

CITY OF DELAWARE
PLANNING COMMISSION
AMENDED AGENDA
CITY COUNCIL CHAMBERS
1 S. SANDUSKY ST.
7:00 P.M.

REGULAR MEETING

June 7, 2017

1. ROLL CALL
2. APPROVAL of the Motion Summary of the Planning Commission meeting held on May 3, 2017, as recorded and transcribed.
3. REGULAR BUSINESS
 - A. Communities at Glenross - Section 11
 - (1) 2017-1030: A request by Pulte Homes for approval of a Final Development Plan for Communities at Glenross Section 11 for 58 single family lots on 22.74 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located south of Cheshire Road on Winterbourne Drive, Solstice Road, Stone Quarry Drive and Holly Berry Lane.
 - (2) 2017-1031: A request by Pulte Homes for approval of a Final Subdivision Plat for Communities at Glenross Section 11 for 58 single family lots on 22.74 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located south of Cheshire Road on Winterbourne Drive, Solstice Road, Stone Quarry Drive and Holly Berry Lane.

Anticipated Process

 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public comment (not a public hearing)
 - d. Commission Action
 - B. Belmont Place – Sections 4 and 5
 - (1) 2017-1040: A request by Glenn Road Capital LLC., for approval of a Preliminary Development Plan for Belmont Place Sections 4 and 5 for 72 single family lots on approximately 21.5 acres on property zoned R-3 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located on McNamara Loop, Neville Lane and Squaregaiter Lane.
 - (2) 2017-1041: A request by Glenn Road Capital LLC., for approval of a Final Development Plan for Belmont Place Sections 4 and 5 for 72 single family lots on approximately 21.5 acres on property zoned R-3 PMU (One-Family Residential District with a Planned Mixed Use

Overlay District) and located on McNamara Loop, Neville Lane and Squaregaiter Lane.

- (3) 2017-1042: A request by Glenn Road Capital LLC., for approval of a Preliminary Subdivision Plat for Belmont Place Sections 4 and 5 for 72 single family lots on approximately 21.5 acres on property zoned R-3 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located on McNamara Loop, Neville Lane and Squaregaiter Lane.
- (4) 2017-1043: A request by Glenn Road Capital LLC., for approval of a Final Subdivision Plat for Belmont Place Section 4 for 34 single family lots on 10.426 acres on property zoned R-3 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located on McNamara Loop and Squaregaiter Lane.

Anticipated Process

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (not a public hearing)
- d. Commission Action

- 4. PLANNING DIRECTOR'S REPORT
- 5. COMMISSION MEMBER COMMENTS AND DISCUSSION
- 6. NEXT REGULAR MEETING: July 19, 2017
- 7. ADJOURNMENT

PLANNING COMMISSION
May 3, 2017
MOTION SUMMARY

ITEM 1. Roll Call

Chairman Simpson called the meeting to order at 7:00 p.m.

Members Present: Robert Badger, Jim Halter, Dean Prall, Andy Volenik, Councilmember George Hellinger, Vice-Chairman George Mantzoros, and Chairman Stacy Simpson.

Staff Present: Matt Weber, Deputy City Engineer, Carrie Fortman, Project Engineer, Lance Schultz, Zoning Administrator, and Dave Efland, Planning and Community Development Director

ITEM 2. Approval of the Motion Summary of the Planning Commission meeting held on April 5, 2017, as recorded and transcribed.

Motion: Mr. Prall moved to approve the Motion Summary for April 5, 2017 meeting, seconded by Vice-Chairman Mantzoros. Motion approved 7-0 vote.

ITEM 3. REGULAR BUSINESS

A. Coughlin's Crossing

- (1) 2017-0689: A request by Delaware Development Plan LTD for approval of a Final Development Plan for Coughlin's Crossing Phase 1 (infrastructure) encompassing approximately 77.102 acres zoned A-1 PMU (Agricultural District with a Planned Mixed Use Overlay District) and located east of US 23, west of Stratford Road and north of Meeker Way.
- (2) 2017-0691: A request by Delaware Development Plan LTD for approval of a Final Subdivision Plat for Coughlin's Crossing encompassing approximately 77.102 acres zoned A-1 PMU (Agricultural District with a Planned Mixed Use Overlay District) and located east of US 23, west of Stratford Road and north of Meeker Way.
- (3) 2017-0692: A request by Delaware Development Plan LTD for approval of a Street Vacation of Stratford Drive for Coughlin's Crossing encompassing approximately 77.102 acres zoned A-1 PMU (Agricultural District with a Planned Mixed Use Overlay District) and located east of US 23, west of Stratford Road and north of Meeker Way.

Anticipated Process

a. Staff Presentation

Mr. Schultz reviewed the Approved Preliminary Development Plan and discussed the Street Vacation procedures. Mr. Schultz reviewed the proposed landscape plans and designated open space and preservation areas. A discussion was held

regarding the additional traffic signal. Mr. Weber informed the Commission that the additional signal will be located at Hawthorne Blvd. A discussion was held regarding landscape requirements and the tree replacement scheduled plan.

b. Applicant Presentation

APPLICANT:

Connie Klema
P.O Box 991
Pataskala, Ohio

Ms. Klema reviewed the efforts to meet with neighbors to provide updates regarding the development and tree replacement.

c. Public comment (not a public hearing)

There was no public comment.

d. Commission Action

Motion: Mr. Prall moved to approve 2017-0689, along with all staff recommendations and conditions, seconded by Mr. Badger. Motion approved by a 7-0 vote.

Motion: Mr. Prall moved to approve 2017-0691, along with all staff recommendations and conditions, seconded by Mr. Badger. Motion approved by a 7-0 vote.

Motion: Mr. Prall moved to approve 2017-0692, along with all staff recommendations and conditions, seconded by Mr. Badger. Motion approved by a 7-0 vote.

B. 2017-0731: A request by Treplus Communities for a Concept Plan Review for Burr Oak Commons on approximately 20.06 acres zoned B-3 (Community Business District) located on the north side of SR 37 just west of Westfield Shopping Center and just east of Lantern Chase Subdivision.

Anticipated Process

a. Staff Presentation

Mr. Schultz presented the Treplus Communities' Concept Review for Burr Oak Commons. Mr. Schultz reviewed the proposed site plan and Comprehensive Land Use Plan. Mr. Schultz discussed pedestrian connectivity and access locations.

A discussion was held regarding the need to have the trees on the site inventoried

to determine the replacement plan.

b. Applicant Presentation

APPLICANT:

Andrew Wecker
Manos, Martin & Pergram Co., LPA
50 N. Sandusky Street
Delaware, Ohio 43015

Brad Parish
Architectural Alliance
165 N. 5th Street
Columbus, Ohio 43215

Steven Hicks
Treplus Communities
1515 Lake Shore Drive, Suite 225
Columbus, Ohio 43204

Mr. Wecker discussed efforts to meet with community residents and Board Members of Lantern Chase to provide information on the proposed development. Mr. Wecker discussed the expectation that occupants will be age 55 years or older.

A discussion was held regarding the access locations. Mr. Weber discussed the access agreement with the nearby shopping center. A discussion was held regarding the mounding and landscape buffering. Mr. Parish discussed the grading on the properties. Mr. Hicks discussed the meetings held with surrounding homeowners and concerns that were voiced. A discussion was held on the drainage connectivity and Mr. Hicks discussed recommendations by their consultant to install a pipe and bypass the ditch.

c. Public comment (not a public hearing)

There was no public comment.

d. No Commission Action

No action was taken by the Commission.

C. 2016-2797: A request by the City of Delaware for approval of Amendments to Chapter 1111 Subdivision Regulations of the Planning and Zoning Code pertaining to acceptance of public improvements and bonding.

Anticipated Process

a. Staff Presentation

Mr. Efland reviewed the amendments to Chapter 1111 Subdivision Regulations of the Planning and Zoning Code and discussed the ability to make the process more efficient.

b. Applicant Presentation

c. Public comment (public hearing)

There was no public comment.

d. Commission Action

Motion: Mr. Badger moved to approve 2016-2797, seconded by Mr. Volenik. Motion approved by a 7-0 vote.

ITEM 4. PLANNING DIRECTOR'S REPORT

Mr. Efland provided information on the Ohio Planning Conference for May 19, 2017.

ITEM 5. COMMISSION MEMBER COMMENTS AND DISCUSSION

Mr. Badger informed the Commission that he will not be at the June 7, 2017 Planning Commission meeting.

Mr. Prall informed the Commission that he may not be available at the June 7, 2017 Planning Commission meeting.

Mr. Halter requested an update on the potential development plans off Houk Road. Mr. Efland reviewed the possible concept plans.

ITEM 6. NEXT REGULAR MEETING: June 7, 2017

ITEM 7. ADJOURNMENT:

Motion: Chairman Simpson moved for the May 3, 2017 Planning Commission meeting to adjourn. The meeting adjourned at 8:34 p.m.

Stacy Simpson, Chairperson

Elaine McCloskey, Clerk



PLANNING COMMISSION / STAFF REPORT

CASE NUMBERS: 2017-1030 & 1031

REQUEST: Multiple Requests

PROJECT: Communities at Glenross – Section 11

MEETING DATE: June 7, 2017

APPLICANT/OWNER

Pulte Homes
4900 Tuttle Crossing Boulevard
Dublin, Ohio 43016

REQUEST

2017-1030: A request by Pulte Homes for approval of a Final Development Plan for Communities at Glenross Section 11 for 58 single family lots on 22.74 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located south of Cheshire Road on Winterbourne Drive, Solstice Road, Stone Quarry Drive and Holly Berry Lane..

2017-1031: A request by Pulte Homes for approval of a Final Subdivision Plat for Communities at Glenross Section 11 for 58 single family lots on 22.74 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located south of Cheshire Road on Winterbourne Drive, Solstice Road, Stone Quarry Drive and Holly Berry Lane.

PROPERTY LOCATION & DESCRIPTION

The subject property is located on the south side of Cheshire Road just west of proposed Winterbourne Drive and just east of the Glenross Golf Course. The subject site is zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District). The properties to the east, south and west are zoned R-2 PMU while the six residential properties to the north are zoned residential in the County.

BACKGROUND

This project has an extensive zoning history that dates back to 2006 but the most recent significant action that pertains to the development south of Cheshire Road occurred in August 2016. At that time, City Council approved an amendment to the Zoning and Development Text, an amendment to the Preliminary Development Plan and an amendment to the Preliminary Subdivision Plat for the Communities at Glenross Sections 11-22.

Sections 11 and 12 are the 106 detached single family condominium portion of the development that is targeted to independent seniors and “empty nesters” seeking lower exterior maintenance and a community association. Now the developer is requesting a Final Development Plan and Final Subdivision Plat for Section 11 which consists of 58 single family lots on 22.74 acres.

STAFF ANALYSIS

- **ZONING:** As mentioned above, the zoning for the subject site is R-2 PMU which has a specific development plan and text for the subject development. From a procedural perspective, Final Development Plans and Final Subdivision Plats would need to be reviewed and approved by the Planning Commission and City Council for each section.
- **DEVELOPMENT TEXT:** The development text sets forth development standards for the residential development which has specific development text for the entire development pertaining to permitted uses, density, lot size, minimum dwelling size, building setbacks, landscaping, lighting, architectural elevations, etc. Sections 11 and 12 are in Sub-Area III of approved the Preliminary Development Plan and Preliminary Subdivision Plat. The development plan and text is sensitive to the existing residential surroundings while providing an appropriate transition to a very active pair of railroad tracks operated separately by Norfolk & Southern and CSX.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **UTILITIES:** The site would be serviced by City sanitary sewer (SE Highland trunk sewer) and water that would have to be extended by the developer from the existing development. An overall storm water master

plan for the remainder of the development is required per the City Engineer. In addition, all retention ponds should be setback a minimum of 80 feet from the edge of pavement for roads per the City Engineer.

- **ROADS AND ACCESS:** Section 11 is located south of Cheshire Road and would be accessed from Winterbourne Drive (the current plan identifies this road as Eagle Walk Drive which needs to be revised) which is the main north/south spine road for Sections 11-22 located south of Cheshire Road. Solstice Road and Stone Quarry Drive extend westerly into the development while Holly Berry Lane is a north/south stub between Section 11 and 12 (the Wolf Crest Road name shall be renamed Solstice Road). An emergency access point from Cheshire Road to Stone Quarry Drive is proposed on the western portion of Section 11 per City Council's last approval. The emergency drive shall be 12 feet wide with a concrete approach at Cheshire Road with bollards that can be driven over by emergency vehicles. All the streets are public and would have sidewalks on both sides of the street.
- **PEDESTRIAN CONNECTIVITY:** The pedestrian connectivity plan does not identify any bike paths in Section 11 (except for the bike path along Winterbourne Drive) with the relocated retention ponds, buffering and emergency access road located in Reserve "I" between Section 11 and the six residential houses in the County along Cheshire Road. But as mentioned above there would be sidewalks on both sides of the public streets.
- **LOT LAYOUT & SIZE:** As mentioned above, the main entrance into Section 11 is located just south of Cheshire Road on the west side of Winterbourne Drive. The looped double loaded streets in Sections 11 and 12 (Section 11 is the northern half loop of the layout) with lots in a typical subdivision design extends into the Golf Club at Glenross style lots (80 foot wide lots) in Sections 13 and 14 that connect back into Winterbourne Drive in Section 13. In addition, a north/south street (Holly Berry Lane) connects the looped street for an additional means of egress. Per the approved development text, the subject lots in Sections 11 would be a minimum lot area of 6,500 square feet with minimum 50 feet lot widths and 130 feet lot depths. The front yard setback would be 25 feet, the rear yards setback would be 15 feet and the side yard setback would be 5 feet with a minimum house size of 1,600 square feet for a single story dwelling and 1,800 square feet for a multi-story dwelling. The development is buffered from the six existing single family county lots to the north by Reserve "I" which contains landscaping, two retention ponds and an emergency access drive. Also Reserve "I" buffers Section 11 from Winterbourne Drive with landscaping and a bike path to the east. Furthermore, lots 11970, 11971 and 11984 are designated reserves areas. Finally, the subject condominium development would have a homeowners association that would have a common maintenance plan for lawn, landscaping and snow removal on each owner's lot and reserve areas.
- **BUILDING DESIGN:** The design requirements for The Communities at Glenross south of Cheshire Road are based on the housing options in each Section and Sub-Area per the approved development text. The detached condominium design requirements in Sections 11 and 12 would include (see enclosed development text for Sub-Area III): 1.) At least 25% of the front façade elevation of each building (excluding garage doors, entrance doors, gutters, shutters, downspouts and windows) shall consist of natural materials, such as brick or stone. 2.) All vinyl siding shall have a minimum thickness of 0.044 inches; 3.) Gutters (and the material by which they are attached to the home), downspouts, soffits, shutters, garage and entrance doors may be of man-made materials such as metal, vinyl, aluminum or glass; 4.) No concrete or split face block shall be permitted, except for basement or foundation walls; 5.) The roofs of all homes shall have dimensional shingles. In addition, the homes shall achieve compliance with Residential Development Design Criteria and Performance Standards in Chapter 1171.08. Pulte Homes has supplied Glenross South Age Targeted Single Family Residential exhibits with representative elevations, floor plans and color pallet of the proposed condominium units.
- **LANDSCAPING & SCREENING:** A comprehensive landscape plan has been submitted which includes street trees, mounding and landscaping along Cheshire Road and Winterbourne Drive, landscaping adjacent to the six residential houses to the north in the County. Per the approved Preliminary Development Plan and Preliminary Subdivision Plat, staff would require a more intense landscaping plan adjacent to the six residential houses and retention ponds in the County along with the installation of landscaping adjacent to the proposed emergency access drive from Cheshire Road to Stone Quarry Drive. The subject trees installed adjacent to the residential houses east and west of emergency access drive shall be a minimum 15 feet from

centerline of the emergency access drive. All landscape plans would require review and approval by the Shade Tree Commission.

- **OPEN SPACE/PARKLAND:** The Communities at Glenross Sections 11-22 has approximately 61.5 acres of open space (approximately 29.2%) in several reserve areas south of Cheshire Road. The detached condominium development in Section 11 and 12 has 17.7 acres of open space/parkland. The majority of the open space in Section 11 (Reserve I – 8.574 acres) contains two retention ponds, mounding and landscaping and an emergency access drive. Staff recommends that some of the open space should be allocated (or at least not precluded) for the condominium association to provide active space with amenities geared to independent seniors and empty nesters if so desired in the future. The reserve area in Section 12 would have more useable open space based on the overall layout of subdivision south of Cheshire Road. All open space/parkland in Section 11 shall be privately owned and maintained but open to the public.

From a macro perspective, the developer has a robust program on the 22.705 acres of open space in Sections 9 (approximately 5.6 acres) and 10 (approximately 17.1 acres) located just north of Cheshire Road east and west of the proposed roundabout which is proposed to be completed this summer. The amenities in Section 9 include a large pool and restroom facility, a parking lot and retention pond. The amenities in Section 10 include approximately 7.5 acres of active parkland programmed with a tot lot, shelter house, basketball court, volleyball court and recreational fields while the remaining approximately 10.1 acres is a detention/retention basin next to the railroad tracks. Every homeowner in the Communities at Glenross would have access to the open spaces and amenities.

- **TREE PRESERVATION:** The developer has provided a tree inventory for Section 11 of trees being removed and a landscape plan identifying new trees being installed less the required street trees. The developer is removing 9 qualified trees totaling 106 caliper inches while 55 deciduous trees (minimum 2.5 caliper inches) and 21 evergreen trees (minimum 6 foot high at installation) are being planted. Therefore it appears the developer achieved compliance with Chapter 1168 Tree Preservation Regulations.
- **LIGHTING PLAN:** The lighting plan for Section 11 was approved by the Chief Building Official on May 17, 2017.
- **SIGNAGE:** The subdivision entrance wall signs and stone piers east and west of Winterbourne Drive just south of Cheshire Road appears to be consistent other “Glenross” entrance signs in size, material and signage. All other signage shall achieve compliance with the Graphics and Signage requirements in the development text and the previously approved (and partially developed) wayfinding system and plan for the community.
- **PHASING:** Per the approved Preliminary Subdivision Plat, Section 12 would be the next section to be developed within the subdivision developed in twelve sections (11-22) from north to south on the west side of Winterbourne Drive and then from north to south on the east side of Winterbourne Drive. To ensure compliance with City emergency service requirements, it is important each section should be constructed in sequence as proposed. If developed in a different sequence additional access requirements including at a minimum providing adequate emergency access would likely be required. With multiple Sub-Areas and many more development sections the Communities at Glenross, it is important for reference and tracking purposes that the plans and plats for each section have appropriate nomenclature that correlates the sections to the applicable Zoning Sub-Areas. Therefore all plans and plats that reference a section or phase must include the Zoning Sub-Area name either in the title or some form approved by City Staff.

STAFF RECOMMENDATION – (2017-1030 FINAL DEVELOPMENT PLAN)

Staff recommends approval of a request by Pulte Homes of a Final Development Plan for The Communities at Glenross Section 11 for 58 single family lots on 22.74 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located south of Cheshire Road on Winterbourne Drive, Solstice Road, Stone Quarry Drive and Holly Berry Lane, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.

2. An emergency access point from Cheshire Road to Stone Quarry Drive shall be constructed on the western portion of Section 11. The emergency drive shall 12 feet wide with a concrete approach at Cheshire Road with bollards that can be driven over by emergency vehicles.
3. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
4. The single family houses shall comply with the minimum architectural standards and house size in the approved development text and per applicable sections of the current zoning code.
5. The Cheshire Road and Winterbourne Drive buffering shall match or be enhanced above the existing buffering in the The Glenross Golf Club and Communities at Glenross east of this development. The maintenance of the mound and associated landscaping shall be the responsibility of the Homeowner's Association. The subject plan shall be reviewed and approved by the Shade Tree Commission.
6. A street tree plan shall be submitted and approved by the Shade Tree Commission.
7. A more robust landscaping plan adjacent to the six residential houses and the retention pond in the County shall be required and approved by staff per the approved Preliminary Development Plan.
8. Landscaping adjacent to the proposed emergency access drive from Cheshire Road to Stone Quarry Drive shall be required and the subject trees adjacent to the residential houses east and west of emergency access drive shall be a minimum 15 feet from centerline of the emergency access drive.
9. Staff recommends that some of the open space in Reserve "I" should be allocated (or at least not precluded) for the condominium association to provide active space with amenities geared to independent seniors and empty nesters if so desired in the future.
10. The bike path along Winterbourne Drive shall be installed by the developer and located within an easement dedicated to the City and shall be maintained by the Homeowner's Association.
11. This section of the Communities of Glenross Subdivision is in the Delaware South New Community Authority, subject to the single family lot transportation fee in effect for the Glenross Golf Club at the time of building permit issuance and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling units.
12. Eagle Walk Drive shall be renamed to Winterbourne Drive.
13. Wolf Crest Road shall be renamed to Solstice Road.
14. All signage shall achieve compliance with the graphics and signage requirements in the development text and the previously approved wayfinding system and plan for the community.

STAFF RECOMMENDATION – (2017-1031 FINAL SUBDIVISION PLAT)

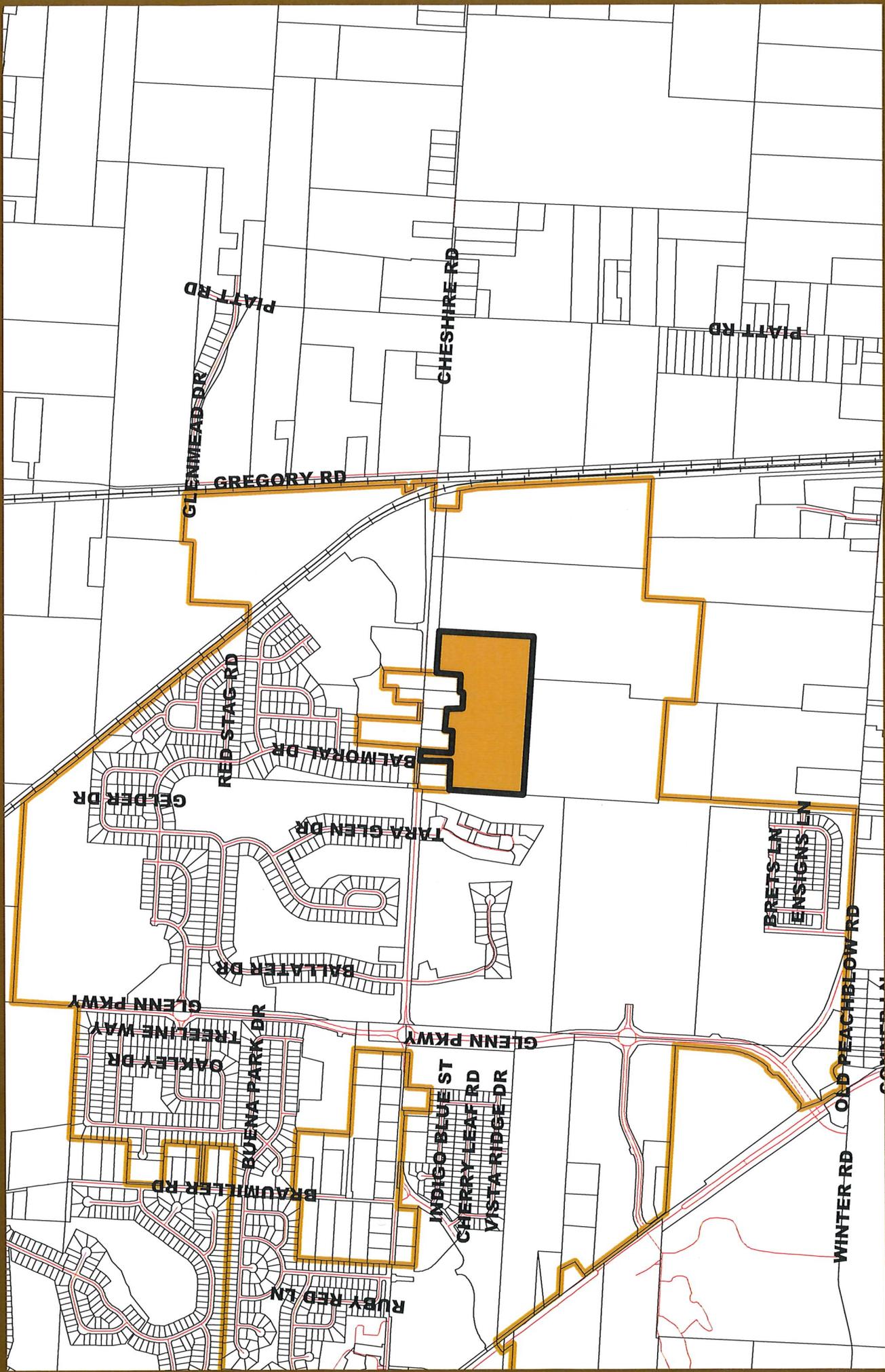
Staff recommends approval of a request by Pulte Homes of a Final Subdivision Plat for The Communities at Glenross Section 11 for 58 single family lots on 22.74 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located south of Cheshire Road on Winterbourne Drive, Solstice Road, Stone Quarry Drive and Holly Berry Lane, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
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3. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
4. The single family houses shall comply with the minimum architectural standards and house size in the approved development text and per applicable sections of the current zoning code.
5. The Cheshire Road and Winterbourne Drive buffering shall match or be enhanced above the existing buffering in the The Glenross Golf Club and Communities at Glenross east of this development. The maintenance of the mound and associated landscaping shall be the responsibility of the Homeowner's

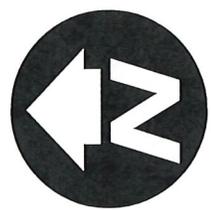
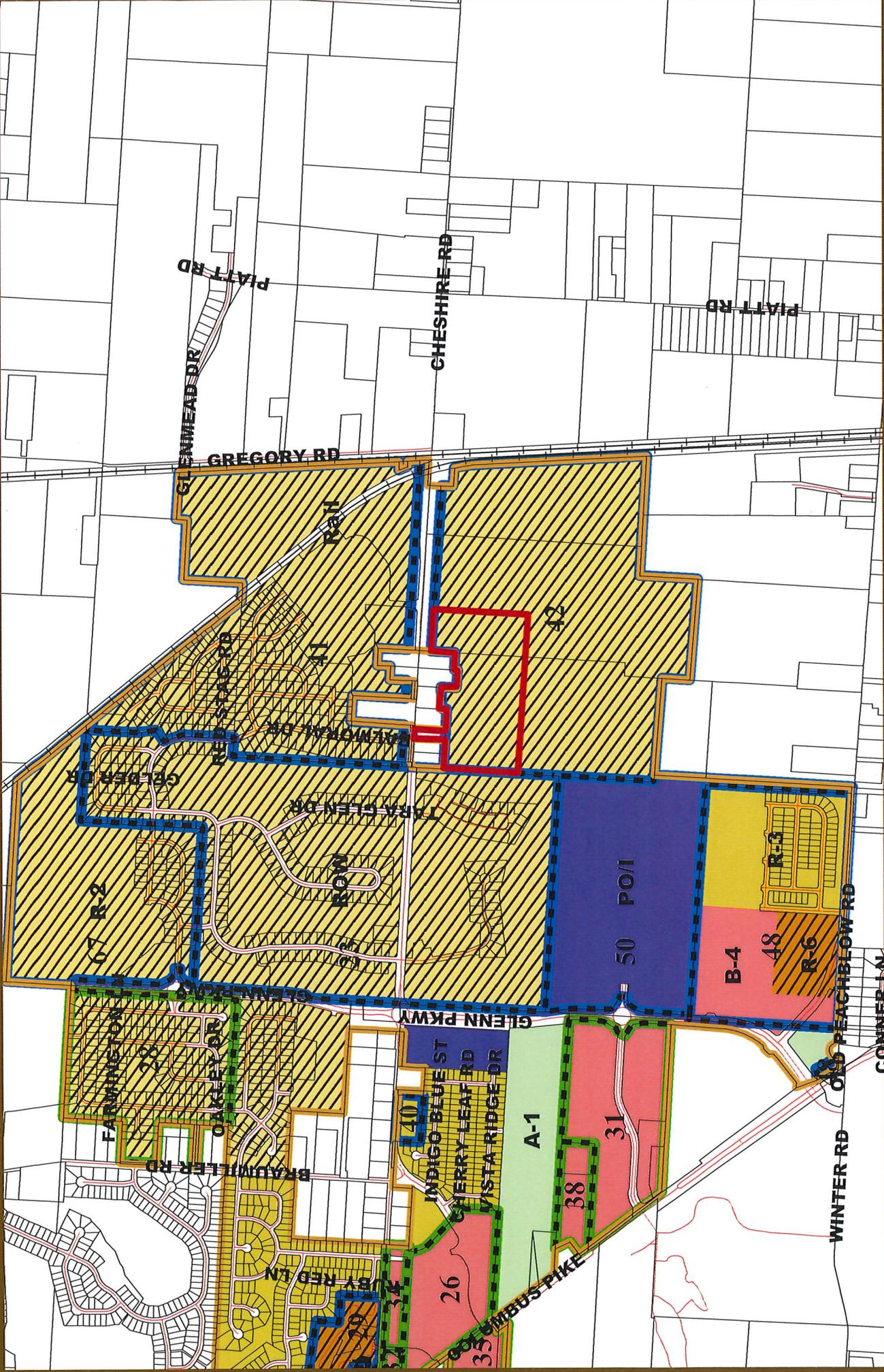
- Association. The subject plan shall be reviewed and approved by the Shade Tree Commission.
6. A street tree plan shall be submitted and approved by the Shade Tree Commission.
 7. A more robust landscaping plan adjacent to the six residential houses and the retention pond in the County shall be required and approved by staff per the approved Preliminary Development Plan.
 8. Landscaping adjacent to the proposed emergency access drive from Cheshire Road to Stone Quarry Drive shall be required and the subject trees installed adjacent to the residential houses east and west of emergency access drive shall be a minimum 15 feet from centerline of the emergency access drive.
 9. Staff recommends that some of the open space in Reserve "I" should be allocated (or at least not precluded) for the condominium association to provide active space with amenities geared to independent seniors and empty nesters if so desired in the future.
 10. The bike path along Winterbourne Drive Road shall be installed by the developer and located within an easement dedicated to the City and shall be maintained by the Homeowner's Association.
 11. This section of the Communities of Glenross Subdivision is in the Delaware South New Community Authority, subject to the single family lot transportation fee in effect for the Glenross Golf Club at the time of building permit issuance and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling units.
 12. Eagle Walk Drive shall be renamed to Winterbourne Drive.
 13. Wolf Crest Road shall be renamed to Solstice Road.
 14. All signage shall achieve compliance with the graphics and signage requirements in the development text and the previously approved wayfinding system and plan for the community.
 15. The construction drawings of Section 11 shall not be approved until the widening of Cheshire Road begins.

COMMISSION NOTES:

FILE:
ORIGINAL: 06/01/17
REVISED:

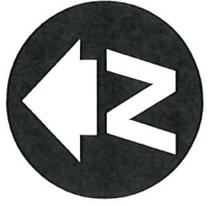


2017-1030 & 1031
 Final Development Plan & Final Subdivision Plat
 Communities at Glenross - Section 11
 Location Map



2017-1030 & 1031
 Final Development Plan & Final Subdivision Plat
 Communities at Glenross - Section 11
 Zoning Map





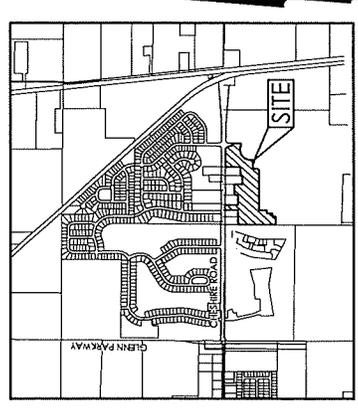
2017-1030 & 1031
 Final Development Plan & Final Subdivision Plat
 Communities at Glenross - Section 11
 Aerial 2016



COMMUNITIES AT GLENROSS

SECTION 11

FINAL DEVELOPMENT PLAN



LOCATION MAP
NO SCALE

PREPARED FOR:



4900 TUTTLE CROSSING BOULEVARD
DUBLIN, OHIO 43016
PH. 614-356-5833

SUBMITTAL: MAY 1, 2017

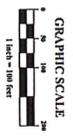
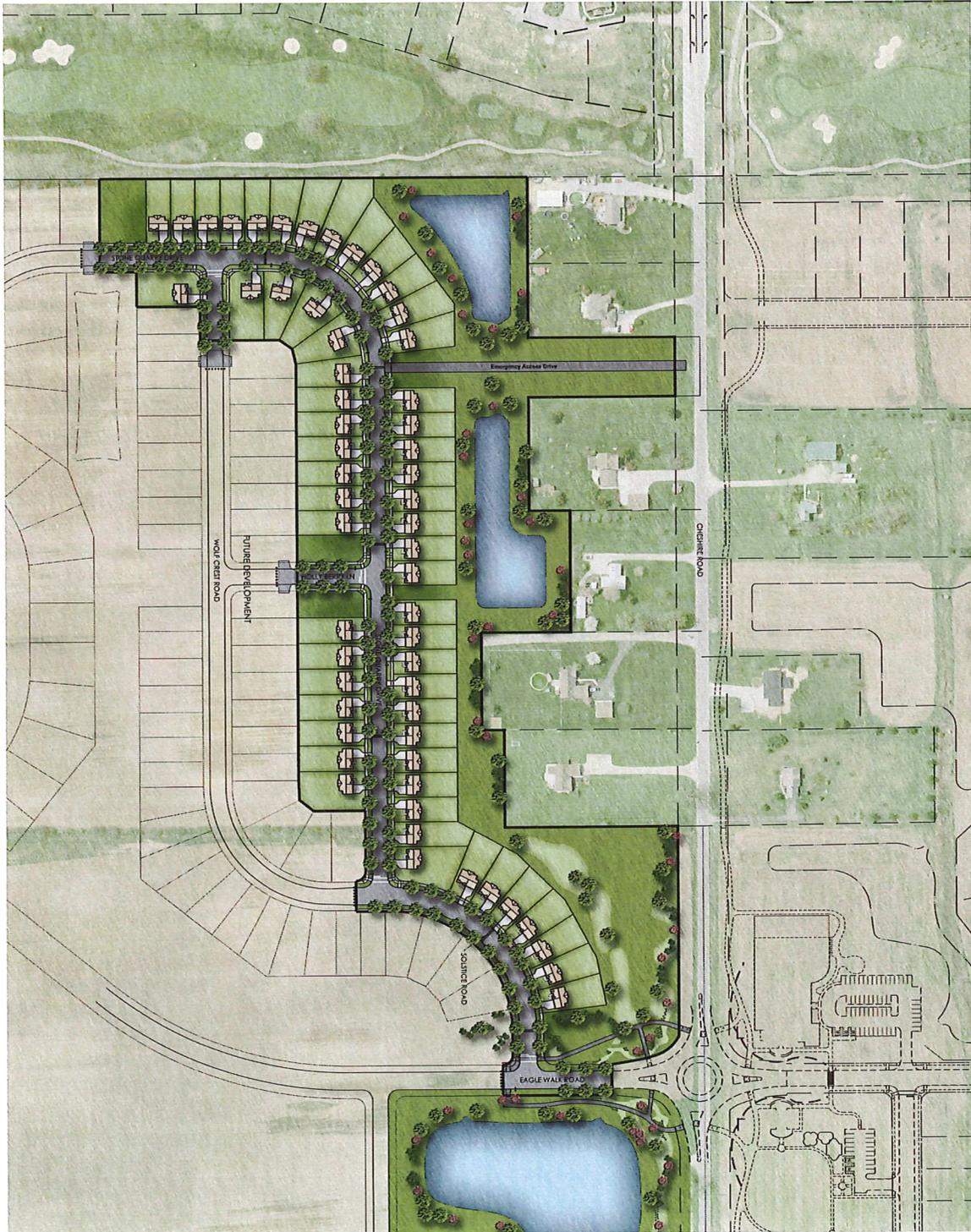
CIVIL ENGINEER &
LANDSCAPE ARCHITECT



Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43254
Phone: 614-725-6600
www.emht.com

INDEX OF DRAWINGS

FINAL PLAT:	SECTION 11	SHEET 1-3
SITE PLAN:	TREE INVENTORY & REMOVAL PLAN:	SHEET 4
TREE TREE PLAN:	STREET LIGHTING PLAN:	SHEET 5
STREET LIGHTING PLAN:	ILLUSTRATIVE SITE PLAN:	SHEET 6
ILLUSTRATIVE SITE PLAN:	LANDSCAPE / TREE REPLACEMENT PLAN:	SHEET 7-8
LANDSCAPE / TREE REPLACEMENT PLAN:		SHEET 9
		SHEET L-1 - L4



9/9

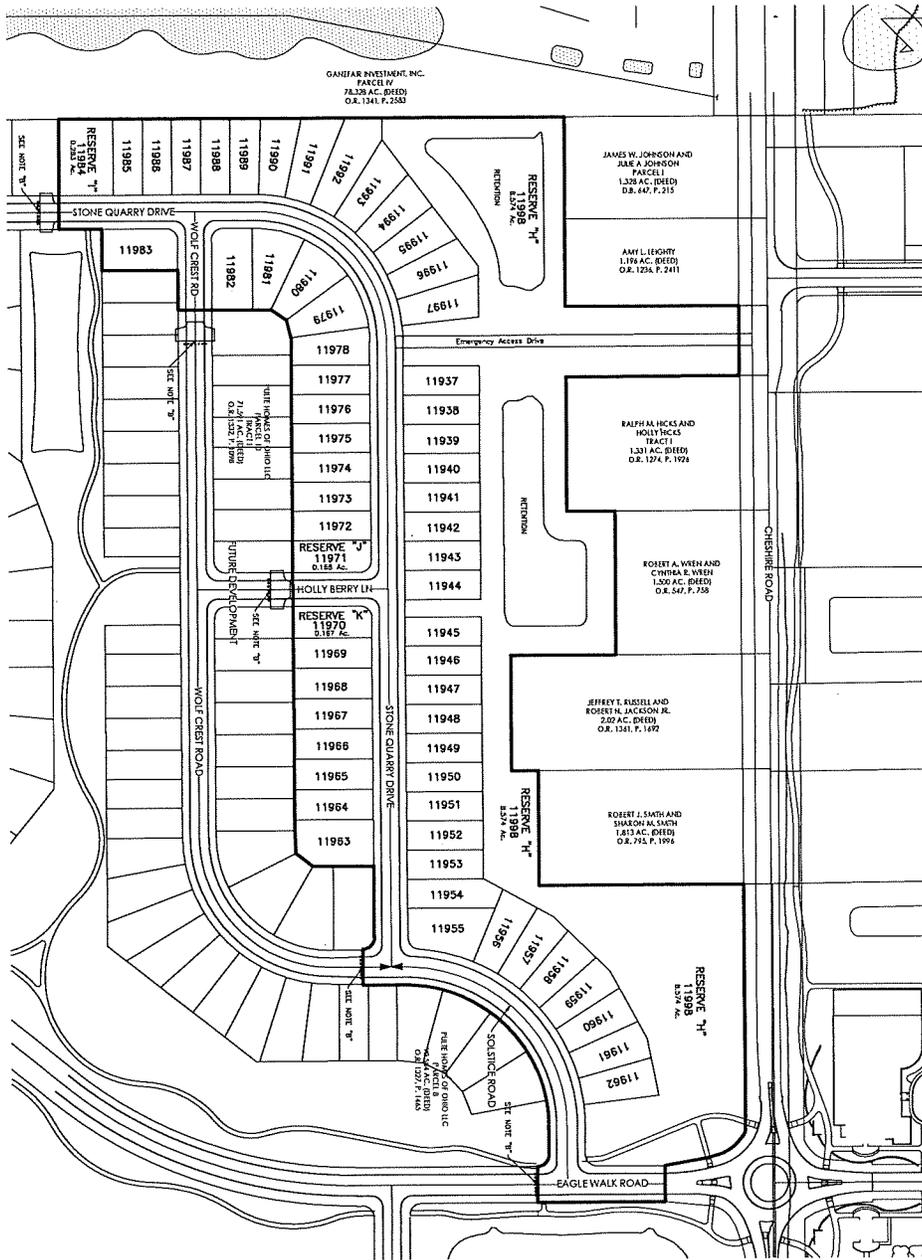
DATE: Aug 1, 2017
 SCALE: 1" = 100'
 SHEET: 24/24



CITY OF DELAWARE, DELAWARE COUNTY, OHIO
 FINAL DEVELOPMENT PLAN
 FOR
COMMUNITIES AT GLENROSS
 SECTION 11
 ILLUSTRATIVE SITE PLAN



REVISIONS		
NO.	DATE	DESCRIPTION



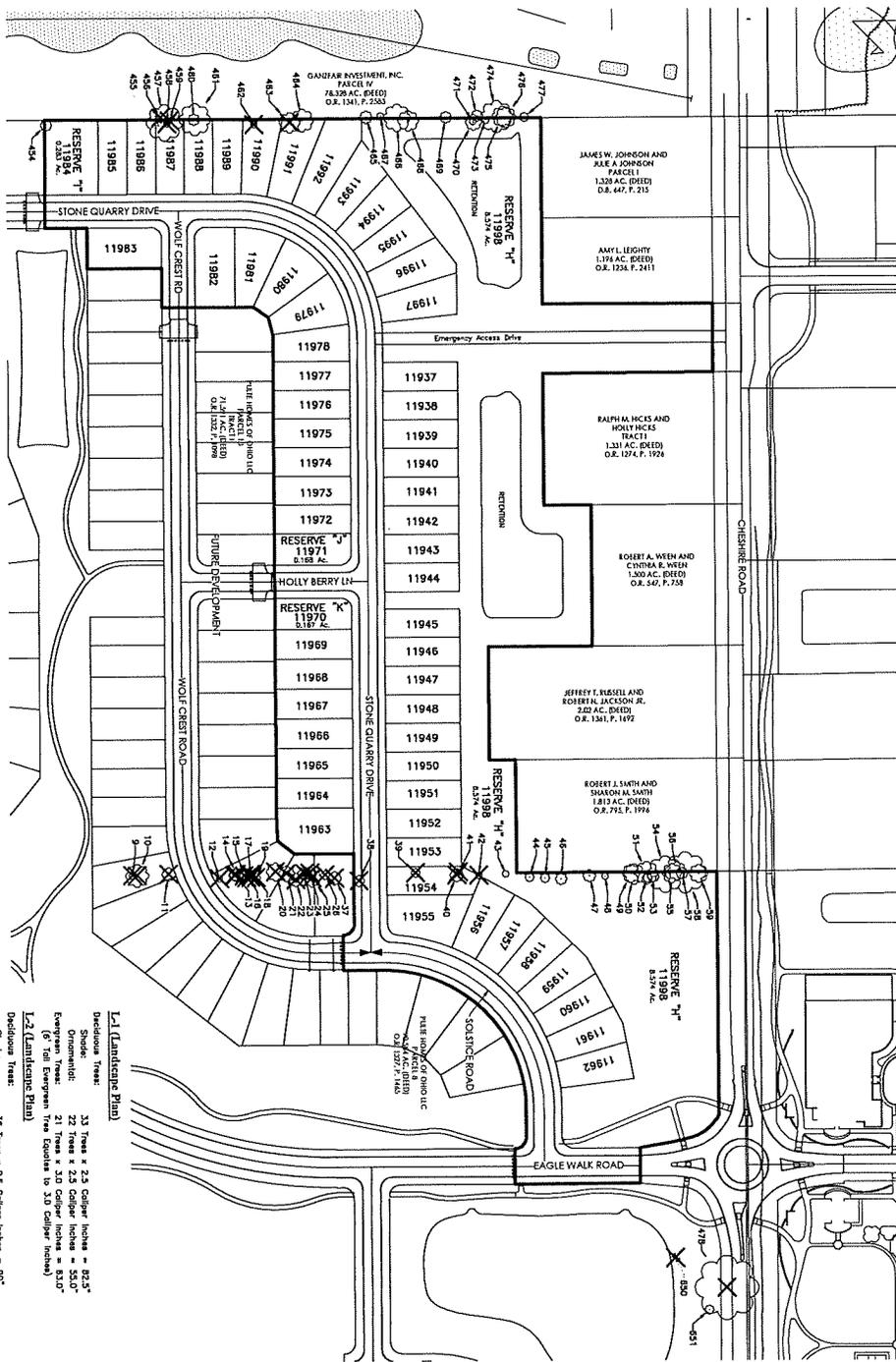
SITE STATISTICS:

TOTAL ACRES: 227.14 ACRES
 TOTAL NUMBER OF LOTS: 28
 TOTAL GROSS DENSITY: 22.41 LOTS/ACRE
 TOTAL GROSS AREA: 2,174,570 SQ. FT.

NOTES:

NOTE: NO. RESERVES 'J' THROUGH 'T' SHALL BE OWNED AND MAINTAINED BY THE COMMUNITIES AT GLENROSS HOMEOWNERS ASSOCIATION.
 NOTE: NO VEHICULAR ACCESS UNLESS SUCH LINE AS THE STREET IS EXTENDED BY PLAN OR DEED.





L-1 (Landscaping Plan)
 Deciduous Trees: 23 Trees x 2.5 Caliper inches = 82.5"
 Ornamental: 22 Trees x 2.5 Caliper inches = 55.0"
 Evergreen Trees: 23 Trees x 3.0 Caliper inches = 69.0"
 (6' Tall Swampy Tree Equivalents to 3.0 Caliper inches)

L-2 (Landscaping Plan)
 Deciduous Trees: 36 Trees x 2.5 Caliper inches = 90"
 Ornamental: 23 Trees x 2.5 Caliper inches = 57.5"
 Evergreen Trees: 23 Trees x 3.0 Caliper inches = 69"
 (6' Tall Swampy Tree Equivalents to 3.0 Caliper inches)

L-3 (Landscaping Plan)
 Deciduous Trees: 6 Trees x 2.5 Caliper inches = 15"
 Ornamental: 1
 Total Replaced = 437 Caliper inches

* Total number of trees required to be replaced on 375 caliper inches and the total number of trees planted on 437 caliper inches including street trees.

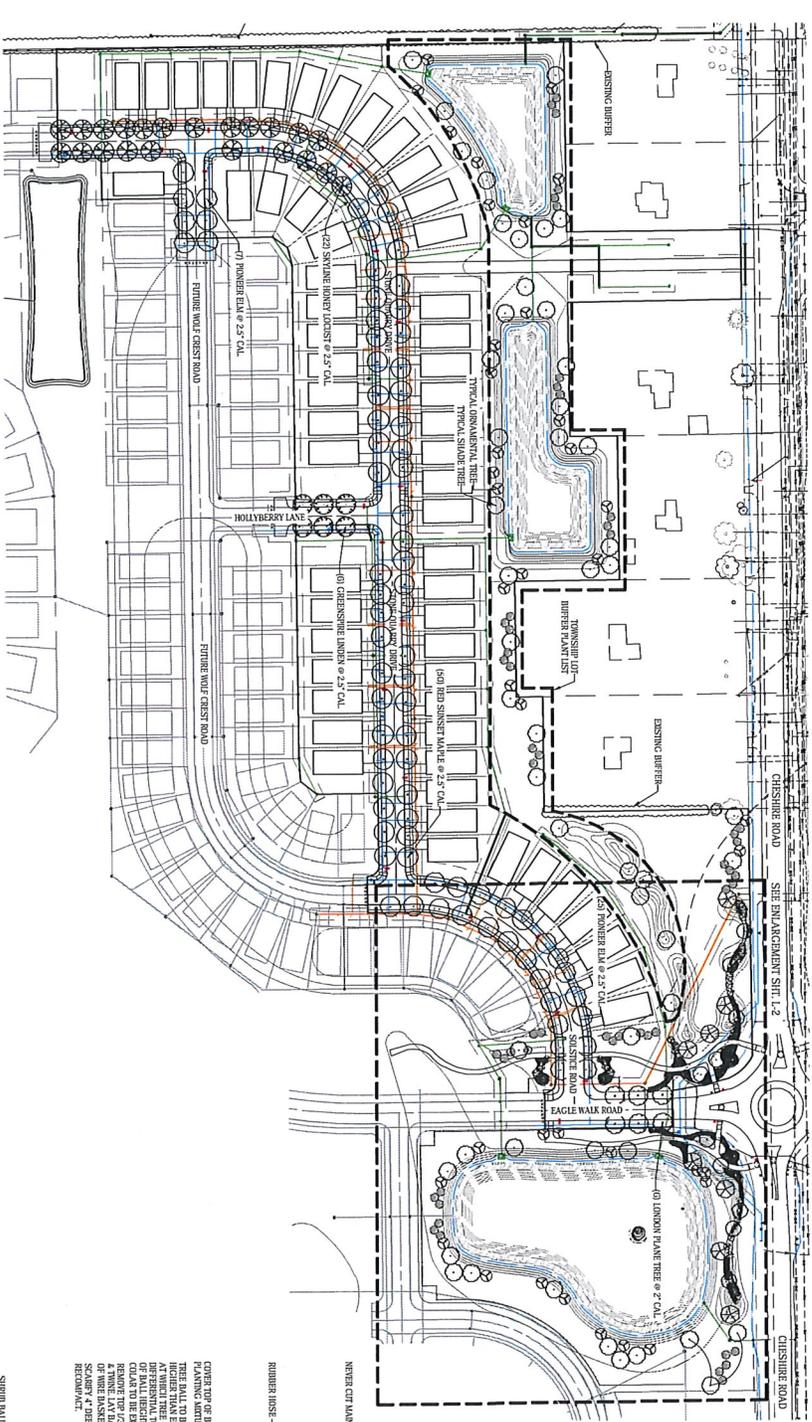
Tree Number	Size	Condition	Common Name
1	3"	Good	Hickory
2	7"	Good	Hickory
3	7"	Good	Hickory
4	11"	Good	Cornus
5	11"	Good	Cornus
6	11"	Good	Redstart Pear
7	11"	Good	Redstart Pear
8	11"	Good	Redstart Pear
9	11"	Good	Redstart Pear
10	11"	Good	Redstart Pear
11	11"	Good	Redstart Pear
12	11"	Good	Redstart Pear
13	11"	Good	Redstart Pear
14	11"	Good	Redstart Pear
15	11"	Good	Redstart Pear
16	11"	Good	Redstart Pear
17	11"	Good	Redstart Pear
18	11"	Good	Redstart Pear
19	11"	Good	Redstart Pear
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21	11"	Good	Redstart Pear
22	11"	Good	Redstart Pear
23	11"	Good	Redstart Pear
24	11"	Good	Redstart Pear
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37	11"	Good	Redstart Pear
38	11"	Good	Redstart Pear
39	11"	Good	Redstart Pear
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96	11"	Good	Redstart Pear
97	11"	Good	Redstart Pear
98	11"	Good	Redstart Pear
99	11"	Good	Redstart Pear
100	11"	Good	Redstart Pear

TREE INVENTORY
 Total Number of Trees: 67 (182 Caliper inches)
 Normal: 57 (135 Caliper inches)
 Dead: 10 (47 Caliper inches)
 Trees to be Replaced: 2 (18 Caliper inches)
 Total Number of Trees Replaced: 37 (199 Caliper inches)

X Trees Removed



1 OVERALL SITE LAYOUT PLAN
Scale: 1" = 100'-0"



STREET TREE PLANT LIST

DECIDUOUS TREES	COMMON NAME	LAWN NAME	SIZE
50	RED SUNSET WAY	ACER RED SUNSET	2.5' CAL.
6	GREEN SPIRE LANE	TILIA CORDATA	2.5' CAL.
6	LONDON PLANE TREE	FRAXINUS & ACER SYRIA	2.5' CAL.
22	SWAYNE INDIVIDUOUS	CHERRYSA TREKANTIANUS	2.5' CAL.

TOWNSHIP LOT BUFFER PLANT LIST

SHADE TREES	COMMON NAME	LAWN NAME	SIZE
9	SICKLEMADE	ACER SACCHARINA	2.5' CAL.
8	NORTHERN CALIFORNIA	QUERCUS SERRATA	2.5' CAL.
8	RED WAVE	ACER ROBSON	2.5' CAL.
8	RED WAVE	ACER ROBSON	2.5' CAL.
8	ORNAMENTAL TREES	OTONOCASUS JORDIS	2.5' CAL.
9	SPRING CHERRY	PRUNUS VINCENNA SCHUBERT	2.5' CAL.
7	EMERALD CATALPA	MAHONIA SPENSIS	2.5' CAL.
7	ROXY SILK LILAC	SYRINGA BERTOLANA	2.5' CAL.
10	NORWAY SPRUCE	LAWN NAME	SIZE
10	SERBIAN SPRUCE	PICEA ABIES	G 1/4"
10	SERBIAN SPRUCE	PICEA OMORICA	G 1/4"

GENERAL PLANTING NOTES

1. CONSULTOR TO REVISION WITH OWNER AND CITY COORDINATE THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM 24" CONCRETE RING OR OTHER PROTECTIVE MEASURES. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM 24" CONCRETE RING OR OTHER PROTECTIVE MEASURES.
2. EXISTING UTILITIES SHALL BE PROTECTED BY A MINIMUM 24" CONCRETE RING OR OTHER PROTECTIVE MEASURES. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM 24" CONCRETE RING OR OTHER PROTECTIVE MEASURES.
3. CONTRACTOR TO VERIFY ALL UTILITIES TO EXISTING CONDITIONS AND TO REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY.
4. ALL PLANT MATERIALS TO BE CONTAINED WITHIN MARKED AREAS.
5. DELIVER TO THE SITE WITHIN 72 HOURS OF ORDER AND NO MORE THAN 24 HOURS BEFORE PLANTING. ALL PLANT MATERIALS SHALL BE DELIVERED TO THE SITE WITHIN 72 HOURS OF ORDER AND NO MORE THAN 24 HOURS BEFORE PLANTING.
6. CONTRACTOR SHALL MAINTAIN EXISTING ROADSIDE PLANT MATERIALS AND SHALL BE RESPONSIBLE FOR REPLACING ANY PLANT MATERIALS THAT ARE DAMAGED OR DESTROYED DURING CONSTRUCTION.
7. CONTRACTOR SHALL MAINTAIN EXISTING ROADSIDE PLANT MATERIALS AND SHALL BE RESPONSIBLE FOR REPLACING ANY PLANT MATERIALS THAT ARE DAMAGED OR DESTROYED DURING CONSTRUCTION.
8. PLANTING SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
9. ALL PLANTING SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. CONTRACTOR SHALL MAINTAIN EXISTING ROADSIDE PLANT MATERIALS AND SHALL BE RESPONSIBLE FOR REPLACING ANY PLANT MATERIALS THAT ARE DAMAGED OR DESTROYED DURING CONSTRUCTION.

DETAIL: DECIDUOUS TREE STAKING

TRUNKS UP TO 3" DIAMETER

TRUNKS UP TO 4" DIAMETER

TRUNKS UP TO 6" DIAMETER

TRUNKS UP TO 8" DIAMETER

TRUNKS UP TO 10" DIAMETER

TRUNKS UP TO 12" DIAMETER

TRUNKS UP TO 14" DIAMETER

TRUNKS UP TO 16" DIAMETER

TRUNKS UP TO 18" DIAMETER

TRUNKS UP TO 20" DIAMETER

TRUNKS UP TO 22" DIAMETER

TRUNKS UP TO 24" DIAMETER

TRUNKS UP TO 26" DIAMETER

TRUNKS UP TO 28" DIAMETER

TRUNKS UP TO 30" DIAMETER

TRUNKS UP TO 32" DIAMETER

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TRUNKS UP TO 42" DIAMETER

TRUNKS UP TO 44" DIAMETER

TRUNKS UP TO 46" DIAMETER

TRUNKS UP TO 48" DIAMETER

TRUNKS UP TO 50" DIAMETER

TRUNKS UP TO 52" DIAMETER

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TRUNKS UP TO 66" DIAMETER

TRUNKS UP TO 68" DIAMETER

TRUNKS UP TO 70" DIAMETER

TRUNKS UP TO 72" DIAMETER

TRUNKS UP TO 74" DIAMETER

TRUNKS UP TO 76" DIAMETER

TRUNKS UP TO 78" DIAMETER

TRUNKS UP TO 80" DIAMETER

TRUNKS UP TO 82" DIAMETER

TRUNKS UP TO 84" DIAMETER

TRUNKS UP TO 86" DIAMETER

TRUNKS UP TO 88" DIAMETER

TRUNKS UP TO 90" DIAMETER

TRUNKS UP TO 92" DIAMETER

TRUNKS UP TO 94" DIAMETER

TRUNKS UP TO 96" DIAMETER

TRUNKS UP TO 98" DIAMETER

TRUNKS UP TO 100" DIAMETER

COMMUNITIES AT GLENROSS
JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO

OVERALL LANDSCAPE PLAN

DATE: _____

DESIGNED BY: T.M. COSTERFIELD

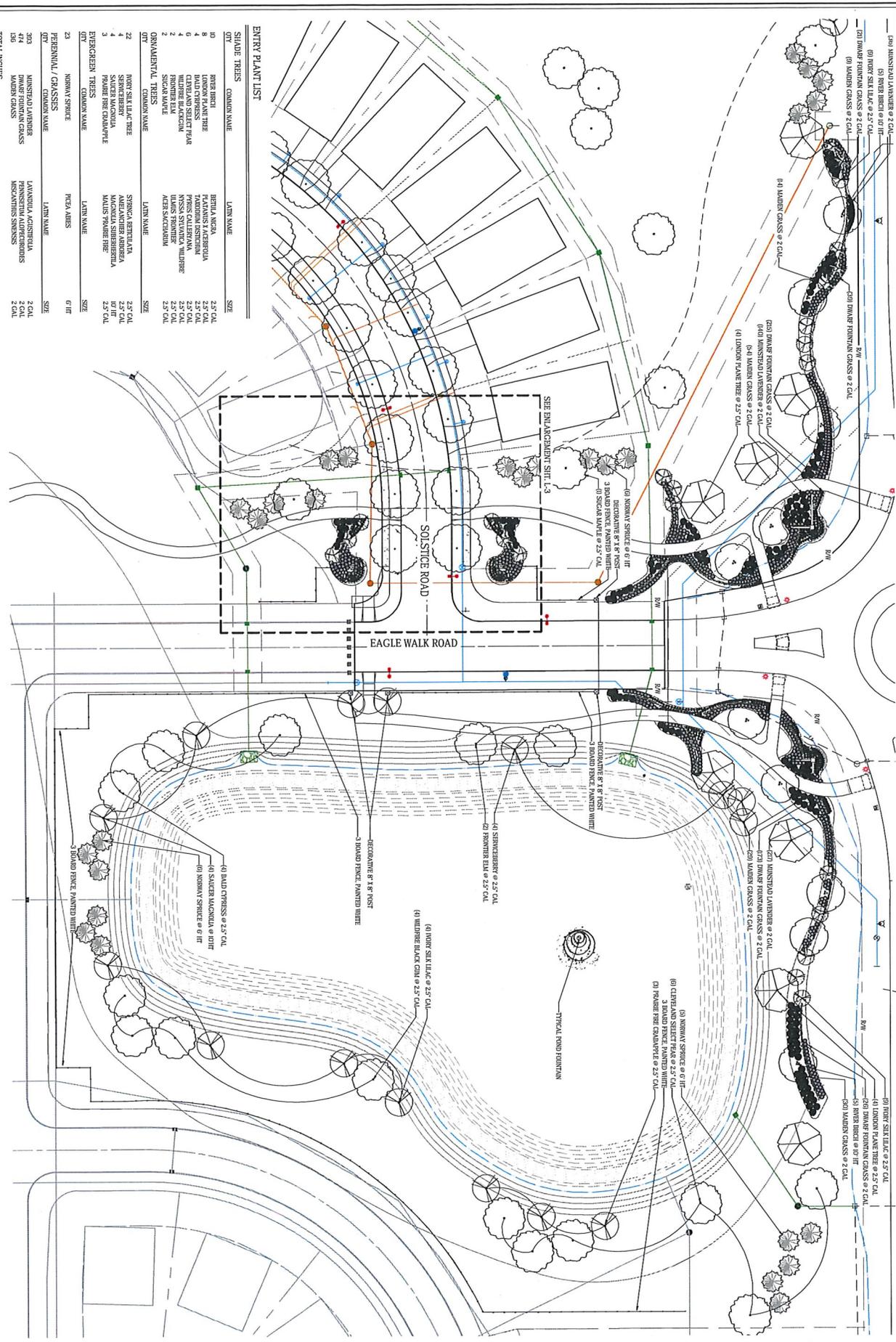
CHECKED BY: B. THOMPSON

PROJECT NUMBER: _____

SHEET: L-1

BLENDON GARDENS
landscaping... the investment that grows

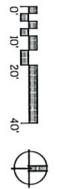
9590 SOUTH OLD STATE ROAD
LEWIS CENTER, OHIO 43035
p 614.840.6500 f 614.840.6504



ENTRY PLANT LIST

SY	COMMON NAME	LATIN NAME	SIZE
10	RIVER BIRCH	BETULA NEREA	2.5' CAL
4	DOGWOOD	FRAXINUS AMERICANA	2.5' CAL
4	DOGWOOD	FRAXINUS AMERICANA	2.5' CAL
4	CLEWATON SELECT PEAR	PIRUS CALLERYANA	2.5' CAL
4	FRONTIER PEAR	PIRUS AUSTRIACA	2.5' CAL
2	SICHA MAPE	ACER SACCALANUM	2.5' CAL
ORNAMENTAL TREES			
22	NORWAY SPRUCE	PRINUS NORWICUS	2.5' CAL
4	SPRING BIRCH	BETULA SPRING	2.5' CAL
3	ROUNDER PINE	PINUS ROUNDER	2.5' CAL
EVERGREEN TREES			
23	NORWAY SPRUCE	PRINUS NORWICUS	6' FT
PERENNIAL / GRASSES			
200	MANITOWA LAVENDER	LAVANDULA MANITOWA	1 CAL
196	MANITOWA GRASS	POA MANITOWA	2 CAL
TOTAL INCHES REFLECTED			
241.9 TOTAL INCHES REFLECTED			

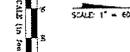
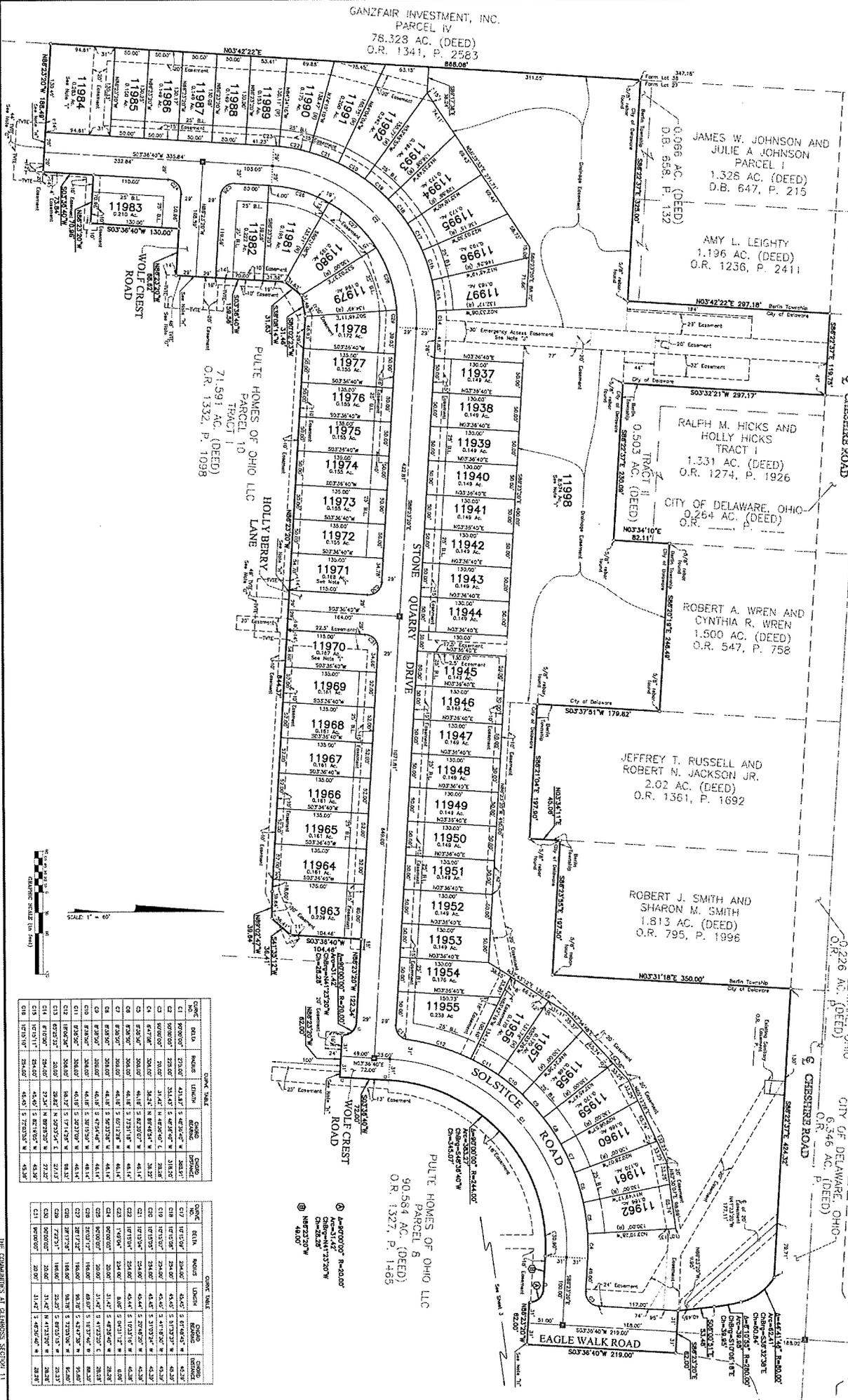
2 CHESHIRE ROAD ENTRANCE LANDSCAPE PLAN
 SCALE: 1" = 20'-0"



SHEET: L-2	PROJECT: COMMUNITIES AT GLENROSS JEFFERSON TOWNSHIP, FRANKLIN COUNTY, OHIO MAIN ENTRY LANDSCAPE PLAN	THIS PLAN AND THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF BLENDDON GARDENS LANDSCAPING, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR REPRODUCTION OF THIS PLAN OR INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF BLENDDON GARDENS LANDSCAPING, INC. IS STRICTLY PROHIBITED.	<div style="text-align: center;"> <p>BLENDDON GARDENS landscaping... the investment that grows!</p> <p>9590 SOUTH OLD STATE ROAD LEWIS CENTER, OHIO 43035 p 614.840.0500 f 614.840.0504</p> </div>
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THE COMMUNITIES AT GLENROSS SECTION 11

GANZFAIR INVESTMENT, INC.
PARCEL IV
78.328 AC. (DEED)
O.R. 1341, P. 2583



LOT NO.	DEED	ACRES	OWNER
11963	11963	0.23	AMERICAN BLDG. CO.
11964	11964	0.23	AMERICAN BLDG. CO.
11965	11965	0.23	AMERICAN BLDG. CO.
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11994	11994	0.23	AMERICAN BLDG. CO.
11995	11995	0.23	AMERICAN BLDG. CO.
11996	11996	0.23	AMERICAN BLDG. CO.
11997	11997	0.23	AMERICAN BLDG. CO.
11998	11998	0.23	AMERICAN BLDG. CO.

LOT NO.	DEED	ACRES	OWNER
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11996	11996	0.23	AMERICAN BLDG. CO.
11997	11997	0.23	AMERICAN BLDG. CO.
11998	11998	0.23	AMERICAN BLDG. CO.



ABBEVILLE | ELEVATION 7



ABBEVILLE | ELEVATION 8





ABBEVILLE | ELEVATION 11



ASCEND | ELEVATION 7



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Single Family Residential



ASCEND | ELEVATION 10



ASCEND | ELEVATION 11



ASCEND | BUILT EXAMPLE



CASTLE ROCK | ELEVATION 7





CASTLE ROCK | ELEVATION 8



CASTLE ROCK | ELEVATION 12



CASTLE ROCK | ELEVATION 9



CASTLE ROCK | ELEVATION 14



Glenross South - Age Targeted
Single Family Residential

Glenross South - Age Targeted
Single Family Residential



CASTLE ROCK | BUILT EXAMPLE



MARTIN RAY | ELEVATION 7



MARTIN RAY | ELEVATION 11





MARTIN RAY | ELEVATION 13



MARTIN RAY | BUILT EXAMPLE



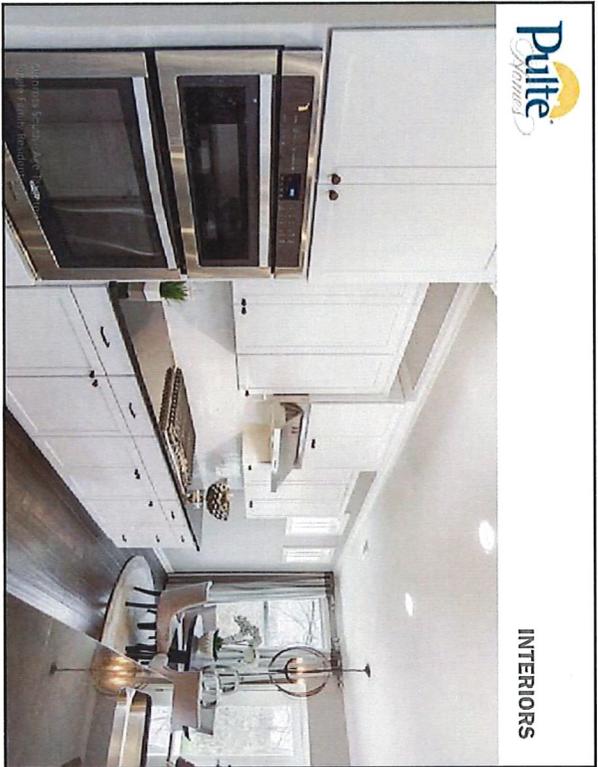
MARTIN RAY | ELEVATION 14



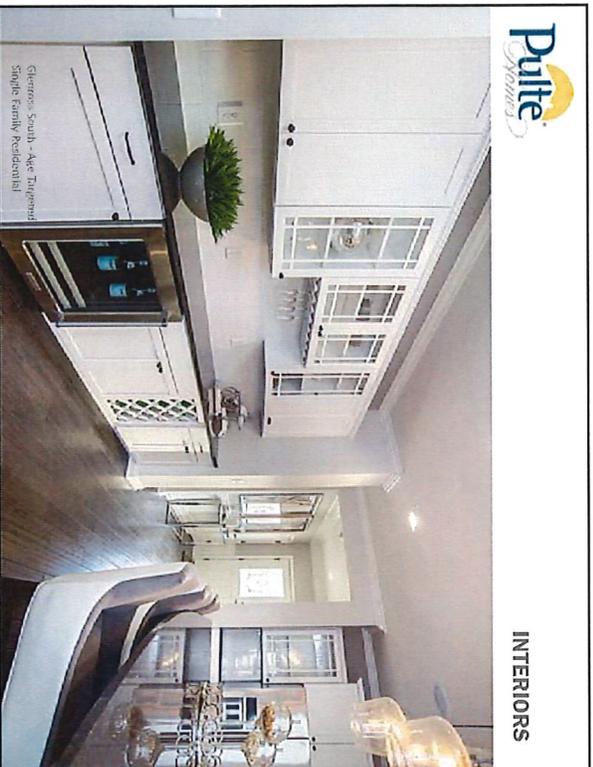
INTERIORS



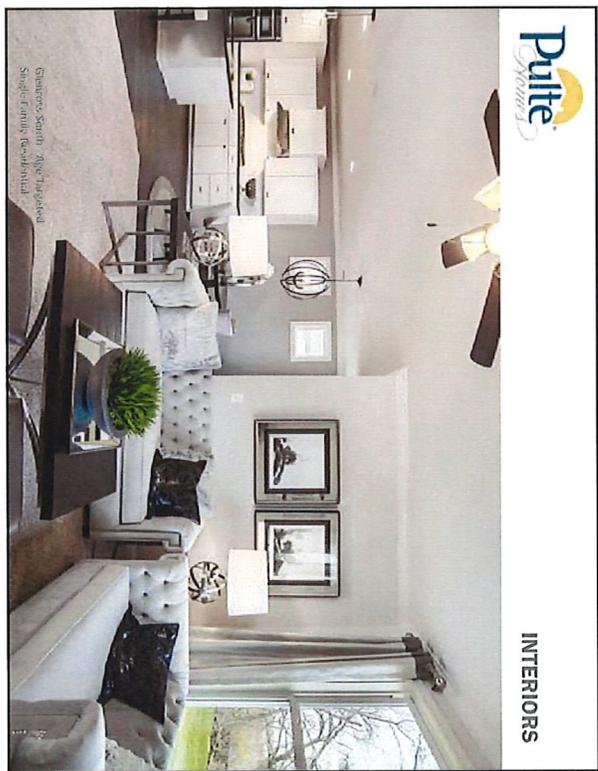
Glenross South - Age Targeted Single Family Residential



INTERIORS



INTERIORS

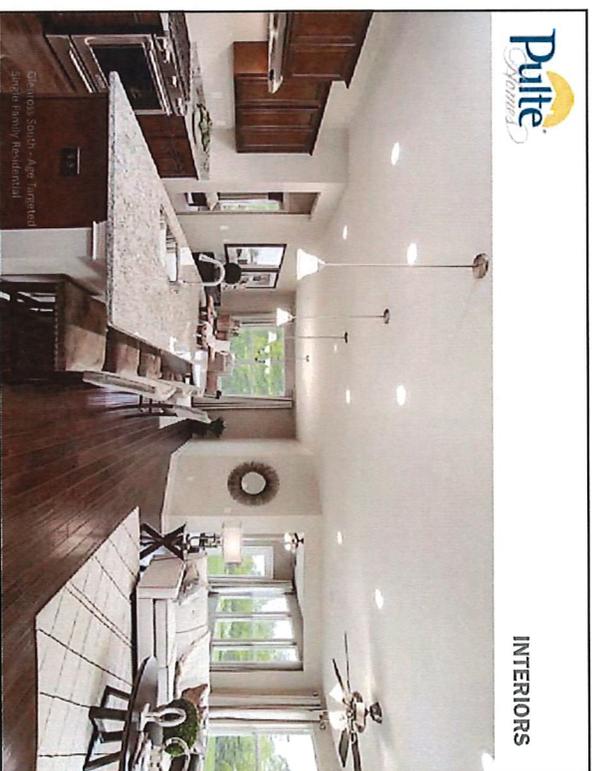
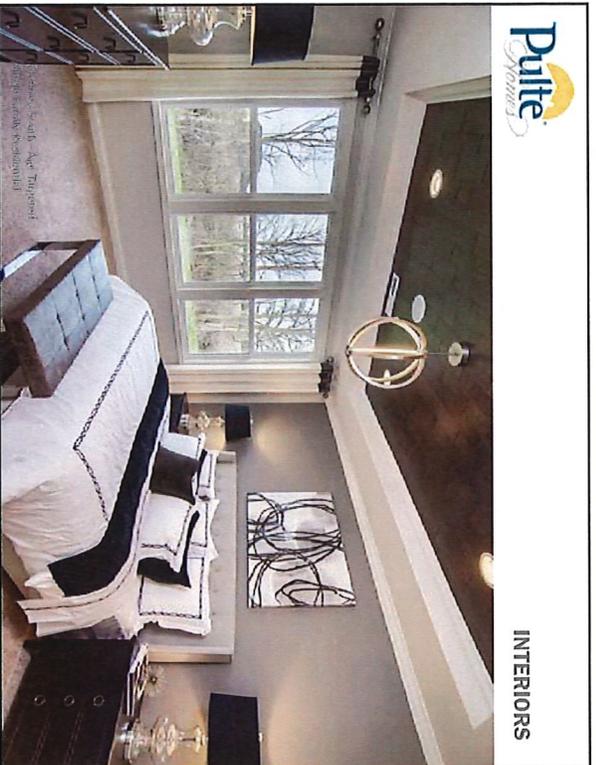
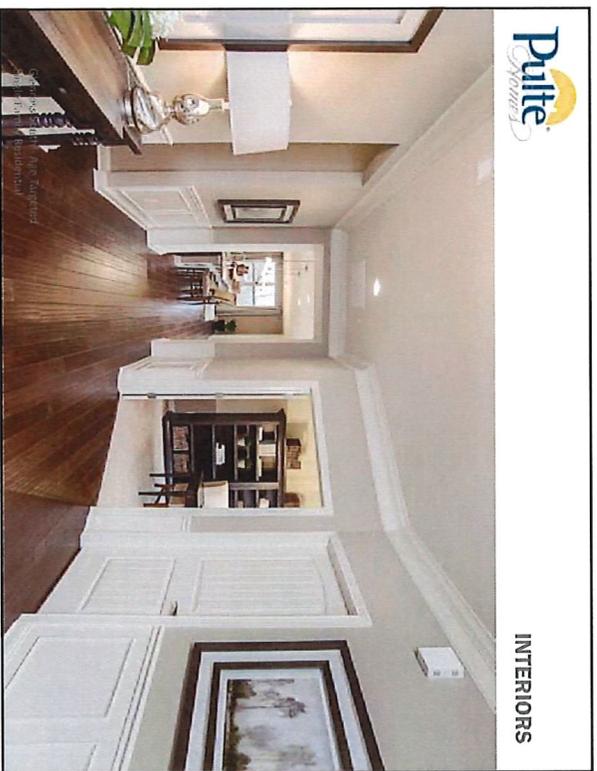
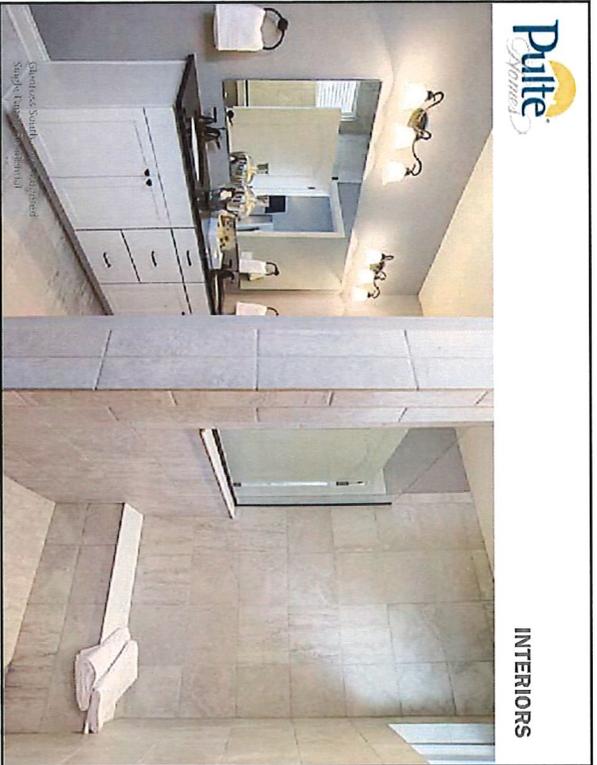


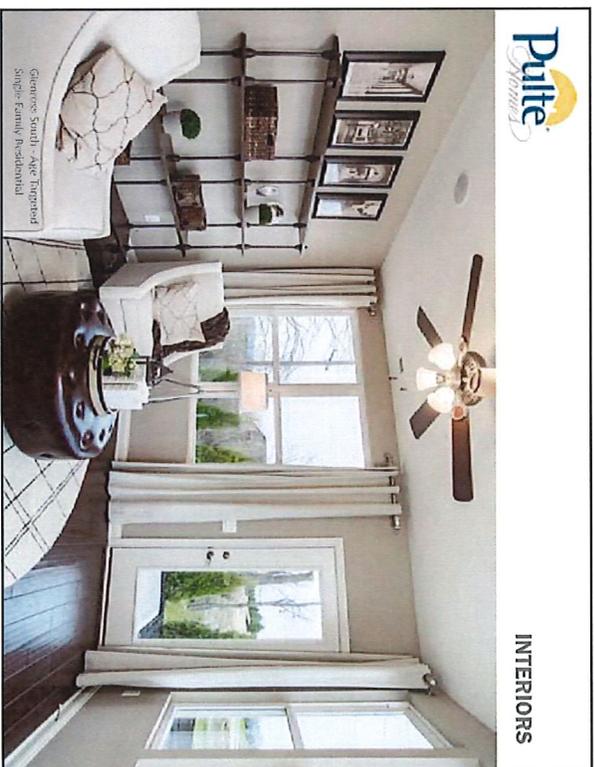
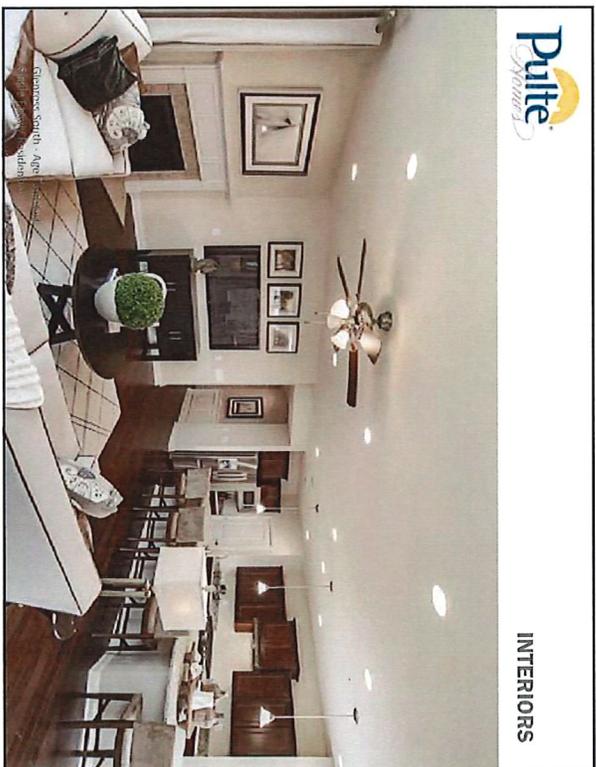
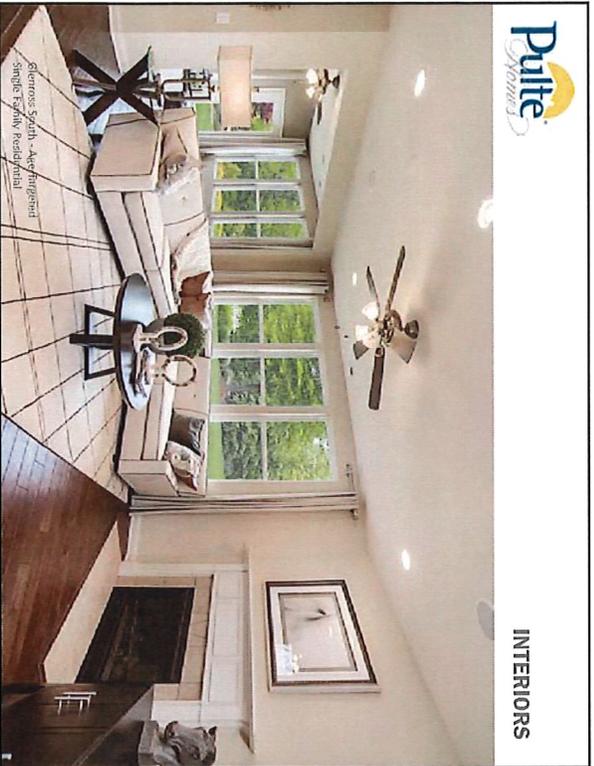
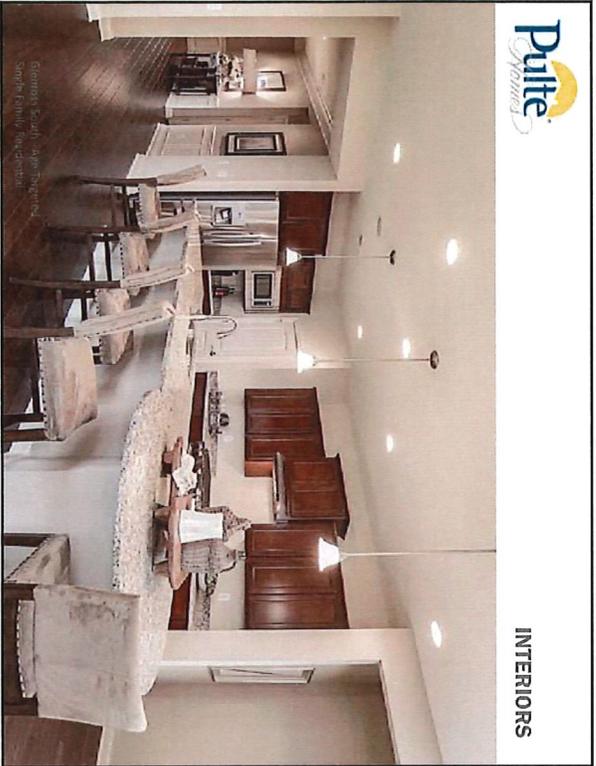
INTERIORS



INTERIORS









INTERIORS



Glenross South - Age Targeted Single Family Residential

g) Other Standards

Except as specifically set forth in this PMU Development Text or as set forth on the accompanying Development Plan, R-2 Residential District regulations together with standards set forth in Chapter 1171 of the Delaware Zoning Code, as if attached and as made a part of this Development Text by reference, shall apply in Sub-Areas IA, IB, IIA, IIB, and IIC.

F. Sub-Area III Development Standards

1. Density & Type

In Sub-Area III, no more than 106 detached single family condominium dwelling units shall be built. Although not legally restricted, Sub-Area III is intended to provide an area of single-family detached condominiums that is targeted to independent seniors and “empty nesters” seeking low exterior maintenance and a community association lifestyle with high end units which have high quality details, fit, finish, and materials not inconsistent with Pulte Homes Age Targeted Single Family Residential series product line up as attached. Sub-Area III is also intended to provide for the same minimum house sizes and quality of single family homes required in Sub-Areas IB, IIB, and IIC on smaller lots with more lot coverage and smaller yards that will have a common maintenance plan for lawn, landscaping and snow removal on each owner’s lot.

2. Lot Size

- a. The minimum size shall be 6,500 square feet with a minimum lot width of 50 feet at building line and minimum lot depth of 130 feet.

3. Setbacks & Building Separation

- a) Streets: A minimum building and accessory use setback of 50 feet shall be provided along Winterbourne Drive. The minimum setback from all other streets shall be 25 feet from right-of-way or roadway easement line.
- b) Side: The minimum side setback shall be 5 feet per side and 10 feet combined.
- c) Rear: The minimum rear setback shall be 15 feet.
- d) The minimum setbacks described above shall not cause any off-street parking area to impede a sidewalk or multi-use path.
- e) Setbacks from streets shall be from the right-of-way.

- f) Building Separation: Unless a greater building separation is required by the then current Building Code, the minimum separation between buildings shall be the following:
 - i) 10 feet side to side
 - ii) 30 feet rear to rear
 - iii) 25 feet rear to side
 - iv) The projection of fireplaces, chimneys, bay window, egress windows and/or other architectural projections of not more than 3 feet in each instance are permitted

- g) Deck & Patio Separation: Decks and patios shall not extend more than the following:
 - i) 10 feet into any required rear to rear building separation or setback
 - ii) 3.5 feet into any required side to side building separation or setback
 - iii) 7.5 feet into any required rear to side building separation or setback

The foregoing notwithstanding, deck and patio encroachments are not permitted within designated easement areas.

4. Unit Size

In Sub-Area III no building shall be constructed unless the finished living space (exclusive of porches, garages, and basements) has no less than 1800 square feet for multi-story dwellings and 1600 square feet for single-story dwellings. Maximum building height shall be 40 feet (measured from the average elevation of the finished grade at the front of the building to the highest point of the roof).

5. Street Type & Design

The development will utilize public streets built to public standards per the City Engineer. Sidewalks or bikepaths shall be required adjacent to all streets per Delaware City Code.

6. Parking

Parking will be provided at a minimum of 2 spaces per dwelling unit in an attached garage.

7. Street Lights

The street lights shall achieve compliance with the lighting requirements of Zoning Code Chapter 1158 Lighting Plan.

8. Clubhouse / Recreation

Sub-Area III may include a future clubhouse, community room, or other recreation amenities. The primary facilities for the entire Communities at Glenross development will be per the approved preliminary plan for areas north of Cheshire Rd.

9. Architectural Standards

At least 25% of the front facade elevation of each building (excluding garage doors, entrance doors, gutters, downspouts and windows) shall consist of brick, stone, or cultured stone. All vinyl siding shall have a minimum thickness of .044 mils. Gutters (and the material by which they are attached to the home), downspouts, soffits, shutters, garage and entrance doors may be of man-made materials such as metal, vinyl, aluminum or glass. No concrete or split face block shall be permitted, except for the basement or foundation walls. The roofs of all homes shall have dimensional shingles.

8. Color Palette

The color palette shall consist of earth tones, including white. Additional colors may be used as accents but may not be high gloss or high-chroma colors. A color palette and listing of representative architectural details (elevations) for Sub-Area III are included as attached and titled Glenross South – Age Targeted Single Family Residential.

9. Roof Pitches

All primary roof pitches on front and rear facing gabled elevations shall be a minimum of 5:12. All primary roof pitches on side facing gabled elevations shall be a minimum of 6:12. All other accessory elevations shall be a minimum roof pitch of 3-1/2:12.

10. Other Standards

- a. Except as specifically set forth in this PMU Development Text or as set forth on the accompanying Development Plan, R-2 Residential District regulations together with standards set forth in the then current Chapter 1171 of the Delaware Zoning Code shall apply in Sub-Area III.

- b. All garage doors shall adhere to one of the following standards as approved with a Final Development Plan:
 - i. Architecturally upgraded to include design elements consistent with the design of the home and development such as matching the door color to the predominant color of the main structure, incorporating a glass course, adding trim packages to give the appearance of stable doors, man doors, hinged swing doors and other similar architectural elements.

G. Sub-Area IV Development Standards

1. Timing of Development

Development of Sub-Area IV shall not occur until adequate access is available, either over adjacent railroad tracks or through road connections that may be provided in the future through the development of adjacent property.

2. Density

In Sub-Area IV, no more than 94 dwelling units shall be built. A minimum of fifteen percent (15%) of the Sub-Area IV site, or +/- 7.15 acres, shall be set aside as open space.

3. Development Type & Pattern

The dwelling units may be built in either a single-family condominium regime, and if so developed may either be detached or attached in buildings of up to four units, or may be developed on fee simple single-family platted lots. If developed as fee simple lots, the standards set forth in the Delaware Zoning Code as applying in the R-3 Residential District shall apply, except that the requirements set forth above for the size, color and exterior materials of homes in Sub-Area IIB, above, shall also apply to any detached single-family dwellings on individual platted lots in Sub-Area IV. If Sub-Area IV is developed as a condominium, the Development Standards for Sub-Area III shall apply.

4. Limitation

The plan for Sub-Area IV is conceptual at this time. As such, a Preliminary Development Plan and Final Development Plan are required to be submitted and approved.



**CITY OF DELAWARE, OHIO
PLANNING & COMMUNITY DEVELOPMENT
MASTER APPLICATION FORM**



Project # _____

Case # 2017-1030

Planning Commission

- | | | |
|--|---|---|
| <input type="checkbox"/> Amended Final Development Plan | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use |
| <input type="checkbox"/> Amended Final Subdivision Plat | <input type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Vacation-Alley |
| <input type="checkbox"/> Amended Preliminary Development Plan | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat | <input type="checkbox"/> Floodplain Permit | <input type="checkbox"/> Vacation-Street |
| <input type="checkbox"/> Annexation Review | <input type="checkbox"/> Lot Split | Board of Zoning Appeals |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Development Plan | <input type="checkbox"/> Conditional Use Permit |
| <input type="checkbox"/> Concept Plan | <input type="checkbox"/> Preliminary Dev Plan Extension | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Preliminary Sub Plat | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Determination of Similar Use | <input type="checkbox"/> Preliminary Sub Plat Extension | |
| <input type="checkbox"/> Development Plan Exemption | <input type="checkbox"/> Rezoning | |
| <input checked="" type="checkbox"/> Final Development Plan | <input type="checkbox"/> Subdivision Variance | |

Subdivision/Project Name Communities at Glenross Section 11 Address Cheshire Road

Acreage 22.744 Square Footage N/A Number of Lots 58 Number of Units N/A

Zoning District/Land Use PRD Proposed Zoning/Land Use PRD Parcel # 41832001040000 and 41832001035000

Applicant Name Pulte Homes of Ohio, LLC Contact Person Joel West

Applicant Address 4900 Tuttle Crossing Boulevard, Dublin, Ohio 43016

Phone (614) 376-1122 Fax (614) 356-6801 E-mail Joel.West@Pulte.com

Owner Name Pulte Homes of Ohio, LLC Contact Person Joel West

Owner Address 4900 Tuttle Crossing Boulevard, Dublin, Ohio 43016

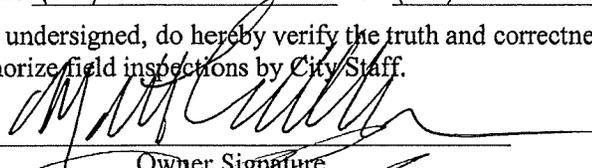
Phone (614) 376-1122 Fax (614) 356-6801 E-mail Joel.West@Pulte.com

Engineer/Architect/Attorney EMH&T Contact Person Jeffrey A. Strung

Address 5500 New Albany Road, Columbus, Ohio 43054

Phone (614) 775-4700 Fax (614) 775-4800 E-mail jstrung@emht.com

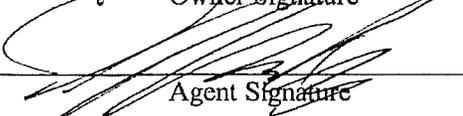
The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.



Owner Signature

 **Division VP Land Acquisition**

Owner Printed Name



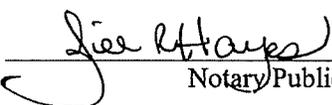
Agent Signature

Jeffrey A. Strung

Agent Printed Name

Sworn to before me and subscribed in my presence this 27th day of March, 2017.


Notary Stamp
Jill R. Hayes
Notary Public, State of Ohio
My Commission Expires 12-07-2020



Notary Public



**CITY OF DELAWARE, OHIO
PLANNING & COMMUNITY DEVELOPMENT
MASTER APPLICATION FORM**



Project # _____

Case # 2017-1031

Planning Commission

- | | | |
|--|--|---|
| <input type="checkbox"/> Amended Final Development Plan | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use |
| <input type="checkbox"/> Amended Final Subdivision Plat | <input checked="" type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Vacation-Alley |
| <input type="checkbox"/> Amended Preliminary Development Plan | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat | <input type="checkbox"/> Floodplain Permit | <input type="checkbox"/> Vacation-Street |
| <input type="checkbox"/> Annexation Review | <input type="checkbox"/> Lot Split | Board of Zoning Appeals |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Development Plan | <input type="checkbox"/> Conditional Use Permit |
| <input type="checkbox"/> Concept Plan | <input type="checkbox"/> Preliminary Dev Plan Extension | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Preliminary Sub Plat | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Determination of Similar Use | <input type="checkbox"/> Preliminary Sub Plat Extension | |
| <input type="checkbox"/> Development Plan Exemption | <input type="checkbox"/> Rezoning | |
| <input type="checkbox"/> Final Development Plan | <input type="checkbox"/> Subdivision Variance | |

Subdivision/Project Name THE COMMUNITIES AT GLENROSS SECTION 11 Address CHESTERE ROAD

Acreeage 22.744 Square Footage N/A Number of Lots 62 Number of Units N/A

Zoning District/Land Use PRD Proposed Zoning/Land Use PRD Parcel # 41832001035000

Applicant Name PULTE HOMES OF OHIO LLC Contact Person JOEL WEST

Applicant Address 4900 TUTTLE CROSSING BOULEVARD, DUBLIN, OHIO, 43016

Phone 614-376-1122 Fax 614-376-6080 E-mail JOEL.WEST@PULTE.COM

Owner Name SAME AS APPLICANT Contact Person _____

Owner Address _____

Phone _____ Fax _____ E-mail _____

Engineer/Architect/Attorney EMH&T Contact Person MATT KERK

Address 5500 NEW ALBANY ROAD, COLUMBUS, OHIO, 43054

Phone 614-775-4121 Fax _____ E-mail MKERK@EMH.COM

The undersigned do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

[Signature] Owner Signature Matthew Kerk Owner Printed Name **Division VP Land Acquisition**

Agent Signature

Agent Printed Name

Sworn to before me and subscribed in my presence this 27th day of March, 2017



Notary Jill P. Hayes
Notary Public, State of Ohio
My Commission Expires 12-07-2020

[Signature]
Notary Public



PLANNING COMMISSION / STAFF REPORT

CASE NUMBER: 2017-1040-1043

REQUEST: Multiple Requests

PROJECT: Belmont Place – Sections 4 & 5

MEETING DATE: June 7, 2017

APPLICANT/OWNER

Glenn Road Capital LLC
6689 Dublin Center Drive
Dublin, Ohio 43017

REQUEST

2017-1040: A request by Glenn Road Capital LLC., for approval of a Preliminary Development Plan for Belmont Place Sections 4 and 5 for 72 single family lots on approximately 21.5 acres on property zoned R-3 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located on McNamara Loop, Neville Lane and Squaregaiter Lane.

2017-1041: A request by Glenn Road Capital LLC., for approval of a Final Development Plan for Belmont Place Sections 4 and 5 for 72 single family lots on approximately 21.5 acres on property zoned R-3 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located on McNamara Loop, Neville Lane and Squaregaiter Lane.

2017-1042: A request by Glenn Road Capital LLC., for approval of a Preliminary Subdivision Plat for Belmont Place Sections 4 and 5 for 72 single family lots on approximately 21.5 acres on property zoned R-3 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located on McNamara Loop, Neville Lane and Squaregaiter Lane.

2017-1043: A request by Glenn Road Capital LLC., for approval of a Final Subdivision Plat for Belmont Place Section 4 for 34 single family lots on 10.426 acres on property zoned R- PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located on McNamara Loop and Squaregaiter Lane.

PROPERTY LOCATION & DESCRIPTION

The property is located on the east side of Glenn Parkway and north of Peachblow Road. The zoning of the subject property, which is in Sub-Area B per the May 2009 rezoning, is R-3 PMU. The surrounding zoning to the east and south is Berlin Township Farm Residential Zoning, to the west is B-4 and R-6 PMU (General Business District and Multi-Family Residential with a Planned Mixed Use Overlay District) with text limitations, and to the north is PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District). Sub Area B in the rezoning contained 47 acres while the proposed development in Sections 1-5 contains 53 acres (an increase of 6 acres). Sections 1-3 site work has been completed with several houses built with more to be constructed. The remainder of the property is vacant farmland without trees except for along the northern and eastern property boundaries. In addition, the subject development is located within the Delaware South New Community Authority and Evans Residential TIF District.

BACKGROUND/PROPOSAL

On May 11, 2009 City Council approved Ordinance's 08-112 and 08-113 which approved a Conditional Use Permit and Rezoning adding a PMU Overlay District (Planned Mixed Use District) on the subject 109 acres. The PMU was divided into Sub Areas A & B which contained 62 and 47 acres respectively (now approximately 56 and 53 acres respectively). Sub Area A permits residential, office, retail services, communities facilities and recreational/open space uses while Sub Area B permits residential, office, community facilities and recreational/open space uses.

In December 2013, Planning Commission and City Council approved Preliminary Development Plans and Preliminary Subdivision Plats (Ordinances 13-76 & 13-77) for Sections 1-3 which contained 74 single family lots on approximately 31.5 acres which also included a concept plan of today's Section 4 and 5. Then in March 2014, Planning Commission and City Council approved Final Development Plans for Sections 1-3 (Ordinance 14-16) and Final Subdivision Plat for Section 1 (Ordinance 14-17). Finally in April 2016, Planning Commission and City Council approved Final Subdivision Plats for Sections 2 and 3 (Ordinances 16-30 & 16-31 respectively).

Now the applicant is proposing to develop Sections 4 and 5 which contain the remaining 21.5 acres of Sub-Area B with 72 single family lots which is located just north of Sections 1-3. The developer is requesting Preliminary Development Plan, Preliminary Subdivision Plat and Final Development Plan approval for Sections 4 and 5 and Final Subdivision Plat approval for Section 4.

STAFF ANALYSIS

- **COMPREHENSIVE PLAN AMENDMENT:** The Comprehensive Plan Future Land Use Map recommends Mixed Use future land use for this and the surrounding properties. The existing zoning complies with this mixed land use recommendation by mixing commercial, office, and residential uses along with the proposed mix of residential densities and unit types in this sub-area. Therefore, the proposed single family subdivision would achieve compliance with the land use plan.
- **ZONING:** As mentioned above, the subject site is zoned R-3 PMU (One Family Residential District with Planned Mixed Use Overlay District) with text limitations. From a procedural perspective, a Preliminary Development Plan, Final Development Plan, Preliminary Subdivision Plat and Final Subdivision Plat for Sections 4 and 5 would require Planning Commission and City Council approval.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on a technical review by the Engineering Department once a complete plan set is submitted for review.
- **UTILITIES:** Both water and sewer utilities would be public and would be extended into Sections 4 and 5 of the subject development. Also, the development would have to comply with the current storm water requirements. The subject development is located in the South East Highland Sanitary Sewer District which requires an additional capacity charge of \$3,200 per dwelling unit.
- **ROADS AND ACCESS:** Sections 4 and 5 would be accessed from existing Bret's Lane (constructed in Sections 1-3) via Crownover Way from Peachblow Road. In Sections 4 and 5, McNamara Loop would be extended north from Brets Lane forming the eastern, western and northern streets of the subdivision. Neville Lane and Squaregaiter Lane extend north from Bret's Lane bisecting McNamara Loop. Ultimately Crownover Way would be extended north and west to Glenn Parkway when Sub-Area A is developed. All the streets would be public and would have to comply with the minimum engineering standards.
- **SITE LAYOUT:** The final two sections in Sub-Area B encompasses 21.5 acres and consists of 72 single family lots which are located on the northern portion of the development and is a natural extension of Sections 1, 2 and 3. Specifically Section 4 contains 34 single family lots on 10.426 acres while Section 5 contains 38 single family lots on 11.074 acres.

Section 4 is located along the northeastern portion of the site and is accessed by McNamara Loop and Squaregaiter Lane from existing Brets Lane. A 0.691 acre open space referred to as Reserve "F" is located on the northern portion of McNamara Loop and a 0.417 acre open space referred as Reserve "D" is located along the eastern boundary of the easternmost lots.

Section 5 is located along the northwestern portion of the site and is accessed by McNamara Loop and Neville Lane from Brets Lane. Reserve "E" is located along the western portion of the development to provide a buffer to the future Crownover Way extension that would be required when Sub-Area A is developed.

The approved development text has the following single family lot requirements: 8,125 square foot minimum lot, 65 foot minimum lot width, 125 foot minimum lot depth, 30 foot front yard setback, 8 foot side yard setback; 30 foot rear yard setback, 1,500 square foot minimum house size and 25 foot building and pavement minimum perimeter setback. In addition, the corner lots would need to be oversized by 30% (85 foot wide) to comply with the current zoning code. Sections 4 and 5 achieve compliance with all the above lot requirements.

- **DESIGN** The houses would not only have to meet the minimum standards of the Residential Development Design Criteria and Performance Standards in Chapter 1171 but also the more restrictive residential architectural standards in the approved development text. Some of the upgrades include: 1.) At least 50% of the front elevation of all homes shall consist of approved natural materials as defined in the text (stucco is not considered a natural material); 2.) Upgraded garage door standards for doors that face a public street; 3.) No blank walls; 4.) The same model of home or the same exterior color of the home shall not be placed on adjacent lots and shall not be placed on facing lots.

- **OPEN SPACE & PARKLANDS** The Preliminary Development Plan for Sections 4 and 5 identifies 2.387 acres of open space in three reserves (Reserve D – 0.417 acres, Reserve F - 0.691 acres and Reserve E - 1.28 acres in Sections 4 and 5 respectively) and should be the responsibility of the Homeowner’s Association. Reserve “D” is a storm water easement while Reserve “F” would be a pocket park in Section 4 with an open play field, an integral play area with play structures with a bench and a sidewalk connecting to the McNamara Loop sidewalk. There would be landscaping adjacent to the single family lots to the south. Reserve “E” would contain mounding and landscaping to buffer the future Crownover Way extension that would be required when Sub-Area A is developed from the single family lots to the east in Section 5. From a “macro” perspective, the developer in Sections 1-3 provided 7.92 acres of open space and parkland for the subdivision along with extending a bike path along Peachblow Road.
- **LANDSCAPING PLAN:** The applicant has submitted a comprehensive landscaping plan that includes street trees, landscaping in the pocket park in Reserve “E” and perimeter landscaping along the western boundary in Reserve “F”. To be consistent with Section 1, a minimum 3 foot high mound with landscaping adjacent to the future Crownover Way extension that would be required when Sub-Area A is developed. The evergreen trees shall be a minimum 4 foot high at installation and the deciduous trees shall be a minimum 1.75 inch caliper. The maintenance of the mound and associated landscaping shall be the responsibility of the Homeowners Association. It is imperative that the Applicant coordinate the landscaping plan and street tree plan with the engineering site development plan so that the landscaping does not impeded visibility at intersections or the visibility of any traffic control signs. The Shade Tree Commission would have to review and approve the aforementioned plans.
- **TREE REMOVAL & REPLACEMENT:** Because the remainder of the site is essentially open farmland, the only trees on the site are located on the northern and eastern property lines and only a minimal amount if any would be removed with the proposed development. Until a final grading plan is approved, the exact numbers of trees removed (if any) would not be determined especially along the northern and eastern property lines. Therefore, any tree replacement calculations would have to occur during final plat approvals for each section.
- **PEDESTRIAN CONNECTIVITY:** Sidewalks would be required on all public streets in Sections 4 and 5. Also, a bike path was constructed along Peachblow Road and stubs into the property to the east with the development of Section 1.
- **LIGHTING PLAN.** The lighting plans for Sections 4 and 5 were approved by the Chief Building Official on May 17, 2017.

STAFF RECOMMENDATION – (2017-1040 PRELIMINARY DEVELOPMENT PLAN)

Staff recommends approval of request by Glenn Road Capital LLC., of a Preliminary Development Plan for Belmont Place Sections 4 and 5 for 72 single family lots on approximately 21.5 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located on McNamara Loop, Neville Lane and Squaregaiter Lane, with following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The subject application pertains to Sections 4 and 5 of Sub Area B only and any future development to Sub-Area A shall require Preliminary and Final Development Plan approval at a minimum.
3. Crownover Way shall be extended north and west to Glenn Parkway when Sub-Area A is developed.
4. These sections of the Belmont Place Subdivision shall be placed in the Delaware South New Community Authority prior to issuance of building permits, is located within the Evans Residential TIF district and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling unit.

STAFF RECOMMENDATION – (2017-1041 FINAL DEVELOPMENT PLAN)

Staff recommends approval of request by Glenn Road Capital LLC., for approval of a Final Development Plan for Belmont Place Sections 4 and 5 for 72 single family lots on approximately 21.5 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located on McNamara Loop, Neville Lane and Squaregaiter Lane, with following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The subject application pertains to Sections 4 and 5 of Sub Area B only and any future development to Sub-Area A shall require Preliminary and Final Development Plan approval at a minimum.
3. Crownover Way shall be extended north and west to Glenn Parkway when Sub-Area A is developed.
4. These sections of the Belmont Place Subdivision shall be placed in the Delaware South New Community Authority prior to issuance of building permits, is located within the Evans Residential TIF district and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling unit.

STAFF RECOMMENDATION – (2017-1042 PRELIMINARY SUBDIVISION PLAT)

Staff recommends approval of a request by Glenn Road Capital LLC., of a Preliminary Subdivision Plat for Belmont Place Sections 4 and 5 for 72 single family lots on approximately 21.5 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located on McNamara Loop, Neville Lane and Squaregaiter Lane, with the following conditions that:

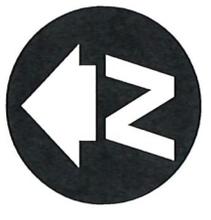
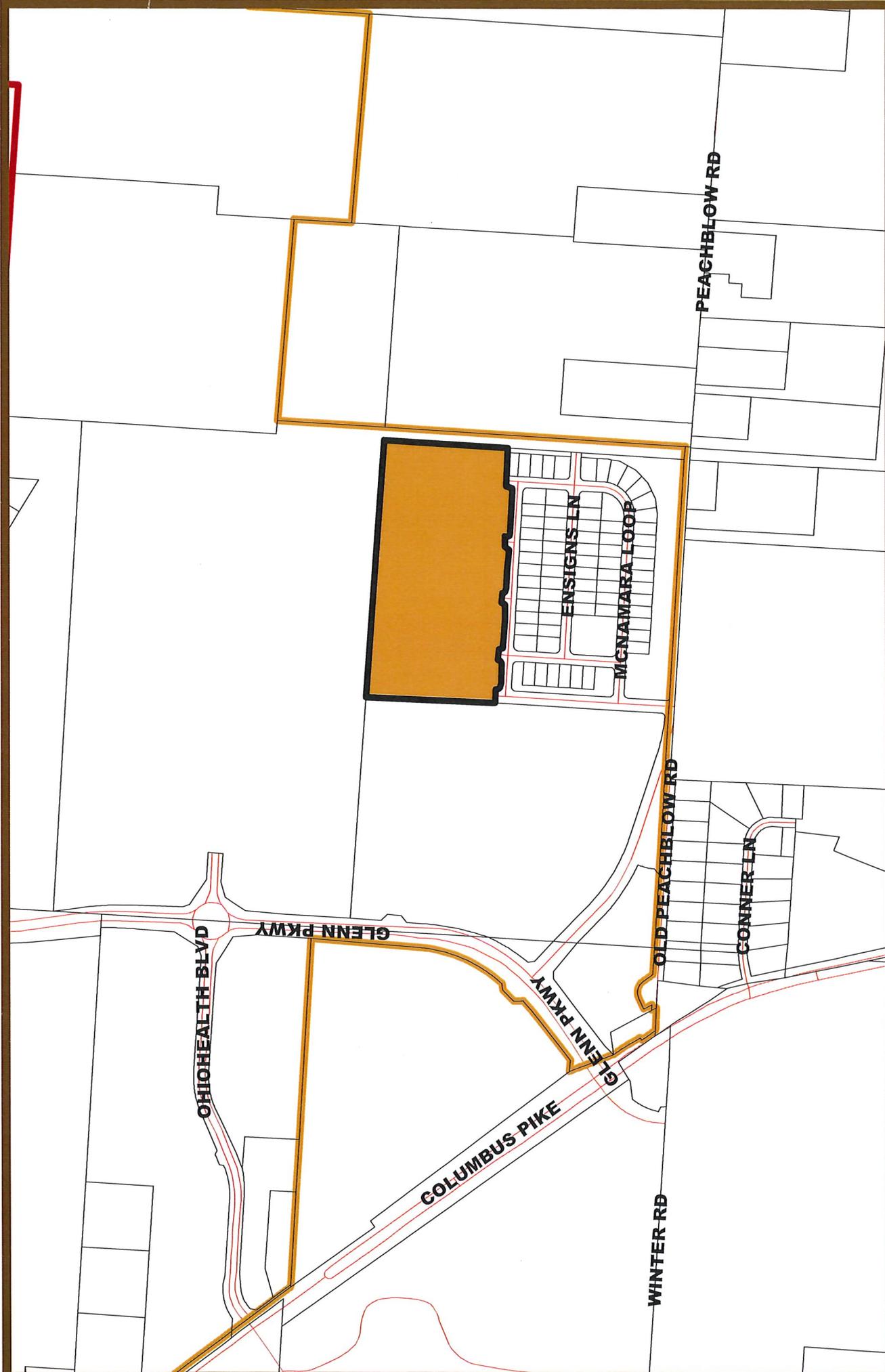
1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The off-site stormwater improvements shall comply with the minimum City and County regulations.
3. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
4. The single family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
5. All homes shall have basements which shall have gravity sewer to the lowest elevation to allow for basement bathrooms and fixtures by gravity connection only. Hung sewers, grinder pumps and the like shall not be permitted.
6. The proposed pocket park in Reserve "E" shall be programmed with play equipment, etc.(as submitted), prior to approval of the final plat in Section 4 and shall be maintained by the Homeowner's Association with an easement dedicated to the City for public use.
7. A minimum 3 foot high mound with landscaping shall be located in Reserve "F" of Section 5 between the future extension of Crownover Way and rear of the adjacent single family lots to the east. The evergreen trees shall be a minimum 4 foot high at installation and the deciduous trees shall be a minimum 1.75 inch caliper. The maintenance of the mound and associated landscaping shall be the responsibility of the Homeowner's Association. The subject plan shall be reviewed and approved by the Shade Tree Commission.
8. A street tree plan shall be submitted and approved by the Shade Tree Commission.
9. Any tree removal and/or replacement requirements shall achieve compliance with Chapter 1168 Tree Preservation Regulations and shall be required prior to final plat approvals for each section.
10. These sections of the Belmont Place Subdivision shall be placed in the Delaware South New Community Authority prior to issuance of building permits, is located within the Evans Residential TIF district and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling unit.

STAFF RECOMMENDATION – (2017-1043 FINAL SUBDIVISION PLAT)

Staff recommends approval of a request by Glenn Road Capital LLC., of a Final Subdivision Plat for Belmont Place Section 4 for 34 single family lots on 10.246 acres on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located on McNamara Loop and Squaregaiter Lane, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The off-site stormwater improvements shall comply with the minimum City and County regulations.
3. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
4. The single family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
5. All homes shall have basements which shall have gravity sewer to the lowest elevation to allow for basement bathrooms and fixtures by gravity connection only. Hung sewers, grinder pumps and the like shall not be permitted.
6. The proposed pocket park in Reserve “E” shall be programmed with play equipment, etc. (as submitted), prior to approval of the final plat in Section 4 and shall be maintained by the Homeowner’s Association with an easement dedicated to the City for public use.
7. A street tree plan shall be submitted and approved by the Shade Tree Commission.
8. Any tree removal and/or replacement requirements shall achieve compliance with Chapter 1168 Tree Preservation Regulations and shall be required prior to any building permits in Section 4.
9. This section of the Belmont Place Subdivision shall be placed in the Delaware South New Community Authority prior to issuance of building permits, is located within the Evans Residential TIF district and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling unit.

COMMISSION NOTES:



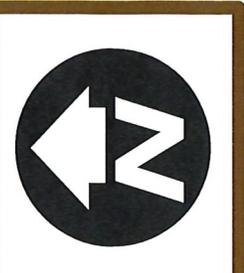
2017-1040-1043
 Preliminary Development Plan, Final Development Plan,
 Preliminary Subdivision Plat & Final Subdivision Plat
 Belmont Place - Sections 4 & 5
 Location Map





2017-1040-1043
 Preliminary Development Plan, Final Development Plan,
 Preliminary Subdivision Plat & Final Subdivision Plat
 Belmont Place - Sections 4 & 5
 Zoning Map

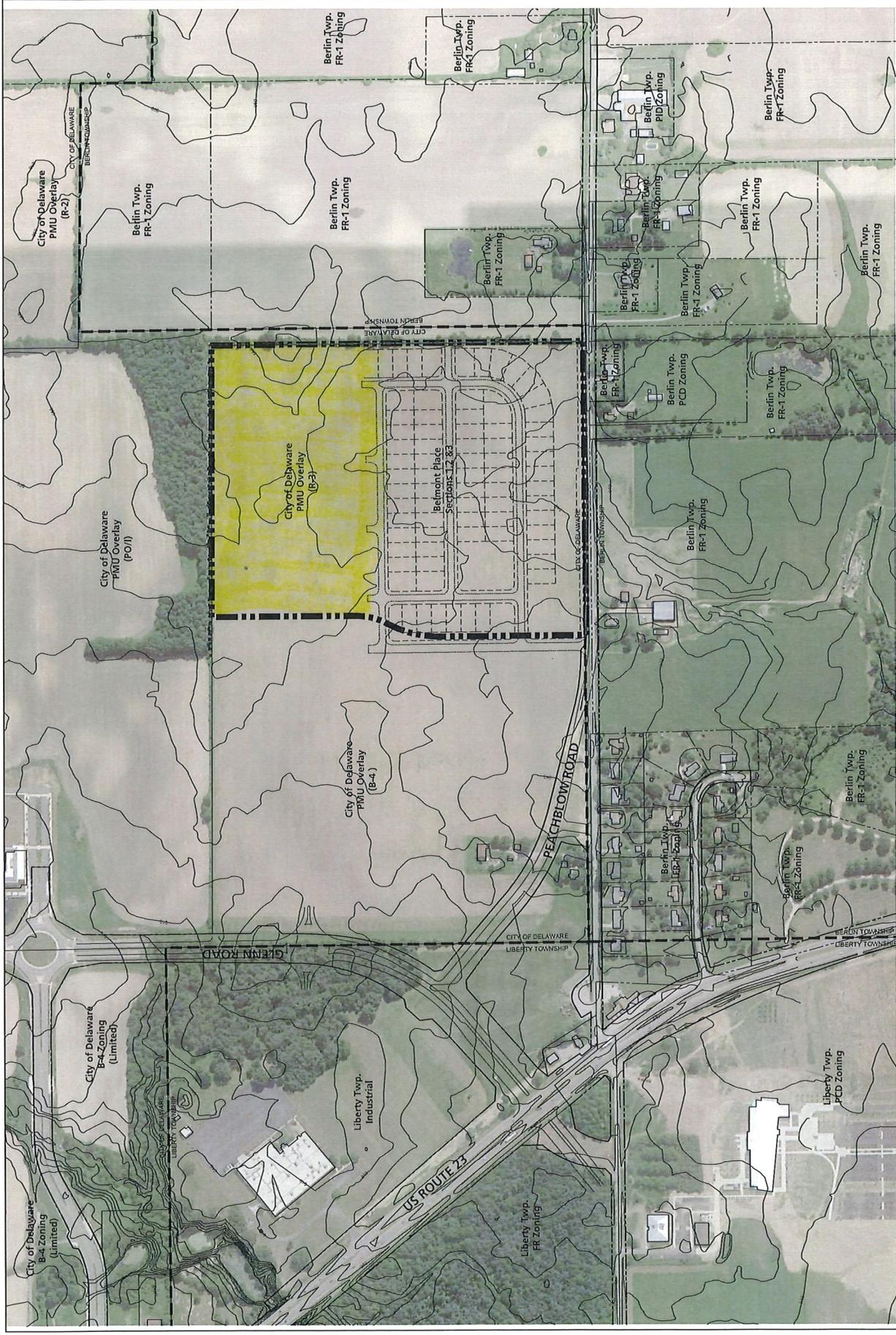




2017-1040-1043
 Preliminary Development Plan, Final Development Plan,
 Preliminary Subdivision Plat & Final Subdivision Plat
 Belmont Place - Sections 4 & 5
 Aerial (2016)



NO.	DATE	REVISIONS



EXISTING CONDITIONS PLAN
 EXHIBIT B

CITY OF DELAWARE, OHIO FINAL DEVELOPMENT PLAN FOR **BELMONT PLACE** **SECTIONS 4 & 5** 2017

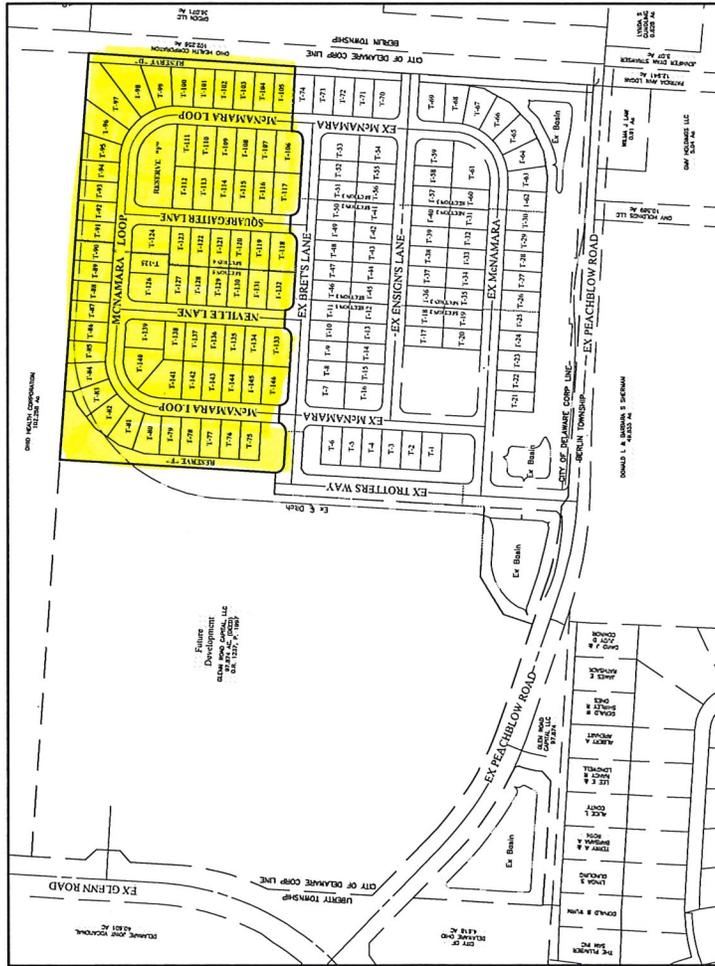
SHEET INDEX

TITLE SHEET.....	1
GRADING PLAN.....	2
SITE PLAN.....	3
STREET LIGHTING PLAN.....	4
STREET SIGNAGE PLAN.....	5

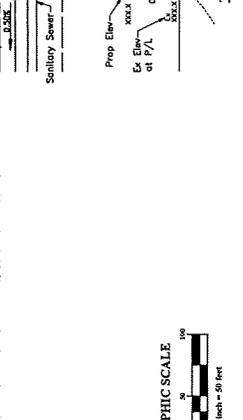
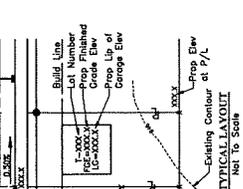
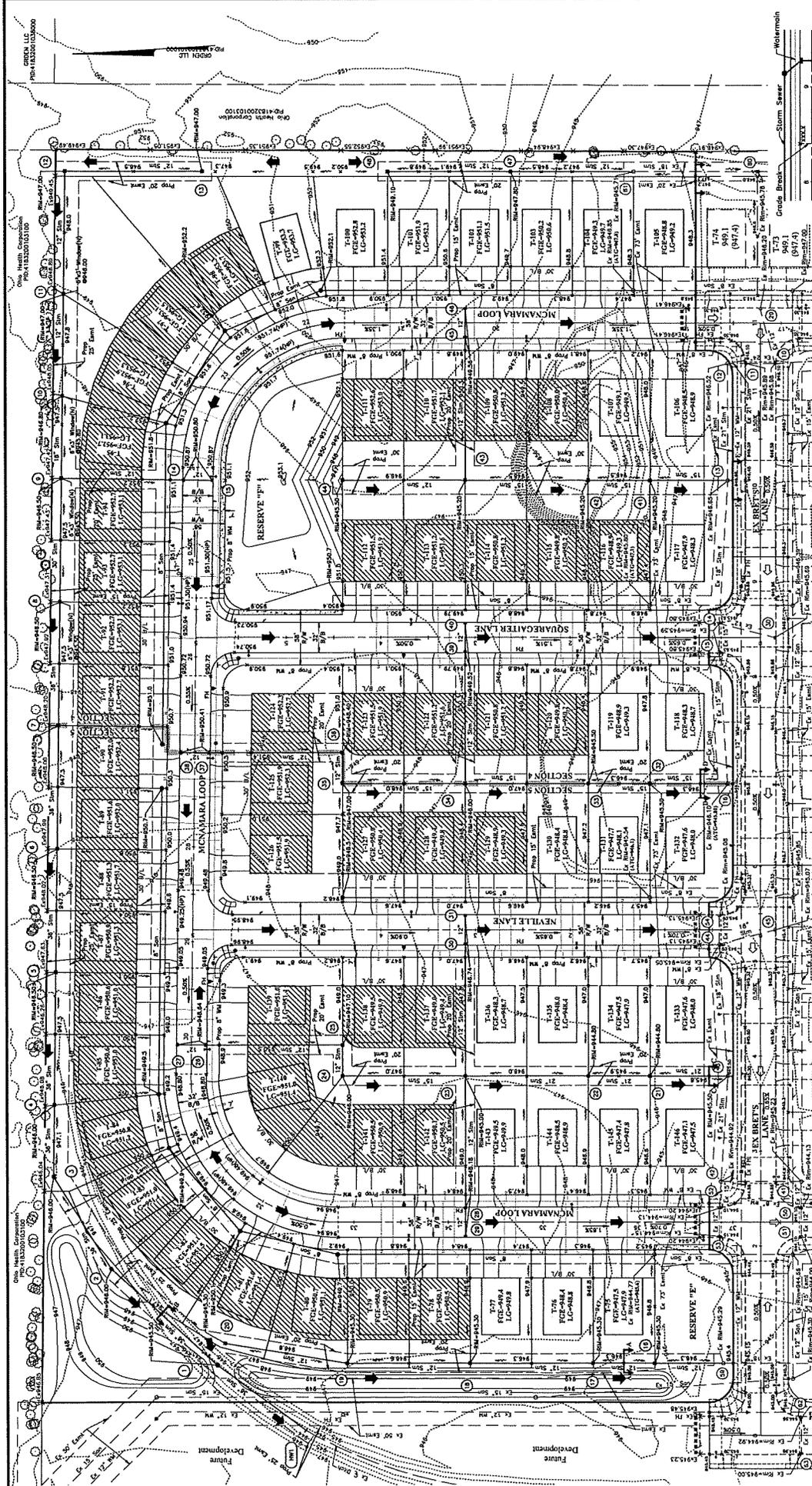
DEVELOPMENT DATA

ZONING
 EXISTING.....R-3 Single Family Residential
 PROPOSED.....R-3 Single Family Residential

GROSS AREA.....	± 53.04 ACRES
SECTION 1.....	± 7.17 ACRES
SECTION 2.....	± 7.27 ACRES
SECTION 3.....	± 31.52 ACRES
SECTION 1-3 Subtotal.....	± 46.96 ACRES
SECTION 4.....	± 11.09 ACRES
SECTION 5.....	± 21.52 ACRES
SECTION 4-5 Subtotal.....	± 32.61 ACRES
RIGHT OF WAY.....	± 1.51 ACRES
SECTION 1.....	± 2.31 ACRES
SECTION 2.....	± 1.94 ACRES
SECTION 3.....	± 7.02 ACRES
SECTION 1-3 Subtotal.....	± 11.27 ACRES
SECTION 4.....	± 1.99 ACRES
SECTION 5.....	± 3.99 ACRES
SECTION 4-5 Subtotal.....	± 5.98 ACRES
OPEN SPACE.....	± 51030.27 SF (1.71 ACRES)
SECTION 1.....	± 39725.29 SF (0.91 ACRES)
SECTION 2.....	± 8941.69 SF (0.21 ACRES)
SECTION 3.....	± 408176.95 SF (9.33 ACRES)
SECTION 4.....	± 58995.43 SF (1.28 ACRES)
SECTION 5.....	± 104127.35 SF (2.39 ACRES)
SECTION 4-5 Subtotal.....	± 163112.88 SF (3.67 ACRES)
NUMBER OF UNITS.....	146
SECTION 1.....	25
SECTION 2.....	24
SECTION 3.....	74
SECTION 4.....	34
SECTION 5.....	29
SECTION 4-5 Subtotal.....	72
UNITS/ACRE.....	2.7 UNITS/ACRE
SECTION 1.....	3.5 UNITS/ACRE
SECTION 2.....	3.3 UNITS/ACRE
SECTION 3.....	2.3 UNITS/ACRE
SECTION 4.....	3.3 UNITS/ACRE
SECTION 5.....	3.4 UNITS/ACRE
SECTION 4-5 Subtotal.....	3.3 UNITS/ACRE
BUILDING HEIGHT (RESIDENTIAL).....	35' MAX
MIN BUILDING SIZE.....	1500 SF
MIN LOT SIZE.....	8125 SF
MIN WIDTH.....	65 FT
MIN DEPTH.....	65 FT
MIN DEPTH.....	125 FT
SETBACKS:	
FRONT YARD.....	30 FT
SIDE YARD.....	30 FT
REAR YARD.....	30 FT
PERMETER SETBACK.....	25 FT
BUILDING SETBACK.....	25 FT



REGIONAL CONTEXT MAP
 SCALE 1" = 200'



Notes:
 RM Elevations For Curb & Gutter Inlets = Top of Curb.

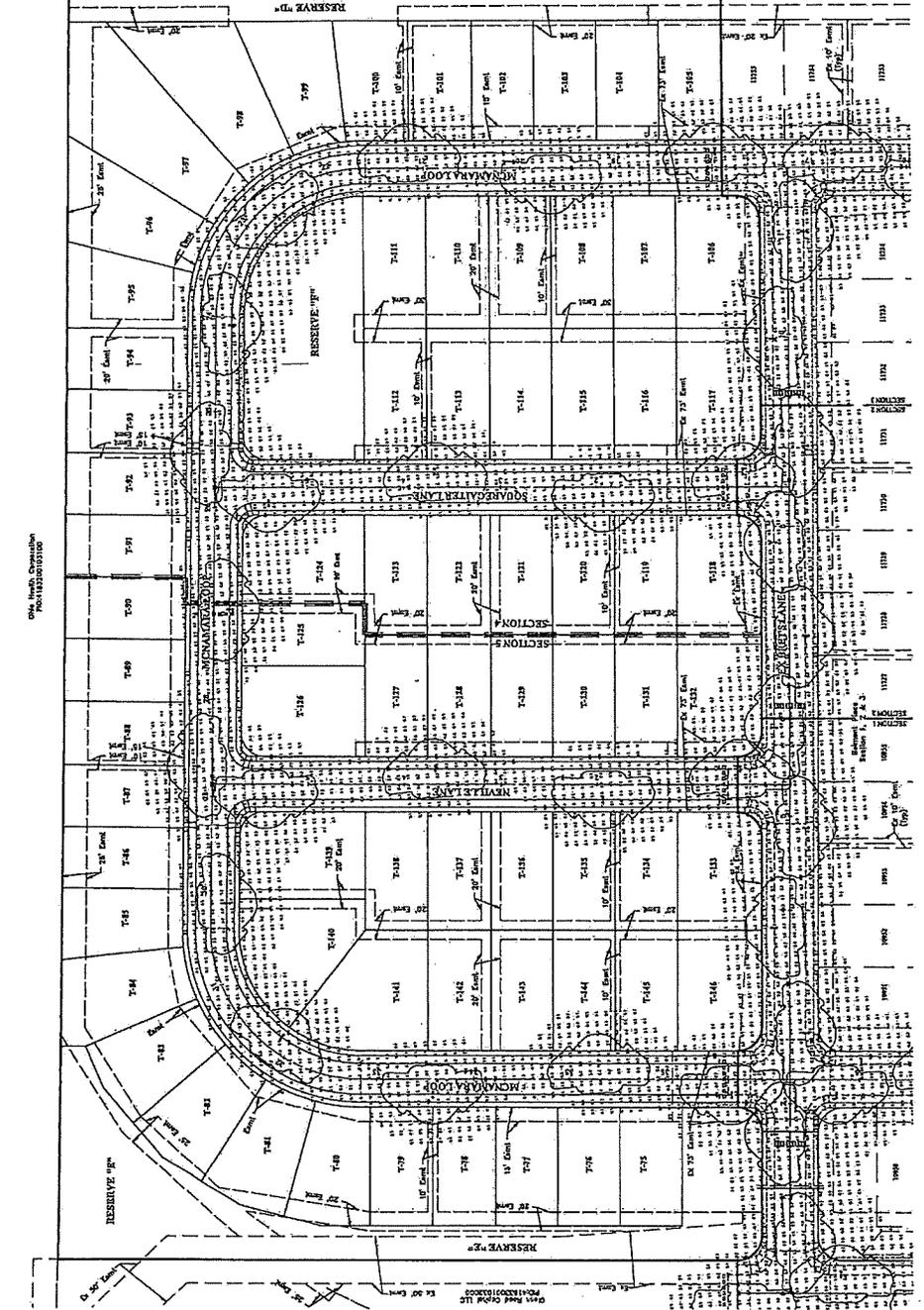
LEGEND

	Existing Storm Sewer		Proposed Storm Sewer
	Existing Sanitary Sewer		Proposed Sanitary Sewer
	Existing Watermain		Proposed Watermain
	Existing Major Contour		Proposed Major Contour
	Existing Minor Contour		Proposed Minor Contour
	Section Line		Propose Light Pole
	Overlaid Areas to be repaved and repaved with structural fill, 5' beyond the limits of the structure.		Proposed Sidewalk (By Permit)
	Existing Flood Routing		Temporary Barricade
	Flood Routing Arrow		Adjust to Grade
	Flow Arrow		ATC

NOTE:
 Check lights noted by high tensioned and low-voltage drawings of the lights and required square poles must be designed to public works, prior to acceptance of public utility. The City of Delaware Public Works Department, 60 Row Street Delaware, Ohio 43015, will be delivered to the City of Delaware Public Works Department, 60 Row Street Delaware, Ohio 43015, to assist in delivery and site time (7:00 AM - 10:00 AM).
 All drawings are preliminary and subject to change by the utility utility provider prior to construction.

STREET	SECTION	HEIGHT
MONAMARA LOOP	T1497	15' RL
	T1498	15' RL
	T1499	15' RL
	T1500	15' RL
	T1501	15' RL
	T1502	15' RL
	T1503	15' RL
	T1504	15' RL
	T1505	15' RL
	T1506	15' RL
REVILLE LANE	T1481	15' RL
	T1482	15' RL
	T1483	15' RL
	T1484	15' RL
	T1485	15' RL
SQUAREGATER LANE	T1486	15' RL
	T1487	15' RL
	T1488	15' RL
	T1489	15' RL
	T1490	15' RL

Justin ...
 Date: 5-17-17

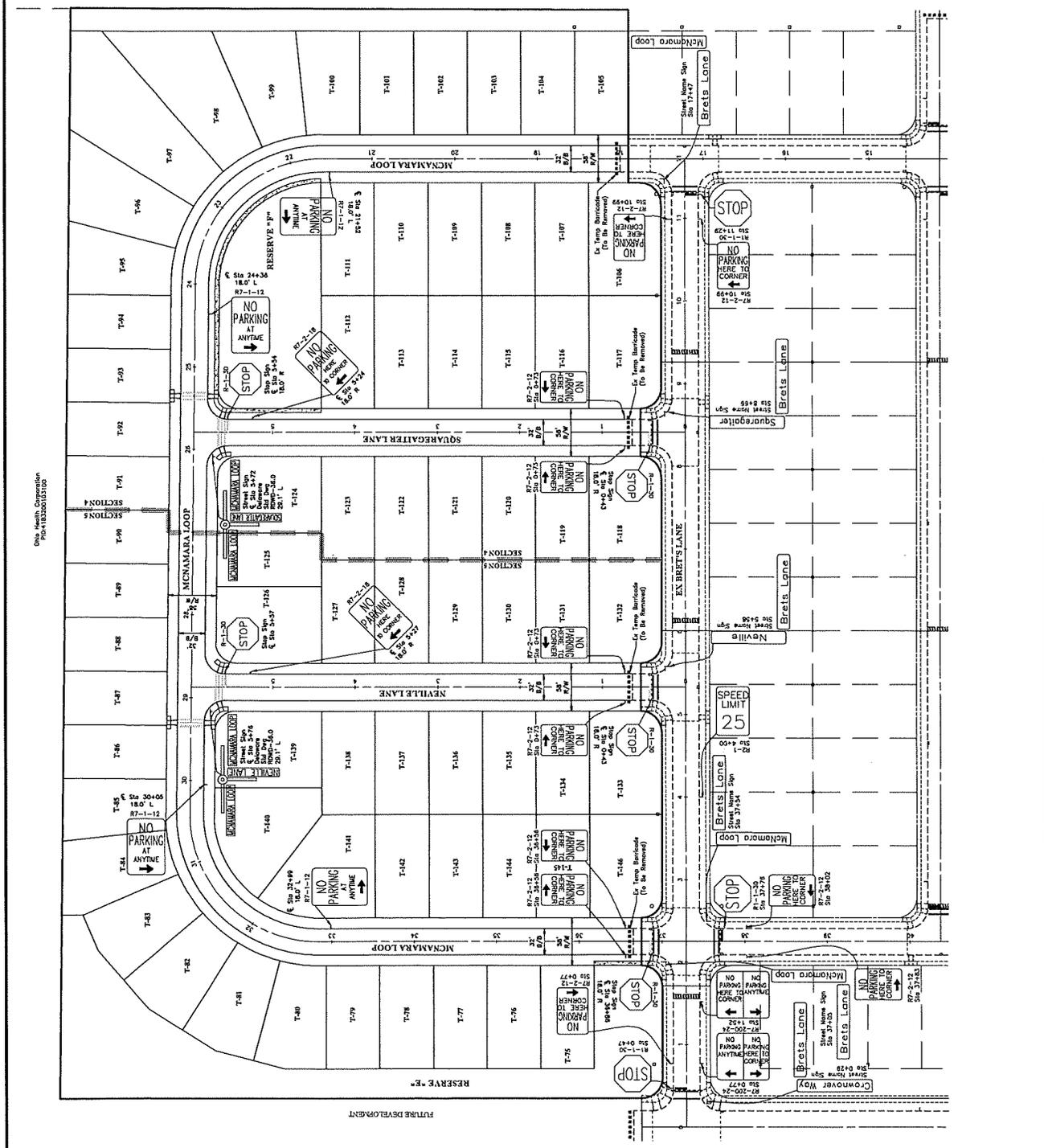
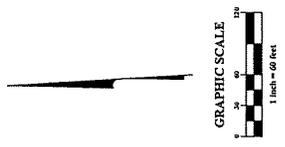
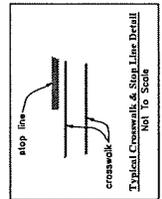
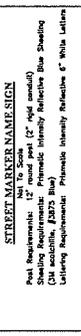
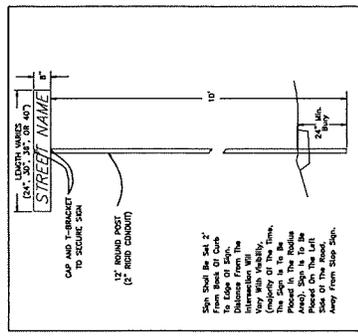


STATISTICS						
Description	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
MONAMARA LOOP	0.5 f.c.	1.5 f.c.	0.1 f.c.	16.0 f.c.	6.0 f.c.	6.0 f.c.
REVILLE LANE	0.5 f.c.	1.3 f.c.	0.1 f.c.	13.0 f.c.	6.0 f.c.	6.0 f.c.
SQUAREGATER LANE	0.5 f.c.	1.4 f.c.	0.1 f.c.	14.0 f.c.	6.0 f.c.	6.0 f.c.

LUMINAIRE SCHEDULE						
City	Calling Number	Description	Lamp	Lumens	LLF	Watts
21	GV10HFD000RX	GRANVILLE	160W CLEAR HPS	8600	0.81	128
	GV16SD000RX					
	3R00L000					

PRELIMINARY
 NOT TO BE USED FOR
 CONSTRUCTION
 PLAN SET DATE
 5/17/17

Notes:
 All sign posts (other than street name) shall be installed using a stubbed post installation per CDC Supplemental Specification 1630 (Fig. 4 & Detail D-1).
 All pavement markings are to be White unless otherwise required by the ADA.
 All markings to be Item 644, Thermoplastic.



*Combined
Preliminary Development Plan/Final Development Plan
for*

BELMONT PLACE – SECTIONS 4 & 5

DELAWARE, OHIO

LANDSCAPE PLAN

PREPARED FOR:
Glenn Road Capital, LLC
6689 Dublin Center Drive
Dublin, OH 43017

May 3, 2017

LANDSCAPE ARCHITECT

THE EDGE GROUP
LANDSCAPE ARCHITECTS

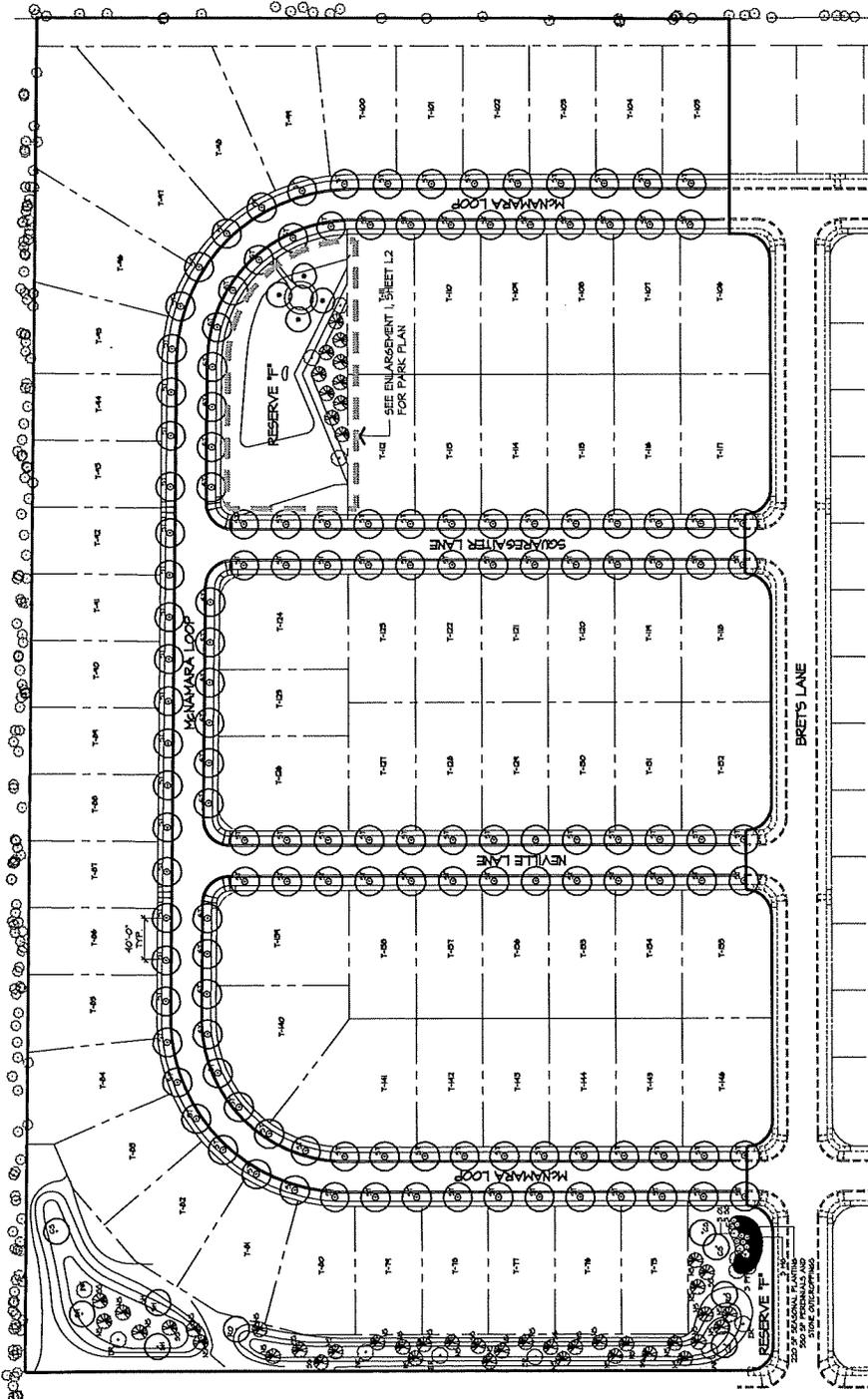
330 West Spring Street, Suite 250
Columbus, OH 43215
P 614-486-3343 F 614-486-3344

PLANT KEY

- STREET TREE**
 51 TYPE TO BE DETERMINED BY SHADE TREE COMMISSION
 52 FINAL LOCATIONS TO BE DETERMINED IN FIELD TO AVOID
 UTILITIES AND OBSTACLES.
- SHADE TREE**
 53 COPIER
 54 COPIER
 55 COPIER
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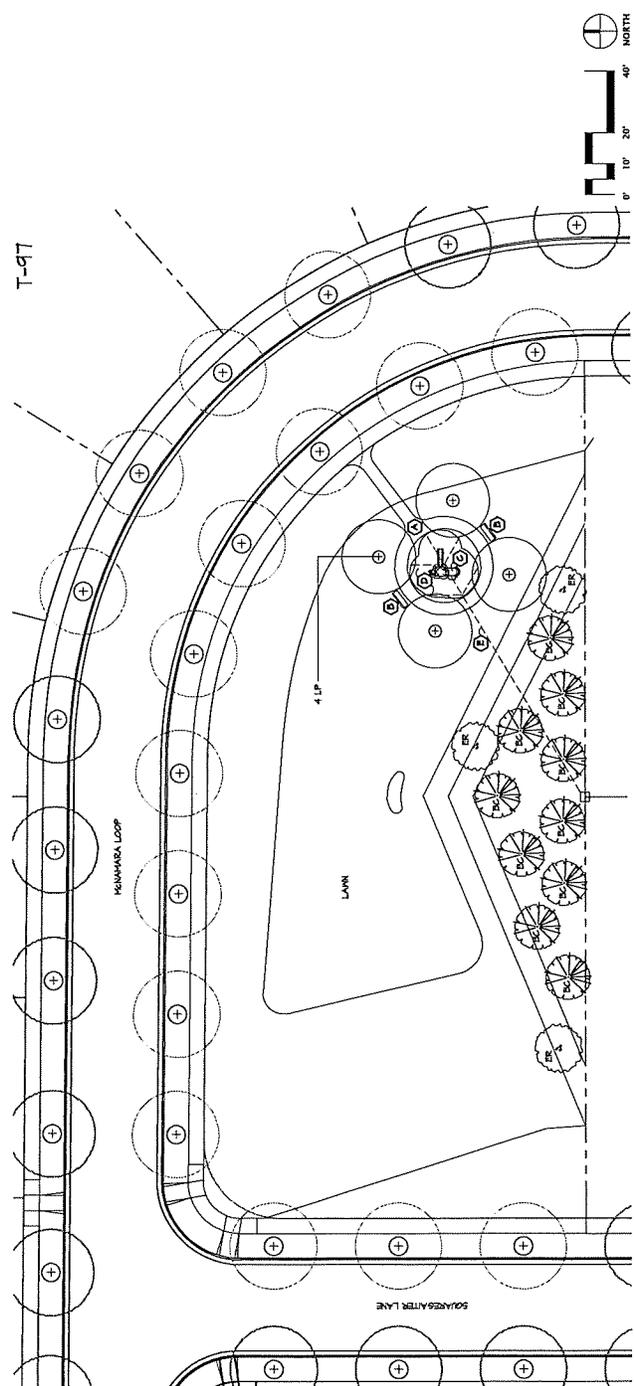
GENERAL NOTES

1. EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES BEFORE BEGINNING CONSTRUCTION TO AVOID UTILITIES. WHETHER SHOWN ON THE PLANS OR NOT, THE CONTRACTOR SHALL CALL A UTILITY PROTECTION SERVICE TO MARK PRIOR TO CONSTRUCTION.
2. EXAMINE FRESH SURFACE GRADES, TOPSOIL QUALITY AND DEPTH. CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE. CONTRACTOR TO REPAIR TO THE SATISFACTION OF THE OWNER.
3. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS. GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
4. ALL PLANT TAGS TO BE CONTAINED WITHIN 3" DEEP HANDWOOD BARK HELIX BED.
5. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS. GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
6. FRESH GRADE TO BE MAINTAINED TO A SMOOTH AND CONTINUOUS SURFACE. CONTRACTOR TO REPAIR TO THE SATISFACTION OF THE OWNER.
7. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
8. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.



PLANT SET

SHADE TREE
 LONDON PLANE
 OR
 SHAMSHUIAL TREE
 OR
 EASTERN REDBUD



GENERAL NOTES

- EACH CONTRACTOR IS TO VERIFY WITH OWNERS AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. TO DETERMINE THE EXACT LOCATION OF UTILITIES, THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE TO MARKS PRIOR TO CONSTRUCTION.
- DO NOT PLANT ANY TREES, SHRUBS, OR PLANTS IN ANY AREAS THAT HAVE BEEN DAMAGED BY CONTRACTOR REPAIR TO THE SITE CONDITIONS UNLESS APPROVED BY THE CONTRACTOR.
- ALL PLANT MATERIALS TO BE CONTAINED WITHIN 8" DEEP HARDWOOD BARK MULCH BED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
- CONTRACTOR SHALL PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
- CONTRACTOR SHALL SEE TO IT THAT ALL PLANTING STANDARDS SET IN THE U.S.A. STAND AND FOR NURSERY STOCK.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.

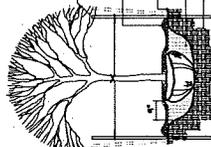
CODED NOTES

- CONCRETE SUBGRADE AND INTEGRAL PLANT SURFACE CONTAINMENT BENCH/CURBMENT PAVEMENT TO BE FURNISHED PER MODEL JF-2, ROAD, 4" LIGHT, BUILT POINT, OR SIMILAR.
- PLAY SURFACE - PLAYURDIO, POCO-100, OR SIMILAR.
- PLAY SURFACE - PLANNED WOOD FIBER INSTALL TO MIN. DEPTH REQUIRED FOR FALL HEIGHT OF SELECTED PLAY STRUCTURE.
- PLAY SURFACE INSIDE/OUT - 4" PERFORATED AGGREGATE WITH FILTER SOCK CONNECT TO NEAREST STORM STRUCTURE.

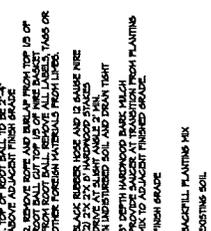
1 ENLARGEMENT - PARK PLAN

PLANT MATERIALS LIST

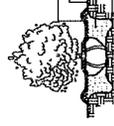
QTY.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	SHEET H	SHEET L2
142	ST	TEDDY BEAR TREE	COMMISSION	2 1/2" Cal.	B18	142	-
10	DC	BALD CYPRESS	Taxodium distichum	2 1/2" Cal.	B18	-	10
4	CS	COMMON HORNED LEMON	Thuja occidentalis	2 1/2" Cal.	B18	4	-
4	LP	BLOODGOOD LONDON PLANTINER	Palmetto x acuminata	2 1/2" Cal.	B18	-	4
2	RD	RED OAK	Quercus rubra	2 1/2" Cal.	B18	2	-
5	SH	SHINKAI OAK	Quercus imbricaria	2 1/2" Cal.	B18	5	-
24	NS	NORWAY SPRUCE	Picea abies	Ø 1 1/2"	B18	24	-
4	SS	SEASIDE SPRUCE	Picea canadensis	Ø 1 1/2"	B18	4	-
6	ER	EASTERN REDBUD	Gordonia lasiocarpa	Ø 1 1/2"	5 D124	6	3
5	PK	KNIGHTS BRASS	Crataegus villosa 'Nivalis'	2 1/2" Cal.	B18	5	-
3	PT	PRINCESTREE CRANAPPLE	Viburnum acerifolium	1.54" Cal.	B18	3	-
3	DR	DARK LEAF HYDRANGEA	Hydrangea glaucifolia	30" Hgt.	CONT.	3	-
3	RD	CARDINAL REDSEDER DOGWOOD	Cornus sericea 'Cardinal'	30" Hgt.	CONT.	3	-
3	HD	HARDY GRASS	Hesperantha maxima 'Vasey'	12"	CONT.	3	-
3	SS	SEASIDE SWITCH GRASS	Panicum virgatum 'Shenandoah'	12"	CONT.	3	-



2 EVERGREEN TREE PLANTING
 NTS
 NOTE: SEE BRACKETS AFTER ONE TYPE



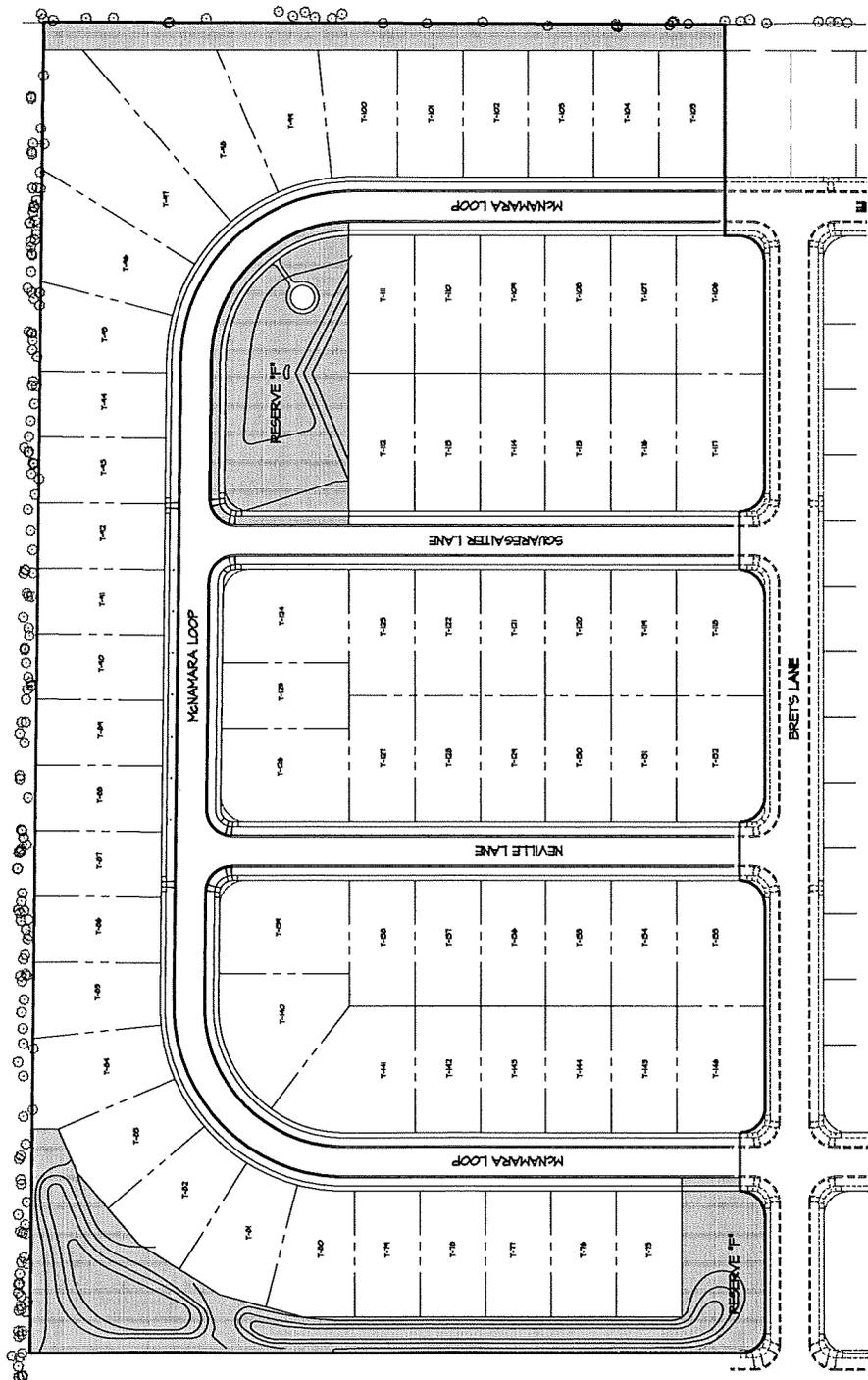
3 STREET TREE PLANTING
 NTS
 NOTE: SEE BRACKETS AFTER ONE TYPE



4 SHRUB PLANTING
 NTS
 NOTE: SEE BRACKETS AFTER ONE TYPE

REVISIONS	
NO.	DESCRIPTION

- GENERAL NOTES**
- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. TO DETERMINE THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 24 HOURS PRIOR TO CONSTRUCTION.
 - EXAMINE FINISH GRADES, TOPSOIL QUALITY AND DEPTH. CONTRACTOR SHALL VERIFY ALL FINISH GRADES AND TOPSOIL DEPTHS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
 - CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR REPAIR TO THE SATISFACTION OF THE OWNER.
 - CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
 - CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AND CONTINUAL GRADE FINE OF RESPAWNED DRIVE OR DEPRESSIONS.
 - CONTRACTOR SHALL SEED ALL AREAS DISTURBED DURING CONSTRUCTION. SEE PLAN.



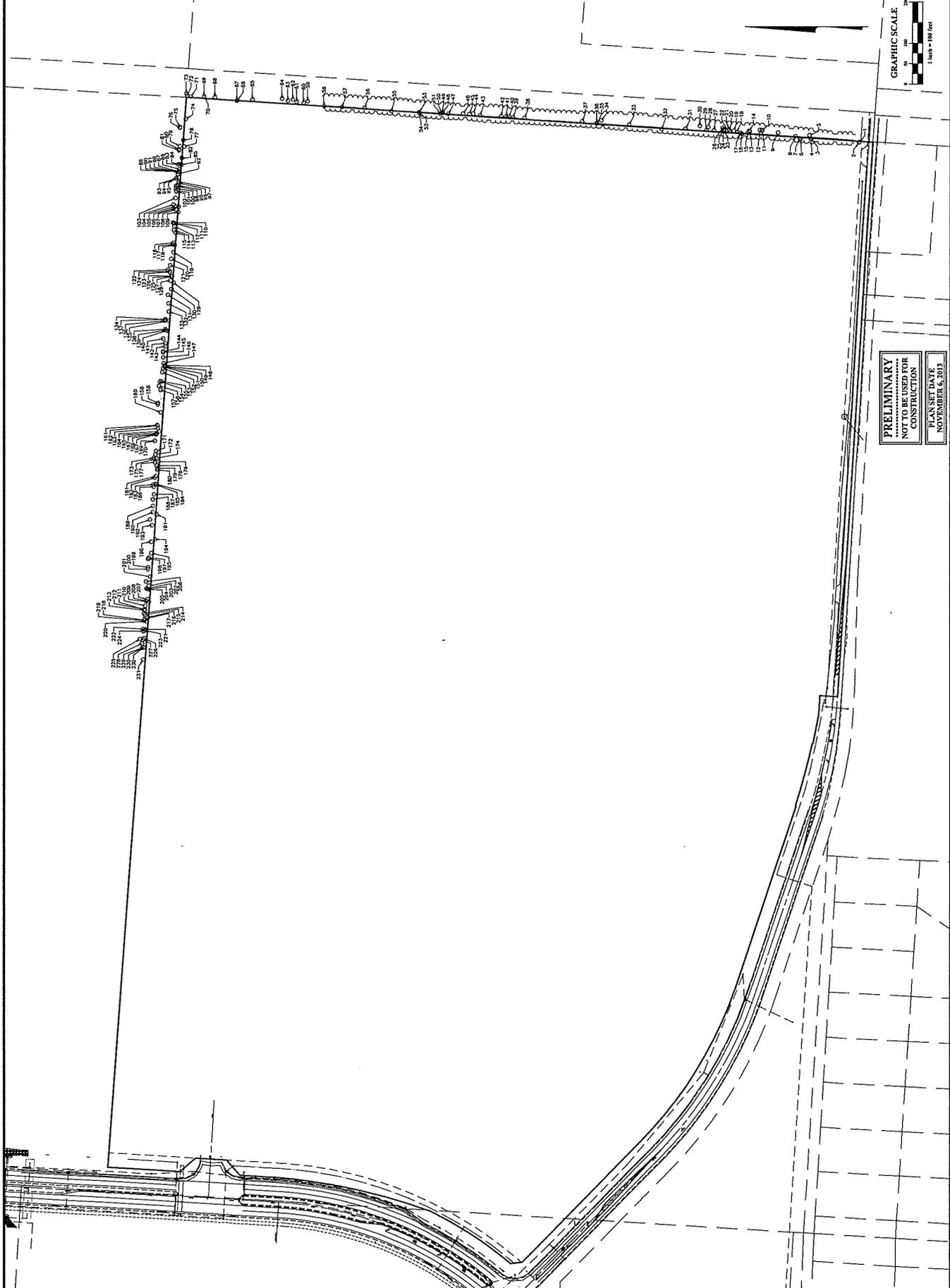
NO.	DATE	DESCRIPTION	REVISIONS

STAVROFF INTERESTS, LTD

CITY OF DELAWARE, OHIO
 PRELIMINARY DEVELOPMENT PLAN
 FOR
 HANOVER SUBDIVISION
 TREE SURVEY

DATE: NOVEMBER 6, 2013
 SCALE: 1" = 100'
 JOB NO.: 2003018
 SHEET: 8/9

EMHT
 ENGINEERING & ARCHITECTURE
 1000 W. DELAWARE STREET, SUITE 100
 DELAWARE, OHIO 43015
 PHONE: 614.266.7754
 FAX: 614.266.7755
 WWW.EMHT.COM



PRELIMINARY
 NOT TO BE USED FOR
 CONSTRUCTION
 PLAN SET DATE:
 NOVEMBER 6, 2013

TREE SURVEY LIST				
NUMBER	LATIN NAME	COMMON NAME	DBH	CONDITION
1	Fraxinus americana	White oak	20	Dead
2	Fraxinus americana	White oak	18	Dead
3	Fraxinus spp.	Ash	18	Dead
4	Fraxinus spp.	Ash	26	Dead
5	Fraxinus spp.	Ash	15	Dead
6	Ulmus rubra	Slippery elm	5	Good
7	Ulmus rubra	Slippery elm	5	Good
8	Ulmus rubra	Slippery elm	9	Good
9	Prunus serotina	Black cherry	8	Fair
10	Prunus serotina	Black cherry	18	Good
11	Menis spp.	Mulleberry	9	Good
12	Prunus serotina	Black cherry	6	Fair
13	Prunus serotina	Black cherry	6	Fair
14	Prunus serotina	Black cherry	10	Fair
15	Prunus serotina	Black cherry	8	Fair
16	Prunus serotina	Black cherry	6	Fair
17	Prunus serotina	Black cherry	8	Fair
18	Prunus serotina	Black cherry	14	Good
19	Prunus serotina	Black cherry	14	Good
20	Prunus serotina	Black cherry	11	Fair
21	Prunus serotina	Black cherry	11	Fair
22	Prunus serotina	Black cherry	6	Fair
23	Ulmus americana	American elm	6	Fair
24	Ulmus americana	American elm	8	Good
25	Fraxinus americana	White oak	10	Fair
26	Prunus serotina	Black cherry	6	Fair
27	Prunus serotina	Black cherry	6	Fair
28	Prunus serotina	Black cherry	8	Fair
29	Prunus serotina	Black cherry	8	Fair
30	Prunus serotina	Black cherry	9	Fair
31	Prunus serotina	Black cherry	7	Fair
32	Prunus serotina	Black cherry	6	Fair
33	Prunus serotina	Black cherry	6	Fair
34	Prunus serotina	Black cherry	32	Good
35	Quercus palustris	Pin oak	8	Good
36	Quercus palustris	Pin oak	6	Fair
37	Quercus palustris	Pin oak	30	Good
38	Quercus palustris	Pin oak	22	Good
39	Quercus palustris	Pin oak	13	Good
40	Quercus palustris	Pin oak	13	Good
41	Quercus palustris	Pin oak	13	Good
42	Quercus palustris	Pin oak	14	Good
43	Quercus palustris	Pin oak	24	Good
44	Ulmus americana	American elm	10	Good
45	Ulmus americana	American elm	10	Good
46	Ulmus americana	American elm	10	Good
47	Ulmus americana	American elm	20	Good
48	Ulmus americana	American elm	20	Good
49	Ulmus americana	American elm	10	Good
50	Fraxinus spp.	Ash	10	Good
51	Fraxinus spp.	Ash	18	Good
52	Morus canadensis	Wild crabapple	12	Good
53	Morus canadensis	Wild crabapple	6	Good
54	Morus canadensis	Wild crabapple	6	Good
55	Quercus palustris	Pin oak	8	Good
56	Fraxinus spp.	Ash	18	Good
57	Quercus rubra	Red oak	6	Good
58	Quercus rubra	Red oak	20	Good
59	Ulmus americana	American elm	6	Good
60	Ulmus americana	American elm	6	Good
61	Ulmus americana	American elm	10	Good
62	Quercus rubra	Red oak	38	Good
63	Corypha ovata	Shagbark hickory	9	Fair
64	Quercus rubra	Red oak	10	Good
65	Quercus macrocarpa	Bar oak	12	Good
66	Corypha ovata	Shagbark hickory	7	Good
67	Fraxinus spp.	Ash	9	Good
68	Corypha ovata	Shagbark hickory	11	Good
69	Corypha ovata	Shagbark hickory	13	Good
70	Corypha ovata	Shagbark hickory	7	Good
71	Corypha ovata	Shagbark hickory	8	Good
72	Corypha ovata	Shagbark hickory	8	Good
73	Fraxinus spp.	Ash	20	Good
74	Prunus serotina	Black cherry	7	Fair
75	Ulmus americana	American elm	7	Fair
76	Ulmus rubra	Slippery elm	6	Fair
77	Acer saccharum	Sugar maple	12	Good
78	Ulmus americana	American elm	8	Good
79	Acer saccharum	Sugar maple	10	Good
80	Acer saccharum	Sugar maple	7	Good
81	Acer saccharum	Sugar maple	6	Good
82	Corypha ovata	Shagbark hickory	14	Good
83	Acer saccharum	Sugar maple	7	Good
84	Corypha ovata	Shagbark hickory	8	Good
85	Acer negundo	Box elder	8	Good

TREE SURVEY LIST CONTINUED				
NUMBER	LATIN NAME	COMMON NAME	DBH	CONDITION
85	Acer negundo	Box elder	6	Poor
86	Acer negundo	Box elder	6	Poor
87	Acer rubrum	Red maple	7	Good
88	Acer rubrum	Red maple	12	Good
89	Acer rubrum	Red maple	12	Good
90	Acer rubrum	Red maple	14	Good
91	Acer rubrum	Red maple	10	Good
92	Acer rubrum	Red maple	10	Good
93	Acer rubrum	Red maple	6	Poor
94	Acer rubrum	Red maple	6	Good
95	Acer rubrum	Red maple	10	Good
96	Acer rubrum	Red maple	16	Good
97	Acer rubrum	Red maple	8	Fair
98	Acer rubrum	Red maple	15	Good
99	Acer rubrum	Red maple	10	Fair
100	Populus deltoides	Cottonwood	16	Good
101	Populus deltoides	Cottonwood	14	Good
102	Acer rubrum	Red maple	7	Fair
103	Acer rubrum	Red maple	7	Poor
104	Acer rubrum	Red maple	6	Fair
105	Acer rubrum	Red maple	5	Fair
106	Acer rubrum	Red maple	10	Good
107	Acer rubrum	Red maple	7	Good
108	Acer saccharum	Sugar maple	7	Fair
109	Acer saccharum	Sugar maple	11	Good
110	Celtis occidentalis	Hickory	9	Good
111	Acer rubrum	Red maple	10	Fair
112	Acer rubrum	Red maple	7	Fair
113	Celtis occidentalis	Hickory	7	Fair
114	Quercus macrocarpa	Bar oak	24	Good
115	Acer rubrum	Red maple	28	Good
116	Acer rubrum	Red maple	5	Good
117	Acer rubrum	Red maple	24	Good
118	Acer rubrum	Red maple	24	Good
119	Fraxinus pennsylvanica	Creech oak	10	Poor
120	Acer rubrum	Red maple	11	Good
121	Acer rubrum	Red maple	32	Good
122	Quercus alba	White oak	9	Fair
123	Acer rubrum	Red maple	14	Fair
124	Tilia americana	Beesee	7	Fair
125	Acer rubrum	Red maple	14	Good
126	Acer rubrum	Red maple	14	Good
127	Acer rubrum	Red maple	12	Good
128	Celtis occidentalis	Hickory	6	Good
129	Corypha ovata	Shagbark hickory	6	Good
130	Ulmus americana	American elm	12	Good
131	Quercus alba	White oak	12	Fair
132	Quercus alba	White oak	8	Fair
133	Celtis occidentalis	Hickory	10	Fair
134	Acer rubrum	Red maple	7	Good
135	Quercus alba	White oak	13	Good
136	Acer rubrum	Red maple	7	Good
137	Quercus alba	White oak	11	Good
138	Acer rubrum	Red maple	7	Good
139	Acer rubrum	Red maple	7	Good
140	Acer rubrum	Red maple	7	Good
141	Fagus grandifolia	Beech	15	Good
142	Acer rubrum	Red maple	10	Good
143	Acer rubrum	Red maple	5	Good
144	Fagus grandifolia	Beech	7	Good
145	Fagus grandifolia	Beech	10	Good
146	Acer rubrum	Red maple	12	Good
147	Acer rubrum	Red maple	6	Good
148	Acer rubrum	Red maple	18	Good
149	Acer rubrum	Red maple	10	Good
150	Acer rubrum	Red maple	6	Good
151	Acer rubrum	Red maple	14	Fair
152	Populus deltoides	Cottonwood	24	Good
153	Acer rubrum	Red maple	11	Fair
154	Acer rubrum	Red maple	13	Good
155	Corypha ovata	Shagbark hickory	10	Good
156	Acer rubrum	Red maple	16	Good
157	Acer rubrum	Red maple	16	Good
158	Acer rubrum	Red maple	6	Good
159	Corypha ovata	Shagbark hickory	12	Good
160	Acer rubrum	Red maple	14	Good
161	Acer rubrum	Red maple	12	Fair
162	Acer rubrum	Red maple	6	Good
163	Acer saccharum	Sugar maple	6	Good
164	Fagus grandifolia	Beech	6	Good
165	Acer rubrum	Red maple	10	Good
166	Acer rubrum	Red maple	20	Good
167	Populus deltoides	Cottonwood	10	Good
168	Populus deltoides	Cottonwood	10	Fair
169	Populus deltoides	Cottonwood	12	Good

TREE SURVEY LIST CONTINUED				
NUMBER	LATIN NAME	COMMON NAME	DBH	CONDITION
185	Acer rubrum	Red maple	10	Fair
186	Populus deltoides	Cottonwood	12	Good
187	Populus deltoides	Cottonwood	7	Fair
188	Quercus rubra	Shagbark hickory	11	Fair
189	Quercus rubra	Shagbark hickory	7	Good
190	Quercus rubra	Shagbark hickory	11	Fair
191	Fraxinus americana	White oak	13	Fair
192	Fraxinus americana	White oak	10	Dead
193	Fraxinus americana	White oak	6	Fair
194	Fraxinus americana	White oak	10	Dead
195	Quercus rubra	Shagbark hickory	6	Fair
196	Quercus rubra	Shagbark hickory	6	Fair
197	Quercus rubra	Shagbark hickory	8	Fair
198	Quercus rubra	Shagbark hickory	10	Poor
199	Fraxinus americana	White oak	8	Good
200	Fraxinus americana	White oak	18	Good
201	Quercus macrocarpa	Bar oak	18	Fair
202	Quercus macrocarpa	Bar oak	12	Good
203	Quercus macrocarpa	Bar oak	16	Fair
204	Quercus macrocarpa	Bar oak	11	Fair
205	Quercus macrocarpa	Bar oak	13	Good
206	Corypha ovata	Shagbark hickory	10	Good
207	Corypha ovata	Shagbark hickory	7	Good
208	Corypha ovata	Shagbark hickory	15	Good
209	Fraxinus americana	White oak	6	Poor
210	Quercus rubra	Shagbark hickory	7	Fair
211	Corypha ovata	Shagbark hickory	9	Good
212	Corypha ovata	Shagbark hickory	13	Good
213	Corypha ovata	Shagbark hickory	20	Good
214	Quercus macrocarpa	Bar oak	24	Good
215	Quercus macrocarpa	Bar oak	9	Good
216	Corypha ovata	Shagbark hickory	14	Good
217	Corypha ovata	Shagbark hickory	16	Good
218	Corypha ovata	Shagbark hickory	9	Good
219	Corypha ovata	Shagbark hickory	6	Good
220	Corypha ovata	Shagbark hickory	8	Good
221	Corypha ovata	Shagbark hickory	7	Poor
222	Corypha ovata	Shagbark hickory	10	Good
223	Corypha ovata	Shagbark hickory	8	Good
224	Populus deltoides	Cottonwood	20	Fair
225	Populus deltoides	Cottonwood	12	Fair
226	Populus deltoides	Cottonwood	11	Good
227	Populus deltoides	Cottonwood	35	Good
228	Populus deltoides	Cottonwood	8	Good
229	Quercus rubra	Shagbark hickory	11	Good
230	Corypha ovata	Shagbark hickory	11	Good
231	Corypha ovata	Shagbark hickory	13	Good
232	Corypha ovata	Shagbark hickory	11	Good
233	Prunus serotina	Black cherry	6	Poor
234	Prunus serotina	Black cherry	6	Fair
235	Corypha ovata	Shagbark hickory	6	Good
236	Gleditsia triacanthos	Honey locust	24	Fair
237	Gleditsia triacanthos	Honey locust	10	Poor
238	Prunus serotina	Black cherry	12	Poor
239	Prunus serotina	Black cherry	12	Poor
240	Quercus rubra	Shagbark hickory	24	Good
241	Quercus rubra	Shagbark hickory	20	Fair
242	Quercus rubra	Shagbark hickory	8	Good
243	Gleditsia triacanthos	Honey locust	6	Good
244	Gleditsia triacanthos	Honey locust	12	Fair
245	Gleditsia triacanthos	Honey locust	7	Good
246	Gleditsia triacanthos	Honey locust	7	Good
247	Gleditsia triacanthos	Honey locust	8	Good
248	Acer rubrum	Red maple	8	Good
249	Acer rubrum	Red maple	6	Good
250	Quercus alba	White oak	38	Good
251	Quercus alba	White oak	38	Good
252	Quercus prinus	Pin oak	78	Good

TREE SURVEY LIST CONTINUED				
NUMBER	LATIN NAME	COMMON NAME	DBH	CONDITION
185	Acer rubrum	Red maple	10	Fair
186	Populus deltoides	Cottonwood	12	Good
187	Populus deltoides	Cottonwood	7	Fair
188	Quercus rubra	Shagbark hickory	11	Fair
189	Quercus rubra	Shagbark hickory	7	Good
190	Quercus rubra	Shagbark hickory	11	Fair
191	Fraxinus americana	White oak	13	Fair
192	Fraxinus americana	White oak	10	Dead
193	Fraxinus americana	White oak	6	Fair
194	Fraxinus americana	White oak	10	Dead
195	Quercus rubra	Shagbark hickory	6	Fair
196	Quercus rubra	Shagbark hickory	6	Fair
197	Quercus rubra	Shagbark hickory	8	Fair
198	Quercus rubra	Shagbark hickory	10	Poor
199	Fraxinus americana	White oak	8	Good
200	Fraxinus americana	White oak	18	Good
201	Quercus macrocarpa	Bar oak	18	Fair
202	Quercus macrocarpa	Bar oak	12	Good
203	Quercus macrocarpa	Bar oak	16	Fair
204	Quercus macrocarpa	Bar oak	11	Fair
205	Quercus macrocarpa	Bar oak	13	Good
206	Corypha ovata	Shagbark hickory	10	Good
207	Corypha ovata	Shagbark hickory	7	Good
208	Corypha ovata	Shagbark hickory	15	Good
209	Fraxinus americana	White oak	6	Poor
210	Quercus rubra	Shagbark hickory	7	Fair
211	Corypha ovata	Shagbark hickory	9	Good
212	Corypha ovata	Shagbark hickory	13	Good
213	Corypha ovata	Shagbark hickory	20	Good
214	Quercus macrocarpa	Bar oak	24	Good
215	Quercus macrocarpa	Bar oak	9	Good
216	Corypha ovata	Shagbark hickory	14	Good
217	Corypha ovata	Shagbark hickory	16	Good
218	Corypha ovata	Shagbark hickory	9	Good
219	Corypha ovata	Shagbark hickory	6	Good
220	Corypha ovata	Shagbark hickory	8	Good
221	Corypha ovata	Shagbark hickory	7	Poor
222	Corypha ovata	Shagbark hickory	10	Good
223	Corypha ovata	Shagbark hickory	8	Good
224	Populus deltoides	Cottonwood	20	Fair



**CITY OF DELAWARE, OHIO
PLANNING & COMMUNITY DEVELOPMENT
MASTER APPLICATION FORM**

EST 1808
CITY OF
DELAWARE
OHIO

Project # _____

Case # 2017-1040 PDP 1032
2017-1041 FDP 2075

Planning Commission

- | | | |
|---|--|---|
| <input type="checkbox"/> Amended Final Development Plan | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use <u>1032</u> |
| <input type="checkbox"/> Amended Final Subdivision Plat | <input checked="" type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Vacation-Alley <u>2017-1042 PDP</u> |
| <input type="checkbox"/> Amended Preliminary Development Plan | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement <u>7951</u> |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat | <input type="checkbox"/> Floodplain Permit | <input type="checkbox"/> Vacation-Street <u>2017-1043</u> |
| <input type="checkbox"/> Annexation Review | <input type="checkbox"/> Lot Split | <input type="checkbox"/> <u>Board of Zoning Appeals</u> |
| <input checked="" type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement | <input type="checkbox"/> Appeal Administrative Decision or Interpretation <u>4170</u> |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Development Plan | <input type="checkbox"/> Conditional Use Permit |
| <input type="checkbox"/> Concept Plan | <input type="checkbox"/> Preliminary Dev Plan Extension | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit | <input checked="" type="checkbox"/> Preliminary Sub Plat | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Determination of Similar Use | <input type="checkbox"/> Preliminary Sub Plat Extension | |
| <input type="checkbox"/> Development Plan Exemption | <input type="checkbox"/> Rezoning | |
| <input type="checkbox"/> Final Development Plan | <input type="checkbox"/> Subdivision Variance | |

Subdivision/Project Name Belmont Place Phases 4 & 5 Address 223 Peachblow Road

Acreage +/- 21.5 Square Footage N/A Number of Lots 72 Number of Units 72

Zoning District/Land Use PMU-R3 Proposed Zoning/Land Use PMU/SF Parcel # 41833001032000

Applicant Name Glenn Road Capital, LLC Contact Person Kevin McCauley

Applicant Address 6689 Dublin Center Drive, Dublin, Ohio 43017

Phone 614-764-9981 Fax _____ E-mail kevin@stavroff.com

Owner Name Glenn Road Capital, LLC Contact Person Kevin McCauley

Owner Address 6689 Dublin Center Drive, Dublin, Ohio 43017

Phone 614-764-9981 Fax _____ E-mail kevin@stavroff.com

Engineer/Architect/Attorney Edge Contact Person Greg Chillo

Address 330 West Spring Street, Columbus, Ohio 43215

Phone 614-486-3343 Fax _____ E-mail gchillo@edgela.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

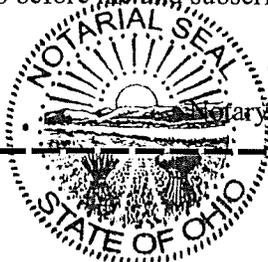
[Signature]
Owner Signature

Kevin McCauley - Authorized Agent Glenn Road Capital, LLC
Owner Printed Name

[Signature]
Agent Signature

Kevin McCauley - Authorized Agent Glenn Road Capital, LLC
Agent Printed Name

Sworn to before me and subscribed in my presence this 2nd day of May, 2017



CRISTINA E. DIONNE
NOTARY PUBLIC
FOR THE
STATE OF OHIO
My Commission Expires
November 28, 2021

[Signature]
Notary Public