

CITY OF DELAWARE
PLANNING COMMISSION
AGENDA
CITY COUNCIL CHAMBERS
1 S. SANDUSKY ST.
7:00 P.M.

REGULAR MEETING

July 18, 2018

1. ROLL CALL
2. APPROVAL of the Motion Summary of the Planning Commission meeting held on June 6, 2018, as recorded and transcribed.
3. REGULAR BUSINESS
 - A. 2018-1389: A request by Stavroff Land and Development Inc., for approval of a Final Subdivision Plat for Belmont Place Section 5 consisting of 38 single family lots on approximately 11.083 acres zoned R-3 PMU (One-Family Residential with a Planned Mixed Use Overlay District) and located on McNamara Loop and Neville Lane.

Anticipated Process

 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public comment (not a public hearing)
 - d. Commission Action
 - B. Marathon Gas Station
 - (1) 2018-1462: A request by N&G Takhar Oil LLC for approval of a Conditional Use Permit for a renovation and expansion of the Marathon Gas Station at 473 South Sandusky Street on approximately 0.80 acres on property zoned B-3 (Community Business District).
 - (2) 2018-1718: A request by N&G Takhar Oil LLC for approval of a Development Plan Exemption for a renovation and expansion of the Marathon Gas Station (former Swifty Gas Station) at 473 South Sandusky Street on approximately 0.80 acres on property zoned B-3 (Community Business District).

Anticipated Process

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (public hearing)
- d. Commission Action

- 4. PLANNING DIRECTOR'S REPORT
- 5. COMMISSION MEMBER COMMENTS AND DISCUSSION
- 6. NEXT REGULAR MEETING: August 1, 2018
- 7. ADJOURNMENT

PLANNING COMMISSION
June 6, 2018
MOTION SUMMARY

ITEM 1. Roll Call

Chairman Simpson called the meeting to order at 7:00 p.m.

Members Present: Robert Badger, Jim Halter, Andy Volenik, Mayor Carolyn Kay Riggie, Vice-Chairman George Mantzoros and Chairman Stacy Simpson.

Members Absent: Dean Prall

Staff Present: Carrie Fortman, Project Engineer, Jonathan Owen, Project Engineer, Jordan Selmek, Zoning Officer, and Dave Efland, Planning and Community Development Director

Motion to Excuse: Mr. Halter moved to excuse Mr. Prall, seconded by Mr. Badger. Motion approved by a 6-0 vote.

ITEM 2. Approval of the Motion Summary of the Planning Commission meeting held on May 2, 2018, as recorded and transcribed.

Motion: Mr. Halter moved to approve the Motion Summary for May 2, 2018 Planning Commission meeting, seconded by Vice-Chair Mantzoros. Motion approved by a 6-0 vote.

ITEM 3. REGULAR BUSINESS

A. The Wesleyan Inn

- (1) 2018-1026: A request by Manos Properties for approval of a Rezoning Amendment for The Wesleyan Inn on approximately 1.09 acres (parcels 519-433-04-005-000 and 519-433-04-002) from PO/I (Planned Office/Institutional District) and R-3 (One-Family Residential District) to PO/I and R-3 PMU (Planned Mixed Use Overlay District) at 235 and 239 West William Street.
- (2) 2018-1027: A request by Manos Properties for approval of a Conditional Use Permit allowing the placement of a PMU (Planned Mixed Use Overlay District) to be established for The Wesleyan Inn on approximately 1.09 acres (parcels 519-433-04-005-000 and 519-433-04-002) at 235 and 239 West William Street.
- (3) 2018-1028: A request by Manos Properties for approval of a Preliminary Development Plan for The Wesleyan Inn on approximately 1.09 acres (parcels 519-433-04-005-000 and 519-433-04-002) on property zoned PO/I and R-3 PMU (Planned Office/Institutional District and One-Family Single Family District

with a Planned Mixed Use Overlay District) at 235 and 239 West William Street.

Anticipated Process

a. Staff Presentation

Mr. Efland Provided a staff report to the Commission and discussed the property location and description. He informed them that the proposed development encompasses two properties, 235 and 239 West William Street. He reviewed the current zoning for the properties and background for the proposal. Mr. Efland informed them that the applicant planned to demolish the house at 239 and expand the house at 235 into a 43 room Inn. Mr. Efland discussed plans to renovate the Perkins house and include it in the design of the Inn. Mr. Efland discussed the access to the property with two access points off of West William Street and 47 parking spots. Information was provided on the landscape plan and fencing.

Mayor Riggle requested information on the how fare the fence setback would be. Mr. Owens estimated that the setback from Williams Street would be approximately 30 feet. Mayor Riggle also requested if there would be adequate parking. Mr. Efland explained that the applicant is meeting the minimal parking spaces requirement. Mr. Halter voiced a concern over noise from the west side parking lot with the neighboring house. Mr. Efland informed them that the lighting will comply with International Dark Sky recommendations and will be lit to minimal code and not higher than the fencing.

b. Applicant Presentation

APPLICANT:

Jim Manos
5973 Macewen Ct.
Dublin, Ohio

Joe Clase
Plan4Land.LLC
10 W. North St.
Ostrander, Ohio

Nick Elmasian
Elmasian Engineering
9260 Weigela Court
Plain City, Ohio

Pat Manley
4405 Olentangy Blvd.
Columbus, Ohio

Mr. Manos informed the Commission that he is currently in contract with the house that would be next to the parking lot and has plans to rent it out. He discussed efforts to reach homeowners across the street in regards to parking. He informed the Commission that there would not be food service. Mr. Manos discussed the current density on the property and the expected increase. Mr. Manley discussed the roof access.

c. Public comment (public hearing)

PUBLIC COMMENT:
Clarence Alspraugh
226 West William Street
Delaware, Ohio

Mr. Alspraugh voiced concern over parking in front of his house and that a tree on his property may need to be removed. He voiced a concern over traffic and that it often backs up when there is a train crossing.

Cat Wimer
250 West William Street
Delaware, Ohio

Ms. Wimer voiced concern over having a rental home and if the applicant would come back in the future asking for that property to be rezoned.

Tom Wolber
272 Hearthstone Drive
Delaware, Ohio

Mr. Wolber provided a written statement for the record and discussed his concerns over the tree replacement plan or replacement fee.

Roger Koch
125 North Liberty Street
Delaware, Ohio

Mr. Koch discussed the historical and architectural value of the house. He requested that the applicant work with the Historic

Preservation Commission in regards to exterior alterations on the original historical structure.

Tom Tobin
253 West William Street
Delaware, Ohio

Mr. Tobin voiced concerns over the impact to residents by the development including the increase of noise and increase of pedestrians and traffic in the neighborhood. He requested a minimum of an 8 foot fence as a buffer. He voiced concern over who would be renting the property.

Cheryl Hutchinson
256 West Williams Street
Delaware, Ohio

Ms. Hutchinson voiced a concern over the impact to her property with the widening of West William Street to allow access to the property.

Kathy Tobin
253 West William Street
Delaware, Ohio

Ms. Tobin voiced concerns over having a rental house and who would reside there. She voiced concern of potential increase in crime and how the development would affect property values. She questioned the location of the dumpster.

Diana Ackler
134 Oakhill Avenue
Delaware, Ohio

Ms. Ackler voiced concerns over how her backyard property will be affected by the parking lot and the effects to the property values.

Mr. Manos informed the Commission that he was willing to work with the Historic Preservation Commission. Mr. Efland informed the Commission that the property is not located in the Historic District and that the applicant is not required to present the application before the Commission. Mr. Efland recommended that the applicant pledge to work with the Historic Preservation Commission for input.

Mr. Manos informed the Commission that he was not intending to rent to college students and would be willing to put up an 8 foot

fence between the hotel and also the rental. He informed the Commission that he was not planning on using a dumpster, but would use trash receptacles. He stated he was aware of any conditions.

d. Commission Action

Motion: Vice-chair Mantzoros move to approved 2018-1026, along with all staff conditions, seconded by Mr. Badger. Motion approved by a 6-0 vote.

Motion: Vice-chair Mantzoros move to approved 2018-1027, along with all staff conditions, seconded by Mr. Badger. Motion approved by a 6-0 vote.

Motion: Vice-chair Mantzoros move to approved 2018-1028, along with all staff conditions, seconded by Mr. Badger. Motion approved by a 6-0 vote.

B. Wilgus Property

(1) 2018-0955: A request by Planned Communities Inc. for approval of a Rezoning Amendment for Francis and Mary Lou Wilgus on approximately 89.618 acres (parcels 419-220-02-005-000 and 419-220-02-007-000) from A-1 (Agricultural District) to M-1 PMU (Light Manufacturing with a Planned Mixed Use Overlay District) at 2781 Airport Road located at the western terminus of Sawmill Parkway, east of Section Line Road, south of Airport Road and north of the future extended Sawmill Parkway.

(2) 2018-0956: A request by Planned Communities Inc. for approval of a Conditional Use Permit allowing the placement of a PMU (Planned Mixed Use Overlay District) to be established for Francis and Mary Lou Wilgus on approximately 89.618 acres (parcels 419-220-02-005-000 and 419-220-02-007-000) at 2781 Airport Road located at the western terminus of Sawmill Parkway, east of Section Line Road, south of Airport Road and north of the future extended Sawmill Parkway.

Anticipated Process

a. Staff Presentation

Mr. Efland discussed with the Commission the current annexation process that the Applicant is presenting to City Council for the property. He informed them that the subject site is currently in Delaware Township. He reviewed the staff report and provided aerial photographs of the site. Mr. Efland reviewed that permits for future development would require both airport and F.A.A. permits and that

future extension of utilities would be by developers. Mr. Efland provided a revision to staff recommendation 1, in which the word “and Preliminary” is deleted.

b. Applicant Presentation

Jack Brickner
110 North Wood Blvd.
Columbus, Ohio

c. Public comment (public hearing)

There was no public comment.

d. Commission Action

Motion: Mr. Halter moved to approve 2018-0955, along with all staff conditions and removal of the word “and preliminary”, seconded by Mr. Volenik. Motion approved by a 6-0 vote.

Motion: Mr. Halter moved to approve 2018-0956, along with all staff conditions, seconded by Mr. Volenik. Motion approved by a 6-0 vote.

- C. 2018-1061: A request by Delaware Bible Church for approval of a Conditional Use Permit for a temporary trailer (modular classroom) on approximately 7.53 acres zoned R-3 (One-Family Residential District) located at 45 Belle Avenue.

Anticipated Process

a. Staff Presentation

Mr. Efland discussed the location for a proposed modular classroom and the intent to utilize the temporary trailer for three years.

b. Applicant Presentation

Warren Bishop Adams
2010 Sherwood Rd
Ashley, Ohio

Mr. Adams discussed the need for the additional spacing for projected increases in enrollment. He discussed the location due to plans for additional permanent construction.

- c. Public comment (public hearing)

There was no public hearing.

- d. Commission Action

Motion: Mr. Badger moved to approve 2018-1061, along with all staff conditions, seconded by Mayor Riggle. Motion approved by a 6-0 vote.

D. Stockdale Farms

- (1) 2018-1173: A request by Terra Alta LLC for approval of an Amended Preliminary Development Plan for Stockdale Farms consisting of 322 single family units on 150.99 acres zoned R-2 PMU (One Family Residential District with a Planned Mixed Use Overlay District) located at the northeast corner of Braumiller and Pollock Roads.
- (2) 2018-1174: A request by Terra Alta LLC for approval of an Amended Preliminary Subdivision Plat for Stockdale Farms consisting of 322 single family units on 150.99 acres zoned R-2 PMU (One Family Residential District with a Planned Mixed Use Overlay District) located at the northeast corner of Braumiller and Pollock Roads.
- (3) 2018-1176: A request by Terra Alta LLC for approval of an Amended Final Development Plan for Stockdale Farms Phase 1 consisting of 64 single family lots on approximately 42.414 acres zoned R-2 PMU (One Family Residential District with a Planned Mixed Use Overlay District) located at the northeast corner of Braumiller and Pollock Roads.
- (4) 2018-1177: A request by Terra Alta LLC for approval of an Amended Final Subdivision Plat for Stockdale Farms Phase 1 consisting of 64 single family lots on approximately 42.414 acres zoned R-2 PMU (One Family Residential District with a Planned Mixed Use Overlay District) located at the northeast corner of Braumiller and Pollock Roads.

Anticipated Process

- a. Staff Presentation

Mr. Efland reviewed the approved 2015 Preliminary Development Plan and reviewed the proposed changes. Mr. Efland discussed the formal condition that was agreed upon for a continuous tree buffering in previous plan at the request of an adjacent homeowner that was left out. Mr. Efland informed the Commission that he was formally adding a Condition 5 to case 2018-1173, to have continuous buffering of 8 foot high Norway Spruce Trees to screen the adjacent home along lots numbered 165-171 in this proposal and shown in Phase 3 of the plan. Mr. Efland also amended cases

2018-1176 and 2018-1177 to reflect 66 single family lots.

Ms. Fortman discussed the emergency access location and design.

b. Applicant Presentation

APPLICANT:

David Denniston
4222 Beecher Road
Gahanna, Ohio

Mr. Denniston was in agreement to have the continuous tree line buffering.

c. Public comment (not a public hearing)

There was no public comment.

d. Commission Action

Motion: Mr. Badger motioned to approve 2018-1173, along with all staff conditions and recommendations, seconded by Mr. Volenik. Motion approved with a 6-0 vote.

Motion: Mr. Badger motion to approve 2018-1174, along with all staff conditions and recommendations, seconded by Mr. Volenik. Motion approved with a 6-0 vote.

Motion: Mr. Badger motion to approve 2018-1176, along with all staff conditions and recommendations and the change from 64 to 66 lots, seconded by Mr. Volenik. Motion approved with a 6-0 vote.

Motion: Mr. Badger motion to approve 2018-1177, along with all staff conditions and recommendations and the change from 64 to 66 lots, seconded by Mr. Volenik. Motion approved with a 6-0 vote.

- E. Willowbrook Section 2 Phases 1-3 (Old Adalee Park Section 3)
- (1) 2018-1219: A request by Medrock LLC, for approval of a Final Development Plan for Willowbrook Section 2, Phases 1-3 (Old Adalee Park Section 3) consisting of 85 single family lots on approximately 28.5 acres zoned R-3 PUD (One-Family Residential with a Planned Unit Development) and is located north of Boulder Drive, south of Cobblestone Drive, east of Harmony Drive and west of Canal Street.
 - (2) 2018-1220: A request by Medrock LLC, for approval of a Final Subdivision Plat for Willowbrook Section 2, Phases 1-3 (Old Adalee Park Section 3) consisting of 85 single family lots on approximately 28.5 acres zoned R-3 PUD (One-Family Residential with a Planned

Unit Development) and is located north of Boulder Drive, south of Cobblestone Drive, east of Harmony Drive and west of Canal Street.

Anticipated Process

a. Staff Presentation

Mr. Efland discussed the zoning and location of the development. He reviewed the current zoning and the original Preliminary Plan. He reviewed the proposed plan for 85 single family lots. He discussed conditions and recommendations including the ability to merge the existing HOA of Adalee Park into the new HOA. This would be at the discretion of both HOA.

b. Applicant Presentation

APPLICANT:

Ron Sabatino
3895 Stoneridge Lane
Dublin, Ohio

c. Public comment (not a public hearing)

There was no public comment.

d. Commission Action

Motion: Mr. Halter motion to approve 2018-1219, along with all staff conditions and recommendations, seconded by Mayor Riggle. Motion approved with a 6-0 vote.

Motion: Mr. Halter motion to approve 2018-1220, along with all staff conditions and recommendations, seconded by Mayor Riggle. Motion approved with a 6-0 vote.

F. Heatherton Phase 7

(1) 2018-1240: A request by Pulte Homes for approval of a Final Development Plan for Heatherton Phase 7 consisting of 28 single family lots on approximately 7.198 acres zoned R-3 PRD (One-Family Residential with a Planned Residential District) and located west of Houk Road, north of Boulder Drive and south of Benjamin Drive.

(2) 2018-1242: A request by Pulte Homes for approval of a Final Subdivision Plat for Heatherton Phase 7 consisting of 28 single family lots on approximately 7.198 acres zoned R-3 PRD (One-Family Residential with a Planned Residential District) and located west of Houk Road, north of Boulder Drive and south of Benjamin

Drive.

Anticipated Process

a. Staff Presentation

Mr. Selmek provided background information and history on the development. He reviewed Phase 7 of the plan and discussed current zoning. Mr. Selmek reviewed access locations for Phase 7. He discussed the lots sizes and minimal square footage requirement for a ranch house. Mr. Selmek discussed that there was no open space in this phase, but that in Section 5 of the development there is a pocket park, as well as, 32 acres of dedicated open space for a future park just south of the development.

b. Applicant Presentation

APPLICANT:

Joel West
275 Metro Place South
Dublin, Ohio

c. Public comment (not a public hearing)

There was no public comment.

d. Commission Action

Motion: Mr. Volenik motion to approve 2018-1240, along with all staff conditions and recommendations, seconded by Mr. Halter. Motion approved with a 6-0 vote.

Motion: Mr. Volenik motion to approve 2018-1242, along with all staff conditions and recommendations, seconded by Mayor Riggle. Motion approved with a 6-0 vote.

ITEM 4. PLANNING DIRECTOR'S REPORT

Mr. Efland provided an update on the applicants for the Comprehensive Plan Steering Committee and that a formal recommendation would be going to Council at the June 11, 2018 City Council meeting.

ITEM 5. COMMISSION MEMBER COMMENTS AND DISCUSSION

ITEM 6. NEXT REGULAR MEETING: July 18, 2018

ITEM 7. ADJOURNMENT:

Motion: Chairman Simpson moved for the June 6, 2018 Planning Commission meeting to adjourn. The meeting adjourned at 10:00 p.m.

Stacy Simpson, Chairperson

Elaine McCloskey, Clerk

CASE NUMBER: 2018-1389

REQUEST: Final Subdivision Plat

PROJECT: Belmont Place – Section 5

MEETING DATE: July 18, 2018

APPLICANT/OWNER

Stavroff Land & Development, Inc.
6689 Dublin Center Drive
Dublin, Ohio 43017

REQUEST

2018-1389: A request by Stavroff Land and Development Inc., for approval of a Final Subdivision Plat for Belmont Place Section 5 consisting of 38 single family lots on approximately 11.083 acres zoned R-3 PMU (One-Family Residential with a Planned Mixed Use Overlay District) and located on McNamara Loop and Neville Lane.

PROPERTY LOCATION & DESCRIPTION

The property is located on the east side of Glenn Parkway and north of Peachblow Road. The zoning of the subject property, which is in Sub-Area B per the May 2009 rezoning, is R-3 PMU. The surrounding zoning to the east and south is Berlin Township FR-1 (Farm Residential Zoning), to the west is B-4 & R-6 PMU (General Business District and Multi-Family Residential with a Planned Mixed Use Overlay District) with text limitations, and to the north is PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District). The proposed development contains approximately 11.083 acres. The site work in Sections 1-4 have been completed with several houses built and more to be constructed. The remainder of the property is vacant farmland without trees except for along the northern property boundary. In addition, the subject development is located within the Delaware South New Community Authority and Evans Residential TIF District.

BACKGROUND/PROPOSAL

On May 11, 2009 City Council approved Ordinances 08-112 and 08-113 which approved a Conditional Use Permit and Rezoning adding a PMU Overlay District (Planned Mixed Use District) on the subject 109 acres. The PMU was divided into Sub Areas A & B which contained 62 and 47 acres respectively (now approximately 56 and 53 acres respectively). Sub Area A permits residential, office, retail services, communities facilities and recreational/open space uses while Sub Area B permits residential, office, community facilities and recreational/open space uses.

In December 2013, Planning Commission and City Council approved Preliminary Development Plans and Preliminary Subdivision Plats (Ordinances 13-76 & 13-77) for Sections 1-3 which contained 74 single family lots on approximately 31.5 acres which also included a concept plan of today's Section 4 and 5. Then in March 2014, Planning Commission and City Council approved Final Development Plans for Sections 1-3 (Ordinance 14-16) and Final Subdivision Plat for Section 1 (Ordinance 14-17). Next in April 2016, Planning Commission and City Council approved Final Subdivision Plats for Sections 2 and 3 (Ordinances 16-30 & 16-31 respectively). Finally in June 2017, Planning Commission and City Council approved Preliminary and Final Development Plans for Sections 4 and 5 (Ordinances 17-45 & 17-46), Preliminary Subdivision Plats for Sections 4 and 5 (Ordinance 17-47), and a Final Subdivision Plat for Section 4 (Ordinance 17-48).

Now the applicant is proposing to complete Section 5 which contains the remaining 11.083 acres of Sub-Area B with 38 single family lots, which are located just north of Sections 1-3 and west of Section 4. The developer is requesting Final Subdivision Plat approval for Section 5.

STAFF ANALYSIS

- **COMPREHENSIVE PLAN AMENDMENT:** The Comprehensive Plan Future Land Use Map recommends Mixed Use future land use for this and the surrounding properties. The existing zoning complies with this mixed land use recommendation by mixing commercial, office, and residential uses along with the proposed mix of residential densities and unit types in this sub-area. Therefore, the proposed single family subdivision would achieve compliance with the land use plan.
- **ZONING:** As mentioned above, the subject site is zoned R-3 PMU (One Family Residential District with Planned Mixed Use Overlay District) with text limitations. From a procedural perspective, a Final Subdivision Plat for Section 5 would require Planning Commission and City Council approval.

- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on a technical review by the Engineering Department once a complete plan set is submitted for review.
- **UTILITIES:** Both water and sewer utilities would be public and would be extended into the subject development. Also, the development would have to comply with the current storm water requirements. The subject development is located in the South East Highland Sanitary Sewer District which requires an additional capacity charge of \$3,200 per dwelling unit.
- **ROADS AND ACCESS:** Section 5 would be accessed from existing Bret's Lane (constructed in Sections 1-3) via Crownover Way from Peachblow Road. In Section 5, McNamara Loop would be extended west from Squaregaiter Lane forming the northern and western streets of the subdivision. Neville Lane extends north from Bret's Lane bisecting McNamara Loop. Ultimately, Crownover Way would be extended north and west to Glenn Parkway when Sub-Area A is developed. All the streets would be public and would have to comply with the minimum engineering standards.
- **SITE LAYOUT:** The final section in Sub-Area B encompasses 11.083 acres and consists of 38 single family lots which are located on the northwestern portion of the development and is a natural extension of Sections 1-4.

Section 5 is located along the northwestern portion of the site and is accessed by McNamara Loop and Neville Lane from Brets Lane. Lot 12081 (Reserve "E") is located along the western portion of the development to provide a buffer to the future Crownover Way extension that would be required when Sub-Area A is developed.

The approved development text has the following single family lot requirements: 8,125 square foot minimum lot, 65 foot minimum lot width, 125 foot minimum lot depth, 30 foot front yard setback, 8 foot side yard setback; 30 foot rear yard setback, 1,500 square foot minimum house size and 25 foot building and pavement minimum perimeter setback. In addition, the corner lots would need to be oversized by 30% (85 foot wide) to comply with the current zoning code. Section 5 achieves compliance with all the above lot requirements.

- **DESIGN** The houses would not only have to meet the minimum standards of the Residential Development Design Criteria and Performance Standards in Chapter 1171, but also the more restrictive residential architectural standards in the approved development text. Some of the upgrades include: 1.) At least 50% of the front elevation of all homes shall consist of approved natural materials as defined in the text (stucco is not considered a natural material); 2.) Upgraded garage door standards for doors that face a public street; 3.) No blank walls; 4.) The same model of home or the same exterior color of the home shall not be placed on adjacent lots and shall not be placed on facing lots.
- **OPEN SPACE & PARKLANDS** The Final Subdivision Plat for Section 5 identifies Lot 12081 (Reserve "E") as 1.277 acres of open space and should be the responsibility of the Homeowner's Association. This lot would contain mounding and landscaping to buffer the future Crownover Way extension (that would be required when Sub-Area A is developed) from the single family lots to the east in Section 5. From a "macro" perspective, the developer in Sections 1-4 provided 8.61 acres of open space and parkland for the subdivision along with extending a bike path along Peachblow Road. Specifically, there are pocket parks located in Sections 1 and 4.
- **LANDSCAPING PLAN:** The applicant has submitted a comprehensive landscaping plan that includes street trees and perimeter landscaping along the western boundary in Lot 12081 (Reserve "E"). To be consistent with Section 1, a minimum 3 foot high mound with landscaping adjacent to Sub-Area A shall be required. The evergreen trees shall be a minimum 4 foot high at installation and the deciduous trees shall be a minimum 1.75 inch caliper. The maintenance of the mound and associated landscaping shall be the responsibility of the Homeowners Association. It is imperative that the Applicant coordinate the landscaping plan and street tree plan with the engineering site development plan so that the landscaping does not impeded visibility at intersections or the visibility of any traffic control signs. The Shade Tree Commission would have to review and approve the aforementioned plans.

- **TREE REMOVAL & REPLACEMENT:** Because the remainder of the site is essentially open farmland, the only trees on the site are located on the northern property line and only a minimal amount if any would be removed with the proposed development. Until a final grading plan is approved, the exact numbers of trees removed (if any) would not be determined especially along the northern property line. Therefore, any tree replacement calculations would have to occur during final plat approvals for each section.
- **PEDESTRIAN CONNECTIVITY:** Sidewalks would be required on all public streets in Section 5. Also, a bike path was constructed along Peachblow Road and stubs into the property to the east with the development of Section 1.
- **LIGHTING PLAN.** The lighting plans for Section 5 were approved with Section 4 by the Chief Building Official on May 17, 2017.

STAFF RECOMMENDATION – (2018-1389 FINAL SUBDIVISION PLAT)

Staff recommends approval of a request by Stavroff Land and Development Inc., for approval of a Final Subdivision Plat for Belmont Place Section 5 consisting of 38 single family lots on approximately 11.083 acres zoned R-3 PMU (One-Family Residential with a Planned Mixed Use Overlay District) and located on McNamara Loop and Neville Lane, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The off-site stormwater improvements shall comply with the minimum City and County regulations.
3. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
4. The single family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
5. All homes shall have basements which shall have gravity sewer to the lowest elevation to allow for basement bathrooms and fixtures by gravity connection only. Hung sewers, grinder pumps and the like shall not be permitted.
6. A minimum 3 foot high mound with landscaping shall be located in Lot 12081 of Section 5 between Sub-Area A and the rear of the adjacent single family lots to the east. The evergreen trees shall be a minimum 4 foot high at installation and the deciduous trees shall be a minimum 1.75 inch caliper. The maintenance of the mound and associated landscaping shall be the responsibility of the Homeowner's Association. The subject plan shall be reviewed and approved by the Shade Tree Commission.
7. A street tree plan shall be submitted and approved by the Shade Tree Commission.
8. Any tree removal and/or replacement requirements shall achieve compliance with Chapter 1168 Tree Preservation Regulations and shall be required prior to any building permits in Section 5.
9. This section of the Belmont Place Subdivision shall be placed in the Delaware South New Community Authority prior to issuance of building permits, is located within the Evans Residential TIF district and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling unit.

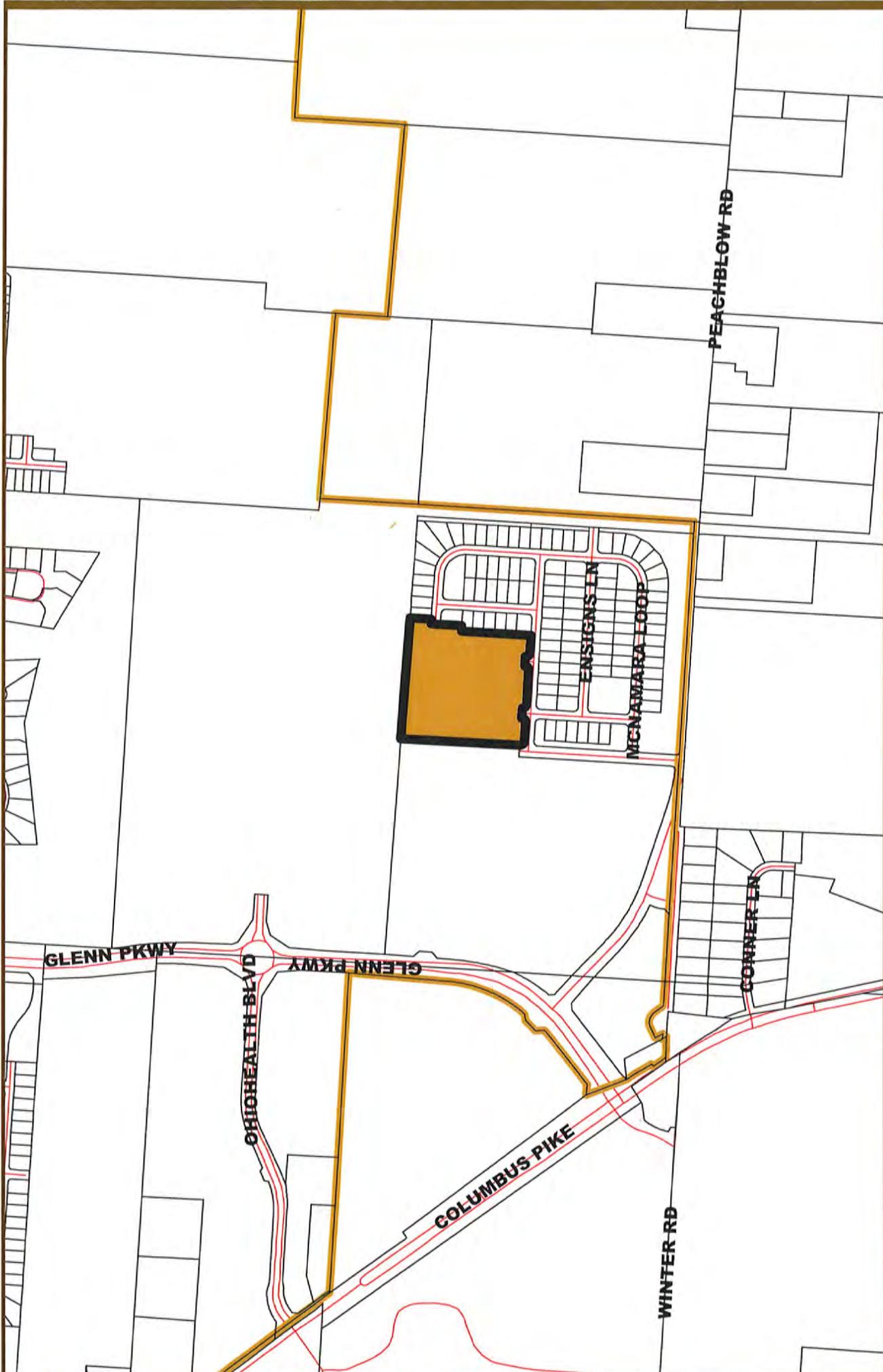
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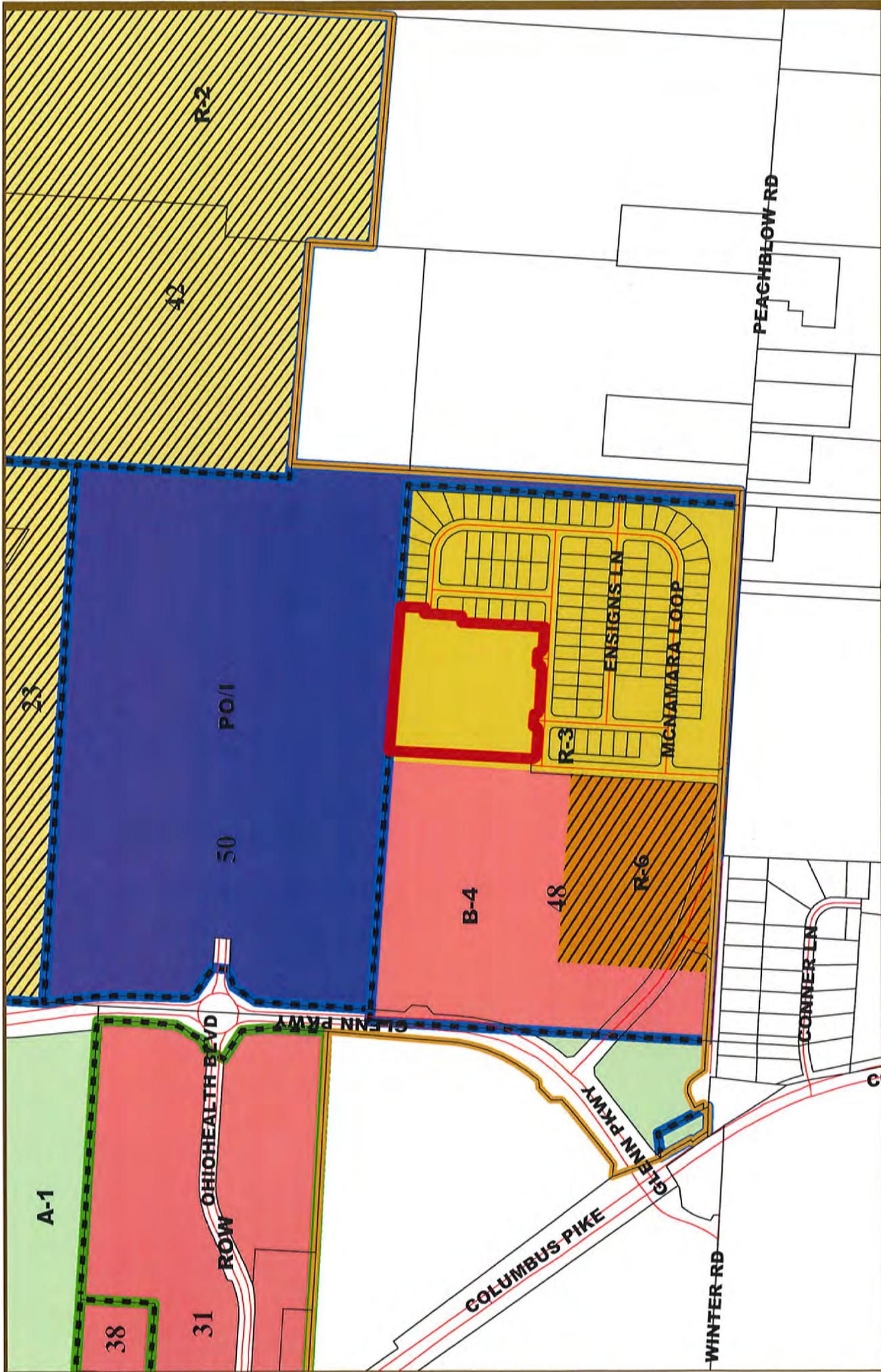
COMMISSION NOTES:

FILE:
ORIGINAL: 7/12/18
REVISED:



2018-1389
Final Subdivision Plat
Belmont Place - Section 5
Location Map





2018-1389
 Final Subdivision Plat
 Belmont Place - Section 5
 Zoning Map



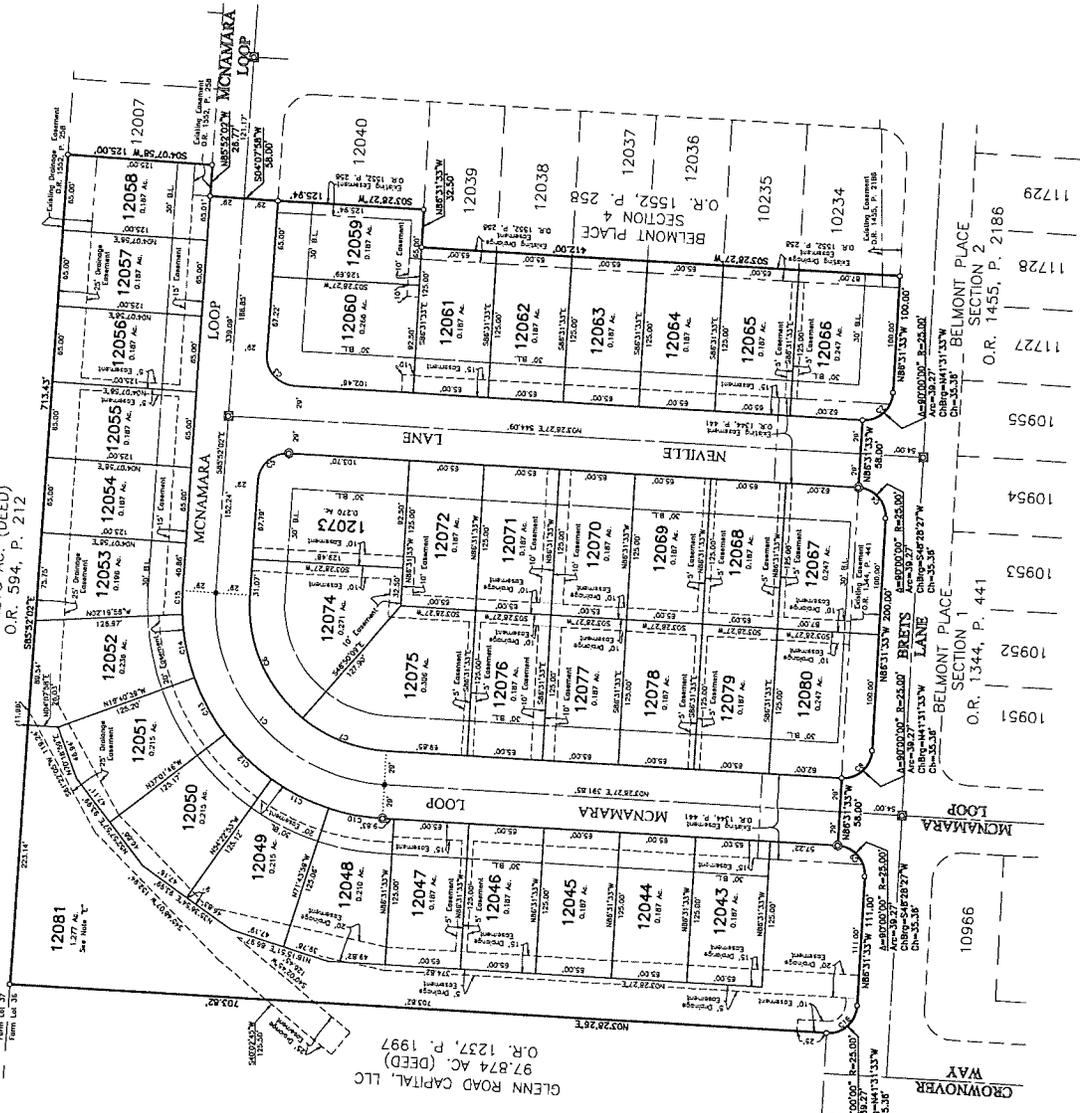


2018-1389
Final Subdivision Plat
Belmont Place - Section 5
Aerial (2016) Map



BELMONT PLACE SECTION 5

GRADY MEMORIAL HOSPITAL
105.278 AC. (DEED)
O.R. 594, P. 212



GLENN ROAD CAPITAL, LLC
O.R. 1237, P. 1997

NOTE "A": Notice is hereby given to any buyer of the lots delineated upon this plat, that on file with the Building Department of the City of Delaware, are site improvement drawings, proposed around elevation at house number lot drainage, proposed around elevation at house number lot grading plans. These plans, as approved by the governmental agencies, are considered part of the approval of the lots shown on this plat and are to be referred to in the future in connection with the building permit.

NOTE "B": MINIMUM SETBACKS: City of Delaware Zoning regulations for Belmont Place Section 5 in effect at the time of platting specifies the following setback requirements:
Average lot size: 65 feet by 135 feet
Front yard: 30 feet
Side yard: 10 feet
Rear yard: 30 feet
Zoning classification: Sub-Area B (PMB/R3)

NOTE "C": As per City of Delaware Ordinance, all lots within Belmont Place Section 5 are subject to the terms, conditions, restrictions (including lighting and house number signs) and other regulations of the City of Delaware preliminary plat entitled "Hawover Subdivision", and the City of Delaware Ordinance of Planning and Community Development as PC 2013-1729.

NOTE "D": All utilities within Belmont Place Section 5 shall be installed underground. Electric, telephone and cable TV, water and sewer lines shall be installed in accordance with the City of Delaware Ordinance of Planning and Community Development as PC 2013-1729.

NOTE "E": LOT DIMS: Lot 12081, as numbered and delineated herein, shall be entered and maintained by an owner of the lot in the Belmont Place subdivision for the purpose of open space.
NOTE "F": -ACREAGE BREAKDOWN: Belmont Place Section 5 is out of the following Delaware County Parcel Number:
Total acreage: 11.083 Ac.
Average in Lot 12081: 1.274 Ac.
Average in remaining lots: 1.599 Ac.

NOTE "G": -ACREAGE BREAKDOWN: Belmont Place Section 5 is out of the following Delaware County Parcel Number:
Total acreage: 11.083 Ac.
Average in Lot 12081: 1.274 Ac.
Average in remaining lots: 1.599 Ac.

CHDR NO.	DELTA	MINUS	LENGTH	CHDR PERMITS	CHDR DISTANCE
C1	1073031*	154.00'	243.87'	5	494917.74'
C2	1073031*	25.00'	20.27'	14	413133.33'
C3	1073031*	25.00'	20.27'	14	413133.33'
C4	1073031*	25.00'	20.27'	14	413133.33'
C5	1073031*	25.00'	20.27'	14	413133.33'
C6	1073031*	25.00'	20.27'	14	413133.33'
C7	1073031*	25.00'	20.27'	14	413133.33'
C8	1073031*	25.00'	20.27'	14	413133.33'
C9	1073031*	25.00'	20.27'	14	413133.33'
C10	1073031*	25.00'	20.27'	14	413133.33'
C11	1073031*	25.00'	20.27'	14	413133.33'
C12	1073031*	25.00'	20.27'	14	413133.33'
C13	1073031*	25.00'	20.27'	14	413133.33'
C14	1073031*	25.00'	20.27'	14	413133.33'
C15	1073031*	25.00'	20.27'	14	413133.33'
C16	1073031*	25.00'	20.27'	14	413133.33'
C17	1073031*	25.00'	20.27'	14	413133.33'
C18	1073031*	25.00'	20.27'	14	413133.33'
C19	1073031*	25.00'	20.27'	14	413133.33'
C20	1073031*	25.00'	20.27'	14	413133.33'
C21	1073031*	25.00'	20.27'	14	413133.33'
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C26	1073031*	25.00'	20.27'	14	413133.33'
C27	1073031*	25.00'	20.27'	14	413133.33'
C28	1073031*	25.00'	20.27'	14	413133.33'
C29	1073031*	25.00'	20.27'	14	413133.33'
C30	1073031*	25.00'	20.27'	14	413133.33'
C31	1073031*	25.00'	20.27'	14	413133.33'
C32	1073031*	25.00'	20.27'	14	413133.33'
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C34	1073031*	25.00'	20.27'	14	413133.33'
C35	1073031*	25.00'	20.27'	14	413133.33'
C36	1073031*	25.00'	20.27'	14	413133.33'
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C82	1073031*	25.00'	20.27'	14	413133.33'
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C92	1073031*	25.00'	20.27'	14	413133.33'
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C97	1073031*	25.00'	20.27'	14	413133.33'
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C99	1073031*	25.00'	20.27'	14	413133.33'
C100	1073031*	25.00'	20.27'	14	413133.33'





**CITY OF DELAWARE, OHIO
PLANNING & COMMUNITY DEVELOPMENT
MASTER APPLICATION FORM**



Project # _____ Case # _____

Planning Commission

- | | | |
|--|--|---|
| <input type="checkbox"/> Amended Final Development Plan | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use |
| <input type="checkbox"/> Amended Final Subdivision Plat | <input checked="" type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Vacation-Alley |
| <input type="checkbox"/> Amended Preliminary Development Plan | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat | <input type="checkbox"/> Floodplain Permit | <input type="checkbox"/> Vacation-Street |
| <input type="checkbox"/> Annexation Review | <input type="checkbox"/> Lot Split | <u>Board of Zoning Appeals</u> |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Development Plan | <input type="checkbox"/> Conditional Use Permit |
| <input type="checkbox"/> Concept Plan | <input type="checkbox"/> Preliminary Dev Plan Extension | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Preliminary Sub Plat | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Determination of Similar Use | <input type="checkbox"/> Preliminary Sub Plat Extension | |
| <input type="checkbox"/> Development Plan Exemption | <input type="checkbox"/> Rezoning | |
| <input type="checkbox"/> Final Development Plan | <input type="checkbox"/> Subdivision Variance | |

Subdivision/Project Name Belmont Place Section 5 Address 1730' East from the Intersection of Peachblow Rd & Glenn Rd, North of Bret's Lane
 Acreage 11.083 Square Footage --- Number of Lots 38 Number of Units ---
 Zoning District/Land Use PMU/R3 Proposed Zoning/Land Use --- Parcel # 41833001032000

Applicant Name Stavroff Land & Development, Inc. Contact Person Kevin McCauley
 Applicant Address 6689 Dublin Center Drive, Dublin, Ohio 43017
 Phone 614-764-9981 Fax _____ E-mail Kevin@stavroff.com
 Owner Name Stavroff Land & Development, Inc. Contact Person Kevin McCauley
 Owner Address 6689 Dublin Center Drive, Dublin, Ohio 43017
 Phone 614-764-9981 Fax _____ E-mail Kevin@stavroff.com
 Engineer/Architect/Attorney EMH&T Contact Person Scott Mincks
 Address 5500 New Albany Road, Columbus, Ohio 43054
 Phone 614-775-4432 Fax _____ E-mail smincks@emht.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

[Signature] Owner Signature Kevin McCauley - Authorized Agent Owner Printed Name
Scott Mincks Agent Signature Scott Mincks Agent Printed Name

Sworn to before me and subscribed in my presence this 24th day of May, 2018

[Signature] Notary Public
 CRISTINA E. DIONNE
 Notary Public
 STATE OF OHIO
 My Commission Expires
 November 26, 2021

CASE NUMBER: 2018-1462 & 2018-1718

REQUEST: Multiple Requests

PROJECT: Marathon Gas Station

MEETING DATE: July 18, 2018

APPLICANT/OWNER

N&G Takhar Oil LLC
4365 Lisa Drive
Tipp City, Ohio 45371

REQUEST

2018-1462: A request by N&G Takhar Oil LLC for approval of a Conditional Use Permit for a renovation and expansion of the Marathon Gas Station (former Swifty Gas Station) at 473 South Sandusky Street on approximately 0.80 acres on property zoned B-3 (Community Business District).

2018-1718: A request by N&G Takhar Oil LLC for approval of a Development Plan Exemption for a renovation and expansion of the Marathon Gas Station (former Swifty Gas Station) at 473 South Sandusky Street on approximately 0.80 acres on property zoned B-3 (Community Business District).

PROPERTY LOCATION & DESCRIPTION

The existing gas station is located at 473 South Sandusky Street on the east side of South Sandusky Street. The subject property is zoned B-3 (Community Business District) as are the properties to the north, south and east. The property to the west is zoned PO/I Planned Office/Institutional District.

BACKGROUND

In 1990, Swifty Service Station received a variance from the Board of Zoning Appeals (Case BZA 90-18) to allow the canopy within 3 feet of the public right-of-way. The Swifty Gas Station was closed a few years and the current owner purchased the gas station in 2014. The property is zoned B-3 which conditionally permits gas stations. Staff could not find a Conditional Use Permit on file for this subject site and gas station use.

The new owner is proposing to renovate and expand the gas station and brand it as a Marathon Gas Station. The gas station would be expanded to 3,800 square feet from its current size of approximately 500 square feet. The site would utilize the current two curb cuts from South Sandusky Street and the curb cut from the private drive to the north that would access four fuels pumps under a new canopy. A detention basin (bio-retention and rain garden) would be established on the eastern portion of the site located to the rear of the building.

STAFF ANALYSIS

- **ZONING:** As previously mentioned, the subject property is zoned B-3 (Commercial Business District) which allows a gas station with Conditional Use Permit approval by the Planning Commission and City Council. There is an existing closed gas station on the site and the proposal is to expand and renovate the site and building to better achieve compliance with current development requirements.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be detailed through the Engineering and Utilities Departments prior to final construction drawing approval. Utilities are available to the site and it is the responsibility of the applicant to construct whatever is required to service the site and use. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND ACCESS:** As mentioned above, the site would have access from South Sandusky Street from the two existing curb cuts and from the private drive to the north (a shared private drive with the VFW) by an existing curb cut.
- **PEDESTRIAN CONNECTIVITY:** The gas station is an urban setting with an existing sidewalk along South Sandusky Street that would remain. A bike path is proposed along South Sandusky Street per the Bicycle and Pedestrians Master Plan 2027 but this redevelopment would not trigger a required bike path. The current bike path is located on the west side of South Sandusky Street.

-
- **SITE CONFIGURATION:** The approximate 3,800 square foot gas station and convenience store would be located in the southern portion of the site with the two existing curb cuts from South Sandusky Street and one curb cut from the private drive to the north accessing the proposed 4 fuel pumps (the existing two gas pumps would be removed) which would be parallel with South Sandusky Street. There would be 6 parking space located on the north side of the building and 4 fuel bay parking spaces to accommodate the parking requirements. The applicant indicated a dumpster is proposed but the exact location is not identified. The dumpster would be required to be enclosed by a brick wall that matches the building and have wood doors painted or stained to match. Staff would require that an area (maybe just north or south of the building) should be dedicated for “outside merchandise” (ice box, propane tanks, seasonal items, mulch, etc.) with the installation of a low wall (2 to 3 feet tall) as approved by staff to delineate the storage area and shield the “outside merchandise” from the public right-of-way.
 - **BUILDING DESIGN:** The rectangular 3,800 square foot building’s front elevation would be oriented towards South Sandusky Street. The South Sandusky Street elevation is proposed to be brick veneer with two bays of windows flanking the entrance door while limestone would frame the main entrance door. The remainder of the elevations would be brick veneer. A pitched roof with fiberglass shingles would cap off the building. The pitched roof vehicular gas canopy would have a blue sign band and would be supported by eight limestone (cultured) faced columns (The current color elevation rendering of the canopy orientation does not match the proposed site plan but the applicant indicated they would likely have the revised color elevation rendering at the Planning Commission meeting). The sign band would be marathon blue with a white stripe. The building and fuel canopy appurtenances (coping, downspouts, etc.) should be painted to match the adjacent building surface. The limestone on the building and canopy columns shall be Delaware blue vein limestone (or cultured stone) or equivalent as approved by staff. Furthermore, any mechanical equipment would need to be screened from public view. Staff would need submittal of each building material with color samples with the building permit submittal to ensure compliance with this case.
 - **TREE REMOVAL & REPLACEMENT:** There does not appear to be any qualifying trees (6 inches or larger caliper) on the subject site that would be removed. If any qualifying trees area removed, they would have to be replaced per Chapter 1168 Tree Preservation Regulations.
 - **LANDSCAPING & SCREENING:** The development would require street trees along South Sandusky Street within the existing tree lawn as proposed per the plan. The Shade Tree Commission would have to review and approve all landscape plans.
 - **SIGNAGE:** The owner is proposing fuel canopy and ground signage. The vehicular fuel canopy sign on the north, south and west (front) elevation would encompass a maximum 22 square feet and would be required to be channel letters flush mounted on the canopy. The canopy signs shall be flush mounted (or inset to achieve a flush mounted appearance) such that the sign faces do not extend past the front face of the canopy. The existing pole sign located on the southern portion of the site would be replaced with a ground sign. The ground sign shall be a maximum be 8 feet high (40 square feet) mounted on a 3 foot high limestone base. The sign shall achieve compliance with the adopted City Gateway and Corridor Plan as well as the sign code. The sign shall be flush mounted to the stone base.
 - **LIGHTING:** The applicant is not proposing any new site light poles but the current lighting shall achieve compliance with the zoning illumination requirements. Any building lighting would have to achieve compliance with the minimum zoning requirements and would have to be approved by the Chief Building Official.
 - **MISCELLANEOUS:** Movie boxes, ATM machines, etc. would not be permitted outside the building. Any outdoor merchandise shall be designated in limited storage areas on the site plan as approved by staff and screened from the public right-of-way. Outdoor storage shall be contained to only those areas so designated to be consistent with other recently approved developments.
 - **DEVELOPMENT PLAN EXEMPTION:** Section 1129.06(k) of the Zoning Code authorizes the Director of Planning and Community Development to exempt small incidental construction, which does not result in an adverse impact to the site or surroundings, from the development plan review process. Should the Director make such a determination, the Planning Commission shall confirm or overturn the determination.
Section 1129.06(k) Development Plan Exemption. When a minor alteration is proposed to an existing building, structure, use or site arrangement the Director of Planning and Community Development may make a preliminary

determination that such a proposal is not contrary to the Zoning Ordinance and will not result in any material adverse impact to the site or surrounding areas. In such case, the Director may further determine that such proposal is not subject to development plan review. Such determination shall primarily apply to small incidental construction on large zoning lots and when the proposed construction is substantially distant and screened from the adjacent roadways and property lines.

If the Director makes a determination that such a proposal is not a minor alteration, the proposal shall fully comply with the development plan review procedures in Chapter 1129.

- (1) When the Director of Planning and Community Development makes such preliminary determination of administrative approval, the proposal shall be placed on the agenda of the next regularly scheduled Planning Commission meeting. At such meeting, the Planning Commission shall, by motion and majority vote, either:
 - A. Confirm the Director of Planning and Community Development's preliminary determination, in which case, the Director may issue a certificate of zoning compliance; or
 - B. Overturn the Director of Planning and Community Development's determination and, in so doing, require that the proposal fully comply with the development plan review procedures in Section 1129.06.

The Director finds, preliminarily, that this proposal with the conditions noted, is a minor alteration, with no adverse impacts to the site or surroundings, and is not contrary to the Zoning Code.

STAFF RECOMMENDATION (2018-1462 – CONDITIONAL USE PERMIT)

Staff recommends approval of a request by N&G Takhar Oil LLC for a Conditional Use Permit for a renovation and expansion of the Marathon Gas Station (former Swifty Gas Station) at 473 South Sandusky Street on approximately 0.80 acres on property zoned B-3 (Community Business District) with the following conditions that:

1. No overnight semi-truck parking shall be permitted within the subject development and the applicant shall be responsible for ensuring compliance of such.
2. No inoperable vehicle(s) shall be permitted to remain on the property for more than 48 hours.
3. Any outdoor merchandise (ice box, propane tanks, etc.) shall be located on the north or south side of the building with installation of low wall (2 to 3 feet tall) as approved by staff to delineate the storage area and shield the "outside merchandise" from public right-of-way. No movie boxes, ATM machines, etc., shall be allowed outside the building.

STAFF RECOMMENDATION (2018-1718 – DEVELOPMENT PLAN EXEMPTION)

Staff recommends approval of a request by N&G Takhar Oil LLC for a Development Plan Exemption for a renovation and expansion of the Marathon Gas Station (former Swifty Gas Station) at 473 South Sandusky Street on approximately 0.80 acres on property zoned B-3 (Community Business District) with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. No overnight semi-truck parking shall be permitted within the subject development and the applicant shall be responsible for ensuring compliance of such.
3. The dumpster shall be screened from public view by a wall constructed of similar building materials that match the new building with wood doors painted or stained to match or compliment the overall building.
4. The Shade Tree Commission shall review and approve the submitted street tree plans.
5. Any qualifying removed trees shall achieve compliance with Chapter 1168 Tree Preservation Requirements.

6. The limestone on the building, the stone canopy columns, and the ground sign base shall be Delaware blue vein limestone (or cultured stone) or equivalent as approved by Staff.
7. The limestone columns on the fuel canopies shall extend from ground level to the canopy.
8. All building and fuel canopy appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building material color.
9. All roof top mechanical equipment shall be completely screened from public view.
10. The Applicant shall submit all fuel canopy and ground sign elevations along with material and color samples for all building materials for staff review and approval prior to any building permit issuance.
11. A lighting plan that achieves compliance with the zoning code shall be submitted, reviewed and approved by the Chief Building Official. All lights shall be fully recessed and cut off and the light poles shall be black.
12. The channel letter signs on the fuel canopy shall be flush mounted or inset to achieve a flush mounted appearance.
13. The ground sign shall be a maximum 8 feet tall with a maximum sign area of 40 square feet that shall be flush mounted to the stone cap base and shall be faced with limestone (or cultured stone) as per the building and columns.
14. Any outdoor merchandise (ice box, propane tanks, etc.) shall be located on the north or south side of the building with installation of low wall (2 to 3 feet tall) as approved by staff to delineate the storage area and shield the "outside merchandise" from public right-of-way. No movie boxes, ATM machines, etc., shall be allowed outside the building.

GENERAL REVIEW CRITERIA FOR ALL CONDITIONAL USE PERMITS

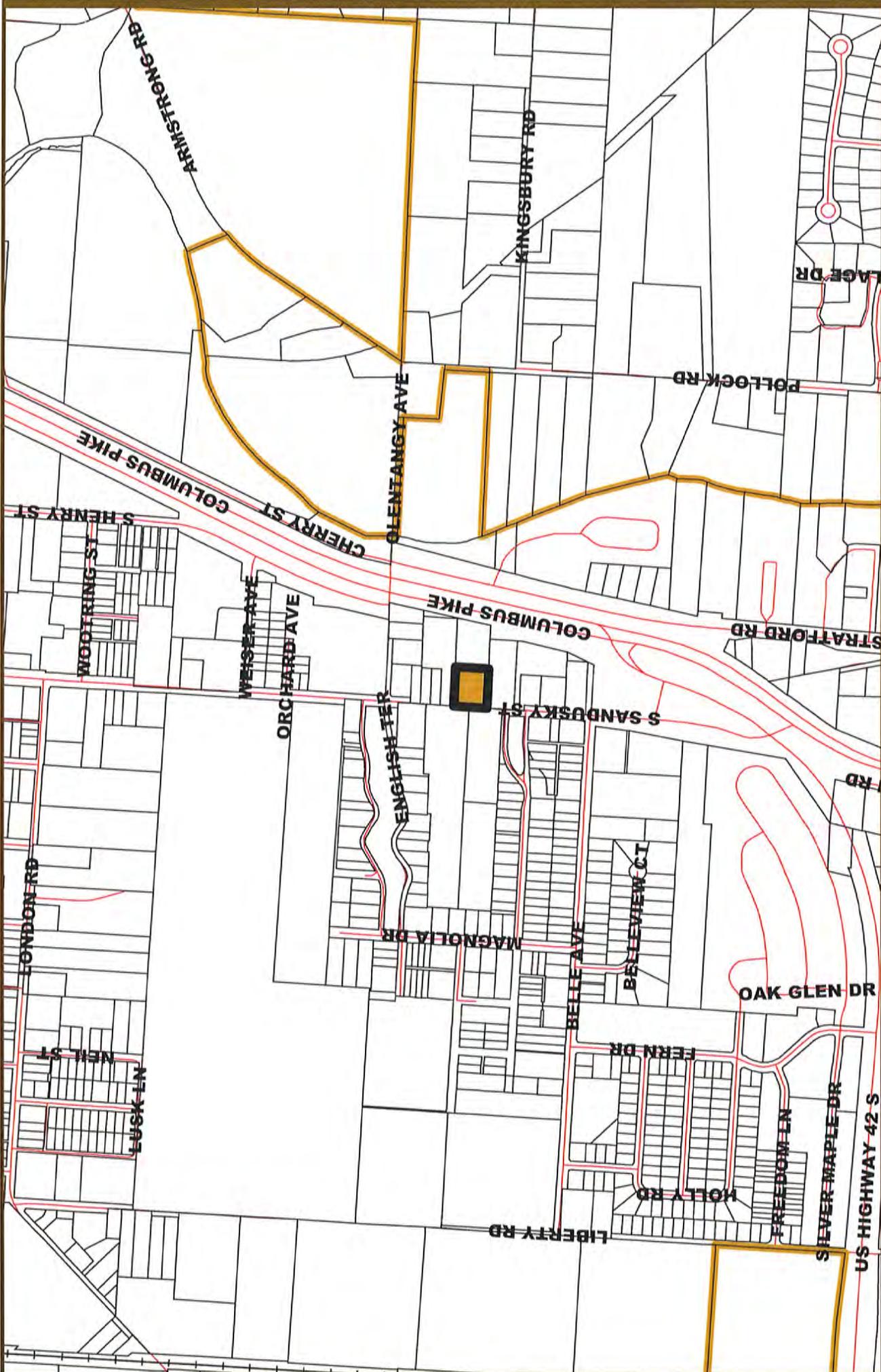
1. Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not essentially change the character of the same area.
2. Will not be detrimental to property values in the immediate vicinity.
3. Will not restrict or adversely affect the existing use of the adjacent property owners.
4. Will be designed and constructed so that all access drives, access points to public streets, driveways, parking and service areas shall be in compliance with the regulations set forth in Chapter 1161.
5. Will be properly landscaped in accordance with Chapter 1166.
6. That the establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or general welfare.
7. That the establishment of the conditional use in the proposed location will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
8. That adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
9. That adequate measures have been or will be taken to provide ingress and egress designed to minimize traffic congestion on the surrounding public streets and to maximize public safety.
10. That the establishment of the conditional use will not be detrimental to the economic welfare of the community by creating excessive additional requirements or public cost for public facilities such as police, fire and schools.
11. That there is minimal potential for future hardship on the conditional uses that could result from the proposed use being surrounded by uses permitted by right that may be incompatible.

COMMISSION NOTES:

MOTION: _____ 1st _____ 2nd *approved* *denied* *tabled* _____

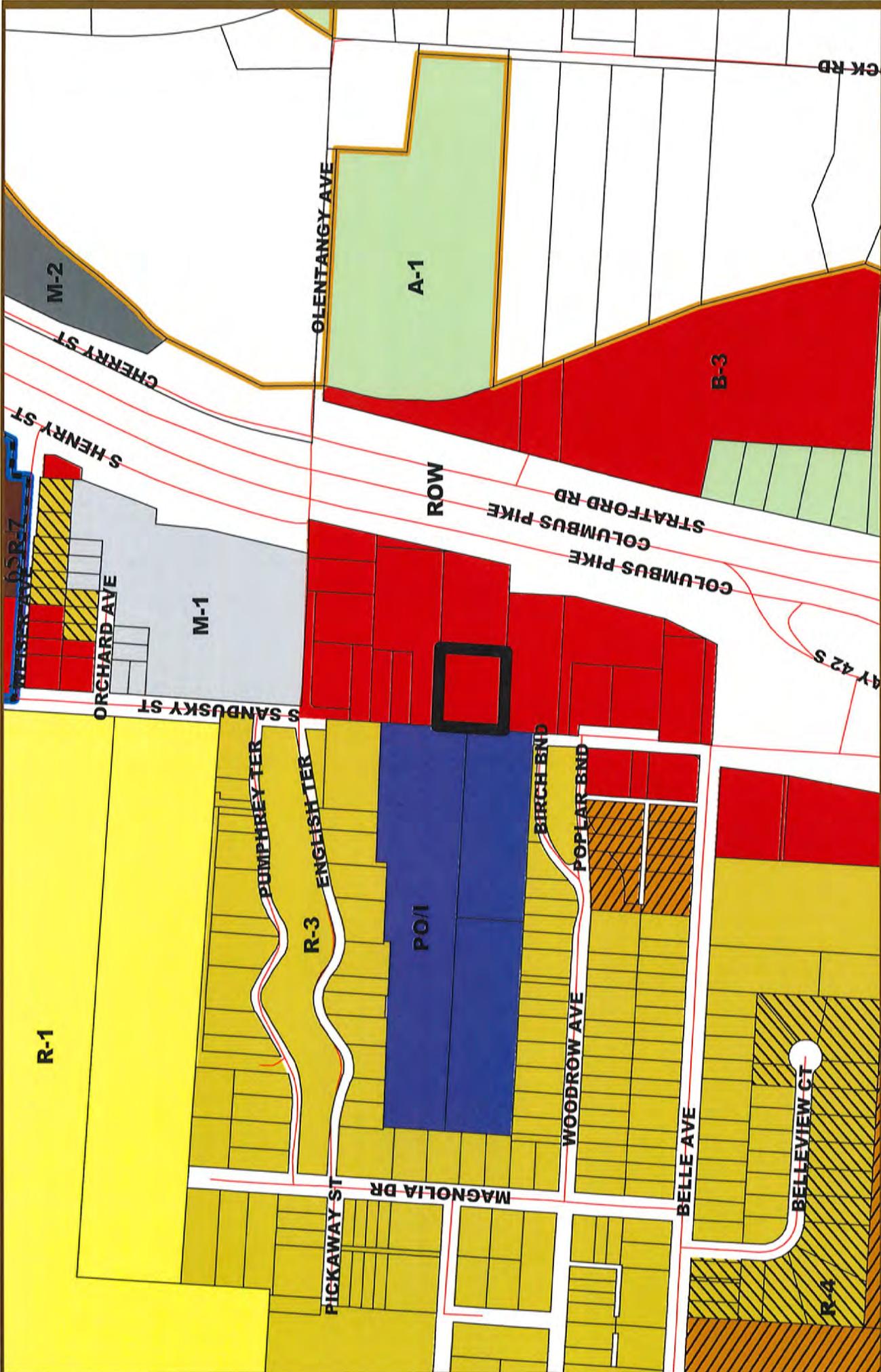
CONDITIONS/MISCELLANEOUS:

FILE: MARATHON GAS STATION
ORIGINAL: 07/12/18
REVISED:



2018-1462 & 1718
 Conditional Use Permit and Development Plan Exemption
 Marathon Gas Station - 473 South Sandusky Street
 Location Map





2018-1462 & 1718
 Conditional Use Permit and Development Plan Exemption
 Marathon Gas Station - 473 South Sandusky Street
 Zoning Map

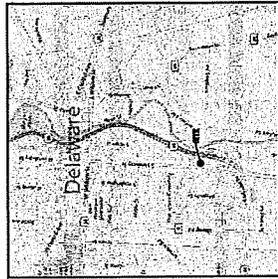




2018-1462 & 1718
Conditional Use Permit and Development Plan Exemption
Marathon Gas Station - 473 South Sandusky Street
Aerial (2016) Map



SITE IMPROVEMENTS 473 S SANDUSKY STREET CITY OF DELAWARE DELAWARE COUNTY, OHIO



VICINITY MAP
NOT TO SCALE

OWNER/DEVELOPER
SPECTRUM
1275 DOWNSIDE BLVD
COLUMBUS, OH 43260
(614) 461-9203

ENGINEER
APEX ENGINEERING & SURVEYING, INC.
1001 UNIVERSITY BLVD
COLUMBUS, OH 43260
(614) 442-3200

LOCAL UTILITY COMPANIES
AMERICAN ELECTRIC POWER COMPANY
2200 BROADWAY
COLUMBUS, OH 43260-8600
ATTN: KRISTEN THOMPSON
(614)-883-9831

DELAWARE CITY DEPARTMENT OF PUBLIC UTILITIES
1002 W. MAIN ST.
DELAWARE, OH 43015
ATTN: BRAD STANTON, DIRECTOR
(740)-263-1900

COLUMBIA GAS OF OHIO
520 GOODALE BLVD
DELAWARE, OH 43015
ATTN: MATT COYNE
(614)-460-2169

VERISON
250 LEAVER STREET
DELAWARE, OH 43015
ATTN: CHRIS ASERY
(740)-303-6831

SPECTRUM
1275 DOWNSIDE BLVD
COLUMBUS, OH 43260
ATTN: KAY BAUMER
(614)-461-9203

CONSOLIDATED ELECTRIC COOPERATIVE, INC.
1002 W. MAIN ST.
DELAWARE, OH 43015
ATTN: DAN AMATO, DIRECTOR OF ENGINEERING
(419)-847-3003

WOW CABLE
3075 DOWNSIDE DRIVE
DELAWARE, OH 43015
ATTN: DAMON HANCOCK, CONSTRUCTION ENGINEER
(614)-848-4818

FIRST ENERGY
1040 S. PROSPECT ST.
DELAWARE, OH 43015
ATTN: JEFFREY HALL - COORDINATOR OF ENGINEERING SERVICES
(740)-382-7104

SHEET INDEX

FILE SHEET	1
DETAILS	2
SITE AND GRADING PLAN	3
	4

GENERAL NOTES

- ALL UTILITIES LOCATIONS & DEPT. BE APPROXIMATE. ALL UTILITIES LOCATIONS SHOWN ARE BASED ON THE MOST RECENT RECORD DRAWINGS ON FILE WITH THE CITY OF DELAWARE, LOCAL DEPT. OF PUBLIC SAFETY, CANTON, OH.
- CONDUCTOR SHALL BE PERMITTED TO BE TYPICAL TO THE UTILITY AND VARIATION SHALL BE NOTED TO THE ENGINEER.
- CONDUCTOR SHALL BE PERMITTED TO BE TYPICAL TO THE UTILITY AND VARIATION SHALL BE NOTED TO THE ENGINEER.
- THE EXISTING WATER AND SANITARY SERVICE TO THE PROJECT SHALL BE MAINTAINED FOR THE ENTIRE DURATION OF THE PROJECT.
- SPACE PROVIDED = 1" PER 2' RUN + 1" PER LAP + 1" PER 4' SPAN + 1" PER 4' SPAN

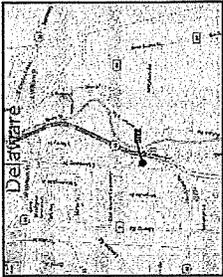
APPROVALS

DATE: 04-12-18	DATE: 04-12-18
BY: [Signature]	BY: [Signature]
CHECKED: [Signature]	CHECKED: [Signature]



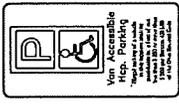
APEX
ENGINEERING & SURVEYING, INC.
1001 UNIVERSITY BLVD
COLUMBUS, OH 43260
(614) 442-3200

SHEET
1 OF 4
DATE: 11/13/18
PROJECT: 17179A

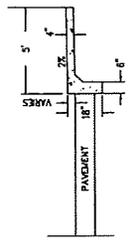
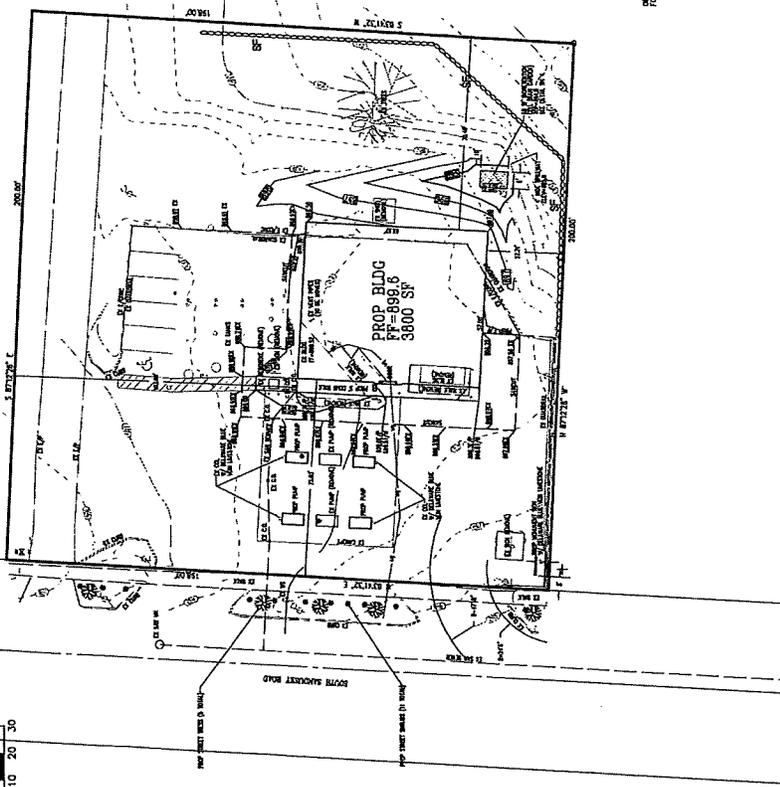


VICINITY MAP
1/4" = 50'

- LEGEND**
- SF SITE FEATURES
 - DRAINAGE SWALES
 - EXISTING
 - PROPOSED FINISHED PAVEMENT SPOT ELEVATIONS



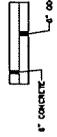
Hcp. Parking Sign
N.T.S.



COMB CURB/WALK DETAIL

- 1. 6" CONC. CURB
- 2. 18" CONC. BASE
- 3. 6" CONC. TOP LAYER
- 4. 1" REINFORCING BARS
- 5. 1" REINFORCING BARS
- 6. 1" REINFORCING BARS
- 7. 1" REINFORCING BARS
- 8. 1" REINFORCING BARS
- 9. 1" REINFORCING BARS
- 10. 1" REINFORCING BARS

STANDARD PAVEMENT COMPOSITION



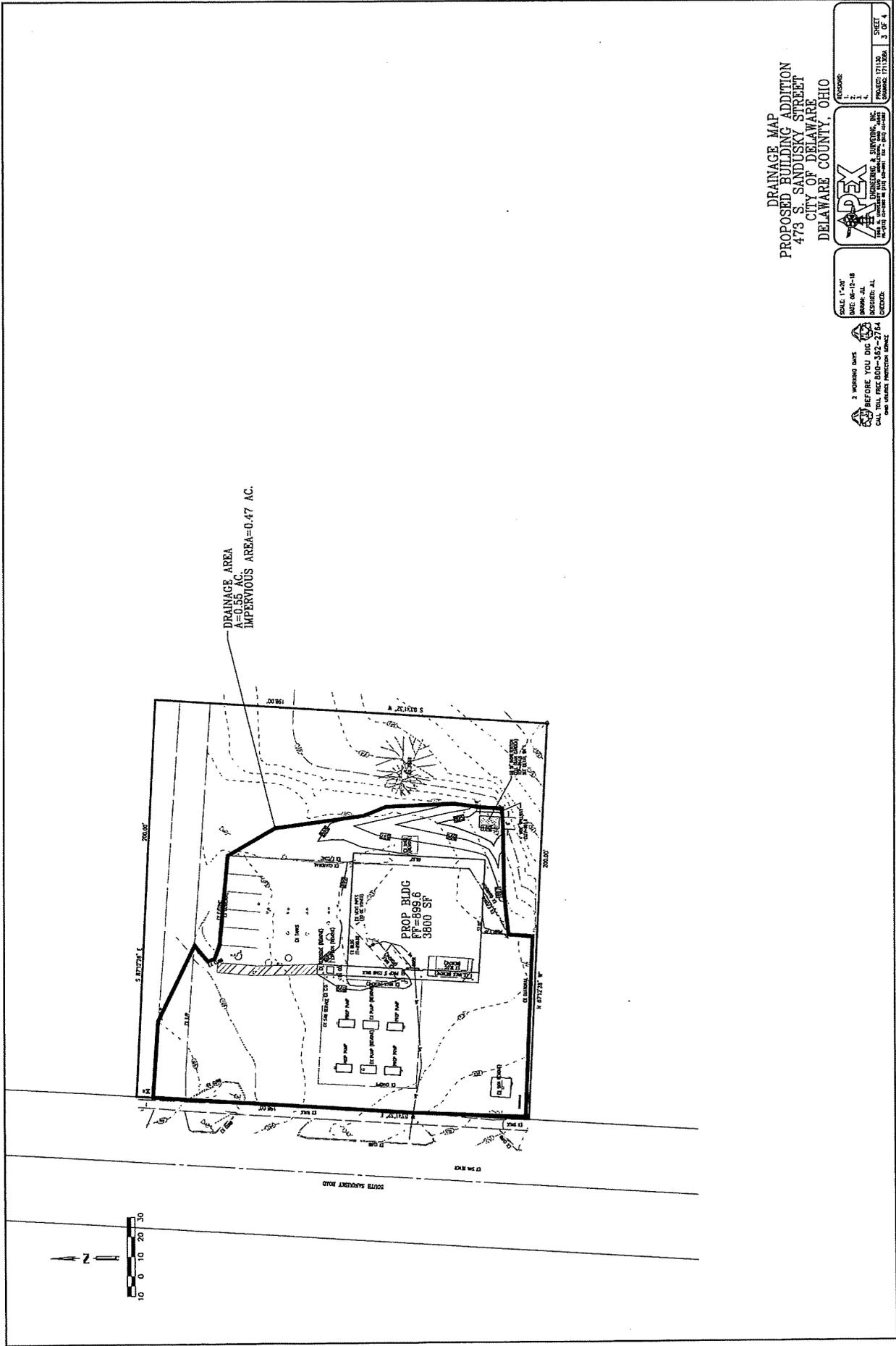
OPTIONAL CONCRETE PAVEMENT

SITE/GRADING PLAN
PROPOSED BUILDING ADDITION
473 S. SANDUSKY STREET
CITY OF DELAWARE
DELAWARE COUNTY, OHIO

APEX ENGINEERS & SURVEYORS, INC.
1000 N. SANDUSKY STREET, SUITE 200
MARIETTA, OHIO 44759
PHONE: 330.333.1234
FAX: 330.333.1235
WWW.APEXENGINEERS.COM

SCALE: 1" = 40'
DATE: 04-14-18
DRAWN BY: JLL
CHECKED BY: AL
CALL TOLL FREE 800-362-2714
FOR QUOTES, PROJECTS, SERVICE

2 WORKING DAYS BEFORE YOU DIG
CALL TOLL FREE 800-362-2714
FOR QUOTES, PROJECTS, SERVICE



DRAINAGE MAP
 PROPOSED BUILDING ADDITION
 478 S. SANDUSKY STREET
 CITY OF DELAWARE
 DELAWARE COUNTY, OHIO

SCALE: 1"=40'
 DATE: 04-14-18
 DRAWN: J.L.
 CHECKED: A.L.

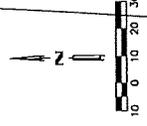
2 WORKING DAYS BEFORE YOU DIG
 CALL TOLL FREE 800-502-2714
 FOR A FREE PROVISIONAL MAP



REVISIONS
 1
 2
 3
 4
 SHEET: 11120A
 CASE: 1
 OF: 4

DRAINAGE AREA
 A=0.55 AC.
 IMPERVIOUS AREA=0.47 AC.

PROP. BLDG
 RT=895.6
 3800 SF



PROJECT INFORMATION :

Use Group:	M : MERCANTILE (CONVENIENCE STORE)
Occupational Type:	VB
Per O.B.C. table 1003.2	
Minimum Building Height:	M : 1 STORY
Per O.B.C. table 1003.2	
Actual Building Height:	1 STORY
Allowable Floor Area:	M : 9,000 SQ. FT.
Per O.B.C. table 1003.2	
Actual Floor Area:	TOTAL BUILDING = 3,800 SQ. FT.
Occupant Load:	STORAGE/UTILITY AREA : 472 / 300 = 2 PERSONS
Per O.B.C. table 1004.5.2	MERCANTILE : 2,325 SQ. FT. / 60 = 39 PERSONS
CHANGING ROOMS :	TOTAL OCCUPANT LOAD = 48 PERSONS
Designated wind load:	22.25W PER SQ. FT. (110 MPH)
Per O.B.C. section 1603.1.4	
Designated snow load:	25W PER SQ. FT. (GROUND SNOW)
Per O.B.C. table 1603.1.3	
Designated floor load:	CONCRETE SLAB = 125 PSF
Per O.B.C. table 1607.1	207 MAX. W/OUT NEEDING
Exit Access travel distance:	A SPRINKLER SYSTEM
Per O.B.C. table 1017.2	
Width of egress doors:	36"
Per O.B.C. table 1010.1.1	
Number of exits required:	1 EXIT
Per O.B.C. table 1009.3.2(2)	
Sprinkler system:	NOT REQUIRED
Per O.B.C. section 903	

2017 O.B.C. CODE NOTES :

- The minimum required width of passageway, aisle spaces and exit doors shall be not less than 30 in. (Per O.B.C. table 1003.2) 44" for occ. > 50 persons. (Per O.B.C. table 1003.2)
- The minimum required length of egress passageways or corridors shall not be more than 20 feet. (Per O.B.C. section 1002.4)
- Locks & Latches : All means of egress doors will be readily opened from the egress side without the use of a key or special knowledge or effort. (Per O.B.C. section 1008.1.3.3)
- All means of egress will be equipped with artificial lighting which will provide not less than one (1) foot candle at floor level. (Per O.B.C. section 1006.2)
- All means of egress doors will be of the side-swinging type. (Per O.B.C. section 1011.1) Exit doors shall be self-closing doors where required. (Per O.B.C. section 1006.1.2)
- Interior finish for walls and doors will comply with the requirements of O.B.C. section 903 & 904.
- Exit signs are required at all exit doors. (Per O.B.C. section 1011.1)
- Exit doors shall be self-closing doors at least 6 inches high. (Per O.B.C. section 1011.5.1)
- Fire extinguishers shall be located in accordance with the requirements of the local fire official. (Per O.B.C. section 905.1)
- Alarm system is not required per O.B.C. 903.2.6.
- Occupant load signs shall be installed and maintained in a legible condition at all exits. The number of persons shall be in accordance with the number of occupants permitted. O.B.C. section 1004.3
- Walking surfaces along the means of egress shall have a slip-resistant surface securely attached to the concrete floor.
- Fire blocking is required at the ceiling levels of all partitions.
- Restrooms are not required in Mercantile spaces under 50 persons. (Per O.B.C. section 1002.1)
- A map shall be provided as required per table 2002.1.
- A map shall be provided upon request as required per table 2002.1.

DRAWING INDEX :

- CS-0 COVER SHEET
- S-1 SITE PLAN
- C-1 CANOPY ELEVATION PLAN
- A-1 FOUNDATION PLAN
- A-2 FLOOR PLAN & SCHEDULES
- A-3 REFLECTED CEILING PLAN
- A-4 ROOF PLAN
- A-5 FRONT & RIGHT SIDE ELEVATIONS
- A-5.1 REAR & LEFT SIDE ELEVATIONS
- A-6 WALL SECTIONS, NOTE, & DETAILS
- A-7 HANDICAP R.R. DETAILS & SPECIFICATIONS
- P-1 PLUMBING PLAN
- M-1 MECHANICAL PLAN
- E-1 ELECTRICAL LIGHTING PLAN & SINGLE LINE DIAGRAM
- E-2 ELECTRICAL POWER PLAN & PANEL SCHEDULE

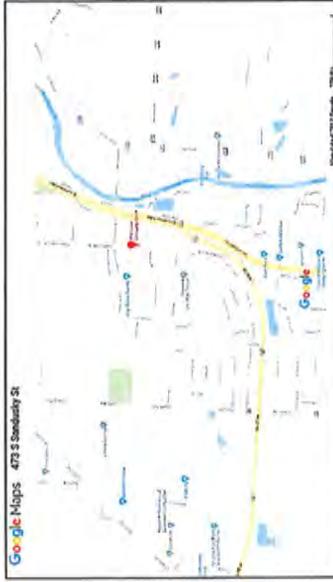
NEW GAS STATION FOR :

N & G TAKHAR
 473 S. SANDUSKY ST.
 CITY OF DELAWARE
 DELAWARE COUNTY, OHIO

1900 1st AVENUE
 MIDDLETOWN, OH 45044
 matt@cds-ohio.com
 www.CDS-Ohio.com
 tel : 937.605.6882



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Vicinity Map



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 email: drcbatty@cdsotr.com
 Tel : 937.605.6882 Fax : 937.605.6882

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N & G TAKHAR
 473 S. SANDUSKY ST.
 CITY OF DELAWARE
 DELAWARE COUNTY, OHIO

CS-0
 Cover Sheet
 Date: 11/11/2017
 Drawn by: David D. Neugebauer
 Project: 17070193

C-1

Sheet No.

DATE

BY

PROJECT

Canopy Elevation

TOP

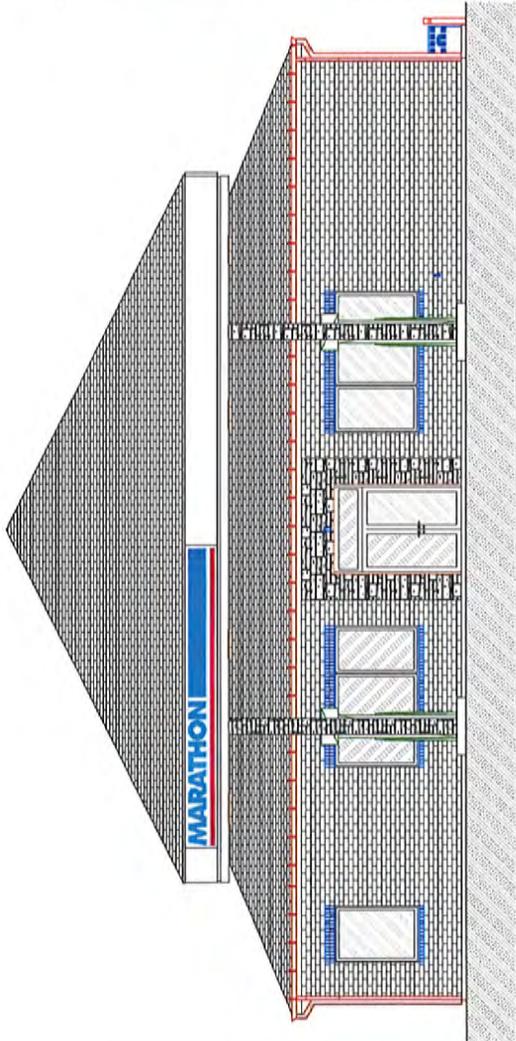
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DELAWARE COUNTY, OHIO



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email : architect@incrl.com
Presidential Commercial / Industrial



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malle@cds-ohio.com
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1900 1st AVENUE



Front Elevation
SCALE: 1/4" = 1'-0"



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mat@cds-ohio.com
tel : 937.603.8882

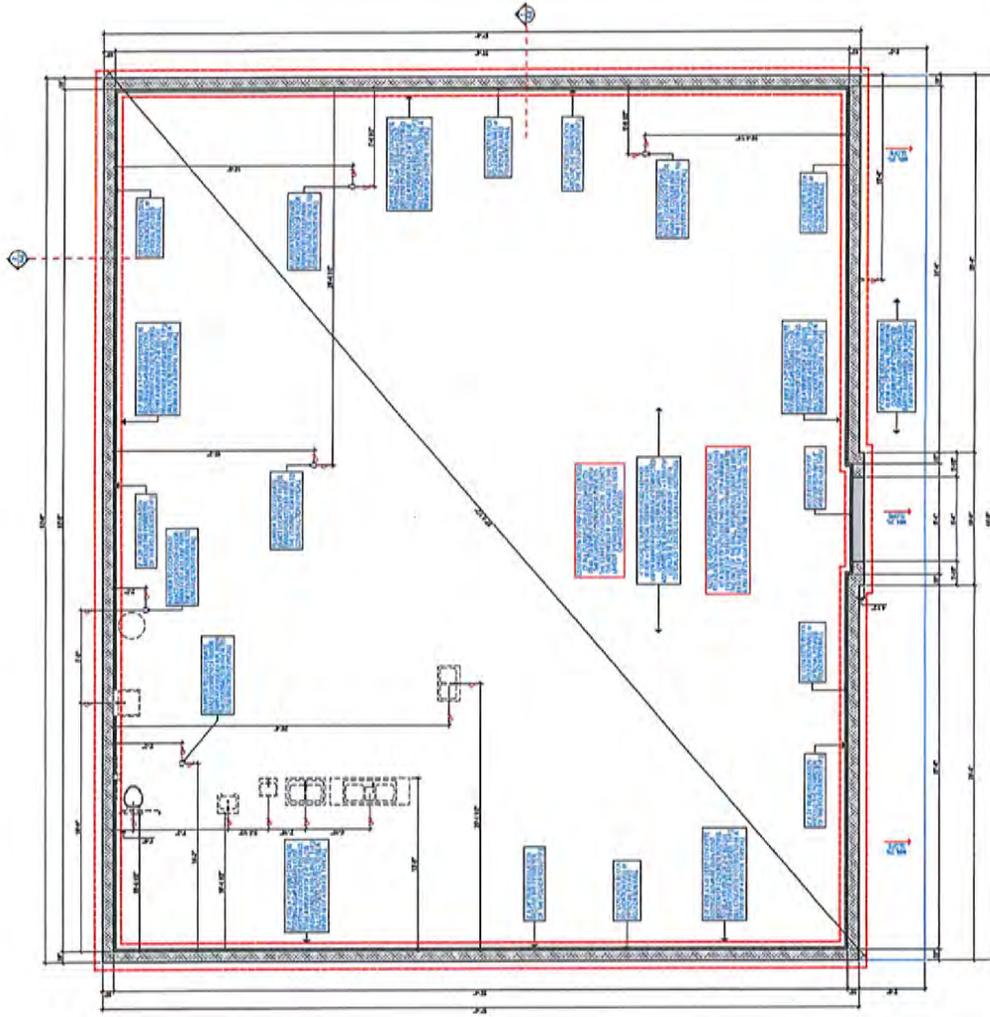
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architect
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email: dbeatty@cdsinc.com

NEW GAS STATION FOR:
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473 S. SANDUSKY ST.
CITY OF DELAWARE
DELAWARE COUNTY, OHIO

Foundation Plan
A-1



Foundation Plan
SCALE: 1/4" = 1'-0"

NEW GAS STATION FOR:
N & G TAKHAR
 473 SANDUSKY ST.
 CITY OF DELAWARE
 DELAWARE COUNTY, OHIO

Dennis R. Beatty, A.I.A.
 ARCHITECT
 1900 FIRST AVENUE
 MIDDLETOWN, OHIO 45044
 Tel: 513/242-3183 FAX: 513/242-8243
 Email: archbeatt@midcoinc.com
 (RESIDENTIAL COMMERCIAL INDUSTRIAL)

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 1500 1st AVENUE
 MIDDLETOWN, OH 45044



ELECTRICAL LEGEND

	120V/240V SINGLE PHASE POWER PANEL
	480V THREE PHASE POWER PANEL
	480V THREE PHASE MOTOR
	480V THREE PHASE MOTOR WITH NAMEPLATE
	480V THREE PHASE MOTOR WITH NAMEPLATE AND VOLTAGE
	480V THREE PHASE MOTOR WITH NAMEPLATE AND VOLTAGE AND AMPS
	480V THREE PHASE MOTOR WITH NAMEPLATE AND VOLTAGE AND AMPS AND PHASE
	480V THREE PHASE MOTOR WITH NAMEPLATE AND VOLTAGE AND AMPS AND PHASE AND SPEED
	480V THREE PHASE MOTOR WITH NAMEPLATE AND VOLTAGE AND AMPS AND PHASE AND SPEED AND SERVICE FACTOR
	480V THREE PHASE MOTOR WITH NAMEPLATE AND VOLTAGE AND AMPS AND PHASE AND SPEED AND SERVICE FACTOR AND EFFICIENCY
	480V THREE PHASE MOTOR WITH NAMEPLATE AND VOLTAGE AND AMPS AND PHASE AND SPEED AND SERVICE FACTOR AND EFFICIENCY AND POWER FACTOR
	480V THREE PHASE MOTOR WITH NAMEPLATE AND VOLTAGE AND AMPS AND PHASE AND SPEED AND SERVICE FACTOR AND EFFICIENCY AND POWER FACTOR AND INERTIA
	480V THREE PHASE MOTOR WITH NAMEPLATE AND VOLTAGE AND AMPS AND PHASE AND SPEED AND SERVICE FACTOR AND EFFICIENCY AND POWER FACTOR AND INERTIA AND FRAME SIZE
	480V THREE PHASE MOTOR WITH NAMEPLATE AND VOLTAGE AND AMPS AND PHASE AND SPEED AND SERVICE FACTOR AND EFFICIENCY AND POWER FACTOR AND INERTIA AND FRAME SIZE AND MOUNTING FOOT
	480V THREE PHASE MOTOR WITH NAMEPLATE AND VOLTAGE AND AMPS AND PHASE AND SPEED AND SERVICE FACTOR AND EFFICIENCY AND POWER FACTOR AND INERTIA AND FRAME SIZE AND MOUNTING FOOT AND ENCLOSURE
	480V THREE PHASE MOTOR WITH NAMEPLATE AND VOLTAGE AND AMPS AND PHASE AND SPEED AND SERVICE FACTOR AND EFFICIENCY AND POWER FACTOR AND INERTIA AND FRAME SIZE AND MOUNTING FOOT AND ENCLOSURE AND PROTECTION



Floor Plan
 SCALE: 1/4" = 1'-0"

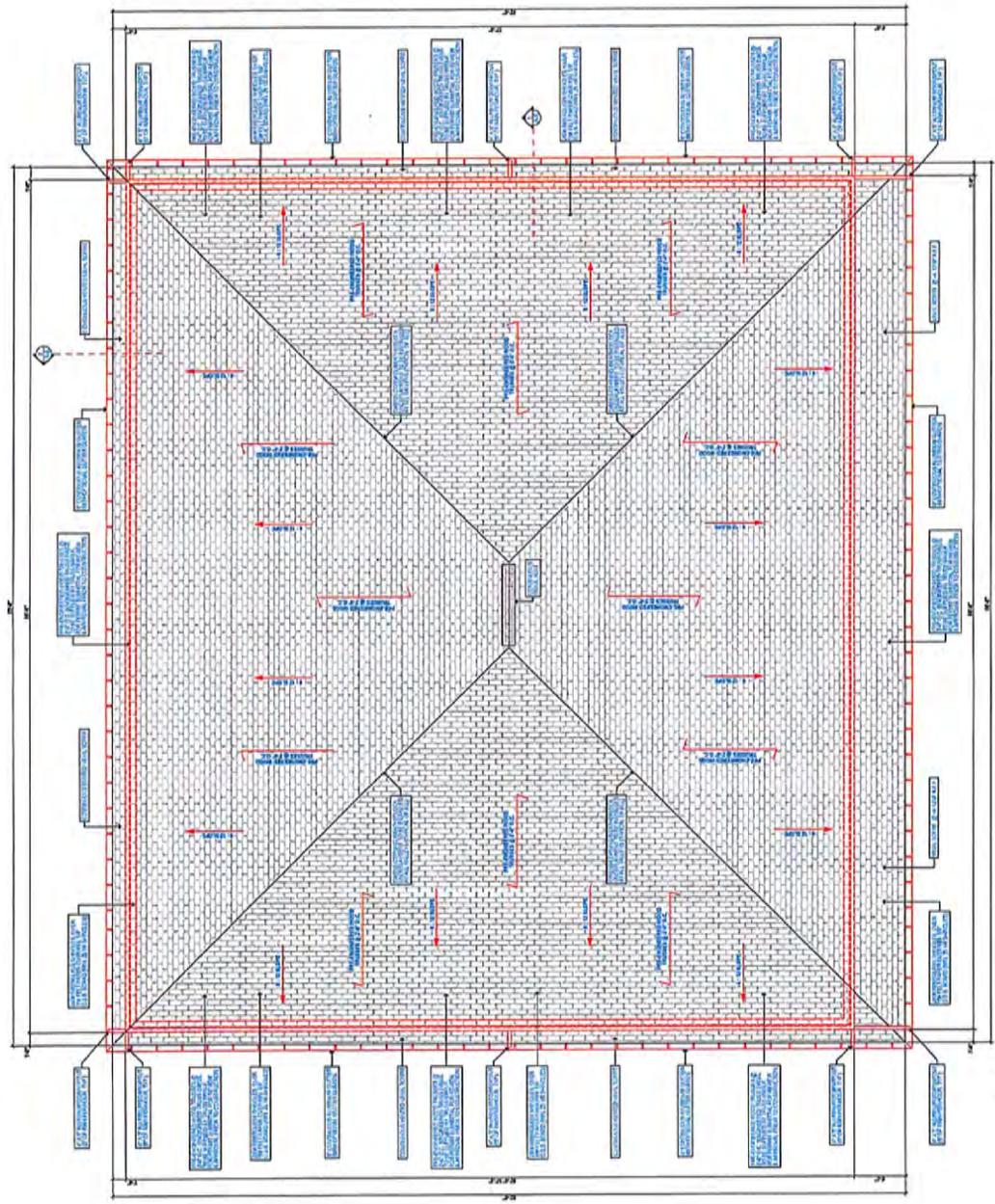


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email: archbeatt@cds-ohio.com
National Commercial Trade/Architect

N & G TAKKHAR
NEW GAS STATION FOR:
473 S. SANDUSKY ST.
CITY OF DELAWARE
DELAWARE COUNTY, OHIO

Project: **Roof Plan**
Sheet: **A-4**



Roof Plan
SCALE: 1/4" = 1'-0"

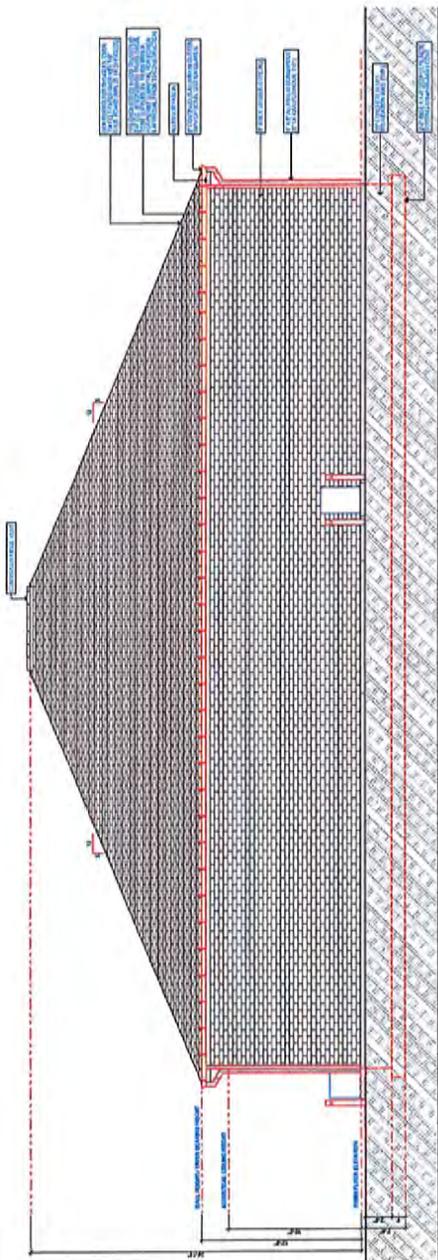


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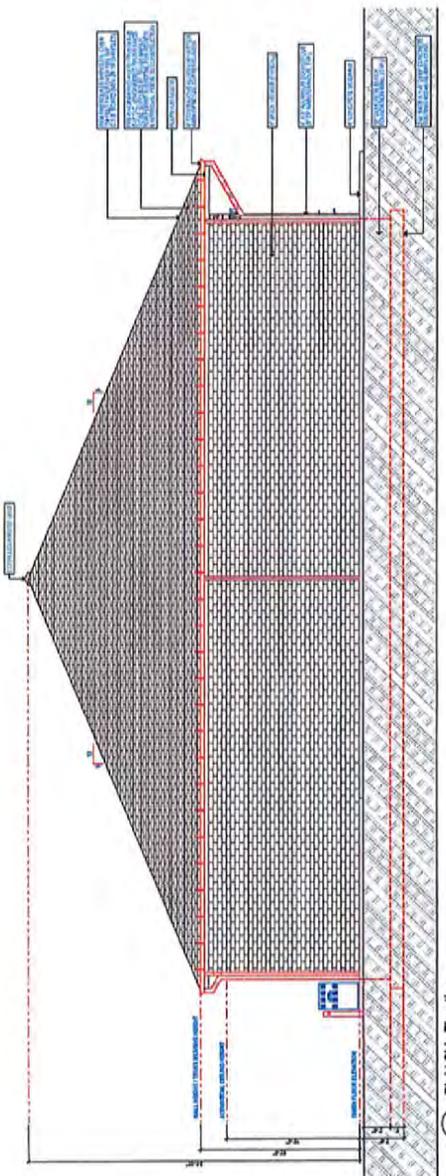
Dennis R. Beatty, A.A.
 ARCHITECT
 1900 FIRST AVENUE
 MIDDLETOWN, OHIO 45044
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 Email: dbeatty@drh.com

NEW GAS STATION FOR:
N & G TAKHAR
 473 S. SANDUSKY ST.
 CITY OF DELAWARE
 DELAWARE COUNTY, OHIO

PROJECT: **REAR & LEFT SIDE ELEVATIONS**
 SHEET: **A-5.1**



Rear Elevation
 SCALE: 1/4" = 1'-0"



Right Side Elevation
 SCALE: 1/4" = 1'-0"



1900 1st AVENUE
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MIDDLETOWN, OH 45044
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FAX: 513.424.8343
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CITY OF DELAWARE
DELAWARE COUNTY, OHIO

NEW GAS STATION FOR
N & G TAKHAR
473 S SANDUSKY ST.
CITY OF DELAWARE
DELAWARE COUNTY, OHIO

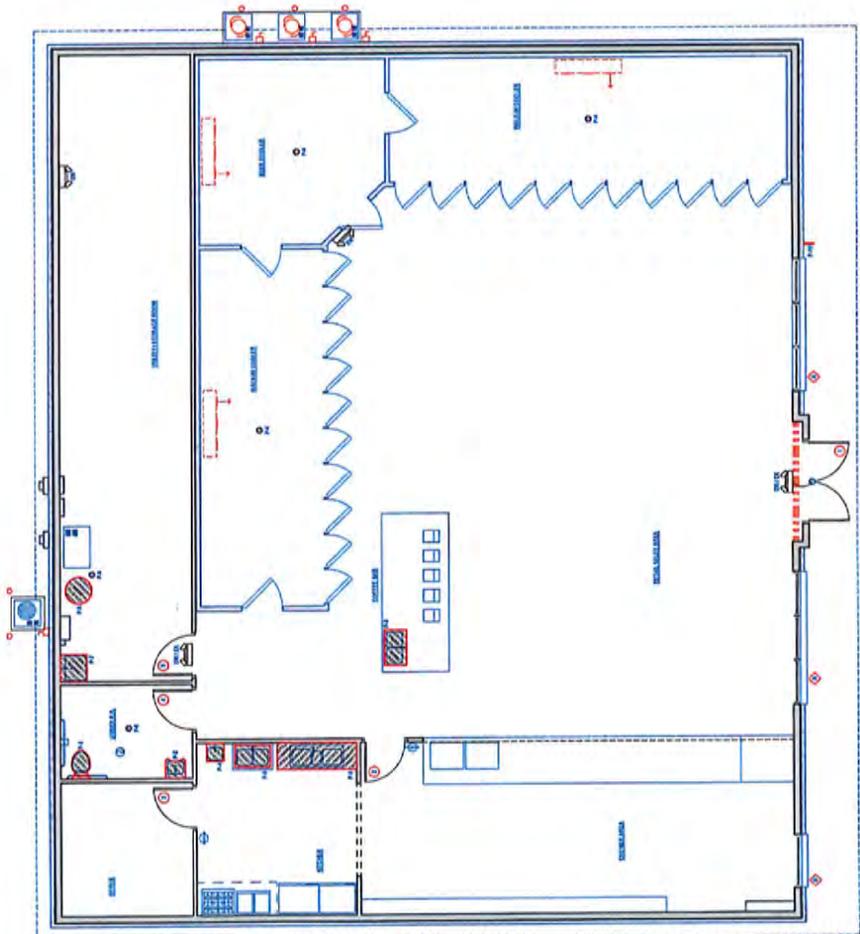
Project: Plumbing Plan
Sheet: P-1
Date: 08/11/2011
Author: DRB

GENERAL PLUMBING NOTES:

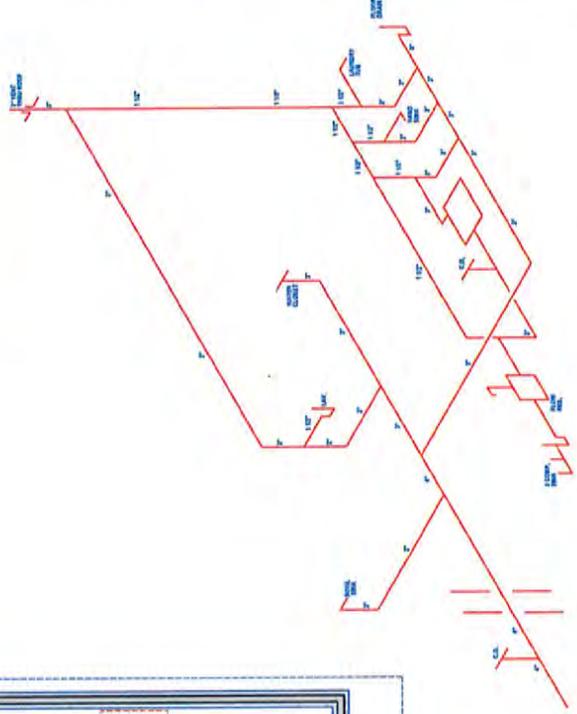
1. THESE DRAWINGS ARE FOR INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND ALL APPLICABLE CODES AND REGULATIONS.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND ALL APPLICABLE CODES AND REGULATIONS.

PLUMBING LEGEND

P1	1/2" GALV. STEEL WATER SERVICE PIPE
P2	1/2" GALV. STEEL WATER SERVICE PIPE
P3	1/2" GALV. STEEL WATER SERVICE PIPE
P4	1/2" GALV. STEEL WATER SERVICE PIPE
P5	1/2" GALV. STEEL WATER SERVICE PIPE
P6	1/2" GALV. STEEL WATER SERVICE PIPE
P7	1/2" GALV. STEEL WATER SERVICE PIPE
P8	1/2" GALV. STEEL WATER SERVICE PIPE
P9	1/2" GALV. STEEL WATER SERVICE PIPE
P10	1/2" GALV. STEEL WATER SERVICE PIPE



Plumbing Plan
SCALE: 1/4" = 1'-0"



Plumbing Isometric



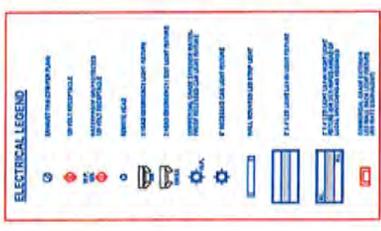
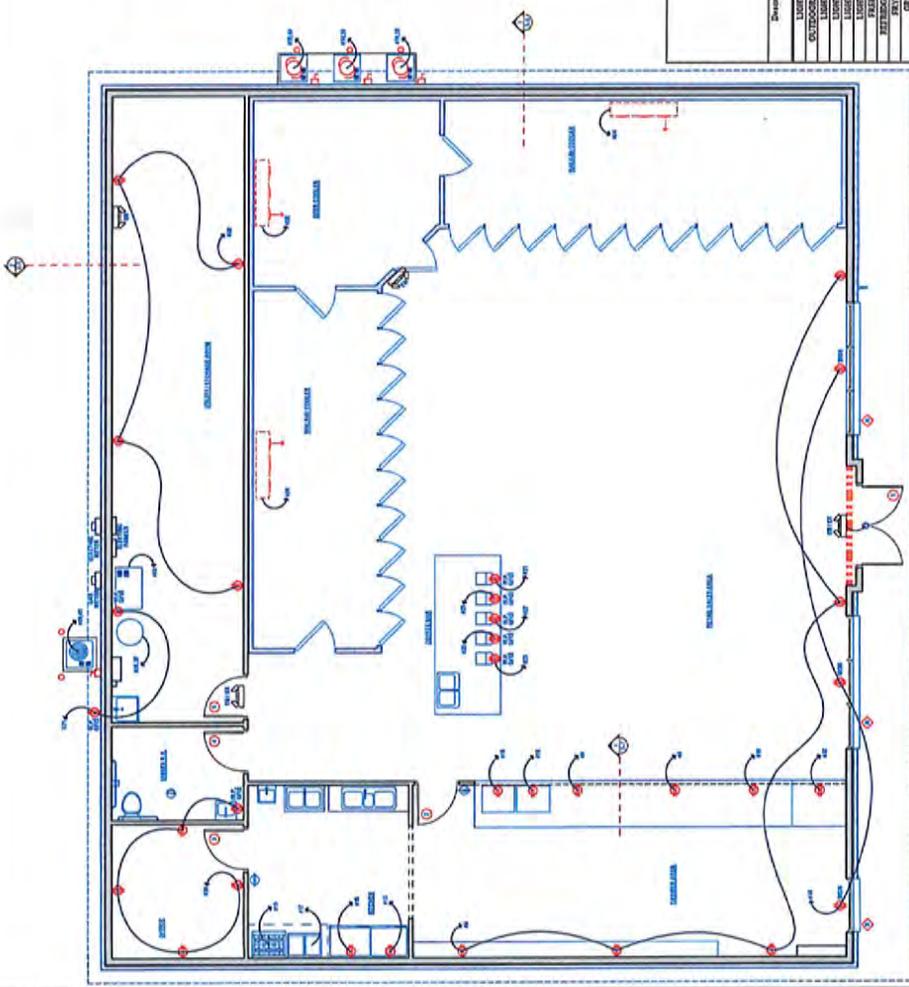
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N & G TAKHAR
NEW GAS STATION FOR
473 S. SANDUSKY ST.
CITY OF DELAWARE, OHIO
DELAWARE COUNTY, OHIO

Electrical Power
Panel
Schedule
Sheet
E-1.1



ELECTRIC PANEL SCHEDULE

Description	EVA WIRE PHASE		BREAKER		CMT		EVA WIRE PHASE		Description
	A	B	A	B	NO.	POLE	A	B	
OUTDOOR LIGHTING	270	1.0	25	1	1	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	2	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	3	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	4	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	5	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	6	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	7	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	8	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	9	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	10	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	11	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	12	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	13	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	14	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	15	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	16	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	17	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	18	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	19	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	20	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	21	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	22	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	23	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	24	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	25	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	26	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	27	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	28	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	29	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	30	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	31	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	32	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	33	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	34	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	35	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	36	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	37	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	38	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	39	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	40	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	41	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	42	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	43	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	44	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	45	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	46	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	47	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	48	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	49	1	25	1	OUTDOOR LIGHTING
OUTDOOR LIGHTING	270	1.0	25	1	50	1	25	1	OUTDOOR LIGHTING
TOTAL	111.0	13.0					111.0	13.0	TOTAL

Electrical Power Plan
SCALE: 1/4" = 1'-0"

TOTAL CONNECTED LOAD - 110 AMPS