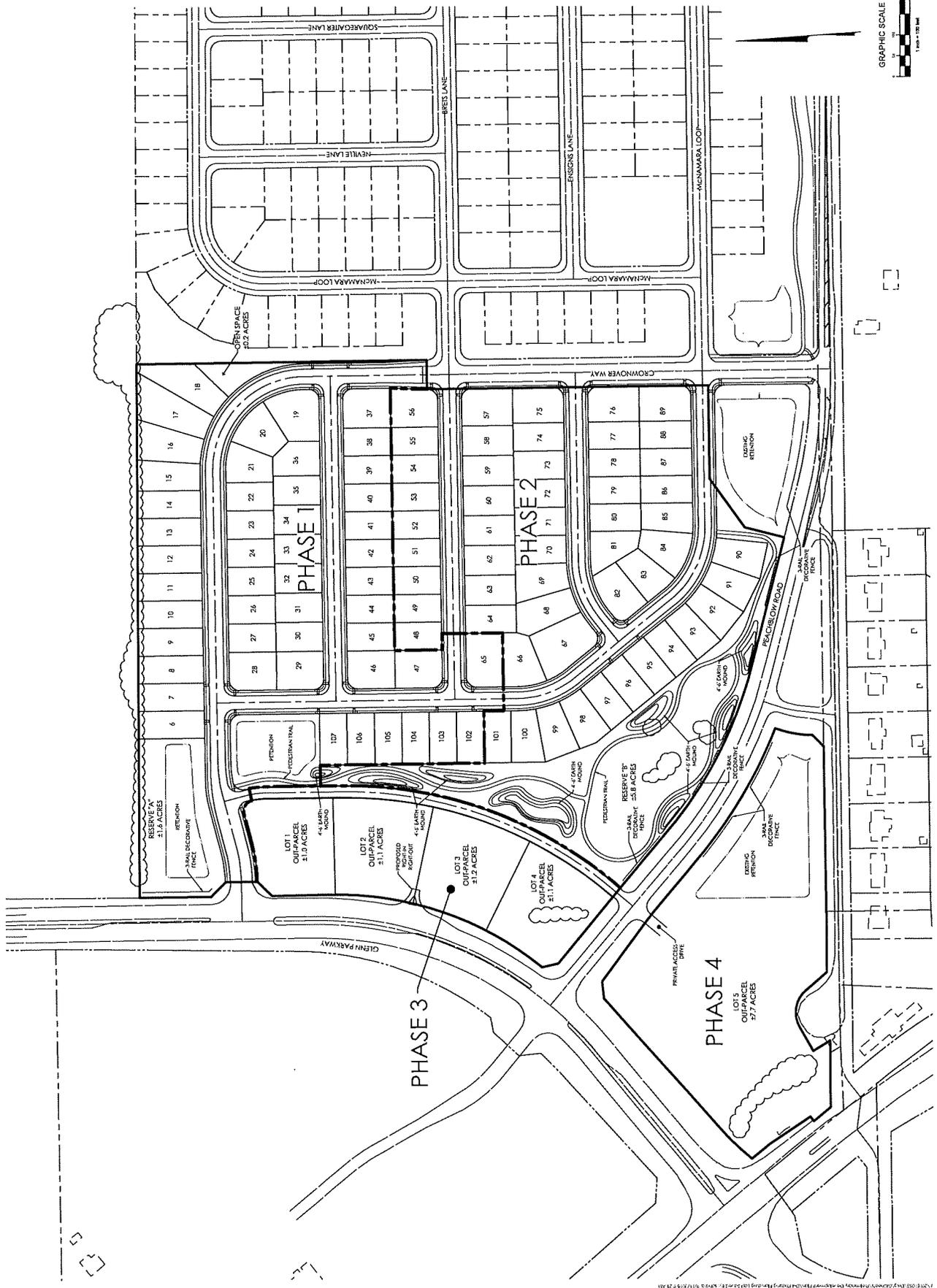
PHASING PLAN

PROJ# 15170  
STAVROF LAND &  
DEVELOPMENT, INC.  
6865 DUBLIN CENTER DRIVE  
DUBLIN, OHIO 43017



DATE:	03/14/2012
BY:	EMHT
PROJECT:	BELMONT PLACE
SCALE:	AS SHOWN
REVISIONS:	

EXHIBIT "D-4"



1:2025 (05) ENGINEERING COMPANY THROUGH THE MICHIGAN PROJECTS AND LAND SURVEYING DIVISION OF THE STATE OF OHIO



# BELMONT PLACE

PRELIMINARY  
DEVELOPMENT  
PLAN

TREE REMOVAL &  
REPLACEMENT PLAN

PREPARED BY:  
STAYROFF LAND &  
DEVELOPMENT, INC.  
1400 QUINCY DRIVE  
DUBLIN, OHIO 43017



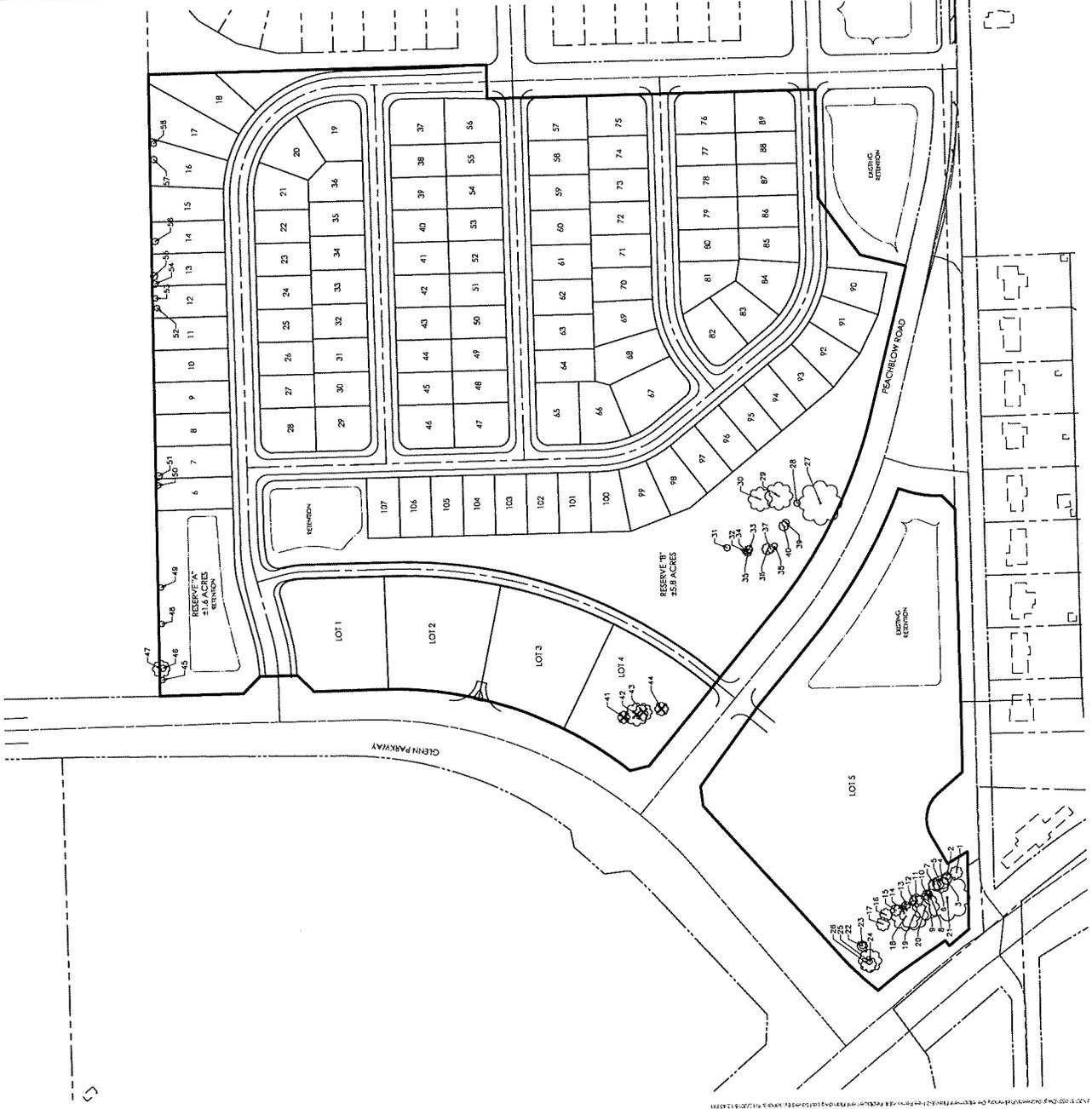
DATE	SEPTEMBER 11, 2013
PROJECT	BELMONT PLACE
SCALE	AS SHOWN
REVISION	
BY	
CHECKED	
DATE	

EXHIBIT "E-2"

ID	Common Name	Scientific Name	Size	Trunk Class	Condition
1	Northern Red Oak	Quercus rubra	18	1	Good
2	White Oak	Quercus alba	18	1	Good
3	American Elm	Ulmus americana	12	1	Fair
4	Northern Spruce	Picea canadensis	12	1	Good
5	Black Walnut	Juglans nigra	11	1	Good
6	Northern Red Oak	Quercus rubra	11	1	Good
7	Northern Spruce	Picea canadensis	11	1	Good
8	White Oak	Quercus alba	11	1	Good
9	Black Walnut	Juglans nigra	11	1	Good
10	Scarlet Oak	Quercus coccinea	11	1	Good
11	Northern Red Oak	Quercus rubra	11	1	Good
12	Northern Spruce	Picea canadensis	11	1	Good
13	White Oak	Quercus alba	11	1	Good
14	Black Walnut	Juglans nigra	11	1	Good
15	Northern Red Oak	Quercus rubra	11	1	Good
16	Northern Spruce	Picea canadensis	11	1	Good
17	White Oak	Quercus alba	11	1	Good
18	Black Walnut	Juglans nigra	11	1	Good
19	Northern Red Oak	Quercus rubra	11	1	Good
20	Northern Spruce	Picea canadensis	11	1	Good
21	White Oak	Quercus alba	11	1	Good
22	Black Walnut	Juglans nigra	11	1	Good
23	Northern Red Oak	Quercus rubra	11	1	Good
24	Northern Spruce	Picea canadensis	11	1	Good
25	White Oak	Quercus alba	11	1	Good
26	Black Walnut	Juglans nigra	11	1	Good
27	Northern Red Oak	Quercus rubra	11	1	Good
28	Northern Spruce	Picea canadensis	11	1	Good
29	White Oak	Quercus alba	11	1	Good
30	Black Walnut	Juglans nigra	11	1	Good
31	Northern Red Oak	Quercus rubra	11	1	Good
32	Northern Spruce	Picea canadensis	11	1	Good
33	White Oak	Quercus alba	11	1	Good
34	Black Walnut	Juglans nigra	11	1	Good
35	Northern Red Oak	Quercus rubra	11	1	Good
36	Northern Spruce	Picea canadensis	11	1	Good
37	White Oak	Quercus alba	11	1	Good
38	Black Walnut	Juglans nigra	11	1	Good
39	Northern Red Oak	Quercus rubra	11	1	Good
40	Northern Spruce	Picea canadensis	11	1	Good
41	White Oak	Quercus alba	11	1	Good
42	Black Walnut	Juglans nigra	11	1	Good
43	Northern Red Oak	Quercus rubra	11	1	Good
44	Northern Spruce	Picea canadensis	11	1	Good
45	White Oak	Quercus alba	11	1	Good
46	Black Walnut	Juglans nigra	11	1	Good
47	Northern Red Oak	Quercus rubra	11	1	Good
48	Northern Spruce	Picea canadensis	11	1	Good
49	White Oak	Quercus alba	11	1	Good
50	Black Walnut	Juglans nigra	11	1	Good
51	Northern Red Oak	Quercus rubra	11	1	Good
52	Northern Spruce	Picea canadensis	11	1	Good
53	White Oak	Quercus alba	11	1	Good
54	Black Walnut	Juglans nigra	11	1	Good
55	Northern Red Oak	Quercus rubra	11	1	Good
56	Northern Spruce	Picea canadensis	11	1	Good
57	White Oak	Quercus alba	11	1	Good
58	Black Walnut	Juglans nigra	11	1	Good

- ☐ = DEAD TREE (19 CAUPER INCHES)
- ☒ = TREES TO BE REMOVED (79 CAUPER INCHES)
- ☒ = TREES TO BE PRESERVED (72 CAUPER INCHES)
- ☒ = TREES TO BE REMOVED

20 CAUPER INCHES TO BE REMOVED  
SEE EXHIBIT "D" FOR TREE & LANDSCAPE PLANTING SCHEDULE FOR TREE REPLACEMENT  
1. ALL EXISTING TREES WITH A DBH OF 2 INCHES OR MORE SHALL BE PRESERVED.  
2. ALL EXISTING TREES WITH A DBH OF 2 INCHES OR MORE SHALL BE PRESERVED UNLESS THEY ARE DAMAGED OR DISEASED.  
3. ALL EXISTING TREES WITH A DBH OF 2 INCHES OR MORE SHALL BE PRESERVED UNLESS THEY ARE DAMAGED OR DISEASED.  
4. ALL EXISTING TREES WITH A DBH OF 2 INCHES OR MORE SHALL BE PRESERVED UNLESS THEY ARE DAMAGED OR DISEASED.  
5. ALL EXISTING TREES WITH A DBH OF 2 INCHES OR MORE SHALL BE PRESERVED UNLESS THEY ARE DAMAGED OR DISEASED.  
6. ALL EXISTING TREES WITH A DBH OF 2 INCHES OR MORE SHALL BE PRESERVED UNLESS THEY ARE DAMAGED OR DISEASED.  
7. ALL EXISTING TREES WITH A DBH OF 2 INCHES OR MORE SHALL BE PRESERVED UNLESS THEY ARE DAMAGED OR DISEASED.  
8. ALL EXISTING TREES WITH A DBH OF 2 INCHES OR MORE SHALL BE PRESERVED UNLESS THEY ARE DAMAGED OR DISEASED.  
9. ALL EXISTING TREES WITH A DBH OF 2 INCHES OR MORE SHALL BE PRESERVED UNLESS THEY ARE DAMAGED OR DISEASED.  
10. ALL EXISTING TREES WITH A DBH OF 2 INCHES OR MORE SHALL BE PRESERVED UNLESS THEY ARE DAMAGED OR DISEASED.  
11. ALL EXISTING TREES WITH A DBH OF 2 INCHES OR MORE SHALL BE PRESERVED UNLESS THEY ARE DAMAGED OR DISEASED.  
12. ALL EXISTING TREES WITH A DBH OF 2 INCHES OR MORE SHALL BE PRESERVED UNLESS THEY ARE DAMAGED OR DISEASED.  
13. ALL EXISTING TREES WITH A DBH OF 2 INCHES OR MORE SHALL BE PRESERVED UNLESS THEY ARE DAMAGED OR DISEASED.  
14. ALL EXISTING TREES WITH A DBH OF 2 INCHES OR MORE SHALL BE PRESERVED UNLESS THEY ARE DAMAGED OR DISEASED.  
15. ALL EXISTING TREES WITH A DBH OF 2 INCHES OR MORE SHALL BE PRESERVED UNLESS THEY ARE DAMAGED OR DISEASED.  
16. ALL EXISTING TREES WITH A DBH OF 2 INCHES OR MORE SHALL BE PRESERVED UNLESS THEY ARE DAMAGED OR DISEASED.  
17. ALL EXISTING TREES WITH A DBH OF 2 INCHES OR MORE SHALL BE PRESERVED UNLESS THEY ARE DAMAGED OR DISEASED.  
18. ALL EXISTING TREES WITH A DBH OF 2 INCHES OR MORE SHALL BE PRESERVED UNLESS THEY ARE DAMAGED OR DISEASED.  
19. ALL EXISTING TREES WITH A DBH OF 2 INCHES OR MORE SHALL BE PRESERVED UNLESS THEY ARE DAMAGED OR DISEASED.  
20. ALL EXISTING TREES WITH A DBH OF 2 INCHES OR MORE SHALL BE PRESERVED UNLESS THEY ARE DAMAGED OR DISEASED.



# BELMONT PLACE

PRELIMINARY DEVELOPMENT PLAN

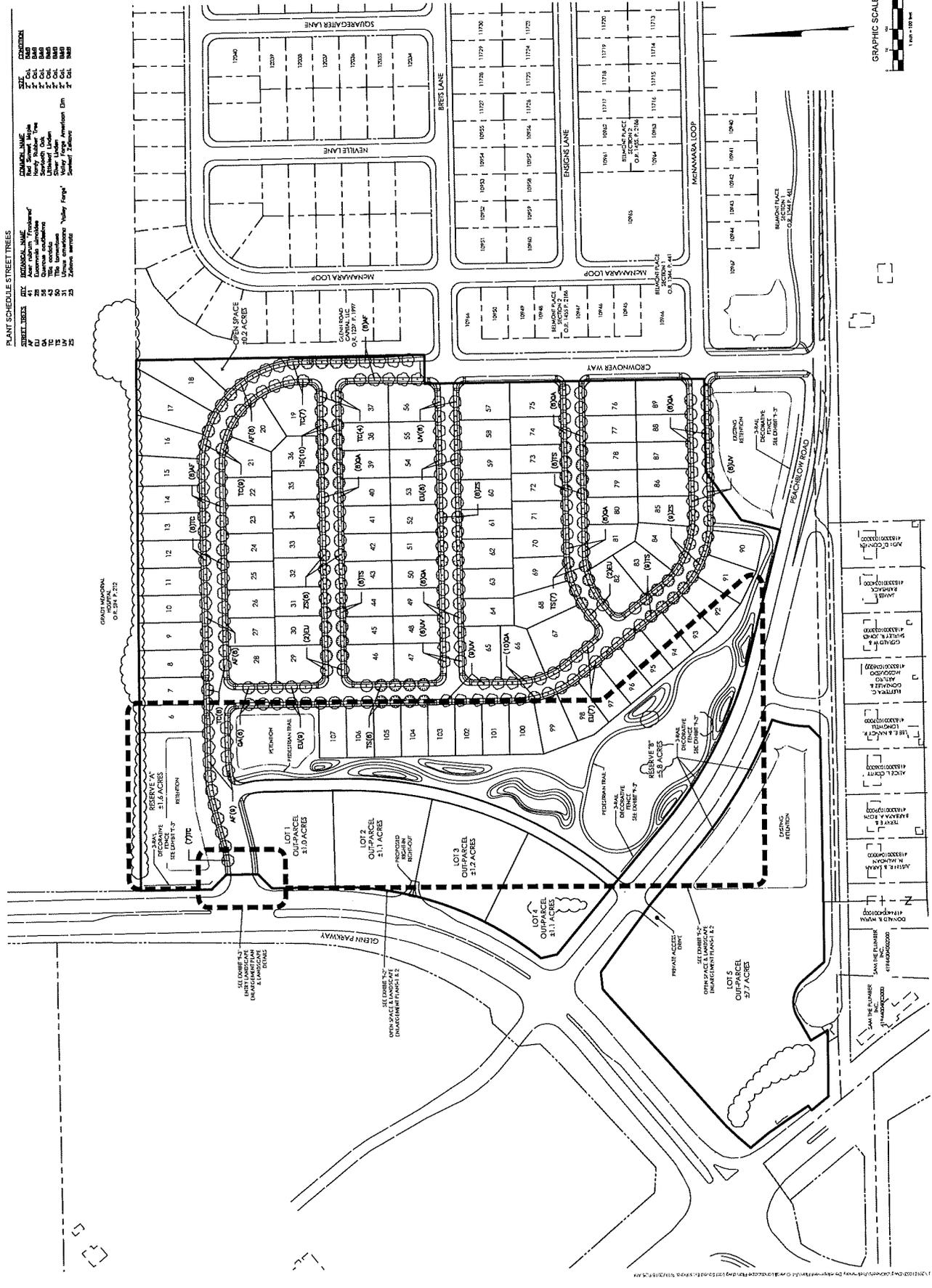
OVERALL LANDSCAPE PLAN

PREPARED BY  
STAVROFF LAND & DEVELOPMENT, INC.  
4470 BURNING CENTER DRIVE  
DUBLIN, OHIO 43017



DATE	DESCRIPTION
07/20/2010	PRELIMINARY PLAN
08/10/2010	REVISED
09/15/2010	REVISED
10/15/2010	REVISED
11/15/2010	REVISED
12/15/2010	REVISED

EXHIBIT "F-1"



# BELMONT PLACE

PRELIMINARY  
DEVELOPMENT  
PLAN

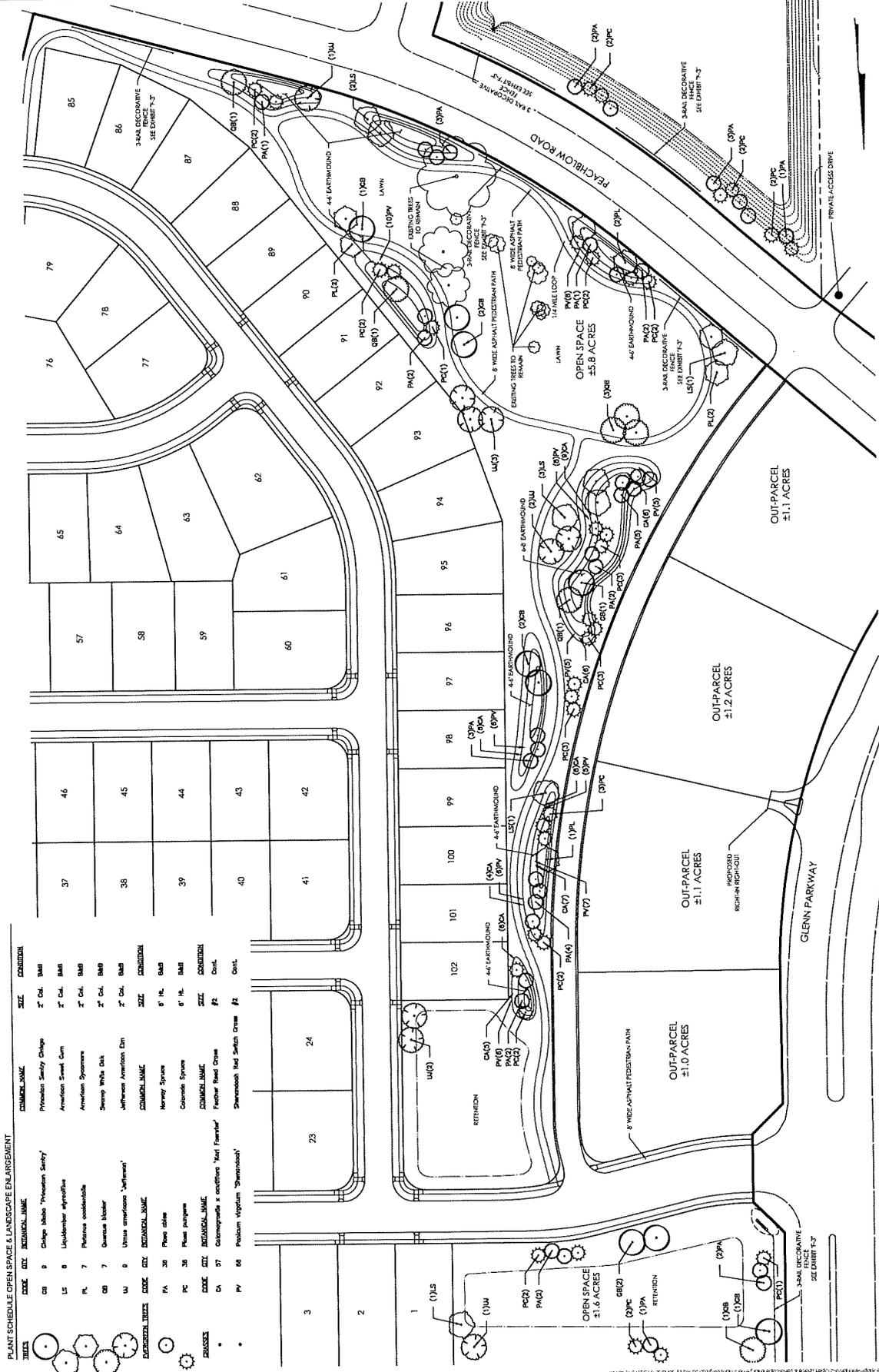
OPEN SPACE &  
LANDSCAPE  
ENLARGEMENT PLANS-1

STAVROF LAND &  
DEVELOPMENT, INC.  
480 DUBLIN CENTER DRIVE  
DUBLIN, OHIO 43017



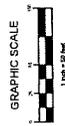
DATE	REVISION
11/11/11	1
11/11/11	2
11/11/11	3
11/11/11	4
11/11/11	5
11/11/11	6
11/11/11	7
11/11/11	8
11/11/11	9
11/11/11	10

EXHIBIT "F-2"



**PLANT SCHEDULE OPEN SPACE & LANDSCAPE ENLARGEMENT**

CODE	QTY	RECOMMEND NAME	SIZE	CONDITION
CB	9	Chicago Umbrella 'Princeton Sentry'	2" Cal.	MBF
LS	8	Liquidambar styraciflua	2" Cal.	MBF
PL	7	Platanus occidentalis	2" Cal.	MBF
QB	7	Quercus bicolor	2" Cal.	MBF
UB	8	Ulmus americana 'Jefferson'	2" Cal.	MBF
PA	35	Platanus	6" Ht.	MBF
PC	35	Platanus	6" Ht.	MBF
CA	57	Callerymyrtus & conditions 'Leaf Fireweed'	2"	Cont.
PV	65	Populus nigra 'Shademaster'	2"	Cont.





# BELMONT PLACE

## PRELIMINARY DEVELOPMENT PLAN

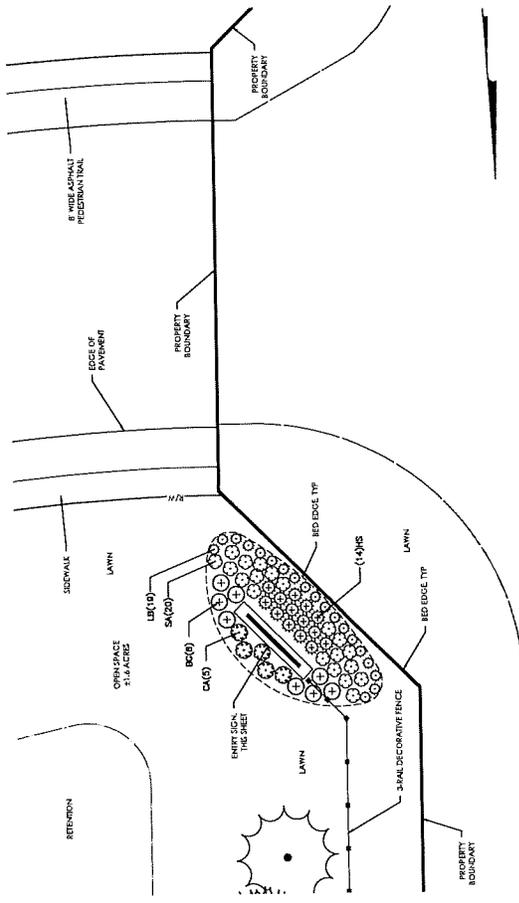
### ENTRY LANDSCAPE ENLARGEMENT PLAN & LANDSCAPE DETAILS

STAVROPOULOS & ASSOCIATES  
 1400 DUBLIN CENTER DRIVE  
 DUBLIN, OHIO 43017



DATE:	STATEMENT NO. 2024
DRAWN BY:	
CHECKED BY:	
INCHES:	
SCALE:	

EXHIBIT 'IF-3'

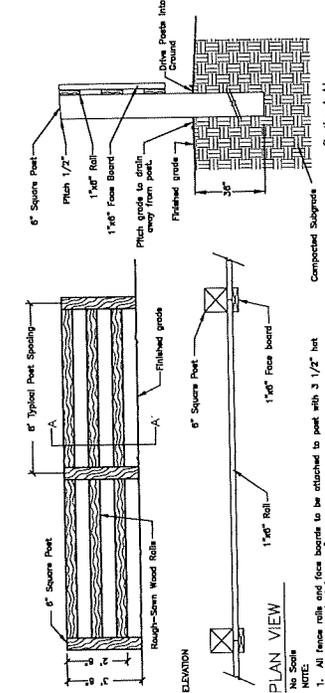


### GLENN PARKWAY

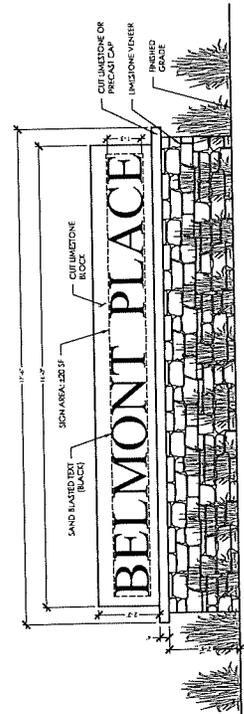
Entry Landscape Plan  
 Scale: 1"=10'

#### PLANT SCHEDULE ENTRY LANDSCAPE ENLARGEMENT

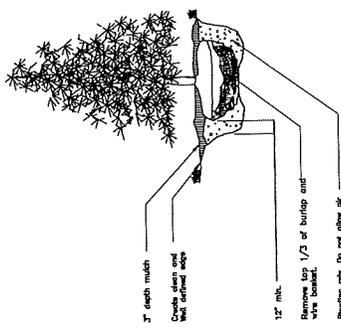
SYMBOL	CODE	SIZE	RECOMMENDED NAME	COMMON NAME	SIZE	CONDITION
⊕	B	5	Broomrape	Ornamental	24" H.	Cont.
⊙	16	14	Hemerocallis	Star of Or	1'	Cont.
⊗	18	19	Urtica	Stinging Nettle	1'	Cont.
⊘	24	20	Asplenium	Woods Fern	1'	Cont.
⊙	24	20	Asplenium	Woods Fern	1'	Cont.
⊙	24	20	Asplenium	Woods Fern	1'	Cont.
⊙	24	20	Asplenium	Woods Fern	1'	Cont.



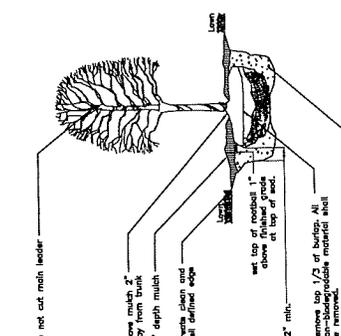
**ELEVATION**  
 No Scale  
 1. All fence rails and face boards to be attached to post with 3/4\"/>



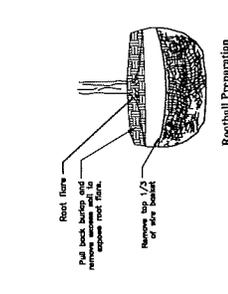
Enter Sign  
 Scale: 1"=10'



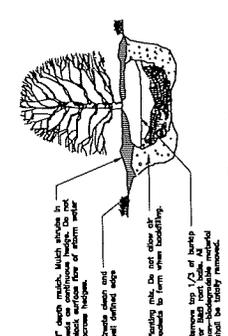
Evergreen Tree Planting  
 No Scale



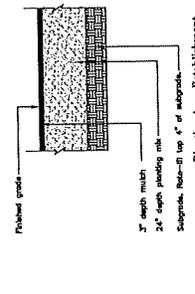
Deciduous Tree Planting  
 No Scale



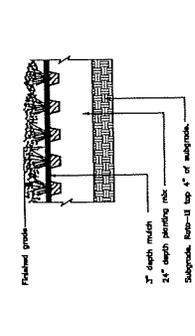
Rootball Preparation  
 No Scale



Shrub Planting  
 No Scale



Planting Area Establishment  
 No Scale



Perennial & Groundcover Planting  
 No Scale



# BELMONT PLACE

PRELIMINARY  
DEVELOPMENT  
PLAN

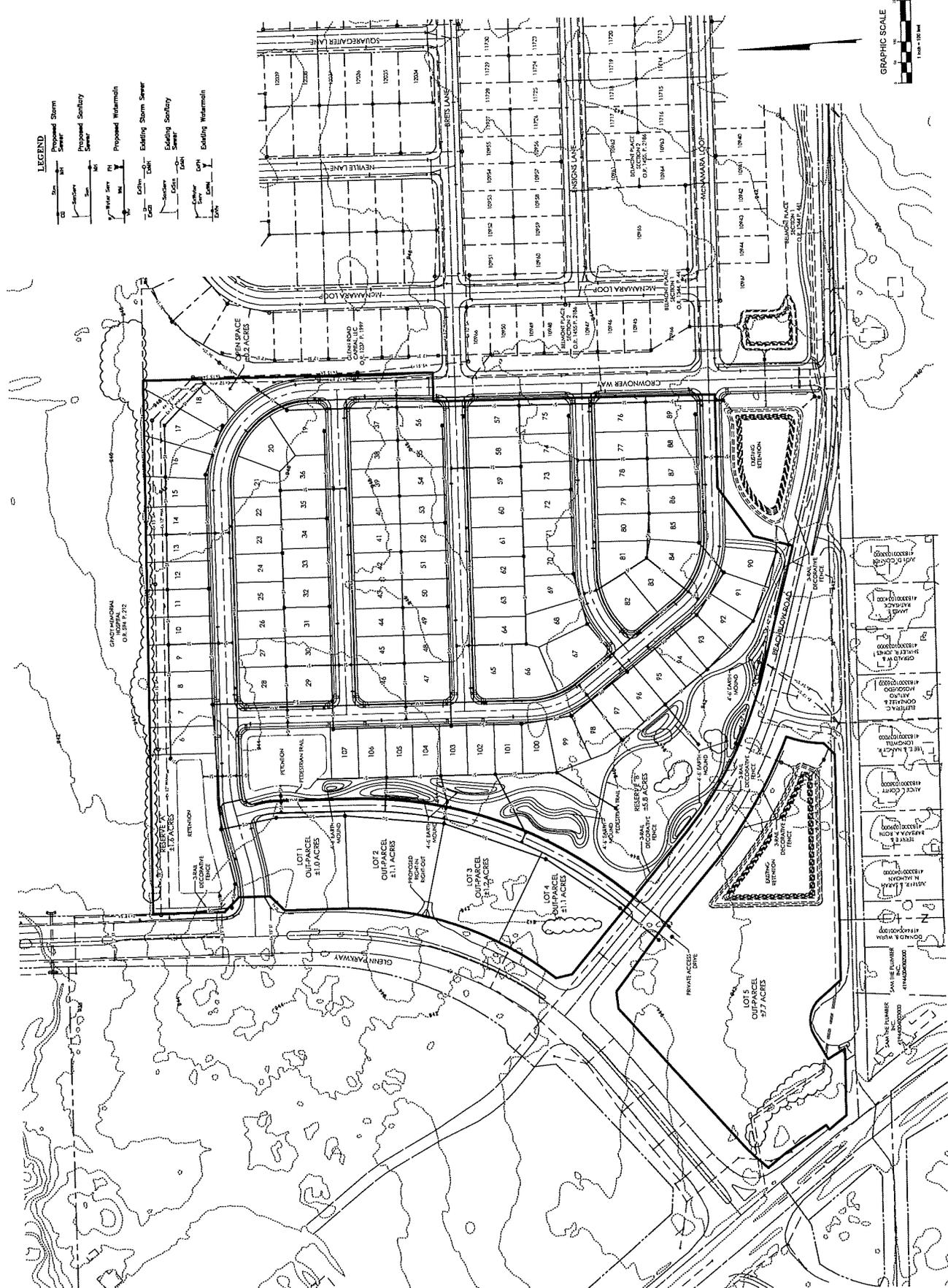
PRELIMINARY  
UTILITY PLAN

STAVROFF LAND &  
DEVELOPMENT, INC.  
3400 DUBLIN CENTER DRIVE  
DUBLIN, OHIO 43017



DATE	APPROVED

EXHIBIT "H-1"



**LEGEND**

	Proposed Storm Sewer
	Proposed Sanitary Sewer
	Proposed Watermain
	Existing Storm Sewer
	Existing Sanitary Sewer
	Existing Watermain

STAVROFF LAND & DEVELOPMENT, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA SHOWN ON THIS PLAN.















## PLANNING COMMISSION / STAFF REPORT

CASE NUMBERS: 2018-2493-2494

REQUEST: Multiple Requests

PROJECT: River Street Business Park

MEETING DATE: October 17, 2018

---

### APPLICANT/OWNER

Terrain Evolution  
720 East Broad Street, Suite 203  
Columbus, Ohio 43215

### REQUESTS

2018-2493: A request by Tim Colatruglio for approval of a Final Development Plan for River Street Business Park encompassing approximately 2.594 acres (13 properties) located at 45 River Street and zoned B-3 and R-4 PMU (Community Business District and Medium Density Residential District with a Planned Mixed Use Overlay).

2018-2494: A request by Tim Colatruglio for approval of an Alley Vacation for River Street Business Park encompassing approximately 2.594 acres (13 properties) located at 45 River Street and zoned B-3 and R-4 PMU (Community Business District and Medium Density Residential District with a Planned Mixed Use Overlay).

### PROPERTY LOCATION & DESCRIPTION

The subject thirteen parcels are located south of East William Street between River Street and the elevated bike path and are zoned B-3 and R-4 PMU. The properties to the north, east and south are zoned R-4 while the property to the west is zoned B-3 and PO/I (Planned Office/Institutional District) located across the river and US 23.

### BACKGROUND/PROPOSAL

In April 2017, the Planning Commission and City Council approved a Rezoning, Conditional Use Permit and Preliminary Development Plan for the proposed development. Now the owner is requesting Final Development Plan and Alley Vacation approval to advance the project.

The owner is proposing to maintain the existing 2,340 square foot building which contains his company located on the southern portion of the site along River Street while adding two new commercial/office/warehouse buildings 15,500 square feet and 6,000 square feet respectively with an associated parking lot located north of the existing building for a total business park square footage of 23,840. Two curb cuts from River Street would access the proposed business park. Also, the two paper alley's that extend through the site would need to be vacated by the City.

---

### STAFF ANALYSIS

- **ZONING:** As mentioned above, the zoning of the subject properties are B-3 and R-4 PMU which allows the proposed uses per the approved development text. The Final Development Plan and Alley Vacation would require Planning Commission and City Council approval.
- **ALLEY VACATION:** The subject property owner is the adjacent owner to both paper alleys so vacating both alleys would not have a negative impact on adjacent property owners. The vacation of the alleys would allow the owner to consolidate the parcels and create a viable business park while relinquishing the City of alley right-of-way not being utilized.
- **LAND USE:** The proposed business park with specific PMU development text limited uses would be consistent with the Comprehensive Plan of the "Downtown Core" of the plan which designates these properties for Mixed Use.
- **ENGINEERING** The Applicant has submitted engineering drawings for the site that are approved pending approval of the Final Development Plan.
- **ROADS AND TRAFFIC:** The site would be accessed by two full movement curb cuts from River Street. The engineering department would require a guard rail on the west side of River Street adjacent to the curbs cuts to help protect against any vehicles from going into the river. In addition, a sidewalk on the east side of River Street along the frontage of the development would be required to the southernmost curb cut per the City Engineer requirements.

- **SITE LAYOUT:** The aforementioned two curb cuts accesses a 60 space parking lot which forms an interior loop with the proposed buildings constructed on the perimeter of the site. A 15,500 square foot building (which could be divided into multi-tenant spaces) would be constructed along the northern perimeter of the site (just south of the alley) while a 6,000 square foot building would be constructed along the eastern portion of the site adjacent to the City bike path which is approximately 12 feet above the subject site. The existing 2,430 square foot building is located along the southern perimeter of the site. The entire site would yield 23,840 square feet of building area. The parking ratio for the site is approximately one space per 400 square feet which would require a mix of commercial, office, manufacturing and warehouse uses. For example the entire site cannot be commercial or office uses as a practical matter because their parking ratios are 200 and 300 square feet respectively which could only accommodate 12,000 square feet of commercial space and 18,000 square feet of office space respectively while manufacturing and warehousing uses are 400 and 1,000 square feet respectively which could accommodate the entire square footage of the 60 space parking lot. Therefore, staff is comfortable with the ability of the proposed development to accommodate a mix of uses while providing adequate parking with a blended average parking ratio reflective of the use mix. Additionally, the base zoning code allows for up to a 30% reduction in parking spaces to be deferred as well based upon the specifics of the proposal. Staff finds these two factors compelling in recommending this shared parking allowance and what is shown on the development plan. Two dumpsters enclosed by a wood fence are proposed along the eastern portion of the parking lot. The zoning code and development text require the dumpsters to be enclosed by a wall to match the buildings with the doors painted to match. A detention basin is located along River Street between the two curb cuts.
- **BUILDING DESIGN:** The intent of the design regulations allows renovations and additions to existing structures to be constructed of similar building materials or natural materials while all new buildings regardless of use shall consist of steel siding combined with stone veneer water table or similar approved products as the exterior material. The existing metal panel building with a metal roof would remain the same but a limestone wainscoting would be added to the front and west elevation. The two new buildings would be constructed of metal panels with metal pitched roofs and also would have a limestone wainscoting on the front and west elevations (fronting River Street). The front elevations also would have windows, man doors and overhead doors depending on specific tenant needs. Any accessory structures such as enclosures for dumpsters and other similar structures shall consist of limestone or similar approved products as the exterior material and be designed in a consistent and cohesive manner to the principal building in which it serves. All mechanical equipment shall be screened from public view from all sides with the height of such screening shall be equivalent to the height of the highest mechanical equipment.
- **BIKE PATHS AND PEDESTRIAN ROUTES:** There are not any proposed bike paths or pedestrian routes within this site per the adopted Bicycle and Pedestrians Plan 2027. As mentioned above, a sidewalk on the east side of River Street along the frontage of the development would be required to the southernmost curb cut per the City Engineer requirements.
- **LANDSCAPING:** The applicant is proposing street, front yard, perimeter and interior parking lot landscaping for the subject site. The zoning code requires 11 street (one tree every 40 feet) and 9 front yard (one tree every 50 feet) trees based on the 420 feet of frontage on River Street. The proposed plan identifies 3 street trees but there are 9 mature trees in the street right-of-way that would be preserved that would fulfill the street tree requirements. The owner is proposing 14 new trees to supplement the existing trees along the northern property line to buffer the residential homes to the north. Staff recommends 6 foot high evergreen trees at installation planted 20 feet on center to supplement the existing trees to form a continuous buffer adjacent to the residential houses to the north. The interior parking lot landscaping and parking lot buffering appears to meet base zoning code requirements. Also, foundation landscaping would be required for each building. All landscape plans would need to be submitted, reviewed and approved by the Shade Tree Commission.
- **TREE PRESERVATION:** A tree survey has been provided that documents the total number, type, size, and health of trees to be preserved and replaced. Tree removal and replacement shall meet requirements of Chapter 1168 along with the following replacement schedule and fee/replanting requirements per the approved development text:
  - i) Trees in poor condition shall not be replaced (dead, damaged or diseased).
  - ii) Trees in fair condition shall be replaced at 50%.

- iii) Trees in good condition shall be replaced at 100%
- iv) Ash trees shall not be replaced and must be removed from the site.
- v) Other tree species considered by the City Arborist to be a species of poor quality will be considered as such with a 0% replacement value.
- vi) Based upon the submitted and verified survey, the number of caliper inches removed is 351 caliper inches).
- vii) Per the submitted and verified survey, the owner is preserving 159 caliper inches of trees of which 78 caliper inches would be in a tree preserve located at the extreme northeastern portion of the site and 81 caliper inches throughout the site. Credit shall be given on a caliper inch basis for any preserved and/or permanently protected (easement or covenant) areas of existing trees per the approved development text.
- viii) Therefore, the owner shall be required to make a payment of \$19,200 (351 caliper inches removed – 159 caliper inches preserved = 192 total caliper inches removed x \$100 per caliper inch).

- **LIGHTING PLAN:** The lighting plan was approved by the Chief Building Official on March 14, 2018. In lieu of street lights, site lighting is being provided such that appropriate illumination of River Street is provided.
- **SIGNAGE:** No ground or building signage is proposed in this application and any future signage would have to achieve compliance with the approved development text and the current zoning code.
- **MISC:** The existing improved alley just north of the subject property appears to have been constructed outside of the right-of-way and onto the subject property. The applicant is willing to grant a temporary easement to allow this condition to continue until the alley is paved within its right-of-way.

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**STAFF RECOMMENDATION (2018-2493 – FINAL DEVELOPMENT PLAN)**

Staff recommends approval of a request by Tim Colatruglio for a Final Development Plan for River Street Business Park encompassing approximately 2.594 acres (13 properties) located at 45 River Street and zoned B-3 and R-4 PMU (Community Business District and Medium Density Residential District with a Planned Mixed Use Overlay), with the following conditions that:

1. The applicant has submitted engineering drawings for the site that shall be approved when the Final Development Plan is approved.
2. There shall be a minimum of 60 parking spaces to accommodate the mix of commercial, office and warehouse land uses.
3. A guard rail on the west side of River Street adjacent to the curbs cuts shall be installed per engineering requirements for safety reasons.
4. A sidewalk on the east side of River Street along the frontage of the development to the southern curb cut shall be installed per engineering requirements.
5. The existing building and the new buildings shall achieve compliance with the design standards of the approved development text or as approved per the Final Development Plan.
6. Six foot high evergreen trees at installation shall be planted 20 feet on center to supplement the existing trees to form a continuous buffer shall adjacent to the residential houses to the north.
7. Foundation landscaping shall be required for each building.
8. The owner shall be required to replant, permanently preserve treed area and/or pay a tree replacement fee preliminary calculated of \$19,200 per the submitted tree survey to achieve compliance with Chapter 1168 Tree Preservation Regulations along with the approved development text.
9. Any landscape plans shall be reviewed and approved by the Shade Tree Commission.
10. The lighting plan was approved by the Chief Building Official on March 14, 2018. In lieu of street lights, site lighting is being provided such that appropriate illumination of River Street is provided
11. The thirteen parcels shall be consolidated after the Alley Vacation and Final Development Plan approval but prior to the occupancy permit of the first new building.
12. The applicant shall grant a temporary easement to allow the alley to the north to be located on the owners property until the alley is paved within its right-of-way by the City.

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**STAFF RECOMMENDATION (2018-2494 – ALLEY VACATION)**

Staff recommends approval of a request by Tim Colatruglio for an Alley Vacation for River Street Business Park encompassing approximately 2.594 acres (13 properties) located at 45 River Street and zoned B-3 and R-4 PMU (Community Business District and Medium Density Residential District with a Planned Mixed Use Overlay), with the following condition:

1. The owner shall record the alley vacation plat at the county recorder’s office.

**COMMISSION NOTES:**

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*MOTION:*     \_\_\_\_\_ *1<sup>st</sup>*     \_\_\_\_\_ *2<sup>nd</sup>*     *approved*     *denied*     *tabled* \_\_\_\_\_

*CONDITIONS/MISCELLANEOUS:*

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**FILE:**  
**ORIGINAL:**  
**REVISED:**     10/12/18







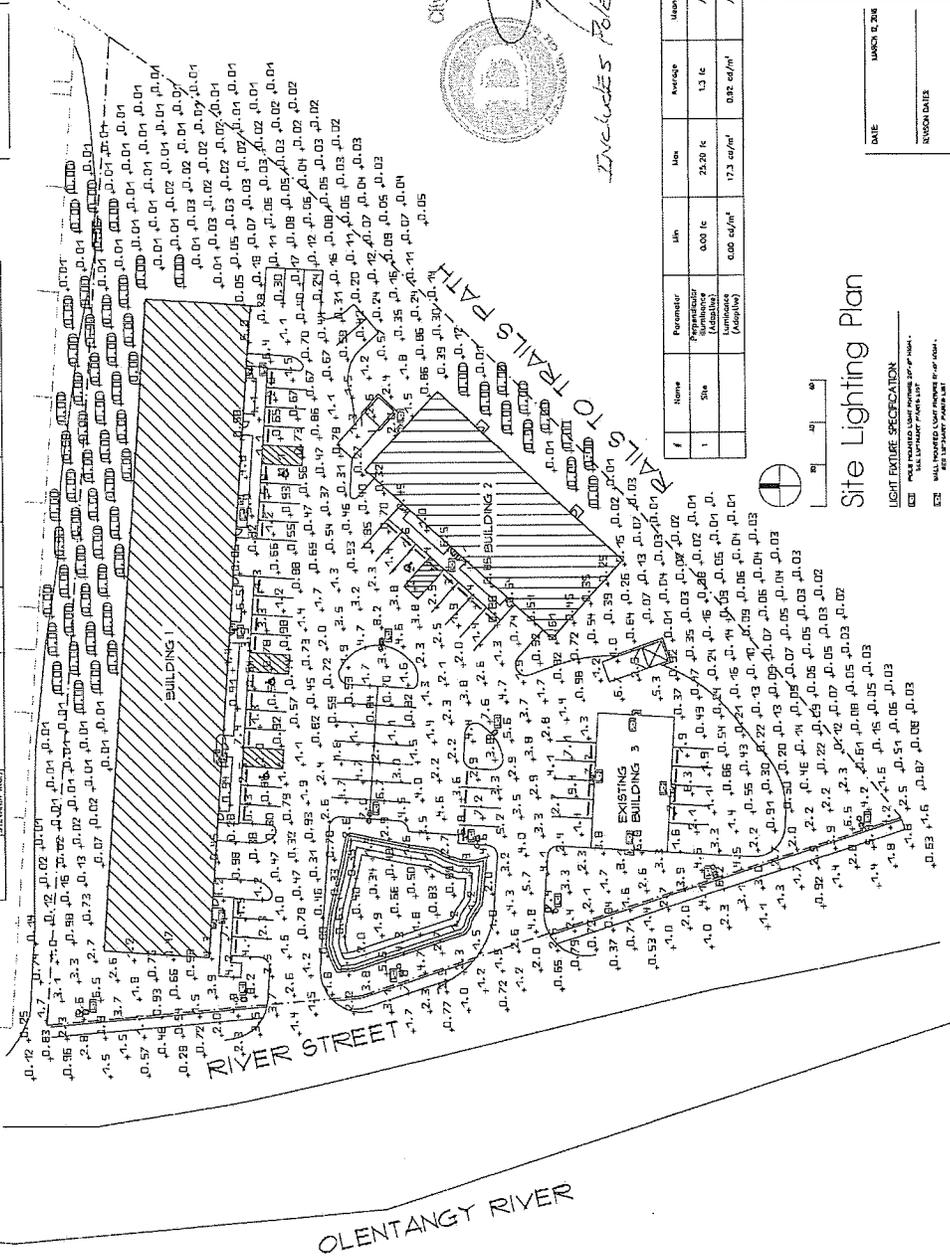






**CLARE ARCHITECTS INC.**  
 704 N. Hill St., 4225-4-607  
 Office: 214-719-0200  
 Mobile: 214-271-8120  
 clarearchitects@comcast.net

Index	Manufacturer	Luminaire Type	Item Number	Filling	Luminaire Flux	Lighting Units	Connected Load	Quantity
1	C-LITE	Cast Aluminum with 2 received payments per each LED	0200014002	0200014002	12442 lm	5100	118.2 W	10
2	WALL MOUNTED PERIMETER FIXTURE (C-LITE)	WALL MOUNT CUTOFF 75W 100% LED 4000K	0200014002	0200014002	9534 lm	0.00	71.2 W	9

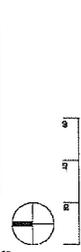


City of Delaware Approved Plans  
 3.14.18



*Gregory A. Warner*  
 City Warner  
 City Building Official  
 INCLUDES FEE & FINANCES SUBMITTED

f	Name	Parameter	Area	Perimeter	Area	Average	Area	Perimeter
1	Site	Footcandle (Average)	0.00	21.20	1.3	1.3	1	1
		Luminaire (Average)	0.00	17.3	0.82	0.82	1	1



Site Lighting Plan

**LIGHT FIXTURE SPECIFICATION**  
 C-LITE  
 WALL MOUNTED CUT OFF 75W  
 100% LED  
 4000K

PROJECT: COLATRIGLIO BUILDINGS  
 45 WARD ST  
 COLUMBUS, OHIO 43215

DATE: MARCH 2, 2018

REVISION DATA:

SHEET TITLE: SITE LIGHTING

SHEET NUMBER: E1

**REVIEW SET - NOT FOR CONSTRUCTION**

# RIVER STREET BUSINESS PARK

CITY OF DELAWARE, OHIO  
JUNE, 2017

SITE IMPROVEMENTS

**SURVEYOR**  
SCOTT LAND SURVEYING SERVICES, INC.  
170 NORTH SANDUSKY STREET  
DELAWARE, OHIO 43015  
P: 740-366-7377

**BENCHMARKS**  
BM#1 SOURCE BENCHMARK  
USGS Z 307  
ELEV. = 866.56 NAVD(1988)

BM#2 SITE BENCHMARK  
BEST BUILT ON FIRE HYDRANT  
ELEV. = 864.71 NAVD(1988)

**LOCAL UTILITY COMPANIES**  
AMERICAN ELECTRIC POWER COMPANY  
30000 W. STATE ST.  
OHIO POWER SERVICE CENTER  
ATTN: KRISTEN THOMPSON  
(614)-883-6831

CONSOLIDATED ELECTRIC COOPERATIVE, INC.  
225 CENTER ST.  
COLUMBUS, OH 43212  
DELAWARE, OH 43005  
ATTN: BRAD STATION, DIRECTOR  
(740)-439-1880

WORK CABLE  
3575 CORPORATE DRIVE  
COLUMBUS, OHIO 43231  
DELAWARE, OH 43004  
CONSTRUCTION ENGINEER  
(614)-948-4818

**INFRASTRUCTURE OWNERSHIP**

INFRASTRUCTURE ITEM	PUBLIC/PRIVATE	COMMENTS
EXISTING SEWER	X	
STREET DRAIN	X	
STREETS	X	CLANGRILL
TRACTOR	X	

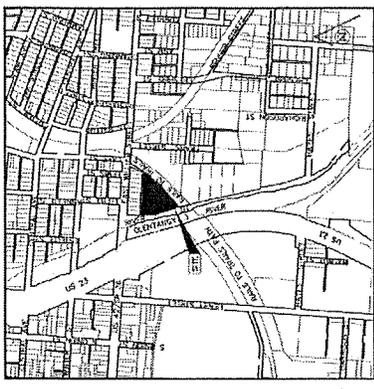
NOTE: THE CITY RESERVES THE RIGHT TO ENGINE ALL INFRASTRUCTURE IS PROPERLY CONSTRUCTED AND INSTALLED, REGARDLESS OF OWNERSHIP.

**PLAN REVISION SCHEDULE**

CHANGE #	PREPARED BY	DESCRIPTION OF CHANGE	PAGE #	APPROVED BY	DATE
1					
2					
3					
4-5					
6					
7					
8					
9					
10					
11					
12					
13					
14					
ED					

**SHEET INDEX**

COVER SHEET	NOTES	DETAILS AND QUANTITIES	EXISTING CONDITION PLAN	DEMOLITION PLAN	SITE LAYOUT PLAN	UTILITY PLAN	ENTRANCE AND PUBLIC SIDEWALK GRADING PLAN	STORM AND SANITARY SEWER PROFILES	EROSION CONTROL PLAN	LANDSCAPING PLAN	LIGHTING PLAN	
1	2	3	4-5	6	7	8	9	10	11	12	13	14



**LOCATION MAP**  
SCALE: 1" = 500'

**OWNER/DEVELOPER**  
TIM & NICHELLE COATRICE  
45 RIVER STREET  
DELAWARE, OHIO 43014  
P: 614-208-2683

**STANDARD DRAWINGS**  
THE FOLLOWING STANDARD DRAWINGS SHALL BE CONSIDERED A PART OF THIS PLAN:

CITY OF DELAWARE	CITY OF COLUMBUS
ERSD-3.0	AA-8132A
SEMO-11.6	AA-8132B
SEMO-11.8	AA-8132C
SEMO-11.9	AA-8132D
SEMO-12.0	AA-8132E
SEMO-12.1	AA-8132F
SEMO-12.2	AA-8132G
SEMO-12.3	AA-8132H
SEMO-12.4	AA-8132I
SEMO-12.5	AA-8132J
SEMO-12.6	AA-8132K
SEMO-12.7	AA-8132L
SEMO-12.8	AA-8132M
SEMO-12.9	AA-8132N
SEMO-13.0	AA-8132O
SEMO-13.1	AA-8132P
SEMO-13.2	AA-8132Q
SEMO-13.3	AA-8132R
SEMO-13.4	AA-8132S
SEMO-13.5	AA-8132T
SEMO-13.6	AA-8132U
SEMO-13.7	AA-8132V
SEMO-13.8	AA-8132W
SEMO-13.9	AA-8132X
SEMO-14.0	AA-8132Y
SEMO-14.1	AA-8132Z
SEMO-14.2	AA-8133A
SEMO-14.3	AA-8133B
SEMO-14.4	AA-8133C
SEMO-14.5	AA-8133D
SEMO-14.6	AA-8133E
SEMO-14.7	AA-8133F
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SEMO-29.7	AA-8138Z
SEMO-29.8	AA-8139A
SEMO-29.9	AA-8139B
SEMO-30.0	AA-8139C



**APPROVALS:**

REGISTERED PROFESSIONAL ENGINEER  
DATE: 6-20-17

**CITY APPROVALS:**

DAVID L. ERDAND ALP  
DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT  
DATE: 6/20/17

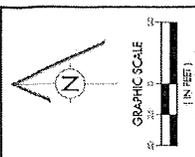
WILLIAM L. TERRINANT P.E.  
PUBLIC WORKS DIRECTOR/SANITARY ENGINEER  
DATE: 6/20/17

MARK J. WILSON  
DEPUTY CITY ENGINEER  
DATE: 6/20/17

BLAKE J. WILSON  
CHIEF REGISTERED PROFESSIONAL ENGINEER NO. 58853  
DATE: 6-20-17

BLAKE J. WILSON  
CHIEF REGISTERED PROFESSIONAL ENGINEER NO. 17214  
DATE: 6-20-17

ANY APPROVAL OF THESE PLANS DOES NOT CONSTITUTE ASSURANCE TO OR ACCEPTANCE OF THE WORK BY THE CITY OF DELAWARE. THE CITY OF DELAWARE ACCEPTS RESPONSIBILITY FOR THE INTEGRITY OF THE PLANS.



CHANGE ORDER SHEET

RESPONSE TO CHANGE

TERMINATION

TERMINATION BY THE CLIENT

TERMINATION BY THE ENGINEER

TERMINATION BY MUTUAL AGREEMENT

TERMINATION BY OTHER

RIVER STREET BUSINESS PARK

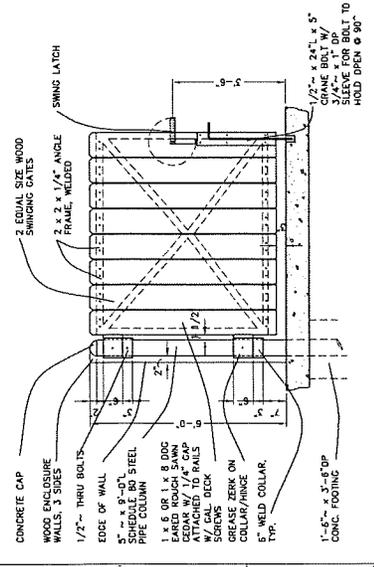
CITY OF DELAWARE, OHIO

NO.	DATE	DESCRIPTION
1	6/20/17	ISSUE FOR PERMIT
2	6/20/17	ISSUE FOR PERMIT
3	6/20/17	ISSUE FOR PERMIT
4	6/20/17	ISSUE FOR PERMIT
5	6/20/17	ISSUE FOR PERMIT
6	6/20/17	ISSUE FOR PERMIT
7	6/20/17	ISSUE FOR PERMIT
8	6/20/17	ISSUE FOR PERMIT
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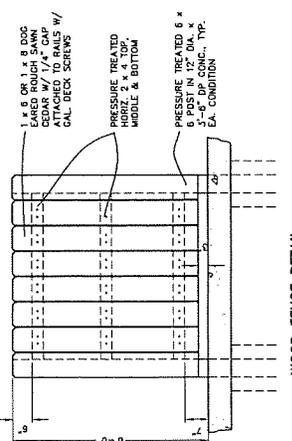
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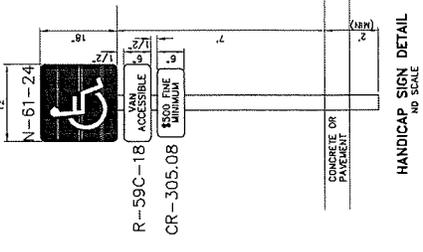




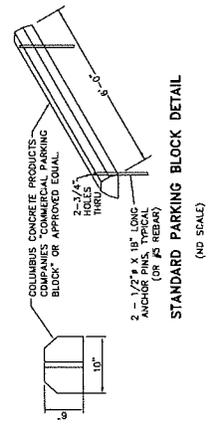
**DUMPSTER GATE DETAIL**  
NO SCALE



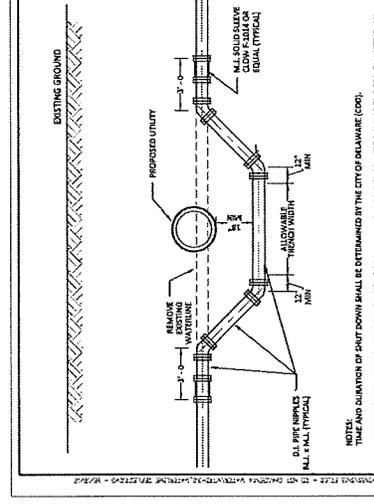
**WOOD FENCE DETAIL**  
NO SCALE



**HANDICAP SIGN DETAIL**  
NO SCALE

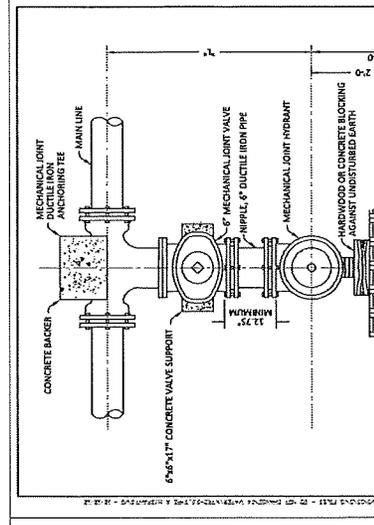


**STANDARD PARKING BLOCK DETAIL**  
(NO SCALE)



**NOTES:**  
1. TIME AND QUANTITY OF SHUT DOWN SHALL BE DETERMINED BY THE CITY OF DELAWARE (CDD).  
2. NOTIFY THE CDD - PUBLIC UTILITIES DEPARTMENT 48 HOURS PRIOR TO THE SHUT DOWN. NOTIFY CDD ON NOTIFY ALL WHEN CUSTOMER AFFECTED BY THE PROPOSED WORK AT LEAST 4 HOURS IN ADVANCE TO THE CUSTOMER.  
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DELAWARE CODES AND STANDARDS.  
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DELAWARE CODE STANDARD DETAILS.  
5. ALL WATER LINES SHALL BE CONNECTED TO SWAGING WITH A 4% PRECISE HYDROLOGIC SOLUTION IN ACCORDANCE WITH THE PROPOSED SECTION OF THE MANUAL.

**TYPICAL WATER LINE LOWERING**  
NO SCALE



**NOTES:**  
1. FIRE HYDRANT SHALL HAVE A MINIMUM BURIED DEPTH OF 7'-0\"/>

**TYPICAL HYDRANT SETTING TYPE 'A'**  
NO SCALE

SHOULDER WIDTH	MINIMUM	MAXIMUM
1'	12"	12"
2'	12"	12"
3'	12"	12"
4'	12"	12"
5'	12"	12"
6'	12"	12"
7'	12"	12"
8'	12"	12"
9'	12"	12"
10'	12"	12"

**STANDARD DETAIL**  
**TYPICAL HYDRANT SETTING TYPE 'A'**  
NO SCALE



**ON-SITE PAVEMENT 6\"/>**



**8\"/>**



**TYPICAL INTEGRAL CURB & SIDEWALK DETAIL**  
NO SCALE



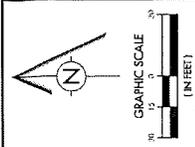
**SIDEWALK SECTION**  
NO SCALE

NOTE: SIDEWALK JOINTS SHALL BE IN ACCORDANCE WITH CDDC ITEM 608.03 AND THE ARCHITECTURAL PLANS OF THE ARCHITECTURAL FIRM.

**STANDARD DETAIL**  
**8\"/>**







GRAPHIC SCALE

0 15 30

1 inch = 30 ft.

(IN FEET)

2025 Edition | 10/15/25 | Edition 10/25

Terrain Evolution

Your design partner Vision and Success

CITY OF DEWEELE, OHIO

RIVER STREET BUSINESS PARK

DEMONSTRATION PLAN

DATE: JUN 2025

PROJECT NO: 2507

SCALE: 1" = 30'

DATE: JUN 2025

PROJECT NO: 2507

SCALE: 1" = 30'

DATE: JUN 2025

PROJECT NO: 2507

SCALE: 1" = 30'

TREE NO.	TYP.	SIZE INCHES	DESCRIPTION	REMARKS
1	WALNUT	6	GOOD	
2	CATALPA	6	GOOD	
3	WALNUT	11	GOOD	
4	WALNUT	11	GOOD	
5	CATALPA	6	GOOD	
6	BALLISBERRY	7	TWIN POOR	
7	WALNUT	7	GOOD	
8	WALNUT	7	GOOD	
9	ASH	7	DEAD	
10	ASH	6	DEAD	
11	LOCUST	6	GOOD	
12	LOCUST	6	BURK POOR	46
13	WALNUT	7	GOOD	
14	WALNUT	7	GOOD	
15	WALNUT	17	BURK POOR	
16	LOCUST	6	GOOD	
17	ELM	10	GOOD	10
18	ELM	9 & 12	TWIN POOR	9
19	ELM	9	GOOD	9
20	ELM	9	GOOD	9
21	WALNUT	13	GOOD	13
22	WALNUT	13	GOOD	13
23	LOCUST	6	VINES POOR	24
24	WALNUT	24	GOOD	
25	ELM	10	GOOD	
26	WALNUT	11	GOOD	
27	WALNUT	11	VINES POOR	11
28	WALNUT	5.75	GOOD	
29	ASH	13	DEAD	
30	MAPLE	15	SPREAD	
31	ASH	9	DEAD	
32	ASH	9	DEAD	
33	ASH	12	DEAD	
34	ASH	6	GOOD	
35	ELM	6	GOOD	
36	ELM	6	GOOD	
37	WALNUT	7	DEAD	
38	ASH	7	DEAD	
39	SHALIC	6	GOOD	
40	SHALIC	6	GOOD	
41	SHALIC	2.6	TWIN POOR	
42	ASH	2.6	DEAD	
43	ASH	6	DEAD	
44	ELM	9	SPREAD	
45	ELM	7	TWIN SPLIT	7
46	ELM	7	TWIN SPLIT	7
47	ELM	10	GOOD	
48	ASH	7	GOOD	
49	WALNUT	7	GOOD	
50	WALNUT	7	GOOD	
51	WALNUT	7	VINES POOR	7
52	ELM	11	GOOD	11
53	ELM	13	GOOD	13
54	ELM	13	GOOD	13
55	ELM	7	GOOD	7
56	ELM	11	TWIN POOR	11
57	WALNUT	14	GOOD	14
58	WALNUT	14	GOOD	14
59	ELM	15	GOOD	15
60	WALNUT	7	DEAD	
61	ELM	7	GOOD	7
62	ELM	10	GOOD	10
63	ELM	11	GOOD	11
64	ELM	11	GOOD	11
65	WALNUT	19	GOOD	19
66	WALNUT	19	GOOD	19
67	WALNUT	19	GOOD	19
68	ELM	6	GOOD	6
69	ELM	6	GOOD	6
70	WALNUT	6	GOOD	6
71	WALNUT	22	GOOD	22
72	WALNUT	22	GOOD	22
73	WALNUT	19	GOOD	19
74	WALNUT	19	DEAD PARTIAL	19
75	WALNUT	19	GOOD	19
76	WALNUT	19	VINES POOR	19
77	ELM	7	GOOD	7
78	ELM	7	GOOD	7
79	ELM	6	VINES POOR	6
80	ELM	6	VINES POOR	6
81	ASH	23	DEAD PARTIAL	23
82	MAPLE	14	GOOD	14
83	ELM	20	TWIN POOR	20
84	MAPLE	11	TWIN POOR	11
85	MAPLE	27	TWIN POOR	27
86	MAPLE	27	TWIN POOR	27
87	WALNUT	8	GOOD	8
88	ELM	8	GOOD	8
89	MAPLE	11	GOOD	11
90	MAPLE	11	GOOD	11
91	MAPLE	25	TWIN POOR	25
92	MAPLE	19	QUAD POOR	19
93	MAPLE	19	TWIN POOR	19
94	ELM	9	GOOD	9
95	POTTENWOOD	12	TRIPLE POOR	12
TOTAL			TREE	708

TREE NO.	TYP.	SIZE INCHES	DESCRIPTION
A	MAPLE	23	DEAD SPLIT
B	MAPLE	23	DEAD
C	MAPLE	23	DEAD
D	MAPLE	23	DEAD
E	MAPLE	23	DEAD
F	MAPLE	23	DEAD
G	MAPLE	23	DEAD
H	MAPLE	23	DEAD
I	MAPLE	23	DEAD
J	MAPLE	23	DEAD
K	MAPLE	23	DEAD
L	MAPLE	23	DEAD
M	MAPLE	23	DEAD
N	MAPLE	23	DEAD
O	MAPLE	23	DEAD
P	MAPLE	23	DEAD
Q	MAPLE	23	DEAD
R	MAPLE	23	DEAD
S	MAPLE	23	DEAD
T	MAPLE	23	DEAD
U	MAPLE	23	DEAD



PAVED ALLEY

RIVER STREET

OLENTANGY RIVER

LOT 156

LOT 157

LOT 158

LOT 159

LOT 160

LOT 161

LOT 162

LOT 163

LOT 164

LOT 165

LOT 166

LOT 167

LOT 168

LOT 169

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LOT 81

**LOT COVERAGE**

**PARKING REQUIRED:**

WORLDWIDE	1,400 SF
OFFICE	1,400 SF
RETAIL	1,400 SF
<b>TOTAL</b>	<b>4,200 SF</b>

**PARKING PROVIDED: 6,416**

MAJOR GAR	4
REGULAR	20
<b>TOTAL</b>	<b>24</b>

**PROVIDED:**

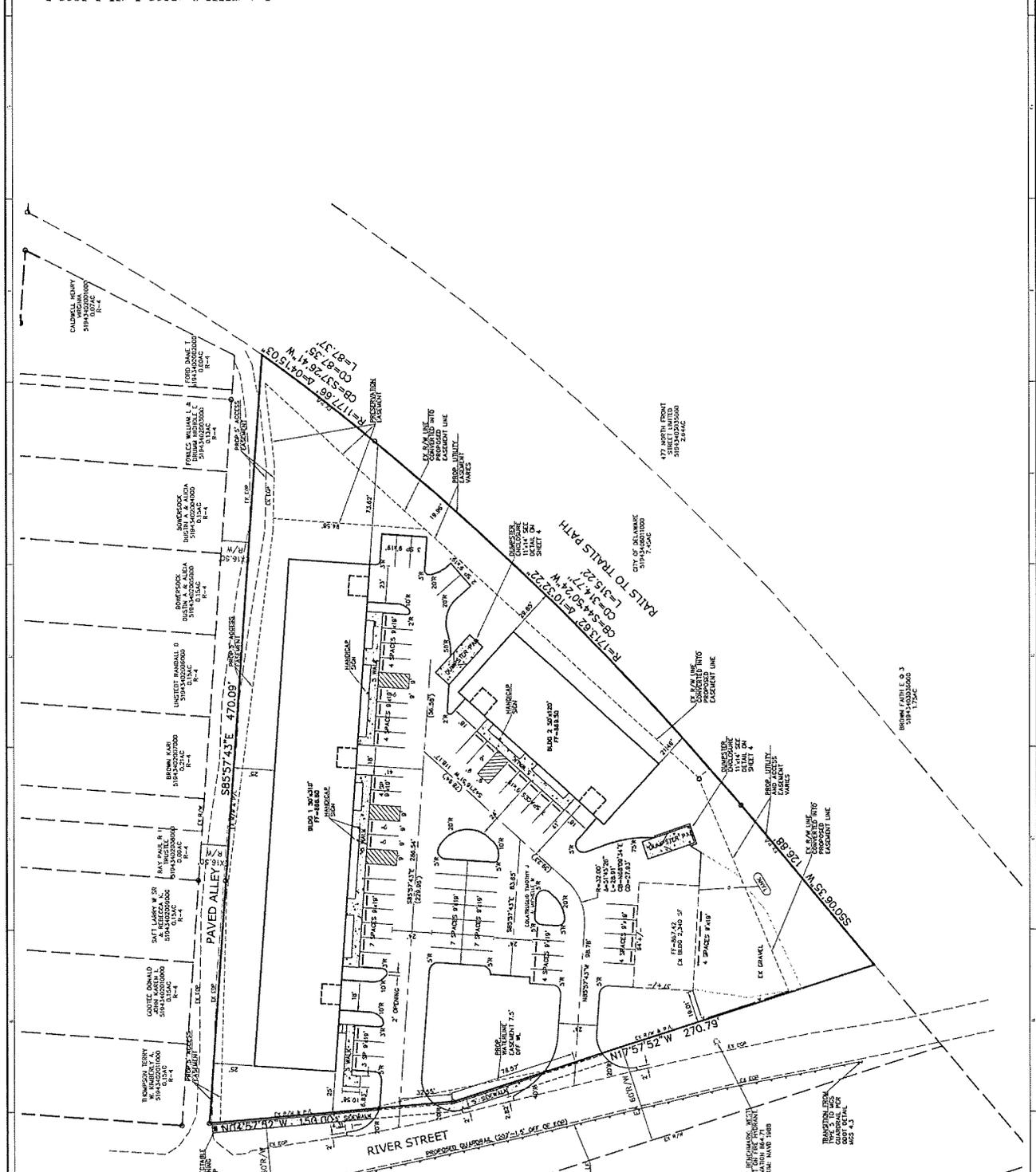
WORLDWIDE	6,100 SF
OFFICE	3,712.00 SF
RETAIL	6,704.00 SF
<b>TOTAL</b>	<b>16,516.00 SF</b>

**SITE AREA: 2,408 AC**

AREA SPACE	44,329.93 SF
OFFICE SPACE	21,500.00 SF
RETAIL SPACE	21,500.00 SF
SPARKLING	1,818.33 SF
<b>TOTAL</b>	<b>88,148.26 SF</b>

**TOTAL LOT COVERAGE = 97.58%**

**NOTE:** ALL PARKING, SIDEWALKS, COMPUTER PADS, AND ASPHALT DRIVEWAYS SHALL BE WHITE UNLESS REQUIRED BY ADA.



**GRAPHIC SCALE**

1" = 50' H.

1" = 100' V.

**GRAPHIC SCALE**

1" = 50' H.

1" = 100' V.

**CHANGE ORDER SHEET**

NO.	DATE	DESCRIPTION
1	11/27/2013	ISSUED FOR PERMIT

726 Broad Street, Columbus, OH 43215  
 614.291.1155 | [www.terrainevolution.com](http://www.terrainevolution.com)

**TerrainEvolution**  
 Architecture | Engineering | Surveying

**RIVER STREET BUSINESS PARK**

CITY OF DUBLIN, OHIO

**SITE DRAINAGE PLAN**

**PROJECT STATUS**

DESIGNED	YES
PERMITTED	YES
CONSTRUCTED	NO
AS-BUILT	NO

**DATE:** 11/27/2013

**SCALE:** 1" = 50' H. / 1" = 100' V.

**PROJECT NO.:** 13-001

**DATE:** 11/27/2013

**SCALE:** 1" = 50' H. / 1" = 100' V.

**PROJECT NO.:** 13-001

**DATE:** 11/27/2013

**SCALE:** 1" = 50' H. / 1" = 100' V.

**PROJECT NO.:** 13-001

**DATE:** 11/27/2013

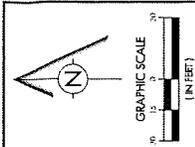
**SCALE:** 1" = 50' H. / 1" = 100' V.

**PROJECT NO.:** 13-001

**DATE:** 11/27/2013

**SCALE:** 1" = 50' H. / 1" = 100' V.

**PROJECT NO.:** 13-001



CHANGE ORDER SCHEDULE

NO.	DESCRIPTION OF WORK	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

220 River Street, Suite 202, Columbus, OH 43215  
 614.225.1194 | 614.225.1183 | 614.225.1187

**TerrainEvolution**  
 Working Between Vision and Success

CITY OF COLUMBUS, OH  
 RIVER STREET BUSINESS PARK  
 UNITY PLAN

DATE: 08/11/2017  
 DRAWN BY: J. B. BROWN  
 CHECKED BY: J. B. BROWN  
 PROJECT NO.: 15037  
 SHEET NO.: 9/14

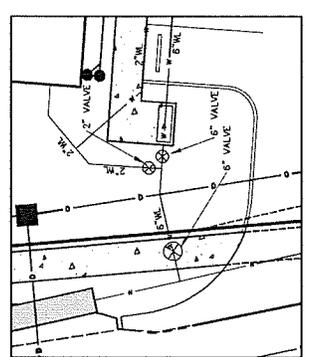
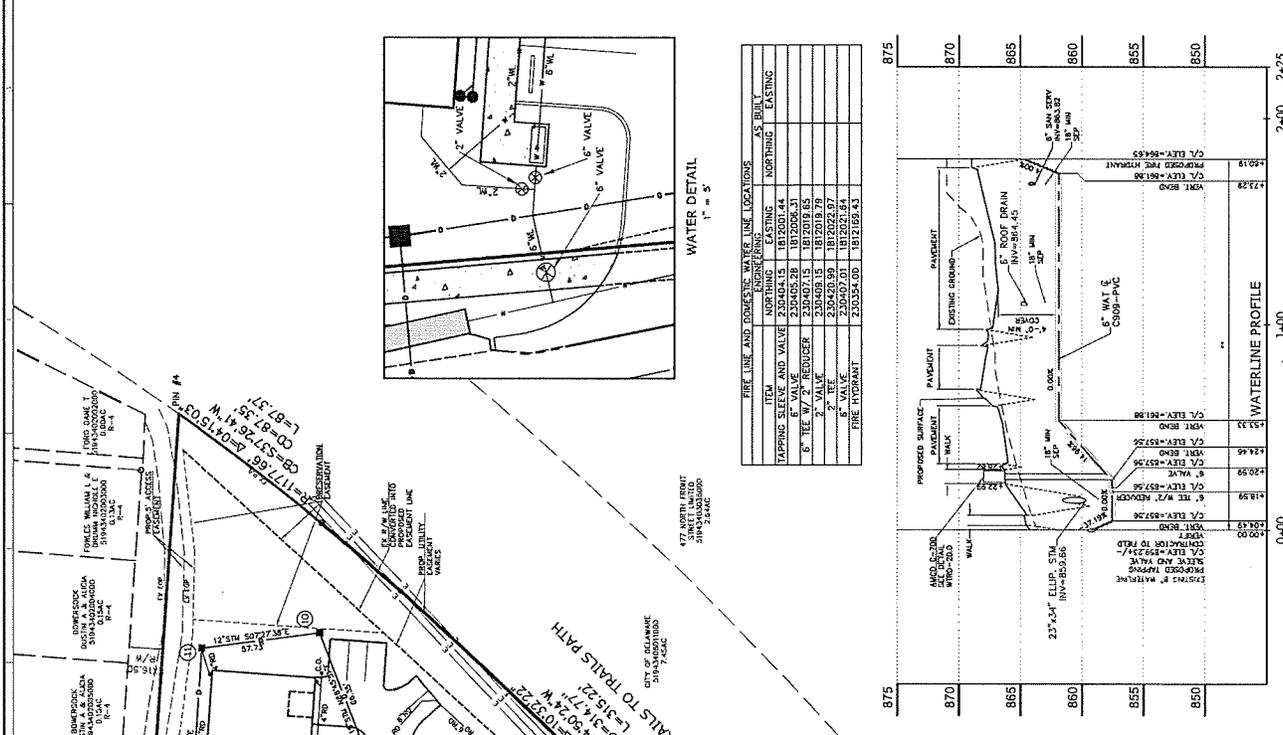
**LEGEND**

**EXISTING**

- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY CASING
- WATER MAIN
- STORM SEWER
- SANITARY SEWER
- ELECTRIC
- TELEPHONE
- GAS
- REINFORCED CONCRETE
- ROADWAY CENTERLINE
- UTILITY CASING
- BUILDING SERVICE LINE
- WATER MAIN
- WATER VALVE
- REDUCER
- FIRE HYDRANT
- WATER SERVICE
- STORM SEWER
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN
- STORM SEWER CURB MILE
- SANITARY SEWER
- SANITARY MANHOLE
- SANITARY SERVICE
- ELECTRIC
- ELECTRIC BOX
- LIGHT POLE
- COMPACTED GRANULAR BACKFILL

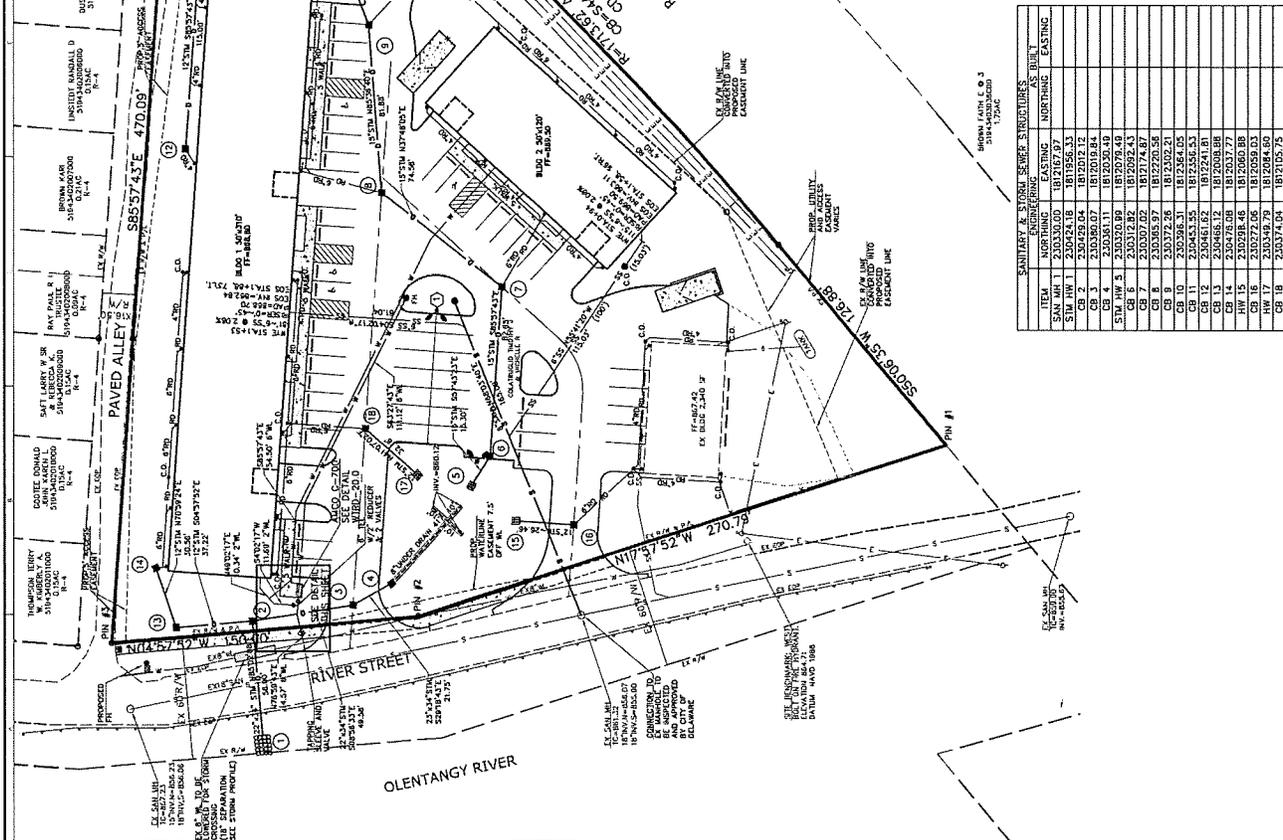
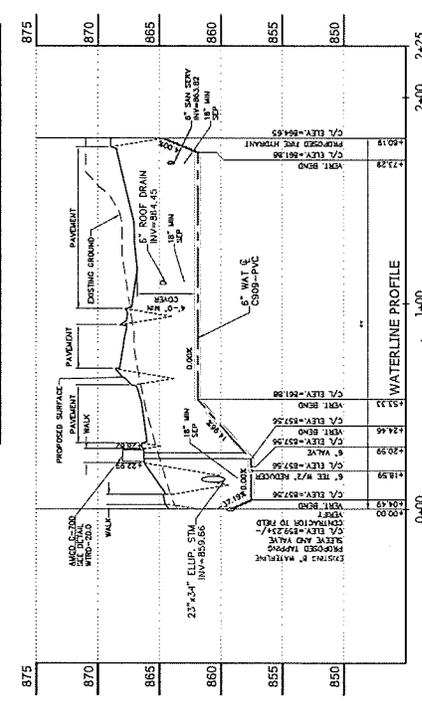
**NOTES:**

- ONE LENGTH OF WATER PIPE SHALL BE INSTALLED PER 100' OF LENGTH. ALL WATER MAINS SHALL BE 15" DIA. COMPACTED GRANULAR BACKFILL PER ITEM 2.
- COMPACTED GRANULAR BACKFILL PER ITEM 2 SHALL BE INSTALLED UNDER ALL WATER MAINS, SANITARY SEWERS, AND FIRE HYDRANTS.
- COMPACTED GRANULAR BACKFILL SHALL BE INSTALLED UNDER ALL ROAD DRIVE LANE AND SIDEWALKS.
- COMPACTED GRANULAR BACKFILL FOR ROAD DRIVE LANE AND SIDEWALKS SHALL BE INSTALLED UNDER ALL OTHER MATERIALS TO BE INSTALLED.
- ALL UTILITY PROPOSES SHALL BE RELOCATED TO THE PROPOSED RIGHT-OF-WAY. CONTRACTOR TO COORDINATE WITH WATER MAINS DEPARTMENT FOR WATER MAIN RELOCATION.



**FIRE LINE AND VALVE WATER LINE LEGATIONS AS BUILT**

ITEM	NORTHING	EASTING	NORTHING	EASTING
TAPPING SLEEVE AND VALVE	230404.15	181500.44		
6" TEE W/ 2" REDUCER	230407.15	181201.63		
2" VALVE	230409.15	181201.79		
2" TEE	230420.99	181228.97		
2" VALVE	230427.77	181228.43		
FIRE HYDRANT	230434.00	181228.43		

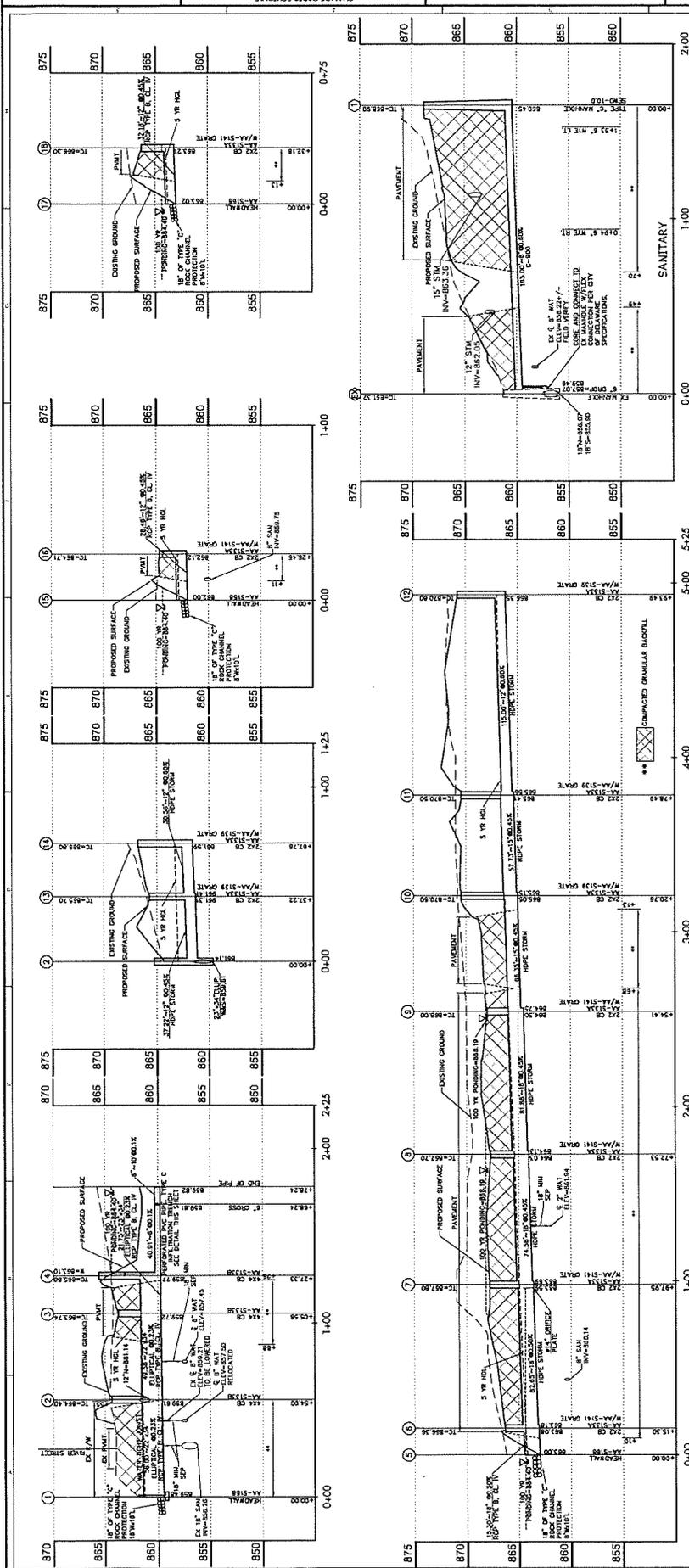


**SANITARY & STORM SEWER STRUCTURES**

ITEM	NORTHING	EASTING	NORTHING	EASTING
SAN MH 1	230330.00	181216.97		
STW MH 1	230424.18	181255.33		
CB 1	230380.00	181201.84		
CB 2	230380.00	181205.48		
STW MH 5	230370.89	181207.48		
CB 5	230372.85	181207.43		
CB 6	230365.97	181220.58		
CB 7	230372.26	181202.21		
CB 8	230366.31	181264.05		
CB 9	230461.62	181221.81		
CB 10	230461.62	181221.81		
CB 11	230461.62	181221.81		
CB 12	230461.62	181221.81		
CB 13	230461.62	181221.81		
CB 14	230476.08	181203.77		
CB 15	230476.08	181203.77		
CB 16	230476.08	181203.77		
CB 17	230476.08	181203.77		
CB 18	230476.08	181203.77		







**STAGE-STORAGE-VOLUME TABLE**

STORM EVENT	REQUIRED (CFS)	PROVIDED (CFS)	RESERVE (CFS)	BASIN ELEVATION (FT)
25 YEAR	10.34	11.44	1.10	854.00
75 YEAR	10.34	11.44	1.10	854.00
TOTAL 100 YEAR VOLUME PROVIDED	= 6,287 CU. FT.			
TOTAL STORAGE VOLUME AVAILABLE	= 10,124 CU. FT.			
RESERVE VOLUME	= 3,837 CU. FT.			
ACTUAL WATER QUALITY TREATMENT VOLUME	= 2,623 FT <sup>3</sup>			
ACTUAL WATER QUALITY DISCHARGE	= 1.86 CFS			

**POST CONSTRUCTION DETENTION BASIN INSPECTION & MAINTENANCE SCHEDULE**

ACTIVITY	SCHEDULE
STABILIZE SITE AS QUICKLY AS POSSIBLE, ESPECIALLY THE DRAINAGE SWALES ON THE EAST AND WEST SIDES OF THE SITE IN ORDER TO MINIMIZE POISSON SALTATION DURING CONSTRUCTION	MONTHLY
CLEAN MONTHLY AND REMOVE DEBRIS FROM INLET AND OUTLET STRUCTURES	MONTHLY
INSPECT FOR DAMAGE PAYING PARTICULAR ATTENTION TO THE CONTROL STRUCTURE	MONTHLY
EXAMINE TO ENSURE THAT INLET AND OUTLET DEVICES ARE FREE OF DEBRIS AND OPERATIONAL. THIS INCLUDES CH-1 AND THE MW STRUCTURE.	MONTHLY
EXAMINE TO ENSURE THAT THE CONTROL STRUCTURE IS MAINTAINED IN PROPER WORKING CONDITION	MONTHLY
ANNUAL INSPECTIONS SHALL BE RECORDED AND KEPT ON FILE. SAMPLE STORMWATER DRAINAGE MANUAL.	ANNUALLY
REPAIR UNDERCUT OR ERODED AREAS	AS NEEDED
REPAIR OR REPLACE THE BASIN FOR ANY EXCESSIVE EROSION. PERMEABLE SOIL MATTER IS TO BE SEEDED AND MAINTAINED WITH A CHAINS COVER TO KEEP BASIN USABLE	AS NEEDED
WATER PIPES IN THE BASIN MORE THAN 3 DAYS AFTER THE LAST RAIN FALL EVENT.	AS NEEDED

NOTE: THE OWNER IS RESPONSIBLE FOR THE PROPOSED INSPECTION AND MAINTENANCE. RESPONSIBILITY CARRIES FORWARD TO ALL FUTURE OWNERS.



CHANGE ORDER NUMBER	DESCRIPTION OF CHANGE	BY	DATE

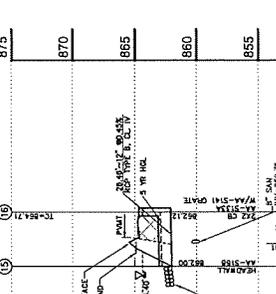
**TerrainEvolution**  
 Your Next Step Between Vision and Success  
 20565 Resolute, Suite 202 | Lombard, OH 43151  
 P: 614.355.1099 | F: 614.355.1055 | E: info@terrain-evolution.com

RIVER STREET BUSINESS PARK  
 STORM AND SANITARY SEWER PROFILES  
 CT OF DELAWARE 040

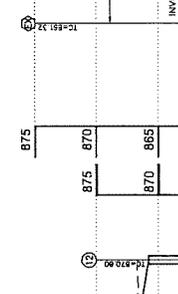
DESIGNED BY	DATE	CHECK
DRAWN BY	DATE	CHECK
SCALE	PROJECT NO.	NO. 8 OR NO. 37
DATE	DATE	AGGREGATE
SCALE	PROJECT NO.	AGGREGATE
DATE	DATE	AGGREGATE

12/14

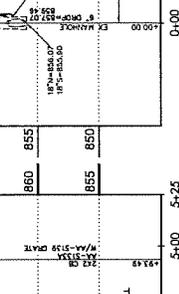
**TYPICAL SECTION FOR STRUCTURES WITHIN PAVEMENT**  
NO SCALE



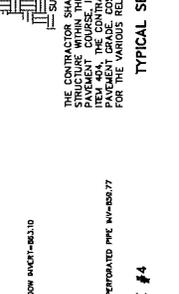
**TYPICAL 4" UNDERDRAIN DETAIL**  
NO SCALE



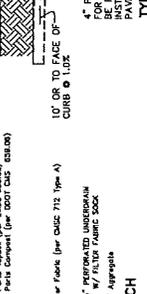
**CONTROL STRUCTURE #4**  
NO SCALE



**INFILTRATION TRENCH**  
NO SCALE



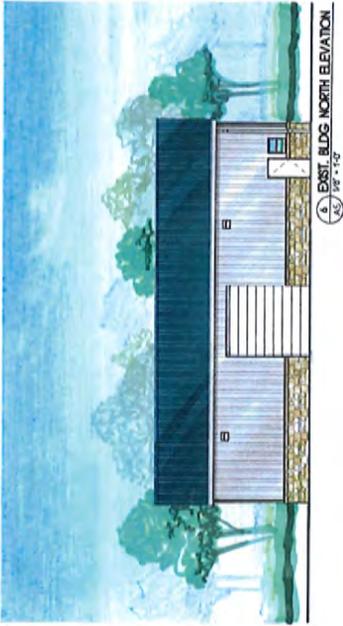
**4" PERFORATED UNDERDRAIN - IN THREE DIRECTION**  
FOR INLETS 4 & 17, THE PERFORATED PIPE SHALL BE PROTECTED FROM HEAVY TRAFFIC AFTER SHOULDER PAVEMENT PRIOR TO PLACEMENT OF PROPOSED PAVING.











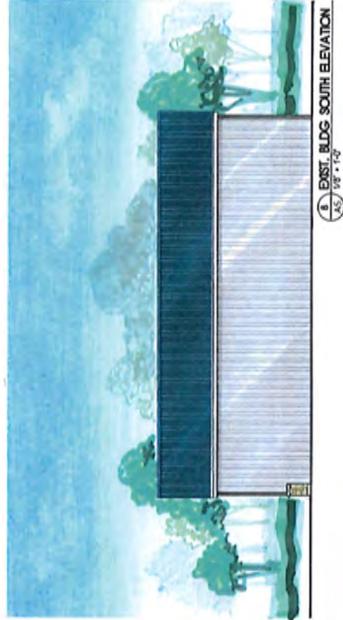
1 EAST BLDG NORTH ELEVATION  
25' 10" x 14'



1 EAST BLDG WEST ELEVATION  
25' 10" x 14'



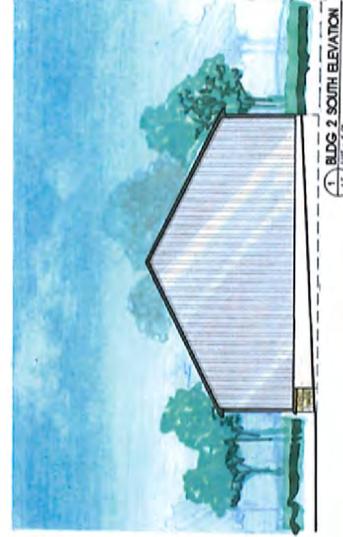
1 EAST BLDG EAST ELEVATION  
25' 10" x 14'



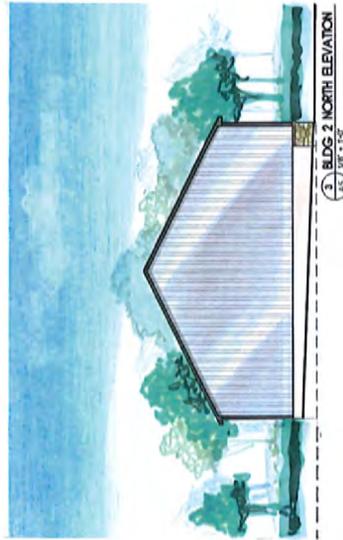
1 EAST BLDG SOUTH ELEVATION  
25' 10" x 14'



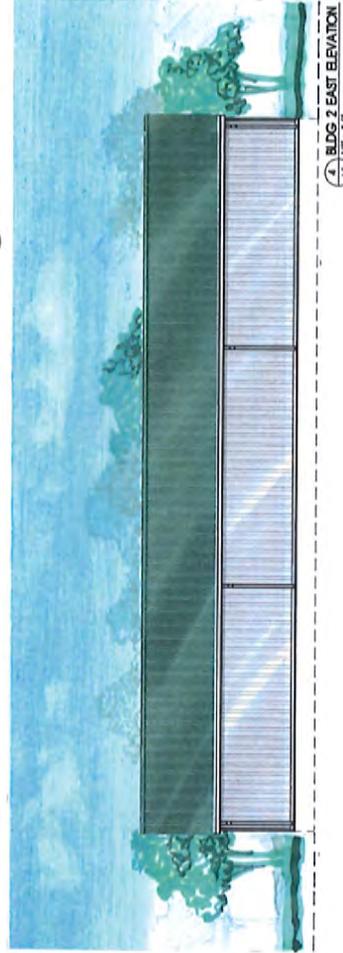
1 BLDG 2 WEST ELEVATION  
35' 10" x 14'



1 BLDG 2 SOUTH ELEVATION  
35' 10" x 14'



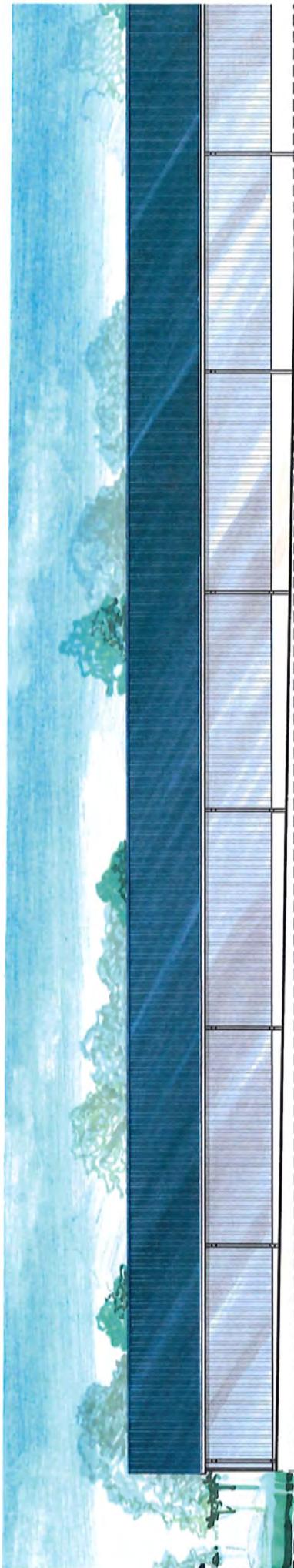
1 BLDG 2 NORTH ELEVATION  
35' 10" x 14'



1 BLDG 2 EAST ELEVATION  
35' 10" x 14'



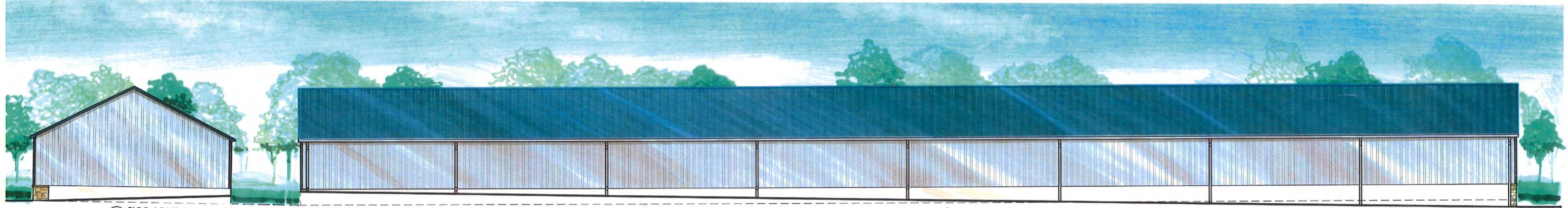
1. BLDG. 1 SOUTH ELEVATION  
3/21/18 • 1/2"





1 BLDG 1 SOUTH ELEVATION  
A4 1/8" = 1'-0"

3 BLDG 1 WEST ELEVATION  
A4 1/8" = 1'-0"

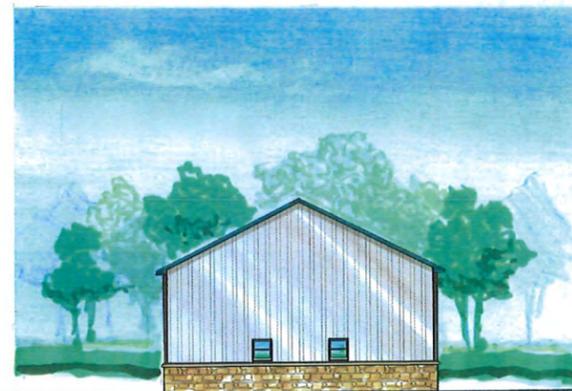


4 BLDG 1 EAST ELEVATION  
A4 1/8" = 1'-0"

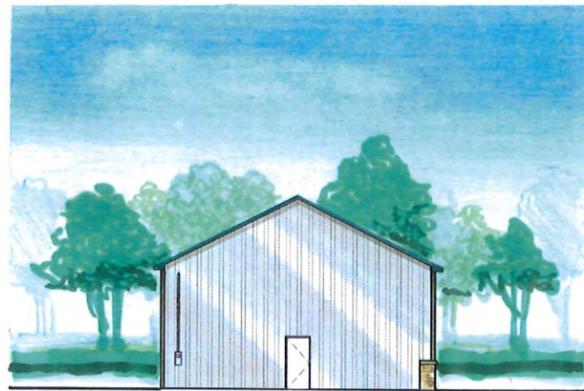
2 BLDG 1 NORTH ELEVATION  
A4 1/8" = 1'-0"



6 EXST. BLDG NORTH ELEVATION  
A5 1/8" = 1'-0"



5 EXST. BLDG WEST ELEVATION  
A5 1/8" = 1'-0"



7 EXST. BLDG EAST ELEVATION  
A5 1/8" = 1'-0"



8 EXST. BLDG SOUTH ELEVATION  
A5 1/8" = 1'-0"



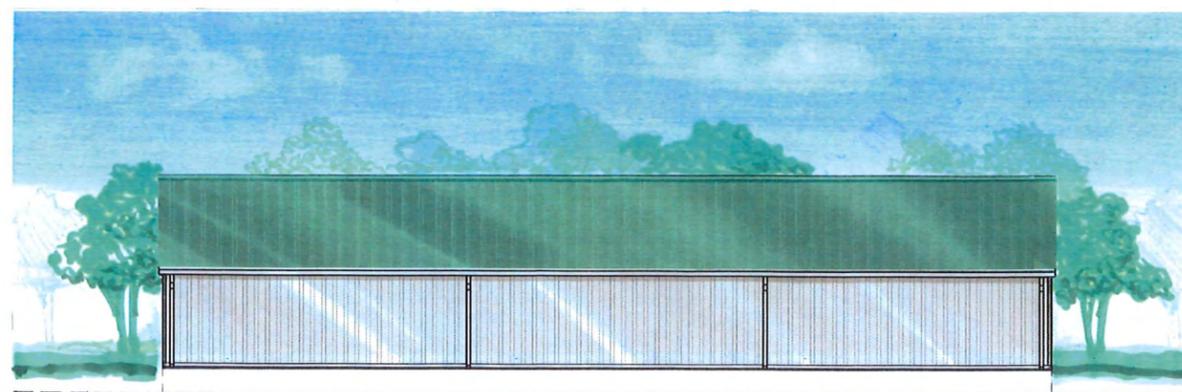
2 BLDG 2 WEST ELEVATION  
A5 1/8" = 1'-0"



1 BLDG 2 SOUTH ELEVATION  
A5 1/8" = 1'-0"



3 BLDG 2 NORTH ELEVATION  
A5 1/8" = 1'-0"



4 BLDG 2 EAST ELEVATION  
A5 1/8" = 1'-0"