

**CITY OF DELAWARE
PLANNING COMMISSION
AGENDA**

**CITY COUNCIL CHAMBERS
1 S. SANDUSKY ST.
7:00 P.M.**

REGULAR MEETING

December 6, 2017

1. ROLL CALL
2. APPROVAL of the Motion Summary of the Planning Commission meeting held on November 1, 2017, as recorded and transcribed.
3. REGULAR BUSINESS

A. Communities at Glenross Section 12

- (1) 2017-2814: A request by Pulte Homes for approval of a Final Development Plan for Communities at Glenross Section 12 for 48 single family lots on 14.796 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located south of Cheshire Road and west of Winterbourne Drive on Solstice Road and Holly Berry Lane.
- (2) 2017-2815: A request by Pulte Homes for approval of a Final Subdivision Plat for Communities at Glenross Section 12 for 48 single family lots on 14.796 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located south of Cheshire Road and west of Winterbourne Drive on Solstice Road and Holly Berry Lane.

Anticipated Process

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (not a public hearing)
- d. Commission Action

- B. 2017-2904: A request by Treplus Communities for approval of a Final Development Plan for Burr Oak Commons containing 92 apartment units on approximately 20.06 acres zoned B-3 PMU and located on the north side of SR 37 just west of Westfield Shopping Center and just east of Lantern Chase Subdivision.

Anticipated Process

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (not a public hearing)
- d. Commission Action

4. PLANNING DIRECTOR'S REPORT
5. COMMISSION MEMBER COMMENTS AND DISCUSSION
6. NEXT REGULAR MEETING: January 17, 2017 (changed from January 3)
7. ADJOURNMENT

PLANNING COMMISSION
November 1, 2017
MOTION SUMMARY

ITEM 1. Roll Call

Chairman Simpson called the meeting to order at 7:00 p.m.

Members Present: Robert Badger, Jim Halter, Dean Prall, Andy Volenik
Councilmember George Hellinger, Vice-Chairman George Mantzoros, and
Chairman Stacy Simpson.

Staff Present: Matt Weber, Deputy City Engineer, Lance Schultz, Zoning
Administrator, and Dave Efland, Planning and Community Development
Director

ITEM 2. Approval of the Motion Summary of the Planning Commission
meeting held on October 4, 2017, as recorded and transcribed.

Motion: Councilmember Hellinger moved to approve the Motion Summary for
October 4, 2017 Planning Commission meeting, seconded by Mr. Prall. Motion
approved 7-0 vote.

ITEM 3. REGULAR BUSINESS

A. 2017-2592: A request by Judith D. Hook Revocable Trust for approval of
a Rezoning Amendment for approximately 44.258 acres of Parcel #519-
312-01-009-000 from R-4 (Medium Density Residential District) and R-6
(Multi-Family Residential District) to R-3 (One-Family Residential District)
and located on the west side of Troy Road.

Anticipated Process

a. Staff Presentation

Mr. Schultz reviewed the location of the subject property and zoning map. Mr.
Schultz reviewed with the Commission that the subject property was annexed
into the City on May 14, 1973 per Ordinance 73-11 as part of the Delvest
Annexation which included 156.408 acres of the Troy Farms Partnership. Mr.
Schultz discussed the Comprehensive Plan and that the proposed rezoning
would achieve compliance with this plan.

b. Applicant Presentation

APPLICANT:

Michael R. Shade
P.O. Box 438
Delaware, Ohio 43015

c. Public comment (public hearing)

There was no public comment.

d. Commission Action

Motion: Mr. Halter moved to approve 2017-2592, along with all staff recommendations and conditions, seconded by Mr. Badger. Motion approved by a 7-0 vote.

ITEM 4. PLANNING DIRECTOR'S REPORT

Mr. Efland discussed the Comprehensive Plan and inquired if any members would like a hard copy.

ITEM 5. COMMISSION MEMBER COMMENTS AND DISCUSSION

Mr. Halter voiced concerns regarding the lack of lighting on the bike path on Houk Road.

ITEM 6. NEXT REGULAR MEETING: December 6, 2017

ITEM 7. ADJOURNMENT:

Motion: Chairman Simpson moved for the November 1 2017 Planning Commission meeting to adjourn. The meeting adjourned at 7:27 p.m.

Stacy Simpson, Chairperson

Elaine McCloskey, Clerk

CASE NUMBERS: 2017-2814 & 2815

REQUEST: Multiple Requests

PROJECT: Communities at Glenross – Section 12

MEETING DATE: December 6, 2017

APPLICANT/OWNER

Pulte Homes
4900 Tuttle Crossing Boulevard
Dublin, Ohio 43016

REQUEST

2017-2814: A request by Pulte Homes for approval of a Final Development Plan for Communities at Glenross Section 12 for 48 single family lots on 14.796 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located south of Cheshire Road and west of Winterbourne Drive on Solstice Road and Holly Berry Lane.

2017-2815: A request by Pulte Homes for approval of a Final Subdivision Plat for Communities at Glenross Section 12 for 48 single family lots on 14.796 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located south of Cheshire Road and west of Winterbourne Drive on Solstice Road and Holly Berry Lane.

PROPERTY LOCATION & DESCRIPTION

The subject property is located on the south side of Cheshire Road just west of proposed Winterbourne Drive and just east of the Glenross Golf Course. The subject site is zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District). The properties to the east, south and west are zoned R-2 PMU while the six residential properties to the north are zoned residential in the County.

BACKGROUND

This project has an extensive zoning history that dates back to 2006 but the most recent significant action that pertains to the development south of Cheshire Road occurred in August 2016. At that time, City Council approved an amendment to the Zoning and Development Text, an amendment to the Preliminary Development Plan and an amendment to the Preliminary Subdivision Plat for the Communities at Glenross Sections 11-22.

Sections 11 and 12 are the 106 detached single family condominium portion of the development that is targeted to independent seniors and “empty nesters” seeking lower exterior maintenance and a community association. In June 2017, the Planning Commission and City Council approved a Final Development Plan and Final Subdivision Plat for Section 11 which consists of 58 single family lots on 22.74 acres which is currently under construction. Now the developer is requesting Final Development Plan and Final Subdivision Plat approval for Section 12 which contains 48 single family lots on 14.796 acres.

STAFF ANALYSIS

- **ZONING:** As mentioned above, the zoning for the subject site is R-2 PMU which has a specific development plan and text for the subject development. From a procedural perspective, Final Development Plans and Final Subdivision Plats would need to be reviewed and approved by the Planning Commission and City Council for each section.
- **DEVELOPMENT TEXT:** The development text sets forth development standards for the residential development which has specific development text for the entire development pertaining to permitted uses, density, lot size, minimum dwelling size, building setbacks, landscaping, lighting, architectural elevations, etc. Sections 11 and 12 are in Sub-Area III of the approved Preliminary Development Plan and Preliminary Subdivision Plat. The development plan and text is sensitive to the existing residential surroundings while providing an appropriate transition to a very active pair of railroad tracks operated separately by Norfolk & Southern and CSX.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.

- **UTILITIES:** The site would be serviced by City sanitary sewer (SE Highland trunk sewer) and water that would have to be extended by the developer from the existing development. An overall storm water master plan for the remainder of the development is required per the City Engineer.
- **ROADS AND ACCESS:** Section 12 is located south of Section 11 which is located south of Cheshire Road and would be accessed from Winterbourne Drive which is the main north/south spine road for Sections 11-22. Solstice Road extends west from Winterbourne Drive through Section 12 to Stone Quarry Drive (Section 11) with Holly Berry Lane being a north/south connection between Sections 11 and 12. All the streets are public and would have sidewalks on both sides of the street.
- **PEDESTRIAN CONNECTIVITY:** A pedestrian path from the west side of the Winterbourne Drive bike path would extend west through the 4.057 acre reserve area (lot 12219) on the southern portion of Section 12. The path will connect to the sidewalk on Solstice Road to the north and to the sidewalk on Stone Quarry Drive to the west. The construction and width of the path shall meet minimum City development requirements. In addition, there would be sidewalks on both sides of the public streets.
- **LOT LAYOUT & SIZE:** As mentioned above, the main entrance into Section 11 and 12 is located just south of Cheshire Road on the west side of Winterbourne Drive. The looped double loaded streets in Sections 11 and 12 (Section 12 is the southern half loop of the layout) with lots in a typical subdivision design extends into the Golf Club at Glenross style lots (80 foot wide lots) in Sections 13 and 14 that connect back into Winterbourne Drive in Section 13. In addition, a north/south street (Holly Berry Lane) connects the looped street for an additional means of egress. Per the approved development text, the subject lots in Sections 12 would have a minimum lot area of 6,500 square feet with minimum 50 feet lot widths and 130 feet lot depths. The front yard setback would be 25 feet, the rear yards setback would be 15 feet and the side yard setback would be 5 feet with a minimum house size of 1,600 square feet for a single story dwelling and 1,800 square feet for a multi-story dwelling. There is a proposed 4.057 acre reserve area (lot 12219) with a retention pond and an amenity area on the southern portion of Section 12. Furthermore, lots 12185 and 12186 are designated reserve areas just east and west of Holly Berry Lane. Finally, the subject condominium development would have a homeowners association that would have a common maintenance plan for lawn, landscaping and snow removal on each owner's lot and reserve areas.
- **BUILDING DESIGN:** The design requirements for The Communities at Glenross south of Cheshire Road are based on the housing options in each Section and Sub-Area per the approved development text. The detached condominium design requirements in Sections 11 and 12 would include (see enclosed development text for Sub-Area III): 1.) At least 25% of the front façade elevation of each building (excluding garage doors, entrance doors, gutters, shutters, downspouts and windows) shall consist of natural materials, such as brick or stone. 2.) All vinyl siding shall have a minimum thickness of 0.044 inches; 3.) Gutters (and the material by which they are attached to the home), downspouts, soffits, shutters, garage and entrance doors may be of man-made materials such as metal, vinyl, aluminum or glass; 4.) No concrete or split face block shall be permitted, except for basement or foundation walls; 5.) The roofs of all homes shall have dimensional shingles. In addition, the homes shall achieve compliance with Residential Development Design Criteria and Performance Standards in Chapter 1171.08. Pulte Homes has supplied Glenross South Age Targeted Single Family Residential exhibits with representative elevations, floor plans and color pallet of the proposed condominium units.
- **LANDSCAPING & SCREENING:** A comprehensive landscape plan has been submitted which includes street trees along Solstice Road and Holly Berry Lane and hardy landscaping in the reserve area along the bike path and retention pond in the southern portion of Section 12. The applicant is proposing 68 deciduous trees (minimum 2.5 caliper inches), 36 ornamental trees (minimum 2.5 caliper inches) and 41 evergreen trees (minimum 6 foot high at installation) with most of the trees in the reserve area. The Shade Tree Commission would need to approve all landscape plans.
- **OPEN SPACE/PARKLAND:** The Communities at Glenross Sections 11-22 has approximately 61.5 acres of open space (approximately 29.2%) in several reserve areas south of Cheshire Road. The reserve area in Section 12 contains 4.057 acres (lot 12219) and would have a retention pond, a pedestrian path and amenities. The amenities include a gazebo structure, a pickle ball court and a golf chipping and putting green. All open space/parkland in Section 12 shall be privately owned and maintained but open to the public. As previously

discussed, the applicant shall allocate space in reserve area (lot 12219) for a potential pocket park in Section 13. In addition, staff suggests the applicant prepare an overall park and amenity plan for Sections 11-22.

From a macro perspective, the developer has a robust program on the 22.705 acres of open space in Sections 9 (approximately 5.6 acres) and 10 (approximately 17.1 acres) located just north of Cheshire Road east and west of the proposed roundabout which is proposed to be completed this summer. The amenities in Section 9 include a large pool and restroom facility, a parking lot and retention pond. The amenities in Section 10 include approximately 7.5 acres of active parkland programmed with a tot lot, shelter house, basketball court, volleyball court and recreational fields while the remaining approximately 10.1 acres is a detention/retention basin next to the railroad tracks. Every homeowner in the Communities at Glenross would have access to the open spaces and amenities.

- **TREE PRESERVATION:** The developer has provided a tree inventory for Section 12 of trees being removed and a landscape plan identifying new trees being installed less the required street trees. The developer is removing 19 qualified trees totaling 209 caliper inches while 68 deciduous trees (minimum 2.5 caliper inches), 36 ornamental trees (minimum 2.5 caliper inches) and 41 evergreen trees (minimum 6 foot high at installation) are being planted which yields 382 caliper inches. Therefore the developer has achieved compliance with Chapter 1168 Tree Preservation Regulations.
- **LIGHTING PLAN:** The lighting plan for Section 12 was approved by the Chief Building Official on November 11, 2017.
- **SIGNAGE:** There is not any proposed signage in Section 12. Section 11 included the subdivision entrance wall signs and stone piers east and west of Winterbourne Drive just south of Cheshire Road which appeared to be consistent other "Glenross" entrance signs in size, material and signage.
- **PHASING:** Per the approved Preliminary Subdivision Plat, Section 13 would be the next section to be developed within the subdivision developed in twelve sections (11-22) from north to south on the west side of Winterbourne Drive and then from north to south on the east side of Winterbourne Drive. To ensure compliance with City emergency service requirements, it is important each section should be constructed in sequence as proposed. If developed in a different sequence additional access requirements including at a minimum providing adequate emergency access would likely be required. Section 11 provided an additional emergency access drive from Cheshire Road. With multiple Sub-Areas and many more development sections the Communities at Glenross, it is important for reference and tracking purposes that the plans and plats for each section have appropriate nomenclature that correlates the sections to the applicable Zoning Sub-Areas. Therefore all plans and plats that reference a section or phase must include the Zoning Sub-Area name either in the title or some form approved by City Staff.

STAFF RECOMMENDATION – (2017-2814 FINAL DEVELOPMENT PLAN)

Staff recommends approval of a request by Pulte Homes of a Final Development Plan for Communities at Glenross Section 12 for 48 single family lots on 14.796 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located south of Cheshire Road and west of Winterbourne Drive on Solstice Road and Holly Berry Lane, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
3. The single family houses shall comply with the minimum architectural standards and house size in the approved development text and per applicable sections of the current zoning code.
4. A street tree plan shall be submitted and approved by the Shade Tree Commission.
5. The pedestrian path within the southern reserve area (Lot 12219) shall be installed by the developer that meets minimum City development requirements and is located within an easement dedicated to the City and shall be maintained by the Homeowner's Association.
6. The applicant shall allocate space in reserve area (lot 12219) for a potential pocket park in Section 13.

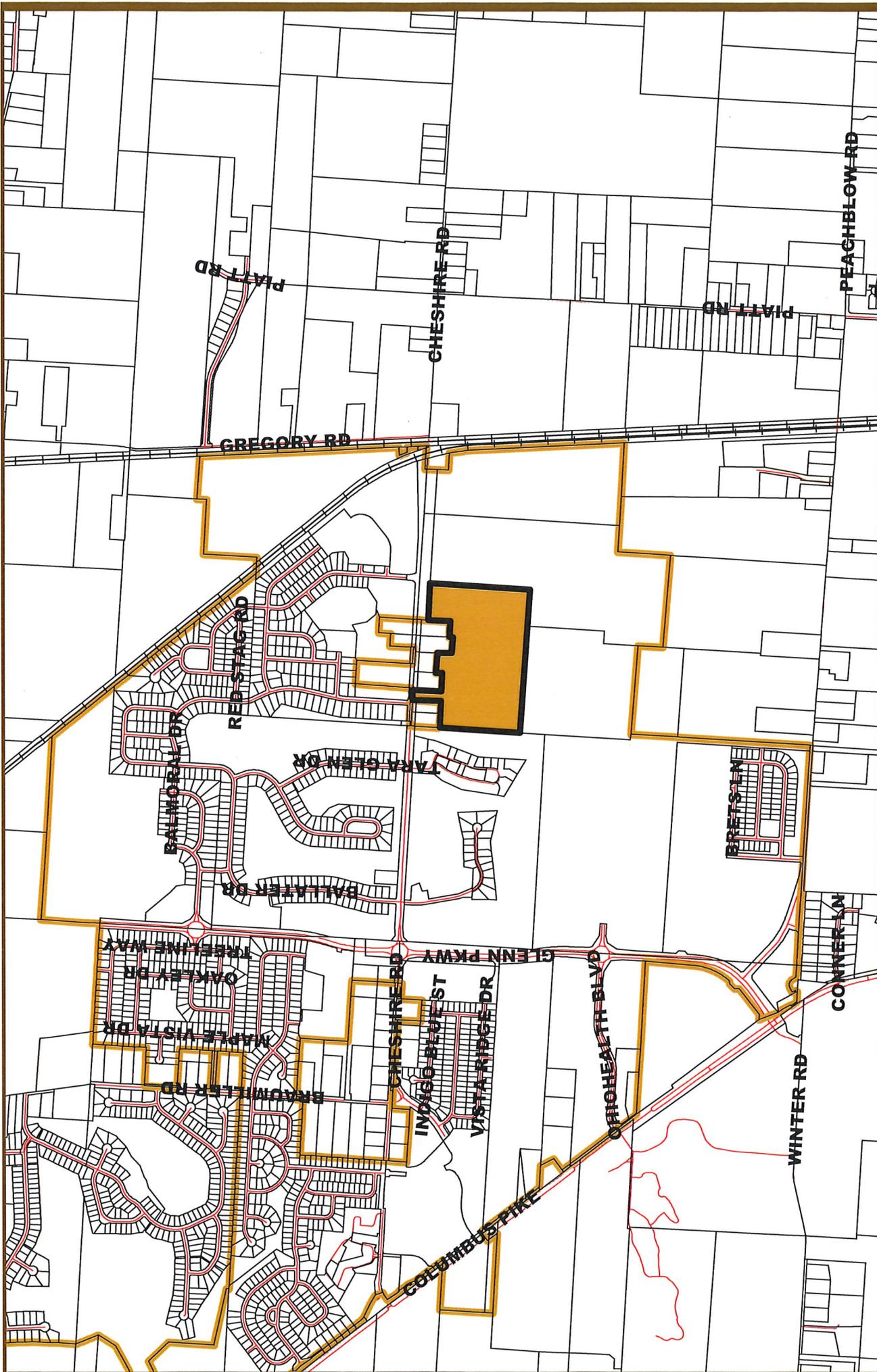
7. This section of the Communities of Glenross Subdivision is in the Delaware South New Community Authority, subject to the single family lot transportation fee (\$1,000 per dwelling unit) in effect at the time of building permit issuance per the pre-annexation agreement and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling units.

STAFF RECOMMENDATION – (2017-2815 FINAL SUBDIVISION PLAT)

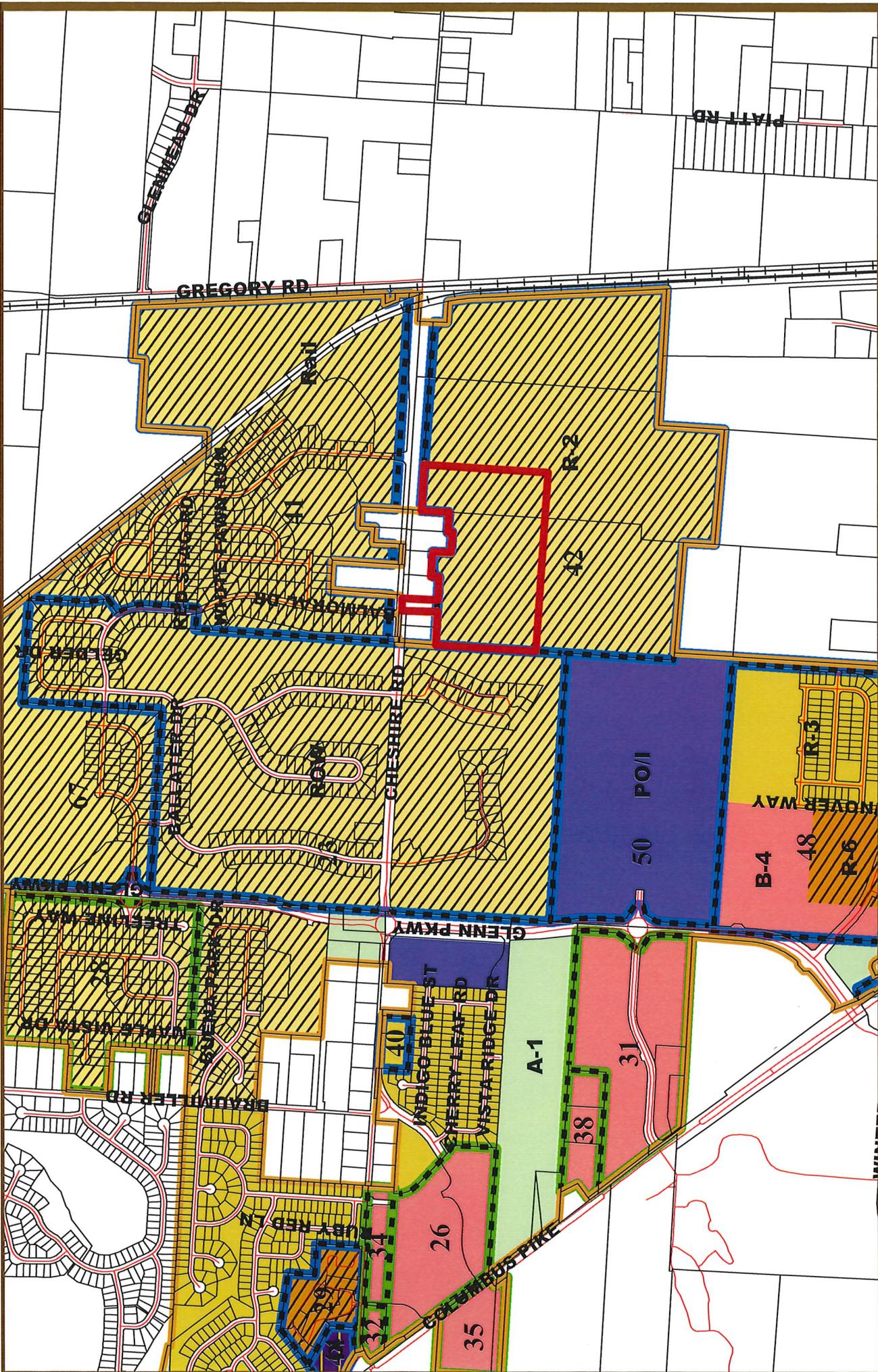
Staff recommends approval of a request by Pulte Homes of a Final Subdivision Plat for Communities at Glenross Section 12 for 48 single family lots on 14.796 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located south of Cheshire Road and west of Winterbourne Drive on Solstice Road and Holly Berry Lane, with the following conditions that:

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2. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
3. The single family houses shall comply with the minimum architectural standards and house size in the approved development text and per applicable sections of the current zoning code.
4. A street tree plan shall be submitted and approved by the Shade Tree Commission.
5. The pedestrian path within the southern reserve area (Lot 12219) shall be installed by the developer that meets the minimum City development requirements and located within an easement dedicated to the City and shall be maintained by the Homeowner’s Association.
6. The applicant shall allocate space in reserve area (lot 12219) for a potential pocket park in Section 13 if required.
7. This section of the Communities of Glenross Subdivision is in the Delaware South New Community Authority, subject to the single family lot transportation fee (\$1,000 per dwelling unit) in effect at the time of building permit issuance per the pre-annexation agreement and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling units.

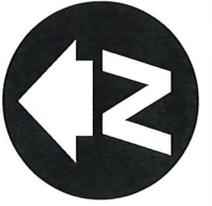
COMMISSION NOTES:



2017-2814 & 2815
 Final Development Plan & Final Subdivision Plat
 Communities at Glenross - Section 12
 Location Map

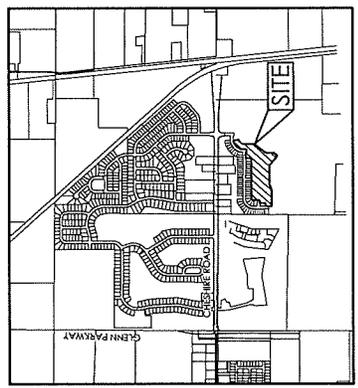


2017-2814 & 2815
 Final Development Plan & Final Subdivision Plat
 Communities at Glenross - Section 12
 Zoning Map



2017-2814 & 2815
Final Development Plan & Final Subdivision Plat
Communities at Glenross - Section 12
Aerial (2016) Map

COMMUNITIES AT GLENROSS SECTION 12



LOCATION MAP
NO SCALE

PREPARED FOR:



4900 TUTTLE CROSSING BOULEVARD
DUBLIN, OHIO 43016
PH. 614-356-5833

INDEX OF DRAWINGS

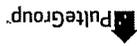
FINAL PLAN:	SECTION 12	SHEET 1-3
SITE PLAN:		SHEET 4
TREE INVENTORY PLAN:		SHEET 5
STREET LIGHTING PLAN:		SHEET 6
ILLUSTRATIVE SITE PLAN:		SHEET 7
LANDSCAPE PLAN / AMENITY ENLARGEMENT:		SHEET L-1 - L-2

SUBMITTAL: OCTOBER 30, 2017

CIVIL ENGINEER &
LANDSCAPE ARCHITECT



REVISIONS	DATE	DESCRIPTION



CITY OF DEWAR, DEWAR COUNTY, OHIO
 FINAL DEVELOPMENT PLAN
 FOR
COMMUNITIES AT GLENROSS
 SECTION 12
 SITE PLAN

EMHT
 ENGINEERING
 11275 W. STATE ST. SUITE 100
 DEWAR, OHIO 43015
 PHONE: 614.279.1100
 FAX: 614.279.1101
 WWW.EMHT.COM

DATE: October 30, 2017

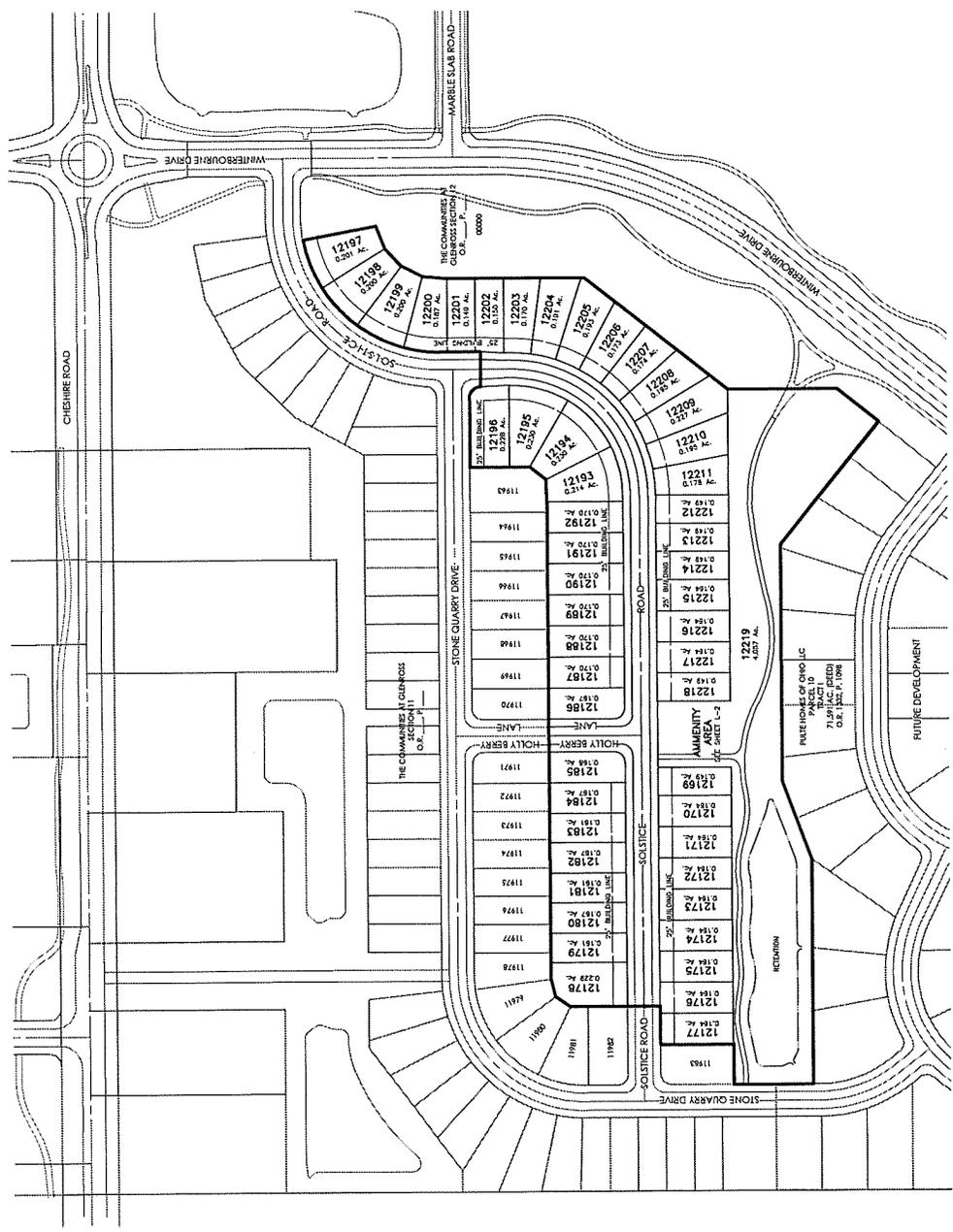
SCALE: 1" = 60'

JOB NO.: 20170802

SHEET: 4/7

SITE STATISTICS:
 TOTAL ACRES: 34.790 ACRES
 TOTAL COVERAGE: 33.241 ACRES
 TOTAL GROSS BENT: 44.392 ACRES
 TOTAL OPEN SPACE: 1.549 ACRES

NOTES:
 NOTE A: RESERVES 1217, 1218, 1219, AND 1220 SHALL BE OWNED AND MAINTAINED BY THE COMMUNITIES AT GLENROSS HOMEOWNERS ASSOCIATION.



CITY OF DELAWARE, DELAWARE COUNTY, OHIO
COMMUNITIES AT GLENROSS
SECTION 12
TREE INVENTORY & REMOVAL PLAN

EMHT
 ENGINEERING & ARCHITECTURE
 20000 Mack Centre Road, Suite 100
 Cincinnati, Ohio 45244
 Phone: (513) 763-1100
 Fax: (513) 763-1101
 www.emht.com

DATE: October 30, 2017
 SCALE: 1" = 40'
 JOB NO.: 2017002
 SHEET: 5/7

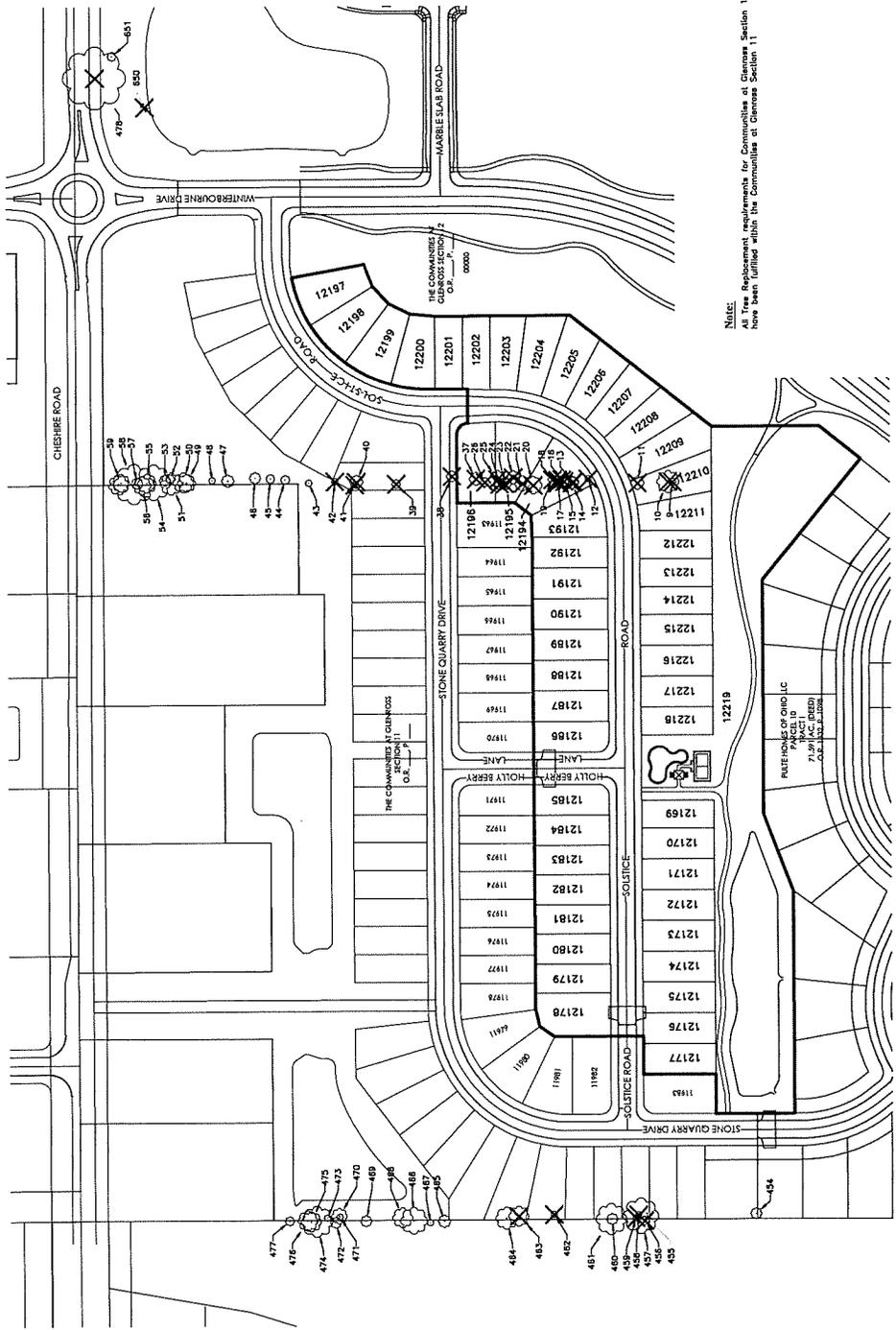


TREE INVENTORY
 Total Number of Trees: 67 (603 Collier Inches)
 Number of Trees Removed: 32 (393 Collier Inches)
 Dead Trees to be Replaced: 2 (18 Collier Inches)
 Total Number of Trees Transposed: 37 (490 Collier Inches)

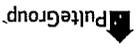
X Trees Removed

○ Trees to be Replaced

Tree Number	Size	Condition	Common Name
1	10	Good	Black Cherry
2	10	Good	Black Cherry
3	12	Good	Black Cherry
4	12	Good	Black Cherry
5	12	Good	Black Cherry
6	6	Good	Black Cherry
7	10	Good	Black Cherry
8	10	Good	Black Cherry
9	10	Good	Black Cherry
10	10	Good	Black Cherry
11	10	Good	Black Cherry
12	10	Good	Black Cherry
13	10	Good	Black Cherry
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66	10	Good	Black Cherry
67	10	Good	Black Cherry

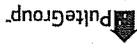


NOTE: All Tree Replacement requirements for Communities at Glenross Section 12 have been fulfilled within the Communities at Glenross Section 11.



REVISIONS

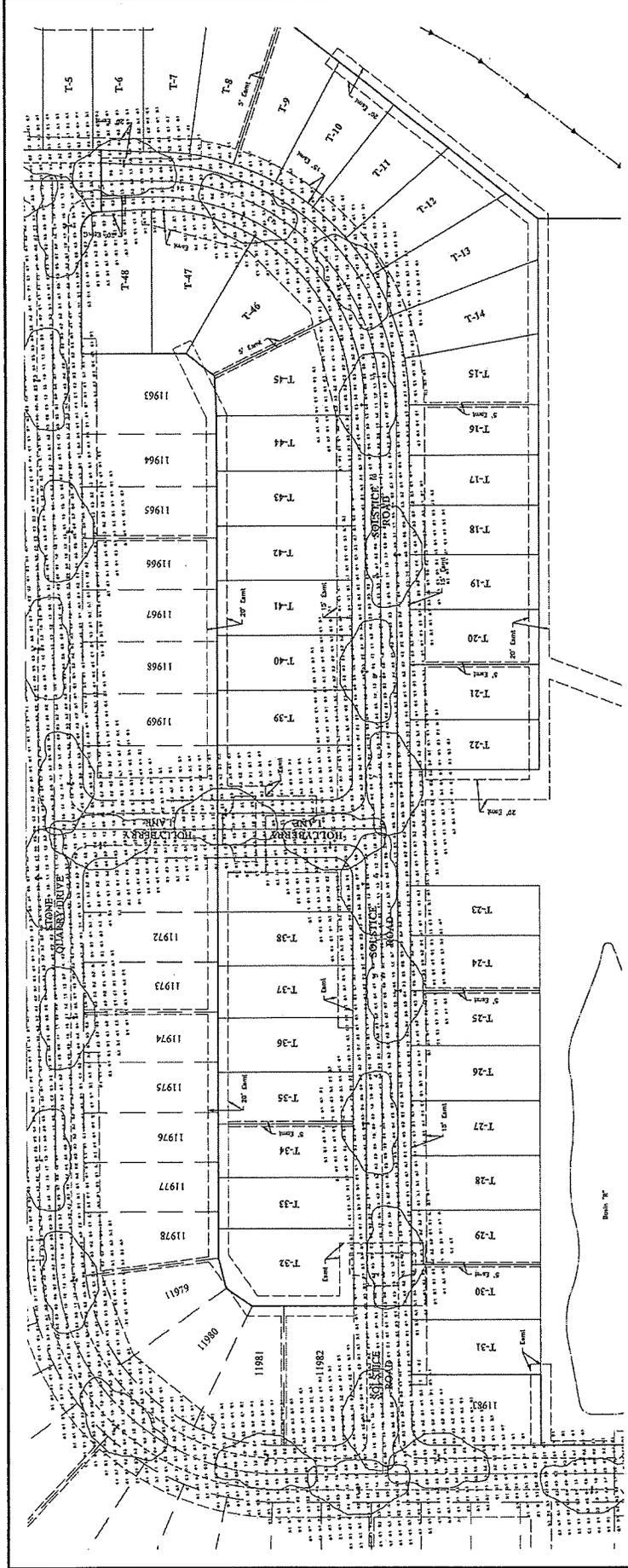
NO.	DATE	DESCRIPTION



THE COMMUNITIES AT GLENROSS
SECTION 12
STREET, STORM, WATER AND LIGHTING PLAN
STREET LIGHTING PLAN

EMH
ENGINEERING
MAYOR & ASSOCIATES
10000 W. 119th St., Suite 100
Overland Park, KS 66213
Tel: 913.241.1100
Fax: 913.241.1101
www.emh.com

DATE	OCTOBER 2017
SCALE	1" = 50'
DATE	20/23
SHEET	20/23



NOTE:
Street lights must be fully functional and on-built. The contractor shall be responsible for the installation and maintenance of the lighting system. The contractor shall be responsible for the installation and maintenance of the lighting system. The contractor shall be responsible for the installation and maintenance of the lighting system.

STREET	EXTENSION	CORNER
SOLSTICE ROAD	2+18	10' RL
	3+52	10' LL
	4+05	15' RL
	5+02	15' LL
	6+04	15' RL
	8+05	15' LL
	8+25	15' RL
	11+68	15' LL
	13+27	15' LL
	14+57	20' RL
HILLBERRY LAKE	0+1-52	15' LL
	1+58	15' RL



[Signature]
City Official
Date: 11/10/17

City	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
13	GV02 P30 30KAS M CHC-3 R S GL FPDS PCLL	GRANVILLE II LED, LED M CHC-3 R S GL 120-277V, TYPE 3 DISTRIBUTION, NO TRIM	LED COB	GV02_P30_30 K_AS_3_Nass	7075	0.84	60

STATISTICS						
Description	Avg	Max	Min	Max/Min	App/Min	App/Max
Hillberry Lane	0.6 fc	1.6 fc	0.2 fc	8.0:1	3.0:1	3.0:1
Solstice Road	0.5 fc	1.7 fc	0.1 fc	17.0:1	5.0:1	5.0:1

GENERAL PLANTING NOTES

1. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. TO DETERMINE THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
2. EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUANTITY AND DEPTH, SO THAT ALL PLANTING AREAS ARE PROPERLY PREPARED AND CONNECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
3. CONTRACTOR TO REPAIR ALL DAMAGES TO EXISTING CONDITIONS AND TAKE RESPONSIBILITY FOR SATISFACTORY PERFORMANCE.
4. ALL PLANT MATES TO BE CONTAINED WITHIN BARK MULCH BED.
5. BIRDS TO BE NO LESS THAN 1" AND NO MORE THAN 2" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING.
6. ALL SHRUBS TO BE A MINIMUM OF 4" FROM PAVEMENT EDGE UNLESS SPECIFICALLY NOTED OTHERWISE.
7. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
8. FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUOUS GRADE, FREE OF IRREGULARITIES OR DEPRESSIONS.
9. CONTRACTOR SHALL PREPARE SOIL WITH MINIMUM 1" DEEP PLANK MULCH AND A MINIMUM 2" DEEP BARK MULCH OR SUBSEQUENT FINISHING BY OWNER.
10. QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN ACCURATE REPRESENTATIONS OF PROPOSED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLAN AND SPECIFICATIONS.
11. CONTRACTOR SHALL NOTIFY THE CONSULTANT OF ANY UNDESIRABLE CONDITIONS OR MATERIALS FOUND AT THE UNDESIRABLE SPACES, STATE IF APPLICABLE.
12. WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY THE CONSULTANT.

STREET TREE PLANT LIST

CITY	COMMON NAME	LATIN NAME	SIZE
6	GREENPINE LINEN	TRISA CORDATA	2.5" CAL
7	FRONTIER LILAC	ULMUS 'FRONTIER'	2.5" CAL
3	POWER LILAC	ULMUS 'POWER'	2.5" CAL

RESERVE AREA PLANT LIST

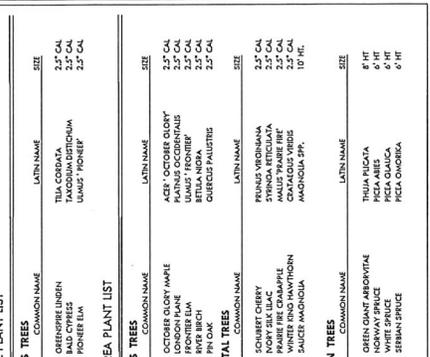
CITY	COMMON NAME	LATIN NAME	SIZE
13	OCTOBER GLORY W/RE	PERA 'OCTOBER GLORY'	2.5" CAL
14	FRONTIER LILAC	ULMUS 'FRONTIER'	2.5" CAL
13	RYE BIRCH	BETULA NIDA	2.5" CAL
13	CHERRY PALMETTO	QUERCUS PALMETTES	2.5" CAL

ORNAMENTAL TREES

CITY	COMMON NAME	LATIN NAME	SIZE
7	FOURBET CHERRY	PRUNUS VIBRONA	2.5" CAL
7	NOVY SILK LILAC	SYRINDA FITICULARIA	2.5" CAL
7	FRUIT TREE CHAMPAGNE	AMALUS FRUITEE FRET	2.5" CAL
7	SAUCE MAQUOIA	MAQUOIA SPP.	10' HT.

EVERGREEN TREES

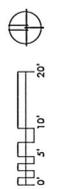
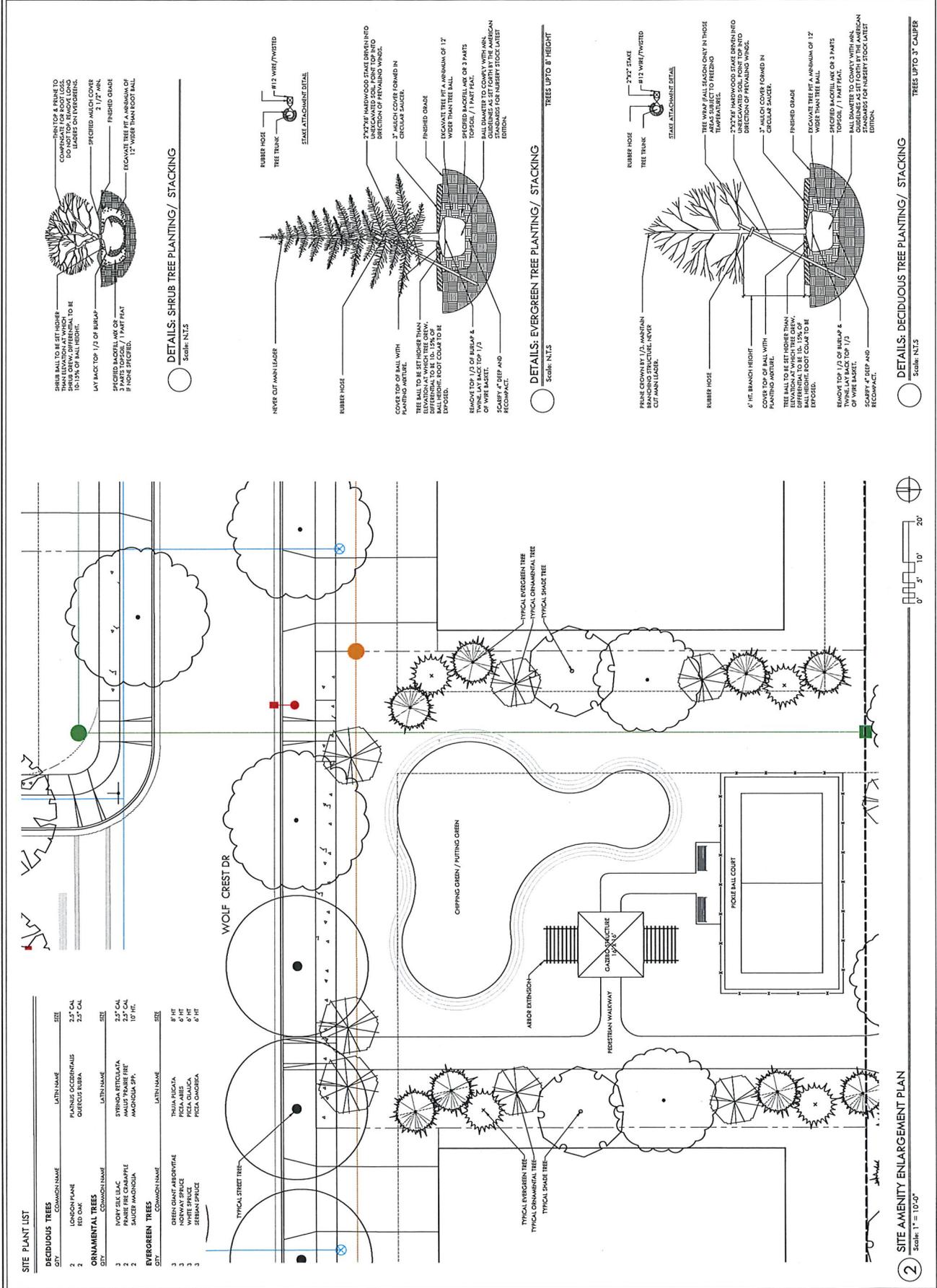
CITY	COMMON NAME	LATIN NAME	SIZE
11	GREEN QUANT AMBROVITAE	TRUJA PLICATA	8' HT
11	NORWAY SPRUCE	PICEA ABIES	6' HT
10	SEBRINA SPRUCE	PICEA OVIDEA	6' HT



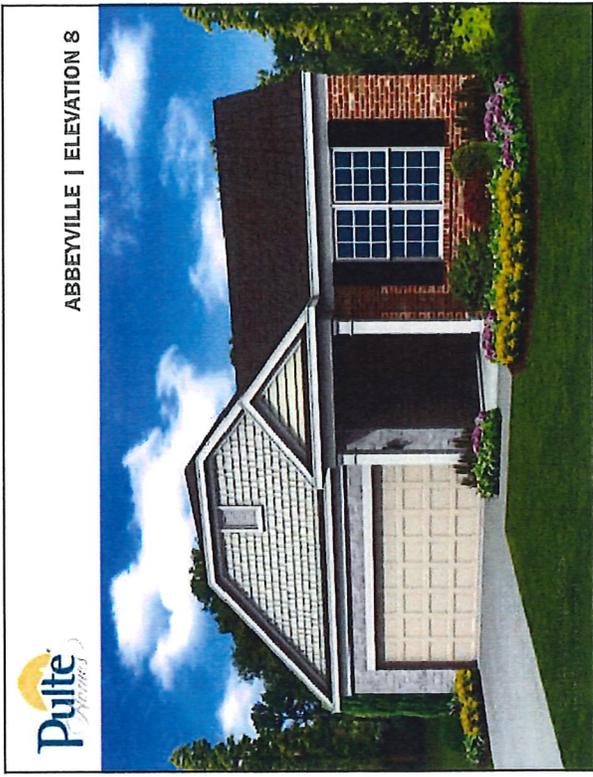
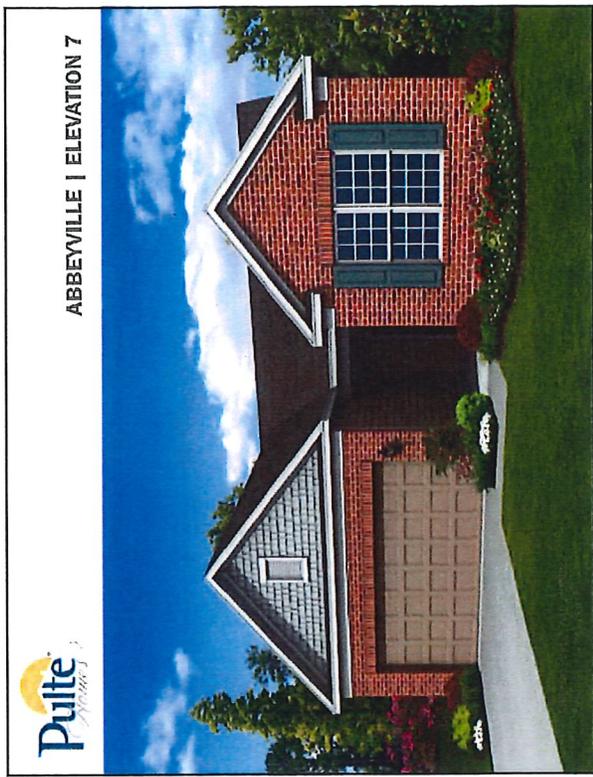
TYPICAL PLANT SYMBOLS
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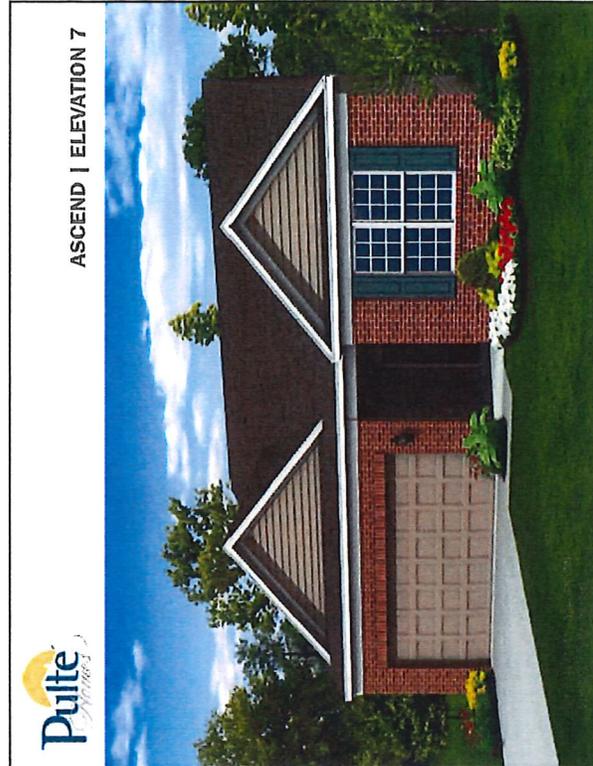
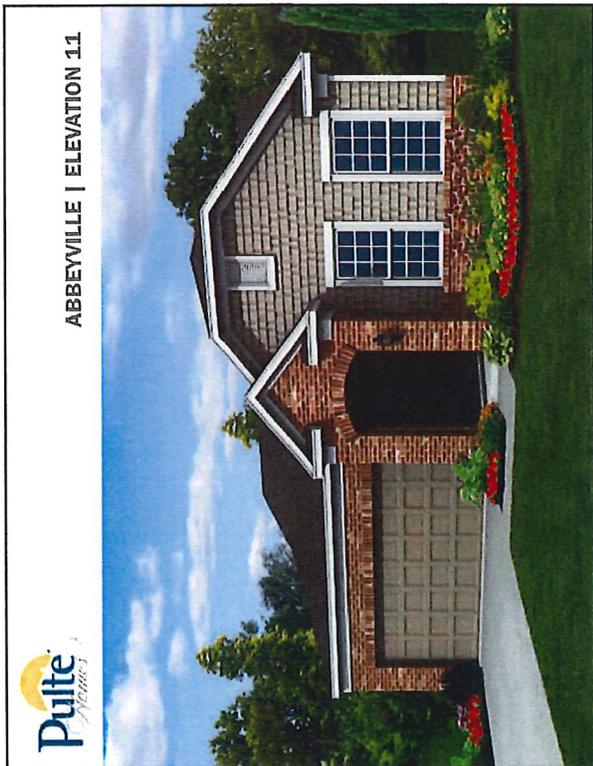
- EVERGREEN TREES
- SHAD TREES
- ORNAMENTAL TREES
- LARGE EVERGREEN SHRUB
- SMALL EVERGREEN SHRUB
- LARGE DECIDUOUS SHRUB
- SMALL DECIDUOUS SHRUB
- ORNAMENTAL GRASS / PERENNIAL

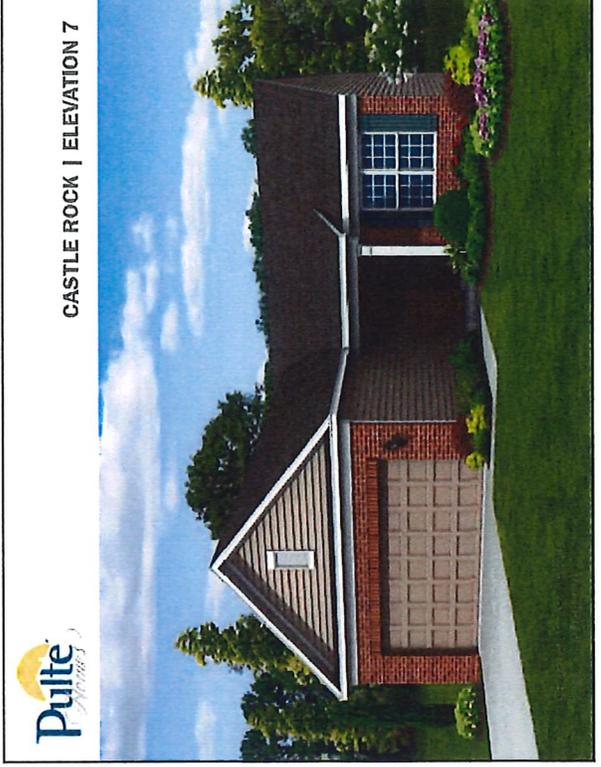
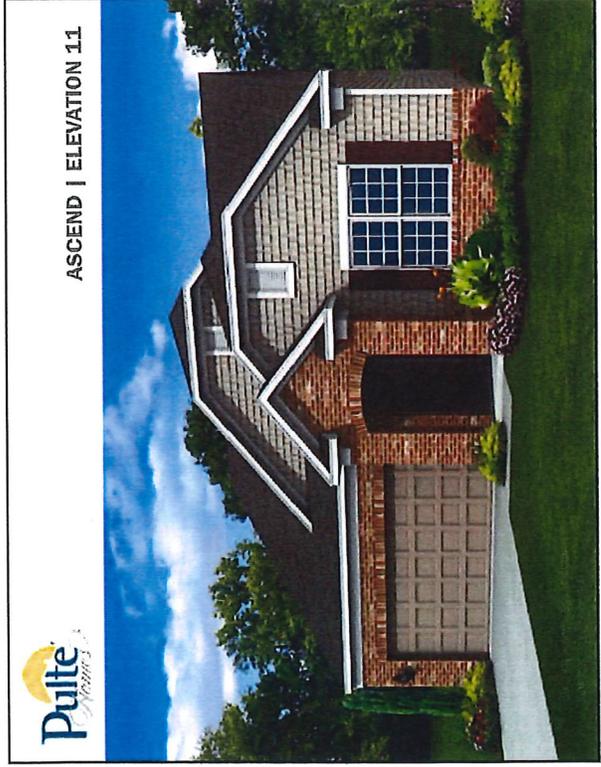
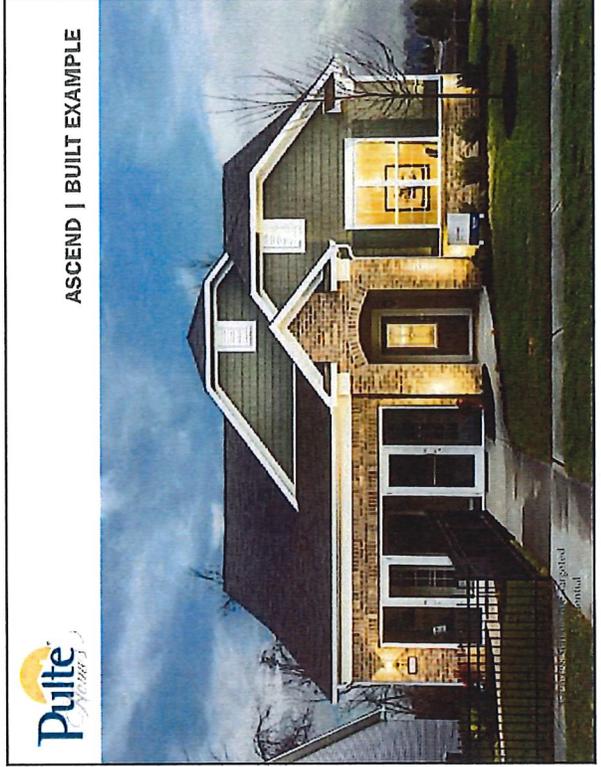
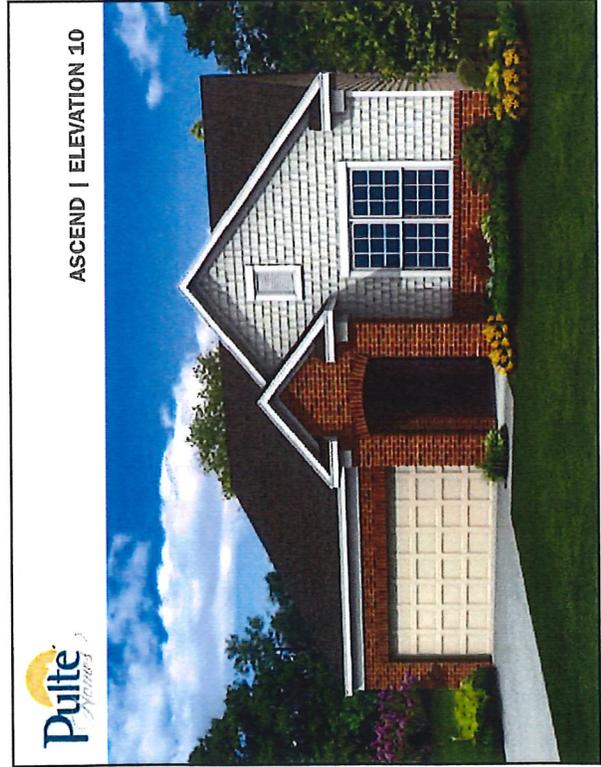
1 OVERALL SITE PLAN
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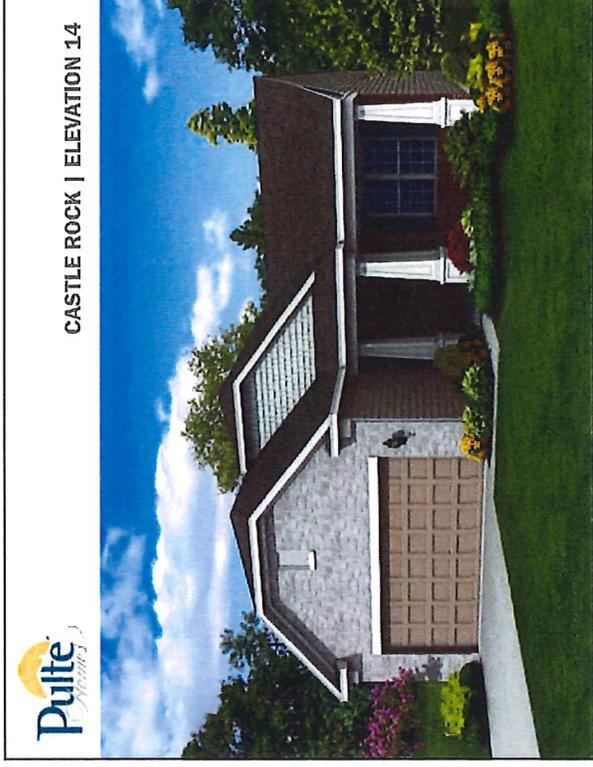
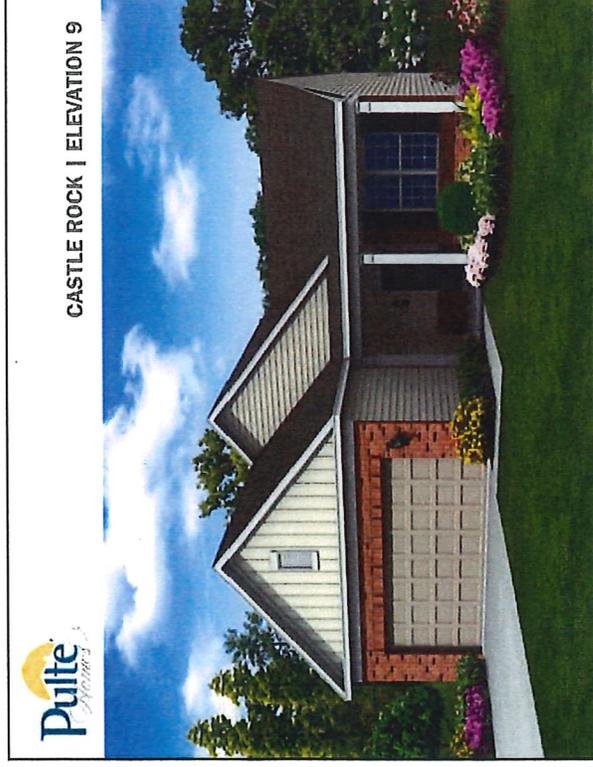
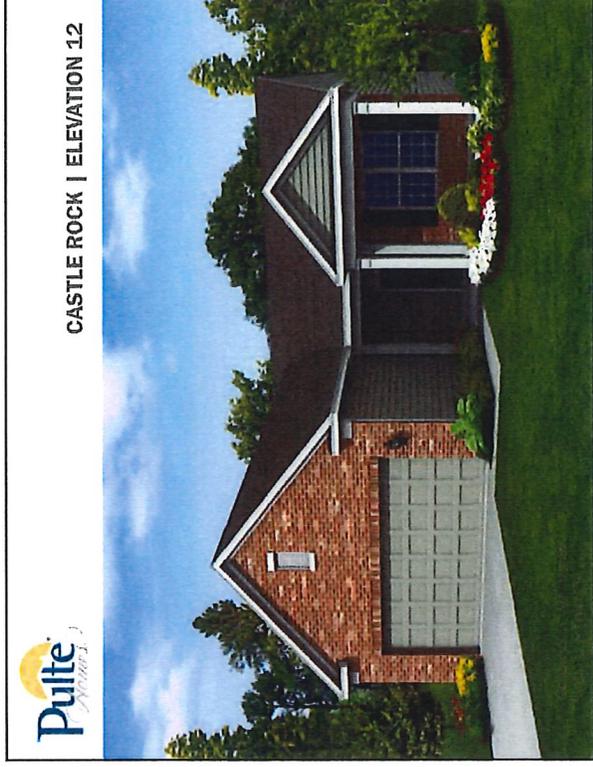
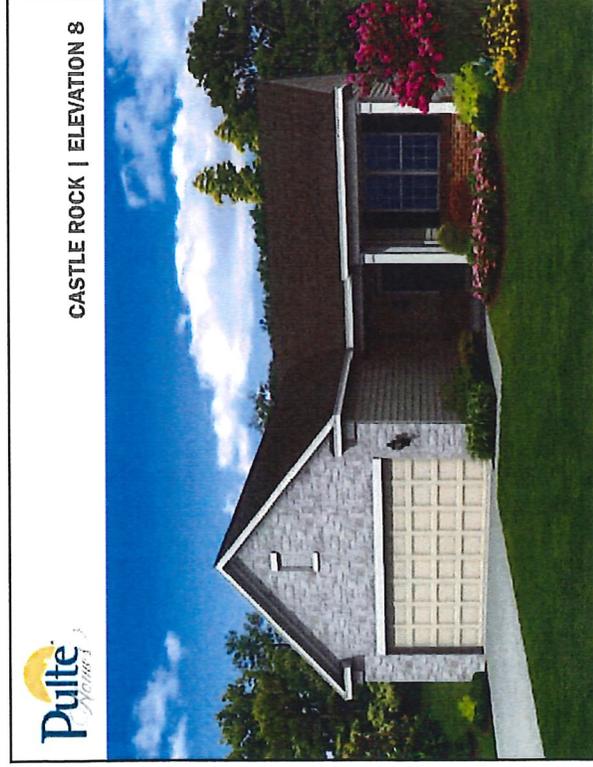


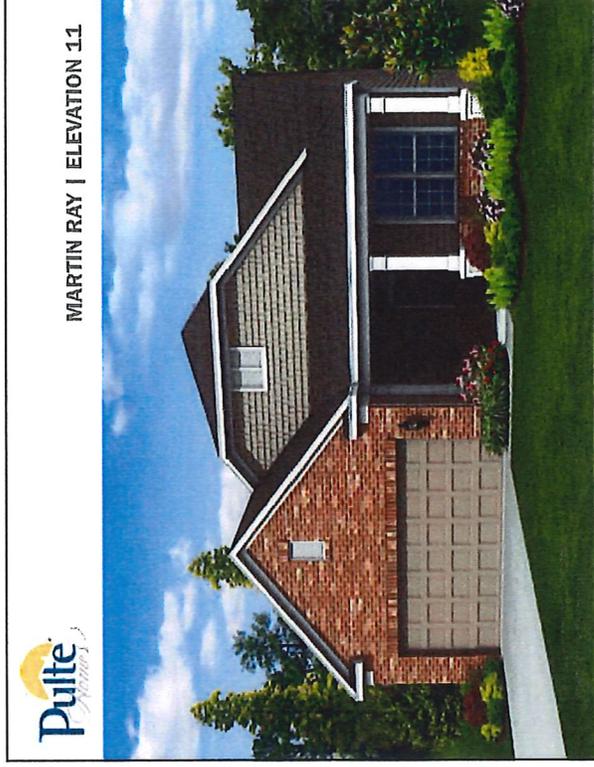
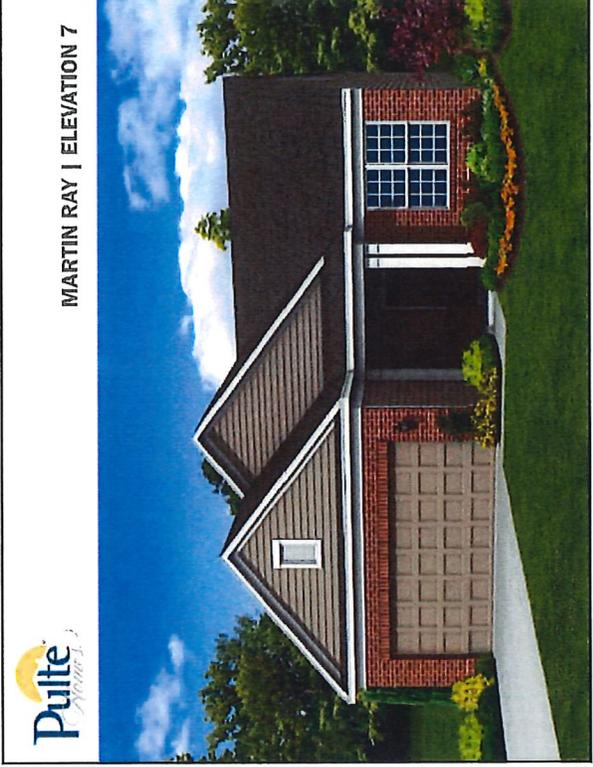
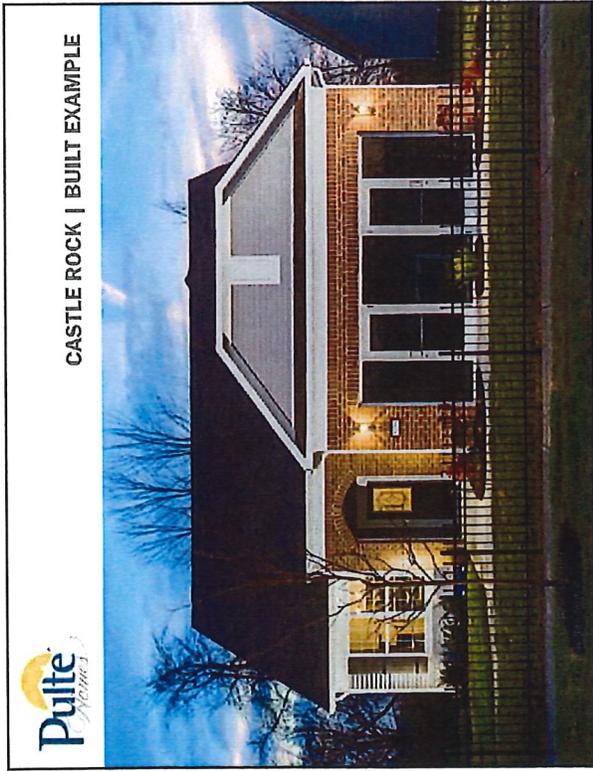
2 SITE AMENITY ENLARGEMENT PLAN
 Scale: 1" = 10'-0"

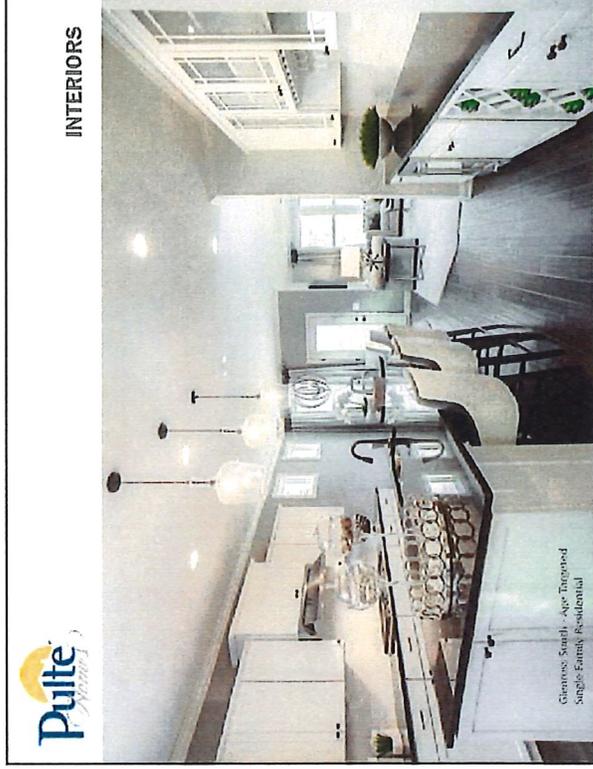
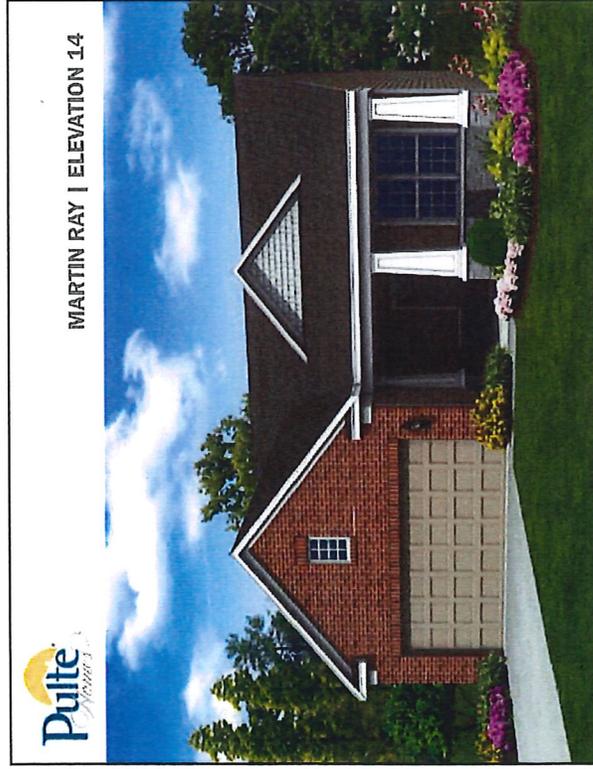
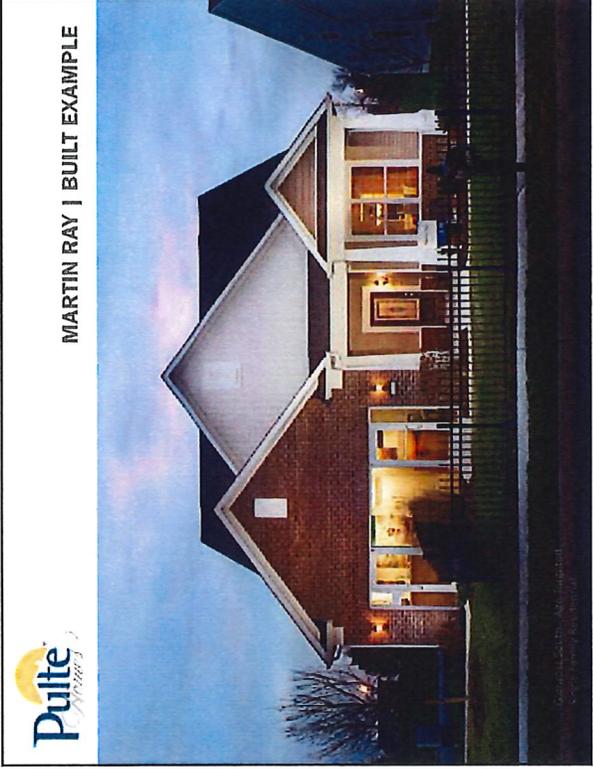
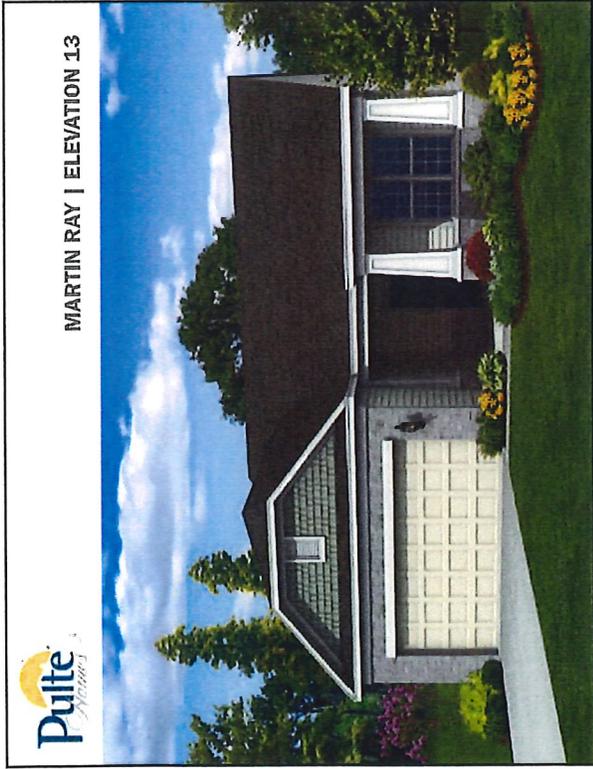


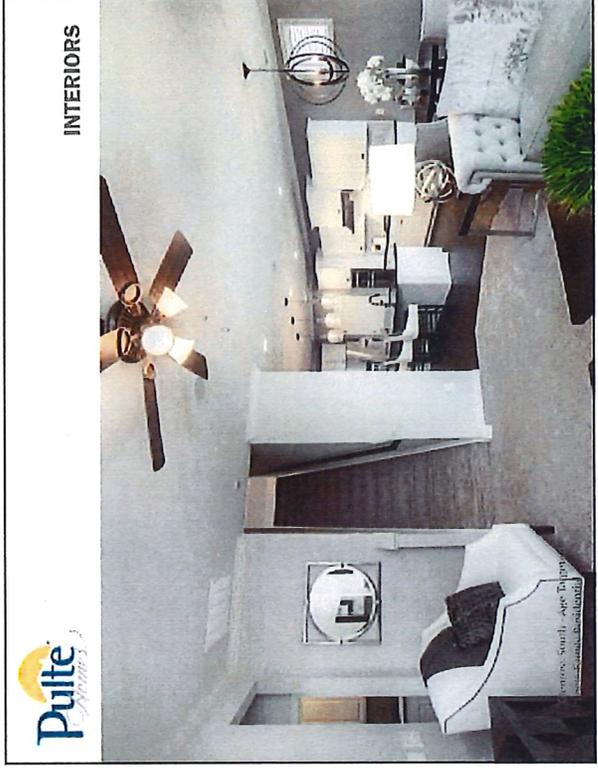
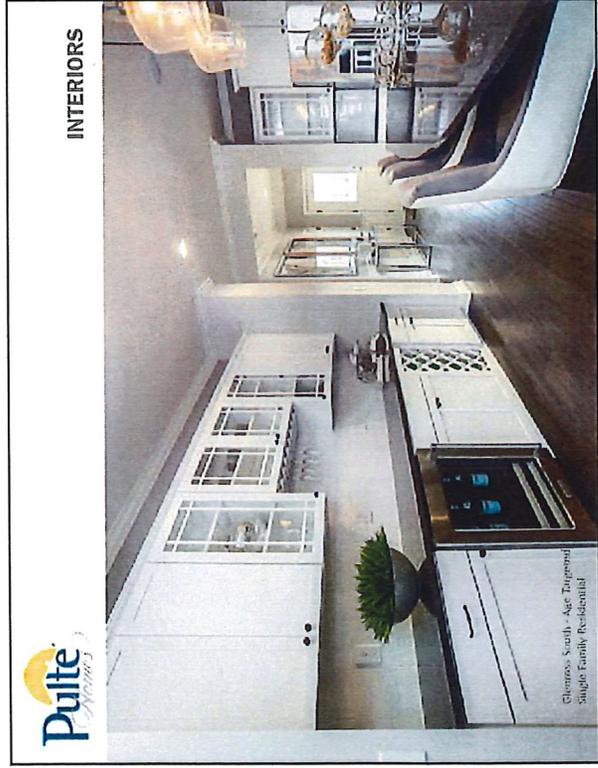
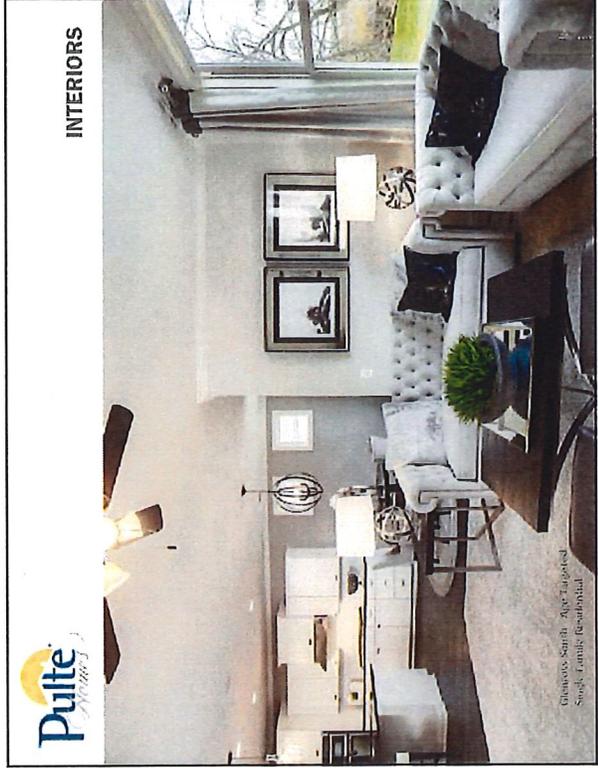
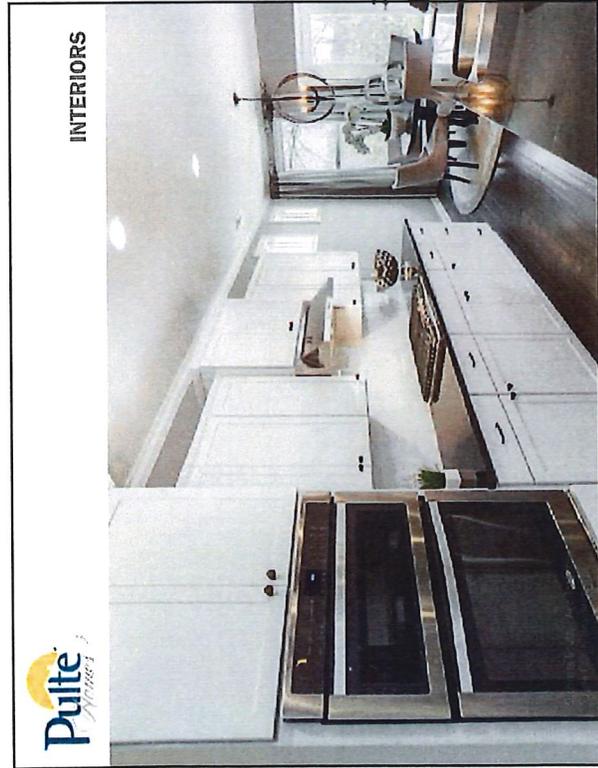


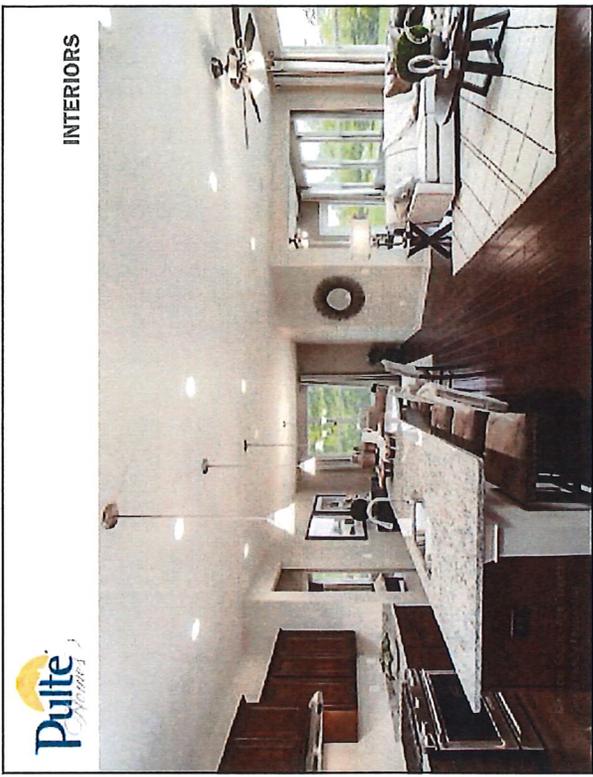
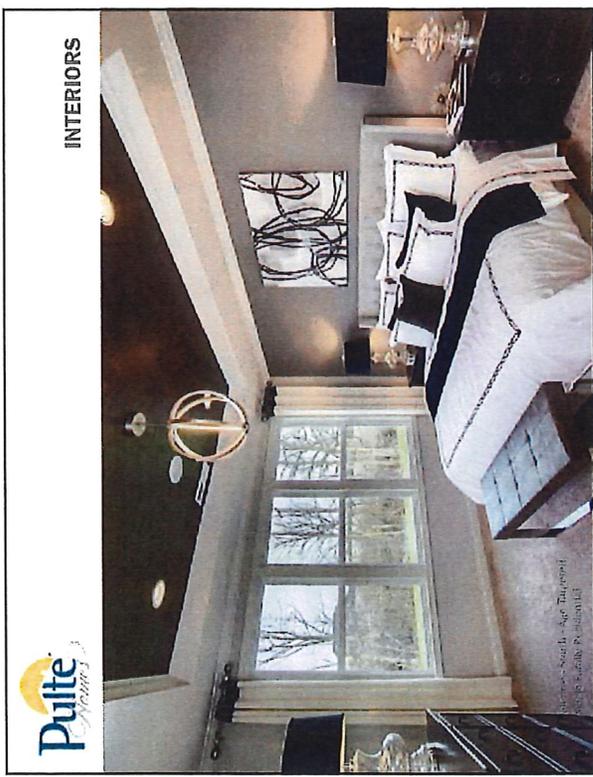
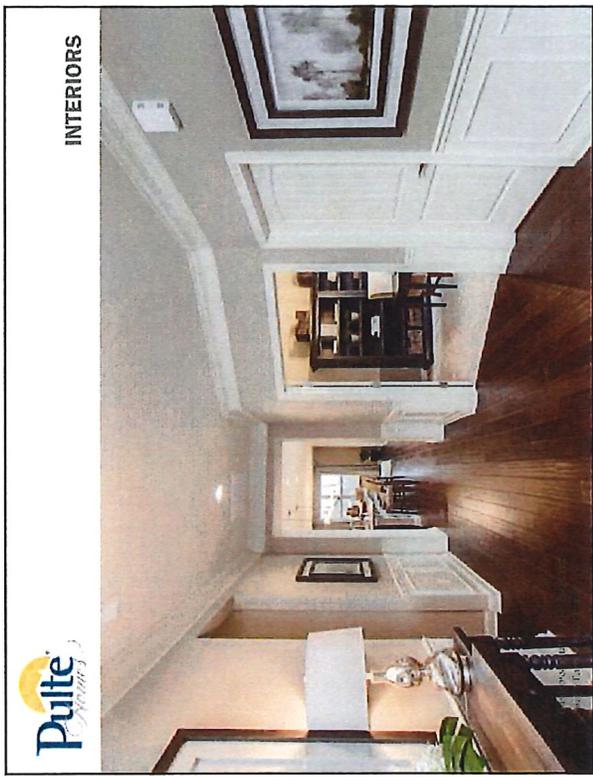
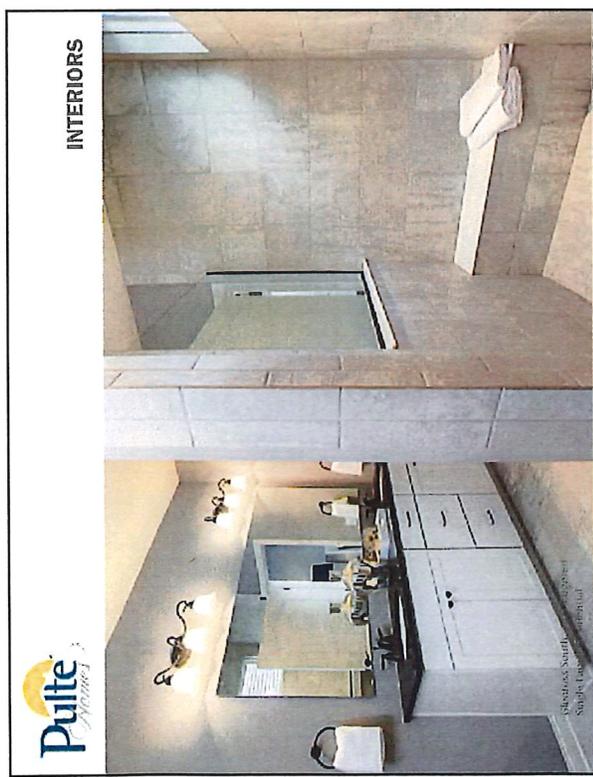


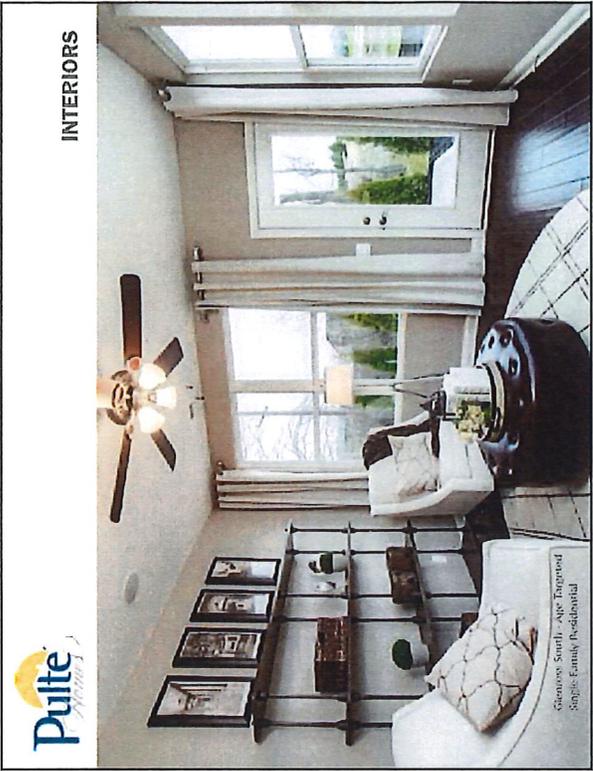
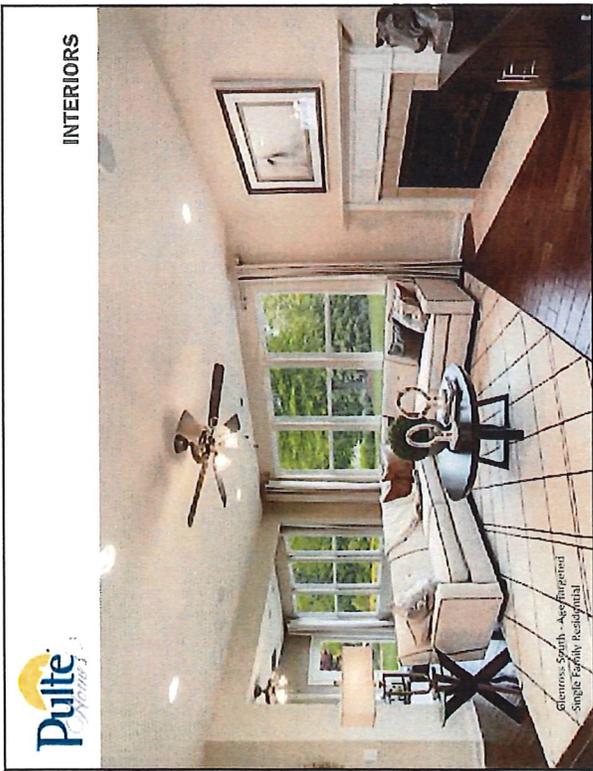
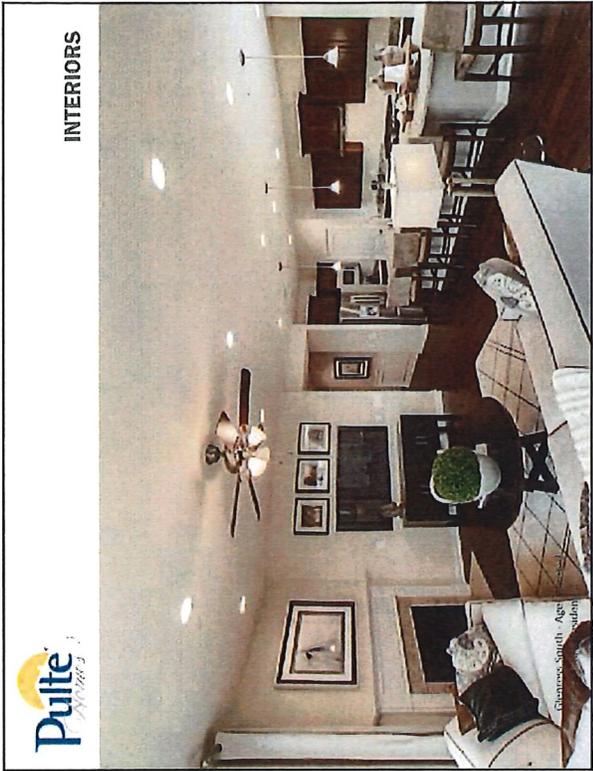
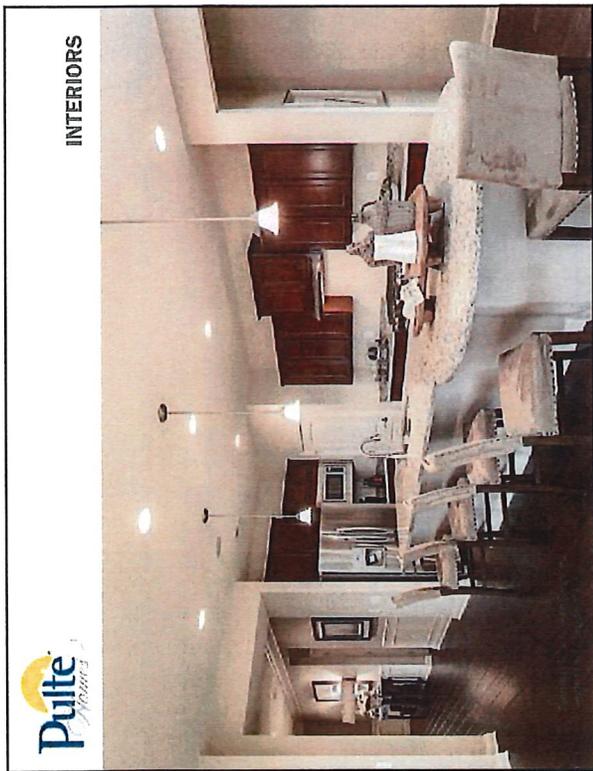


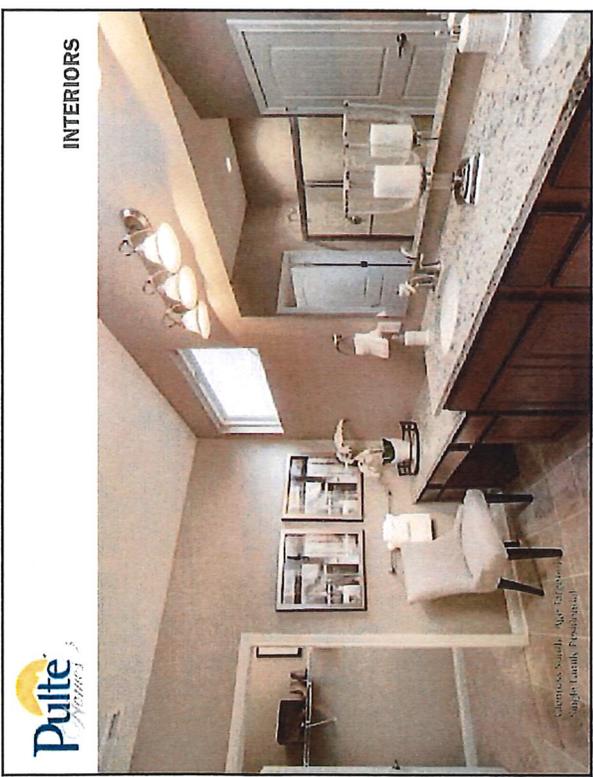














**CITY OF DELAWARE, OHIO
PLANNING & COMMUNITY DEVELOPMENT
MASTER APPLICATION FORM**



Project # _____ Case # _____

Planning Commission

- | | | |
|--|---|---|
| <input type="checkbox"/> Amended Final Development Plan | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non- Conforming Use |
| <input type="checkbox"/> Amended Final Subdivision Plat | <input type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Vacation-Alley |
| <input type="checkbox"/> Amended Preliminary Development Plan | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat | <input type="checkbox"/> Floodplain Permit | <input type="checkbox"/> Vacation-Street |
| <input type="checkbox"/> Annexation Review | <input type="checkbox"/> Lot Split | Board of Zoning Appeals |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Development Plan | <input type="checkbox"/> Conditional Use Permit |
| <input type="checkbox"/> Concept Plan | <input type="checkbox"/> Preliminary Dev Plan Extension | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Preliminary Sub Plat | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Determination of Similar Use | <input type="checkbox"/> Preliminary Sub Plat Extension | |
| <input type="checkbox"/> Development Plan Exemption | <input type="checkbox"/> Rezoning | |
| <input checked="" type="checkbox"/> Final Development Plan | <input type="checkbox"/> Subdivision Variance | |

Subdivision/Project Name Communities at Glenross Section 12 Address Cheshire Road

Acreage 14.796 Square Footage N/A Number of Lots 48 Number of Units N/A

Zoning District/Land Use PRD Proposed Zoning/Land Use PRD Parcel #41832001040000 & 41832001035000

Applicant Name Pulte Homes of Ohio, LLC Contact Person Joel West

Applicant Address 4900 Tuttle Crossing Boulevard, Dublin, Ohio 43016

Phone (614) 376-1122 Fax (614) 356-6801 E-mail Joel.West@Pulte.com

Owner Name Pulte Homes of Ohio, LLC Contact Person Joel West

Owner Address 4900 Tuttle Crossing Boulevard, Dublin, Ohio 43016

Phone (614) 376-1122 Fax (614) 356-6801 E-mail Joel. West@Pulte.com

Engineer/Architect/Attorney EMH&T Contact Person Jeffery A. Strung

Address 5500 New Albany Road, Columbus, Ohio 43054

Phone (614) 775-4700 Fax (614) 775-4800 E-mail jstrung@emht.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

Owner Signature

Agent Signature

Owner Printed Name

Jeffrey A. Strung
Agent Printed Name

Sworn to before me and subscribed in my presence this _____ day of _____, 20__.

Notary Stamp

Notary Public

SCHEDULE OF FEES

Application	Fee	
	Single-Family Lot	All Other Development ¹
Comprehensive Plan Amendment	\$500	\$500
Rezoning	\$250	\$500 plus \$100 per acre
Concept Plan	Non-applicable ²	\$500
Preliminary Development Plan	Non-applicable	\$750 plus \$50 per acre or \$100 per dwelling unit if multi-family or condominium
Final Development Plan	Non-applicable	\$1,000 plus \$50 per acre or \$100 per dwelling unit if multi-family or condominium
Combined Preliminary & Final Development Plans	Non-applicable	\$1,000 plus \$50 per acre or \$100 per dwelling unit if multi-family or condominium
Development Plan Exemption	Non-applicable	\$500
Development Plan Amendment	Non-applicable	\$750
Development Plan-Approval Deadline Extension	Non-applicable	\$500
Conditional Use Permit (Planning Commission or Board of Zoning Appeals)	\$150	\$500
Variance (Zoning)	\$150	\$300 for the first variance and \$50 for each subsequent variance
Substitution of a Non-Conforming Use	\$25	\$200
Appeal of an Administrative Decision	\$25	\$200
Code Interpretation/ Determination	\$25	\$100
Determination of a Substantially Similar Use	Non-applicable	\$75
Variance: Extension of the Approval Deadline	\$25	\$150
Preliminary Plat	Non-applicable	\$750 plus \$100 per lot or \$50 per acre if a non-single-family subdivision plat
Final Plat	Non-applicable	\$1,000 plus \$100 per lot or \$50 per acre if a non-single-family subdivision plat
Amended Plat (Preliminary or Final Plat)	Non-applicable	\$750
Extension of the Plat Approval Deadline	Non-applicable	\$500
Subdivision Variance	Non-applicable	\$300 for the first variance and \$50 for each subsequent variance
Lot Split (Minor Subdivision)	\$75	\$100 plus \$50 per lot to be split
Floodplain Use Permit	\$100	\$300
Floodplain Letter of Interpretation	\$50	\$200
Alley, Street, or Easement Vacation	\$100	\$250
Annexation Review	\$50	\$500

¹ Includes single-family subdivision plats.

² "Non-Applicable" means that the noted application does not apply to an existing single-family lot. If the code is amended to extend an application to single-family lots, then the appropriate fee must be established.

CASE NUMBER: 2017-2904
REQUEST: Final Development Plan
PROJECT: Burr Oak Commons
MEETING DATE: December 6, 2017

APPLICANT/OWNER

Treplus Communities
1515 Lakeshore Drive, Suite 225
Columbus, Ohio 43204

REQUEST

2017-2904: A request by Treplus Communities for approval of a Final Development Plan for Burr Oak Commons containing 92 apartment units on approximately 20.06 acres zoned B-3 PMU (Community Business District with a Planned Mixed Use Overlay District) and located on the north side of SR 37 just west of Westfield Shopping Center and just east of Lantern Chase Subdivision.

PROPERTY LOCATION & DESCRIPTION

The subject 20 acres is located north of SR 37 between Westfield Shopping Center and the Lantern Chase subdivision. The subject site is zoned B-3 PMU (Community Business District with a Planned Mixed Use Overlay District). The properties to the north and west are zoned R-3 (One-Family Residential), the properties to the east are zoned R-6 (Multi-Family Residential District) and B-3 and the property to the south is zoned R-6.

BACKGROUND/PROPOSAL

Treplus Communities develops, builds and holds apartment projects for residents aged 55 and older who are a renter by choice want flexibility, carefree living and the ability to age in place, while achieving compliance with the Housing for Older Persons Act of 1995 (HOPA). In August 2017, City Council approved a zone change to B-3 PMU (Community Business District with Planned Mixed Use Overlay District) from B-3, a Conditional Use Permit and a Preliminary Development Plan on the subject 20.06 acre site to allow 92 single story apartments (approximately 4.58 units per acre) that are universal designed one, two and two plus bedrooms ranging from 1,200-1,600 square feet. There would be 25 apartment buildings with a commons building and associated tenant and visitor parking. Access to the development would be from a proposed curb cut on SR 37 and a pre-existing access easement through the Westfield Shopping Center while providing a bike/pedestrian path along SR 37 per the Bicycle and Pedestrians Plan 2017. Now the applicant is requesting approval of a Final Development Plan to finalize details and initiate construction in early 2018.

STAFF ANALYSIS

- **ZONING:** As previously mentioned, the zoning for the subject site is B-3 PMU to allow the apartments development with an appropriate site plan that achieves compliance with approved development text and minimum City development requirements.
- **GENERAL ENGINEERING:** The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND ACCESS:** The site would have primary access from a proposed full movement curb cut on SR 37 and secondary access from a recorded easement through the Westfield Shopping Center. A left hand turn lane on eastbound SR 37 would be constructed by the developer (approximately 100 feet in length). The looped internal roads would be private but would have to be constructed to public standards or equivalent as approved by the City Engineer. To meet emergency access requirements, a 12 foot wide emergency drive with a barricade is located just behind the Westfield Shopping Center and extends north between buildings 3 and 6 to a private drive. The emergency access drive is constructed of grass pavers with collapsible bollards at each end. In conclusion, the entire development would have to achieve compliance with the minimum engineering, public works and fire department requirements. Furthermore, the name of private drives shall be submitted and approved by the City and appropriate agencies.
- **PEDESTRIAN CONNECTIVITY:** External and internal pedestrian connectivity are proposed within the development. A bike path along SR 37 stubs into this site from the Westfield Shopping Center and is proposed to extend west through this site and the Lantern Chase subdivision to the western boundary line of

the City. The City would require the developer to construct and dedicate the bike path along the frontage of their subject property along SR 37 per the adopted Bicycle and Pedestrian Plan 2017 and City Engineers requirements. Also, the developer is proposing a five foot wide pedestrian path throughout the development to connect to the bike path along SR 37 and to the Westfield Shopping Center via the secondary access road. There would not be sidewalk access to the north through the Lantern Chase Subdivision as conceptually contemplated during the preliminary development plan process because the homeowner to the north and the Lantern Chase Homeowners Association did not want such connection for various reasons. If in the future, a sidewalk is desired the Treplus development could accommodate ~~a~~ sidewalk. *SUCH*

- **SITE CONFIGURATION:** As mentioned earlier, the primary access point from SR 37 and the secondary access point from Westfield Shopping Center converge just north of the proposed retention pond that fronts SR 37 and then extends north into the 92 unit development in 25 buildings. The retention pond has a maximum 3 foot high wall that faces US 37 and is faced with a Rosetta dimensional wall by Oberfields. Staff suggests the retaining wall shall have a Delaware blue vein limestone or equivalent face. The private road would loop the site with apartment buildings on the exterior of the site with two roads and an alley that bisects the aforementioned loop road with apartment buildings located adjacent to the roads and alley. An emergency access road would be located between buildings and 3 and 6 from the Westfield Hills Shopping Center. A commons building would be located just north of the primary and secondary road intersection into the development with 20 parking spaces. The entire development would have 371 parking spaces with 164 garage spaces (i.e. a one bedroom apartment equals a one car garage and a two bedroom apartment equals a two car garage), 164 drive way spaces (one per bedroom), 23 overflow spaces and 20 spaces at the clubhouse.

The 92 units in 25 buildings (between 2 and 6 unit buildings) would be divided into 20 one bedroom units, 34 two bedroom units and 38 two plus bedroom units. This equates to approximately 80% two bedroom and 20% one bedroom units. Each unit would have an attached garage and a patio or deck depending on grade and would encompass between 1,200 to 1,600 square feet. The unit amenities include gourmet kitchens with stainless steel appliances, granite countertops, universal design which includes no step showers/entrances, lever doors, wide halls and LED lights, trash totes placement to and from garages, bulk removal, on-site management and in home check-in for traveling residents. The clubhouse would include a fitness center, business center, club rooms for cards, yoga, book club, events activities, patio with fire pit, and a café with Wi-Fi.

- **BUILDING DESIGN:** The developer's proposed elevations portray a modern architectural style with the following building materials: 1) tan synthetic stone veneer ledge stone walls and wainscoting; 2). monterey sand premium horizontal siding (0.44" thick); 3). charcoal smoke and canyon drift thick board and batten siding (0.50" thick); 4).glacier white premium vinyl trim (3.5"); 5). white aluminum gutters and downspouts; 6). Glacier white louvered gable vents; 7). weatherwood dimensional shingles. Staff requires that all the limestone on the buildings shall be constructed of Delaware blue vein limestone or equivalent as approved by staff. In conclusion, the proposed building materials appear to be consistent with other recently approved multi-family developments and achieves compliance with the approved development text.
- **LANDSCAPING & SCREENING:** The applicant is proposing a comprehensive landscape plan that includes private street trees, foundation landscaping and perimeter mounding and buffering. They are proposing 128 private street trees throughout the development and extensive foundation planting for each building. The perimeter buffering along the northern and western property lines adjacent to the single family homes shall be a minimum 12 foot high continuous buffer consisting of evergreen trees (in a staggered alignment) and a 3 foot high earthen mound to buffer the single family residents to the north and west. If the mound height is greater than 3 feet, the trees on that portion of the mound may be smaller so long as the total is at least 12 feet high. However, in no case shall a tree be less than 6 feet in height regardless of mound height. The proposed plan identifies mounding and screening that does not achieve compliance with the above requirements in several areas. There is not any mounding and buffering in the southeastern portion of site adjacent to building #1. There is a significant difference in grade in this location which may make a mound impossible. If this is the case, the applicant shall either utilize a retaining wall to be able to achieve the required height or shall plant trees which ~~achieve~~ a minimum 12 feet in height at planting for a limited area as possible until construction of a mound and trees can be used. This shall be substantially similar to the submitted EMI landscape plan. The remainder of the mounding along the western perimeter adjacent to the Lantern Chase

Subdivision (adjacent to buildings 2, 8, 12 and 17) is a maximum 3 feet high which would require minimum 9 feet high evergreen trees. The mounding along the northern portion of site adjacent to the Lantern Chase Subdivision (adjacent to buildings 24 and 25) is a maximum 3 feet high and undulating. The mound shall not be undulating to create a consistent screen and the evergreen trees shall be a maximum 9 feet high at installation. Currently the landscape plan identifies the evergreen trees to be 6 to 7 feet high at installation which does not achieve compliance with the maximum 3 feet high mounding proposed to reach the required 12 foot high minimum. Furthermore, the proposed evergreen trees are not planted in a staggered formation as required. Staff recommends increasing the mound height to a minimum 4 feet high to allow maximum 8 foot tall evergreen trees on the mound. From an amenity perspective, the applicant is proposing a community gardens just south of community center and a park bench overlooking the retention pond on the sidewalk between SR 37 and the main access drive. The Shade Tree Commission approved the landscape plan on November 28, 2017 pertaining to type of trees but not mounding and screening requirements.

- **TREE REMOVAL & REPLACEMENT:** A tree survey has been provided that documents the total number, type, size, and health of trees to be preserved and replaced and verified by the City of Delaware. Tree removal and replacement shall meet all requirements of Chapter 1168 and the approved development text and with the following replacement schedule and fee/replanting requirements:
 - i) Trees in poor condition shall not be replaced.
 - ii) Trees in fair condition shall be replaced at 50%.
 - iii) Trees in good condition shall be replaced at 100%
 - iv) Ash trees shall not be replaced and must be removed from the site.
 - v) For any permanently preserved tree areas replacement credit shall be granted based on the submitted and verified survey and the schedule above.

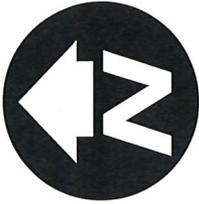
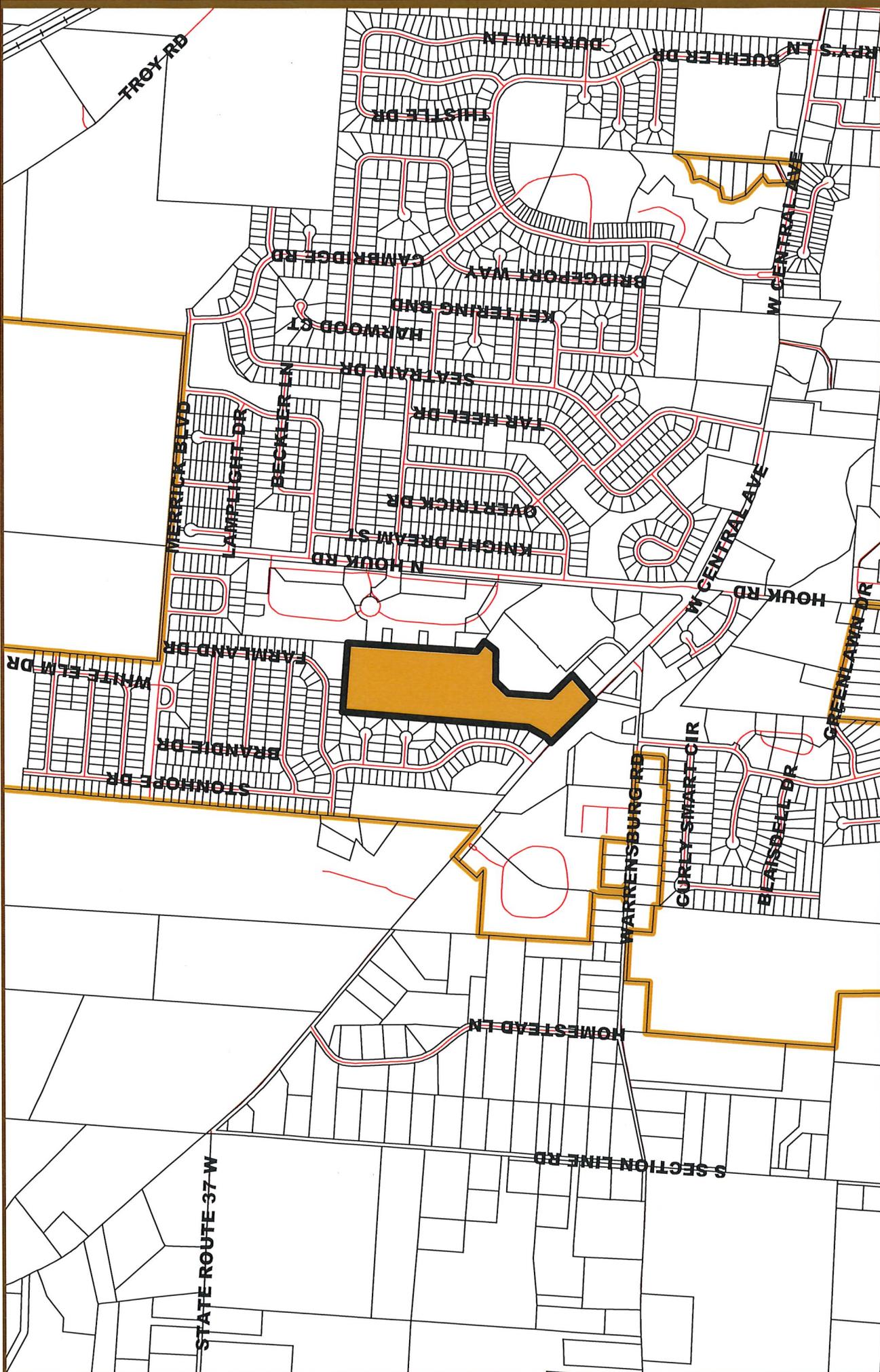
The site has wooded areas in the southern portion of the site along SR 37, along the eastern boundary adjacent to the existing apartments and scattered throughout the site. The tree survey for the site yielded 378 trees with 4,199 caliper inches on the subject property. Of the 4,199 caliper inches, 2,079 caliper inches would be removed and 2,120 caliper inches would be preserved. The City requested and the developer is proposing 3 tree preservation areas on the subject site. One tree preservation site is located just north of the main entrance on SR 37, a second tree preservation area is located between the retention pond and building 1, and the third tree preservation area is located along the eastern boundary behind buildings 6, 16 and 23. The tree preservation areas shall be located within an easement with the appropriate language that would need to be reviewed and approved by staff and then be recorded at the county. The above proposal would achieve compliance with Chapter 1168 Tree Preservation Requirements, the approved development text and would be consistent with other recently approved developments.

- **GATEWAYS & CORRIDORS PLAN:** The applicant is proposing a monument sign at the primary entrance along SR 37 and a monument sign at the secondary entrance through the Westfield Hill Shopping Center easement. The primary sign would have approximately 50 square feet of sign area on an almost 3 foot high dry laid stone veneer base bookended by 6 foot high columns and located within the boulevard of the main entrance. The secondary sign would be located just north of the secondary access from Westfield Hills Shopping Center would have approximately 18 square feet of sign area on an almost 2 foot high dry laid stone veneer base. The stone base shall be Delaware blue vein or equivalent as approved by staff to achieve compliance with the adopted Gateways & Corridors Plan.
- **LIGHTING:** The applicant submitted a lighting plan that identifies 60 black light poles with gooseneck fixtures that are 16 feet high located throughout the development. The lighting plan was approved by the Chief Building Official on November 9, 2017.
- **REFUSE SERVICE:** The Public Works Department will provide residential pick-up service to this project using individual tip cart collection. The trash service will consist of tip carts picked up at the bottom of each street with service provided by the City of Delaware. In the event units are clustered around parking courts (3 such area are preliminary proposed), the developer shall provide a common concrete area adjacent to the primary street and the developer (or management company) shall ensure the tip carts are moved to this area for the designated pick up as with the other units and then moved back to the units themselves. This will ensure a coordinated, street side pick-up area.

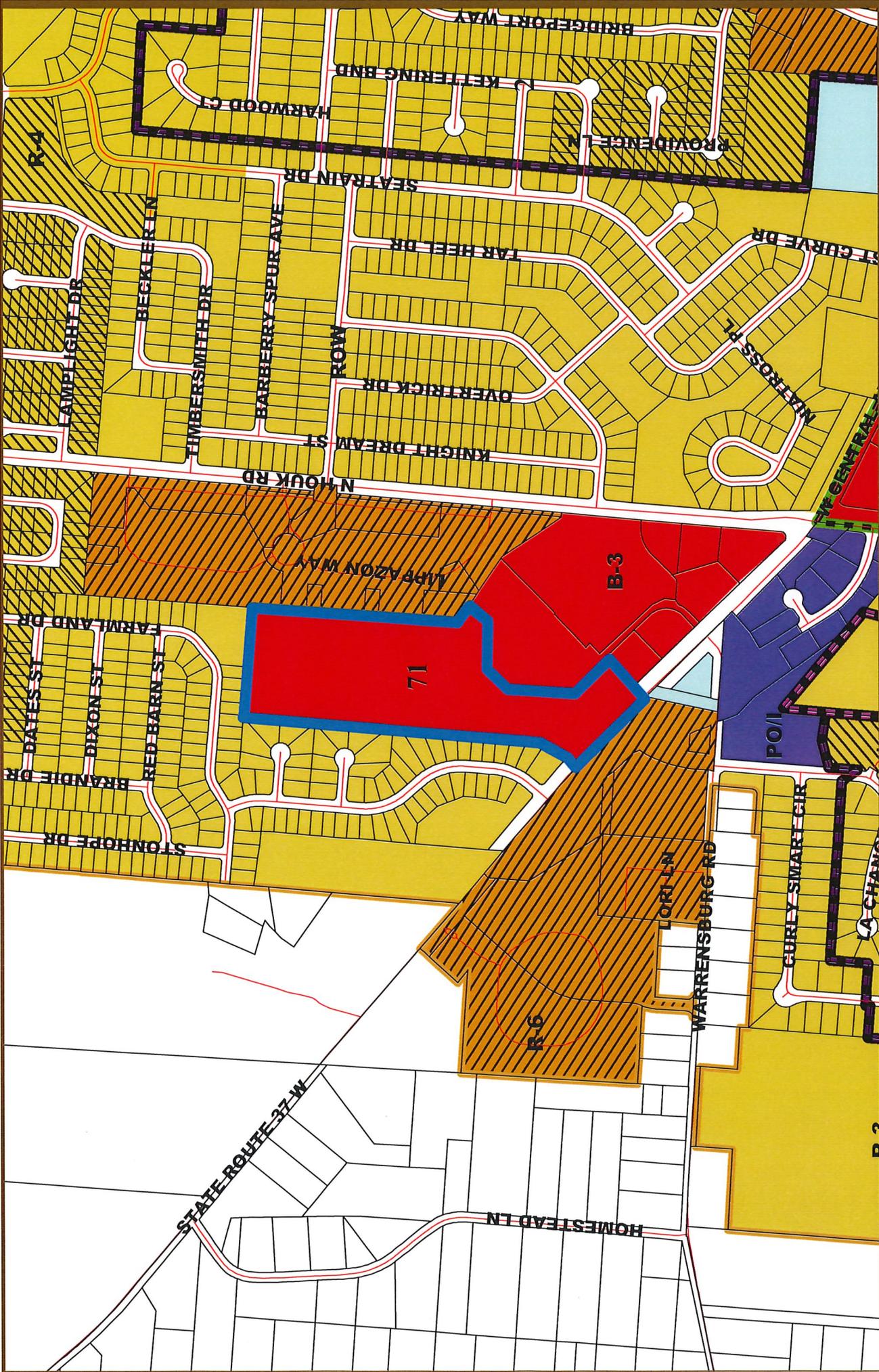
STAFF RECOMMENDATION (2017-2904 – FINAL DEVELOPMENT PLAN)

Staff recommends approval of a request by Treplus Communities of a Final Development Plan for Burr Oak Commons containing 92 apartment units on approximately 20.06 acres zoned B-3 PMU and located on the north side of SR 37 just west of Westfield Shopping Center and just east of Lantern Chase Subdivision, with the following conditions that:

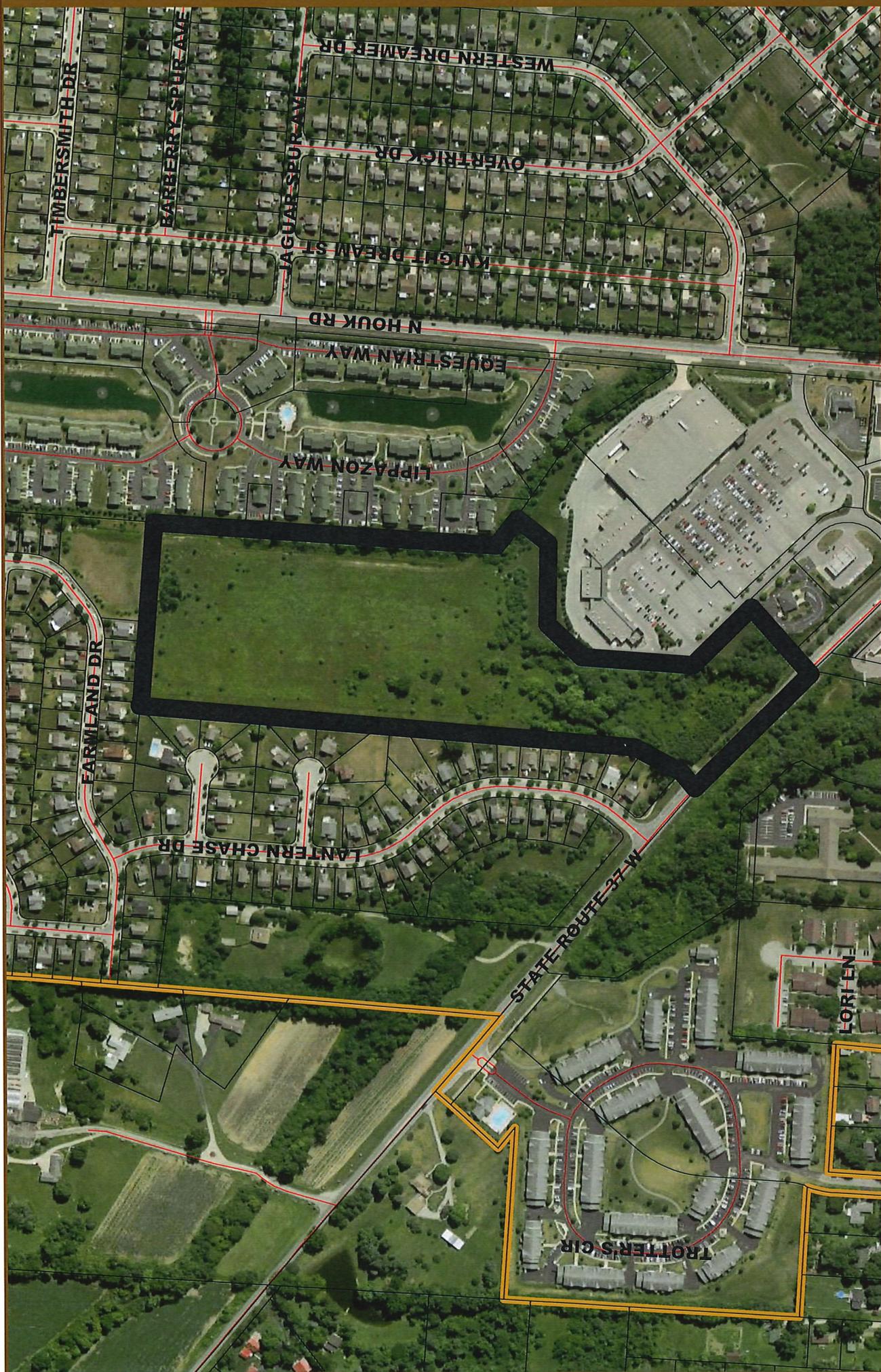
1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. A sidewalk shall be located on one side of the private streets as determined with the Final Development Plan.
3. The City shall require the developer to construct and dedicate the bike path along the frontage of the subject property along SR 37 per the adopted Bicycle and Pedestrian Plan 2017 and City Engineers requirements.
4. The proposed apartment buildings shall achieve compliance with the design standards of the approved development text. All the limestone on the buildings shall be constructed of Delaware blue vein limestone or equivalent as approved by staff, and shall utilize a tooled joint technique.
5. The retaining wall on the north side of the retention pond facing SR 37 shall be constructed of Delaware blue vein limestone or equivalent as approved by staff.
6. The perimeter buffering along the northern and western property lines adjacent to the single family homes shall be a minimum 12 foot high continuous buffer consisting of evergreen trees (in a staggered alignment) and at least a 3 foot high earthen mound to buffer the single family residents to the north and west. If the mound height is greater than 3 feet, the trees on that portion of the mound may be smaller so long as the total is at least 12 feet high. However, in no case shall a tree be less than 6 feet in height regardless of mound height. The area on the west property line where the subject site is significantly above the adjacent residential lots may require a section of 12 foot tall evergreen trees if a mound is not possible as determined by the City Engineer.
7. The amount of caliper inches of trees preserved (2,120) and trees removed (2,079) shall be as submitted on the tree survey to achieve compliance with the Tree Preservation Regulations in Chapter 1168 and approved development text.
8. The tree preservation areas shall be located within an easement with the appropriate language that would need to be reviewed and approved by staff and then be recorded at the county.
9. The base on the two ground signs shall have a limestone base constructed of Delaware blue vein limestone or equivalent as approved by staff with a stone cap.
10. The Public Works Department shall provide residential pick-up service to this project using individual tip cart collection. The trash service will consist of tip carts picked up at the bottom of each driveway with service provided by the City of Delaware. In the event units are clustered around parking courts (3 such area are preliminary proposed), the developer shall provide a common concrete area adjacent to the primary street and the developer (or management company) shall ensure the tip carts are moved to this area for the designated pick up as with the other units and then moved back to the units themselves.
11. The private street names shall need to be submitted and approved by the City and other appropriate agencies.



2017-2904
 Final Development Plan
 Treplus Communities - Burr Oak Commons
 Location Map



2017-2904
 Final Development Plan
 Treplus Communities - Burr Oak Commons
 Zoning Map



2017-2904
Final Development Plan
Treplus Communities - Burr Oak Commons
Aerial (2016) Map





Burr Oak Commons

City of Delaware Ohio

November 2017



Final Development Plan Submittal



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Burr Oak Commons

November 2017

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Project Summary

Burr Oaks Commons

November 2017

Burr Oak Commons is a proposed 92-unit luxury apartment community for residents aged 55 and older, in compliance with the Housing for Older Persons Act of 1995 (HOPA). The community is proposed for Rte 37 between Houk Rd and Lantern Chase Subdivision, behind the Kroger Shopping Center and Troy Farms Apartments. The community is a low-density apartment development that is designed to be very walkable, connected to the community, and have direct access to the shopping center per an existing easement. Pets are welcome at all Treplus Communities.

The proposed community will provide large single-story plans with 1, 2 and 2 bedrooms plus a den ranging in size from 1200 – 1600 square feet. All will have attached garages and driveways with aprons. Additional guest parking is provided as well. The apartments have a stylish look and adhere to the principals of Universal Design creating an ideal environment for long term residency. The apartments offer residents true maintenance free living without large personal capital commitments. Baby boomers and empty nesters in Delaware are on the go and want a home that is as user friendly as possible while still providing luxurious living close to their community.

The apartments are open plan and oversized with gourmet kitchens, private patios, powder rooms, laundry rooms with hook-ups, and loft ceilings. In keeping with the key elements of Universal design, the apartments include no-step designs including zero threshold showers, wide doorways and halls, single floor living, accessible electrical controls, lever door and faucet handles and superb lighting.

Most importantly, the development features a community garden and Commons center with a fully equipped gym; Wi-Fi café; meeting spaces; yoga and activity areas for a wide range of programming directed by the interests of residents with the assistance of property management to create a strong sense of community.

Burr Oak will offer a high level of concierge service through on-site management, local service referrals and a 24-7 virtual concierge app. However, the community will not offer any health-care or food service and will therefore, not be direct competition for nearby Continuing Care Retirement Communities. Residents are welcome to contract with services to provide in-home care if they need or desire.

Owner/developer

Arthur Partners, LLC (dba Treplus Communities, "Treplus") is under contract to purchase the subject property from Troy Farms of Delaware, LLC.

Treplus is a premier apartment community developer and owner meeting the needs of the discerning baby-boomer, a renter-by-choice who wants flexibility, care-free living, and the ability to age in place. Treplus develops, builds and holds apartment projects designed according to Universal Access principles for residents aged 55 and older, in compliance with the Housing for Older Persons Act of 1995 (HOPA).

The contemplated project is essentially an infill project, currently zoned as B-3 Community Business to permit a wide range of businesses, such as automobile and RV sales, building heights up to 40' and minimal setbacks. Even though much of the upland portion of the property is level, a relatively steep change in elevation on the southern edge from SR 37 and a stream along the eastern edge present some challenges. The proposed project has two points of access, at SR 37 and also by way of a private easement through the Westfield Shopping Center (recorded at OR 45, PG 265 on Aug. 9, 2000).



**CITY OF DELAWARE, OHIO
PLANNING & COMMUNITY DEVELOPMENT
MASTER APPLICATION FORM**



Project # _____ Case # _____

Planning Commission

- | | | |
|--|---|---|
| <input type="checkbox"/> Amended Final Development Plan | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use |
| <input type="checkbox"/> Amended Final Subdivision Plat | <input type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Vacation-Alley |
| <input type="checkbox"/> Amended Preliminary Development Plan | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat | <input type="checkbox"/> Floodplain Permit | <input type="checkbox"/> Vacation-Street |
| <input type="checkbox"/> Annexation Review | <input type="checkbox"/> Lot Split | <u>Board of Zoning Appeals</u> |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Development Plan | <input type="checkbox"/> Conditional Use Permit |
| <input type="checkbox"/> Concept Plan | <input type="checkbox"/> Preliminary Dev Plan Extension | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Preliminary Sub Plat | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Determination of Similar Use | <input type="checkbox"/> Preliminary Sub Plat Extension | |
| <input type="checkbox"/> Development Plan Exemption | <input type="checkbox"/> Rezoning | |
| <input checked="" type="checkbox"/> Final Development Plan | <input type="checkbox"/> Subdivision Variance | |

Subdivision/Project Name Burr Oak Commons Address SR 37, Delaware, OH 43015
 Acreage 20.06+/- Square Footage 182,000 Number of Lots -1- Number of Units 92
 Zoning District/Land Use B-3 Proposed Zoning/Land Use PMU Parcel # 51932001014000

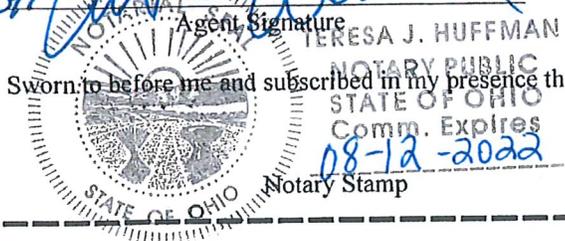
Applicant Name BurrOakCommonsPlus, LLC Contact Person Jane Arthur Roslovic
 Applicant Address 1515 Lake Shore Drive, Suite 225, Columbus, OH 43204
 Phone 614-228-0326 Fax 614-228-2181 E-mail jarthur@trepluscommunities.com
 Owner Name Troy Farms of Delaware, LLC Contact Person Dr. John Melvin, M.D.
 Owner Address c/o Fruth & Co., 163 N. Sandusky Street, Delaware, OH 43015
 Phone 215-955-6574 Fax 215-955-2311 E-mail John.Melvin@jefferson.edu
 Engineer/Architect/Attorney Underhill & Hodge LLC Contact Person Aaron Underhill
 Address 8000 Walton Parkway, Suite 260, New Albany, OH 43054
 Phone 614-335-9321 Fax _____ E-mail aaron@uhlawfirm.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

Owner Signature _____
 Agent Signature _____

Owner Printed Name _____
 Agent Printed Name _____

Sworn to before me and subscribed in my presence this 6th day of November, 2017.



Teresa J. Huffman
 Notary Public

SCHEDULE OF FEES

Application	Fee	
	Single-Family Lot	All Other Development ¹
Comprehensive Plan Amendment	\$500	\$500
Rezoning	\$250	\$500 plus \$100 per acre
Concept Plan	Non-applicable ²	\$500
Preliminary Development Plan	Non-applicable	\$750 plus \$50 per acre or \$100 per dwelling unit if multi-family or condominium
Final Development Plan	Non-applicable	\$1,000 plus \$50 per acre or \$100 per dwelling unit if multi-family or condominium
Combined Preliminary & Final Development Plans	Non-applicable	\$1,000 plus \$50 per acre or \$100 per dwelling unit if multi-family or condominium
Development Plan Exemption	Non-applicable	\$500
Development Plan Amendment	Non-applicable	\$750
Development Plan-Approval Deadline Extension	Non-applicable	\$500
Conditional Use Permit (Planning Commission or Board of Zoning Appeals)	\$150	\$500
Variance (Zoning)	\$150	\$300 for the first variance and \$50 for each subsequent variance
Substitution of a Non-Conforming Use	\$25	\$200
Appeal of an Administrative Decision	\$25	\$200
Code Interpretation/ Determination	\$25	\$100
Determination of a Substantially Similar Use	Non-applicable	\$75
Variance: Extension of the Approval Deadline	\$25	\$150
Preliminary Plat	Non-applicable	\$750 plus \$100 per lot or \$50 per acre if a non-single-family subdivision plat
Final Plat	Non-applicable	\$1,000 plus \$100 per lot or \$50 per acre if a non-single-family subdivision plat
Amended Plat (Preliminary or Final Plat)	Non-applicable	\$750
Extension of the Plat Approval Deadline	Non-applicable	\$500
Subdivision Variance	Non-applicable	\$300 for the first variance and \$50 for each subsequent variance
Lot Split (Minor Subdivision)	\$75	\$100 plus \$50 per lot to be split
Floodplain Use Permit	\$100	\$300
Floodplain Letter of Interpretation	\$50	\$200
Alley, Street, or Easement Vacation	\$100	\$250
Annexation Review	\$50	\$500

¹ Includes single-family subdivision plats

² "Non-Applicable" means that the noted application does not apply to an existing single-family lot. If the code is amended to extend an application to single-family lots, then the appropriate fee must be established.

DESCRIPTION OF 20.056 ACRES
NORTH OF STATE ROUTE 37
EAST OF LANTERN CHASE DRIVE
DELAWARE, OHIO

Situated in the State of Ohio, County of Delaware, City of Delaware, being located in Farm Lots 26 and 27, Section 3, Township 5, Range 19, United State Military Lands, being 20.056 acres of that original 125.4 acre tract as described in a deed to Troy Farms of Delaware, LLC, Of record in Official Record 1220, Page 57, all references to records herein being to those located in the Delaware County Recorder's Office and being more particularly described as follows:

Beginning at a mag nail set in the centerline of State Route 37 (width varies) at the southeasterly corner of "Lantern Chase Section 1, Part 1", a subdivision of record in Plat Cabinet 2, Slides 201,201A and 201B;

Thence North $44^{\circ}15'45''$ East, along the easterly perimeter of said subdivision, a distance of 60.00 feet to an iron pin set in the northerly right-of-way line of State Route 37 at the southeasterly corner of Lot 7240 as shown and delineated upon said plat;

Thence North $28^{\circ}55'59''$ East, continuing along said easterly perimeter, a distance of 154.00 feet to a 1" O.D. pipe found at an angle point in said perimeter;

Thence North $04^{\circ}49'30''$ East, continuing along said easterly perimeter, a distance of 1,480.50 feet to a 1" O.D. pipe found at the northeasterly corner of said "Lantern Chase Section 1, Part 1" and in the southerly perimeter of "Lantern Chase Section 1, Part 2", a subdivision of record in Plat Cabinet 2, Slides 256, 256A and 256B;

Thence South $85^{\circ}10'30''$ East, along said southerly perimeter, a distance of 543.60 feet to a 1" O.D. pipe found at the southeasterly corner of said "Lantern Chase Section 1, Part 2" in the westerly line of "Troy Farms Condominium Forth Amendment", of record in Plat Cabinet 3, Page 740;

Thence South $04^{\circ}14'33''$ West, along said westerly line and the westerly lines of "Troy Farms Condominium Correction to Second Amendment" of record in Plat Cabinet 3, Page 308 and "Troy Farms Condominium Third Amendment" of record in Plat Cabinet 3, Page 310, a distance of 1,022.47 feet to an iron pin set at an angle point in said Third Amendment;

Thence South $55^{\circ}31'57''$ East, along the southerly line of said "Troy Farms Condominium Third Amendment", a distance of 101.23 feet to an iron pin found with a plastic cap inscribed "PL SYST 6641" at the northwesterly corner of Lot 7778, as shown and delineated upon the plat "Westfield Shopping Center", a subdivision of record in Plat Cabinet 2, Slides 256, 256A and 246B"

Thence along the westerly perimeter of said Lot 7778 the following courses:

1. South $34^{\circ}28'03''$ West, a distance of 123.23 feet to an iron pin found with a plastic cap inscribed "PL SYST 6641";
2. North $85^{\circ}06'52''$ West, a distance of 232.85 feet to an iron pin set;
3. South $46^{\circ}27'49''$ West, a distance of 149.42 feet to an iron pin found with a plastic cap inscribed "PL SYST 6641";
4. South $04^{\circ}48'34''$ West, a distance of 344.21 feet to an iron pin found with a plastic cap inscribed "PL SYST 6641";
5. South $43^{\circ}32'11''$ East, a distance of 238.54 feet to an iron pin set in the westerly line of that 0.883 acre tract as described in a deed to Waters Inc., of record in Official Record 1296, Page 170;

DESCRIPTION FOR CLOSING ONLY
 RPC Approval Required
 Municipal Approval Required
Delaware County Engineer

12-22-15

SR 14, 19, 21, 22

Thence South $46^{\circ}27'47''$ West, along said westerly line, passing an iron pin set at the southwesterly corner of said 0.883 acre tract in the northerly right-of-way line of State Route 37, at a distance of 178.35 feet, a total distance of 238.35 feet to a mag nail set in the centerline of State Route 37 at the southwesterly corner of said "Westfield Shopping Center";

Thence North $45^{\circ}43'21''$ West, along said centerline, a distance of 479.08 feet to the place of beginning and containing 20.056 acres of land of which 11.608 acres lies within Farm Lot 27 and 8.448 acres lies within Farm Lot 26.

Bearings herein are based on the Ohio State Plane Coordinate System, North Zone, NAD 83 (2011 adjustment), establishing a bearing of North $46^{\circ}27'47''$ West, for the centerline of State Route 37.

Iron pins set consist of a $5/8''$ rebar, 30" long with a plastic cap inscribed "IBI GROUP/S-6872/S7740".

This description was prepared by IBI Group, Inc. based on recent field surveys of the premises in November of 2015.



IBI Group

By David L. Chiesa 12-3-15
David L. Chiesa date
Registered Surveyor No. 7740



Property Owners

Burr Oak Commons

November 2017

Owner Name	Address
AMH 2015-2 BORROWER LLC	22 LANTERN CHASE DR; DELAWARE; 43015
ANDERSON TANYA R & DANIEL E	104 LANTERN CHASE CT; DELAWARE; 43015
ARMSTRONG ROD & JENNIFER L	130 GARDEN CT; DELAWARE; 43015
BENDER JAMES M DEBORAH A	52 LANTERN CHASE DR; DELAWARE; 43015
BROWN AARON & ERICA	64 LANTERN CHASE DR; DELAWARE; 43015
BUBIS CORINNE	134 GARDEN CT; DELAWARE; 43015
CHERRY BRADY L JENNIFER A	2203 FARMLAND DR; DELAWARE; 43015
DELAWARE RADIATION ONCOLOGY INC	1949 STATE ROUTE 37 W STE A; DELAWARE; 43015
FELLER BRANDON L & JESSICA L	128 GARDEN CT; DELAWARE; 43015
HANDLER MELISSA & LUKENS ANDREW	2215 FARMLAND DR; DELAWARE; 43015
HING KENNETH W & RUTH E	34 LANTERN CHASE DR; DELAWARE; 43015
HOWARD RUSSELL JANNIE M	10 LANTERN CHASE DR; DELAWARE; 43015
HPI TROY FARMS LLC	181 SADDLEBROOK CT; DELAWARE; 43015
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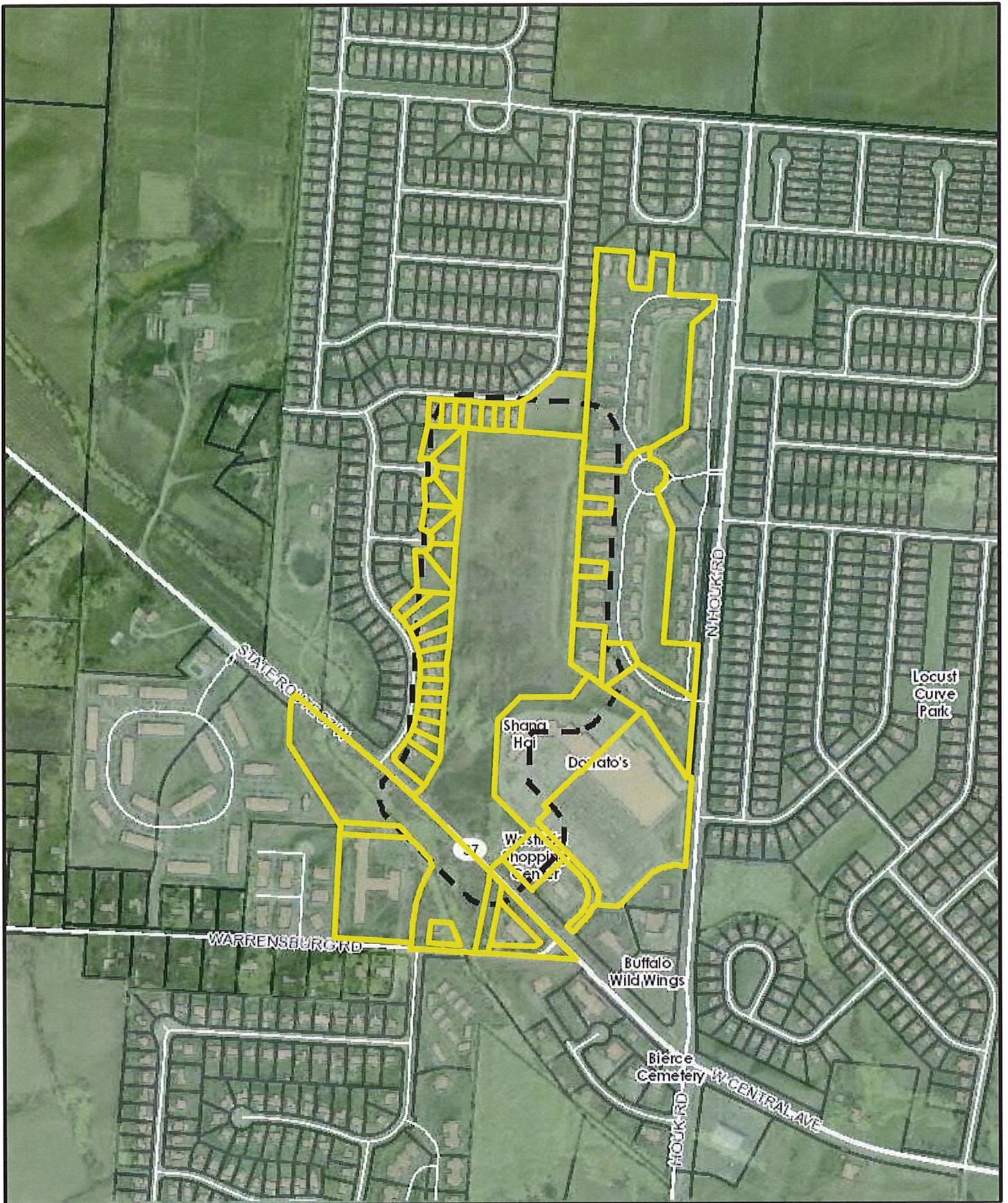
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HUGUENARD CHELSEA & CONLEY NATHAN	46 LANTERN CHASE DR; DELAWARE; 43015
JOHNSON WILLIAM E	2233 FARMLAND DR; DELAWARE; 43015
KOSTREVA MICHAEL J & YEYOUNG	110 LANTERN CHASE CT; DELAWARE; 43015
KROGER COMPANY THE	801 N HOUK RD; DELAWARE; 43015
MARQUIS MATTHEW RYAN & ASHLEY DANIELLE	2197 FARMLAND DR; DELAWARE; 43015
NEELY BRENDA L	40 LANTERN CHASE DR; DELAWARE; 43015
NHF RE2 LLC	2270 WARRENSBURG RD; DELAWARE; 43015
PETROVICH BRANKO & TERESA M	108 LANTERN CHASE CT; DELAWARE; 43015
QUEEN CLYDE J NAOMI V	16 LANTERN CHASE DR; DELAWARE; 43015
ROUTT MEGHAN M	106 LANTERN CHASE CT; DELAWARE; 43015
SHERRILL KATHY N & DORSE M	2227 FARMLAND DR; DELAWARE; 43015
SHRUM DAVID E MICHELLE A	2209 FARMLAND DR; DELAWARE; 43015
TARNOVICH WILLIAM R	70 LANTERN CHASE DR; DELAWARE; 43015
TROY FARMS CONDO ASSOC COMMON ELEMENT	124 LIPPAZON WAY; DELAWARE; 43015
TWEED KEVIN C & JENNIFER A	28 LANTERN CHASE DR; DELAWARE; 43015
WATERS INC	2080 STATE ROUTE 37 W; DELAWARE; 43015
WESTFIELD SHOPPING CENTER LLC	817 N HOUK RD; DELAWARE; 43015
WESTFIELD SHOPPING CENTER LLC	821 N HOUK RD; DELAWARE; 43015
WESTFIELD SHOPPING CENTER LLC	837 N HOUK RD; DELAWARE; 43015
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WESTFIELD SHOPPING CENTER LLC	803 N HOUK RD; DELAWARE; 43015
WESTFIELD SHOPPING CENTER LLC	835 N HOUK RD; DELAWARE; 43015
WILEY DEBORAH FELL & ANDREW LEE	2221 FARMLAND DR; DELAWARE; 43015
WONDER CANDICE M & CARANO NICHOLAUS E	58 LANTERN CHASE DR; DELAWARE; 43015
WONDERLY DIANE L & DAVID A	76 LANTERN CHASE DR; DELAWARE; 43015



Troy Farms - Burr Oak - 150' Buffer



Delaware County Auditor
George Kaltsa

Information contained within this map may be used to generally locate, identify and inventory land parcels within Delaware County. Delaware County cannot warrant or guarantee the information contained herein, including, but not limited to its accuracy or completeness. The map parcel lines shown are approximate and this information cannot be constructed or used as a "legal description" of a parcel. Flood Plain Information is obtained from FEMA and is administered by the Delaware County Building Department (740-833-2201). Please report any errors or omissions to the Delaware County Auditor's office at delcogis@co.delaware.oh.us.

Prepared by: Delaware County Auditor's GIS Office

Printed on 6/6/2017

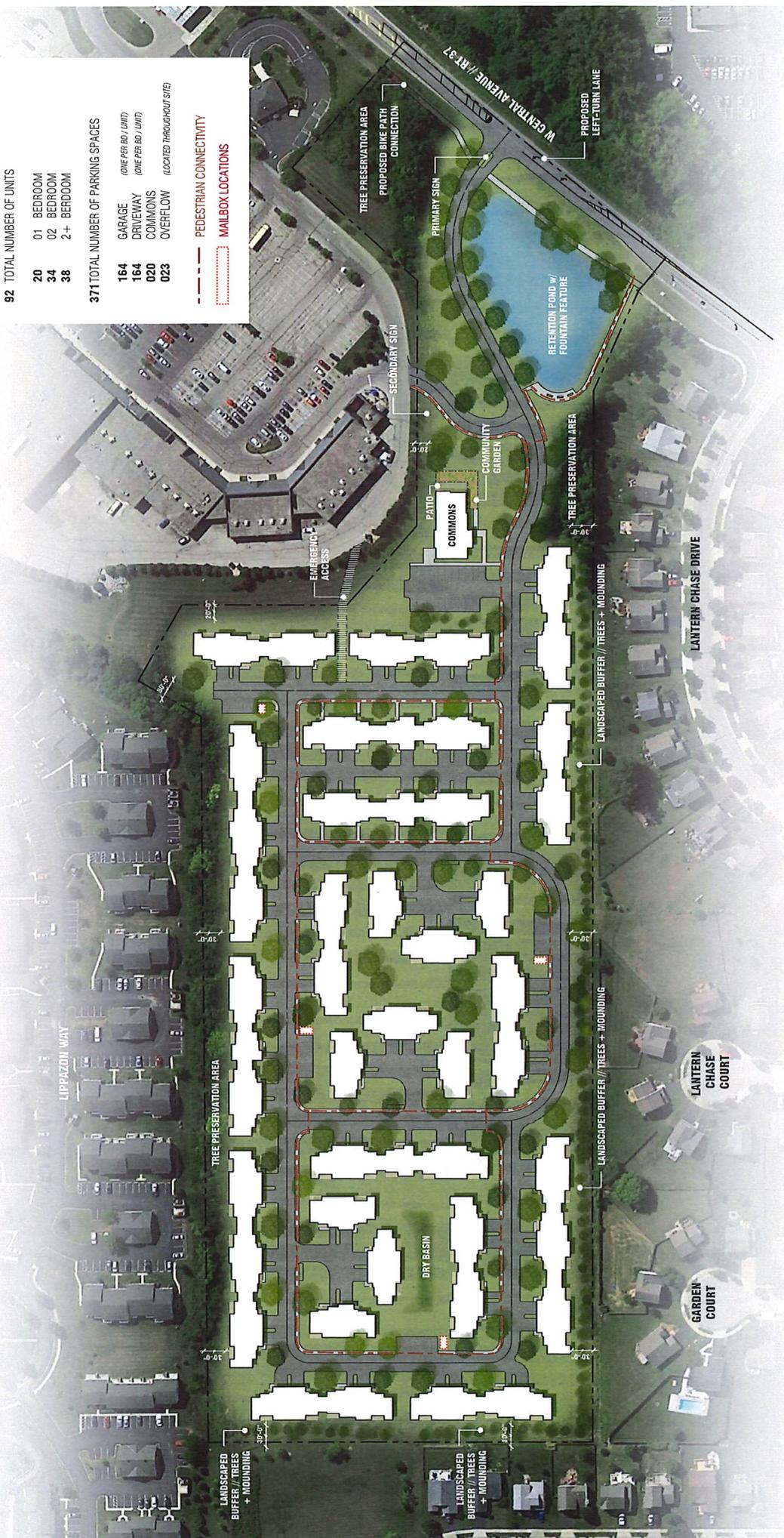


think. create. do.

BURR OAK COMMONS (BY THE NUMBERS)

92	TOTAL NUMBER OF UNITS
20	01 BEDROOM
34	02 BEDROOM
38	2+ BEDROOM
371	TOTAL NUMBER OF PARKING SPACES
164	GARAGE (ONE PER BD / UNIT)
164	DRIVEWAY (ONE PER BD / UNIT)
020	COMMONS
023	OVERFLOW (LOCATED THROUGHOUT SITE)

- PEDESTRIAN CONNECTIVITY
- MAILBOX LOCATIONS



PROPOSED SITE PLAN
SCALE: 1" = 80'-0"

PLANNED MIXED USE DEVELOPMENT TEXT
TREPLUS COMMUNITIES
BURR OAK COMMONS
DELAWARE, OHIO

1. DESCRIPTION OF DEVELOPMENT

Arthur Partners, LLC, dba Treplus (“Developer”) is proposing to rezone the approximate 20 acre site north of SR 37, west of Westfield Shopping Center and east of Lantern Chase Subdivision from B-3 (Community Business District) to B-3 PMU (Community Business District with a Planned Mixed Use Development District) for a 92 unit apartment development with a density of approximately 4.58 units per acre.



2. GENERAL DEVELOPMENT STANDARDS

- A. **Purpose and Intent.** It is the intent of the Developer to provide a planned multi-family development with high quality site improvements, architectural design, signage and amenities. This Development Text represents the zoning requirements for this development as agreed upon between the Developer and the City.
- B. **Conformance with Codified Ordinances and City Policy.** Unless noted otherwise within this development text, all development will be constructed and provided in conformance with the then current Codified Ordinances and City Policy in effect at the time of application.
- C. **Limitations.** Nothing in this text shall prohibit additional restrictions or requirements from being placed on the approval of any Final Development Plan.
- D. **Major Modifications.** Once a Final Development Plan has been approved by City Council, any subsequent major modification to that plan shall only be permitted by resubmission and approval of a revised Final Development Plan through the procedures set forth in the Zoning Code. Major modification for the purposes of this text shall mean any modification of the approved Final Development Plan, as determined by the Director of Planning & Community Development, that results in:
- (1) Any major change in the use or occupancy other than those uses specifically listed in this text.
 - (2) Major change in the approved location of land uses and/or buildings and building sizes of more than 10%.
 - (3) Substantial alteration of the basic geometry of the street layout and/or operation characteristics of any element of the approved access points and parking facilities that result in a change in operating characteristics or character.
- E. **Minor Modifications.** Once a Final Development Plan has been approved by City Council, any subsequent minor modification to that plan shall only be permitted by resubmission and approval by the Director of Planning and Community Development of a revised Final Development Plan. Minor modification for the purposes of this text shall mean any modification of the approved Final Development Plan, as determined by the Director of Planning & Community Development, that results in:
- (1) Any modification that is not considered a major modification by this Zoning Text or by determination of the Director of Planning & Community Development.
 - (2) Any minor change to the use or occupancy of the structures onsite other than those uses specifically allowed in this text or any minor changes to the approved site layout.
 - (3) Minor alteration of the basic geometry of the street layout and/or operation characteristics of any element of the approved access points and parking facilities that result in a change in operating characteristics or character.
 - (4) Minor structural alterations that do not alter the overall design intent of the building.

F. Preliminary & Final Development Plan

1. The proposed site plan and building elevations require Preliminary and Final Development Plan approval by the Planning Commission and City Council.

G. Tree Removal and Replacement. Tree removal and replacement shall meet all requirements of Chapter 1168 along with the following replacement schedule:

- (1) Trees in poor condition shall not be replaced (dead, damaged or diseased).
- (2) Trees in fair condition shall be replaced at 50%.
- (3) Trees in good condition shall be replaced at 100%
- (4) Ash trees shall not be replaced and must be removed from the site.
- (5) Other tree species considered by the City Arborist to be a species of poor quality will be considered as such with a 0% replacement value.
- (6) A verified tree survey shall be submitted prior to engineering drawing approval in the course of the Final Development Plan process.

3. SITE PLAN

The project is located on the north side of SR 37 on a 20.06 acre parcel between Westfield Shopping Center and Lantern Chase Subdivision with the primary access point from a proposed full movement curb cut from SR 37 and secondary access from a recorded easement through the Westfield Shopping Center. The looped internal street network would be private but would have to be constructed according to the cross-section drawing included with these materials. The Developer is proposing 92 single story apartments in 25 apartment buildings for a density of approximately 4.58 units per acre, plus a Commons/Community Building. Among the amenities at Burr Oak, the Developer plans to include a community garden at or near the Commons/Community Building, with the exact location to be determined in the course of planning final drainage and drainage for the Final Development Plan. The one, two and two plus bedroom apartments would range from 1,100-1,600 square feet. A retention basin would be located along SR 37 just west of the entrance. Both mail delivery and trash service would be at each unit, with trash service consisting of totes picked up at the bottom of each driveway with service provided by the City of Delaware.

4. SITE USES

A. Uses. The following uses shall be considered permitted, conditionally permitted, or limited uses as represented in the chart below by P, C, or L, respectively, and as defined by attached Chapter 1121 of the Zoning Code. Any use not listed in the chart shall be considered a prohibited use unless amended by action of the Planning Commission and City Council through a Zoning Amendment process.

- (1) **Permitted Uses.** Permitted uses are permitted by-right and shall meet all development standards specified within this text and the Zoning Code, as applicable.
- (2) **Conditionally Permitted Uses.** In addition to all standards specified within this development text, uses listed as conditionally permitted uses shall meet all the then current Zoning Code standards for approval of a Conditional Use Permit current at the time of application for the specific conditional use as well as any other regulations contained within the Zoning Code and applicable to the conditional use.

(3) **Limited Uses.** Limited uses shall be considered permitted uses subject to complying with all the specific limitations and restrictions as specified within this text as determined by Final Development Plan approval.

(4) **Accessory Uses and Structures.** Although not specified in the chart below, accessory uses, which are considered allowed uses, include those items that are customarily incidental and secondary to the principal use of the land. Such items include but are not limited to signs, fences, trash receptacles and enclosures, and off-street parking areas. If the uses are specified as conditional or limited uses the processes and limitations shall apply regardless of accessory use status.

Land Use Category	Uses
(a) Residential	
(1) Single-Family Dwelling	P
(2) Multi-Family (not to exceed 4.58 dwelling units per acre) with accessory Commons/Club House.	P
(3) Bed and Breakfast	P
(b) Office Professional Services	
(1) Offices – Administrative, Business and Professional	P
(2) Medical/Dental Offices health and allied services	P
(c) Community Facilities	
(1) Place of Worship	C
(2) Day Care Center – child/adult	C
(3) Nursing Home	P
(4) Public Safety and Service Facility	C

(5) **Prohibited Uses.**

i) **Adult Entertainment Businesses:** (also known as sexually oriented businesses) are expressly prohibited from locating anywhere on the proposed Development site.

- ii) **Wireless telecommunication facilities including installations known as small cell sites and Distributed Antenna Systems (DAS):** Towers are expressly prohibited from the entire Development area. Small cell sites, DAS, antennas, and/or amplifiers may be permitted so long as they are completely camouflaged so as to be not visible either within an enclosed building or the structure to which they are attached if external. These shall be reviewed individually administratively for compliance with these regulations.

- iii) **Outdoor Storage:** No outdoor storage is permitted on the site which includes open dumps, mineral extraction, etc.

- iv) **Medical Marijuana:** Except as permitted by the Ohio Revised Code, no medical marijuana principal or accessory uses are permitted on the subject site.

- v) **Games of Skill:** Accessory or principle for-profit, non-charitable, skill based gaming uses oriented towards adults and designed to substantially mimic gambling devices such as but not limited to spinning skill stop games but not including traditional video arcade type games typically found in restaurant/party center arrangements, for example Dave & Buster's, Magic Mountain, and Chuck E. Cheese

B. Lot Standards. The following standards shall apply for lot standards and coverage.

Lot Standards	
(1) Minimum lot area	Per approved FDP
(2) Minimum lot width and frontage	Per approved FDP
(3) Maximum building coverage	Per approved FDP
(4) Maximum lot coverage	Per approved FDP

C. Building Setback Standards. The following standards shall apply for minimum building setbacks, except as otherwise approved on the Final Development Plan. Decorative architectural elements such as decks, canopies and overhangs shall be permitted to encroach into any setback provided that no encroachment shall exceed 5 feet.

Minimum Building Setbacks	
(1) Setback from SR 37	50 ft.
(2) Setback from private street	10 ft.
(3) Setback from private alley	10 ft.
(4) Setback from adjacent property line (perimeter setback)	
a. Adjacent to residential zoned property (north, west and south)	30 ft.
b. Adjacent to commercially zoned property (northeast)	20 ft.

D. **Parking Setbacks.** The following standards shall apply for minimum parking setbacks. Parking setbacks include any parking space, parking lot drive aisle, and parking lot circulation aisle, except as otherwise approved on the Final Development Plan.

Minimum Parking Setbacks	
(1) Setback from adjacent property line (perimeter setback)	25 ft

E. **Maximum Building Height.** The maximum height of any building or structure shall be 30 feet as measured from finished floor elevation to the highest point of the roof.

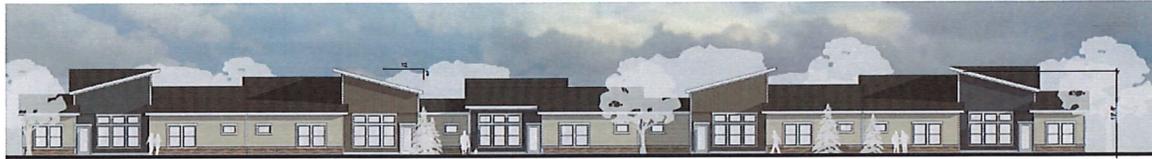
F. **Building Design.** The intent of this regulation to create a cohesive and unified design throughout the entire development, each building (dwellings and Commons/Community Building) shall be consistent in overall design, color, material, and architectural pattern as determined through the Final Development Plan review process that is not dissimilar from the preliminary architectural renderings and that achieves compliance with the following requirements:

- (1) The architectural design/patterns of multi-family dwellings and the Commons/Community Building shall be similar and may be repeated from one building to the next to unify the project into a single architectural style. Similarities shall include window styles and patterns, 3:12 roof pitches, use and mix of exterior materials, and building massing.
- (2) Exterior materials color palette shall consist of natural colors including white. Additional colors may be used as accents but may not be high-gloss colors.
- (3) The exterior materials shall be in keeping with the surrounding neighborhoods, as shown in the attached Architectural Elevations, including Vinyl Siding – Higher End, as defined in Chapter 1171.08(c)(19), brick, stone, wood, or similarly approved products on all elevations. Stone (cultured or real) or brick shall be used on the front elevation of each structure for at least a wainscoting and as determined in final form with an approved Final Development Plan.

- (4) EIFS and Stucco or similar products are prohibited as exterior materials, except as accents.
- (5) As shown in the attached Architectural Elevations, all front elevations shall include a variety of styles, colors, and/or materials types of materials to provide variety throughout the community.
- (6) Treated lumber shall be painted or stained.
- (7) Any exposed foundation walls more than 12" high shall be faced with brick or stone.
- (8) Trim board around all corners, windows, and doors shall be a minimum of 3.5 inches all around. If a shutter or shutters are used no trim is required adjacent to the window.
- (9) The roofs shall have dimensional asphalt shingles.
- (10) The principal roof structure shall have an eave overhang of not less than 12 inches with return.
- (11) Windows shall be of vertical or square proportion. Accent windows may be circular, half-round, or octagonal and are limited to one per elevation unless used in a pair. The rear and side elevations shall have a minimum of one window.
- (12) All multi-family dwelling units shall have one garage per bedroom with a two car garage maximum. Front elevations shall be designed to de-emphasize the visual impact of the garage. All garage doors facing a private street shall be architecturally upgraded to include design elements consistent with the design of the apartment and development. Developer plans to use white garage doors with windows that will match the trim color as opposed to the predominant color of the siding.
- (13) Accessory structures such as enclosures for dumpsters and other similar structures shall consist of brick, stone, or similar approved products as the exterior material and be designed in a consistent and cohesive manner to the principal building in which it serves.
- (14) Gutters and downspouts will utilize splash blocks for drainage



81 FRONT ELEVATION
1/4" = 1'-0"



81 REAR ELEVATION
1/4" = 1'-0"



81 SIDE ELEVATION
1/4" = 1'-0"



81 SIDE ELEVATION
1/4" = 1'-0"

EXTERIOR MATERIAL PALETTE

ROOFING SHINGLE SHINGLES: BROWN, GRAY COLOR MATCHING: ASB MATERIAL	PREMIUM VINYL SIDING 1 1/2" X 6" BOARD & BATT COLOR: SANDY BAY MATERIAL	PREMIUM VINYL SIDING 1 1/2" X 6" BOARD & BATT COLOR: CHOCOLATE MATERIAL	PREMIUM VINYL SIDING 2" X 4" SHIM COLOR: SANDY BAY MATERIAL
STONE BASE STONE: BROWN, GRAY COLOR MATCHING: ASB MATERIAL	PREMIUM VINYL SIDING 1 1/2" X 6" BOARD & BATT COLOR: SANDY BAY MATERIAL	PREMIUM VINYL SIDING 1 1/2" X 6" BOARD & BATT COLOR: CHOCOLATE MATERIAL	GUTTERS / DOWNSPOUTS COLOR: SANDY BAY MATERIAL

G. **Parking.** The amount of parking shall be as approved on the Final Development Plan and not inconsistent with the Preliminary Development Plan. No on street parking will be permitted. Additional guest and overflow parking shall be provided per the approved Final Development Plan but in no case shall be below 40 spaces. Each dwelling unit shall include garage spaces and driveway spaces in the ratio of at least one per bedroom/unit.

H. **Landscaping and Screening.** All landscaping shall meet the requirements of the Zoning Code and the Gateways & Corridors Plan; except as otherwise approved on the Final Development Plan.

- (1) Street trees shall be required along the private streets per the zoning code.
- (2) Building foundation landscaping shall be required per the zoning code.
- (3) The buffering along the northern and western property lines adjacent to the single family homes shall be a minimum 12 foot high continuous buffer based on existing topography, additional mounding and landscaping (such as evergreen and/or deciduous trees in a staggered alignment) to buffer the single family residents to the north and west. If the mound height is greater than 4 feet, the trees on that portion of the mound may be smaller so long as the total is at least 12 ft. high. However, in no case shall a tree be less than 6 feet in height regardless of mound height.

- I. **Lighting.** Building, site, and accent lighting shall be provided in accordance with the current zoning and building code

- k. **Signs.** A comprehensive sign plan shall be provided and approved in conformance with Section 1165 Signs of the zoning code and adopted Gateways and Corridor Plan and shall be provided as part of the Final Development Plan.

- l. **Roads.** The private streets shall be constructed according to the cross-section drawing included with these materials. The engineering drawings for such improvements shall accompany the submittal of the Final Development Plan.

- m. **Pedestrian/Bike Path.** A pedestrian path shall be required through the development to connect Lantern Chase Subdivision to SR 37 and the Westfield Shopping Center and constructed per the City Engineer. Other internal private sidewalks are encouraged to allow safe pedestrian access throughout the development. A bike path easement along the frontage of the site adjacent to SR 37 shall be dedicated to the City per the City Engineer requirements.

- n. **Utilities.** All new utilities(s) to be constructed and/or extended within the development shall comply with the City minimum requirements or as approved by the City Director of Utilities. The engineering drawings for such improvements shall accompany the submittal of the Final Development Plan.

G:\Data\Clients\Business Entities\A-D\Arthur Partners LLC\Burr Oak Preliminary Development Plan\Burr Oak Commons Proposed Development Text - 6_6_17 Treplus Burr Oak Commons.doc



Community Impact Assessment

Burr Oak Commons
November 2017

1. Summary

- a. Rezoning the Troy Farms 20.06 acres (Delaware Co. Auditor's PID 51932001014000, "Troy Farms") from B-3 Community Business provides a unique opportunity to:
 - i. Bring 92 single story units that are Universal Design 1, 2 and 2+ bedrooms ranging from 1200-1600 square feet
 - ii. Provide right-of-way access to advance the City of Delaware's planned improvements for bicyclists and pedestrians from Lantern Chase to the Westfield Shopping Center and the YMCA;
 - iii. Buffer the Lantern Chase community of single family homes from commercial development;
 - iv. Provide a 55+HOPA Compliant project to the City of Delaware
 1. Minimal to no impact expected on:
 - a. student enrollment in Delaware City Schools
 - b. utilization of police, fire or emergency services
 2. Burr Oak will not provide any medical services or meals.
 3. However, Burr Oak will be desirable to people looking at CCRC Independent Living (continuing care retirement community) projects such as Willowbrook.

2. Developer Review

- a. Treplus¹ strives to be the premier apartment community developer for the discerning baby-boomer, a renter-by-choice who wants flexibility, care-free living, and the ability to age in place.
- b. Treplus develops, builds and holds apartment projects for residents aged 55 and older
 - i. Treplus takes the extra steps to manage its properties in compliance with the Housing for Older Persons Act of 1995 (HOPA)
 - ii. Residents in a Treplus community avoid maintenance work and costs – and are willing to pay up to \$2,200/month for this flexibility and ease of living
 - iii. Programming is centered around a Commons and a Community Garden.
 1. Otherwise, Treplus tries to integrate with and support existing community resources as far as retail and recreation.
 2. Examples of such community resources in Delaware include the Westfield Shopping Center and YMCA on Houk Road, Ohio Wesleyan University and SourcePoint.
 3. SourcePoint and Treplus have complimentary goals - the slogan from SourcePoint's rebranded marketing strategy is "Thrive after 55".

¹ Treplus is a dba for Arthur Partners, LLC.

3. Burr Oak as a development

- a. Site Plan Overview
 - i. 92 Unit
 - ii. Rents ranging between \$1,700 and \$2,200 per month
 - iii. Spacious one-story units
 - iv. Pet friendly
 - v. Attached garages
 - vi. Amenities and Concierge Services
 - vii. Onsite staff and maintenance

- b. Universal Design: no step showers/entrances, lever doors, wide halls, LED lights
 - i. Product designed for aging in place.
 - ii. Treplus expects to have long term residents with low turnover.
 - iii. Treplus will provide a high level of service –
 - 1. Trash totes placement to and from garage, bulk removal
 - 2. Onsite management
 - 3. In home check-in for traveling residents

- c. Unit floor plans will include:
 - i. 1, 2 and 2+ bedroom and bath with a half bath
 - ii. Attached garage
 - iii. Oversized units ranging 1200-1600 square feet

- d. Commons / Community Garden
 - i. Fitness Center,
 - ii. Business Center,
 - iii. Garden, and
 - iv. Club room for cards, yoga, book club, events, activities, programming, patio with fire pit (on the back side of the community center by shopping center), café with WiFi

- e. Garage- 1 or two spaces on the apron, extra parking throughout the development

- f. Gourmet Kitchens with stainless steel appliances, granite countertops

- g. Private porch entrances and private patios

4. Burr Oak, Lantern Chase and Westfield Shopping Center as part of a larger mixed use community

- a. Except for vehicular traffic (from Merrick Blvd. and Houk Road to the north, and State Route 37 to the south, a distance of approximately 0.7 mile) Lantern Chase to the west is cut off from the Westfield Shopping Center to the east and the YMCA to the south.

- b. In return for the City rezoning Troy Farms and granting full access onto SR 37, Treplus² would be willing to:

² Treplus is currently in contract to buy Troy Farms from Troy Farms of Delaware, LLC, the record owner. City staff has indicated to Treplus that the city does not intend to proceed with the bicycle and pedestrian way until 2018, at which point Treplus hopes to have completed its Final Development Plan and have closed on its purchase of Troy Farms.

- i. grant a right-of-way along SR 37 for the City to use in completing its planned bicycle and pedestrian way;
 - ii. install a left turn lane (so long as the City does not require additional traffic studies).
- c. Troy Farms has two points of access, at SR 37 and also by way of a private easement through the Westfield Shopping Center (recorded at OR 45, PG 265 on 8/9/2000).

5. Impact on Public Services

- a. **Tax Effect** – Treplus will have two employees on site, a property manager and a concierge. Burr Oak residents will add additional income to the city's tax base, and the improvement of what is now vacant land will add to the real estate tax base for public schools and county social services. The current market value of Troy Farms is \$729,400, which generates \$18,032 annually in real estate taxes; current construction estimates for Burr Oak Commons are that buildings and improvements would total approximately \$19,500,000.00, which would generate \$403,727 annually in real estate taxes.
- b. **Police and Fire** - There is no anticipation of additional load to the existing police and fire department other than emergency services
- c. **Schools** – There will be minimal to no impact on student enrollment in the Delaware City Schools.
- d. **Parks and Recreation** – Please see earlier discussion on the willingness of Treplus to participate in a right-of-way solution to complete a portion of the City's bicycle and pedestrian way.
- e. **Traffic Control** - No additional traffic control signals. Based on existing traffic studies the City has from prior developers, Treplus is willing to install one left turn lane.

6. General Requirements

- a. **Financial Interest** - The building cost for this project is estimated at \$19,500,000.00.
- b. **Economic Impact** - The short term economic impact will be the creation of construction jobs for a period of twelve months. Treplus anticipates having two full-time equivalent employees on site post-construction.
- c. **Construction Scheduling** - The proposed project is to be completed within twelve months from the start of construction. Construction is planned to begin after City Council approves the Final Development Plan, which is projected for 2nd quarter 2018.
- d. **Adjacent Developments** – Lantern Chase, to the west, is a neighborhood of single family homes. To the east are apartments and the Westfield Shopping Center.
- e. **Alternatives** – A number of prior developers, both commercial and residential, have looked at Troy Farms, all without closing. Treplus believes Burr Oak Commons is uniquely suited for Troy Farms.



Community Impact Assessment

Addendum

Burr Oak Commons
November 2017

1. **The development of Burr Oak Commons will include the following public and private infrastructure improvements that will benefit the surrounding community;**
 - a. Provide a left turn lane into Burr Oak Apartments from West Central Avenue to address any potential future traffic impacts and provide a safe intersection between Westfield Shopping Center and Lantern Chase Subdivision;
 - b. Build a private road and pedestrian connection from Burr Oak to the Westfield Shopping Center that will reduce the amount of traffic on West Central Avenue;
 - c. Install a 36" diameter storm sewer pipe that will bypass and replace a poorly maintained drainage ditch that currently serves as the outflow for the Lantern Chase detention basin;
 - d. Replacing an existing undersized culvert located north of Burr Oak under West Central Avenue;
 - e. Design and construct a multiuse path along West Central Avenue to connect Lantern Chase Subdivision with pedestrian access to the Westfield Shopping Center, YMCA and other community amenities
 - f. Provide a third means of emergency egress to and from Burr Oak and Westfield Shopping Center.

NO.	DATE	DESCRIPTION	INITIALS

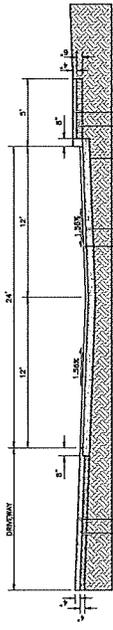
Civil & Environmental Consultants, Inc.
 250 Old Wilson Bridge Road - Suite 250 - Worthington, OH 43085
 614-540-6633 • 608-696-8908
 www.civilinc.com



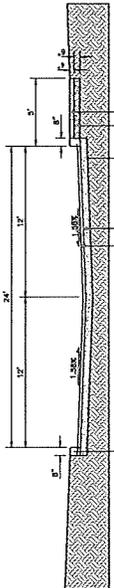
TREPLUS COMMUNITIES, LLC
FINAL DEVELOPMENT PLAN
BURR OAK
CITY OF DELAWARE

DATE	BY	CHECKED BY	AS NOTED
NOVEMBER 2017			

TYPICAL SECTIONS
 SHEET 2 OF 11

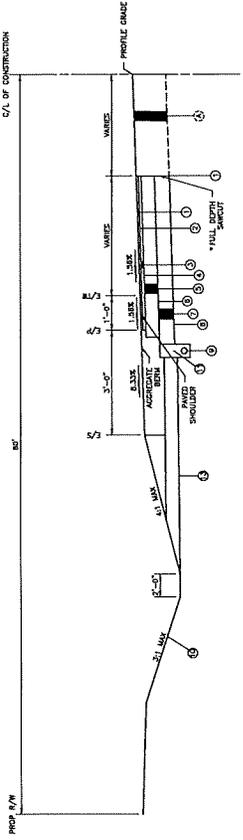


LIGHT DUTY PAVEMENT SECTION
NOT TO SCALE



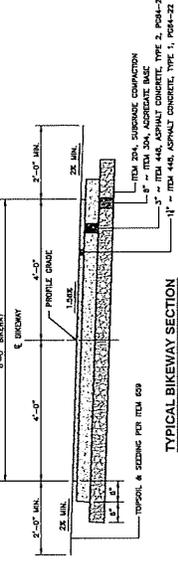
HEAVY DUTY PAVEMENT SECTION
NOT TO SCALE

- ① 1.5" ASPHALT
- ② 2" BASE
- ③ 4" AGGREGATE BASE
- ④ 10" DRAINAGE CURB



TYPICAL WIDENING SECTION
NOT TO SCALE

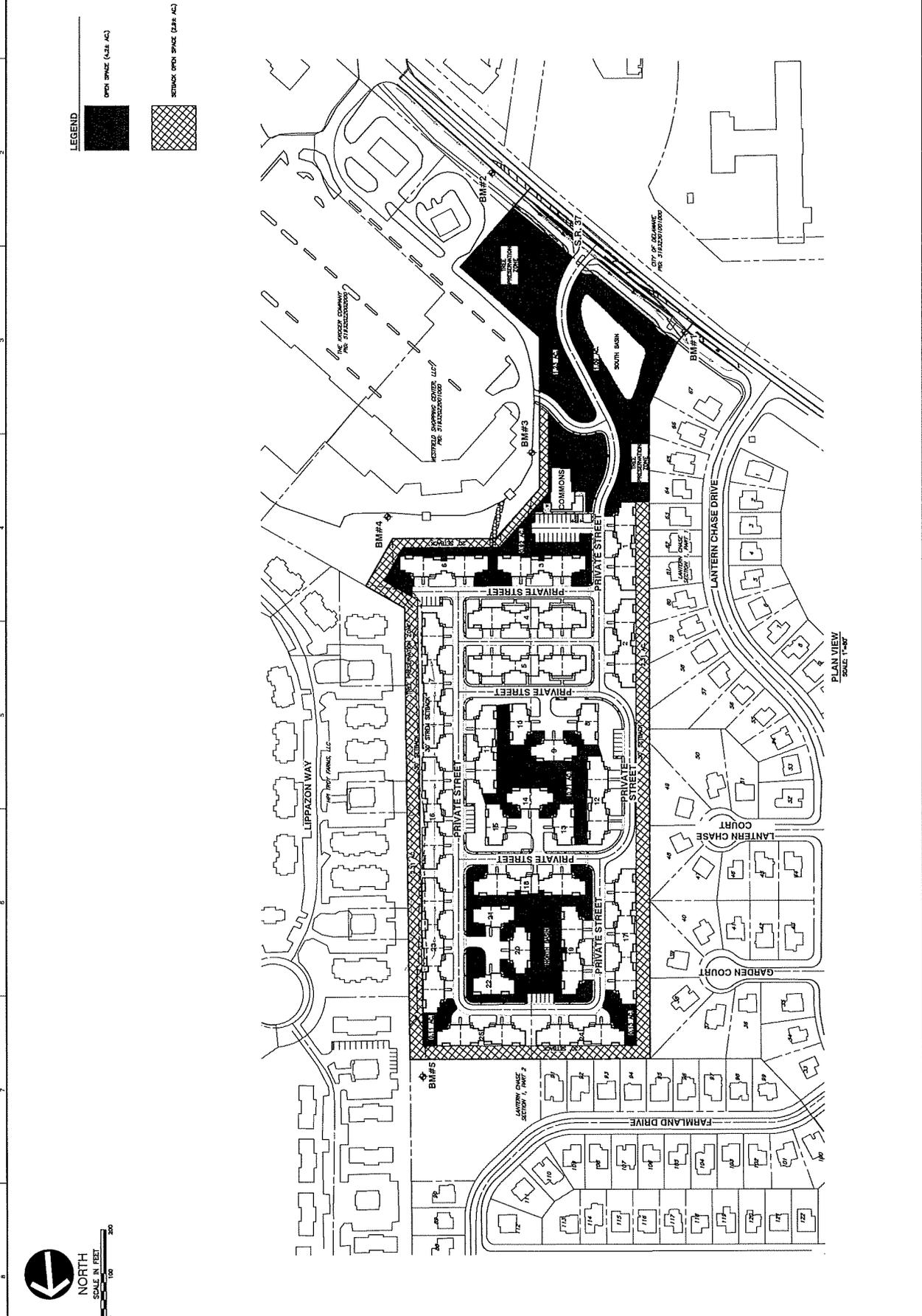
- ① DRAINAGE PAVEMENT
- ② ITEM 448, 1-1/2" ASPHALT CONCRETE SURFACE COURSE (MEDIUM TRAFFIC) PMS-22
- ③ ITEM 467, NON-TACKING TACK COAT, INTERMEDIATE (APPLIED AT 0.4 GAL/2.5')
- ④ ITEM 448, 2" ASPHALT CONCRETE INTERMEDIATE COURSE (MEDIUM TRAFFIC) PMS-22
- ⑤ ITEM 467, NON-TACKING TACK COAT, INTERMEDIATE (APPLIED AT 0.4 GAL/2.5')
- ⑥ ITEM 301, 8" ASPHALT CONCRETE BASE
- ⑦ ITEM 404, FINE COAT, (APPLIED AT 0.4 GAL/2.5')
- ⑧ ITEM 304, 8" AGGREGATE BASE
- ⑨ ITEM 304, SURFACE COMPACTION
- ⑩ ITEM 304, SURFACE COMPACTION
- ⑪ ITEM 304, SURFACE COMPACTION
- ⑫ ITEM 304, SURFACE COMPACTION
- ⑬ NO. 27 AGGREGATE
- ⑭ ITEM 413, JOINT SEAL
- ⑮ ITEM 405, 8" AGGREGATE UNDERDRAIN, (SPACED EVERY 30')



TYPICAL BIKEWAY SECTION
NOT TO SCALE

- ① ITEM 304, SURFACE COMPACTION
- ② ITEM 304, SURFACE COMPACTION
- ③ ITEM 304, SURFACE COMPACTION
- ④ ITEM 304, SURFACE COMPACTION
- ⑤ ITEM 448, ASPHALT CONCRETE, TYPE 2, PMS-22
- ⑥ ITEM 448, ASPHALT CONCRETE, TYPE 1, PMS-22
- ⑦ 1" - ITEM 448, ASPHALT CONCRETE, TYPE 1, PMS-22
- ⑧ 5" - ITEM 448, ASPHALT CONCRETE, TYPE 1, PMS-22
- ⑨ 11" - ITEM 448, ASPHALT CONCRETE, TYPE 1, PMS-22

NO.	DATE	DESCRIPTION



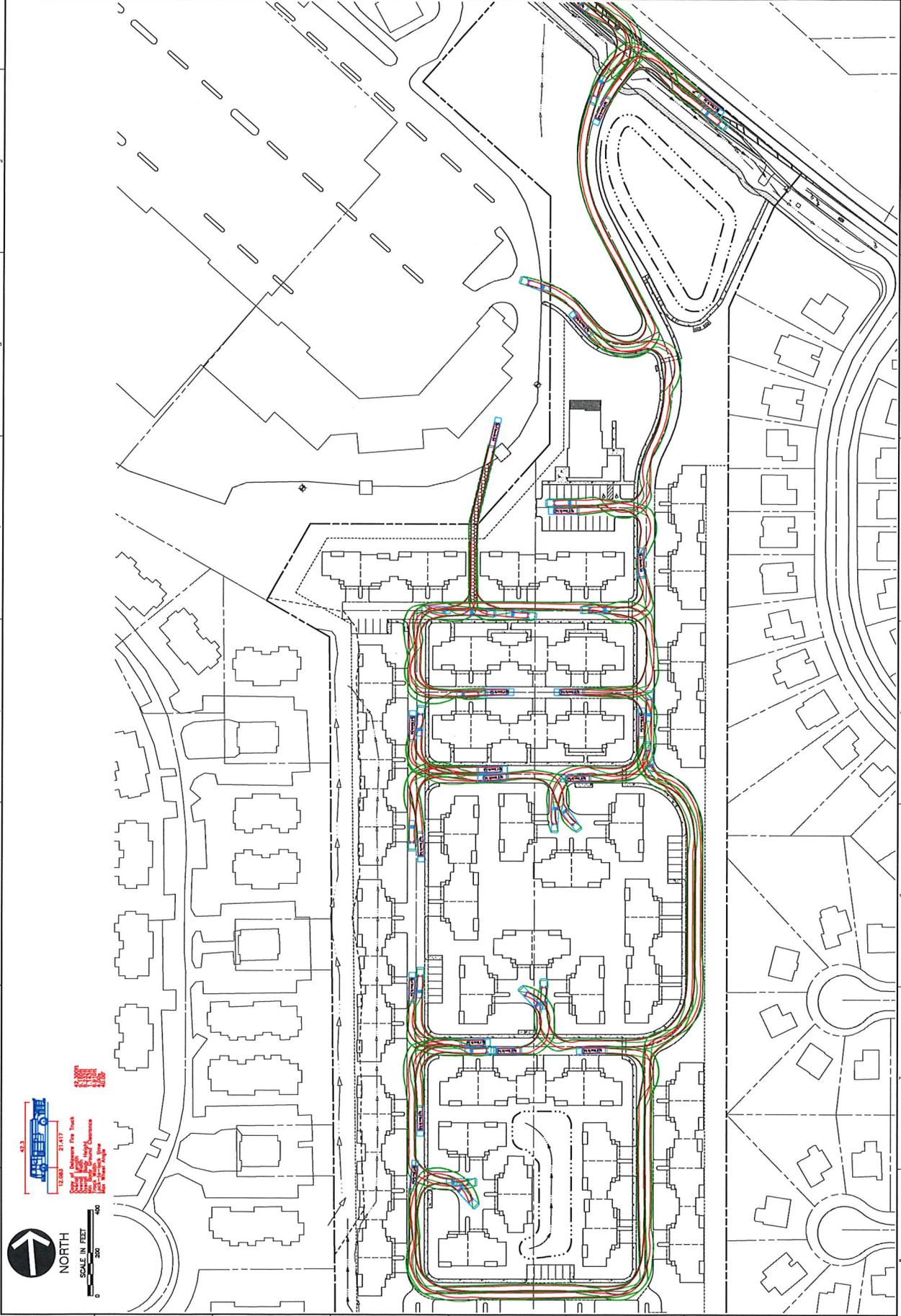
DATE	NOVEMBER 2017	DRAWN BY	
PROJECT NO.	161407	CHECKED BY	
PROJECT NAME	AS NOTED	DATE	
DRAWN BY		DATE	
CAD		DATE	
MDG		DATE	

TREPLUS COMMUNITIES, LLC
BURR OAK
FINAL DEVELOPMENT PLAN
CITY OF DELAWARE

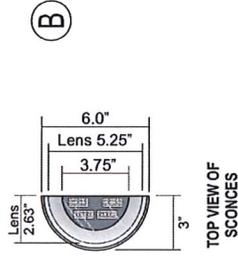
Civil & Environmental Consultants, Inc.
 250 Old Wilson Bridge Road - Suite 250 - Worthington, OH 43085
 614-540-6533 • 800-699-6808
 www.cecinc.com



NO.	DATE	DESCRIPTION



think. create. do.



D.F. Monument Sign with Illuminated Letters & Sconces

VECTOR FILE OR TYPESTYLE OF LETTERING, REQUIRED FROM CLIENT

CABINET & REVEAL CONSTRUCTED FROM .090 ALUMINUM OVER WELDED ALUMINUM FRAMEWORK.

ILLUMINATED GRAPHICS---

REBUID COMMONS - ROUTED THRU W/ 3/4" PUSH-THRU ACRYLIC, TRANSLUCENT VINYL APPLIED TO LETTER FACES. ILLUMINATION THRU THE FACES & LETTER PERIMETER FOR SOFT HALO GLOW.

TREPLUS COMMUNITIES & UNDERSCORE - ROUTED THRU & BACKED UP WITH ACRYLIC, TRANSLUCENT VINYL APPLIED TO FACES. ILLUMINATION THRU THE FACES

CABINET SECTIONED, WITH ONLY THE CENTER SECTION HOUSING THE HIGH OUTPUT (LED) CLUSTERS, EMITTING LIGHT THROUGH THE GRAPHICS

(4) HALF ROUND, HOUR GLASS SHAPED SCONCES CUSTOM FABRICATED WITH SEALED CLEAR LENSES. SCONCES HOUSE LED CLUSTERS THAT EMIT SOFT GLOW ABOVE & BELOW.

LEDS ARE POWERED BY 120 AC FEED BROUGHT TO SIGHT BY OTHERS.

CABINET SECURED TO 4.500 X .237 STEEL CENTER PIPE. PIPE IS SET IN CONCRETE FOUNDATION-- 2' X 4' X 3'-6" DEEP.

MASONRY BASE & SUBGRADE FOOTER BY OTHERS.

COLORS:

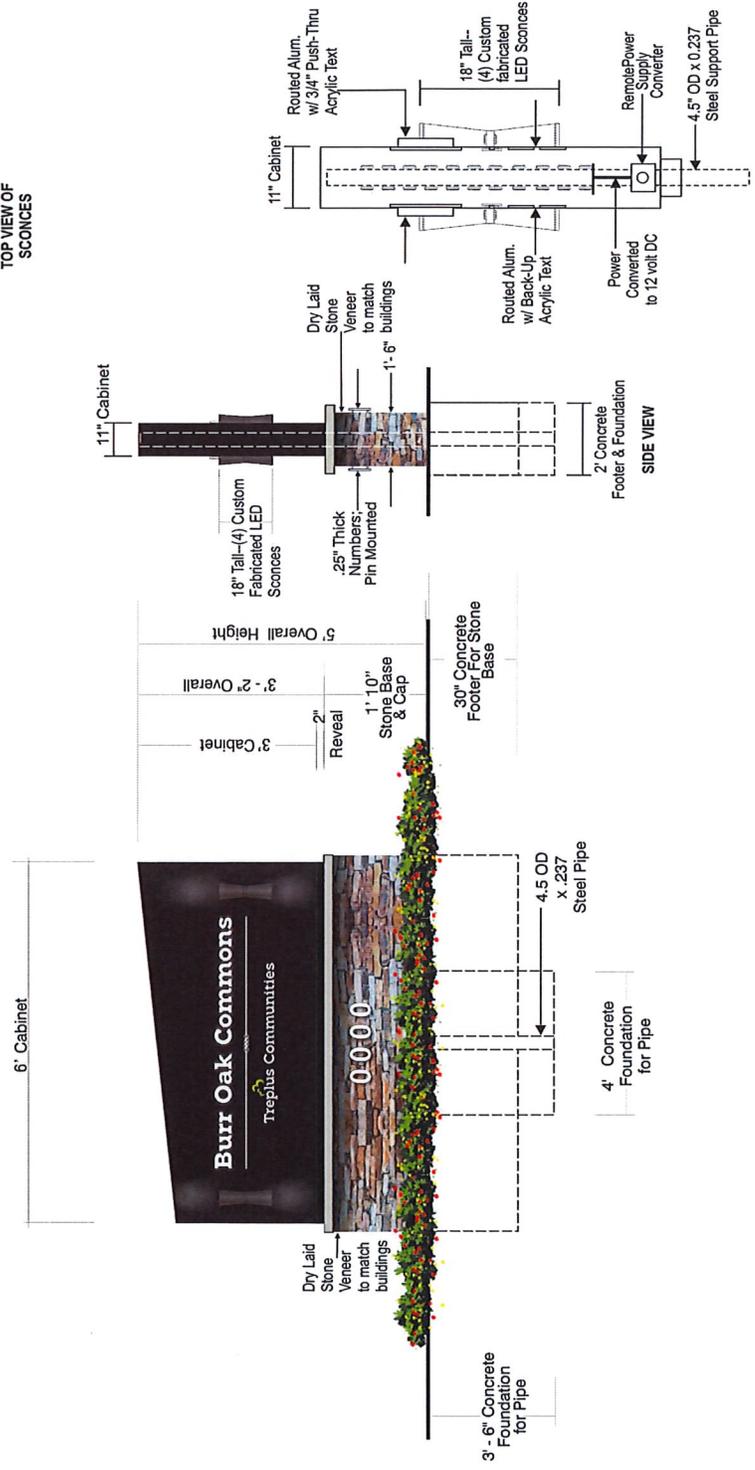
CABINET - MEDIUM BRONZE, MAP #41-312.

SCONCES - DARK BRONZE, MAP #41-313.

PRIMARY TEXT - TRANSL. WHITE.

SECONDARY TEXT - TRANSL. WHITE AND GREEN, PMS #583C.

REVEAL - BLACK



SECONDARY SIGN
NTS

BURR OAK COMMONS
FINAL DEVELOPMENT PLAN SUBMITTAL
NOVEMBER 06, 2017



Stem ID	Tree ID	Common Name	Scientific Name	Condition	DBH Size	*Multiple DBH	GPS Date	XCOORD	YCOORD
1	1	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	8		2017-05-10	-83.11236288	40.31190618
2	2	Locust, Honey	<i>Gleditsia triacanthos</i>	Fair	9	2 trunk 6	2017-05-10	-83.11234068	40.31192519
3					6				
4	3	Locust, Honey	<i>Gleditsia triacanthos</i>	Fair	6	2 trunk 6	2017-05-10	-83.11232085	40.31194522
5					6				
6	4	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	7		2017-05-10	-83.11232738	40.31199889
7	5	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	9		2017-05-10	-83.11231945	40.31201068
8	6	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	11		2017-05-10	-83.11225757	40.31204151
9	7	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	11		2017-05-10	-83.11225527	40.31205179
10	8	Apple	<i>Malus sp.</i>	Poor	7		2017-05-10	-83.11230026	40.31206478
11	9	Locust, Honey	<i>Gleditsia triacanthos</i>	Fair	10	2 trunk 6	2017-05-10	-83.11234246	40.31208176
12					6				
13	10	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	9		2017-05-10	-83.11229653	40.31208751
14	11	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	10		2017-05-10	-83.11232987	40.31211433
15	12	Elm, American	<i>Ulmus americana</i>	Good	11		2017-05-10	-83.11239541	40.31211414
16	13	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	9		2017-05-10	-83.11239829	40.3121783
17	14	Oak, Pin	<i>Quercus palustris</i>	Good	14		2017-05-10	-83.11226019	40.31217288
18	15	Elm, American	<i>Ulmus americana</i>	Good	11		2017-05-10	-83.11226849	40.31218233
19	16	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	12		2017-05-10	-83.11226505	40.3122258
20	17	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	11		2017-05-10	-83.1122711	40.31222556
21	18	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	11		2017-05-10	-83.11237969	40.31229017
22	19	Bradford Pear	<i>Pyrus calleryana</i>	Fair	7		2017-05-10	-83.11219315	40.31243449
23	20	Hackberry	<i>Celtis occidentalis</i>	Fair	9	2 trunk 6	2017-05-10	-83.11247817	40.31256508
24					6				
25	21	Bradford Pear	<i>Pyrus calleryana</i>	Fair	10		2017-05-10	-83.11253429	40.31255621
26	22	Locust, Black	<i>Robinia pseudoacacia</i>	Good	10		2017-05-10	-83.11252981	40.31259236
27	23	Locust, Honey	<i>Gleditsia triacanthos</i>	Fair	17	3 stems 15, 14	2017-05-10	-83.11250762	40.31249116
28					15				
29					14				
30	24	Hackberry	<i>Celtis occidentalis</i>	Fair	10	3 stems 7,6	2017-05-10	-83.11250009	40.31247657
31					7				
32					6				
33	25	Hackberry	<i>Celtis occidentalis</i>	Good	6		2017-05-10	-83.11253233	40.31249297
34	26	Hackberry	<i>Celtis occidentalis</i>	Good	12		2017-05-10	-83.11248923	40.31245743
35	27	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	13		2017-05-10	-83.11250127	40.31245724
36	28	Hackberry	<i>Celtis occidentalis</i>	Good	7		2017-05-10	-83.11249483	40.31243763
37	29	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	14		2017-05-10	-83.1125069	40.31240641
38	30	Elm, American	<i>Ulmus americana</i>	Good	9		2017-05-10	-83.11250281	40.31241108
39	31	Elm, Slippery	<i>Ulmus rubra</i>	Good	7		2017-05-10	-83.11250352	40.31237774
40	32	Oak, White	<i>Quercus alba</i>	Good	15		2017-05-10	-83.11250284	40.31233123
41	33	Hackberry	<i>Celtis occidentalis</i>	Good	11		2017-05-10	-83.11251229	40.31233083
42	34	Elm, American	<i>Ulmus americana</i>	Good	6		2017-05-10	-83.11251175	40.31232465
43	35	Locust, Black	<i>Robinia pseudoacacia</i>	Good	13		2017-05-10	-83.11251158	40.31228129
44	36	Locust, Black	<i>Robinia pseudoacacia</i>	Good	11		2017-05-10	-83.11250778	40.31225301
45	37	Elm, American	<i>Ulmus americana</i>	Good	7		2017-05-10	-83.11252598	40.31225796
46	38	Elm, American	<i>Ulmus americana</i>	Fair	7	2 trunk 6	2017-05-10	-83.11250966	40.31224698
47					6				
48	39	Hackberry	<i>Celtis occidentalis</i>	Fair	7	2 trunk 6	2017-05-10	-83.11252485	40.31219114
49					6				
50	40	Hackberry	<i>Celtis occidentalis</i>	Good	9		2017-05-10	-83.11253748	40.31216145
51	41	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	11		2017-05-10	-83.1125263	40.31216203
52	42	Locust, Black	<i>Robinia pseudoacacia</i>	Fair	11	2 trunk 11	2017-05-10	-83.1125476	40.31213191
53					11				
54	43	Locust, Black	<i>Robinia pseudoacacia</i>	Good	10		2017-05-10	-83.11252644	40.31211782
55	44	Elm, American	<i>Ulmus americana</i>	Good	8		2017-05-10	-83.11251481	40.31209045
56	45	Hackberry	<i>Celtis occidentalis</i>	Good	6		2017-05-10	-83.11251889	40.31208189
57	46	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	10		2017-05-10	-83.11256768	40.31206538
58	47	Oak, White	<i>Quercus alba</i>	Good	23		2017-05-10	-83.11258081	40.31204198
59	48	Locust, Black	<i>Robinia pseudoacacia</i>	Fair	13	2 trunk 13	2017-05-10	-83.11256383	40.31203242
60					13				
61	49	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	11		2017-05-10	-83.1125413	40.31202731
62	50	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	14		2017-05-10	-83.11254038	40.31197566
63	51	Maple, Sugar	<i>Acer saccharum</i>	Good	10		2017-05-10	-83.11261606	40.31202081
64	52	Oak, Pin	<i>Quercus palustris</i>	Good	13		2017-05-10	-83.11261812	40.31212622
65	53	Cherry, Black	<i>Prunus serotina</i>	Fair	10		2017-05-10	-83.11275065	40.31215119
66	54	Maple, Sugar	<i>Acer saccharum</i>	Fair	6		2017-05-10	-83.11279122	40.31216659
67	55	Bradford Pear	<i>Pyrus calleryana</i>	Fair	6		2017-05-10	-83.11284224	40.31233284
68	56	Bradford Pear	<i>Pyrus calleryana</i>	Fair	6		2017-05-10	-83.11290297	40.31231931
69	57	Bradford Pear	<i>Pyrus calleryana</i>	Fair	6		2017-05-10	-83.11283405	40.31244961
70	58	Bradford Pear	<i>Pyrus calleryana</i>	Fair	6		2017-05-10	-83.11297865	40.31257568
71	59	Bradford Pear	<i>Pyrus calleryana</i>	Fair	6		2017-05-10	-83.11323686	40.31307235
72	60	Maple, Sugar	<i>Acer saccharum</i>	Good	21		2017-05-10	-83.11302558	40.31344009
73	61	Maple, Sugar	<i>Acer saccharum</i>	Good	33		2017-05-10	-83.11299078	40.3134909
74	62	Maple, Sugar	<i>Acer saccharum</i>	Good	27		2017-05-10	-83.11269148	40.31375579
75	63	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	7		2017-05-10	-83.11254859	40.31371513
76	64	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	7		2017-05-10	-83.11250581	40.31370861
77	65	Hackberry	<i>Celtis occidentalis</i>	Fair	10		2017-05-10	-83.11266818	40.31364375
78	66	Elm, American	<i>Ulmus americana</i>	Fair	12		2017-05-10	-83.11275482	40.31349887
79	67	Osage-Orange	<i>Maclura pomifera</i>	Fair	10		2017-05-10	-83.11278398	40.31350993
80	68	Osage-Orange	<i>Maclura pomifera</i>	Fair	7		2017-05-10	-83.11280042	40.31350876
81	69	Maple, Sugar	<i>Acer saccharum</i>	Poor	19		2017-05-10	-83.11264013	40.31340395
82	70	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	8		2017-05-10	-83.11262208	40.31306287

Stem ID	Tree ID	Common Name	Scientific Name	Condition	DBH Size	*Multiple DBH	GPS Date	XCOORD	YCOORD
83	71	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	8		2017-05-10	-83.11260918	40.31302543
84	72	Osage-Orange	<i>Maclura pomifera</i>	Fair	8		2017-05-10	-83.11259464	40.31300327
85	73	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	8		2017-05-10	-83.11260629	40.31299331
86	74	Ash, White	<i>Fraxinus americana</i>	Fair	6		2017-05-10	-83.11270433	40.3128865
87	75	Bradford Pear	<i>Pyrus calleryana</i>	Fair	6		2017-05-10	-83.11263175	40.31289436
88	76	Cherry, Black	<i>Prunus serotina</i>	Fair	8		2017-05-10	-83.11272644	40.31281776
89	77	Cherry, Black	<i>Prunus serotina</i>	Fair	8	2 trunk 7	2017-05-10	-83.1127466	40.31280179
90					7				
91	78	Cherry, Black	<i>Prunus serotina</i>	Fair	14		2017-05-10	-83.11274338	40.31279561
92	79	Maple, Sugar	<i>Acer saccharum</i>	Fair	12		2017-05-10	-83.11272726	40.31278174
93	80	Cherry, Black	<i>Prunus serotina</i>	Fair	14	3 stems 10,8	2017-05-10	-83.1127528	40.31279074
95					8				
96	81	Cherry, Black	<i>Prunus serotina</i>	Fair	12		2017-05-10	-83.1127079	40.31275807
97	82	Locust, Black	<i>Robinia pseudoacacia</i>	Good	9		2017-05-10	-83.112614	40.31265067
98	83	Bradford Pear	<i>Pyrus calleryana</i>	Fair	6		2017-05-10	-83.11290206	40.31289492
99	84	Bradford Pear	<i>Pyrus calleryana</i>	Fair	8		2017-05-10	-83.11236567	40.31403874
100	85	Hackberry	<i>Celtis occidentalis</i>	Fair	17		2017-05-10	-83.11233765	40.31393101
101	86	Hackberry	<i>Celtis occidentalis</i>	Fair	9		2017-05-10	-83.11233467	40.31386673
102	87	Hackberry	<i>Celtis occidentalis</i>	Fair	6		2017-05-10	-83.11236979	40.31386893
103	88	Hackberry	<i>Celtis occidentalis</i>	Fair	12	2 trunk 8	2017-05-10	-83.11233467	40.31382271
104					8				
105	89	Maple, Sugar	<i>Acer saccharum</i>	Fair	15	3 stems 10, 13	2017-05-10	-83.11234308	40.31374324
106					13				
107					10				
108	90	Boxelder	<i>Acer negundo</i>	Good	9		2017-05-10	-83.1130573	40.31397235
109	91	Boxelder	<i>Acer negundo</i>	Good	7		2017-05-10	-83.11315171	40.31392501
110	92	Maple, Sugar	<i>Acer saccharum</i>	Good	8		2017-05-10	-83.11317103	40.31388063
111	93	Maple, Sugar	<i>Acer saccharum</i>	Fair	10	2 trunk 8	2017-05-10	-83.11317735	40.31380739
112					8				
113	94	Maple, Sugar	<i>Acer saccharum</i>	Good	12		2017-05-10	-83.1132307	40.31375628
114	95	Maple, Sugar	<i>Acer saccharum</i>	Good	11		2017-05-10	-83.11327534	40.31373405
115	96	Maple, Sugar	<i>Acer saccharum</i>	Good	9		2017-05-10	-83.11323721	40.31382761
116	97	Hackberry	<i>Celtis occidentalis</i>	Fair	11		2017-05-10	-83.11269246	40.31420453
117	98	Hackberry	<i>Celtis occidentalis</i>	Fair	13		2017-05-10	-83.11254682	40.31422307
118	99	Hackberry	<i>Celtis occidentalis</i>	Fair	10		2017-05-10	-83.11252326	40.31421157
119	100	Hackberry	<i>Celtis occidentalis</i>	Fair	11		2017-05-10	-83.11252315	40.31422456
120	101	Hackberry	<i>Celtis occidentalis</i>	Fair	15	2 trunk 12	2017-05-10	-83.11253623	40.31428248
121					12				
122	102	Cherry, Black	<i>Prunus serotina</i>	Fair	10		2017-05-10	-83.11256297	40.31429275
123	103	Hackberry	<i>Celtis occidentalis</i>	Fair	11		2017-05-10	-83.11255787	40.3143927
124	104	Hackberry	<i>Celtis occidentalis</i>	Fair	8		2017-05-10	-83.11254904	40.31440492
125	105	Ash, White	<i>Fraxinus americana</i>	Fair	6		2017-05-10	-83.11258885	40.31486897
126	106	Hawthorn	<i>Crataegus crus-galli</i>	Fair	7		2017-05-10	-83.11262764	40.31489326
127	107	Elm, Slippery	<i>Ulmus rubra</i>	Good	22		2017-05-10	-83.11275138	40.31504525
128	108	Hackberry	<i>Celtis occidentalis</i>	Fair	8		2017-05-10	-83.11273225	40.31512302
129	109	Hackberry	<i>Celtis occidentalis</i>	Fair	8		2017-05-10	-83.11271174	40.31512174
130	110	Hackberry	<i>Celtis occidentalis</i>	Fair	7	2 trunk 7	2017-05-10	-83.1127277	40.31513027
131					7				
132	111	Apple	<i>Malus sp.</i>	Fair	14	3 stems 10,8	2017-05-10	-83.11271225	40.31514135
133					10				
134					8				
135	112	Maple, Sugar	<i>Acer saccharum</i>	Fair	12	2 trunk 12	2017-05-10	-83.11260143	40.31535153
136					12				
137	113	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	6		2017-05-10	-83.11187368	40.31696476
138	114	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	10		2017-05-10	-83.1118669	40.3169292
139	115	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	10		2017-05-10	-83.11187062	40.31691084
140	116	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	10		2017-05-10	-83.11176632	40.31688645
141	117	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	8	2 trunk 6	2017-05-10	-83.11175922	40.31690231
142					6				
143	118	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	10		2017-05-10	-83.11169303	40.31689305
144	119	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	12		2017-05-10	-83.11164603	40.31691409
145	120	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	10		2017-05-10	-83.11163168	40.31693908
146	121	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	6	2 trunk 6	2017-05-10	-83.1116743	40.31696312
147					6				
148	122	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	8	3 stems 6,6	2017-05-10	-83.11163955	40.31695161
149					6				
150					6				
151	123	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	6		2017-05-10	-83.11158135	40.31694968
152	124	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	7		2017-05-10	-83.11158437	40.31691958
153	125	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	12		2017-05-10	-83.11163857	40.31691056
154	126	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	10		2017-05-10	-83.1116772	40.31645116
155	127	Cherry, Black	<i>Prunus serotina</i>	Fair	10	3 stems 8,9	2017-05-10	-83.11109083	40.31652366
156					9				
157					8				
158	128	Hackberry	<i>Celtis occidentalis</i>	Fair	13	2 trunk 10	2017-05-10	-83.11109633	40.31639243
159					10				
160	129	Hackberry	<i>Celtis occidentalis</i>	Fair	10	2 trunk 9	2017-05-10	-83.1111065	40.31635593
161					9				
162	130	Hackberry	<i>Celtis occidentalis</i>	Good	6		2017-05-10	-83.11110171	40.31623921
163	131	Locust, Honey	<i>Gleditsia triacanthos</i>	Fair	13	3 stems 12,10	2017-05-10	-83.11111456	40.31620305
164					12				
165					10				

Stem ID	Tree ID	Common Name	Scientific Name	Condition	DBH Size	*Multiple DBH	GPS Date	XCOORD	YCOORD
166	132	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	11		2017-05-10	-83.11108678	40.31613208
167	133	Apple	<i>Malus sp.</i>	Poor	10		2017-05-10	-83.11112053	40.31605552
168	134	Cottonwood, Eastern	<i>Populus deltoides</i>	Good	15		2017-05-10	-83.11115276	40.31609133
169	135	Hackberry	<i>Celtis occidentalis</i>	Good	6		2017-05-10	-83.11116195	40.31607133
170	136	Hackberry	<i>Celtis occidentalis</i>	Good	6		2017-05-10	-83.11111031	40.31595366
171	137	Apple	<i>Malus sp.</i>	Fair	9		2017-05-10	-83.11114639	40.31591818
172	138	Hackberry	<i>Celtis occidentalis</i>	Good	7		2017-05-10	-83.11117444	40.31584831
173	139	Hackberry	<i>Celtis occidentalis</i>	Good	6		2017-05-10	-83.11117348	40.31584755
174	140	Hackberry	<i>Celtis occidentalis</i>	Good	6		2017-05-10	-83.11114489	40.31578384
175	141	Hackberry	<i>Celtis occidentalis</i>	Good	6		2017-05-10	-83.11115871	40.31574157
176	142	Hackberry	<i>Celtis occidentalis</i>	Good	10		2017-05-10	-83.11117456	40.31561405
177	143	Hawthorn	<i>Crataegus crus-galli</i>	Fair	7		2017-05-10	-83.11117677	40.31556311
178	144	Cherry, Black	<i>Prunus serotina</i>	Poor	10		2017-05-10	-83.11118101	40.31555514
179	145	Hackberry	<i>Celtis occidentalis</i>	Poor	8		2017-05-10	-83.11117243	40.31547841
180	146	Osage-Orange	<i>Maclura pomifera</i>	Good	7		2017-05-10	-83.11120044	40.31548047
181	147	Hackberry	<i>Celtis occidentalis</i>	Good	7		2017-05-10	-83.11123252	40.31540201
182	148	Cottonwood, Eastern	<i>Populus deltoides</i>	Good	21		2017-05-10	-83.11121417	40.31534443
183	149	Osage-Orange	<i>Maclura pomifera</i>	Good	20		2017-05-10	-83.1112081	40.31524824
184	150	Cherry, Black	<i>Prunus serotina</i>	Fair	13	2 trunk 11	2017-05-10	-83.11122956	40.31526318
185					11				
186	151	Cherry, Black	<i>Prunus serotina</i>	Good	9		2017-05-10	-83.11121425	40.31517151
187	152	Hawthorn	<i>Crataegus crus-galli</i>	Fair	6		2017-05-10	-83.11122071	40.31516457
188	153	Hawthorn	<i>Crataegus crus-galli</i>	Fair	7		2017-05-10	-83.1112252	40.31514137
189	154	Hawthorn	<i>Crataegus crus-galli</i>	Fair	6		2017-05-10	-83.11121403	40.31513598
190	155	Hawthorn	<i>Crataegus crus-galli</i>	Fair	6	2 trunk 6	2017-05-10	-83.11120986	40.31508893
191					6				
192	156	Hawthorn	<i>Crataegus crus-galli</i>	Fair	7		2017-05-10	-83.11121832	40.31506004
193	157	Hawthorn	<i>Crataegus crus-galli</i>	Fair	7		2017-05-10	-83.11121446	40.31503993
194	158	Hawthorn	<i>Crataegus crus-galli</i>	Fair	7		2017-05-10	-83.11122968	40.31505015
195	159	Hawthorn	<i>Crataegus crus-galli</i>	Fair	7	2 trunk 6	2017-05-10	-83.11122999	40.31500738
196					6				
197	160	Hawthorn	<i>Crataegus crus-galli</i>	Fair	8		2017-05-10	-83.11122389	40.3149643
198	161	Apple	<i>Malus sp.</i>	Fair	11		2017-05-10	-83.11124877	40.31489694
199	162	Cherry, Black	<i>Prunus serotina</i>	Good	6		2017-05-10	-83.11118873	40.31489927
200	163	Hackberry	<i>Celtis occidentalis</i>	Good	10		2017-05-10	-83.11120583	40.31485826
201	164	Hackberry	<i>Celtis occidentalis</i>	Good	15		2017-05-10	-83.11123984	40.31483246
202	165	Hackberry	<i>Celtis occidentalis</i>	Good	8		2017-05-10	-83.1112498	40.31480069
203	166	Hawthorn	<i>Crataegus crus-galli</i>	Fair	7	3 stems 6,6	2017-05-10	-83.11125472	40.31468144
204					6				
205					6				
206	167	Hawthorn	<i>Crataegus crus-galli</i>	Fair	8	2 trunk 6	2017-05-10	-83.11126701	40.31462144
207					6				
208	168	Hawthorn	<i>Crataegus crus-galli</i>	Fair	7	2 trunk 6	2017-05-10	-83.11127717	40.31452813
209					6				
210	169	Hawthorn	<i>Crataegus crus-galli</i>	Fair	9		2017-05-10	-83.11127196	40.31445874
211	170	Hawthorn	<i>Crataegus crus-galli</i>	Fair	9	2 trunk 8	2017-05-10	-83.11127358	40.31439216
212					8				
213	171	Hawthorn	<i>Crataegus crus-galli</i>	Fair	8		2017-05-10	-83.11127483	40.31436921
214	172	Cherry, Black	<i>Prunus serotina</i>	Good	12		2017-05-10	-83.1112775	40.31432168
215	173	Willow, Black	<i>Salix nigra</i>	Fair	9	2 trunk 8	2017-05-10	-83.11127202	40.31427769
216					8				
217	174	Hackberry	<i>Celtis occidentalis</i>	Fair	12	4 trunk 10,6,6	2017-05-10	-83.11120415	40.31425534
218					10				
219					6				
220					6				
221	175	Hackberry	<i>Celtis occidentalis</i>	Fair	11	2 trunk 10	2017-05-10	-83.11121094	40.31425615
222					10				
223	176	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	13		2017-05-10	-83.11114779	40.31419867
224	177	Willow, Black	<i>Salix nigra</i>	Good	11		2017-05-10	-83.11111585	40.31421697
225	178	Cottonwood, Eastern	<i>Populus deltoides</i>	Good	9		2017-05-10	-83.1111082	40.31411445
226	179	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	10		2017-05-10	-83.11105771	40.31410769
227	180	Locust, Black	<i>Robinia pseudoacacia</i>	Fair	10	2 trunk 9	2017-05-10	-83.11110864	40.31409382
228					9				
229	181	Locust, Black	<i>Robinia pseudoacacia</i>	Fair	9	2 trunk 8	2017-05-10	-83.11110725	40.31402485
230					8				
231	182	Bradford Pear	<i>Pyrus calleryana</i>	Fair	6		2017-05-10	-83.11181407	40.31427107
232	183	Bradford Pear	<i>Pyrus calleryana</i>	Fair	8	bradford 2 trunk 8	2017-05-10	-83.11202932	40.31417518
233					8				
234	184	Bradford Pear	<i>Pyrus calleryana</i>	Fair	7	bradford 2 trunk 6	2017-05-10	-83.11215941	40.31413972
235					6				
236	185	Bradford Pear	<i>Pyrus calleryana</i>	Fair	6		2017-05-10	-83.11209303	40.31413143
237	186	Maple, Silver	<i>Acer saccharinum</i>	Fair	7		2017-05-10	-83.11212247	40.31406411
238	187	Maple, Silver	<i>Acer saccharinum</i>	Fair	7		2017-05-10	-83.11218007	40.31402901
239	188	Hackberry	<i>Celtis occidentalis</i>	Fair	10	2 trunk 10	2017-05-10	-83.11229382	40.31422419
240					10				
241	189	Maple, Silver	<i>Acer saccharinum</i>	Fair	9	2 trunk 8	2017-05-10	-83.11223766	40.31416678
242					8				
243	190	Hawthorn	<i>Crataegus crus-galli</i>	Poor	7		2017-05-10	-83.11275688	40.31398313
244	191	Hackberry	<i>Celtis occidentalis</i>	Fair	10	5 trunk 8,7,7,6	2017-05-10	-83.11274448	40.31397247
245					8				
246					7				
247					7				

Stem ID	Tree ID	Common Name	Scientific Name	Condition	DBH Size	*Multiple DBH	GPS Date	XCOORD	YCOORD
248					6				
249	192	Maple, Sugar	<i>Acer saccharum</i>	Fair	6		2017-05-10	-83.11277155	40.31396921
250	193	Hackberry	<i>Celtis occidentalis</i>	Good	7		2017-05-10	-83.11284164	40.31384531
251	194	Hackberry	<i>Celtis occidentalis</i>	Good	9		2017-05-10	-83.11284501	40.3138318
252	195	Maple, Sugar	<i>Acer saccharum</i>	Poor	23		2017-05-10	-83.11286174	40.31382682
253	196	Cottonwood, Eastern	<i>Populus deltoides</i>	Good	44		2017-05-10	-83.11294529	40.31373334
254	197	Elm, Slippery	<i>Ulmus rubra</i>	Good	14		2017-05-10	-83.11317392	40.31373061
255	198	Maple, Sugar	<i>Acer saccharum</i>	Good	6		2017-05-10	-83.11319123	40.31372581
256	199	Maple, Sugar	<i>Acer saccharum</i>	Good	6		2017-05-10	-83.11320574	40.31369504
257	200	Maple, Sugar	<i>Acer saccharum</i>	Good	6		2017-05-10	-83.11319667	40.31365978
258	201	Maple, Sugar	<i>Acer saccharum</i>	Good	6		2017-05-10	-83.11321674	40.31366024
259	202	Maple, Sugar	<i>Acer saccharum</i>	Good	7		2017-05-10	-83.11322013	40.31365152
260	203	Maple, Sugar	<i>Acer saccharum</i>	Good	10		2017-05-10	-83.11326178	40.31363616
261	204	Maple, Sugar	<i>Acer saccharum</i>	Good	6		2017-05-10	-83.11327582	40.31362808
262	205	Maple, Sugar	<i>Acer saccharum</i>	Good	7		2017-05-10	-83.11329674	40.31361549
263	206	Maple, Sugar	<i>Acer saccharum</i>	Good	12		2017-05-10	-83.1133002	40.31363548
264	207	Maple, Sugar	<i>Acer saccharum</i>	Good	7		2017-05-10	-83.11324924	40.31359332
265	208	Maple, Sugar	<i>Acer saccharum</i>	Good	7		2017-05-10	-83.11324491	40.31358975
266	209	Maple, Sugar	<i>Acer saccharum</i>	Good	7		2017-05-10	-83.11324134	40.31358273
267	210	Maple, Sugar	<i>Acer saccharum</i>	Good	7		2017-05-10	-83.11320176	40.31357697
268	211	Maple, Sugar	<i>Acer saccharum</i>	Good	9		2017-05-10	-83.11320077	40.31355978
269	212	Maple, Sugar	<i>Acer saccharum</i>	Good	6		2017-05-10	-83.11318526	40.3135791
270	213	Maple, Sugar	<i>Acer saccharum</i>	Good	6		2017-05-10	-83.11319563	40.31360344
271	214	Maple, Sugar	<i>Acer saccharum</i>	Good	8		2017-05-10	-83.11319525	40.31363017
272	215	Maple, Sugar	<i>Acer saccharum</i>	Good	26		2017-05-10	-83.11319533	40.31342124
273	216	Ash, White	<i>Fraxinus americana</i>	Fair	6		2017-05-10	-83.11330938	40.31336935
274	217	Maple, Sugar	<i>Acer saccharum</i>	Good	24		2017-05-10	-83.11327934	40.3132942
275	218	Maple, Sugar	<i>Acer saccharum</i>	Good	21		2017-05-10	-83.1133118	40.3132128
276	219	Maple, Sugar	<i>Acer saccharum</i>	Good	26		2017-05-10	-83.11338742	40.3131405
277	220	Elm, Slippery	<i>Ulmus rubra</i>	Good	8		2017-05-10	-83.11353254	40.31293389
278	221	Cottonwood, Eastern	<i>Populus deltoides</i>	Good	52		2017-05-10	-83.11353784	40.31291863
279	222	Elm, Slippery	<i>Ulmus rubra</i>	Good	8		2017-05-10	-83.1135497	40.31289141
280	223	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	9		2017-05-10	-83.1123951	40.31194512
281	224	Locust, Honey	<i>Gleditsia triacanthos</i>	Fair	8	2 trunk 6	2017-05-10	-83.11235576	40.31194644
282					6				
283	225	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	10		2017-05-10	-83.11233081	40.31195763
284	226	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	8		2017-05-10	-83.1123023	40.31196865
285	227	Elm, American	<i>Ulmus americana</i>	Good	11		2017-05-10	-83.11230585	40.31198821
286	228	Elm, American	<i>Ulmus americana</i>	Good	10		2017-05-10	-83.11228339	40.31197675
287	229	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	9		2017-05-10	-83.11228238	40.31198121
288	230	Elm, American	<i>Ulmus americana</i>	Good	11		2017-05-10	-83.11223153	40.31200821
289	231	Locust, Honey	<i>Gleditsia triacanthos</i>	Fair	9	2 trunks 6	2017-05-10	-83.11222719	40.31207296
290					6				
292	232	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	14		2017-05-10	-83.1121715	40.31206841
293	233	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	9		2017-05-10	-83.11225024	40.31214591
294	234	Elm, American	<i>Ulmus americana</i>	Good	16		2017-05-10	-83.1122366	40.31215629
295	235	Locust, Honey	<i>Gleditsia triacanthos</i>	Fair	8	2 trunks 6	2017-05-10	-83.11237901	40.31226337
296					6				
297	236	Bradford Pear	<i>Pyrus calleryana</i>	Fair	6		2017-05-10	-83.11212324	40.31237446
298	237	Elm, Siberian	<i>Ulmus pumila</i>	Fair	10		2017-05-10	-83.11193724	40.31223405
299	238	Hackberry	<i>Celtis occidentalis</i>	Good	9		2017-05-10	-83.1125173	40.31253771
300	239	Cherry, Black	<i>Prunus serotina</i>	Good	14		2017-05-10	-83.11256084	40.31253406
301	240	Maple, Sugar	<i>Acer saccharum</i>	Good	6		2017-05-10	-83.11254467	40.31251967
302	241	Hackberry	<i>Celtis occidentalis</i>	Good	11		2017-05-10	-83.11253795	40.31251928
303	242	Elm, American	<i>Ulmus americana</i>	Good	7		2017-05-10	-83.11256312	40.31251691
304	243	Locust, Honey	<i>Gleditsia triacanthos</i>	Fair	11	2 trunks 11	2017-05-10	-83.11253853	40.31247995
305					11				
306	244	Cherry, Black	<i>Prunus serotina</i>	Good	6		2017-05-10	-83.11253628	40.3124429
307	245	Cherry, Black	<i>Prunus serotina</i>	Good	6		2017-05-10	-83.11253942	40.31244093
308	246	Elm, American	<i>Ulmus americana</i>	Fair	8	2 trunks 8	2017-05-10	-83.11251845	40.31236236
309					8				
310	247	Elm, American	<i>Ulmus americana</i>	Good	6		2017-05-10	-83.11250375	40.31235087
311	248	Cherry, Black	<i>Prunus serotina</i>	Good	14		2017-05-10	-83.11250186	40.3123516
312	249	Cherry, Black	<i>Prunus serotina</i>	Good	8		2017-05-10	-83.11255753	40.31228296
313	250	Cherry, Black	<i>Prunus serotina</i>	Good	7		2017-05-10	-83.11256836	40.31225461
314	251	Cherry, Black	<i>Prunus serotina</i>	Good	6		2017-05-10	-83.11257163	40.31222692
315	252	Hackberry	<i>Celtis occidentalis</i>	Fair	11	2 trunks 9	2017-05-10	-83.1125402	40.31221556
316					9				
318	253	Maple, Sugar	<i>Acer saccharum</i>	Good	10		2017-05-10	-83.11258408	40.31216376
319	254	Oak, Pin	<i>Quercus palustris</i>	Good	15		2017-05-10	-83.11261714	40.31212219
320	255	Maple, Sugar	<i>Acer saccharum</i>	Good	9		2017-05-10	-83.11256844	40.31212206
321	256	Maple, Sugar	<i>Acer saccharum</i>	Good	7		2017-05-10	-83.11261576	40.31208345
322	257	Oak, Black	<i>Quercus velutina</i>	Good	6		2017-05-10	-83.11261416	40.31205559
323	258	Maple, Sugar	<i>Acer saccharum</i>	Good	8		2017-05-10	-83.11263686	40.31203974
324	259	Oak, Pin	<i>Quercus palustris</i>	Good	10		2017-05-10	-83.11267011	40.31208389
325	260	Maple, Sugar	<i>Acer saccharum</i>	Good	9		2017-05-10	-83.11257564	40.31211662
326	261	Maple, Sugar	<i>Acer saccharum</i>	Fair	13		2017-05-10	-83.11281239	40.3121915
327	262	Cherry, Black	<i>Prunus serotina</i>	Fair	8		2017-05-10	-83.11289119	40.31224581
328	263	Elm, American	<i>Ulmus americana</i>	Fair	10		2017-05-10	-83.1129122	40.31225718
329	264	Bradford Pear	<i>Pyrus calleryana</i>	Fair	6		2017-05-10	-83.11315872	40.31239694
330	265	Maple, Sugar	<i>Acer saccharum</i>	Good	40		2017-05-10	-83.11293541	40.31338831
331	266	Maple, Sugar	<i>Acer saccharum</i>	Good	28		2017-05-10	-83.11283456	40.3136483

Stem ID	Tree ID	Common Name	Scientific Name	Condition	DBH Size	*Multiple DBH	GPS Date	XCOORD	YCOORD
332	267	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	7		2017-05-10	-83.11255193	40.31370282
333	268	Maple, Sugar	<i>Acer saccharum</i>	Fair	11		2017-05-10	-83.11272897	40.31351466
334	269	Hackberry	<i>Celtis occidentalis</i>	Fair	9		2017-05-10	-83.11278708	40.31352069
335	270	Maple, Sugar	<i>Acer saccharum</i>	Good	52		2017-05-10	-83.1128059	40.3133509
336	271	Hackberry	<i>Celtis occidentalis</i>	Fair	12		2017-05-10	-83.11266406	40.31317681
338	272	Hackberry	<i>Celtis occidentalis</i>	Fair	6		2017-05-10	-83.11267376	40.31318044
340	273	Hackberry	<i>Celtis occidentalis</i>	Fair	14		2017-05-10	-83.11267145	40.31317816
341	274	Bradford Pear	<i>Pyrus calleryana</i>	Fair	7		2017-05-10	-83.112802	40.31297763
342	275	Hackberry	<i>Celtis occidentalis</i>	Fair	19	2 trunks 12	2017-05-10	-83.11264733	40.31282128
343					12				
344	276	Cherry, Black	<i>Prunus serotina</i>	Fair	8		2017-05-10	-83.11265058	40.31280571
345	277	Cherry, Black	<i>Prunus serotina</i>	Fair	8		2017-05-10	-83.11264739	40.31275693
346	278	Locust, Black	<i>Robinia pseudoacacia</i>	Fair	8	2 trunks 7	2017-05-10	-83.11256414	40.31272902
347					7				
348	279	Locust, Black	<i>Robinia pseudoacacia</i>	Good	11		2017-05-10	-83.11254494	40.31268745
349	280	Locust, Black	<i>Robinia pseudoacacia</i>	Good	8		2017-05-10	-83.1125452	40.31267245
350	281	Hackberry	<i>Celtis occidentalis</i>	Fair	18		2017-05-10	-83.11232349	40.31403265
351	282	Elm, American	<i>Ulmus americana</i>	Fair	12		2017-05-10	-83.11233111	40.3140158
352	283	Hackberry	<i>Celtis occidentalis</i>	Fair	6		2017-05-10	-83.11235764	40.31379688
353	284	Hackberry	<i>Celtis occidentalis</i>	Fair	8		2017-05-10	-83.11234803	40.31377562
354	285	Maple, Sugar	<i>Acer saccharum</i>	Fair	6		2017-05-10	-83.11234567	40.31377648
355	286	Hackberry	<i>Celtis occidentalis</i>	Fair	11		2017-05-10	-83.11235359	40.31372668
356	287	Hackberry	<i>Celtis occidentalis</i>	Fair	7		2017-05-10	-83.11235568	40.31373763
359	288	Elm, American	<i>Ulmus americana</i>	Fair	11		2017-05-10	-83.11236505	40.31372983
360	289	Bradford Pear	<i>Pyrus calleryana</i>	Fair	7	2 trunks 7	2017-05-10	-83.11251319	40.31404557
361					7				
362	290	Mulberry, Red	<i>Morus rubra</i>	Fair	6		2017-05-10	-83.11298315	40.31414693
364	291	Maple, Sugar	<i>Acer saccharum</i>	Fair	9	2 trunks 8	2017-05-10	-83.11316724	40.31397023
365					8				
366	292	Maple, Sugar	<i>Acer saccharum</i>	Good	8		2017-05-10	-83.11323555	40.3138516
367	293	Ash, White	<i>Fraxinus americana</i>	Fair	9	2 trunks 9	2017-05-10	-83.11276336	40.31453986
368					9				
369	294	Ash, White	<i>Fraxinus americana</i>	Fair	8		2017-05-10	-83.11283093	40.31476783
370	295	Maple, Silver	<i>Acer saccharinum</i>	Fair	8	2 trunks 7	2017-05-10	-83.11286835	40.31476867
371					7				
372	296	Hawthorn	<i>Crataegus crus-galli</i>	Fair	6		2017-05-10	-83.11261511	40.31456094
373	297	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	16		2017-05-10	-83.11261165	40.31475991
374	298	Boxelder	<i>Acer negundo</i>	Fair	6		2017-05-10	-83.11301199	40.3149802
375	299	Hackberry	<i>Celtis occidentalis</i>	Fair	6		2017-05-10	-83.11291357	40.31497309
376	300	Hackberry	<i>Celtis occidentalis</i>	Fair	9		2017-05-10	-83.11273826	40.31544451
377	301	Locust, Honey	<i>Gleditsia triacanthos</i>	Fair	6		2017-05-10	-83.11274598	40.31546363
378	302	Oak, Pin	<i>Quercus palustris</i>	Fair	6		2017-05-10	-83.11259098	40.31543517
379	303	Oak, Pin	<i>Quercus palustris</i>	Fair	6		2017-05-10	-83.11238223	40.31643436
381	304	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	7		2017-05-10	-83.11190099	40.31697738
382	305	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	9		2017-05-10	-83.11184405	40.31697628
383	306	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	6		2017-05-10	-83.11179377	40.3169845
384	307	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	8		2017-05-10	-83.11175108	40.3169487
385	308	Cottonwood, Eastern	<i>Populus deltoides</i>	Fair	6		2017-05-10	-83.11170571	40.31696219
386	309	Pine, White	<i>Pinus strobus</i>	Fair	8		2017-05-10	-83.11165299	40.31714352
387	310	Pine, White	<i>Pinus strobus</i>	Fair	6		2017-05-10	-83.11136832	40.31713369
388	311	Ash, Green	<i>Fraxinus pennsylvanica</i>	Fair	6		2017-05-10	-83.11099407	40.31666723
389	312	Locust, Honey	<i>Gleditsia triacanthos</i>	Good	6		2017-05-10	-83.11105439	40.31661965
390	313	Hackberry	<i>Celtis occidentalis</i>	Good	8		2017-05-10	-83.11110864	40.31643425
391	314	Hackberry	<i>Celtis occidentalis</i>	Good	7		2017-05-10	-83.11109975	40.31642866
392	315	Hackberry	<i>Celtis occidentalis</i>	Good	11		2017-05-10	-83.11109727	40.31623036
393	316	Willow, Black	<i>Salix nigra</i>	Good	8		2017-05-10	-83.11113226	40.31619641
394	317	Mulberry, Red	<i>Morus rubra</i>	Fair	8	2 trunks 6	2017-05-10	-83.11119842	40.31618003
395					6				
396	318	Mulberry, Red	<i>Morus rubra</i>	Fair	6		2017-05-10	-83.11121982	40.31615674
397	319	Hackberry	<i>Celtis occidentalis</i>	Good	6		2017-05-10	-83.11117323	40.3161149
398	320	Cherry, Black	<i>Prunus serotina</i>	Good	8		2017-05-10	-83.11119008	40.31606129
399	321	Cherry, Black	<i>Prunus serotina</i>	Good	6		2017-05-10	-83.11120291	40.31593953
400	322	Hackberry	<i>Celtis occidentalis</i>	Good	9		2017-05-10	-83.11120271	40.31592657
401	323	Hackberry	<i>Celtis occidentalis</i>	Fair	10	3 trunks 7, 8	2017-05-10	-83.11121082	40.31584274
402					8				
403					7				
404	324	Hackberry	<i>Celtis occidentalis</i>	Good	6		2017-05-10	-83.11118377	40.31578858
405	325	Hackberry	<i>Celtis occidentalis</i>	Fair	14	2 trunks 12	2017-05-10	-83.11122855	40.31555619
406					12				
407	326	Hackberry	<i>Celtis occidentalis</i>	Good	10		2017-05-10	-83.11124039	40.31539699
408	327	Hackberry	<i>Celtis occidentalis</i>	Good	8		2017-05-10	-83.11123648	40.3153851
409	328	Hackberry	<i>Celtis occidentalis</i>	Good	8		2017-05-10	-83.11124429	40.31530175
411	329	Hawthorn	<i>Crataegus crus-galli</i>	Fair	6	2 trunks 6	2017-05-10	-83.11123561	40.3152299
412					6				
413	330	Cherry, Black	<i>Prunus serotina</i>	Good	6		2017-05-10	-83.11125886	40.31514553
414	331	Hackberry	<i>Celtis occidentalis</i>	Fair	16	3 trunks 12, 6	2017-05-10	-83.11125474	40.31511804
415					12				
416					6				
417	332	Hawthorn	<i>Crataegus crus-galli</i>	Fair	6		2017-05-10	-83.11127089	40.315074
418	333	Hawthorn	<i>Crataegus crus-galli</i>	Fair	7		2017-05-10	-83.11125499	40.31507975
420	334	Hawthorn	<i>Crataegus crus-galli</i>	Fair	7	2 trunks 6	2017-05-10	-83.11126297	40.31498306
421					6				

Stem ID	Tree ID	Common Name	Scientific Name	Condition	DBH Size	*Multiple DBH	GPS Date	XCOORD	YCOORD
422	335	Hawthorn	<i>Crataegus crus-galli</i>	Fair	6	2 trunks 6	2017-05-10	-83.1112496	40.31495599
423					6				
424	336	Hawthorn	<i>Crataegus crus-galli</i>	Fair	6		2017-05-10	-83.11127496	40.31494922
427	337	Hawthorn	<i>Crataegus crus-galli</i>	Fair	6		2017-05-10	-83.11126359	40.31493915
428	338	Cherry, Black	<i>Prunus serotina</i>	Good	7		2017-05-10	-83.11131388	40.31482728
429	339	Hawthorn	<i>Crataegus crus-galli</i>	Fair	6		2017-05-10	-83.11128543	40.31475826
430	340	Hawthorn	<i>Crataegus crus-galli</i>	Fair	6		2017-05-10	-83.11129359	40.31465888
432	341	Hackberry	<i>Celtis occidentalis</i>	Good	8		2017-05-10	-83.1112927	40.3146102
433	342	Hackberry	<i>Celtis occidentalis</i>	Good	16		2017-05-10	-83.11130399	40.31456476
434	343	Osage-Orange	<i>Maclura pomifera</i>	Good	18		2017-05-10	-83.11128933	40.31429886
435	344	Hackberry	<i>Celtis occidentalis</i>	Good	7		2017-05-10	-83.11128928	40.31424091
436	345	Hackberry	<i>Celtis occidentalis</i>	Good	9		2017-05-10	-83.1112862	40.31423832
437	346	Hackberry	<i>Celtis occidentalis</i>	Good	6		2017-05-10	-83.11126071	40.3142266
438	347	Cherry, Black	<i>Prunus serotina</i>	Good	8		2017-05-10	-83.11123396	40.31422211
439	348	Osage-Orange	<i>Maclura pomifera</i>	Good	9		2017-05-10	-83.11113888	40.31419719
441	349	Hackberry	<i>Celtis occidentalis</i>	Good	7		2017-05-10	-83.11106167	40.31416092
442	350	Cherry, Black	<i>Prunus serotina</i>	Good	10		2017-05-10	-83.11105236	40.31415894
443	351	Bradford Pear	<i>Pyrus calleryana</i>	Fair	6		2017-05-10	-83.11150087	40.3142658
444	352	Bradford Pear	<i>Pyrus calleryana</i>	Fair	6		2017-05-10	-83.1118796	40.31418023
445	353	Bradford Pear	<i>Pyrus calleryana</i>	Fair	6		2017-05-10	-83.1120871	40.31421096
446	354	Maple, Silver	<i>Acer saccharinum</i>	Fair	7	2 trunks 6	2017-05-10	-83.11221329	40.31418248
447					6				
448	355	Maple, Silver	<i>Acer saccharinum</i>	Fair	7		2017-05-10	-83.11219212	40.31405331
449	356	Hackberry	<i>Celtis occidentalis</i>	Fair	7		2017-05-10	-83.11229168	40.31431344
454	357	Hackberry	<i>Celtis occidentalis</i>	Fair	7	2 trunks 6	2017-05-10	-83.11228881	40.31431643
455					6				
457	358	Hackberry	<i>Celtis occidentalis</i>	Fair	7		2017-05-10	-83.11273593	40.3140525
462	359	Oak, Pin	<i>Quercus palustris</i>	Good	8		2017-05-10	-83.11295155	40.3138851
463	360	Oak, Pin	<i>Quercus palustris</i>	Good	7		2017-05-10	-83.11297041	40.31386632
464	361	Hackberry	<i>Celtis occidentalis</i>	Fair	11	2 trunks 8	2017-05-10	-83.11291814	40.31377848
465					8				
466	362	Hackberry	<i>Celtis occidentalis</i>	Fair	8	2 trunks 6	2017-05-10	-83.11294337	40.31375082
467					6				
469	363	Maple, Sugar	<i>Acer saccharum</i>	Good	34		2017-05-10	-83.11301801	40.31364983
470	364	Cottonwood, Eastern	<i>Populus deltoides</i>	Good	34		2017-05-10	-83.11306379	40.31359393
471	365	Elm, American	<i>Ulmus americana</i>	Fair	9	2 trunks 6	2017-05-10	-83.11309248	40.31355255
472					6				
473	366	Hackberry	<i>Celtis occidentalis</i>	Good	6		2017-05-10	-83.11310202	40.31354546
474	367	Cherry, Black	<i>Prunus serotina</i>	Good	7		2017-05-10	-83.11309129	40.31353187
477	368	Maple, Sugar	<i>Acer saccharum</i>	Good	8		2017-05-10	-83.1131254	40.3135017
478	369	Maple, Sugar	<i>Acer saccharum</i>	Good	6		2017-05-10	-83.11313334	40.31348531
480	370	Maple, Sugar	<i>Acer saccharum</i>	Good	9		2017-05-10	-83.11323901	40.31352326
481	371	Cherry, Black	<i>Prunus serotina</i>	Good	11		2017-05-10	-83.11327476	40.31355857
482	372	Maple, Sugar	<i>Acer saccharum</i>	Good	10		2017-05-10	-83.11328818	40.31353899
483	373	Maple, Sugar	<i>Acer saccharum</i>	Good	6		2017-05-10	-83.11327584	40.31349446
484	374	Maple, Sugar	<i>Acer saccharum</i>	Good	10		2017-05-10	-83.11333463	40.31345975
485	375	Cherry, Black	<i>Prunus serotina</i>	Good	7		2017-05-10	-83.11332517	40.31341295
486	376	Cherry, Black	<i>Prunus serotina</i>	Good	6		2017-05-10	-83.11332961	40.31323006
487	377	Elm, American	<i>Ulmus americana</i>	Good	7		2017-05-10	-83.11337213	40.31313753
488	378	Maple, Sugar	<i>Acer saccharum</i>	Good	6		2017-05-10	-83.11348038	40.31300221
					10				
					Total DBH =	4414			
					DBH Offsite =	215			
					DBH Removed =	2079			
					DBH Preserved =	2120			

*Blank rows in table are duplicates of row above and represent trees with multiple trunks at the same location.

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CONCEPTUAL RENDER
NOT TO SCALE
STREET VIEW

BURR OAK COMMONS
FINAL DEVELOPMENT
NOVEMBER 16, 2017

Treplus
Communities

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ARCHITECTURAL ALLIANCE

think. create. do.



01 A FRONT ELEVATION
1/8" = 1'-0"
BUILDING TYPE 01



01 B REAR ELEVATION
1/8" = 1'-0"
BUILDING TYPE 01



01 C SIDE ELEVATION
1/8" = 1'-0"
BUILDING TYPE 01



01 D SIDE ELEVATION
1/8" = 1'-0"
BUILDING TYPE 01

EXTERIOR MATERIAL PALETTE



ROOFING SHINGLE
30-YEAR DIMENSIONAL SHINGLE
COLOR: WEATHERED WOOD

STONE BASE
ELECTRIC STONE PAVERS
LEDGE STONE // TAN // GROUTED JOINT AND BASE COMPOSITE

PREMIUM VINYL SIDING
0.44" THICK CLAPBOARD PREMIUM SIDING
COLOR: COUNTRY SAND
HORIZONTAL

PREMIUM VINYL SIDING
3.50" THICK
COLOR: GLACIER WHITE

PREMIUM VINYL SIDING
0.44" THICK BOARD & BATTEN PREMIUM SIDING
VERTICAL

PREMIUM VINYL SIDING
0.52" THICK BOARD & BATTEN PREMIUM SIDING
VERTICAL

PREMIUM VINYL SIDING
LOWERED GABLE VENT
COLOR: GLACIER WHITE

GUTTERS / DOWNSPOUTS
25' ALUMINUM K-PROFILE
COLOR: WHITE

*ALL WINDOWS AND DOOR OPENINGS CORNERS, EAVE AND BASE COMPOSITE

*ALL DOWNSPOUTS INCORPORATE SPYGLASS BELLOWS

think. create. do.



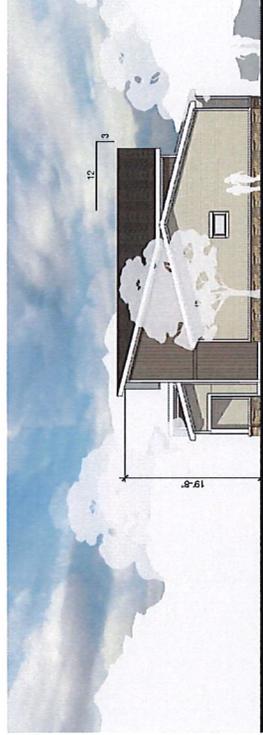
02 A FRONT ELEVATION
1/8" = 1'-0"
BUILDING TYPE 02



02 B REAR ELEVATION
1/8" = 1'-0"
BUILDING TYPE 02



02 C SIDE ELEVATION
1/8" = 1'-0"
BUILDING TYPE 02



02 D SIDE ELEVATION
1/8" = 1'-0"
BUILDING TYPE 02

EXTERIOR MATERIAL PALETTE

ROOFING SHINGLE
30-YEAR DIMENSIONAL SHINGLE
COLOR: WEATHERED WOOD

STONE BASE
3/4" X 1 1/2" SQUARE PATTERN
LENE STONE 7 / TAN /
GROUTED JOINT / NOT BRUSHING

PREMIUM VINYL SIDING
0.44" THICK CLAYBOARD PREMIUM SIDING
COLOR: MONTEREY SAND
HORIZONTAL

PREMIUM VINYL SIDING
3.50" PANEL
COLOR: GLACIER WHITE

*ALL WINDOWS AND DOOR OPENINGS,
CORNERS, EAVE AND BASE CONDITIONS.

PREMIUM VINYL SIDING
0.50" THICK BOARD & BATTEN PREMIUM SIDING
COLOR: CANYON DRIFT
VERTICAL

PREMIUM VINYL SIDING
0.50" THICK BOARD & BATTEN PREMIUM SIDING
COLOR: CHARCOAL SMOKE
VERTICAL

PREMIUM VINYL SIDING
LOWEDED GABLE VENT
COLOR: GLACIER WHITE

*UPKATED @ CEILING STORY OPENINGS

GUTTERS / DOWNSPOUTS
25' ALUMINUM 1.4" PROFILE
COLOR: WHITE

*ALL DOWNSPOUTS MICROPHONE
SPRAY BELLOWS.

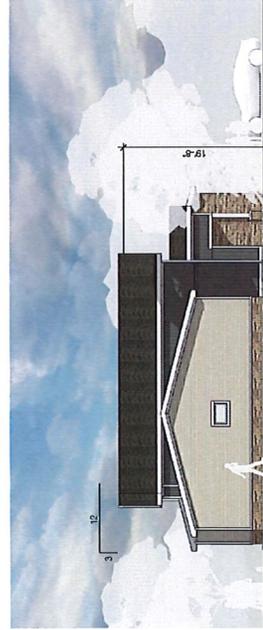
think. create. do.



03 FRONT ELEVATION
18'0" = 1'-0"
BUILDING TYPE 03F



03 REAR ELEVATION
18'0" = 1'-0"
BUILDING TYPE 03F



03 SIDE ELEVATION
18'0" = 1'-0"
BUILDING TYPE 03F



03 SIDE ELEVATION
18'0" = 1'-0"
BUILDING TYPE 03F

EXTERIOR MATERIAL PALETTE

ROOFING SHINGLE
30-YEAR DIMENSIONAL SHINGLE
COLOR: WEATHERED WOOD

STONE BASE
20-YEAR CLASSIC STONE PIER
LEWIS STONE // TAN /
GROUTED JOINT AND BRISTACQ

PREMIUM VINYL SIDING
0.44" THICK CLAYBOARD PREMIUM SIDING
COLOR: WINTERBERRY SAND
HORIZONTAL

PREMIUM VINYL SIDING
3.20" SIM
COLOR: GLACIER WHITE
*ALL WINDOWS AND DOOR OPENINGS,
CORNICES, EAVE AND BASE CONDITIONS

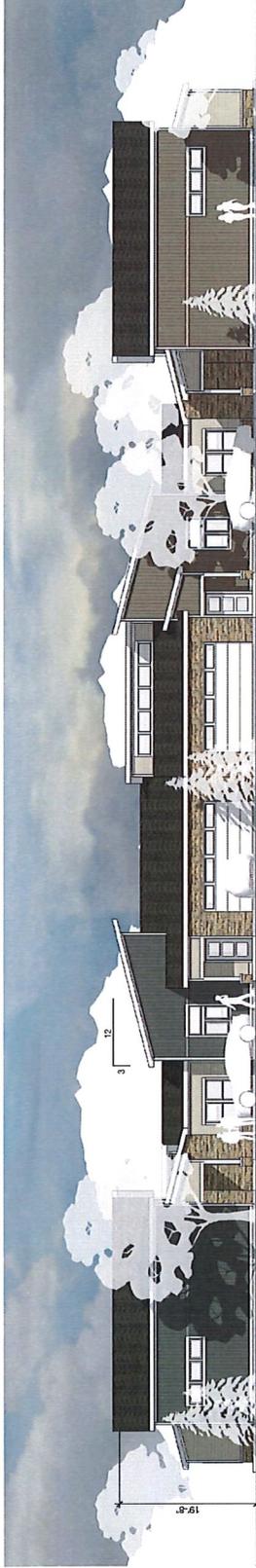
PREMIUM VINYL SIDING
0.44" THICK BOARD & BATTEN PREMIUM SIDING
COLOR: CANYON DRIFT
VERTICAL

PREMIUM VINYL SIDING
0.50" THICK BOARD & BATTEN PREMIUM SIDING
COLOR: CHARCOAL SHADE
VERTICAL

PREMIUM VINYL SIDING
LOWERED GABLE VENT
COLOR: GLACIER WHITE
*LOCATED @ CRESTORY OPENINGS

GUTTERS / DOWNSPOUTS
SEAMLESS ALUMINUM K-PROFILE
COLOR: WHITE
*ALL CORNICES INCORPORATE
SPRAYSILICOES

think. create. do.



04 A FRONT ELEVATION
1/8" = 1'-0"
BUILDING TYPE 04



04 B REAR ELEVATION
1/8" = 1'-0"
BUILDING TYPE 04



04 C INTERIOR SIDE ELEVATION
1/8" = 1'-0"
BUILDING TYPE 04



04 D EXTERIOR SIDE ELEVATION
1/8" = 1'-0"
BUILDING TYPE 04

EXTERIOR MATERIAL PALETTE

ROOFING SHINGLE
30-YEAR DIMENSIONAL SHINGLE
COLOR: WEATHERED WOOD

STONE BASE
2 1/2" x 4" x 8" STONE PILES
LEAVE STONE // TAN // GROUTED JOINT AND TOP/BACK

PREMIUM VINYL SIDING
0.44" THICK CLAYBOARD PREMIUM SIDING
COLOR: MONTEREY SAND
HORIZONTAL

PREMIUM VINYL SIDING
3.50" TALL
COLOR: GLACIER WHITE

*ALL WINDOWS AND DOOR OPENINGS, CORNERS, EAVE AND BASE CONDITIONS.

PREMIUM VINYL SIDING
0.50" THICK BOARD & BATTEN PREMIUM SIDING
COLOR: CANYON DRIFT
VERTICAL

PREMIUM VINYL SIDING
0.50" THICK BOARD & BATTEN PREMIUM SIDING
COLOR: CHARCOAL SMOKE
VERTICAL

PREMIUM VINYL SIDING
LOWEDED GABLE VENT
COLOR: GLACIER WHITE

*UPDATED @ CELESTORY OPENINGS

GUTTERS / DOWNSPOUTS
25' ALUMINUM 1.4" PROFILE
COLOR: WHITE

*ALL DOWNSPOUTS INCORPORATE SPYGLASS BELLOWS.

think. create. do.



05 FRONT ELEVATION
A.1 1/8" = 1'-0"



05 SIDE ELEVATION
B 1/8" = 1'-0"



05 REAR ELEVATION
C.1 1/8" = 1'-0"



05 SIDE ELEVATION
D 1/8" = 1'-0"

EXTERIOR MATERIAL PALETTE

ROOFING SHINGLE
30-YEAR DIMENSIONAL SHINGLE
COLOR: WEATHERED WOOD



STONE BASE
LEISE STONE / TAN / GRAY
GRADED JOINT / NOT DIRECTIONAL



PREMIUM VINYL SIDING
0.4" THICK CLAPBOARD PREMIUM SIDING
COLOR: MONTREY SAND
HORIZONTAL



PREMIUM VINYL SIDING
0.4" THICK GLACIER WHITE
COLOR: GLACIER WHITE
VERTICAL



PREMIUM VINYL SIDING
0.4" THICK CLAYBOLD & BATTER PREMIUM SIDING
COLOR: CARROLL DRIFT
VERTICAL



PREMIUM VINYL SIDING
0.4" THICK CAROL BATTER PREMIUM SIDING
COLOR: CHARCOAL SMOKE
VERTICAL



PREMIUM VINYL SIDING
LOWERED GABLE VERT
COLOR: GLACIER WHITE



*LOCATED @ CLERESTORY OPENINGS

GUTTERS / DOWNSPOUTS
SEAMLESS ALUMINUM, 1" PROFILE
COLOR: WHITE



*ALL DOWNSPOUTS IN APPROPRIATE SPACES/BLOCKS

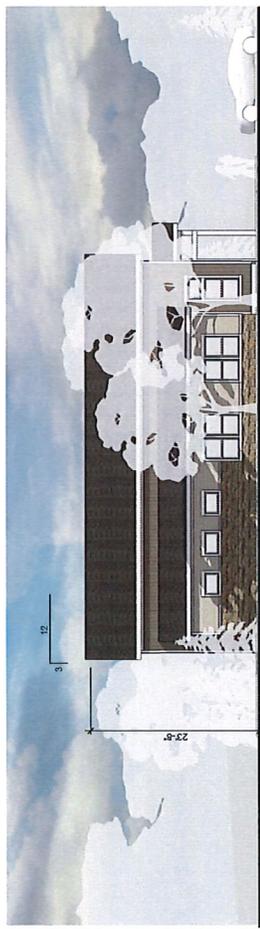
think. create. do.



C0 FRONT ELEVATION
1/8" = 1'-0"
COMMONS



C0 REAR ELEVATION
1/8" = 1'-0"
COMMONS



C0 SIDE ELEVATION
1/8" = 1'-0"
COMMONS



C0 SIDE ELEVATION
1/8" = 1'-0"
COMMONS

EXTERIOR MATERIAL PALETTE

ROOFING SHINGLE
30-YEAR DIMENSIONAL SHINGLE
COLOR: WEATHERED WOOD

STONE BASE
POLYETHYLENE STONE PEGS
LEADS: STONE // TAN // GRouted JOINT (NOT DIRTY/CAY)

PREMIUM VINYL SIDING
0.44" THICK CLAYBOARD PREMIUM SIDING
COLOR: MONTREY SAND
HORIZONTAL

PREMIUM VINYL SIDING
3.50" PANEL
COLOR: GLACIER WHITE
*ALL WINDOWS AND DOOR OPENINGS, CORNERS, EAVE AND BASE CONDITIONS

PREMIUM VINYL SIDING
0.44" THICK BOARD & BATTEN PREMIUM SIDING
COLOR: CANYON DRIFT
VERTICAL

PREMIUM VINYL SIDING
0.67" THICK BOARD & BATTEN PREMIUM SIDING
COLOR: CHARCOAL SMOKE
VERTICAL

PREMIUM VINYL SIDING
LOWEDED GABLE VENT
COLOR: GLACIER WHITE
*LOCATED @ CELESTIAL OPENINGS

GUTTERS / DOWNSPOUTS
SEAMLESS ALUMINUM K-PROFILE
COLOR: WHITE
*ALL DOWNSPOUTS INCORPORATE STAY-IN-PLACE

think. create. do.



1

LAUREL
1 BEDROOMS + DEN
1.5 BATHROOMS

UNIT A
1,241 SF

think. create. do.

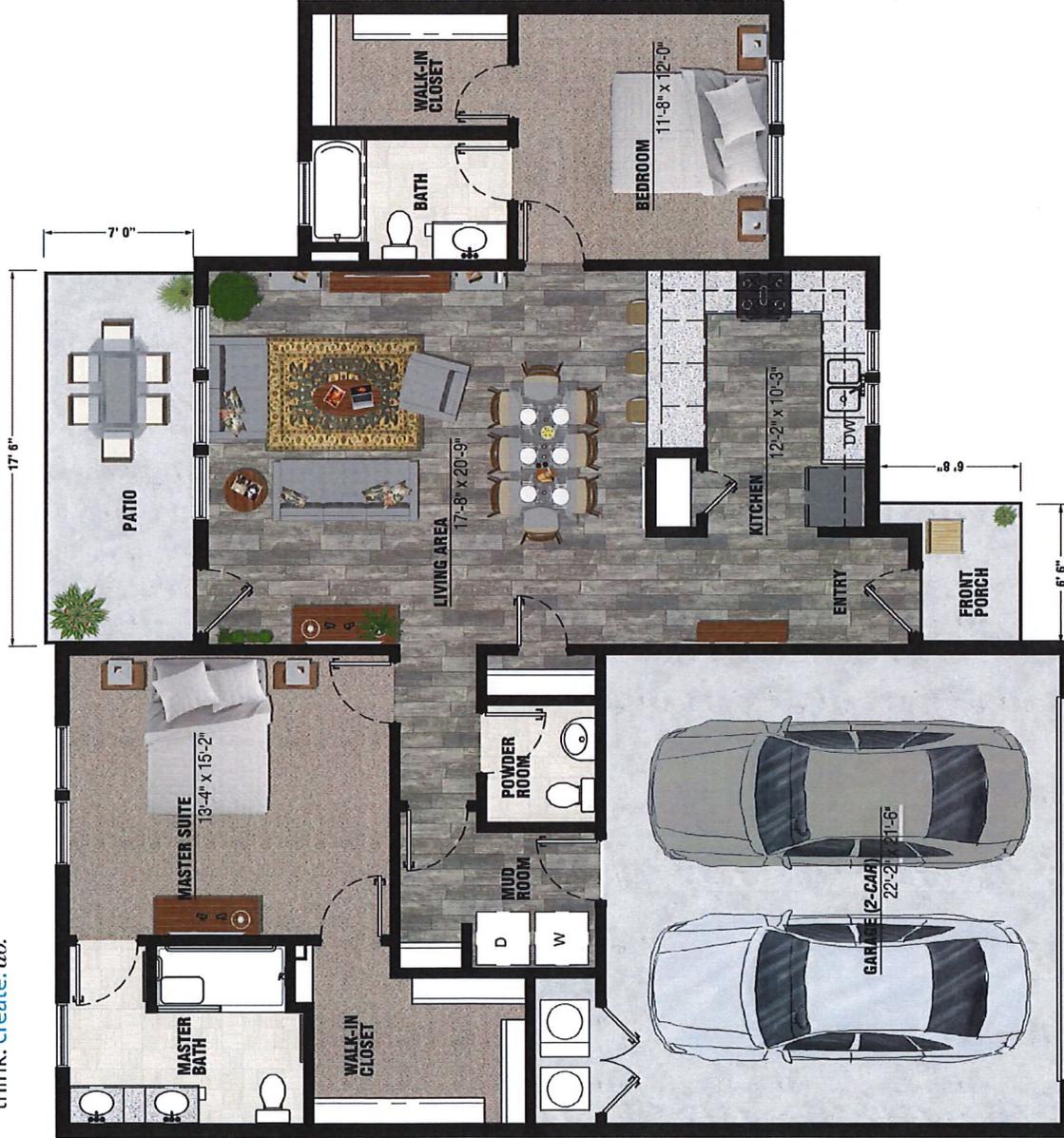


1

ASTER
1 BEDROOMS + DEN
1.5 BATHROOMS

UNIT B
1,213 SF

think. create. do.

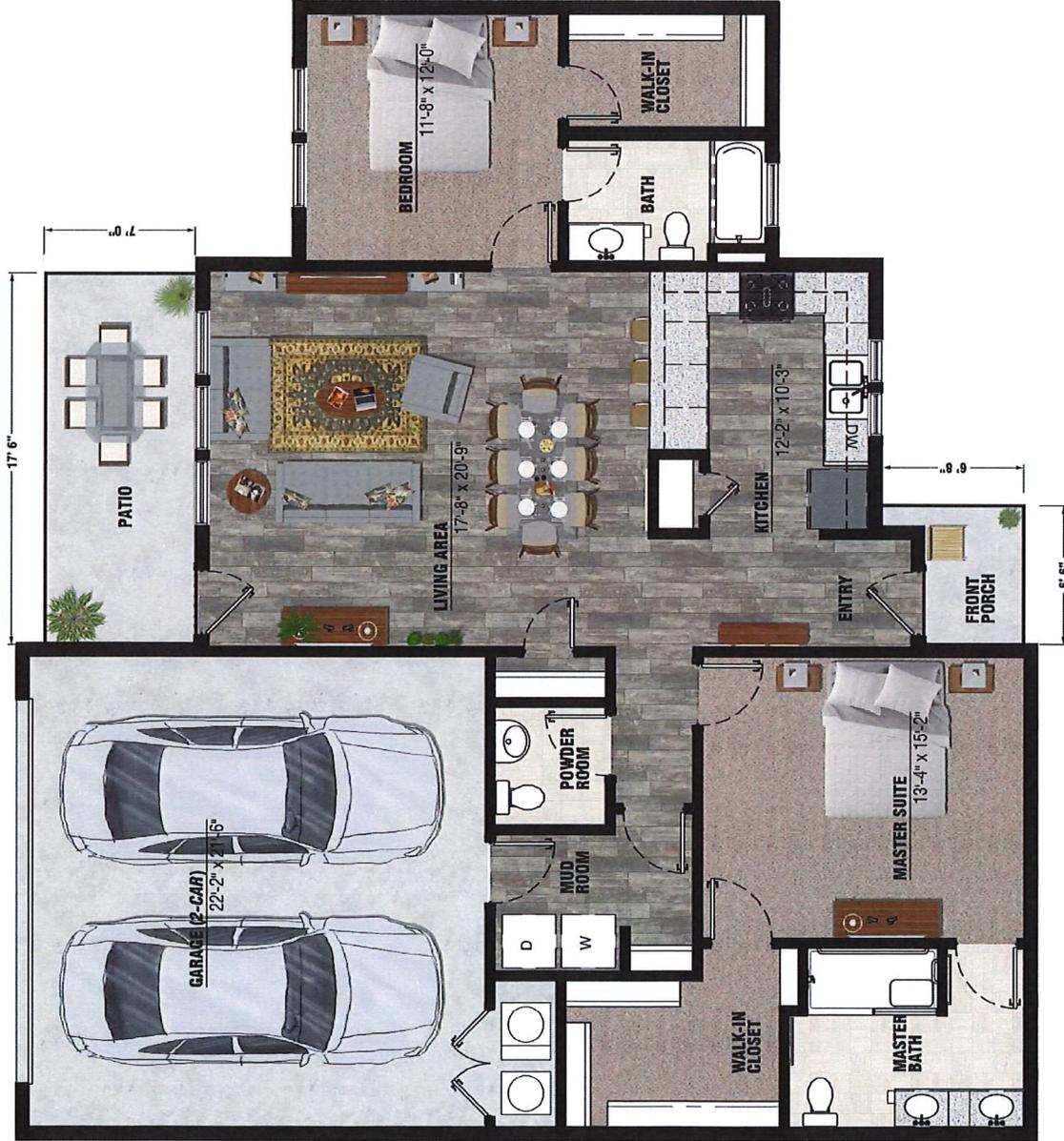


2

BAYBERRY
2 BEDROOMS
2.5 BATHROOMS

UNIT C
1,462 SF

think. create. do.

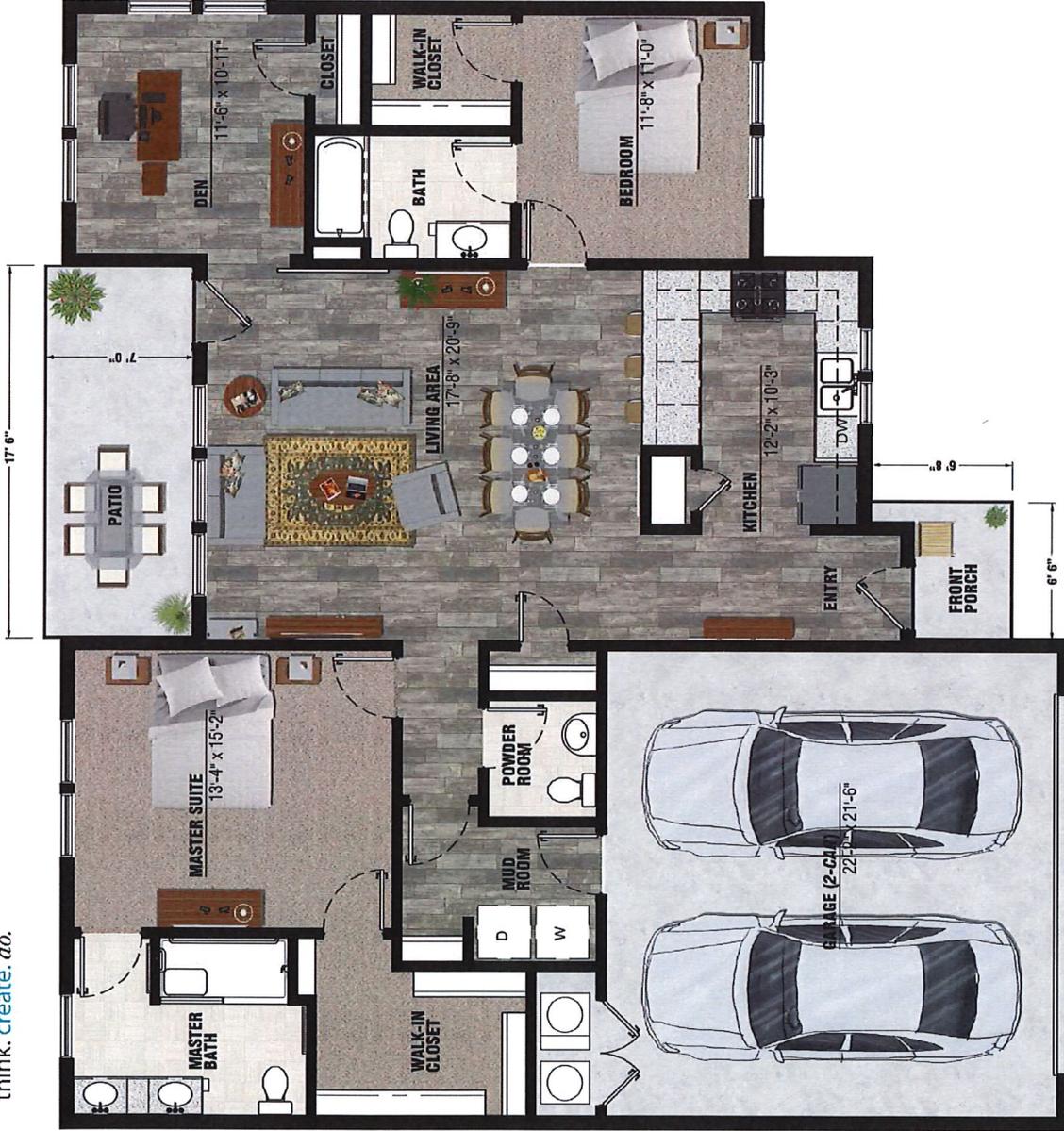


2

SAGE
2 BEDROOMS
2.5 BATHROOMS

UNIT D
1,461 SF

think. create. do.

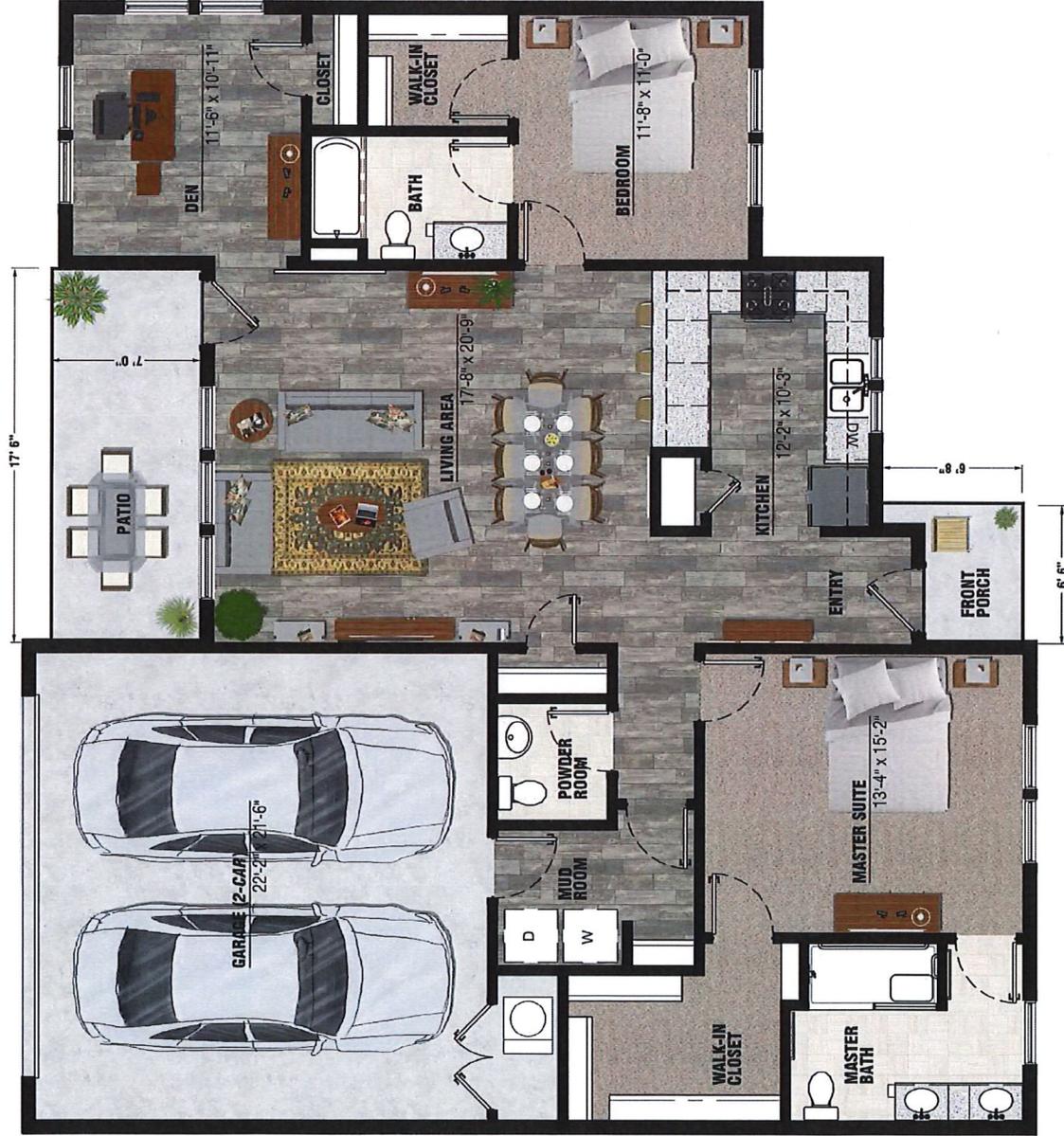


2+

LARKSPUR
2 BEDROOMS + DEN
2.5 BATHROOMS

UNIT E
1,589 SF

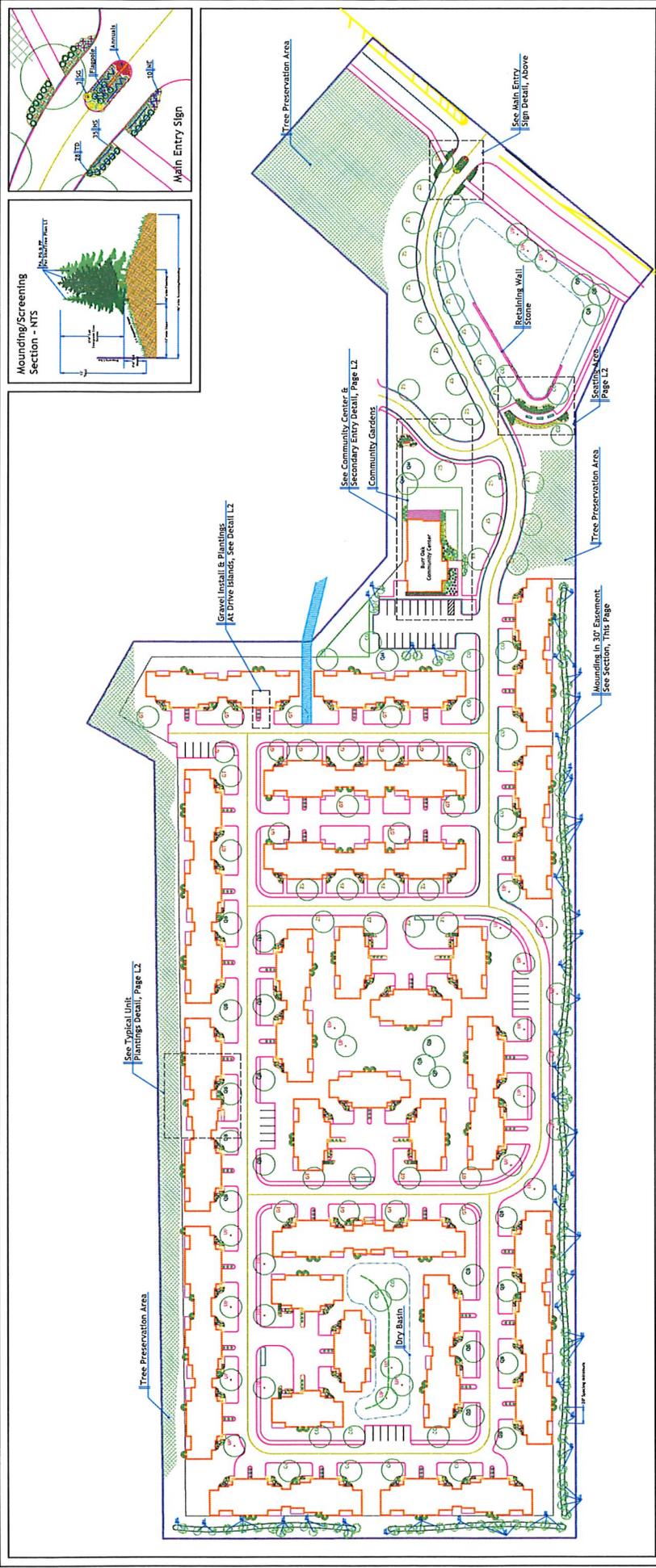
think. create. do.



2+

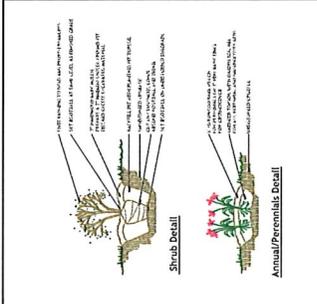
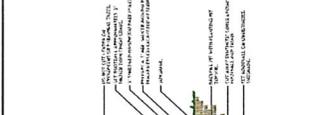
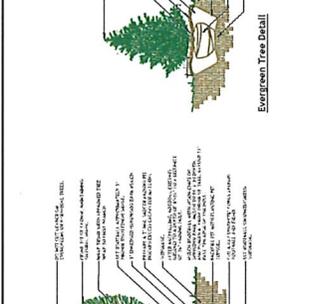
VERBENA
2 BEDROOMS + DEN
2.5 BATHROOMS

UNIT F
1,589 SF



Notes

- Contractor shall be responsible for making themselves familiar with all underground utilities, pipes and structures. Contractor shall take care responsibility for any construction due to damage of said utilities, pipes and structures. Such that may not have been known during design. The contractor shall assume full responsibility for all necessary rework due to failure to give such notification. Contractor shall assume full responsibility for any coordination with subcontractors as required to accomplish planting operations.
- All work shall be performed by a landscape contractor with minimum 5 years experience with similar projects of scope and size.
- Final location of all plant materials shall be subject to the approval of the owner's representative architect/city of Delaware.
- All planting beds are to be top dressed with 3" of organic blend soil (Lance Mix) and incorporated into the top 12" of existing soil by means of re-tilling.
- All planting beds are to be mulched with shredded hardwood mulch to a depth of 3".
- All plant material shall meet specifications per species and shall comply with ANSI Z60.1 "Standards for Nursery Stock".
- Trees, shrubs and perennials shall be installed as per details noted on landscape sheet L-1. Contractor shall field site and coordinate all tree locations with City of Delaware Planning Department.
- All areas noted to be seeded will be fine graded and hydro seeded. Type of seed to turf type focus. Seed to be applied at a rate of 4 lbs. per 1,000 sq. ft.
- Plant material quantities are listed for the benefit of the contractor but should not always be assumed to be correct. In the event of a discrepancy the plan will take precedence over the materials list.
- Site benches are manufactured by The Park and Facilities Catalog. Pillars are single color round bench, 39 1/2" length, in-ground mount. All metal powder coated painted black, no attract, 7 total benches to be used on site.



Plant Materials List

Label	Quantity	Manufacturer/Code	Size	Comments
F1	20	Perennial	12" x 12"	Perennial
F2	20	Perennial	12" x 12"	Perennial
F3	20	Perennial	12" x 12"	Perennial
F4	20	Perennial	12" x 12"	Perennial
F5	20	Perennial	12" x 12"	Perennial
F6	20	Perennial	12" x 12"	Perennial
F7	20	Perennial	12" x 12"	Perennial
F8	20	Perennial	12" x 12"	Perennial
F9	20	Perennial	12" x 12"	Perennial
F10	20	Perennial	12" x 12"	Perennial
F11	20	Perennial	12" x 12"	Perennial
F12	20	Perennial	12" x 12"	Perennial
F13	20	Perennial	12" x 12"	Perennial
F14	20	Perennial	12" x 12"	Perennial
F15	20	Perennial	12" x 12"	Perennial
F16	20	Perennial	12" x 12"	Perennial
F17	20	Perennial	12" x 12"	Perennial
F18	20	Perennial	12" x 12"	Perennial
F19	20	Perennial	12" x 12"	Perennial
F20	20	Perennial	12" x 12"	Perennial
F21	20	Perennial	12" x 12"	Perennial
F22	20	Perennial	12" x 12"	Perennial
F23	20	Perennial	12" x 12"	Perennial
F24	20	Perennial	12" x 12"	Perennial
F25	20	Perennial	12" x 12"	Perennial
F26	20	Perennial	12" x 12"	Perennial
F27	20	Perennial	12" x 12"	Perennial
F28	20	Perennial	12" x 12"	Perennial
F29	20	Perennial	12" x 12"	Perennial
F30	20	Perennial	12" x 12"	Perennial
F31	20	Perennial	12" x 12"	Perennial
F32	20	Perennial	12" x 12"	Perennial
F33	20	Perennial	12" x 12"	Perennial
F34	20	Perennial	12" x 12"	Perennial
F35	20	Perennial	12" x 12"	Perennial
F36	20	Perennial	12" x 12"	Perennial
F37	20	Perennial	12" x 12"	Perennial
F38	20	Perennial	12" x 12"	Perennial
F39	20	Perennial	12" x 12"	Perennial
F40	20	Perennial	12" x 12"	Perennial
F41	20	Perennial	12" x 12"	Perennial
F42	20	Perennial	12" x 12"	Perennial
F43	20	Perennial	12" x 12"	Perennial
F44	20	Perennial	12" x 12"	Perennial
F45	20	Perennial	12" x 12"	Perennial
F46	20	Perennial	12" x 12"	Perennial
F47	20	Perennial	12" x 12"	Perennial
F48	20	Perennial	12" x 12"	Perennial
F49	20	Perennial	12" x 12"	Perennial
F50	20	Perennial	12" x 12"	Perennial
F51	20	Perennial	12" x 12"	Perennial
F52	20	Perennial	12" x 12"	Perennial
F53	20	Perennial	12" x 12"	Perennial
F54	20	Perennial	12" x 12"	Perennial
F55	20	Perennial	12" x 12"	Perennial
F56	20	Perennial	12" x 12"	Perennial
F57	20	Perennial	12" x 12"	Perennial
F58	20	Perennial	12" x 12"	Perennial
F59	20	Perennial	12" x 12"	Perennial
F60	20	Perennial	12" x 12"	Perennial
F61	20	Perennial	12" x 12"	Perennial
F62	20	Perennial	12" x 12"	Perennial
F63	20	Perennial	12" x 12"	Perennial
F64	20	Perennial	12" x 12"	Perennial
F65	20	Perennial	12" x 12"	Perennial
F66	20	Perennial	12" x 12"	Perennial
F67	20	Perennial	12" x 12"	Perennial
F68	20	Perennial	12" x 12"	Perennial
F69	20	Perennial	12" x 12"	Perennial
F70	20	Perennial	12" x 12"	Perennial
F71	20	Perennial	12" x 12"	Perennial
F72	20	Perennial	12" x 12"	Perennial
F73	20	Perennial	12" x 12"	Perennial
F74	20	Perennial	12" x 12"	Perennial
F75	20	Perennial	12" x 12"	Perennial
F76	20	Perennial	12" x 12"	Perennial
F77	20	Perennial	12" x 12"	Perennial
F78	20	Perennial	12" x 12"	Perennial
F79	20	Perennial	12" x 12"	Perennial
F80	20	Perennial	12" x 12"	Perennial
F81	20	Perennial	12" x 12"	Perennial
F82	20	Perennial	12" x 12"	Perennial
F83	20	Perennial	12" x 12"	Perennial
F84	20	Perennial	12" x 12"	Perennial
F85	20	Perennial	12" x 12"	Perennial
F86	20	Perennial	12" x 12"	Perennial
F87	20	Perennial	12" x 12"	Perennial
F88	20	Perennial	12" x 12"	Perennial
F89	20	Perennial	12" x 12"	Perennial
F90	20	Perennial	12" x 12"	Perennial
F91	20	Perennial	12" x 12"	Perennial
F92	20	Perennial	12" x 12"	Perennial
F93	20	Perennial	12" x 12"	Perennial
F94	20	Perennial	12" x 12"	Perennial
F95	20	Perennial	12" x 12"	Perennial
F96	20	Perennial	12" x 12"	Perennial
F97	20	Perennial	12" x 12"	Perennial
F98	20	Perennial	12" x 12"	Perennial
F99	20	Perennial	12" x 12"	Perennial
F100	20	Perennial	12" x 12"	Perennial

Notes

This drawing is the property of the client and is not to be reproduced without the written consent of the architect.

North

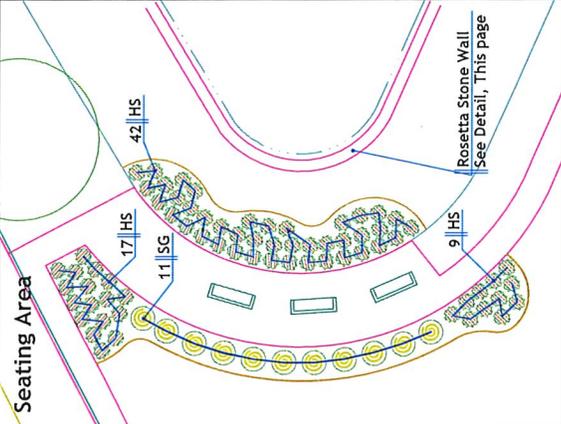
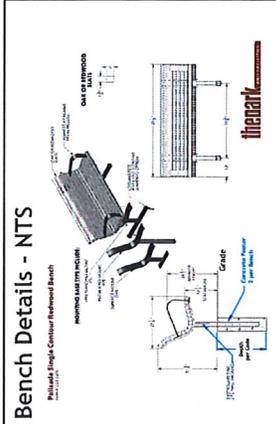
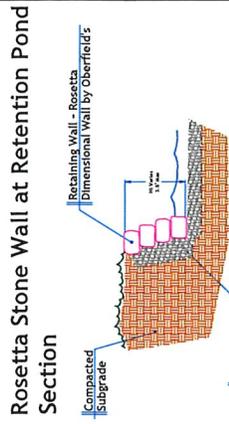
BBB
landscape architects
certified technician

EMI
Environmental Management, Inc.
P.O. BOX 175
DUBLIN, OH 43017
(614) 764-9988

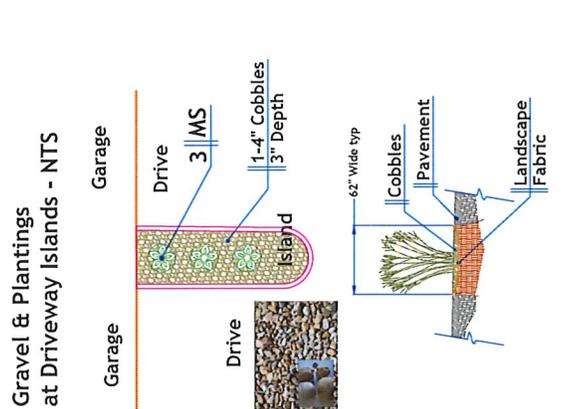
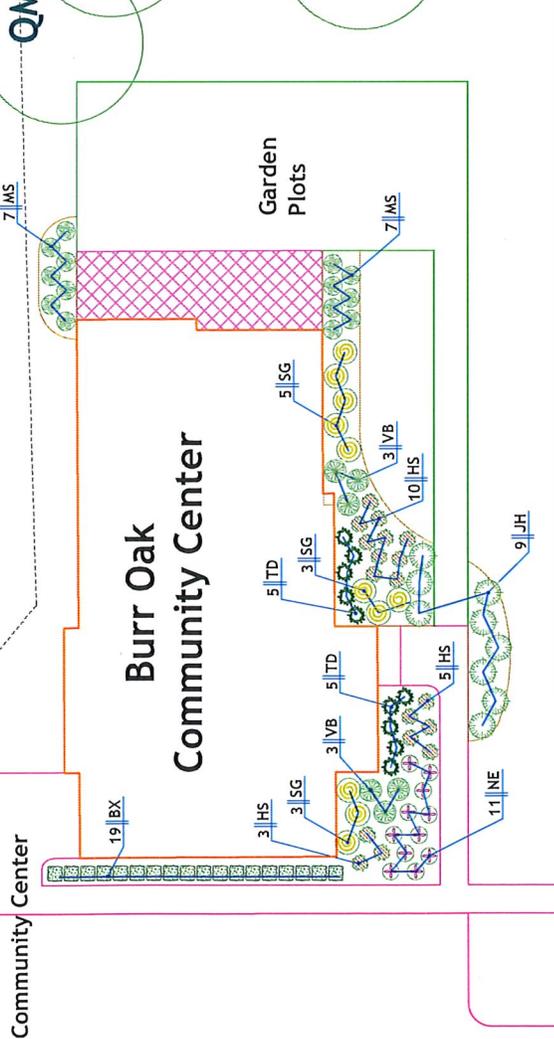
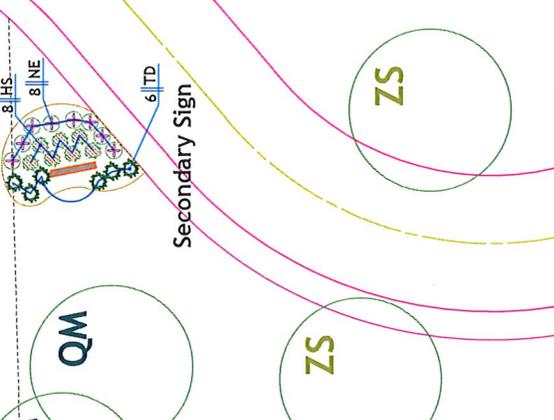
Burr Oak Site/Tree Plan

Designed By: Dennis Karem
Drafted By: EMM
EMI Contact: Dennis Karem

Date: 2017 11 07 0809
Scale: 1"=60' on 24x36
Drawing Number: L1



Note: For Plant List reference, Planting Notes & General Notes See Sheet L1



Burr Oak Community Center, Signage & Units Planting Details



Designed By:	Dennis Karem	Date:	2017 11 07 0855
Drafted By:	EMAN	Scale:	1"=10' on 24x36
EMI Contact:	Dennis Karem	Drawing Number:	L2





A **hip***, new rental housing experience for the young at heart

*smart and sophisticated

The Opportunity

Principals:

Jane Arthur Roslovic

Ann Arthur Cook

Geoffrey W. Arthur

Mission Statement – to build and retain a profitable collection of premier rental communities for active baby-boomers.

Vision Statement – to develop premier rental communities focused on meeting the needs of the discerning baby-boomer - offering their desired amenities and concierge service for long-term residency.

With the aging of the large baby-boom generation (born '46 – '64) and increased lifespan, the 50 and over population of the United States is projected to increase 20% by 2030 to 132MM. In considering options for their future housing, this demographic of mature adults will be focusing on new priorities driven by the desire to age in place in independent housing while remaining close to their current community. These priorities include - housing accessibility; affordability; proximity to shopping; social interaction /connectivity and access to support services.

A large proportion of this group, with no children living at home and nearing or in retirement, will be considering downsizing from their current homes for lifestyle considerations including - services, accessibility, flexibility and maintenance and property tax free living. There is seriously inadequate and insufficient housing stock for this group. Housing which incorporates all basic elements of Universal Design (UD) accessibility comprises less than 1% of all US housing stock. The 5 basic UD design elements including: no-step entry, single floor living, wide doorways and halls, accessible electrical controls, lever door and faucet handles.

Target Resident Profile

Baby Boomers who want to downsize within their current community - improving or maintaining their proximity to family, friends, town and medical services and community activities. One or two person households with income levels \$70k plus – renters by choice – looking to downsize in or near their current community - to single level property with attached garage and UD design for next phase of life. We have conducted focus group studies with **Complete Research Connection (CRC)** to target the amenities desired by the target resident. Market studies sizing opportunities for specific sites will be provided by **Vogt Santer Insights**

Product Attributes

Site locations and plans – Density of 6 – 8 units per acre and community size of 80 – 120 units. Located in green/urban area submarkets in the outskirts of larger cities. The areas targeted will be smaller towns with an adequate, affordable supply of land in good proximity to town for multifamily low-density zoning and adequate population catchment/income. (eg Newark, Westerville, Pickerington, Delaware to Columbus Ohio) Properties will be close to shopping and health-care facilities. Well landscaped property with walking trails or near outdoor recreation.

Floor plans – Large single-level floor plan of one to three bedrooms, 1.5 to 2.5 baths with attached garage. Open plan living with dining area and kitchen bar/island, ample storage with walk in closets and attic (loft) spaces, laundry room.

Style & Construction – Contemporary design with shed roofs, sustainable mixed materials and loft style windows to maximize natural light – a noticeably stand-out design for the multifamily market. Classic condo

style finishes – hard wood floors, granite counter-tops. Universal Design for full access and ability to age in place – including no-step entry, single floor living, wide doorways and halls, accessible electrical controls, lever door and faucet handles. Green Design for energy efficiencies and minimal impact.

Services/Amenities – Hands on, full service on-site property management. Treplus will have a unique management plan with very selective criteria for on-site property management and facilities management. A Commons building for casual social interaction, events and resident private use will be a key feature of the communities. The leasing/management office and maintenance offices will be headquartered in the commons for convenience. The Commons will have gathering spaces with Wi-Fi and seating, business center and library, kitchen, fitness center, pool with grill, fire pit and sports court. The communities will provide a wide range of amenities including trash pick-up, home checks for traveling residents and concierge services delivered through a proactive community management. Smoke free buildings will be available.

Competitive Positioning

Renters by choice are opting to rent as a lifestyle choice and they want great conveniences, flexibility and personalized services when choosing their apartment home. Treplus apartment communities will offer the complete package of location, floor plan design, contemporary & universal design, convenience, and amenities for the discriminating renter by choice. After consumer research, we believe we have put together a formula for delivering all of the relevant lifestyle needs.

Identified markets in Central Ohio

We have identified tracts of land in outlying Central Ohio communities including Dublin, Pickerington, Delaware, Westerville, Hilliard, New Albany, Granville, Johnstown...

Company Leadership

Jane Arthur Roslovic - has been in the real estate investment business as a managing member of Treplus Communities since 2012. Since then, Jane and her partners have identified and acquired 368 multifamily units and secured \$65 million in financing. Jane has served on the board of Broad Street Financial Company, Treplus' parent company, since 2007.

Jane started her career in 1987, managing over 500 multifamily apartments as well as developing \$10 million in residential real estate. In addition, Jane acquired, managed, increased the value of and subsequently sold a small manufacturing business. She has served on the Boards of Trustees for the following Central Ohio organizations: Columbus School for Girls, Urban Growth, Franklin Park Conservatory and the Charles Kleibacker Fund at The Columbus Museum of Art. Member of Women Presidents Organization and Urban Land Institute. Education: Southern Methodist University, 1984.

Ann Arthur Cook – has been in the real estate investment business as a managing member of Treplus Communities LLC since 2012. She and her partners have identified and acquired 368 multifamily units and secured \$65 million in financing. She has served on the board of Broad Street Financial Company, Treplus' parent company since 2007.

Ann was a banker with Irving Trust and Bankers Trust Co. in Insurance Co. banking, M&A, and Asset Backed Finance between 1980 and 1989. Between 1987 and the present, Ann and her husband have traded in numerous residential and investment properties in New York, Montana, London, England and Munich, Germany. They lived in the United Kingdom and Germany from 1999 to 2011. Member of Contemporaries at the Columbus Museum of Art and Urban Land Institute. Education: Smith College BA 1980; Harvard Business School MBA 1985.

Geoffrey William Arthur - has been in the real estate investment business as a principal of Treplus Communities since 2011. Geoff and his partners have identified and acquired 368 multifamily apartment units and secured \$40 million in financing. Geoff has served as principal, owner, board member, and officer of Broad Street Financial Company (BSFC) since 1993. He managed BSFC's oil and gas production business since 1993 until its divestiture in 2015. Geoff currently manages the legal activities of Treplus Communities. Education: Vanderbilt University BA 1987; The Ohio State University, College of Law 1990. He is a member of the Green Lawn Cemetery Association; Central Ohio Youth For Christ; Gracehaven, Inc.; the Ohio State Bar Association and the Urban Land Institute

UNIVERSAL DESIGN

— FOR ACCESSIBILITY —

We have gone to great lengths to ensure that our homes include the key elements of Universal Design - promoting accessibility and the ability to age-in-place in a beautiful and appealing space.



Our apartment homes include:

- No step entries into the home
- No steps within the home – including no-step showers (tubs in the 2nd bath)
- Surfaces that are stable, firm, and slip resistant (wood look flooring and tile)
- Wide interior doors, hallways, and baths
- Lever handles for opening doors rather than twisting knobs
- Bright and appropriate lighting, particularly task lighting
- Light switches and electrical outlets at heights that are more accessible.
- Future need for grab bars in bathrooms are part of the normal fixtures/towel bars



Universal Design (UD):

Universal Design (UD) is an approach to design that creates a better quality of life for a wide range of individuals regardless of age, ability or situation.

The main principles of Universal Design include - Equitable Use; Flexibility in Use; Simple and Intuitive Use; Perceptible Information; Tolerance for Error; Low Physical Effort; Size and Space for Approach and Use

Very little of the US housing stock, even new build, incorporates Universal Design. Retrofitting old housing can be difficult, expensive, and unattractive (think, ramps).