

**CITY OF DELAWARE  
PLANNING COMMISSION  
AGENDA  
CITY COUNCIL CHAMBERS  
1 S. SANDUSKY ST.  
7:00 P.M.**

REGULAR MEETING

April 4, 2018

1. ROLL CALL
2. APPROVAL of the Motion Summary of the Planning Commission meeting held on March 7, 2018, as recorded and transcribed.
3. REGULAR BUSINESS
  - A. 2018-0429: A request by Ohio Wesleyan University for approval of a Combined Preliminary and Final Development Plan for the House of Black Culture at 65 Oak Hill Avenue on property zoned PO/I (Planned Office/Institutional District).

**Anticipated Process**

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (no public hearing)
- d. Commission Action

- B. 2018-0378: A request by Vincent Romanelli for approval of an Amended Preliminary Development Plan for Glenross North Subdivision to include a pool with a pool building and parking lot to the central park of a 196 single family lots on approximately 100 acres located just east of Glenn Parkway and north of The Glenross Golf Club on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District).

**Anticipated Process**

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (no public hearing)
- d. Commission Action

C. GLENWOOD COMMONS SHOPPING CENTER

- (1) 2018-0442: A request by Zaremba Group LLC for approval of a Rezoning Amendment from B-3 (Community Business District) to B-3 PMU (Community Business District with a Planned Mixed Use Overlay District) to allow a 9.7 acre land addition (parcels 11, 12 and a portion of parcel 5) to the Glenwood Commons Shopping Center located on the south side of US 36/37 between Mill Run Crossing and Glenn Road.
- (2) 2018-0443: A request by Zaremba Group LLC for approval of a Conditional Use Permit allowing the placement of PMU (Planned Mixed Use Overlay District) to be established on a 9.7 acre land addition (parcels 11, 12 and a portion of parcel 5) to the Glenwood Commons Shopping Center located on the south side of US 36/37 between Mill Run Crossing and Glenn Road on property zoned B-3 (Community Business District).
- (3) 2018-0444: A request by Zaremba Group LLC for approval of an Amended Preliminary Development Plan for Glenwood Commons Shopping Center on approximately 82.9 acres located on the south side of US 36/37 between Mill Run Crossing and Glenn Road on property zoned B-3 PMU.
- (4) 2018-0445: A request by Zaremba Group LLC for approval of a Comprehensive Plan Amendment on the Future Land Use Map from Commercial to Mixed Use on a 9.7 acre land addition (parcels 11, 12 and a portion of parcel 5) to the Glenwood Commons Shopping Center located on the south side of US 36/36 between Mill Run Crossing and Glenn Road on property zoned B-3 PMU.

**Anticipated Process**

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (public hearing)
- d. Commission Action

D. COMMUNITIES AT GLENROSS – SECTION 15

- (1) 2018-0447 A request by Pulte Homes for approval of a Final Development Plan for the Communities at Glenross Section 15 for 52 single family lots on 23.835 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located south of Cheshire Road and east of Winterbourne Drive on Marble Slab Road, Winter Shadow Loop and Bald Eagle Drive.
- (2) 2018-0448 A request by Pulte Homes for approval of a Final Subdivision Plat for the Communities at Glenross Section 15 for 52 single family lots on 23.835 acres on property zoned R-2 PMU (One-

Family Residential District with a Planned Mixed Use Overlay District) and located south of Cheshire Road and east of Winterbourne Drive on Marble Slab Road, Winter Shadow Loop and Bald Eagle Drive.

**Anticipated Process**

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (no public hearing)
- d. Commission Action

4. PLANNING DIRECTOR'S REPORT
5. COMMISSION MEMBER COMMENTS AND DISCUSSION
6. NEXT REGULAR MEETING: May 2, 2018
7. ADJOURNMENT

**PLANNING COMMISSION**  
**March 7, 2018**  
**MOTION SUMMARY**

ITEM 1. Roll Call

Chairman Simpson called the meeting to order at 7:00 p.m.

Members Present: Robert Badger, Jim Halter, Dean Prall, Andy Volenik, Mayor Carolyn Kay Riggle, Vice-Chairman George Mantzoros, and Chairman Stacy Simpson.

Staff Present: Carrie Fortman, Project Engineer, Matt Weber, Deputy Engineer, Lance Schultz, Zoning Administrator, and Dave Efland, Planning and Community Development Director

Council Member Present: Second Ward Lisa Keller

ITEM 2. Approval of the Motion Summary of the Planning Commission meeting held on February 7, 2018, as recorded and transcribed.

**Motion:** Mr. Badger moved to approve the Motion Summary for February 7, 2018 Planning Commission meeting, seconded by Mayor Riggle. Motion approved by a 7-0 vote.

ITEM 3. REGULAR BUSINESS

**Motion:** Mr. Halter motioned to remove from the table 2018-0026 and 2018-0027, seconded by Mr. Prall. Motion approved by a 7-0 vote.

A. Willowbrook Apartments

- (1) 2018-0026: A request by Medrock, LLC for approval of a Zoning Text Amendment to the existing Willowbrook Farm Tract PUD Overlay Zoning Text (Planned Unit Development) to allow a modification to the maximum dwelling units and density to Multi-Family Areas 3 and 4 to allow additional dwelling units in Area 3 and removing units in Area 4 thereby decreasing the overall units currently allowed in total located on the east side of Houk Road on approximately 36 acres on property zoned R-6 Multi-Family Residential District with a PUD (Planned Unit Development) Overlay. (TABLED 2/7/18)
- (2) 2018-0027: A request by Medrock, LLC for approval of a Combined Preliminary and Final Development Plan to Multi-Family Area 3 of the existing Willowbrook Farm Tract for a 180 unit apartment complex on approximately 15.506 acres located on the northeast corner of Houk Road and DiGenova Way on property zoned R-6 PUD (Multi-Family Residential

District with a Planned Unit Development Overlay). (TABLED 2/7/18)

**Anticipated Process**

a. Staff Presentation

Mr. Efland updated the Commission over the extension of Boulder Drive. He discussed the staff recommendation for approval to construct Boulder Drive to Harmony. Mr. Efland discussed the request by the Applicant for a wood fence dumpster enclosure and that staff agrees with their proposal. He reviewed the tree removal condition and that the Applicant requested that refuse service be private. Mr. Efland explained to the Commission that staff recommended that refuse services be provided by the City.

b. Applicant Presentation

APPLICANT:

Miles Horton  
1512 ½ One Avenue  
Columbus, Ohio

Randall Woodings  
Kontogiannis & Associates  
400 S. 5<sup>th</sup> St. #400  
Columbus, Ohio 43215

Mr. Woodings informed the Commission that they will continue to work with the City and have no concerns regarding staff conditions and recommendations.

c. Public comment (public hearing)

PUBLIC COMMENT:

Anthony Scott Kinslow  
107 Diverston Way  
Delaware, Ohio 43015

Mr. Kinslow voiced concerns that the public hearing signage was not updated to show the date of March 7. He voiced concern over the potential location of a dumpster on the north property line and requested that it be moved from this location. Mr. Kinslow requested information on the type of lighting that will be on Boulder Drive.

Karen Kaufman  
107 Diverston Way  
Delaware, Ohio 43015

Ms. Kaufman voiced concerns over the additional traffic on Houk Road

with the increase of units and the poor line of site to turn onto Houk Road. She discussed the condition from May 2016 that no building permit would be issued to the developer if the entrance area was not maintained. She voiced concerns that the development could compromise the city status as a Tree City USA. She voiced concerns over tenant turnover at other developer owned properties and the lack of maintenance at these locations. Ms. Kaufman voiced concerns over the potential lawsuit against Councilwoman Lisa Keller.

Karl Berghauer  
277 Harmony Drive  
Delaware, Ohio 43015

Mr. Berghauer voiced a concern over the increase of the density and calculated the density to be a 28.57% increase. Mr. Berghauer voiced his support to have 140 units. He voiced concerns of the potential closing of the bike path at Boulder Drive to DiGenova Way.

Joe Higgins  
447 Linwood Street  
Delaware, Ohio 43015

Mr. Higgins questioned the benefits of additional units.

Nancy Campbell  
900 Canal Street  
Delaware, Ohio 43015

Ms. Campbell discussed the average rent in the City of Delaware and voiced concerns on who will be able to afford the expected rent. She voiced concerns over the amount of parking spaces available and the poor line of site to access in and out of the development. Ms. Campbell voiced a concern regarding the letter written to Councilwoman Lisa Keller.

Steward Klinger  
113 Blakemore Drive  
Delaware, Ohio 43015

Mr. Klinger requested if the utilities will be metered and voiced a concern that the city will lose revenue if the complex is master metered. Mr. Klinger voiced concern over the traffic on Houk Road and requested if the development will have access to the tree preserve.

Mr. Weber informed the Commission that the lighting on Boulder Drive will have the same standards as any subdivision. He discussed the expected high volume of traffic that Houk Road was designed to handle

and that the current traffic levels do not currently warrant traffic signals. He discussed the accident history for the area. Mr. Weber discussed the preference to not access Boulder Drive from the development as it will create a break in the mounding. He discussed that the access location will be reviewed by staff to make sure that there is no trees or mounding to block the site distance.

Mr. Efland discussed the access to the tree preserve and the buffering adjacent to the YMCA. Mr. Efland and Mr. Woodings discussed relocated the dumpster on the north side. Mr. Woodings informed the Commission that they would be agreeable to look at alternative locations. Mayor Riggle also requested that they look at options to provide recycling.

Staff discussed that the current plan provides for an additional twelve parking spaces than required. A discussion was held over the height of the buildings.

Mr. Efland reviewed the density changes with the proposed development plan.

Mr. Efland discussed the process after a recommendation is made by the Planning Commission to City Council.

**Motion:** Vice-Chairman Mantzoros motioned to close the public hearing, seconded by Mr. Badger. Motion approved by a 6-1 (Halter) vote.

d. Commission Action

**Motion:** Mr. Badger motioned to approve 2018-0026, along with all staff conditions and recommendations. There was no second to this motion.

Mr. Efland requested a recess to gather information on the timeline required by the Code on action required by the Commission. Chairman Simpson requested a break at 7:55 p.m. and reconvened the meeting at 8:02 p.m.

Mr. Efland discussed the recommendations that the Commission may provide to Council according to the code.

**Motion:** Mr. Badger motioned to approve 2018-0026, along with all staff conditions and recommendations, seconded by Mr. Prall. Motion failed with a 0-7 vote.

**Motion:** Mr. Badger motioned to approve 2018-0027, along with all staff conditions and recommendations, seconded by Mr. Prall. Motion failed with a 0-7 vote.

ITEM 4. PLANNING DIRECTOR'S REPORT

Mr. Efland informed the Commission that the case will be presented to the Council with a recommendation by the Commission for denial.

Mr. Efland discussed the possibility of utilizing the third Wednesday of the month for additional Planning Commission meetings for the Comprehensive Plan and additional cases.

ITEM 5. COMMISSION MEMBER COMMENTS AND DISCUSSION

Mr. Prall informed the Commission that he will be unable to attend the June 6, 2018 meeting.

ITEM 6. NEXT REGULAR MEETING: April 4, 2018

ITEM 7. ADJOURNMENT:

**Motion:** Chairman Simpson moved for the March 7, 2018 Planning Commission meeting to adjourn. The meeting adjourned at 8:24 p.m.

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Stacy Simpson, Chairperson

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Elaine McCloskey, Clerk

CASE NUMBERS: 2018-0429

REQUEST: Combined Preliminary & Final Development Plan

PROJECT: Ohio Wesleyan University Student Housing

MEETING DATE: April 4, 2018

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**APPLICANT/OWNER**

Thomas & Marker  
2011 Riverside Drive  
Columbus, Ohio 43221

Ohio Wesleyan University  
61 South Sandusky Street  
Delaware, Ohio 43015

**REQUEST**

2018-0429: A request by Ohio Wesleyan University for approval of a Combined Preliminary and Final Development Plan for the House of Black Culture at 65 Oak Hill Avenue zoned PO/I (Planned Office/Institutional District).

**PROPERTY LOCATION & DESCRIPTION**

The subject area encompasses the western portion of 65 Oak Hill Avenue which is owned by Ohio Wesleyan University. The existing property is zoned PO/I (Planned Office/Intuitional Use). The properties to the north, south, east, and south are zoned PO/I. The subject property is within and surrounded by the Ohio Wesleyan University.

**BACKGROUND/PROPOSAL**

Ohio Wesleyan University received a generous donation to replace the existing House of Black Culture structure and build a new building. The existing House of Black Culture at 65 Oak Hill Avenue, retaining wall along the sidewalk and appurtenances would be razed and a new building and retaining wall along the sidewalk would be constructed that would encompass the existing lot. The new building would accommodate twelve students which is the same as the previous house.

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**STAFF ANALYSIS**

- **ZONING:** As mentioned above, the subject zoning for the site is PO/I which permits the proposed use with Combined Preliminary and Final Development Plan approval by the Planning Commission and City Council.
- **LAND USE:** The subject properties are located in the "OWU Subarea" and designated as Institutional Uses that is consistent with the Comprehensive Land Use Plan.
- **ENGINEERING** The engineering division indicated no formal engineering drawings are required because of the minimal amount of site plan revisions and would be handled through the building department approval process.
- **ROADS AND TRAFFIC:** The new House of Black Culture would have frontage on Oak Hill Avenue but vehicular access would be from the rear of the building through Williams Drive to the existing parking lot in the rear of the subject building. The Black Culture House would utilize the same existing twelve parking spaces as the previous house; therefore no additional parking would be required.
- **SITE LAYOUT:** As mentioned above, the existing House of Black Culture, retaining wall and appurtenances would be razed and replaced with a new building and retaining wall with a footprint that is approximately the same as the razed building. The new House of Black Culture would be setback from Oak Hill Avenue about the same as the previous house. A nine foot wide sidewalk would extend south from the new stone veneer faced retaining wall adjacent to the public sidewalk through two sets of steps to access the front entrance into the new building. The single story structure encompasses 3,610 square feet and would accommodate twelve students. The design character of the single story House of Black Culture would mimic the existing single family housing stock in this area with a front porch, gabled pitch roofs, a rear patio, etc., per the attached building elevations and would have to achieve compliance with Chapter 1171.08 Residential Design Criteria. The building would have a stone veneer wainscoting with fiber cement siding comprising the remainder of the elevation.
- **PARKLAND AND OPEN SPACE:** There is no parkland or open space associated with this proposal nor is any required. However, it is worth noting that the replacement building is part of the University which already has extensive parkland and open space.

- **BIKE PATHS AND PEDESTRIAN ROUTES:** There are not any proposed bike paths or pedestrian routes in this area per the adopted Bicycle and Pedestrian Master Plan 2027 approved in 2017. The existing sidewalk on the south side of Oak Hill Avenue would remain.
- **LANDSCAPING:** Along with preserving four existing trees, the applicant would have to install the appropriate foundation landscaping per the zoning code. All landscape plans would need to be submitted, reviewed and approved by the Shade Tree Commission.
- **TREE PRESERVATION:** The site plan identifies two large trees (approximately 48 and 55 caliper inches respectively) located on the east side of the new house that would be removed in the construction of the new house. Also, the plan identifies four large trees being persevered. If, for some reason, they are removed during construction the total caliper inches would have to be replaced per Chapter 1168 Tree Preservation Regulations. Ohio Wesleyan University established a "tree bank" to accommodate the replacement of any trees removed in any University related projects. The University plants trees on a yearly schedule within their campus which would have to be approved by the City to ensure it meets any replacement requirements (103 caliper inches for the House of Black Culture) and minimum planting requirements to achieve compliance with Chapter 1168 Tree Preservation Requirements, while satisfying replacement for removal requirements
- **UTILITIES:** The site would be serviced by City sanitary sewer and water utilities.
- **LIGHTING PLAN:** The proposed plan does not show any proposed lights on the House of Black Culture. Any lighting plans would need to be submitted, reviewed and approved by the Chief Building Official that achieves compliance with the zoning code.

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**STAFF RECOMMENDATION (2018-0429 –COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN)**

Staff recommends approval of a request by Ohio Wesleyan University of a Combined Preliminary and Final Development Plan for the House of Black Culture at 65 Oak Hill Avenue zoned PO/I (Planned Office/Institutional District), with the following conditions that:

1. The engineering division indicated no formal engineering drawings are required because of the minimal amount of site plan revisions and shall be handled through the building department approval process.
2. The new House of Black Culture shall achieve compliance with the submitted building elevations and Chapter 1171.08 Residential Design Standards.
3. The proposed retaining wall along the sidewalk shall be faced with stone veneer to match the new building.
4. Approximately 103 caliper inches of trees shall be replaced for the House of Black Culture to achieve compliance with Chapter 1168 Tree Preservation Regulations and are allowed to be planted elsewhere on the campus per the previously approved OWU planting methodology and current tree preservation chapter of the Zoning Code.
5. The landscape plan shall be submitted, reviewed and approved by the Shade Tree Commission.
6. Any lighting plan shall be submitted, reviewed and approved by the Chief Building Official.

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**COMMISSION NOTES:**

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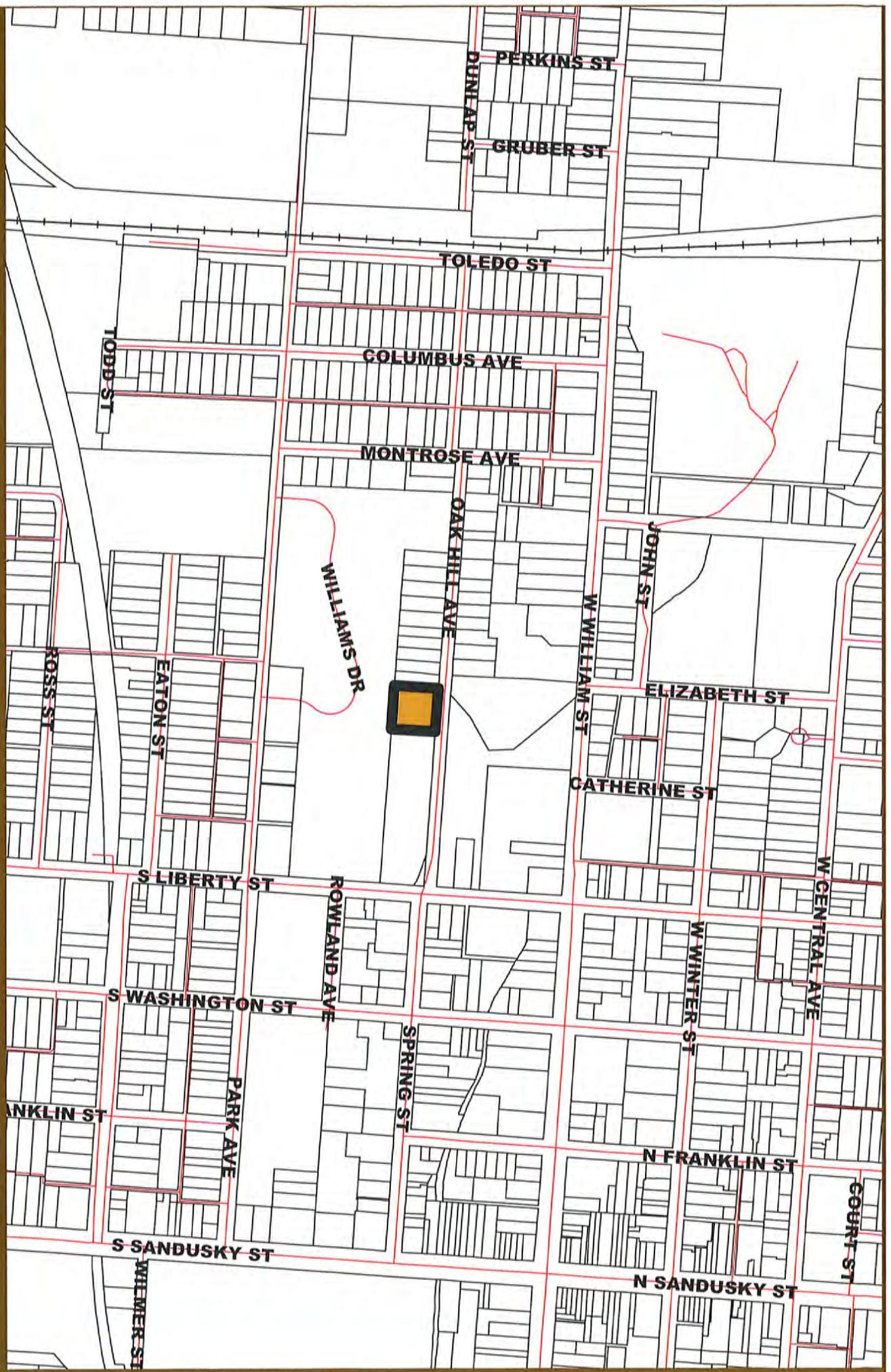
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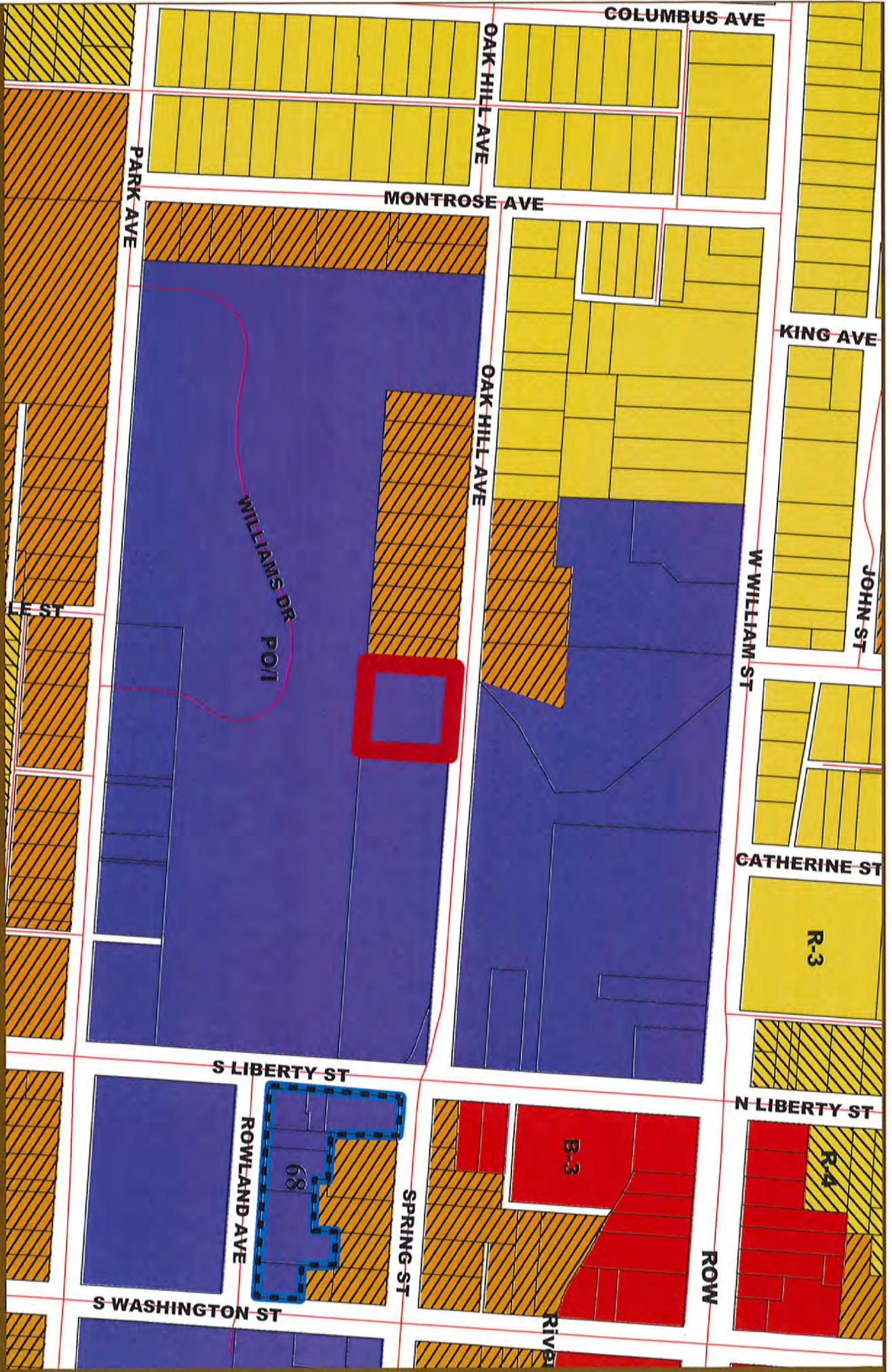
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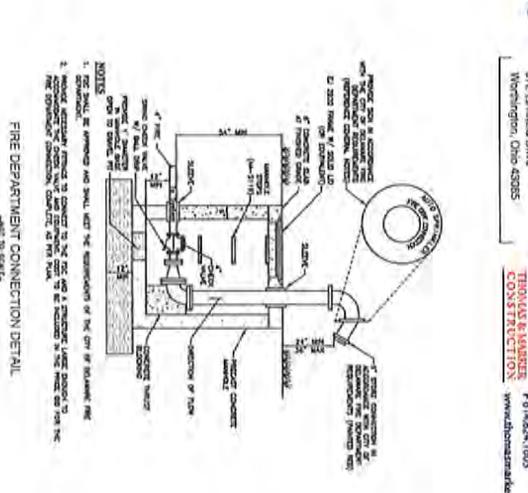
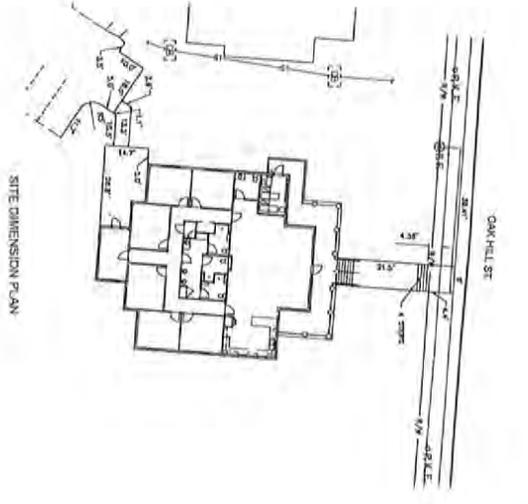
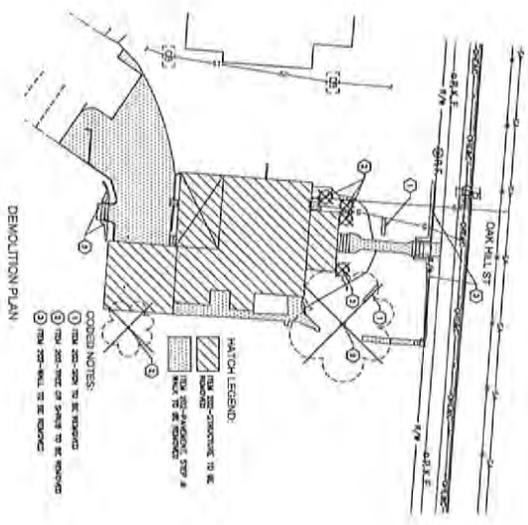
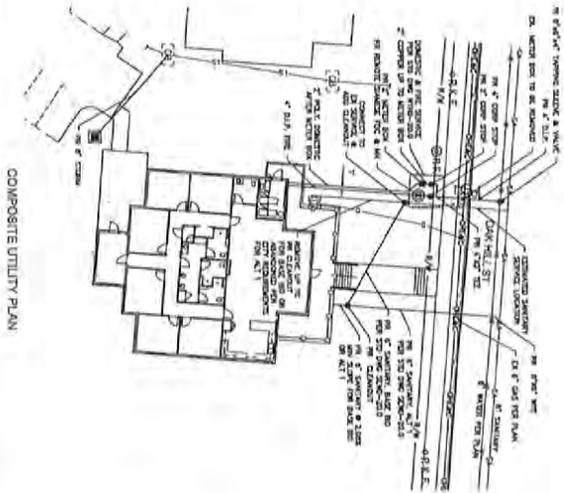
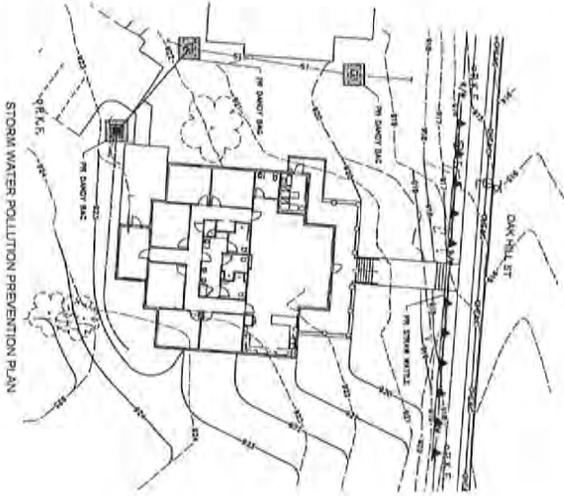
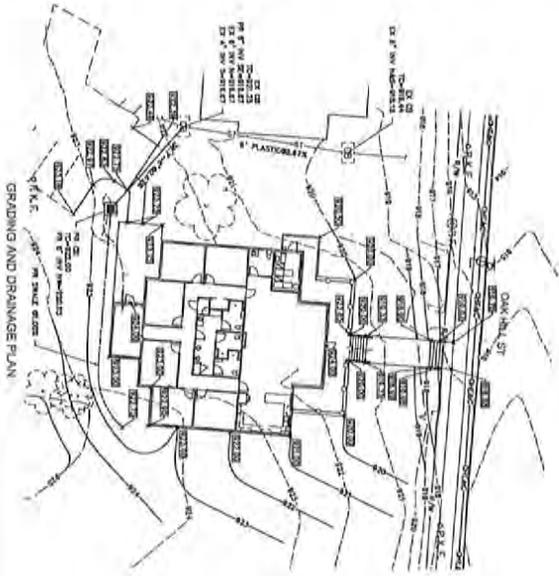






2018-0429  
Combined Preliminary and Final Development Plan  
OWU - House of Black Culture  
Aerial (2016) Map





**Call 811**  
 Before you dig

**CW DESIGN Group**  
 8712 Lakeland Drive  
 Worthington, Ohio 43085  
 614-846-9279  
 P: 614-824-1095  
 F: 614-824-1095  
 www.cwdesigngroup.com

**T.M. TROVER & ROBERTS**  
 CONSTRUCTION  
 2011 Riverside Drive  
 Columbus, OH 43221  
 P: 614-734-8349  
 F: 614-824-1095  
 www.troversandroberts.com



65 Oak Hill Ave | Delaware, OH 43015 |  
18 December 2017

# Ohio Wesleyan University: House of Black Culture

North Elevation



South Elevation



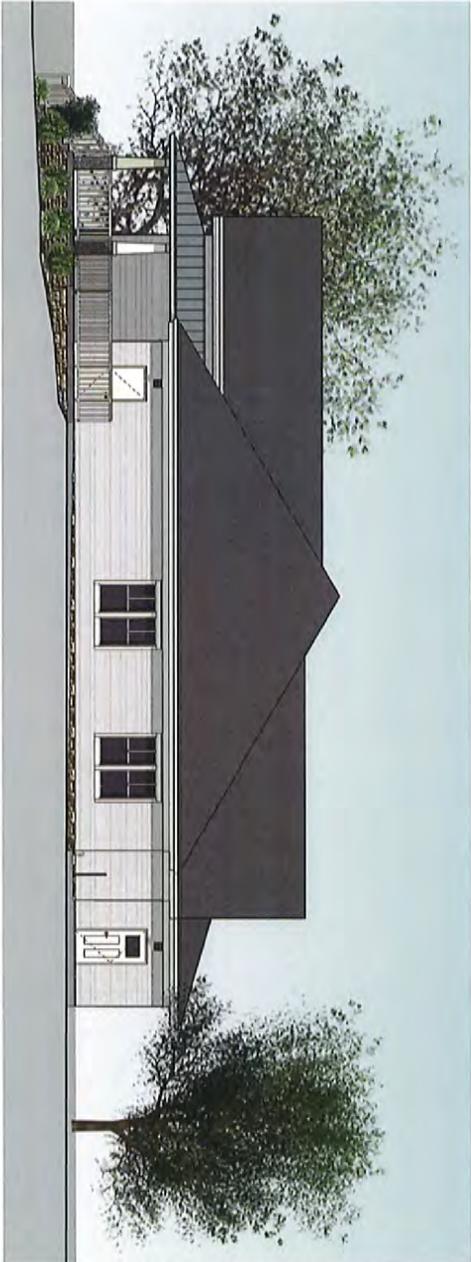
2011 Riverside Drive  
Columbus, OH 43221  
P 614.754.8349  
F 614.824.1605  
www.thomasmarker.com



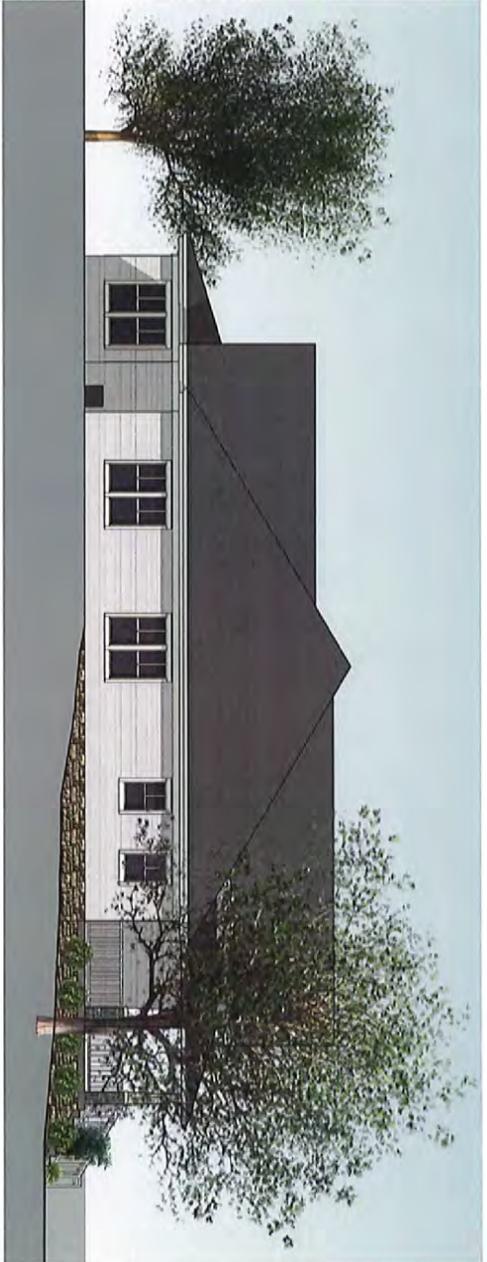
65 Oak Hill Ave | Delaware, OH 43015 |  
18 December 2017

# Ohio Wesleyan University: House of Black Culture

West Elevation



East Elevation



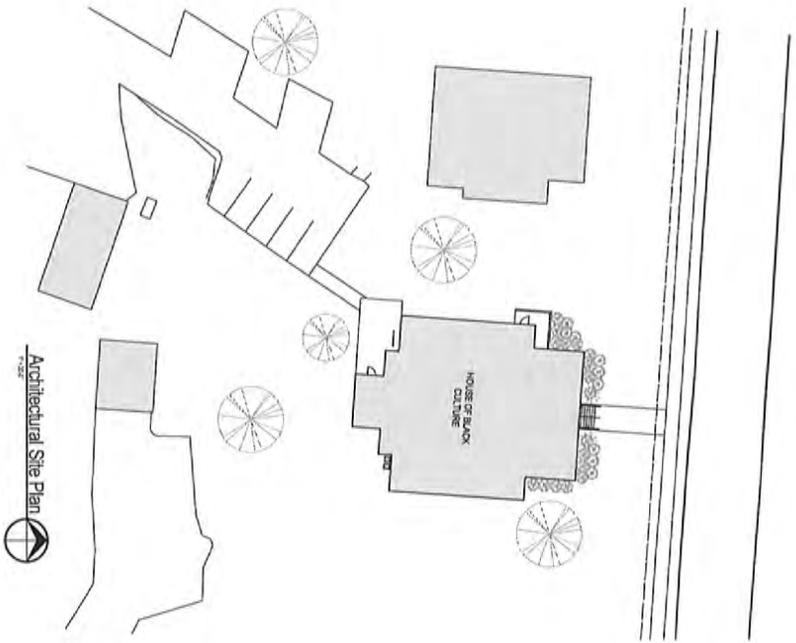
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Oak Hill Architect  
1200 North High Street  
Columbus, OH 43221  
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65 Oak Hill Ave | Delaware, OH 43015 |  
18 December 2017

# Ohio Wesleyan University: House of Black Culture



Architectural Site Plan



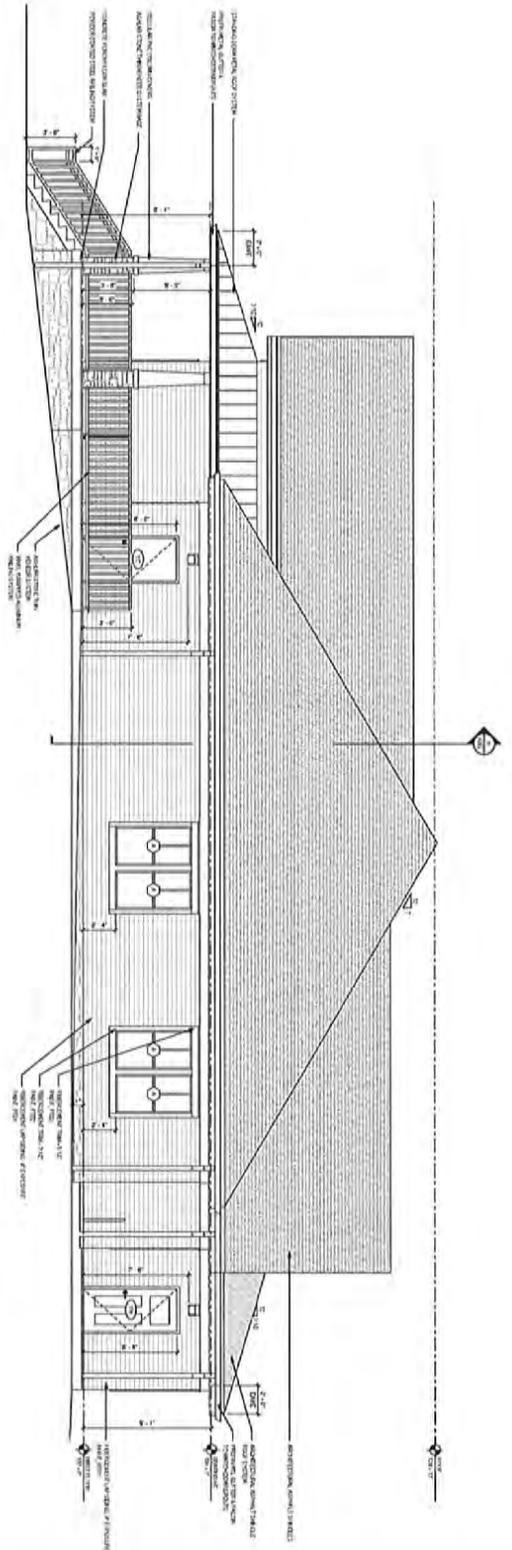
First Floor Plan



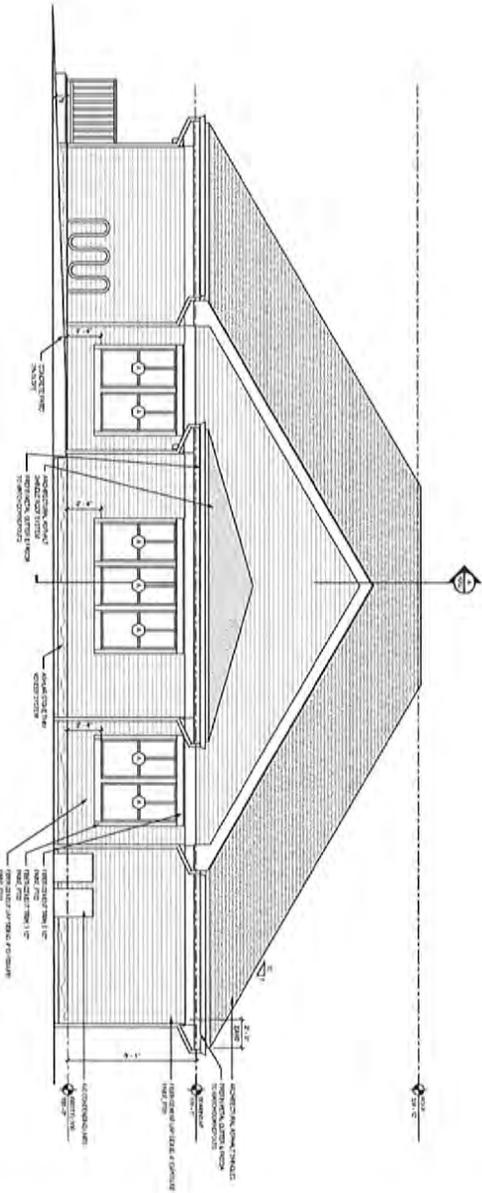
THOMAS & MARKER  
CONSTRUCTION

2011 Riverside Drive  
Columbus, OH 43221  
P 614.754.8349  
F 614.824.1605  
www.thomasmarker.com





WEST ELEVATION



SOUTH ELEVATION

|                 |             |
|-----------------|-------------|
| Project Number: | 11032       |
| Drawn By:       | OH          |
| Date:           | 15 DEC 2017 |
| <b>A301</b>     |             |

Ohio Wesleyan University:  
 House of Black Culture  
 65 Oak Hill Ave | Delaware, OH 43015 | New Construction

FOR BIDDING  
 PURPOSES ONLY



CASE NUMBERS: 2018-0378

REQUEST: Amended Preliminary Development Plan

PROJECT: Glenross North Subdivision

MEETING DATE: April 4, 2018

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**APPLICANT/OWNER**

Vince Romanelli  
148 West Schrock Road  
Westerville, Ohio 43081

**REQUESTS**

2018-0378: A request by Vincent Romanelli for approval of an Amended Preliminary Development Plan for Glenross North Subdivision to include a pool with a pool building and parking lot to the central park of a 196 single family lots on approximately 100 acres located just east of Glenn Parkway and north of The Glenross Golf Club on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District).

**PROPERTY LOCATION & DESCRIPTION**

The subject parcel is located east of Glenn Parkway, west of the railroad tracks and north of The Glenross Golf Club Subdivision. The parcel was annexed into the City in February 2015 and zoned in July 2015 to R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) for a 196 single family lot subdivision. The zoning to the south and east is R-2 PRD (One Family Residential District with a Planned Residential Development District), to the west is R-2 with text limitations (The Estates at Braumiller) and to the north is FR-1 in the Township.

**BACKGROUND/PROPOSAL**

As mentioned above, the subject 100 acre site was annexed into the City in February 2015 and received a Rezoning, Conditional Use Permit, Preliminary Development Plan and Preliminary Subdivision Plat approval in July 2015. Then in January 2016 City Council approved the Final Development Plan and Final Subdivision Plat for Phase 1. The Phase 1 infrastructure has been constructed with houses being sold and constructed.

The developer is proposing a pool with a pool building and a parking lot to be added to the 7.0 Acre central park with current proposed amenities. The subject central park would be constructed in Phase 2 of the development. The site work for Phase 1 is completed and houses are being constructed.

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**STAFF ANALYSIS**

- **ZONING:** The subject property is zoned R-2 PMU (Planned Mixed Use Overlay District) with development text to allow greater flexibility and creativity in the layout of the development, create active and passive open space to be consistent with The Glenross Golf Club R-2 PRD (Planned Residential District Zoning)..
- **LAND USE:** The proposed single-family development is consistent with the Comprehensive Plan recommendation for Low Density Single-Family land use in the "Cheshire Subarea" of the plan. The proposed density of 1.96 units per acres is less than the 2.0-3.25 dwelling units per acre in the Comprehensive Plan.
- **ENGINEERING** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on a technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND TRAFFIC:** The proposed main access point would be from an existing roundabout on Glenn Parkway and internally the development would connect into the stubbed streets of The Glenross Golf Club subdivision to the south at Silverwood Drive and to the east at Balmoral Drive. The curb cuts into the parking lot shall achieve compliance with minimum engineering requirements and shall be centered on adjacent property line and not the center of a property to reduce any headlight glare directly shining into a future house.
- **SITE LAYOUT:** The proposed layout is focused on a 7.0 acre central park located in the heart of the development with lots fronting across the street from the active park with amenities. The proposed 30 foot x 60 foot pool (1,800 square feet) with a pool building (encompasses approximately 1,248 square feet) would be located in the southern portion of the radial park just north of a proposed 20 space parking lot to accommodate the pool which would have curb cuts off Irvine Loop. In addition the developer indicated the open space side of Irvine Loop could accommodate 71 public on-street parking spaces which would

supplement the proposed 20 space private parking lot in the park area. If parking becomes a problem in the future, the developer would have to construct the required amount of parking in the central park area to accommodate any such problems at the direction of the City. Staff recommends the applicant identify 20 additional spaces on the plan that could be built if a parking issue occurs in the future and the city requires these to be built at that time. There is no compelling reason to pave over what otherwise would be green park space for vacant parking lots. Some of the current amenities include active multi-purpose fields, passive pedestrian walking paths, a tot lot, a gazebo, benches and trash receptacles. The tot lot would be relocated to the northern portion of the central park from the current location of where the pool and pool building are proposed.

- **DESIGN:** The approximate 1,248 square foot pool building would include restrooms, an equipment room and a walkway that would create a signature barn like structure in the central park. The barn like structure would have a manufactured stone wainscoting, cedar shake siding, a gabled roof and a cupola rounding out the elevation. A clock would be located on the gable on the front elevation and window on the rear elevation. Staff believes the pool house is aesthetically in keeping with the subdivision and a nice addition to the subdivision.
- **PARKLAND AND OPEN SPACE:** Overall the development has 22.4 acres (almost 22.4%) of open space and parkland (14 acres or 62.5% of open space and 8.4 acres or 37.5% of parkland). The 7.0 acre central park (Reserve B) is centrally located and would be programmed with a pool, a pool building, active multi-purpose fields, passive pedestrian walking paths, a tot lot, a gazebo, benches and trash receptacles with a 20 space parking lot. The radial park would be constructed in Phase 2 of the development. In addition, the 1.4 acre neighborhood park (Reserve A) located just south of the main entrance has been deeded over to the City and consolidated with the existing 7.29 acre City owned Glenross Park. Staff believes the upgrading of the active park amenities enhancing the previously approved plan significantly. The majority of the open space is located in three reserves. Reserve D (12.9 acres) is located adjacent to Glenn Parkway in the form of retention ponds, landscaped mounds, setbacks and entrance features. Reserve E (2.3 acres) is located on the extreme northeastern portion of the development in the form of a 10-12 foot high mound with evergreen trees to buffer the residents from the railroad tracks. The buffering should be at least equivalent to the mounding just south of the development in the Communities at Glenross Subdivision. Reserve C (0.2 acres) connects a public street to the radial central park (Reserve B). Prior to Final Development Plan and Final Subdivision Plat approval the following staff comments and items need to be addressed: 1. The gazebo shall be enlarged and resemble a pavilion; 2. A basketball court shall be added; 3. A bicycle rack shall be added; 4. A few benches shall be added between the north/south path between the fields; 5. The play structure shall have additional ADA compliant components added to what is shown; 6. Under drains shall be added to the fields and playground area; 7. The playground area shall include a raised border with opening(s) to accommodate ADA access; 8. The swing set structure shall include "U" shaped ends for stability and longevity; 9. Drainage shall be directed away from the pathways and active fields spaces. 10. The previously approved pathway network internal to the park area needs to be included in the final plan connecting the various amenities and running down the center of the park between the field spaces.
- **LANDSCAPING PLAN:** The applicant has provided minor landscape revisions around the relocated tot lot, proposed pool, pool building and parking lot to supplement the previous proposed landscaping plan. The revised landscape plan would need to be reviewed and approved by the Shade Tree Commission.
- **BIKE PATHS AND PEDESTRIAN ROUTES:** The pool and pool building would be connected to the public sidewalks around the central park area and should have an internal private sidewalk network connecting the amenities.
- **TREE PRESERVATION:** The proposed pool, pool building and parking lot would not remove any additional trees.
- **LIGHTING PLAN:** Any lighting associated with the pool, pool building and parking lot would have to be submitted, reviewed and approved by the Chief Building Official and achieve compliance with the zoning code prior to Final Subdivision Plat approval of the subject phase.

**STAFF RECOMMENDATION – (2018-0378 PRELIMINARY DEVELOPMENT PLAN)**

Staff recommends approval of request by Vincent Romanelli of an Amended Preliminary Development Plan for Glenross North Subdivision to include a pool with a pool building and parking lot to the central park of a 196 single family lots on approximately 100 acres located just east of Glenn Parkway and north of The Glenross Golf Club on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District), with the following conditions:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The revised landscape plan shall be submitted, reviewed and approved by the Shade Tree Commission.
3. Any lighting associated with the pool, pool building and parking lots shall be submitted, reviewed and approved by the Chief Building Official that complies with the minimum zoning requirements prior to the engineering drawing approval.
4. The proposed central park in Reserve B shall be programmed with a pool, pool building, a parking lot, a tot lot (play equipment and a swing set), ball fields, gazebo, trash receptacles, pathway network, landscaping and the like including accounting for final elements as noted within the Staff report; concurrent with the approval of the Final Subdivision Plat in Phase 2, shall be constructed concurrent with the Phase 2 site improvements, and shall be maintained by the Homeowner's Association with an easement dedicated to the City for public use except for the pool and pool building which shall remain private. The exact programing shall be determined and approved with Final Development Plan and Plat reviews for Phase 2.
5. The proposed pool and pool building shall achieve compliance with all building code requirements.
6. The curb cuts into the parking lot shall achieve compliance with minimum engineering requirements and shall be centered on an adjacent property line and not the center of a property to reduce any headlight glare directly shining into a future house.
7. The applicant shall identify 20 additional spaces in the central park area that could be constructed if a parking issue occurs per City Staff.

**COMMISSION NOTES:**

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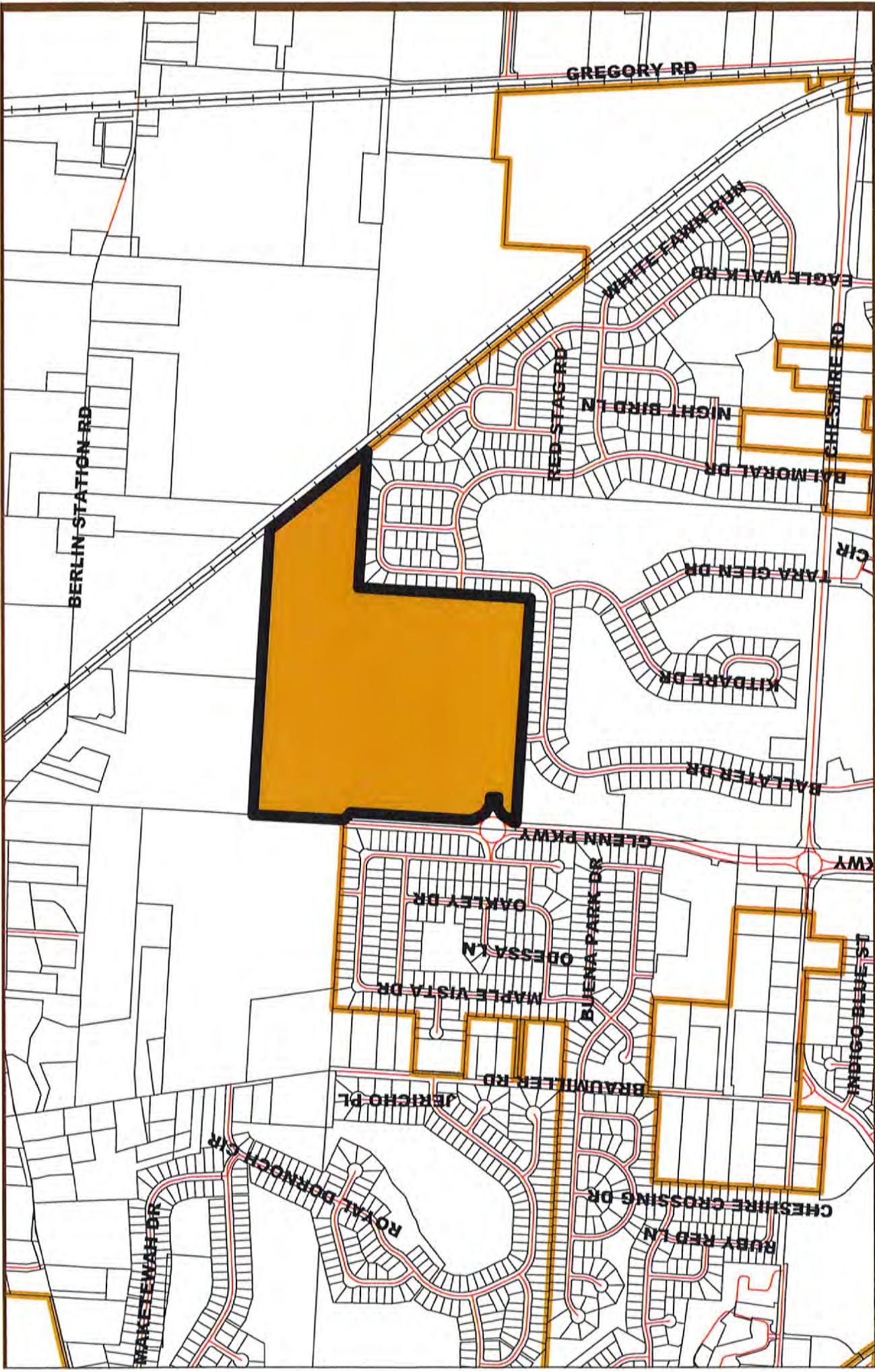
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MOTION: \_\_\_\_\_ 1<sup>st</sup> \_\_\_\_\_ 2<sup>nd</sup> *approved* *denied* *tabled* \_\_\_\_\_

**CONDITIONS/MISCELLANEOUS:**

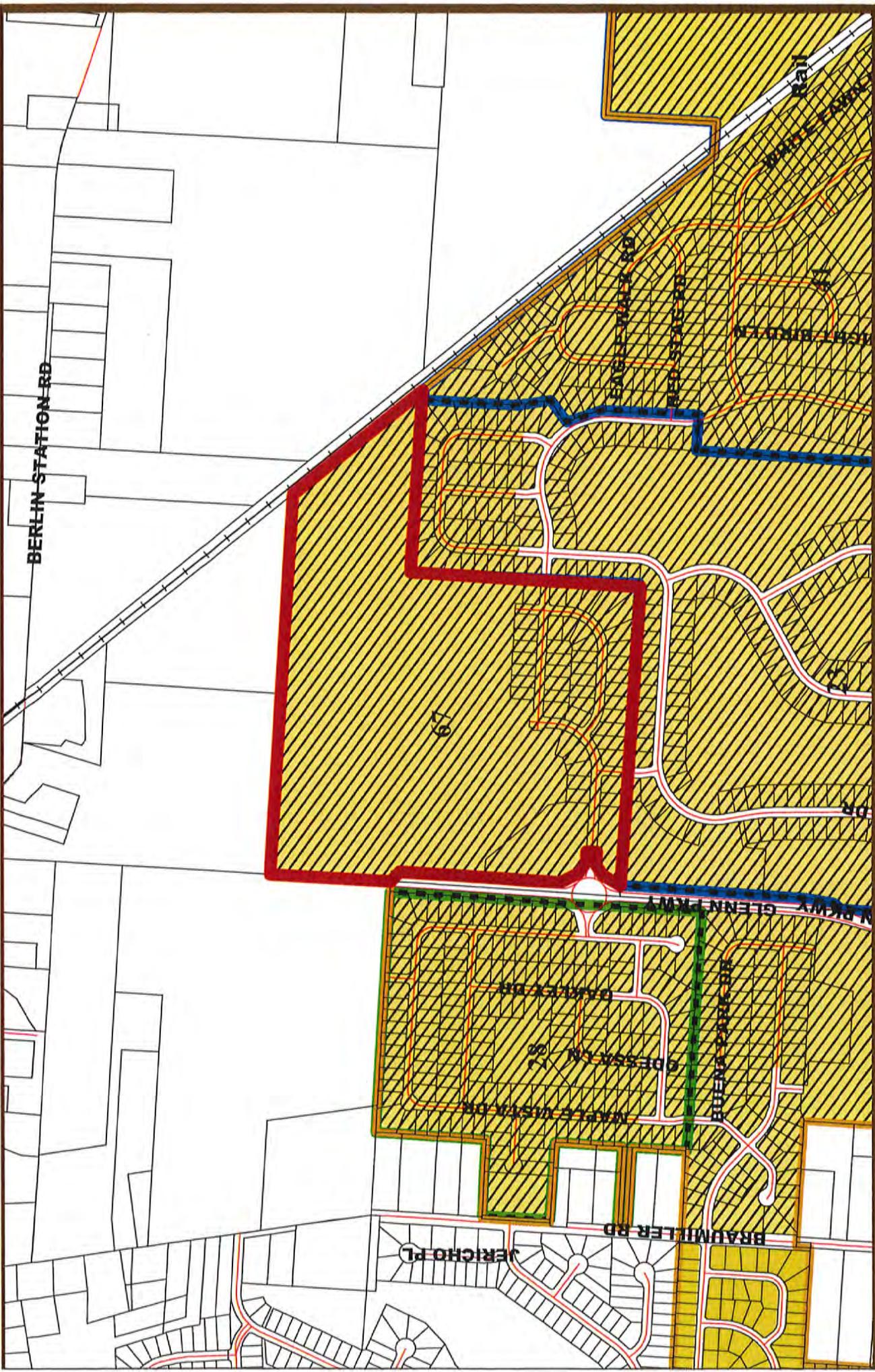
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2018-0378  
 Amended Preliminary Development Plan  
 Glenross North Subdivision  
 Location Map





2018-0378  
 Amended Preliminary Development Plan  
 Glenross North Subdivision  
 Zoning Map



2018-0378  
Amended Preliminary Development Plan  
Glenross North Subdivision  
Aerial (2016) Map





# GLENROSS NORTH

City of Delaware  
Delaware County, Ohio

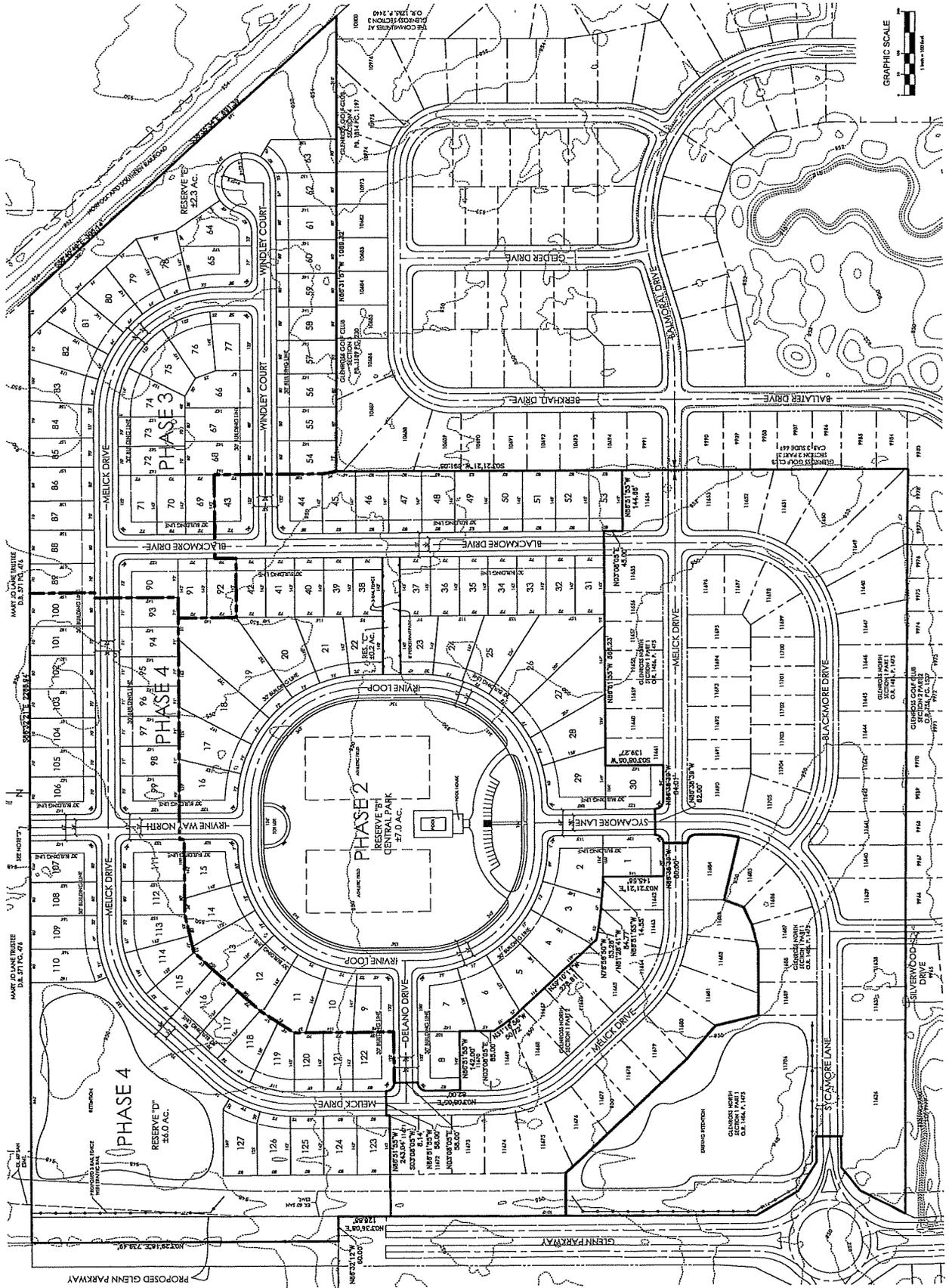
PRELIMINARY  
DEVELOPMENT  
PLAN AMENDMENT

SITE PLAN

PREPARED BY:  
VINCE ROMANELLI  
148 WEST SCHROCK ROAD  
WESERVILLE, OHIO 43081



| DATE | REVISION |
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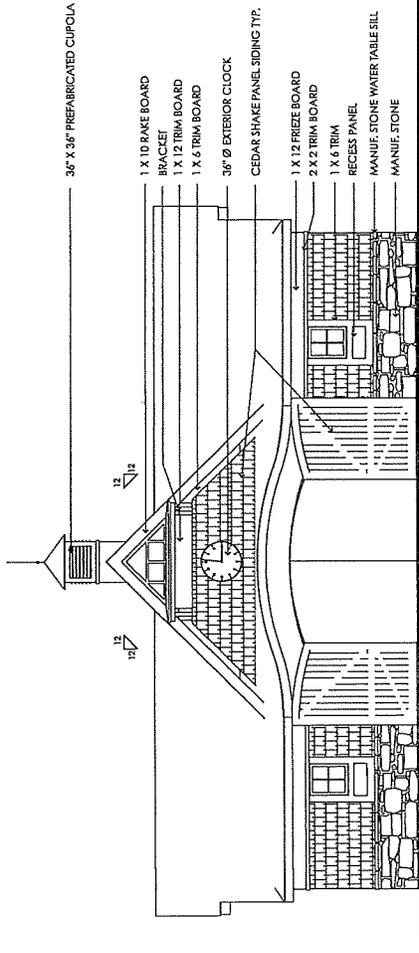
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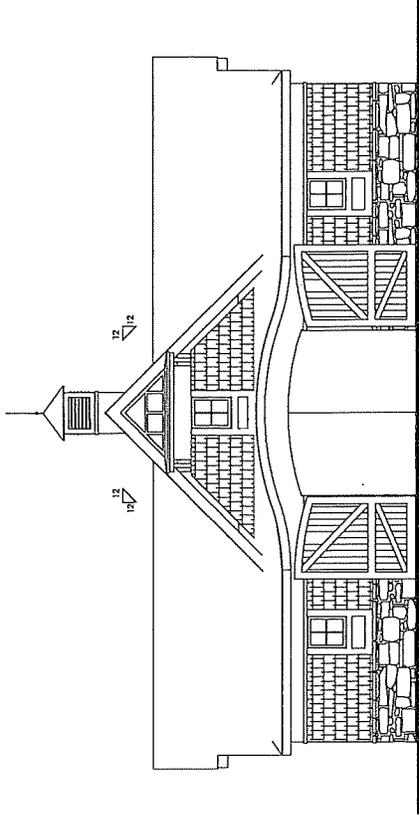




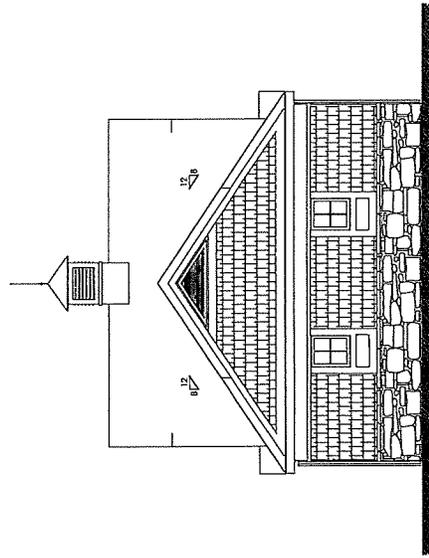




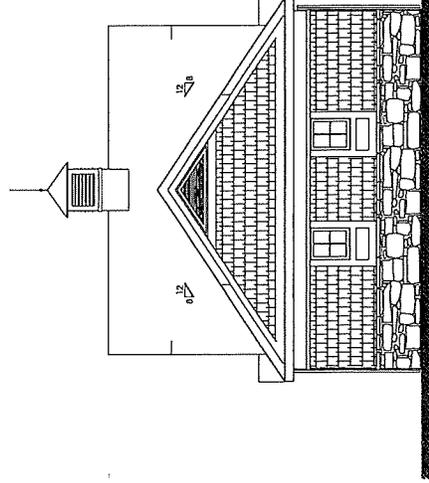
FRONT ELEVATION  
1/4"=1'-0"



REAR ELEVATION  
1/4"=1'-0"



RIGHT ELEVATION  
1/4"=1'-0"



LEFT ELEVATION  
1/4"=1'-0"

BRIDGEC COMPANY

| DATE     | DESCRIPTION  | BY | CHK | DATE | BY |
|----------|--------------|----|-----|------|----|
| 12/15/17 | PROPOSED SET |    |     |      |    |
| 12/15/17 | PROPOSED SET |    |     |      |    |

GLEN ROSS SWIM CLUB











**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**



Project # \_\_\_\_\_ Case # \_\_\_\_\_

**Planning Commission**

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Amended Final Development Plan                  | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use             |
| <input type="checkbox"/> Amended Final Subdivision Plat                  | <input type="checkbox"/> Final Subdivision Plat           | <input type="checkbox"/> Vacation-Alley                                   |
| <input checked="" type="checkbox"/> Amended Preliminary Development Plan | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement                                |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat            | <input type="checkbox"/> Floodplain Permit                | <input type="checkbox"/> Vacation-Street                                  |
| <input type="checkbox"/> Annexation Review                               | <input type="checkbox"/> Lot Split                        | <b><u>Board of Zoning Appeals</u></b>                                     |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan   | <input type="checkbox"/> Pre-annexation Agreement         | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment                    | <input type="checkbox"/> Preliminary Development Plan     | <input type="checkbox"/> Conditional Use Permit                           |
| <input type="checkbox"/> Concept Plan                                    | <input type="checkbox"/> Preliminary Dev Plan Extension   | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit                          | <input type="checkbox"/> Preliminary Sub Plat             | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Determination of Similar Use                    | <input type="checkbox"/> Preliminary Sub Plat Extension   |   |
| <input type="checkbox"/> Development Plan Exemption                      | <input type="checkbox"/> Rezoning                         |   |
| <input type="checkbox"/> Final Development Plan                          | <input type="checkbox"/> Subdivision Variance             |   |

Subdivision/Project Name Glenross North Address East of Glenn Parkway North of Cheshire Road  
 Acreage 66.2 Square Footage N/A Number of Lots 127 Number of Units N/A  
 Zoning District/Land Use PMU/R-2 Proposed Zoning/Land Use N/A Parcel # 41832001029000

Applicant Name Glenross North LLC Contact Person Vince Romanelli

Applicant Address 148 Schrock Road Westerville, Ohio 43081

Phone (614) 891-2042 Fax \_\_\_\_\_ E-mail vromanelli@rh-homes.com

Owner Name Glenross North LLC Contact Person Vince Romanelli

Owner Address 148 Schrock Road Westerville, Ohio 43081

Phone (614) 891-2042 Fax \_\_\_\_\_ E-mail vromanelli@rh-homes.com

Engineer/Architect/Attorney EMH&T Contact Person Jeffrey A. Strung

Address 5500 New Albany Road Columbus, Ohio 43054

Phone (614) 775-4700 Fax \_\_\_\_\_ E-mail jstrung@emht.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

[Signature]  
Owner Signature

Vince Romanelli  
Owner Printed Name

[Signature]  
Agent Signature

Jeffrey A. Strung  
Agent Printed Name

Sworn to before me and subscribed in my presence this 1<sup>st</sup> day of March, 2018



**KRISTINE L. LOUGHRY**  
NOTARY PUBLIC, STATE OF OHIO  
Notary Public  
My Commission Expires 2/6/2022

[Signature]  
Notary Public



## PLANNING COMMISSION / STAFF REPORT

CASE NUMBER: 2018-0442-0445

REQUEST: Multiple Requests

PROJECT: Glenwood Commons Shopping Center

MEETING DATE: April 4, 2018

### APPLICANT/OWNER

Zaremba Group LLC  
14600 Detroit Street, Suite 1500  
Lakewood, Ohio 44107

### REQUEST

2018-0442: A request by Zaremba Group LLC for approval of a Rezoning Amendment from B-3 (Community Business District) to B-3 PMU (Community Business District with a Planned Mixed Use Overlay District) to allow a 9.7 acre land addition (parcels 11, 12 and a portion of parcel 5) to the Glenwood Commons Shopping Center located on the south side of US 36/37 between Mill Run Crossing and Glenn Road.

2018-0443: A request by Zaremba Group LLC for approval of a Conditional Use Permit allowing the placement of PMU (Planned Mixed Use Overlay District) to be established on a 9.7 acre land addition (parcels 11, 12 and a portion of parcel 5) to the Glenwood Commons Shopping Center located on the south side of US 36/37 between Mill Run Crossing and Glenn Road on property zoned B-3 (Community Business District).

2018-0444: A request by Zaremba Group LLC for approval of an Amended Preliminary Development Plan for Glenwood Commons Shopping Center on approximately 82.9 acres located on the south side of US 36/37 between Mill Run Crossing and Glenn Road on property zoned B-3 PMU.

2018-0445: A request by Zaremba Group LLC for approval of a Comprehensive Plan Amendment on the Future Land Use Map from Commercial to Mixed Use on a 9.7 acre land addition (parcels 11, 12 and a portion of parcel 5) to the Glenwood Commons Shopping Center located on the south side of US 36/36 between Mill Run Crossing and Glenn Road on property zoned B-3 PMU.

### PROPERTY LOCATION & DESCRIPTION

The Glenwood Commons Shopping Center is located on the south side of US 36/37 between Mill Run Crossing and Glenn Road while the Reserve at Quail Pass apartment development and the City Wetland Park are located on the south side of Mill Run Crossing and extend south to the railroad track and west to Glenn Road. The proposed land addition to the Glenwood Commons Shopping Center encompasses 9.7 acres (parcels 11, 12 and a portion of parcel 5) that are located at the southeastern corner of US 36/37 and Glenn Road. The Glenwood Commons Shopping Center and the Wetland Park are zoned B-3 PMU (Community Business District with a Planned Mixed Use Overlay District) while The Reserve at Quail Pass is zoned M-1PMU (Light Manufacturing with a Planned Mixed Use Overlay District). The properties to the north, east and west are zoned B-3 while the properties across the rail road tracks are located in the township.

### BACKGROUND/PROPOSAL

In January 2006 City Council approved a mixed use commercial, office and residential rezoning for approximately 150 acres which included Glenwood Commons Shopping Center and what is today The Reserve at Quail Pass. Now the developer is proposing a 9.7 acre land addition (parcels 11, 12 and a portion of parcel 5) located east of the existing shopping center and bordering Glenn Rd. With the land addition, the Glenwood Commons Shopping Center, the Preserve at Quail Pass and the City Wetland Park would encompass approximately 183 acres including right-of-way.

### STAFF ANALYSIS

- **COMPREHENSIVE PLAN:** The Comprehensive Plan Future Land Use Map recommends a future land use of Commercial for the subject three parcels (parcels 11, 12 and a portion of parcel 5) in the Delaware East Sub-Area while the applicant is proposing a Mixed Use designation to be consistent with the remainder of the Glenwood Commons Shopping Center.
- **ZONING:** As previously mentioned, the zoning for the subject site is B-3 while the developer is proposing a rezoning to B-3 PMU to be consistent with remainder of the Glenwood Common Shopping Center and for the developer to market the type of uses permitted in the most recent approved revised development text while cleaning up the subject corner properties from a planning, zoning and land use plan perspective. Along with the zoning amendment to a PMU, the zoning process would also require Conditional Use Permit, Amended

Preliminary Development Plan and Comprehensive Plan Amendment approval by the Planning Commission and City Council.

- **GENERAL ENGINEERING:** Because this is an Amended Preliminary Development Plan and the main infrastructure has been constructed for the Glenwood Commons Shopping Center, final engineering plans would be required when each out lot is developed per the Final Development Plan approval process.
- **ROADS AND ACCESS:** The internal and external road network would remain the same with the proposed 9.7 acre land addition (parcels 11, 12 and a portion of parcel 5) in the Amendment Preliminary Development Plan with the infrastructure already constructed in the Glenwood Commons Shopping Center. An existing private drive accesses Glenn Road from the Meijer Grocery Store between parcels 11 and 12 of the land addition while parcel 5 (including the portion in the land addition) is accessed from a private access drive from US 36/37 just west of the Meijer gas station.
- **PEDESTRIAN CONNECTIVITY:** The future expansion of Glenn Road would have a bike path and sidewalk respectively along the widened road. Any other internal connectivity would be vetted during the Final Development Plan process for each out lot.
- **SITE CONFIGURATION:** The land addition includes parcels 11, 12 and a portion of 5 that would be consolidated with existing parcel 5. The development of any of these out lots would require Final Development Plan approval that achieves compliance with the adopted development text for the Glenwood Commons Shopping Center, the minimum current zoning code requirements and all other City development requirements.
- **LANDSCAPING & SCREENING:** When Glenwood Commons Shopping Center was constructed, the typical landscaping requirements which included street trees, front yard trees and other landscaping were installed. Therefore, the out lots would now only require parking lot and foundation landscaping when they come in for Final Development Plan approval except for the frontage of Glenn Road and the northeast corner of US 36/37 which would require the appropriate mounding and landscaping to be consistent with the existing mounding and landscaping along US 36/37 since this area has not been constructed yet because it was not part of Glenwood Commons Shopping Center until this application. Any landscaping plans shall be reviewed and approved by the Shade Tree Commission during the Final Development Plan approval process.
- **TREE REMOVAL & REPLACEMENT:** Any qualifying trees on the subject out lots would have to be identified and documented to achieve compliance with Chapter 1168 Tree Preservation Requirements during the Final Development Plan approval process, though the Applicant planted approximately 10,000 plants and trees initially which included the wetland park site and which satisfied replanting requirements for the initial development.
- **SIGNAGE/GATEWAYS & CORRIDORS PLAN:** Any proposed ground and building signage would need to achieve compliance with the approved development text and approved comprehensive sign plan for subject development and be approved during the Final Development Plan process.
- **LIGHTING:** Any lighting for the out lots would need to be reviewed and approved during the Final Development Plan process. All lighting plans would need to be submitted, reviewed and approved by the Chief Building Official and achieve compliance with the minimum zoning requirements and requirements for the shopping center per the approved text and plans and in keeping with the existing lighting.
- **CONDITIONAL USE PERMIT:** The proposed development achieves compliance with Conditional Use Permit requirements to establish a PMU over the subject three parcels per the zoning code and approved development text.

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**STAFF RECOMMENDATION (2018-0442 – REZONING AMENDMENT)**

Staff recommends approval of a request by Zaremba Group LLC of a Rezoning Amendment from B-3 (Community Business District) to B-3 PMU (Community Business District with a Planned Mixed Use Overlay District) to allow a 9.7 acre land addition (parcels 11, 12 and a portion of parcel 5) to the Glenwood Commons Shopping Center located on the south side of US 36/37 between Mill Run Crossing and Glenn Road, with the following conditions that:

1. Any change or revisions to the lot layout and/or, road alignment(s) shall require conformance to all provisions

of the Development Text.

2. The development shall participate in the Delaware North New Community Authority and Mill Run Commercial TIF District and shall execute the required documents prior to the issuance of any building permits.

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**STAFF RECOMMENDATION (2018-0443 – CONDITIONAL USE PERMIT)**

Staff recommends approval of a request by Zaremba Group LLC of a Conditional Use Permit allowing the placement of PMU (Planned Mixed Use Overlay District) to be established on a 9.7 acre land addition (parcels 11, 12 and a portion of parcel 5) to the Glenwood Commons Shopping Center located on the south side of US 36/37 between Mill Run Crossing and Glenn Road on property zoned B-3 (Community Business District).

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**STAFF RECOMMENDATION (2017-0444–AMENDED PRELIMINARY DEVELOPMENT PLAN)**

Staff recommends approval of a request by Zaremba Group LLC of an Amended Preliminary Development Plan for Glenwood Commons Shopping Center on approximately 82.9 acres located on the south side of US 36/37 between Mill Run Crossing and Glenn Road on property zoned B-3 PMU, with the following conditions that:.

1. Final Engineering Plans shall be required when each out lot is developed per the Final Development Plan process.
2. All out lots shall require Final Development Plan approval and achieve compliance with the Glenwood Commons Shopping Center development text, the current zoning code and all other City development requirements.
3. A mound with landscaping, consistent with the existing mound and landscaping along US 36/37 along the frontage of the Glenwood Commons Shopping Center, shall be installed along the frontage of Glenn Road (parcels 11 and 12) and the northeast corner of US 36/37 and Glenn Road (parcel 5) during the development of the first subject out lot.
4. The development shall participate in the Delaware North New Community Authority and Mill Run Commercial TIF District and shall execute the required documents prior to the issuance of any building permits.

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**STAFF RECOMMENDATION (2017-0445 – COMPREHENSIVE PLAN AMENDMENT)**

Staff recommends approval of a request by Zaremba Group LLC of a Comprehensive Plan Amendment on the Future Land Use Map from Commercial to Mixed Use on a 9.7 acre land addition (parcels 11, 12 and a portion of parcel 5) to the Glenwood Commons Shopping Center located on the south side of US 36/36 between Mill Run Crossing and Glenn Road on property zoned B-3 PMU.



ORDINANCE 13-01

GLENNWOOD COMMONS & THE RESERVE AT QUAIL PASS  
PLANNED MIXED USE DEVELOPMENT TEXT  
DELAWARE, OHIO

1. DESCRIPTION OF DEVELOPMENT

Zaremba Group, LLC and Zaremba Inc. are proposing to construct a commercial development while Redwood ~~Acquisition~~Acquisition LLC, are proposing single story luxury apartments in the City of Delaware. The 159.149 +/- gross acre project site (145 +/- net acres less right-of-way) is located on the east side of the City, on the south side of US 36/SR 37 and west of Glenn Road. The ~~Penn-Central~~ railroad track borders the site to the south ~~and west~~. The site is easily accessed from I-71, US 36/SR 37, and Glenn Road.



## 2. GENERAL DEVELOPMENT STANDARDS

- a. **Purpose and Intent.** It is the intent of this development to provide a mixed use development with compatible and common architectural design, streetscape, signage, lighting, and pedestrian amenities to be compatible throughout the entire development. Prototypical design that is not consistent with this purpose and intent will not be accepted. This Development Text represents the zoning requirements for this area unless otherwise noted.
- b. **Conformance with Codified Ordinances and City Policy.** Unless noted otherwise within this development text, all development will be constructed and provided in conformance with the then current Codified Ordinances and City Policy in effect at the time of application.
- c. **Limitations.** Nothing in this text shall prohibit additional restrictions or requirements from being placed on the approval of any Final Development Plan.
- d. **Major Modifications.** Once a Final Development Plan has been approved by City Council, any subsequent major modification to that plan shall only be permitted by resubmission and approval of a revised Final Development Plan through the procedures set forth in the Zoning Code. Major modification for the purposes of this text shall mean any modification of the approved Final Development Plan, as determined by the Director of Planning & Community Development, that results in:
  - (1) Any major increase in the number of or change in the type and/or mix of dwelling units or any major increase in the non-residential building area.
  - (2) Major change in the approved location of land uses or land use sub-areas.
  - (3) Substantial alteration of the basic geometry, including right-of-way width, and/or operation characteristics of any element of the approved public and private street pattern, access points, parking facilities, service access, trash storage facilities, and system of pedestrian paths that results in a change in operating characteristics or character.
- e. **Minor Modifications.** Once a Final Development Plan has been approved by City Council, any subsequent minor modification to that plan shall only be permitted by resubmission and approval by the Director of Planning and Community Development of a revised Final Development Plan. Minor modification for the purposes of this text shall mean any modification of the approved Final Development Plan, as determined by the Director of Planning & Community Development, that results in:
  - (1) Any modification that is not considered a major modification by this Zoning Text or by determination of the Director of Planning & Community Development.

- (2) Any minor increase in the number of or change in the type and/or mix of dwelling units less than 5% in the total number of dwelling units or any increase less than 10% in the non-residential building area.
- (3) Minor change in the approved location of land uses or land use sub-areas.
- (4) Minor alteration of the basic geometry, including right-of-way width, and/or operation characteristics of any element of the approved public and private street pattern, access points, parking facilities, service access, trash storage facilities, and system of pedestrian paths that results in a change in operating characteristics or character.
- (5) Minor structural alterations that do not alter the overall design intent of the building.

f. **Tree Removal and Replacement.** Tree removal and replacement shall meet all requirements of Chapter 1168 with the following replacement schedule:

- (1) Trees in poor condition shall not be replaced.
- (2) Trees in fair condition shall be replaced at 50%.
- (3) Trees in good condition shall be replaced at 100%
- (4) Ash trees shall not be replaced and must be removed from the site.
- (5) As determined at the time of approval of the Final Development Plan, up to 100% replacement credit may be given towards the provision of parkland tree plantings (including any wetland plant species), pedestrian pathways throughout the parkland, and any other structural amenities.
- (6) Once the Final Development Plan is approved and trees/landscaping is installed per plan, all trees/landscaping shall be required to be maintained and replaced as needed in perpetuity.

h.g. Wetland Park. The developer had initially contributed a portion of the land toward the city owned wetland park. The developer had initially constructed the improvements in the wetland park, a portion of which were for a portion of the required storm water management of the Planned Mixed Use Overlay area. The developer shall maintain the storm water components of the park as previously required.

3. SUB-AREAS A & B

The project is separated into two main sub-areas to represent the distinct areas of development. Sub-Area A (89.2 net acres), known as Glenwood Commons (to the centerline of Mill Run Crossing), is to be developed generally with a mix of commercial and retail uses. Sub-Area B (55.826 net acres), known as The Reserve at Quail Pass (to the centerline of Mill Run Crossing), is to be developed with single story luxury apartment units with attached garages.

4. SUB-AREA A – GLENNWOOD COMMONS DEVELOPMENT STANDARDS

- a. **Uses.** The following uses shall be considered permitted, conditionally permitted, or limited uses in Sub-Area A as represented in the chart below by P, C, or L, respectively, and as defined by attached Chapter 1121 of the Zoning Code. Any use not listed in the

chart shall be considered a prohibited use unless amended by action of the Planning Commission and City Council through a Zoning Amendment process.

- (1) **Permitted Uses.** Permitted uses are permitted by-right and shall meet all development standards specified within this text and the Zoning Code, as applicable.
- (2) **Conditionally Permitted Uses.** In addition to all standards specified within this development text, uses listed as conditionally permitted uses shall meet all the then current Zoning Code standards for approval of a Conditional Use Permit current at the time of application for the specific conditional use as well as any other regulations contained within the Zoning Code and applicable to the conditional use.
- (3) **Limited Uses.** Limited uses shall be considered permitted uses subject to complying with all the specific limitations and restrictions as specified within this text as determined by Final Development Plan approval.
- (4) **Accessory Uses and Structures.** Although not specified in the chart below, accessory uses, which are considered allowed uses, include those items that are customarily incidental and secondary to the principal use of the land. Such items include but are not limited to signs, fences, trash receptacles and enclosures, and off-street parking areas. If the uses are specified as conditional or limited uses the processes and limitations shall apply regardless of accessory use status.

| Land Use Category  | Glennwood Commons Uses |
|--|------------------------|
| <b>(a) Office and Professional Services</b>  |                        |
| (1) Offices – administrative, business and professional  | P                      |
| (2) Financial institutions, banks  | P                      |
| (3) Medical and dental offices, health and allied services   | P                      |
| <b>(b) Retail and Services</b>   |                        |
| (1) Retail and service establishments with a minimum gross floor area of 100,000 square feet or greater (ORD 04-42 Passed 03/22/04)      | L                      |
| (2) Retail and service establishments in completely enclosed buildings with a minimum gross floor area of less than 100,000 square feet. | P                      |
| (3) Restaurant – table service   | P                      |
| (4) Restaurant – counter service   | P                      |
| (5) Veterinary office (no outside run or outside kennel)   | L                      |
| (6) Veterinary hospital (no outside run or outside kennel)   | L                      |

| Land Use Category  | Glennwood Commons Uses |
|--|------------------------|
| <b>(c) Automotive and Transportation</b>   |                        |
| (1) Gasoline station with or without convenience store   | L                      |
| (2) Automotive service station   | L                      |
| (3) Stand-Alone ATM Facility   | L                      |
| (4) Drive-thru facility associated with any principal permitted, limited, or conditionally permitted use                               | L                      |
| (5) Car wash (accessory to principal use)  | L                      |
| <b>(d) Outdoor Display/Storage</b>   |                        |
| (1) Outdoor display  | L                      |
| (2) Outdoor storage  | L                      |
| (3) Garden Center  | L                      |
| <b>(e) Community Facilities</b>  |                        |
| (1) Schools, trade, business or cultural arts  | C                      |
| (1) Public cultural institutions and art galleries   | P                      |
| (2) Day care center, child/adult   | P                      |
| (3) Public safety & service facility   | P                      |
| (4) Public Parks & Playgrounds   | P                      |
| (5) Public utility substation or distribution facility   | L                      |
| <b>(b) Recreation and Entertainment</b>  |                        |
| (1) Indoor recreation and amusement (such as indoor theater, bowling alley, arcade, billboard parlor, assembly hall and party center ) | C                      |
| (2) Public parks and playgrounds   | P                      |
| (3) Health club  | P                      |
| <b>(c) Lodging</b>   |                        |
| (1) Hotel/motel  | P                      |

(5) **Specific Standards for Limited Uses.** Any use listed as a limited use shall meet all requirements of the Zoning Code, unless otherwise exempted or modified in this Section which shall take precedence in all cases, as determined through the Final Development Plan approval process. If any of the requirements set forth in this text

or the then current Zoning Code are not met, the use shall be considered a Conditional Use and a Conditional Use Permit must be approved as set forth in the Zoning Code.

- A. **Retail or Service Establishment with a Minimum Gross Floor Area of 100,000 Square Feet or Greater.** Unless modified within this text all requirements of Chapter 1148, as attached to this text, shall be met.
1. Sections 1148.05(bb)(2). Only if all requirements of the Landscaping and Screening Section of this text are fulfilled as they relate to the mounding and landscaping along Mill Run Crossing, these provisions shall not apply.
  2. Sections 1148.05(b)(3) and 1148.05(bb)(5). Only if all requirements of the Landscaping and Screening Section of this text are fulfilled as they relate to the mounding and landscaping along Mill Run Crossing, these provisions shall not apply to the rear elevation facing Mill Run Crossing except that visual interest and undulating roof heights shall be incorporated for any portions of the rear elevation not screened from view at the time of the landscaping installation.
  3. Section 1148.05(bb)(12). Only if all requirements of the Stream Relocation Section of this text are fulfilled, this provision shall not apply.
  4. Section 1148.05(bb)(17). This Section shall be fulfilled by the development of outlots along US 36/SR 37 as depicted on the Preliminary Development Plan and Preliminary Subdivision Plat and through the provision of landscaping and other elements described in the Gateways & Corridors Plan and as approved with any Final Development Plan.
- B. **Veterinary Office (with no outside run or outside kennel) and Veterinary Hospital (with no outside run or outside kennel).** Such uses shall meet all requirements of the then current Zoning Code and be limited to household pets prohibiting on-site services to livestock, goats, equine, and other non-domesticated animals.
- C. **Gasoline Station (with or without convenience store).** Such use shall meet all requirements of the then current Zoning Code and be designed in a manner that substantially limits the view of fueling pumps from the public right-of-way. Any canopy or weather cover associated with this use shall be designed in manner that is substantially similar with the overall development of Glennwood Commons, the principal building, and shall not include exposed metal support columns.
- D. **Automotive Service Station.** Such use shall meet all requirements of the then current Zoning Code and be located to the side or rear (opposite the public right-of-way) of the principal building if accessory to a principal use or building. The building whether detached or attached to the building containing the principal use shall be designed in a manner that is substantially similar with the overall development of Glennwood Commons and the provision of 100% transparent vehicular doors.

- E. **Stand-Alone ATM Facility.** Such use shall not be located along any public right-of-way and limited to areas interior to the overall development. The use shall be located in a manner that does not unreasonably disrupt traffic or pedestrian circulation. The building housing the ATM shall be designed and landscaped in a manner consistent with overall design and to minimize its presence.
- F. **Drive-Thru Facility Associated with any Principal Permitted, Limited, or Conditionally Permitted Use.** Such use shall meet all requirements of the then current Zoning Code and be located to the side or rear (opposite the public right-of-way) of the principal building. A covered pick-up area may be permitted in the front of the principal building. Any canopy or weather cover associated with this use shall be designed in manner that is substantially similar with the overall development of Glennwood Commons, the principal building, and shall not include exposed metal support columns.
- G. **Car Wash (accessory to principal use).** Such use shall meet all requirements of the then current Zoning Code and be located in the side or rear (opposite the public right-of-way) of the principal building (Gasoline Station). The building whether detached or attached to the building containing the principal use shall be designed in a manner that is substantially similar with the overall development of Glennwood Commons including the provision of 100% transparent vehicular doors.
- H. **Outdoor Storage & Outdoor Display.** The following standards shall apply for outdoor storage and outdoor display.
1. Permanent outdoor storage and outdoor display in any parking area in front of the building is prohibited.
  2. For businesses larger than 100,000 square feet in gross floor area, seasonal outdoor display is permitted in parking areas to the front of the building for live vegetation only (mulch, soil, seeds, or other items may be permitted in the parking area on the side of the building with Final Development Plan approval) and all areas limited to the time period between March 1 and July 31. Such area shall be limited to area determined with the Final Development and in no case exceed 15,000 square feet in aggregate area per business, not unreasonably disrupt traffic or parking, be generally located in front of the Garden Center, or on the side of the Garden Center, be enclosed by decorative fencing to be approved with the Final Development Plan, bound on both ends by landscaped parking islands, and all pricing signs oriented towards the interior of the area.
  3. Outdoor display of seasonal merchandise is permitted in the walkway area in front of and to the side of the building in limited areas defined on the Final Development Plan provided a minimum pedestrian walkway of 5 feet in width is maintained between the front of the building and parking spaces or drive aisle. Such areas shall be limited to such seasonal for sale merchandise such as lawnmowers, grills, sheds, snowblowers, and other items defined on the

Final Development Plan. In no case shall any vending machines, ice boxes, palletized items, bulk material, or other similar items be permitted in such outdoor display areas. Additionally, no items may be mounted to the side of the building and display heights shall not exceed 6 feet in height.

4. Outdoor storage of palletes, appliances to be recycled, or other items that are not for sale is permitted only at the rear of the building provided the outdoor storage area is limited to an area defined on the Final Development Plan, is demarcated in a manner that adequately contains the item(s) to be stored, and is screened from view of any public right-of-way or private access drive with mounding and landscaping providing year round 100% opacity.

I. **Garden Center.** Garden Centers are considered structures, which are attached to the principal building and enclosed on four sides for the purposes of displaying garden related items, vegetation, bulk materials, or other items. Such structures shall be substantially similar in design with the overall development of Glennwood Commons including being fully integrated into the principal building design. The enclosures shall be designed in a manner that substantially limits the view of any item within the Garden Center. In no case shall any item contained with the Garden Center extend above the height of the enclosure.

J. **Public Utility Substation or Distribution Facility.** Such use shall meet all requirements of the then current Zoning Code and shall be landscaped to block all public views.

- b. **Lot Standards.** The following standards shall apply for lot standards and coverage.

| Lot Standards                       | Glennwood Commons |
|-------------------------------------|-------------------|
| (a) Minimum lot area                | 1 acre            |
| (b) Minimum lot width and frontage* | 120 ft.           |
| (c) Maximum building coverage       | 40%               |
| (d) Maximum lot coverage**          | 70%               |

\*Lot frontage requirement may be met by providing the minimum frontage along cross access easements connecting to public streets.

\*\*Lot coverage shall be determined by calculating the total area of any impervious surface divided by the area of Sub-Area A and converted to a percentage. Collectively, lot coverage on all parcels in the Sub-Area shall average 70%.

- c. **Building Setback Standards.** The following standards shall apply for minimum building setbacks. Decorative architectural elements such as canopies and overhangs shall be permitted to encroach into any setback provided that no encroachment shall exceed 5 feet.

| Minimum Building Setbacks                   | Glenwood Commons |
|---|------------------|
| (a) Setback from US36/SR 37                 | 40 ft.           |
| (b) Setback from Mill Run Crossing          | 20 ft.           |
| (c) Side setback for lots along US 36/SR 37 | 20 ft.           |
| (d) Rear setback                            | 20 ft.           |

- d. **Parking Setbacks.** The following standards shall apply for minimum parking setbacks. Parking setbacks include any parking space, parking lot drive aisle, and parking lot circulation aisle.

| Minimum Parking Setbacks                             | Glennwood Commons                         |
|--|---|
| (1) Setback from US 36/SR 37.                        | 15 ft.                                    |
| (2) Setback from Mill Run Crossing.                  | 15 ft.                                    |
| (3) Setback from any private access drive or street. | 10 ft.                                    |
| (4) Setback from interior property lines             | As approved on the Final Development Plan |

- e. **Maximum Building Height.** The maximum height of any building or structure shall be 55 feet as measured from finished floor elevation to the highest point of the roof.
- f. **Building Design.** All buildings regardless of use shall meet the building design requirements of Section 1143.11 and consist of brick and stone or similar approved products as the exterior material. Stucco and EIFS may be used as accent material only. To create a cohesive and unified design throughout the entire development, each building shall be consistent in overall design, color, material, and architectural pattern and include similar and/or repeating a pattern of design elements such as cupolas, wind vanes, dormers, detailed and well defined cornices on flat roof structures, columns, awnings, or other elements as determined through the Final Development Plan review process.
- (1) Any building 100,000 square feet or greater in gross floor area shall meet the following design requirements of Chapter 1143.
    - A. When the wall of a building faces a public right-of-way, or the main parking area, or is within 45 degrees of facing a public right-of-way, a minimum of forty percent (40%) of such wall area, on the ground floor, shall have the appearance of display-type windows. The bottom edge of such windows shall not be higher than three (3) feet above grade. All such windows may be opaque.
    - B. Walls shall have no more than twenty (20) feet of continuous wall length devoid of windows, on any ground floor, unless the wall includes architectural features

such as piers, columns, defined bays or an undulation of the building, so that a pedestrian scale, rhythm, and visual interest is created.

C. Walls that meet the following criteria shall be exempt from the requirements of A and B above:

1. Two walls of adjacent business uses face one another and are separated by not more than 40 feet, or, two walls face one another, are separated by not more than 40 feet and the space between the two walls is used for servicing the buildings.
2. The wall faces an area devoted solely to loading and delivery and the wall is screened from view from all public rights-of-way, parking areas, and abutting residential areas.

(2) Accessory structures such as enclosures for dumpsters, refrigeration and freezing units, and other similar structures shall consist of brick and stone or similar approved products as the exterior material and be designed in a consistent and cohesive manner to the principal building in which it serves.

(3) Rooftop Mechanical Equipment shall be screened from public view from all sides of the building through the use of parapets, equipment screens, or other screening measures as deemed appropriate.

g. **Parking.** The amount of parking provided shall not be more than that shown on the approved Preliminary Development Plan. Parcels 1, 2, 3, 4, 5, and 6 shall meet the minimum parking requirements of the current Zoning Code, however the Planning Commission encourages the reduction of the required amount of parking by up to 30% and encourages shared parking opportunities where the locations and uses make sense in order to minimize the overall amount of parking on-site. Where necessary for connectivity and access management throughout the development and to adjacent properties, cross access easements shall be provided. No overnight parking (10:00pm to 7:00am), except employees and trucks docked in the loading facility, which shall not have their engines or cooling units running, shall be allowed. This includes, but is not limited to, RVs and thru-trucks. Overnight parking is defined as any qualifying vehicle parked on-site longer than 4 hours.

h. **Landscaping and Screening.** All landscaping shall meet the requirements of the Zoning Code and the Gateways & Corridors Plan unless modified herein.

(1) Low, undulating earth mounds measuring 2 to 3 feet in height shall be provided along the US 36/SR 37 frontage.

(2) Along Mill Run Crossing beginning at the end of the undisturbed Mill Run stream extending east to the eastern property line, including to the north along the eastern property line to block views of the loading and service facilities, an undulating earth mound no less than 12 feet in height as measured from the proposed Mill Run Crossing road elevation with a mix of deciduous and coniferous plantings providing, at the time of installation, a minimum 60% year round opacity at a combined mound and landscaping height of no less than 18 feet shall be provided.

(3) Street trees placed every 40 feet on center shall be provided along all private access drives and wherever such drives are adjacent to parking spaces landscaping in

conformance with Section 1166.09(b) shall be provided. Street trees shall also be provided in any median and placed every 40 feet on center.

- (4) Parking lots will be landscaped in a manner that minimizes the direct views of expanses of parking spaces and encourages safe vehicular movement, at a minimum, as depicted on the approved Preliminary Development Plan. Each landscaped island within the parking lot shall be planted with two trees.
  - (5) Wherever possible along building frontages with a pedestrian walkway a mix of year-round and seasonal foundation plantings shall be provided as well as tree wells or planters of other similar plantings included in the pedestrian walkway.
  - (6) Ground mounted equipment shall be screened from view using plant materials, opaque decorative fencing, or mounding providing 100% year round opacity.
- i. **Stream Relocation.** Upon authorization by the applicable State and Federal agencies, Mill Run stream shall be relocated with the minimum necessary conservation and/or preservation easements placed over the relocated and remaining stream corridor. Additionally, to offset the local impact of the stream relocation, the applicant shall complete the development of a passive park on City owned land adjacent to this development including the construction and expansion of ponds and opportunities for the development of wetland areas, provision of multi-use paths and/or boardwalks, and other amenities as agreed to and approved through the Final Development Plan review process and dedicate any conservation and/or preservation easement placed over the remaining Mill Run stream to the City.
  - j. **Pedestrian Connectivity.** Pedestrian connectivity will be provided throughout the sub-area with stub connections to other sub-areas and future development. Sidewalks and bikepaths shall be provided as shown on the Preliminary Development Plan. Sidewalks, a minimum 8 feet in width, will also be provided along all storefronts and leading to any side and rear customer entrances. Different materials, colors, pavers, patterns, and other techniques shall be used in front of principal uses at major pedestrian crossings leading to the parking areas.
  - k. **Lighting.** Building, site, and accent lighting shall be provided in accordance with the current Zoning Code. All lighting fixtures, except those located in loading or service areas and not visible by the general public, shall be decorative fixtures that are appropriate and consistent with the overall design of the development. Standard shoe-box type fixtures and standard wall packs may only be used in loading or service areas that are not visible by the general public. No lighting fixture shall be mounted higher than 28 feet in height. All ground mounted accent lighting shall be hidden in landscaping and directed in a manner that does not affect visibility. All non-security site and building lighting will be turned off one hour following close of business in accordance with tenant's operational requirements. Any use with a 24 operation shall provide a lighting plan that minimizes site and building lighting during non-peak nighttime hours.
  - l. **Signs.** A comprehensive sign plan shall be provided and approved in conformance Section 1165.16(c) and the Final Development Plan. All signs in the sub-area shall be in conformance with the approved comprehensive sign plan. The comprehensive sign plan

shall meet the following requirements. Unless noted below, all signs shall meet the current Zoning Code.

- (1) **All Signs.** All signs shall be designed and located in a manner that is appropriate and consistent with the overall design of the sub-area and the Gateways & Corridors Plan. Unless noted otherwise, externally illuminated and reverse channel letter signs are preferred. For the purposes of this text, a reverse channel letter sign is generally a type of sign that utilizes an opaque aluminum letter which is stud mounted away from the wall or mounting surface. The illumination creates a soft glow or "halo" behind the letter. Changeable copy and changeable face signs are prohibited except for gas pricing signs as approved with a Final Development Plan. Businesses located within a business shall not be permitted any free-standing signs, be limited to one non-illuminated wall sign not exceeding 2 square feet in area located in a sign band, and no building shall have more than 2 such signs.
- (2) **Free-Standing Signs.** Except for development identification and directional signs, free standing signs are prohibited.
  - A. Development identification signs shall be of the highest quality and design and serve as part of overall entry features to the development. Development identification signs may be provided at areas depicted on the comprehensive sign plan. One development identification sign may be permitted to include up to 3 accessory tenant panel signs as approved on the comprehensive sign plan.
- (3) **Wall Signs.** As a result of the limitations placed on free-standing signs, flexibility shall be allowed for wall sign area. Wall signs shall be integrated into the overall design of the building on which the sign is attached in an area established as part of the building design approval for the purpose of mounting a wall sign. Only one wall sign is permitted per primary tenant per frontage of a public or private street except that there shall be no more than 2 such signs per primary tenant per building. In addition, one ancillary or directional sign may be granted at the discretion of Planning Staff. Except along US 36/SR 37 no signs shall be permitted facing a residential district or use.
  - A. Retail buildings J and K and Outparcels 1, 2, 3, 4, 5, and 6. Reverse channel letters (halo glow) signs, as previously defined, and gooseneck down lighting are preferred.
- (4) **Other Signs.** A temporary marketing/for sale or lease sign plan shall be provided as part of the comprehensive sign plan for the development. All other signs shall meet the current Zoning Code. Except for 7 days and only for a grand opening (initial opening of the business), no streamers, balloons, spinners, other air activated devices, billboards, search lights, or other temporary or permanent signs or attraction devices shall be permitted.

5. SUB-AREA B – THE PRESERVE AT QUAIL PASS DEVELOPMENT STANDARDS

a. **Uses.** The following uses shall be considered to be permitted, conditionally permitted, or limited uses in Sub-Area B as represented in the chart below by P, C, or L, respectively. Any use not listed in the chart shall be considered a prohibited use unless amended by action of the Planning Commission and City Council through a Zoning Amendment process.

(1) **Permitted Uses.** Permitted uses are permitted by-right and shall meet all development standards specified within this text and the Zoning Code, as applicable.

(2) **Conditionally Permitted Uses.** In addition to all standards specified within this development text, uses listed as conditionally permitted uses shall meet all Zoning Code standards for approval of a conditional use permit current at the time of application for a conditional use permit as well as any other regulations contained within the Zoning Code.

(3) **Accessory Uses.** Although not specified in the chart below, accessory uses, which are considered permitted uses, include those items that are accessory and necessary to the principal use of the land. Such items include but are not limited to fences, trash receptacles and enclosures, patios, decks, swimming pools, and off-street parking areas.

| Land Use Category   | Quail Pass Uses |
|---|-----------------|
| <b>(a) Residential</b>  |                 |
| (1) Single Story Apartments as approved on PDP & subsequent FDP's (minimum 3 unit buildings and maximum 6 unit buildings) | P               |
| (2) Minor home occupation   | P               |
| <b>(b) Recreational/Open Space</b>  |                 |
| (1) Park, playground  | P               |
| (2) Non-commercial recreation facility (including homeowner association controlled facilities)                            | P               |

b. **Density & Mix of Dwelling Unit Type.** The overall Sub-Area B density and mix of dwelling unit types shall not exceed that approved on the Preliminary Development Plan which is 340 apartment units at 6.1 units per acre.

c. **Building Setback Standards.** The following standards shall apply for minimum principal building setbacks (including accessory structures attached to the principal structure) based on the type of dwelling unit.

(1) Single Story Apartments (Perimeter Setbacks)

| Minimum Building Setbacks | Single Story Apartments |
|---------------------------|-------------------------|
| (a) North property line   | 50 ft.                  |
| (b) South property line   | 40 ft.                  |
| (c) East property line    | 50 ft.                  |
| (d) West property line    | 25 ft.                  |

(2) Single Story Apartments (Internal Setbacks)

| Minimum Building Setbacks   | Single Story Apartments |
|---|-------------------------|
| (a) Front setback from the private street                                     | 20 ft.                  |
| (b) Minimum Building Separation   | 10 ft.                  |
| (c) Side setback for end unit adjacent to street                              | 15 ft.                  |
| (d) Rear patio or porch encroachment into required perimeter building setback | 9 ft.                   |

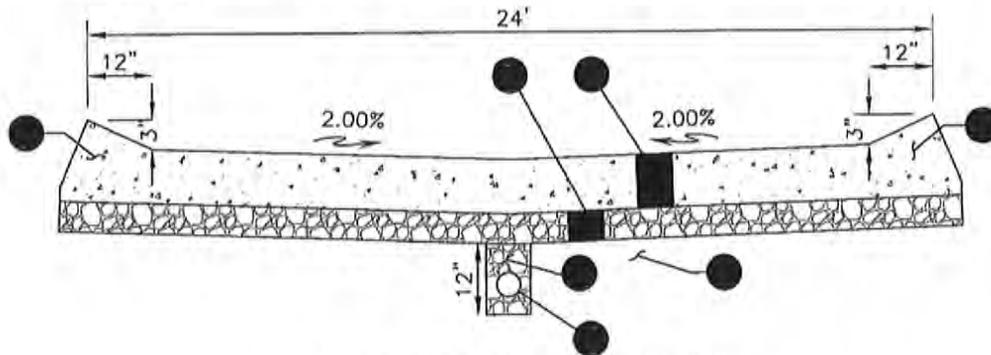
- d. **Floor Area Requirements.** Each dwelling unit shall provide for the following minimum floor area, exclusive of basements unless walk-out units, unfinished attic spaces, garages, and any attached or detached accessory buildings.
- (1) Single Story Apartment: 1,250 square feet
  - (2) Leasing office: 300 square feet
- e. **Maximum Building Height.** The maximum height of any building or structure shall be 35 feet as measured from the average elevation of the finished grade at the front of the building to the highest point of the roof.
- f. **Building Design.** Unless otherwise modified within this text, all dwellings shall meet the building design requirements of Chapter 1171 R-5 and R-6 District multi-family standards for apartments or per the final development plan: .
- (1) To create a cohesive and unified design throughout the entire development with each building being consistent in overall design, color, material, and architectural pattern and include similar and/or repeating a pattern of design elements such as architectural styles, roof and building massing, window proportion, or other elements as determined through the Final Development Plan review process.

- (2) All apartment building elevations (all sides) shall be reviewed and approved by the Planning Commission as part of the Final Development Plan.
- (3) The proposed building mix shall consist of two types: 1). 3, 4 and 6 unit buildings that are 28 feet wide units with all front loaded garages. 2). 4 and 5 unit buildings that have 42 feet wide middle units (front loaded garages) and 28 feet wide ends that have side loaded garages.
- (4) Exterior Material and Trim Standards.
  - A. All multi-family buildings shall be permitted to utilize Vinyl Siding – Higher End, as defined in Chapter 1171.08 (c) (19) on all elevations.
  - B. The front elevations shall have limestone veneer wainscoting.
  - C. The side elevations that face a street, open space or other prominent locations at staff's and/or Planning Commission's discretion shall have limestone veneer wainscoting and vinyl shake siding on the gables per the approved Preliminary Develop Plan architectural details plan exhibit.
  - D. All front elevations shall include a variety of styles, colors, and/or materials types of materials including, but not limited to, dormers, vinyl shake siding, etc.
  - E. Trim board around all corners, windows, and doors shall be a minimum of 4 inches all around.
  - F. All building overhangs/soffits shall be a minimum 8 inches.
  - G. EIFS, stucco, or similar products are prohibited as an exterior material.
  - H. All apartment building elevations shall be reviewed and approved by the Director of Planning & Community Development.
- (5) Design Standards
  - A. Primary roofs shall have a minimum pitch of 5:12.
  - B. Lintels and sills in masonry walls shall be brick soldier course, limestone, or sandstone, along with other manufactured stone products.
  - C. Windows shall be of vertical or square proportion. Accent windows may be circular, half-round, or octagonal and limited to one per elevation unless used in a pair. Rear elevations shall have a minimum of one window.
  - D. Treated lumber shall be painted or stained.
  - E. All apartments shall provide an identifiable entry with entry coverings and stoops being a minimum of 3 feet deep or the minimum necessary for building code regulations, which ever is greater.
  - F. All garages shall be attached. Front elevations shall be designed to de-emphasize the visual impact of the garage. . All Garage doors facing a street shall be architecturally upgraded to include design elements consistent with the design of the apartment buildings.. Garages of front loaded apartments shall be permitted to extend closer to the street than the primary wall facing the street as shown in architectural plans.
  - G. Side elevations shall include multiple windows and design elements that provide visual interest.

- g. **Landscaping and Screening.** All landscaping shall meet the requirements of the then current Zoning Code and the Gateways & Corridors Plan unless modified herein.
- (1) All street and shade tree plantings shall meet the requirements and approval process of the Zoning Code unless modified in this text.
  - (2) Street trees shall be a minimum of 1.75 caliper inches as measured at breast height at the time of installation.
  - (3) Along Mill Run Crossing, the revised buffer shall consist of an earth mound between 4 to 6 feet high as measured from the finish floor elevation of the adjacent buildings with a mix of deciduous and coniferous plants providing, at the time of installation, a minimum 60% year round opacity and landscaping height of no less than 10 feet shall be provided. Such landscaping plan shall provide an aesthetic and safety buffer for the yard area of the adjacent apartment buildings while maintaining an aesthetic and consistent buffer along Mill Run Crossing.
  - (4) Along the railroad tracks, an earth mound, no less than 4 feet in height as measured from the proposed finish grade elevations of the adjacent dwelling with a mix of deciduous and coniferous plantings providing, at the time of installation, a minimum 60% year round opacity at a combined mound and landscaping height of no less than 10 feet shall be provided.
  - (5) Along Glenn Road an earth mound no less than 6 feet in height as measured from the proposed finish floor elevation of the adjacent dwelling with a mix of deciduous and coniferous plantings providing, at the time of installation, a minimum 60% year round opacity at a combined mound and landscaping height of no less than 12 feet shall be provided as approved on the Final Development Plan.
  - (6) Along the property known as the Nutter property an undulating earth mound no less than 6 feet in height as measured from the proposed finish floor elevation of the adjacent dwelling with a mix of deciduous and coniferous plantings providing, at the time of installation, a minimum 60% year round opacity at a combined mound and landscaping height of no less than 12 feet shall be provided as approved on the Final Development Plan.
  - (7) A typical landscaping plan for each apartment building and/or street shall be submitted and approved with the Final Development Plan. This typical landscaping shall set forth the minimum amount of required landscaping for each apartment building and/or street at the time of building of each structure prior to the issuance of a Certificate of Occupancy.
  - (8) Ground mounted equipment shall be screened from view using plant materials providing 100% year round opacity. Air conditioning units shall be located in manner that minimizes the view from the private streets and the public right-of-way.
  - (9) The landscape plans shall be reviewed and approved by the City Shade Tree Commission.
  - (10) All landscaping shall be maintained and/or reinstalled as required by the City in perpetuity by the developer.

- h. **Pedestrian Connectivity.** Pedestrian connectivity will be provided throughout the sub-area with stub connections to other sub-areas and future development. Concrete sidewalks, 5 feet in width, and/or multi-use paths shall be provided as shown on approved Final Development Plan. Where a multi-use path takes the place of a required public sidewalk, asphalt multi-use paths a minimum 10 feet wide shall be provided.
- i. **Open Spaces.** Open spaces shall be landscaped and designed in a manner consistent with the overall development. Landscaping and design plans for all open spaces shall be submitted and approved with the Final Development Plan and include, at a minimum, the following:
  - (1) Sidewalks or multi-use paths shall be provided throughout the open space to link the amenities of the open space to the adjacent private street and provide active recreation throughout. Path network shall provide connections to the existing public sidewalk along Mill Run Crossing, to future Glenn Road improvements and to the City Wetland Park.
  - (2) Amenities such as benches, gazebos, community gardens, active gathering places or other such features shall be required in the open spaces.
  - (3) All open spaces shall be constructed with the respective phase in which the open space is located. Landscaping shall be installed at the first time of year in which it is appropriate to install such plant material provided the acceptance of public improvements occurs during an inappropriate time for planting.
  - (4) A split rail wood fence shall be installed between the City Wetland Park and subject development. The fence shall be privately maintained and/or reinstalled as required by the City in perpetuity by the developer. The fence location and specification shall be submitted and approved on the Final Development Plan.
- j. **Entry Features and Signs.** With the Final Development Plan, a comprehensive entry feature with landscaping and signage plan shall be submitted. All signs shall be designed and located in a manner that is appropriate and consistent with the overall design of the sub-area. Internally illuminated signs are prohibited.
- k. **Lighting.** Site and building lighting shall achieve compliance with the minimum zoning code requirements. Light poles and fixtures shall be decorative in style and be maintained by the apartment complex management. No lighting fixture shall be mounted higher than the adjacent apartment building height or subject to Final Development Plan approval. All ground mounted accent lighting shall be hidden in landscaping and directed in a manner that does not affect visibility.
- l. **Refuse Collection Services** - The apartment complex shall be serviced by City provided tip carts for each individual apartment. The details of the service would have to be negotiated with the City Public Works Department.
- m. **Leasing Office/Maintenance.** The apartment complex management shall provide 24 hour/seven day a week on site maintenance and security service.

- n. **Private Street Requirements.** The interior streets shall be private but would have to be constructed to public standards as approved by the City Engineer. The proposed street would be 24 feet wide with the pavement inverted to the centerline for drainage. The concrete typical street section is illustrated below but subject to final approval by the City Engineer:

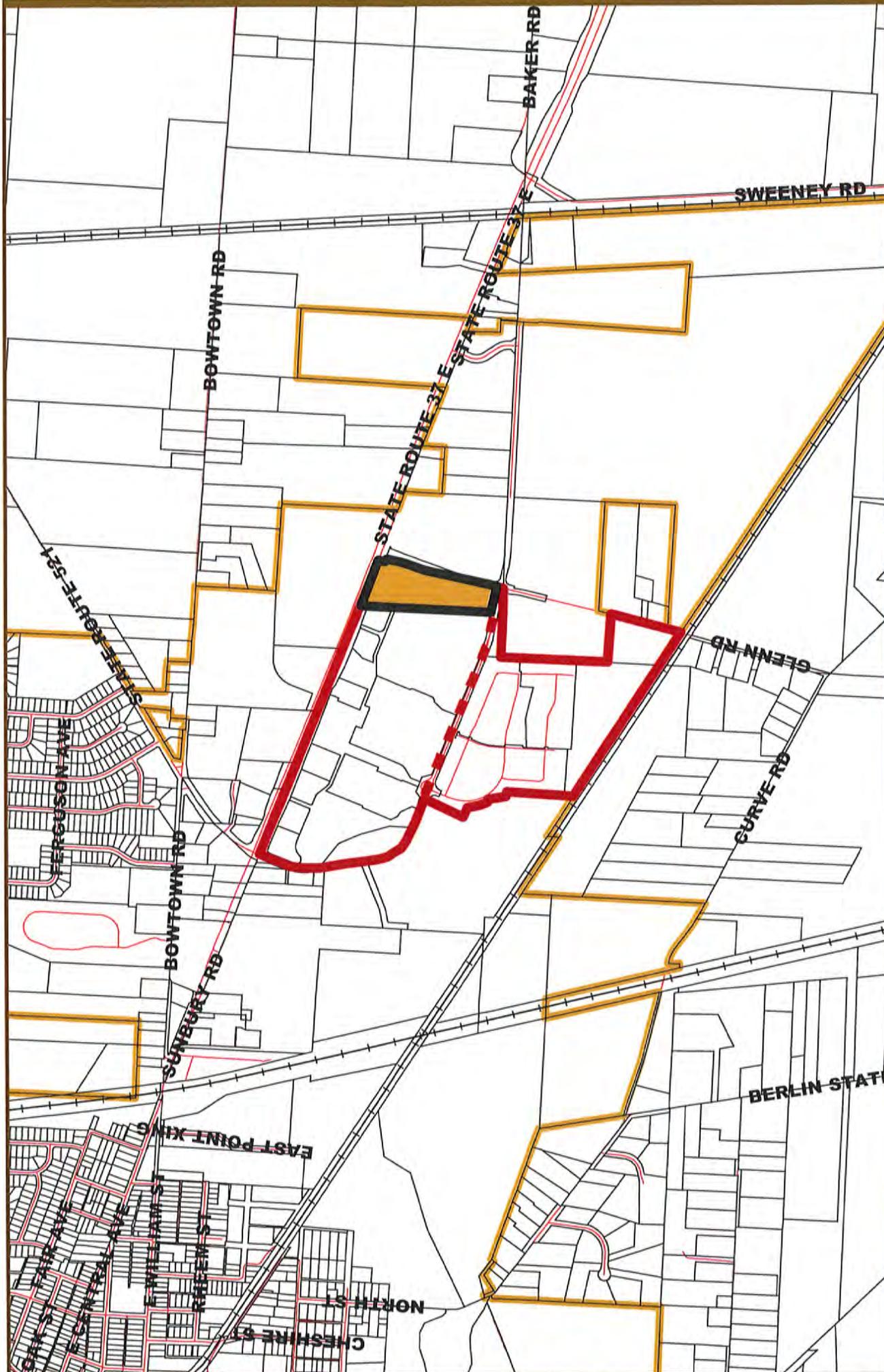


**CONCRETE TYPICAL SECTION**

NOT TO SCALE

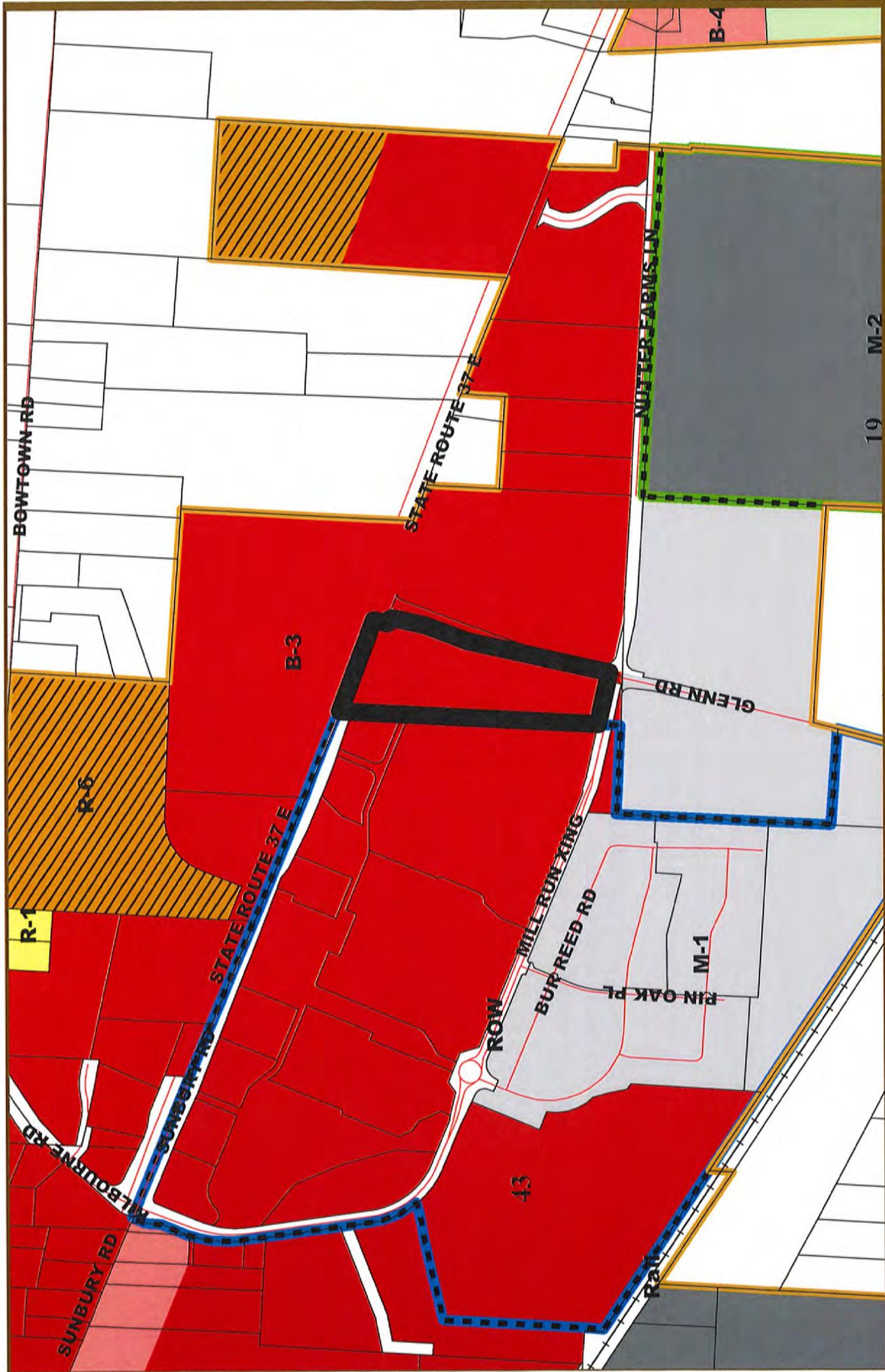
- NO. 8 OR NO. 57 AGGREGATE
- ITEM 605 - 4" UNDERDRAIN
- ITEM 204 - SUBGRADE COMPACTION
- SEE CONCRETE WEDGE CURB DETAIL (THIS SHEET)
- ITEM 452 - 7" PORTLAND CEMENT CONCRETE PAVEMENT
- ITEM 304 - 3" AGGREGATE BASE

- o. **Utilities.** The water and sewer lines within the development are to be private but would have to be approved by the City Engineer pertaining to locations, details and specifications.
- p. **Construction Phases.** The development is to be divided into three phases with construction proposed upon market conditions. Phase I would be located in the northwest quadrant of the site with two access points from Mill Run Crossing and would consist of 94 apartment units in 19 buildings. Phase II would be located in the northeast quadrant of the site utilizing the existing access points from Mill Run Crossing and would consist of 137 apartment units in 27 buildings. Phase III would be located south of the farm ditch with a new access point from Glenn Road and would consist of 109 apartment units in 22 buildings.
- q. **School Districts.** The developer shall attempt to conform the two school district boundary's the subject development is located within into one school district for the entire development.



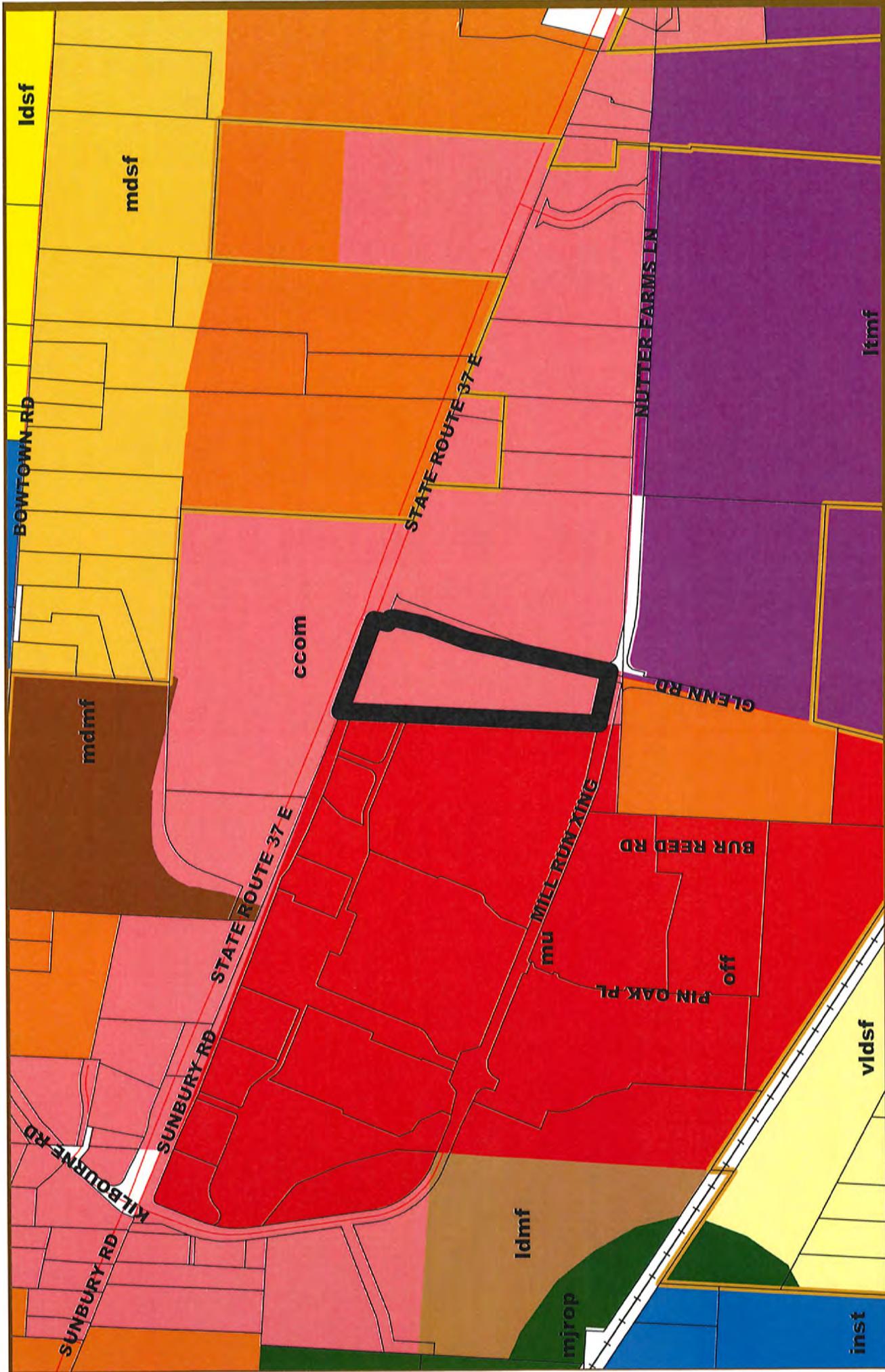
2018-0442-0445  
 Rezoning Amendment, Conditional Use Permit, Amended  
 Preliminary Development Plan, and Comprehensive Plan Amendment  
 Greenwood Commons Shopping Center - Parcels 11, 12, and 5  
 Location Map





2018-0442-0445  
 Rezoning Amendment, Conditional Use Permit, Amended  
 Preliminary Development Plan, and Comprehensive Plan Amendment  
 Glenwood Commons Shopping Center - Parcels 11, 12, and 5  
 Zoning Map





2018-0442-0445  
 Rezoning Amendment, Conditional Use Permit, Amended  
 Preliminary Development Plan, and Comprehensive Plan Amendment  
 Glennwood Commons Shopping Center - Parcels 11, 12, and 5  
 Comprehensive Plan Map





2018-0442-0445  
Rezoning Amendment, Conditional Use Permit, Amended  
Preliminary Development Plan, and Comprehensive Plan Amendment  
Glennwood Commons Shopping Center - Parcels 11, 12, and 5  
Aerial (2016) Map







**ZONING EXHIBIT**  
 FARM LOT 18, QUARTER TOWNSHIP 3, TOWNSHIP 5, RANGE 18  
 UNITED STATES MILITARY LANDS  
 CITY OF DELAWARE, COUNTY OF DELAWARE, STATE OF OHIO

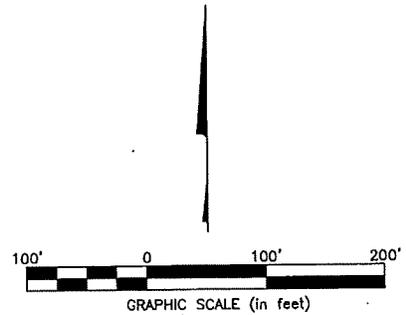
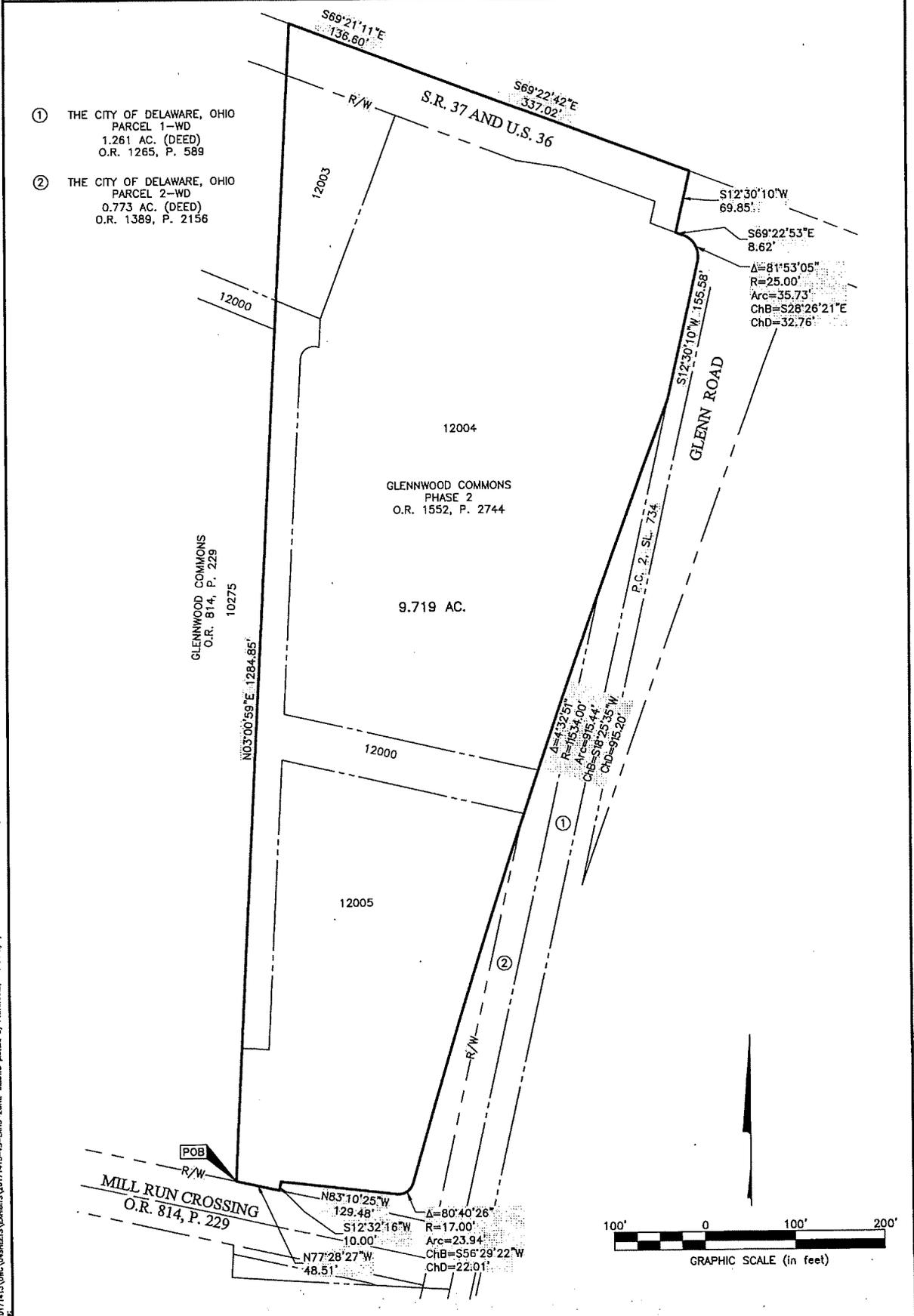
Date: February 7, 2018

Job No: 2017-1413

Scale: 1" = 100'

- ① THE CITY OF DELAWARE, OHIO  
 PARCEL 1-WD  
 1.261 AC. (DEED)  
 O.R. 1265, P. 589
- ② THE CITY OF DELAWARE, OHIO  
 PARCEL 2-WD  
 0.773 AC. (DEED)  
 O.R. 1389, P. 2156

2/20/2018 11:43 AM GIS/ENGINEER/EXHIBITS/20171413-VS-EXHB-ZONE-02.DWG plotted by PRR/MS/MSD, LAL on 2/7/2018 1:03:31 PM last saved by PRR/MS/MSD on 2/7/2018 10:12:23 PM



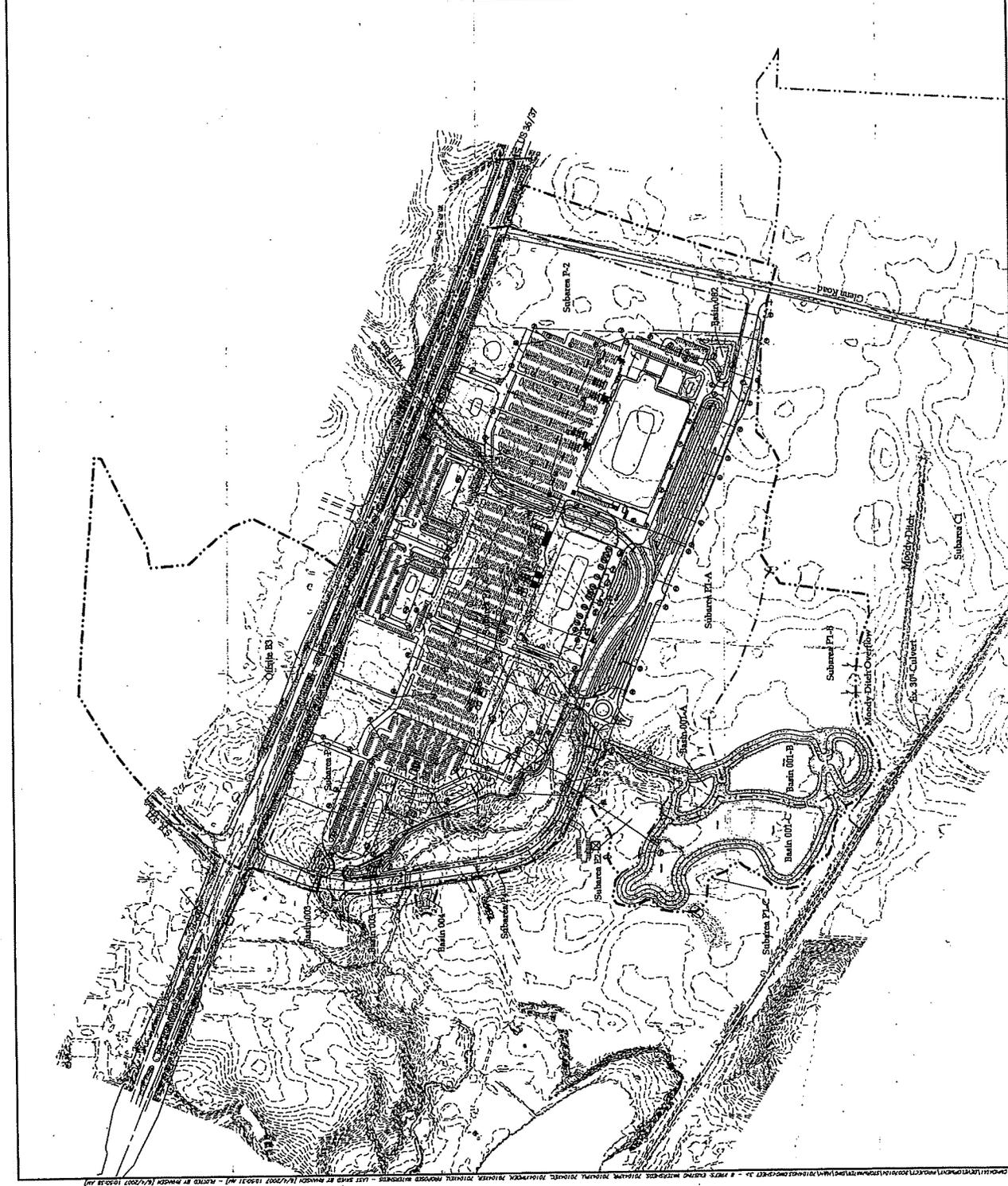








- Subarea P-1A  
Area = 67.65 Acres  
RCA = 33  
TC = 0.03 hrs
  - Subarea P-1B  
Area = 1.77 Acres  
RCA = 30  
TC = 0.03 hrs
  - Subarea P-1C  
Area = 5.02 Acres  
RCA = 30  
TC = 0.03 hrs
  - Subarea P-2  
Area = 1.27 Acres  
RCA = 34  
TC = 0.03 hrs
  - Subarea P-3  
Area = 12.86 Acres  
RCA = 34  
TC = 0.03 hrs
  - Subarea P-4  
Area = 1.00 Acres  
RCA = 30  
TC = 0.03 hrs
  - Subarea P-5  
Area = 20.79 Acres  
RCA = 37  
TC = 0.03 hrs
  - Subarea P-6  
Area = 1.00 Acres  
RCA = 30  
TC = 0.03 hrs
  - Subarea P-7  
Area = 1.00 Acres  
RCA = 30  
TC = 0.03 hrs
  - Subarea P-8  
Area = 1.00 Acres  
RCA = 30  
TC = 0.03 hrs
- Note: See Sheet 7 for Flood Details.





Engineers, Surveyors, Planners, Scientists

## MEMO

**Date:** January 26, 2018  
**To:** Dave Efland, AICP - City of Delaware  
**From:** Doug Turney, PE, CFM, LEED AP  
**Subject:** Glennwood Commons – Nutter Parcel  
**Copies:** Patricia Brown, PE

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The following narrative has been provided to explain the stormwater management associated with the Glennwood Commons - Nutter Parcel in the City of Delaware, Ohio. The site is located south of US36/SR37 and west of Glenn Road.

The site currently discharges to existing storm sewer and an existing detention basin (002) designed for the storm plan for the Glennwood Commons Development. Runoff from the proposed site will be conveyed through onsite storm sewer before discharging to the aforementioned basin. The Stormwater Management Plan for Glennwood Commons, prepared and revised by EMHT in 2007, took into account the proposed Nutter Parcel project area into the detention and water quality calculations therefore no additional water quality or quantity treatment will be required. A copy of the Pre and Post-Developed Tributary Area Maps respective to the above referenced stormwater management plan can be found within Attachment A.

As can be seen on the Pre and Post-Development Tributary Area Maps, composite Runoff Curve Numbers of 80 and 94 were used for the pre-developed and post-developed condition, respectively. The proposed Nutter Parcel site is proposed as a Planned Mixed Use development which is constant with the post development Runoff Curve Number of 94 in the referenced exhibits.

The water quality calculations and drawdown within the above referenced report also took into the account the proposed Nutter Parcel site and water quality for the entire tributary area to the basin is achieved by the outlet structure within Basin 001.

The revised stormwater management plan for the Glennwood Commons Development took into account the proposed Nutter Parcel development. The stormwater management detention and water quality for the Nutter Parcel should be re-verified during final engineering to ensure the site meets all the requirements for detention and water quality as set forth by the City of Delaware and the Ohio EPA.

## ATTACHMENTS

A- Pre-Developed Tributary Area Map and Post-Developed Tributary Area Map

## 9.719 ACRES

Situated in the State of Ohio, County of Delaware, City of Delaware, in Farm Lot 18, Quarter Township 3, Township 5, Range 18, United States Military Lands, being comprised of part of Lots 12000 and 12003, all of Lots 12004 and 12005, and part of the right of way of State Route 37/U.S. Route 36, all being part of the subdivision entitled "Glenwood Commons Phase 2", of record in Official Record 1552, Page 2744 (all references are to the records of the Recorder's Office, Delaware County, Ohio) and more particularly bounded and described as follows:

BEGINNING at the southwesterly corner of said Lot 12005, in the northerly right of way line of Mill Run Crossing, the southeasterly corner of Lot 10275 of the subdivision entitled "Glennwood Commons", of record in Official Record 814, Page 229;

Thence North  $03^{\circ} 00' 59''$  East, partly with the easterly line of said Lot 10275, partly crossing said Lots 12000 and 12003, and partly crossing said S.R. 37/ U.S. 36, a distance of 1284.85 feet to a point in the centerline of said S.R. 37/U.S. 36;

Thence South  $69^{\circ} 21' 11''$  East, with said centerline, a distance of 136.60 feet to a point;

Thence South  $69^{\circ} 22' 42''$  East, with said centerline, a distance of 337.02 feet to a point in the westerly right of way line of Glenn Road;

Thence with said westerly right of way line the following courses and distances:

South  $12^{\circ} 30' 10''$  West, a distance of 69.85 feet to a point;

South  $69^{\circ} 22' 53''$  East, a distance of 8.62 feet to a point of curvature to the right;

With the arc of said curve, having a central angle of  $81^{\circ} 53' 03''$ , a radius of 25.00 feet, an arc length of 35.73 feet, a chord bearing of South  $28^{\circ} 26' 21''$  East and chord distance of 32.76 feet to a point;

South  $12^{\circ} 30' 10''$  West, a distance of 155.58 feet to a point of curvature to the left;

With the arc of said curve, having a central angle of  $04^{\circ} 32' 51''$ , a radius of 11534.00 feet, an arc length of 915.44 feet, a chord bearing of South  $18^{\circ} 25' 35''$  West and chord distance of 915.20 feet to a point of reverse curvature; and

With the arc of said curve, having a central angle of  $80^{\circ} 40' 26''$ , a radius of 17.00 feet, an arc length of 23.94 feet, a chord bearing of South  $56^{\circ} 29' 22''$  West and chord distance of 22.01 feet to a point in the northerly right of way line of said Mill Run Crossing;

Thence with said northerly right of way line the following courses and distances:

North  $83^{\circ} 10' 25''$  West, a distance of 129.48 feet to a point;

South  $12^{\circ} 32' 16''$  West, a distance of 10.00 feet to a point; and

North  $77^{\circ} 28' 27''$  West, a distance of 48.51 feet to the POINT OF BEGINNING, containing 9.719 acres of land, more or less.

This description is to be used for zoning purposes only, not for transfer.

**82.910 ACRES**

Situated in the State of Ohio, County of Delaware, City of Delaware, in Farm Lot 18, Quarter Township 3, Township 5, Range 18, and Farm Lots 28 and 29, Quarter Township 4, Township 5, Range 19, United States Military Lands, being comprised of Lots 10269 through 10279 and 10281 of the subdivision entitled "Glenwood Commons", of record in Official Record 814, Page 229, that 10.344 acre tract conveyed to Zarcal Delaware LLC by deed of record in Official Record 1017, Page 2303, that 1.500 acre tract conveyed to The Huntington National Bank by deed of record in Official Record 1345, Page 1810 (all references are to the records of the Recorder's Office, Delaware County, Ohio) and more particularly bounded and described as follows:

BEGINNING at the northwesterly corner of said 10.344 acre tract in the centerline of State Route 37 and U.S. 36;

Thence South 69° 21' 11" East, with said centerline, a distance of 136.60 feet to a point;

Thence South 69° 22' 42" East, with said centerline, a distance of 337.02 feet to a point in the westerly right of way line of Glenn Road;

Thence with said westerly right of way line the following courses and distances:

South 12° 30' 10" West, a distance of 69.85 feet to a point;

South 69° 22' 53" East, a distance of 8.62 feet to a point of curvature to the right;

With the arc of said curve, having a central angle of 81° 53' 03", a radius of 25.00 feet, an arc length of 35.73 feet, a chord bearing of South 28° 26' 21" East and chord distance of 32.76 feet to a point;

South 12° 30' 10" West, a distance of 155.58 feet to a point of curvature to the left;

With the arc of said curve, having a central angle of 04° 32' 51", a radius of 11534.00 feet, an arc length of 915.44 feet, a chord bearing of South 18° 25' 35" West and chord distance of 915.20 feet to a point of reverse curvature; and

With the arc of said curve, having a central angle of 80° 40' 26", a radius of 17.00 feet, an arc length of 23.94 feet, a chord bearing of South 56° 29' 22" West and chord distance of 22.01 feet to a point in the northerly right of way line of Mill Run Crossing;

Thence with said northerly right of way line the following courses and distances:

North 83° 10' 25" West, a distance of 129.48 feet to a point;

South 12° 32' 16" West, a distance of 10.00 feet to a point;

North 77° 28' 27" West, a distance of 293.91 feet to a point of curvature to the right;

With the arc of said curve, having a central angle of 09° 42' 20", a radius of 460.94 feet, an arc length of 78.08 feet, a chord bearing of North 72° 18' 50" West and chord distance of 77.99 feet to a point;

South 67° 32' 41" West, a distance of 14.14 feet to a point;

North 67° 27' 19" West, a distance of 1367.56 feet to a point;

North 15° 58' 51" West, a distance of 98.79 feet to a point;

North 67° 27' 19" West, a distance of 157.43 feet to a point;

South 54° 58' 47" West, a distance of 62.20 feet to a point;

North 77° 18' 48" West, a distance of 144.84 feet to a point;

North 67° 27' 19" West, a distance of 224.20 feet to a point of curvature to the right;



**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**



Project # \_\_\_\_\_ Case # \_\_\_\_\_

Planning Commission

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Amended Final Development Plan                  | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use             |
| <input type="checkbox"/> Amended Final Subdivision Plat                  | <input type="checkbox"/> Final Subdivision Plat           | <input type="checkbox"/> Vacation-Alley                                   |
| <input checked="" type="checkbox"/> Amended Preliminary Development Plan | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement                                |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat            | <input type="checkbox"/> Floodplain Permit                | <input type="checkbox"/> Vacation-Street                                  |
| <input type="checkbox"/> Annexation Review                               | <input type="checkbox"/> Lot Split                        | <b>Board of Zoning Appeals</b>  |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan   | <input type="checkbox"/> Pre-annexation Agreement         | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input checked="" type="checkbox"/> Comprehensive Plan Amendment         | <input type="checkbox"/> Preliminary Development Plan     | <input type="checkbox"/> Conditional Use Permit                           |
| <input type="checkbox"/> Concept Plan                                    | <input type="checkbox"/> Preliminary Dev Plan Extension   | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input checked="" type="checkbox"/> Conditional Use Permit               | <input type="checkbox"/> Preliminary Sub Plat             | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Determination of Similar Use                    | <input type="checkbox"/> Preliminary Sub Plat Extension   |   |
| <input type="checkbox"/> Development Plan Exemption                      | <input checked="" type="checkbox"/> Rezoning              |   |
| <input type="checkbox"/> Final Development Plan                          | <input type="checkbox"/> Subdivision Variance             |   |

Subdivision/Project Name Glennwood Commons Address State Route 37 E Delaware Ohio  
 Acreage 9.7 Square Footage \_\_\_\_\_ Number of Lots 3 Number of Units Commercial/Retail  
 Zoning District/Land Use B-3 Proposed Zoning/Land Use B-3 PMU Parcel # 51830001105001

Applicant Name Zaremba Group, LLC Contact Person Christopher Herzner  
 Applicant Address 14600 Detroit Avenue, Suite 1500 Lakewood, Ohio 44107  
 Phone (216) 221-6170 Fax (216) 221-1031 E-mail CHerzner@zarembagroup.com  
 Owner Name Zarcal Delaware, LLC Contact Person Christopher Herzner  
 Owner Address 14600 Detroit Avenue, Suite 1500 Lakewood, Ohio 44107  
 Phone (216) 221-6170 Fax (216) 221-1031 E-mail CHerzner@zarembagroup.com  
 Engineer/Architect/Attorney EMH&T Contact Person Jeffrey A. Strung  
 Address 5400 New Albany Road, Columbus, Ohio 43051  
 Phone (614) 775-4700 Fax \_\_\_\_\_ E-mail jstrung@emht.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

[Signature]  
 Owner Signature  
[Signature]  
 Agent Signature

Al Solina  
 Owner Printed Name  
Jeffrey A. Strung  
 Agent Printed Name

Sworn to before me and subscribed in my presence this 24th day of February, 2018.



**DORIS E. ARDO**  
 NOTARY PUBLIC  
 STATE OF OHIO  
 Comm. Expires  
**October 31, 2018**  
 Recorded in  
**Medina County**

[Signature]  
 Notary Public

CASE NUMBERS: 2018-0447-0448

REQUEST: Multiple Requests

PROJECT: Communities at Glenross – Section 15

MEETING DATE: April 4, 2018

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**APPLICANT/OWNER**

Pulte Homes  
4900 Tuttle Crossing Boulevard  
Dublin, Ohio 43016

**REQUEST**

2018-0447 A request by Pulte Homes for approval of a Final Development Plan for the Communities at Glenross Section 15 for 52 single family lots on 23.835 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located south of Cheshire Road and east of Winterbourne Drive on Marble Slab Road, Winter Shadow Loop and Bald Eagle Drive.

2018-0448 A request by Pulte Homes for approval of a Final Subdivision Plat for the Communities at Glenross Section 15 for 52 single family lots on 23.835 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located south of Cheshire Road and east of Winterbourne Drive on Marble Slab Road, Winter Shadow Loop and Bald Eagle Drive.

**PROPERTY LOCATION & DESCRIPTION**

The subject property is located on the south side of Cheshire Road east of Winterbourne Drive and just west of the railroad tracks. The subject site is zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District). The properties to the north, south and west are zoned R-2 PMU while the property to the east across the railroad tracks is the township.

**BACKGROUND**

This project has an extensive zoning history that dates back to 2006 but the most recent significant action that pertains to the development south of Cheshire Road occurred in August 2016. At that time, City Council approved an amendment to the Zoning and Development Text, an amendment to the Preliminary Development Plan and an amendment to the Preliminary Subdivision Plat for the Communities at Glenross. The Final Development Plan and Plat for Sections 11 and 12 were approved in 2017.

Now the developer is requesting a Final Development Plan and Final Subdivision Plat for Section 15 which consists of 52 single family lots on 23.835 acres.

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**STAFF ANALYSIS**

- **ZONING:** As mentioned above, the zoning for the subject site is R-2 PMU which has a specific development plan and text for the subject development. From a procedural perspective, Final Development Plans and Final Subdivision Plats would need to be reviewed and approved by the Planning Commission and City Council for each section.
- **DEVELOPMENT TEXT:** The development text sets forth development standards for the residential development which has specific development text for the entire development pertaining to permitted uses, density, lot size, minimum dwelling size, building setbacks, landscaping, lighting, architectural elevations, etc. Section 15 is in Sub-Area IB of the approved Preliminary Development Plan and Preliminary Subdivision Plat. The development plan and text is sensitive to the existing residential surroundings while providing an appropriate transition to a very active pair of railroad tracks.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **UTILITIES:** The site would be serviced by City sanitary sewer (SE Highland trunk sewer) and water that would have to be extended by the developer from the existing development. An overall storm water master plan for the remainder of the development is required per the City Engineer. In addition, all retention ponds should be setback a minimum of 80 feet from the edge of pavement for roads per the City Engineer. Because the retention pond is less than 80 feet from Winterborne Drive, Marble Slab Road and Winter Shadow Loop,

a safety barrier adjacent to the retention pond on these streets shall be installed per the City Engineer. Also, a sanitary easement shall be provided for a future sanitary service to the current county residential lot along Cheshire Road (currently Vance property) located off the northeast corner of the site.

- **ROADS AND ACCESS:** Section 15 is located south of Cheshire Road and would be accessed from Winterbourne Drive which is the main north/south spine road for Sections 11-22 located south of Cheshire Road. Marble Slab Road extends east into the subject section while connecting with Winter Shadow Loop, Bald Eagle Drive and Cardinal Point Drive composing the roadway network in Section 15. An emergency access point from Cheshire Road to Winter Shadow Loop is proposed just east of the retention pond. This drive is intended to be removed with development of subsequent sections of Communities at Glenross that shall provide, at the time of those future section improvements and as approved by the city, alternative secondary means of emergency access to this section. The emergency drive, which may be constructed out of gravel as approved by the city given its temporary nature and restricted use for emergency vehicles only, shall be a minimum of 12 feet wide with a concrete apron approach at Cheshire Road. All the streets are public and would have sidewalks on both sides of the street.
- **PEDESTRIAN CONNECTIVITY:** The pedestrian connectivity plan identifies a bike path along Winterbourne Drive through the subject section that would connect into the City network per the approved Preliminary Development Plan. Also sidewalks would be required on both sides of the public streets.
- **LOT LAYOUT & SIZE:** As mentioned above, the main entrance into Section 15 is located just south of Cheshire Road on the east side of Winterbourne Drive. The looped double loaded streets in Section 15 with lots in a typical subdivision design extends south into Sections 16 and 19 then connects back into Winterbourne Drive in Section 18. Per the approved development text, the subject lots in Sections 15 would be a minimum lot area of 8,450 square feet with minimum 65 feet lot widths and 130 feet lot depths. The front yard setback would be 25 feet, the rear yard setback would be 30 feet and the side yard setback would be 20% of the lot width (not less than 6 feet) with a minimum house size of 1,600 square feet for a single story dwelling and 1,800 square feet for a multi-story dwelling. Also, all the corner lots achieve compliance with the oversized corner lot requirements in the zoning code. An approximate 6.9 acre reserve area buffers the subject section from Cheshire Road and Winterborne Drive that contains mounding, landscaping, a retention pond, a bike path and the aforementioned emergency access drive .
- **BUILDING DESIGN:** The design requirements for The Communities at Glenross south of Cheshire Road are based on the housing options in each Section and Sub-Area per the approved development text. The single family lots in Sections 15 would include (see enclosed development text for Sub-Area IB): 1.) At least 40% of the front façade elevation of each building (excluding garage doors, entrance doors, gutters, shutters, downspouts and windows) shall consist of natural materials, such as brick or stone. 2.) All vinyl siding shall have a minimum thickness of 0.044 inches; 3.) Gutters (and the material by which they are attached to the home), downspouts, soffits, shutters, garage and entrance doors may be of man-made materials such as metal, vinyl, aluminum or glass; 4.) No concrete or split face block shall be permitted, except for basement or foundation walls; 5.) The roofs of all homes shall have dimensional shingles. In addition, the homes shall achieve compliance with Residential Development Design Criteria and Performance Standards in Chapter 1171.08.
- **LANDSCAPING & SCREENING:** A comprehensive landscape plan has been submitted which includes street trees, mounding and landscaping along Cheshire Road and Winterbourne Drive. The Cheshire Road and Winterborne Drive buffering shall match the existing mounding and landscaping along these two respective roads. Per the approved Preliminary Development Plan and Preliminary Subdivision Plat, the reserve area just east of Section 15 (Section 21) requires mounding and landscaping adjacent to the railroad to buffer the adjacent subdivision sections. Staff recommends the installation of the required mounding and landscaping adjacent to Section 15 to buffer the houses that back up against the railroad tracks. The required mounding is to be 10-12 feet high mound with landscaping shall be installed with the site improvements for this section adjacent to the railroad tracks to be consistent with the mounding north of Cheshire Road per the approved Preliminary Development Plan. The landscape plans shall be reviewed and approved by the Shade Tree Commission.
- **OPEN SPACE/PARKLAND:** The Communities at Glenross Sections 11-22 has approximately 61.5 acres of open space (approximately 29.2%) in several reserve areas south of Cheshire Road. The single family

development in Section 15 has approximately 6.935 acres of passive open space/reserve area. The reserve area located along Cheshire Road and Winterborne Drive contains a retention pond, a bike path, an emergency access drive and mounding and landscaping.

From a macro perspective, the developer has a robust program of amenities on the 22.705 acres of open space in Sections 9 (approximately 5.6 acres) and 10 (approximately 17.1 acres) located just north of Cheshire Road east and west of the roundabout. The amenities in Section 9 include a large pool and restroom facility, a parking lot and retention pond. The amenities in Section 10 include approximately 7.5 acres of active parkland programmed with a tot lot, shelter house, basketball court, volleyball court and recreational fields while the remaining approximately 10.1 acres is a detention/retention basin next to the railroad tracks.

- **TREE PRESERVATION:** There do not appear to be any qualifying trees (6 inches in caliper or larger) that would be removed in Section 15 but if any are removed during the construction, the developer would have to achieve compliance with Chapter 1168 Tree Preservation Regulations.
- **LIGHTING PLAN:** A lighting plan would have to be submitted, reviewed and approved by the Chief Building Official and achieve compliance with the zoning code.
- **SIGNAGE:** The subdivision entrance sign on a stone column, a dry stack stone wall and a decorative three board fence with landscaping comprise the entrance features into this section located north and south Marble Slab Road at the Winterbourne Drive intersection. Also smaller directional subdivision wayfinding signage is located in this area, per the approved development wayfinding signage plan.
- **PHASING:** Per the approved Preliminary Subdivision Plat, Section 13 would be the next section to be developed within the subdivision. To ensure compliance with City emergency service requirements and because the sections south of Cheshire Road are being constructed out of the phase order proposed during the Preliminary Subdivision Plat approval, staff is recommending a temporary emergency access drive from Cheshire Road to Winter Shadow Loop in Section 15. This drive is intended to be removed with development of subsequent sections of Communities at Glenross that shall provide, at the time of those future section improvements and as approved by the city, alternative secondary means of emergency access to this section. Also with multiple Sub-Areas and many more development sections in the Communities at Glenross, it is important for reference and tracking purposes that the plans and plats for each section have appropriate nomenclature that correlates the sections to the applicable Zoning Sub-Areas. Therefore all plans and plats that reference a section or phase must include the Zoning Sub-Area name either in the title or some form approved by City Staff.

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**STAFF RECOMMENDATION – (2018-0447 FINAL DEVELOPMENT PLAN)**

Staff recommends approval of a request by Pulte Homes for a Final Development Plan for the Communities at Glenross Section 15 for 52 single family lots on 23.835 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located south of Cheshire Road and east of Winterbourne Drive on Marble Slab Road, Winter Shadow Loop and Bald Eagle Drive, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. A safety barrier adjacent to the retention pond along Winterbourne Drive, Marble Slab Road and Winter Shadow Loop shall be installed per the City Engineer.
3. A sanitary easement shall be provided for a potential sanitary service connection to the current county residential lot along Cheshire Road (currently Vance property) located just northeast of Section 15.
4. An emergency access point from Cheshire Road to Winter Shadow Loop shall be constructed just east of the retention pond in Section 15. As approved by the City Engineer, the emergency drive shall be a minimum of 12 feet wide with a concrete apron approach at Cheshire Road and which may be constructed out of gravel given its temporary nature and use by emergency vehicles only. It shall be removed and the area landscaped in accordance with the approved plans in the future when adequate alternative secondary emergency access is provided with future development sections as approved by the city.

5. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
6. The single family houses shall comply with the minimum architectural standards and house size in the approved development text and per applicable sections of the current zoning code.
7. The Cheshire Road and Winterbourne Drive buffering shall match the existing buffering in the The Glenross Golf Club and Communities at Glenross east of this development. The maintenance of the mound and associated landscaping shall be the responsibility of the Homeowner's Association. The subject plan shall be reviewed and approved by the Shade Tree Commission.
8. The mounding and buffering required adjacent to the railroad tracks and adjacent to this section shall be installed concurrent with the site improvements for this section. Future development sections shall continue this required mounding and buffering along the railroad tracks when brought forward for development. The maintenance of the mound and associated landscaping shall be the responsibility of the Homeowner's Association. The subject plan shall be reviewed and approved by the Shade Tree Commission.
9. A street tree plan shall be submitted and approved by the Shade Tree Commission.
10. The bike path along Winterbourne Drive shall be installed by the developer and located within an easement dedicated to the City and shall be maintained by the Homeowner's Association.
11. This section of the Communities at Glenross Subdivision is in the Delaware South New Community Authority, subject to a per dwelling unit additional transportation fee of \$1,000 per unit due at the time of building permit issuance, and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling unit.
12. All signage shall achieve compliance with the graphics and signage requirements in the development text and the previously approved wayfinding system and plan for the community.

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**STAFF RECOMMENDATION – (2018-0448 FINAL SUBDIVISION PLAT)**

Staff recommends approval of a request by Pulte Homes for a Final Subdivision Plat for the Communities at Glenross Section 15 for 52 single family lots on 23.835 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located south of Cheshire Road and east of Winterbourne Drive on Marble Slab Road, Winter Shadow Loop and Bald Eagle Drive, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. A safety barrier adjacent to the retention pond along Winterbourne Drive, Marble Slab Road and Winter Shadow Loop shall be installed per the City Engineer.
3. A sanitary easement shall be provided for a potential sanitary service connection to the current county residential lot along Cheshire Road (currently Vance property) located just northeast of Section 15.
4. An emergency access point from Cheshire Road to Winter Shadow Loop shall be constructed just east of the retention pond in Section 15. As approved by the City Engineer, the emergency drive shall be a minimum of 12 feet wide with a concrete apron approach at Cheshire Road and which may be constructed out of gravel given its temporary nature and use by emergency vehicles only. It shall be removed and the area landscaped in accordance with the approved plans in the future when adequate alternative secondary emergency access is provided with future development sections as approved by the city.
5. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
6. The single family houses shall comply with the minimum architectural standards and house size in the approved development text and per applicable sections of the current zoning code.
7. The Cheshire Road and Winterbourne Drive buffering shall match the existing buffering in the The Glenross Golf Club and Communities at Glenross east of this development. The maintenance of the

mound and associated landscaping shall be the responsibility of the Homeowner's Association. The subject plan shall be reviewed and approved by the Shade Tree Commission.

8. The mounding and buffering required adjacent to the railroad tracks and adjacent to this section shall be installed concurrent with the site improvements for this section. Future development sections shall continue this required mounding and buffering along the railroad tracks when brought forward for development. The maintenance of the mound and associated landscaping shall be the responsibility of the Homeowner's Association. The subject plan shall be reviewed and approved by the Shade Tree Commission.
9. A street tree plan shall be submitted and approved by the Shade Tree Commission.
10. The bike path along Winterbourne Drive shall be installed by the developer and located within an easement dedicated to the City and shall be maintained by the Homeowner's Association.
11. This section of the Communities at Glenross Subdivision is in the Delaware South New Community Authority, subject to a per dwelling unit additional transportation fee of \$1,000 per unit due at the time of building permit issuance, and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling unit.
12. All signage shall achieve compliance with the graphics and signage requirements in the development text and the previously approved wayfinding system and plan for the community.

**COMMISSION NOTES:**

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*MOTION:*      \_\_\_\_\_ *1<sup>st</sup>*      \_\_\_\_\_ *2<sup>nd</sup>*      *approved*      *denied*      *tabled* \_\_\_\_\_

*CONDITIONS/MISCELLANEOUS:*

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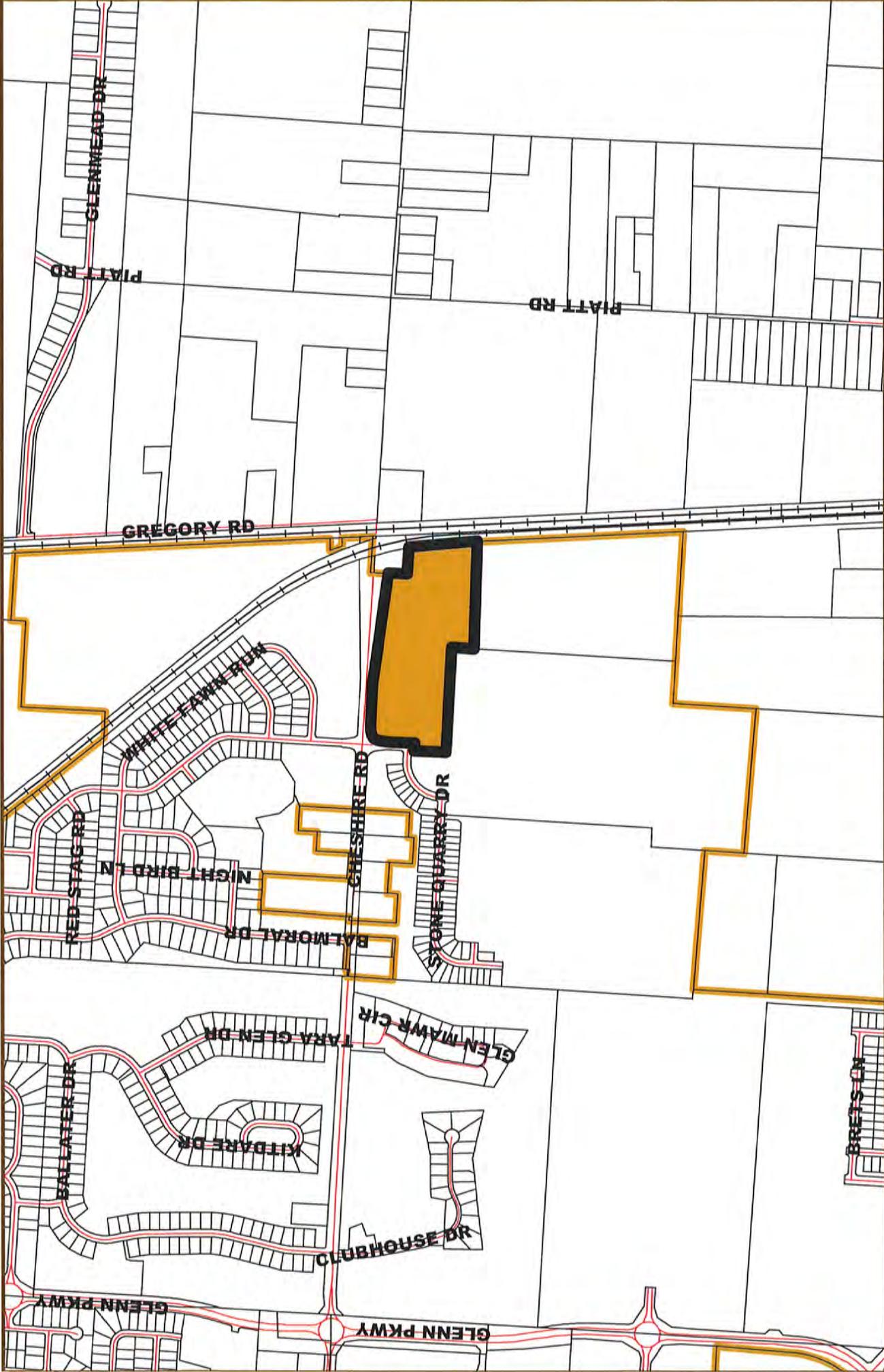


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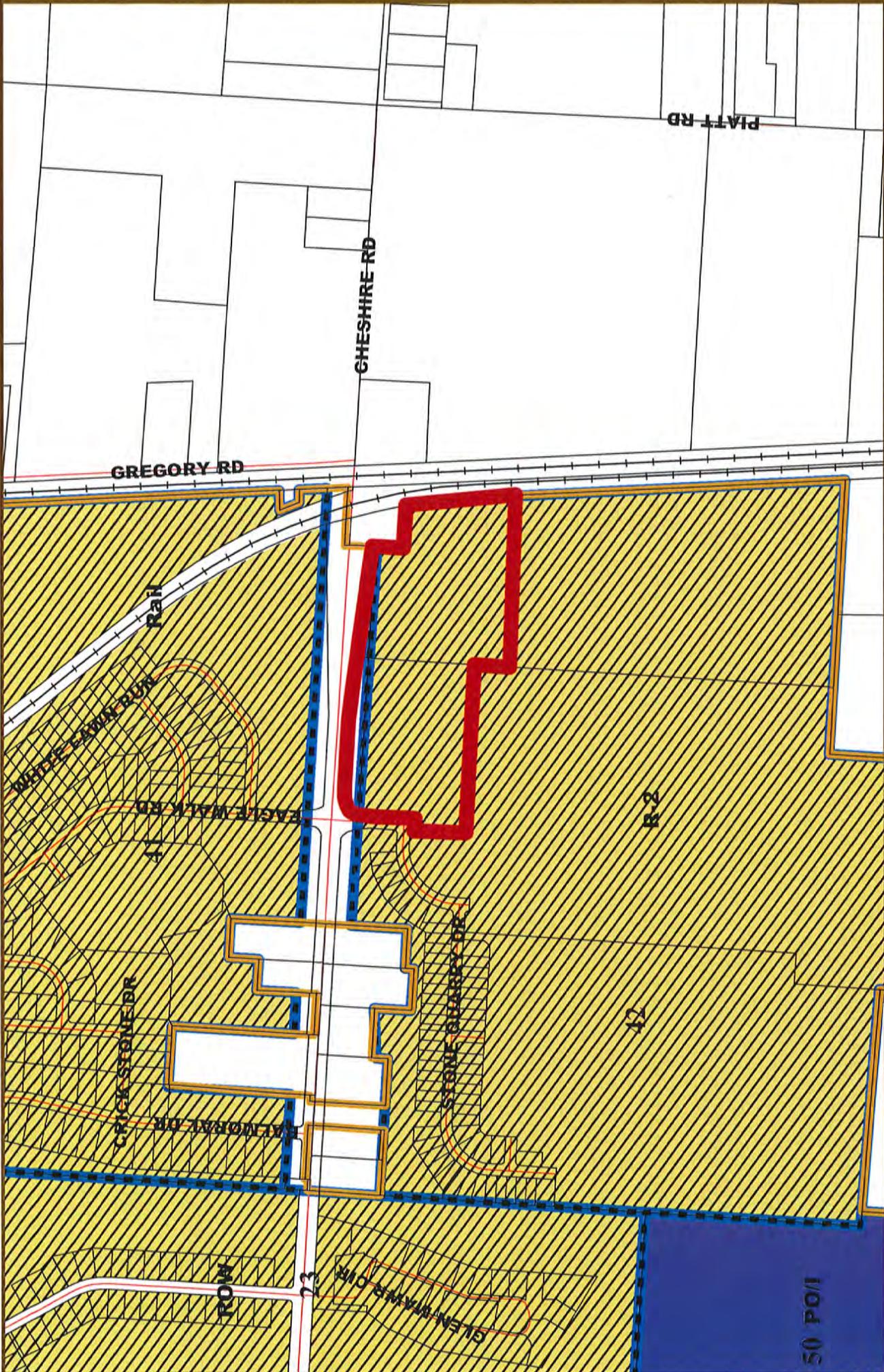
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**FILE:**  
**ORIGINAL:**      03/22/17  
**REVISED:**

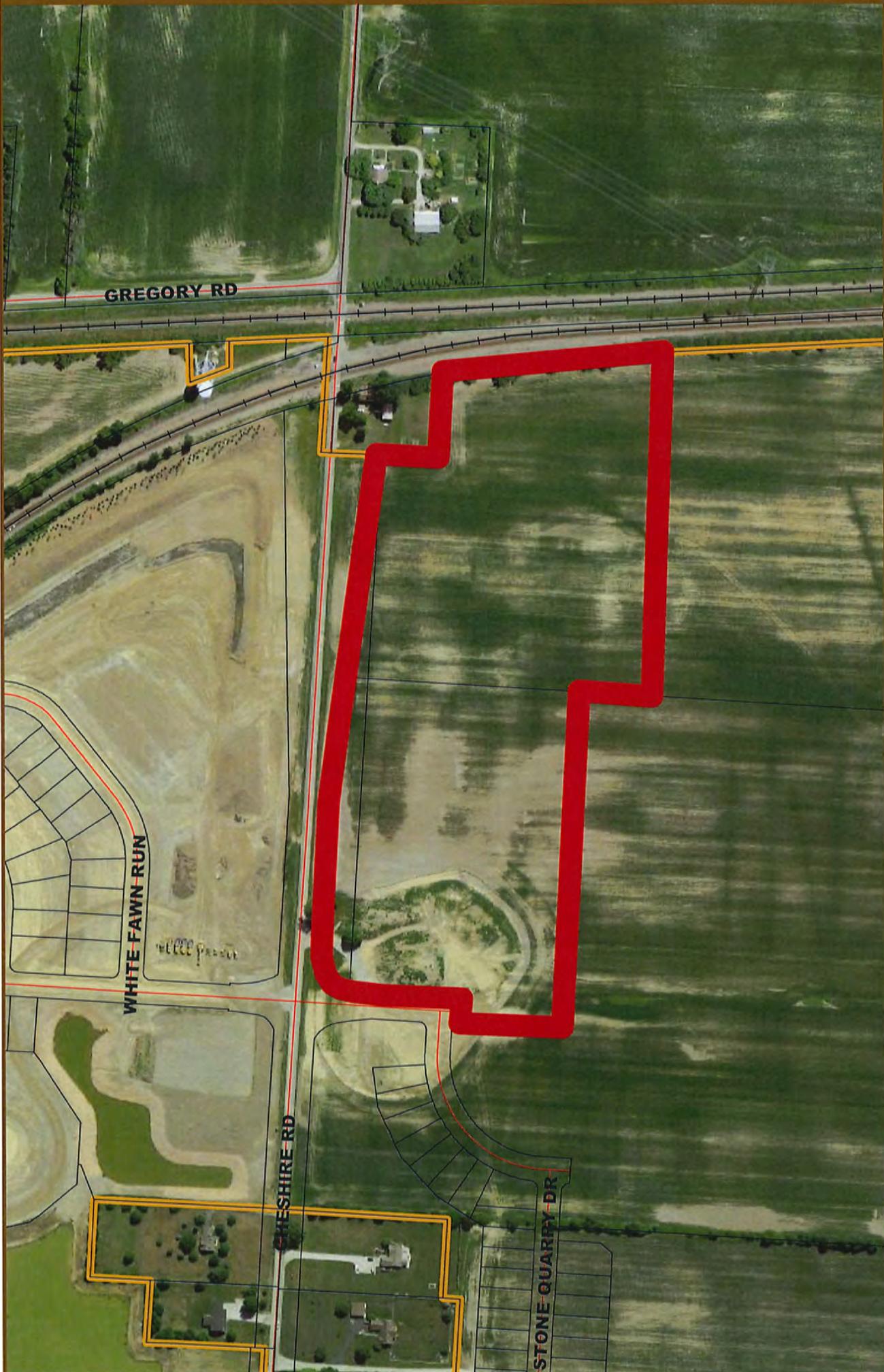


2018-0447-0448  
 Final Development Plan and Final Subdivision Plat  
 Communities at Glenross - Section 15  
 Location Map





2018-0447-0448  
 Final Development Plan and Final Subdivision Plat  
 Communities at Glenross - Section 15  
 Zoning Map

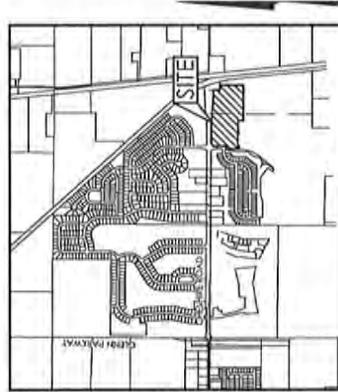


2018-0447-0448  
Final Development Plan and Final Subdivision Plat  
Communities at Glenross - Section 15  
Aerial (2016) Map





# COMMUNITIES AT GLENROSS SECTION 15



LOCATION MAP

1/2" = 1' AS SHOWN

PREPARED FOR:



475 METRO PLACE SOUTH, SUITE 200  
DUBLIN, OHIO 43017  
PH. 614-356-5833

SUBMITTAL: MARCH 7, 2018

CIVIL ENGINEER &  
LANDSCAPE ARCHITECT



EMHT  
Engineering & Architecture, Inc.  
Engineers • Architects • Planners • Scientists  
580 New Albany Road, Columbus, OH 43004  
Phone: 614-775-1000 Fax: 614-775-1340  
emht.com

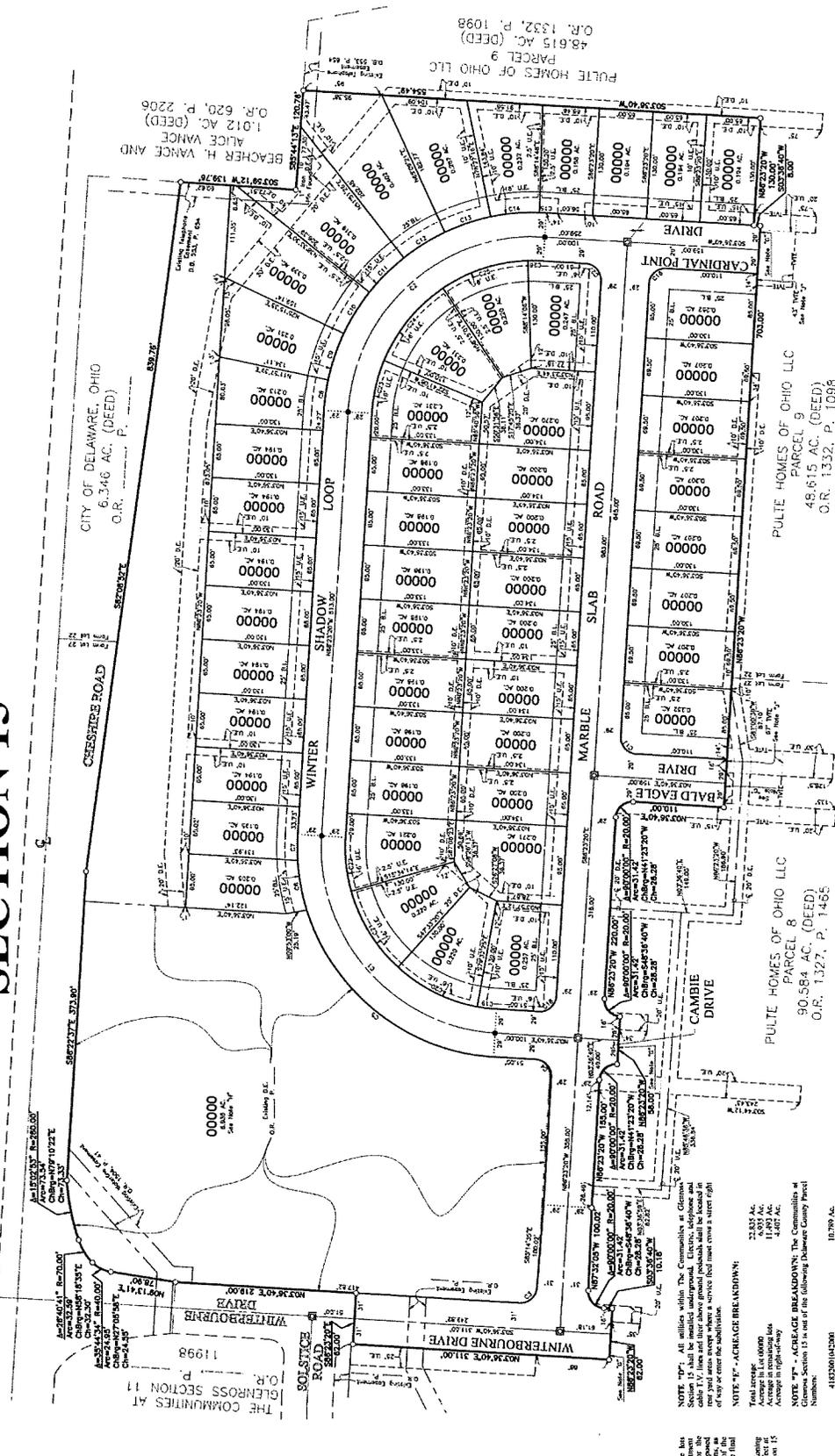
## INDEX OF DRAWINGS

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| SECTION 15                         |                 |
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| STREET LIGHTING PLAN:              | SHEET 4         |
| LANDSCAPE PLAN:                    | SHEET 5         |
| LANDSCAPE PLAN:                    | SHEET 6-1 & 6-2 |
| STREET TREE PLAN                   |                 |
| LANDSCAPE ENLARGEMENTS AND DETAILS |                 |



# THE COMMUNITIES AT GLENROSS SECTION 15

| CHUCK TABLE | CHUCK   | TABLE  | CHUCK  | TABLE | CHUCK   | TABLE  |
|-------------|---------|--------|--------|-------|---------|--------|
| C1          | 8000000 | 225.00 | 255.45 | 5     | 6839400 | 318.30 |
| C2          | 8000000 | 225.00 | 255.45 | 4     | 6839400 | 318.30 |
| C3          | 8000000 | 225.00 | 255.45 | 3     | 6839400 | 318.30 |
| C4          | 8000000 | 225.00 | 255.45 | 2     | 6839400 | 318.30 |
| C5          | 8000000 | 225.00 | 255.45 | 1     | 6839400 | 318.30 |
| C6          | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C7          | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C8          | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C9          | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C10         | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C11         | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C12         | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C13         | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C14         | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C15         | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C16         | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C17         | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C18         | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C19         | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C20         | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C21         | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C22         | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C23         | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C24         | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
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| C26         | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C27         | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C28         | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C29         | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |
| C30         | 8000000 | 225.00 | 255.45 | 0     | 6839400 | 318.30 |



**NOTE "A"**: Notice is hereby given to any holder of the plan that the City of Delaware, Ohio, is hereby granting a temporary easement for the installation and maintenance of utility lines and structures within the public right-of-way shown on this plan as necessary for the installation and maintenance of utility lines and structures within the public right-of-way shown on this plan. Existing record easements are shown on this plan. Existing record easements are shown on this plan. Existing record easements are shown on this plan.

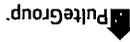
**NOTE "B"**: MINIMUM SETBACKS: City of Delaware Zoning Ordinance Section 15.01 in effect at the time of the plat. The minimum setbacks for the lots shown on this plan are as follows:

**NOTE "C"**: As per City of Delaware Zoning Code, all lots within the Communities at Glenross Section 15 are subject to the terms, conditions and restrictions of the special assessment district established by the City of Delaware Department of Planning and Community Development as of 2/15/2015.

**NOTE "D"**: At the time of platting, electric, cable, and telephone lines are shown on this plan as shown on this plan as shown on this plan. In addition to those shown on this plan, a record easement area, in addition to those shown on this plan, is shown on this plan. In addition to those shown on this plan, a record easement area, in addition to those shown on this plan, is shown on this plan. In addition to those shown on this plan, a record easement area, in addition to those shown on this plan, is shown on this plan.

**NOTE "E"**: TEMPORARY VEHICLE TURNAROUND: The City of Delaware, Ohio, is hereby granting a temporary easement for the installation and maintenance of utility lines and structures within the public right-of-way shown on this plan as necessary for the installation and maintenance of utility lines and structures within the public right-of-way shown on this plan. Existing record easements are shown on this plan. Existing record easements are shown on this plan. Existing record easements are shown on this plan.

| REVISIONS | DATE | DESCRIPTION |
|-----------|------|-------------|
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |



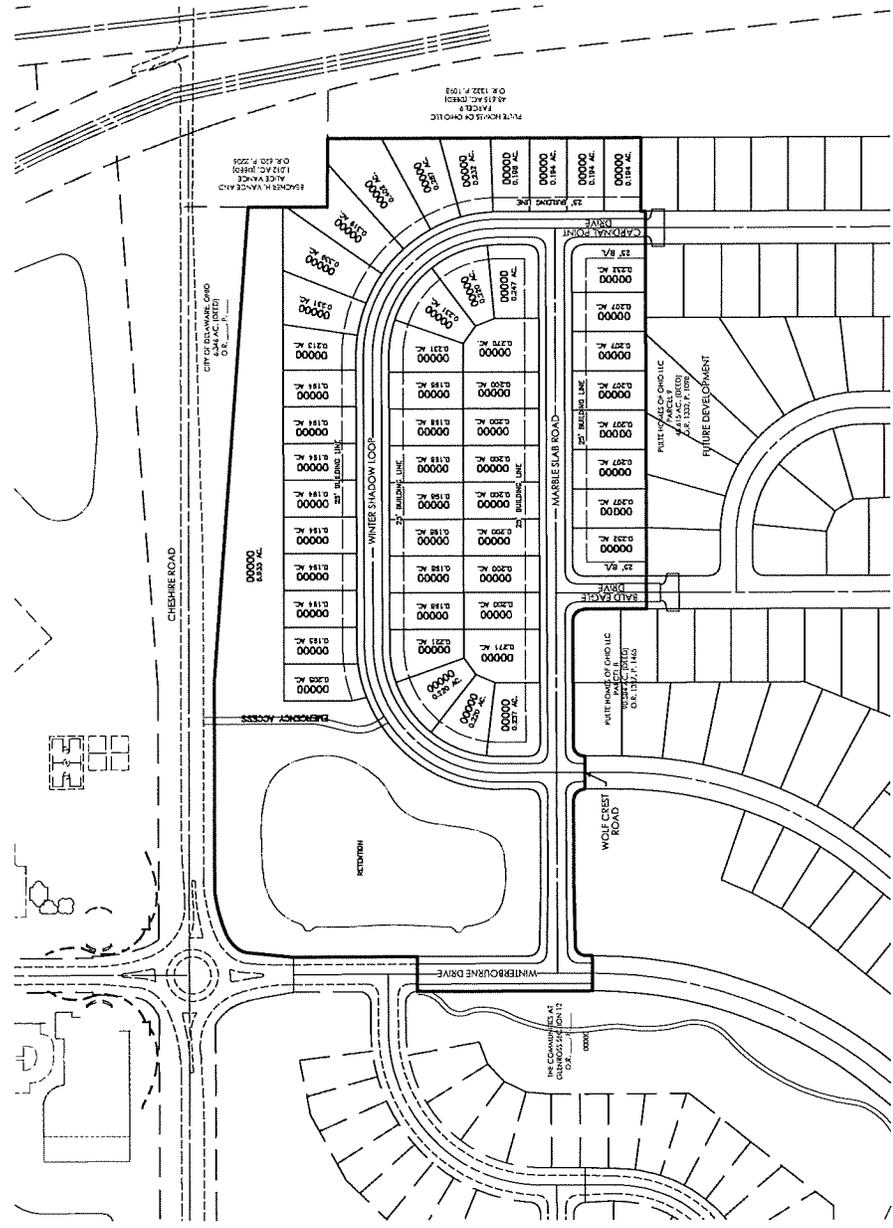
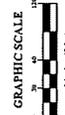
CITY OF DELAWARE, DELAWARE COUNTY, OHIO  
 FINAL DEVELOPMENT PLAN  
 FOR  
**COMMUNITIES AT GLENROSS**  
 SECTION 15  
 SITE PLAN



DATE: March 7, 2018  
 SCALE: 1" = 40'  
 SHEET NO.: 2017050  
 SHEET: 3/5

**SITE STATISTICS:**  
 TOTAL ACRES: 22.832 ACRES  
 TOTAL NUMBER OF LOTS: 52  
 TOTAL LOT AREA: 4,815.5 ACRES  
 TOTAL OPEN SPACE: 4,815.5 ACRES

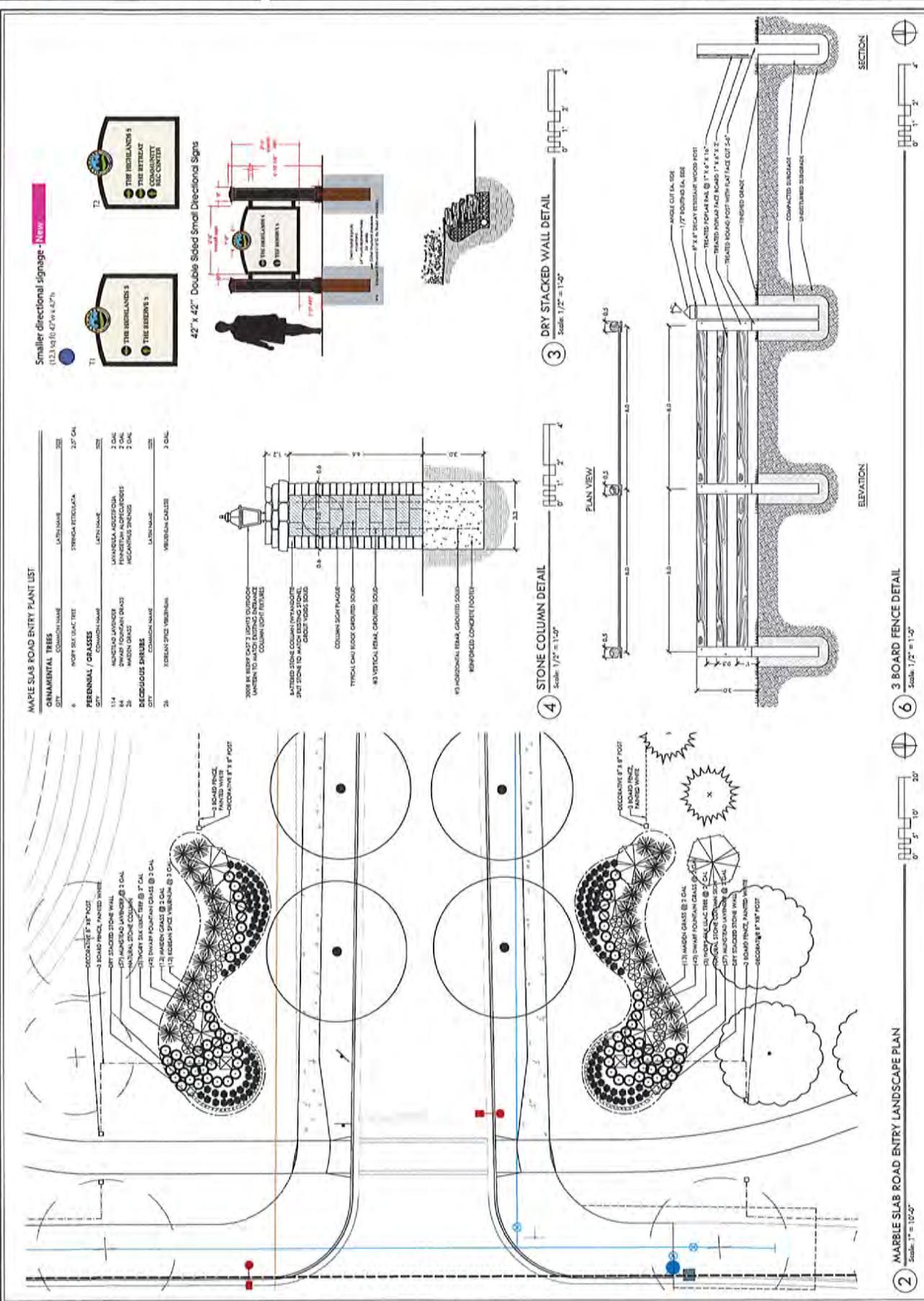
**NOTES:**  
 NOTE #1: LOT AREA SUBJECT TO CHANGE AND MAY VARY BY THE COMMUNITIES AT GLENROSS HOMEOWNERS ASSOCIATION.



3/17/2018 10:45:00 AM C:\Users\jdoyle\OneDrive\Documents\Communities at Glenross\Development Plan\Site Plan\Section 15\Site Plan.dwg Plot Date: 3/17/2018 10:45:00 AM Plot By: jdoyle







**E. Sub-Areas IA, IB, IIA, IIB and IIC Development Standards**

**1. Timing of Development**

Prior to development of Sub-Areas IA, IB, IIA, IIC and III, the Developer and the City shall confirm that such development will not be inconsistent with any applicable requirements of the City of Delaware General Permit Authorization for Storm Water Discharges Associated with Construction Activity Located within Portions of the Olentangy River Watershed Under the National Pollutant Discharge Elimination System. In the event the Developer and City are not able to so confirm, the development plans and plats as currently depicted would need to be revised and additional development approvals obtained from the City of Delaware.

**2. Lot Size**

- a) A mixture of lot sizes is proposed, ranging from 8450 square feet to over 24,000 square feet.
- b) The minimum lot depth will be 125 feet for Sub-Area IIA. The minimum lot depth shall be 130 feet for Sub-Areas IA, IB, IIB, and IIC
- c) In Sub-Areas IA and IIA: The minimum lot size in Sub-Area IA shall be no less than 10,400 SF and for Sub-Area IIA shall be no less than 10,000 SF. The minimum lot width shall be 80 feet with several of the lots having 90 feet or greater widths. (measurements taken at the building line). The number of dwellings in Sub-Areas IA and IIA shall not exceed 200 units total.
- d) In Sub-Area IB, IIB and IIC, the minimum lot size shall be no less than 8,450 SF. The minimum lot width at the building line shall be 65 feet. The number of dwellings in Sub-Areas IB, IIB, IIC shall not exceed 466 units total.

**3. Setbacks, Building Sizes, and Height**

- a) Setbacks: For Sub-Areas IA, IB, IIA, IIB, and IIC minimum building setbacks from property lines shall be established as follows:
  - i) Cheshire Road & Winterbourne Drive: Setbacks shall be that as identified on the Preliminary Development Plan.
  - ii) All other proposed public streets, which shall be measured from existing and planned road rights-of-way:
    - 25 feet building setback for all streets

- iii) Side and rear yards:
  - side yards shall be 10 feet per side (20 feet minimum between homes), except in Sub-Areas IB, IIB and IIC, where side yards shall be a total of 20 percent of lot width and no less than 6 feet on either side
  - rear yards shall be 30 feet minimum (decks and patios may encroach into the setback, but not closer than 15' from the lot line)
  - the projection of fireplaces, chimneys, bay windows, egress windows and/or other architectural projections of not more than 3 feet shall be allowed
  
- b) Building Height: Buildings shall be a maximum of 40 feet (measured from the average elevation of the finished grade at the front of the building to the highest point of the roof) in height in Sub-Areas IA, IB, IIA, IIB, and IIC.
  
- c) Home Sizes:
  - i) In Sub-Area IB, IIB, and IIC no building shall be constructed unless the finished living space (exclusive of porches, garages, and basements) has no less than 1800 square feet for multi-story dwellings and 1600 square feet for single-story dwellings.
  
  - ii) In Sub-Area IA and IIA, no building shall be constructed unless the finished living space (exclusive of porches, garages, and basements) has no less than 2000 square feet.

#### 4. Architectural & Other Standards

##### a) Sub-Area IB, IIB, & IIC

At least 40% of the front facade elevation of each building (excluding garage doors, entrance doors, gutters, downspouts and windows) shall consist of brick, stone, or cultured stone. All vinyl siding shall have a minimum thickness of .044 mils. Gutters (and the material by which they are attached to the home), downspouts, soffits, shutters, garage and entrance doors may be of man-made materials such as metal, vinyl, aluminum or glass. No concrete or split face block shall be permitted, except for the basement or foundation walls. The roofs of all homes shall have dimensional shingles.

Notwithstanding the above, Lots Numbers 10569-10577 as shown on the Final Subdivision Plats for Section 2 Part A and Section 2 Part B shall

meet the architectural requirements of the Glenross Planned Residential Development (PRD) Zoning Text.

**b) Sub-Area IA and IIA**

100% of all elevations of each building (excluding garage doors, entrance doors, gutters, shutters, downspouts and windows) shall consist of natural materials such as brick, stone, cultured stone, wood, stucco, and engineered siding products (including cementitious fiberboard and other engineered siding products approved by the City of Delaware, e.g. HardiPlank™) (collectively "Natural Materials"). Not less than 50% of the front elevation (excluding doors, windows shutters, gutters and downspouts) shall consist of a natural material other than stucco. Gutters (and the material by which they are attached to the home), downspouts, soffits, shutters, garage and entrance doors may be of man-made materials such as metal, vinyl, aluminum or glass. No concrete or split face block shall be permitted, except for the basement or foundation walls. The roofs of all homes shall have dimensional shingles.

**c) Color Palette**

For Sub-Areas IA, IB, IIA, IIB, and IIC, the color palette shall consist of earth tones including white. Additional colors may be used as accents but may not be high gloss or high-chroma colors.

**d) Lighting**

Street lights shall achieve compliance with the then current Chapter 1158 Lighting Plan requirements.

**e) Parking**

Parking will be provided at a minimum of 2 spaces per dwelling unit in an attached garage.

**f) Roof Pitches**

All primary roof pitches on front and rear facing gabled elevations shall be a minimum of 5:12. All primary roof pitches on side facing gabled elevations shall be a minimum of 6:12. All other accessory elevations shall be a minimum roof pitch of 3-1/2:12.

**g) Other Standards**

Except as specifically set forth in this PMU Development Text or as set forth on the accompanying Development Plan, R-2 Residential District regulations together with standards set forth in Chapter 1171 of the Delaware Zoning Code, as if attached and as made a part of this Development Text by reference, shall apply in Sub-Areas IA, IB, IIA, IIB, and IIC.

**F. Sub-Area III Development Standards**

**1. Density & Type**

In Sub-Area III, no more than 106 detached single family condominium dwelling units shall be built. Although not legally restricted, Sub-Area III is intended to provide an area of single-family detached condominiums that is targeted to independent seniors and “empty nesters” seeking low exterior maintenance and a community association lifestyle with high end units which have high quality details, fit, finish, and materials not inconsistent with Pulte Homes Age Targeted Single Family Residential series product line up as attached. Sub-Area III is also intended to provide for the same minimum house sizes and quality of single family homes required in Sub-Areas IB, IIB, and IIC on smaller lots with more lot coverage and smaller yards that will have a common maintenance plan for lawn, landscaping and snow removal on each owner’s lot.

**2. Lot Size**

- a. The minimum size shall be 6,500 square feet with a minimum lot width of 50 feet at building line and minimum lot depth of 130 feet.

**3. Setbacks & Building Separation**

- a) Streets: A minimum building and accessory use setback of 50 feet shall be provided along Winterbourne Drive. The minimum setback from all other streets shall be 25 feet from right-of-way or roadway easement line.
- b) Side: The minimum side setback shall be 5 feet per side and 10 feet combined.
- c) Rear: The minimum rear setback shall be 15 feet.
- d) The minimum setbacks described above shall not cause any off-street parking area to impede a sidewalk or multi-use path.
- e) Setbacks from streets shall be from the right-of-way.



**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**



Project # \_\_\_\_\_ Case # \_\_\_\_\_

Planning Commission

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Amended Final Development Plan                | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non- Conforming Use            |
| <input type="checkbox"/> Amended Final Subdivision Plat                | <input type="checkbox"/> Final Subdivision Plat           | <input type="checkbox"/> Vacation-Alley                                   |
| <input type="checkbox"/> Amended Preliminary Development Plan          | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement                                |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat          | <input type="checkbox"/> Floodplain Permit                | <input type="checkbox"/> Vacation-Street                                  |
| <input type="checkbox"/> Annexation Review                             | <input type="checkbox"/> Lot Split                        | <u>Board of Zoning Appeals</u>  |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement         | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment                  | <input type="checkbox"/> Preliminary Development Plan     | <input type="checkbox"/> Conditional Use Permit                           |
| <input type="checkbox"/> Concept Plan                                  | <input type="checkbox"/> Preliminary Dev Plan Extension   | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit                        | <input type="checkbox"/> Preliminary Sub Plat             | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Determination of Similar Use                  | <input type="checkbox"/> Preliminary Sub Plat Extension   |   |
| <input type="checkbox"/> Development Plan Exemption                    | <input type="checkbox"/> Rezoning                         |   |
| <input checked="" type="checkbox"/> Final Development Plan             | <input type="checkbox"/> Subdivision Variance             |   |

Subdivision/Project Name Communities at Glenross Section 15 Address South of Cheshire Road & East of Glenn Parkway  
 Acreage 22.835 Square Footage \_\_\_\_\_ Number of Lots 52 Number of Units N/A  
 Zoning District/Land Use PMU/R-2 Proposed Zoning/Land Use N/A Parcel # 41832001042000/41832001040000  
41832001040001

Applicant Name Pulte Group Contact Person Joel West

Applicant Address 475 Metro Place South, Suite 200 Dublin, Ohio 43017

Phone (614) 376-1122 Fax \_\_\_\_\_ E-mail Joel.West@PulteGroup.com

Owner Name Pulte Homes of Ohio, LLC Contact Person Matthew Callahan

Owner Address 475 Metro Place South, Suite 200 Dublin, Ohio 43017

Phone (614) 376-1018 Fax \_\_\_\_\_ E-mail Matthew.Callahan@Pulte.com

Engineer/Architect/Attorney EMH&T Contact Person Jeffrey Strung

Address 5500 New Albany Road Columbus, Ohio 43054

Phone (614) 775-4700 Fax \_\_\_\_\_ E-mail jstrung@emht.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

\_\_\_\_\_  
Owner Signature

\_\_\_\_\_  
Owner Printed Name

\_\_\_\_\_  
Agent Signature

\_\_\_\_\_  
Agent Printed Name

Sworn to before me and subscribed in my presence this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Notary Stamp

\_\_\_\_\_  
Notary Public