

**CITY OF DELAWARE
PLANNING COMMISSION
AGENDA**

**CITY COUNCIL CHAMBERS
1 S. SANDUSKY ST.
7:00 P.M.**

REGULAR MEETING

SEPTEMBER 7, 2016

1. ROLL CALL
2. APPROVAL of the Motion Summary of the Planning Commission meeting held on August 3, 2016, as recorded and transcribed.
3. REGULAR BUSINESS
 - A. 2016-2522: A request by Georgetown Properties of Delaware for approval for a Development Plan Exemption for a maintenance building addition to Georgetown Apartments on approximately 0.77 acres zoned R-6 (Multi-Family Residential District) and located at 80 Georgetown Drive.

Anticipated Process

 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public comment (no public hearing)
 - d. Commission Action
 - B. 2016-2630: A request by the Hamilton Parker Company for approval of a Development Plan Exemption for a new storage structure to the Hamilton Parker Company facility on 2.627 acres zoned R-4 (Medium Density Residential District) and located at 188 East William Street.

Anticipated Process

 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public comment (no public hearing)
 - d. Commission Action
 - C. Lantern Chase
 - (1) 2016-2530: A request by Westport Homes for approval of a Final Subdivision Plat for Lantern Chase Phase 2 Section 6 Part 2 consisting of 45 single family lots on approximately 30.316 acres zoned R-3 (One Family Residential District) and located on Glemsbury Drive, Connaught Place, Cedar Creek Street and Lanthorn Pond Drive.
 - (2) 2016-2531: A request by Westport Homes for approval of a Final Subdivision Plat for Lantern Chase Phase 2 Section 6 Part 3 consisting of 35 single family lots on approximately 8.049 acres zoned R-3 (One Family Residential District) and located on Connaught Place and Marblewood Drive.

Anticipated Process

 - a. Staff Presentation
 - b. Applicant Presentation

- c. Public comment (no public hearing)
- d. Commission Action

- 4. PLANNING DIRECTOR'S REPORT
- 5. COMMISSION MEMBER COMMENTS AND DISCUSSION
- 6. NEXT REGULAR MEETING: October 19, 2016
- 7. ADJOURNMENT

**PLANNING COMMISSION
MOTION SUMMARY
August 3, 2016**

ITEM 1. Roll Call

Chairwoman Keller called the Planning Commission meeting to order at 7:00 p.m.

Members Present: Robert Badger, George Mantzoros, Jim Halter, Dean Prall, Vice-Chairman Stacy Simpson, and Chairwoman Lisa Keller

Staff Present: Jennifer Stachler, Assistant City Engineer, Lance Schultz, Zoning Administrator, and Dave Efland, Planning and Community Development Director

ITEM 2. Approval of the Motion Summary of the Planning Commission meeting held on July 6, 2016, as recorded and transcribed.

Motion: Mr. Badger moved to approve the Motion Summary for the July 6, 2016 meeting, seconded by Mr. Prall. Motion approved by a 5-0-1 (Halter) vote.

ITEM 3. REGULAR BUSINESS

A. Londontown Apartments

- (1) 2016-2049: A request by Delaware Housing Corporation for approval of a Rezoning Amendment for Londontown Apartments on approximately 0.88 acres (parcel #419-122-01-006-000) from B-3 (Community Business District) to R-6 (Multi-Family Residential District) and located at 300 Chelsea Street.
- (2) 2016-2050: A request by Delaware Housing Corporation for approval of a Combined Preliminary and Final Development Plan for a Parking Lot Expansion for Londontown Apartments on approximately 0.88 (parcel #419-122-01-006-000) on property zoned R-6 (Multi-Family Residential District) and located at 300 Chelsea Street.
- (3) 2016-2192: A request by Delaware Housing Corporation for approval of an Amendment of the Comprehensive Plan on property designated as Commercial on the future land use map to Moderate Density Multi-Family for Londontown Apartments on approximately 0.88 acres (parcel #419-122-01-006-000) on property zoned R-6 (Multi-Family Residential District) and located at 300 Chelsea Street.

Anticipated Process

a. Staff Presentation

Mr. Efland reviewed the proposed site plan. Discussion was held on proposed fencing plan.

b. Applicant Presentation

APPLICANT:

Mark Cameron
1495 Old Henderson Road
Columbus, Ohio 43220

c. Public comment (public hearing)

There was no public comment.

d. Commission Action

Motion: Mr. Prall moved to approve 2016-2049, along with all staff conditions and recommendations, seconded by Mr. Halter. Motion approved by a 6-0 vote.

Motion: Mr. Prall moved to approve 2016-2050, along with all staff conditions and recommendations, seconded by Mr. Halter. Motion approved by a 6-0 vote.

Motion: Mr. Prall moved to approve 2016-2051, along with all staff conditions and recommendations, seconded by Mr. Halter. Motion approved by a 6-0 vote.

B. 2016-2055: A request by Henderson Trucking for approval of a Development Plan Exemption for a Building Expansion on approximately 8.69 acres zoned M-2 (General Manufacturing District) and located at 124 Henderson Court.

Anticipated Process

a. Staff Presentation

Mr. Efland reviewed the proposed addition for storage purposes and proposed site plan.

b. Applicant Presentation

APPLICANT:

James Leeseberg
2550 Corporate Exchange
Columbus, Ohio

- c. Public comment (no public hearing)

There was no public comment.

- d. Commission Action

Motion: Mr. Badger moved to approve 2016-2055, along with all staff conditions and recommendations, seconded by Vice-Chairman Simpson. Motion approved by a 6-0 vote.

- C. 2016-2057: A request by Pulte Homes for approval of a Final Development Plan for a Pool House and Recreation Area for the Communities at Glenross on approximately 22.7 acres zoned R-2 PMU (One Family Residential District with a Planned Mixed Use Overlay District) and located north of Cheshire Road.

Anticipated Process

- a. Staff Presentation

Mr. Schultz reviewed the proposed site plan and pool house building elevations. Mr. Schultz discussed the role of the Home Owners Association in maintaining the pool, which will not be open to the public.

- b. Applicant Presentation

APPLICANT:

Joel West
4900 Tuttle Crossing Blvd.
Dublin, Ohio 43016

Mr. Prall requested information regarding the designated grass parking area. Mr. West discussed the use of the area for overflow parking and to determine the need for additional parking at a later time.

Mr. Prall voiced a concern regarding the visual location of the proposed sledding hill location. Mr. West discussed the design of the park to be a four season park. Mr. West discussed proposed landscape to buffer the hill from the road.

Mr. Prall requested additional information on the color scheme of the pool house and shelter house. Mr. West discussed the plan for the materials and timeline to open the pool.

Vice-Chairman Simpson discussed the location of the volleyball courts. Mr. West discussed the current location was to allow for a large open space.

Mr. West discussed condition number 6, and recommended the allowance for an aggregate base. Mr. West discussed the designated area is intended for golf carts parking. Mr. Efland recommends the use of asphalt for maintenance and consistency. The Commission was in agreement to staff condition number 6.

Mr. West discussed condition number 7 and requested the ability to raise the mounding and landscape with trees and not rows of shrubs to achieve headlight screening. Mr. Efland informed the Commission that these changes would fulfill the condition requirement.

c. Public comment (no public hearing)

PUBLIC PARTICIPATION:

Tom Bonacuse
880 Ballater Dr.
Delaware, Ohio 43015

Mr. Bonacuse voiced support for the inclusion of a sledding hill. Mr. Efland addressed Mr. Bonacuse question regarding why the park area will be open to the public.

Mr. Bonacuse requested signage to inform construction vehicles which roads to use.

d. Commission Action

Motion: Vice-Chairman Simpson moved to approve 2016-2057, along with all staff conditions and recommendations, seconded by Mr. Badger. Motion approved by a 6-0 vote.

D. Communities at Glenross- Section 8

- (1) 2016-2059: A request by Pulte Homes for approval of a Final Development Plan for the Communities at Glenross Section 8 consisting of 34 single family lots on approximately 10.967 acres zoned R-2 PMU (One Family Residential District with a Planned Mixed Use Overlay District) and located on Eaglewalk Road, White Fawn Run and Gray Owl Drive.
- (2) 2016-2060: A request by Pulte Homes for approval of a Final Subdivision Plat for the Communities at Glenross Section 8 consisting of 34 single family lots on approximately 10.967 acres zoned R-2 PMU (One Family Residential District with a Planned Mixed Use Overlay District) and located on Eaglewalk Road, White Fawn Run and Gray Owl Drive.

Anticipated Process

- a. Staff Presentation

Mr. Schultz reviewed the Approved Preliminary Development Plan and Plat.

- b. Applicant Presentation

APPLICANT:

Joel West
4900 Tuttle Crossing Blvd.
Dublin, Ohio 43016

- c. Public comment (no public hearing)

There was no public comment.

- d. Commission Action

Motion: Mr. Badger moved to approve 2016-2059, along with all staff conditions and recommendations, seconded by Mr. Halter. Motion approved by a 6-0 vote.

Motion: Mr. Badger moved to approve 2016-2060, along with all staff conditions and recommendations, seconded by Mr. Halter. Motion approved by a 6-0 vote.

E. Communities at Glenross - Section 9

(1) 2016-2061: A request by Pulte Homes for approval of a Final Development Plan for the Communities at Glenross Section 9 consisting of 29 single family lots on approximately 11.069 acres zoned R-2 PMU (One Family Residential District with a Planned Mixed Use Overlay District) and located on Crick Stone Drive and Silver Fox Way.

(2) 2016-2062: A request by Pulte Homes for approval of a Final Subdivision Plat for the Communities at Glenross Section 9 consisting of 29 single family lots on approximately 11.069 acres zoned R-2 PMU (One Family Residential District with a Planned Mixed Use Overlay District) and located on Crick Stone Drive and Silver Fox Way.

Anticipated Process

- a. Staff Presentation

Mr. Schultz reviewed the Approved Preliminary Development Plan and Plat.

b. Applicant Presentation

APPLICANT:

Joel West
4900 Tuttle Crossing Blvd.
Dublin, Ohio 43016

c. Public comment (no public hearing)

There was no public comment.

d. Commission Action

Motion: Vice-Chairman Simpson moved to approve 2016-2061, along with all staff conditions and recommendations, seconded by Mr. Mantzoros. Motion approved by a 6-0 vote.

Motion: Vice-Chairman Simpson moved to approve 2016-2062, along with all staff conditions and recommendations, seconded by Mr. Mantzoros. Motion approved by a 6-0 vote.

F. Communities at Glenross - Section 10

- (1) 2016-2063: A request by Pulte Homes for approval of a Final Development Plan for the Communities at Glenross Section 10 consisting of 34 single family lots on approximately 10.234 acres zoned R-2 PMU (One Family Residential District with a Planned Mixed Use Overlay District) and located on White Fawn Run and Gray Owl Drive.
- (2) 2016-2064: A request by Pulte Homes for approval of a Final Subdivision Plat for the Communities at Glenross Section 10 consisting of 34 single family lots on approximately 10.234 acres zoned R-2 PMU (One Family Residential District with a Planned Mixed Use Overlay District) and located on White Fawn Run and Gray Owl Drive.

Anticipated Process

a. Staff Presentation

Mr. Schultz reviewed the Approved Preliminary Development Plan and Plat.

b. Applicant Presentation

APPLICANT:

Joel West
4900 Tuttle Crossing Blvd.

Dublin, Ohio 43016

Mr. West discussed plans for mounding for Section 10.

c. Public comment (no public hearing)

There was no public comment.

d. Commission Action

Motion: Mr. Mantzoros moved to approve 2016-2063, along with all staff conditions and recommendations, seconded by Mr. Halter. Motion approved by a 6-0 vote.

Motion: Mr. Mantzoros moved to approve 2016-2064, along with all staff conditions and recommendations, seconded by Mr. Halter. Motion approved by a 6-0 vote.

G. Heatherton - Section 6

- (1) 2016-2073: A request by Pulte Homes for approval of a Final Development Plan for Heatherton Phase 6 consisting of 32 single family lots on approximately 9.020 acres zoned R-3 PRD (One Family Residential District with a Planned Residential Development District) and located on Clymer Street, Elbridge Street and Burgoyne Street.
- (2) 2016-2074: A request by Pulte Homes for approval of a Final Subdivision Plat for Heatherton Phase 6 consisting of 32 single family lots on approximately 9.020 acres zoned R-3 PRD (One Family Residential District with a Planned Residential Development District) and located on Clymer Street, Elbridge Street and Burgoyne Street.

Anticipated Process

a. Staff Presentation

Mr. Schultz reviewed the Approved Preliminary Development Plan and Plat. Discussion was held on location of park and open space. Discussion was held on the use of a park as a nature area.

b. Applicant Presentation

APPLICANT:

Joel West
4900 Tuttle Crossing Blvd.
Dublin, Ohio 43016

c. Public comment (no public hearing)

There was no public comment.

d. Commission Action

Motion: Mr. Halter moved to approve 2016-2073, along with all staff conditions and recommendations, seconded by Mr. Badger. Motion approved by a 6-0 vote.

Motion: Mr. Halter moved to approve 2016-2074, along with all staff conditions and recommendations, seconded by Mr. Badger. Motion approved by a 6-0 vote.

ITEM 4. PLANNING DIRECTOR'S REPORT

A. October's Meeting-Reschedule to October 19 from October 5

ITEM 5. COMMISSION MEMBER COMMENTS AND DISCUSSION

Mr. Mantzoros discussed the different activities occurring in the downtown area.

Mr. Prall requested information regarding the Comprehensive Plan.

Mr. Halter voiced a concern regarding the weeds on Houk Road near the cemetery. Mr. Halter voiced a concern regarding the land condition surrounding the CVS building on Houk Road.

Chairwoman Keller requested an update regarding the signage on Houk Road and U.S. 36.

ITEM 6. NEXT REGULAR MEETING: September 7, 2016

ITEM 7. ADJOURNMENT:

Motion: Chairwoman Keller moved for the August 3, 2016 Planning Commission meeting to adjourn. The meeting adjourned at 8:34 p.m.

Lisa Keller, Chairwoman

Elaine McCloskey, Clerk

CASE NUMBERS: 2016-2522
REQUEST: Development Plan Exemption
PROJECT: Georgetown Apartments
MEETING DATE: September 7, 2016

APPLICANT/OWNER

Georgetown Properties of Delaware
80 Georgetown Drive
Delaware, Ohio 43015

REQUESTS

2016-2522: A request by Georgetown Properties of Delaware for approval of a Development Plan Exemption for a maintenance building addition to Georgetown Apartments on approximately 0.77 acres zoned R-6 (Multi-Family Residential District) and located at 80 Georgetown Drive.

PROPERTY LOCATION & DESCRIPTION

The subject parcel located at 80 Georgetown Drive encompasses approximately 0.77 acres and is located east of Georgetown Drive. The subject site is zoned R-6 (Multi-Family Residential) as are the properties to the north and south. The property to the east is zoned R-1 (One-Family Residential District) and the property to the west is zoned R-4 (Medium Density Residential District).

BACKGROUND/PROPOSAL

The subject eight building apartment complex was constructed in 1975 and the owner is requesting to construct a one story maintenance building addition to the northern most apartment building that encompasses approximately 840 square foot. The addition would be on the eastern portion of the building and would include a new driveway to connect to the existing parking lot.

STAFF ANALYSIS

- **COMPREHENSIVE PLAN:** The subject site is located in the Delaware Run Sub-Area of the Comprehensive Plan with a land-use designation of "Moderate Density Multi-Family". The site is surrounded by Moderate Density Multi-Family designation to the north and south, Institutional to the east and High Density Single Family to the west. The subject site achieves compliance with the Comprehensive Plan.
- **ZONING:** The construction of the proposed building addition requires a Development Plan Exemption approved by the Planning Commission.
- **GENERAL ENGINEERING:** Per the Engineering Department, the proposed minor addition would not require any engineering approvals.
- **ROADS AND ACCESS:** The access to the site would remain the same from Georgetown Drive through the parking lot to the proposed addition.
- **SITE CONFIGURATION:** The proposed 840 square foot one story maintenance building addition would be located on the east side of the northern most apartment building. The proposed building would be setback 30 feet from the side property line which achieves compliance with zoning code. A new drive way would be extended from the existing parking lot to access the new overhead door of the addition. The proposed addition would remove a piece of playground equipment that would be relocated with new playground equipment between buildings at 60 and 72 Georgetown Drive located on the southern portion of the apartment complex. Also, it is imperative the owner ensures that the proposed addition would not be constructed over any existing utility services.
- **DESIGN:** The proposed one story addition would be constructed of brick with a pitched roof with asphalt shingles to match the adjacent apartment building. A man door and overhead door would access the addition with a window located just west of the man door.
- **LANDSCAPING & SCREENING:** No additional landscaping is proposed nor would be required with the minor addition.
- **TREE PRESERVATION:** No trees would be removed in the construction of the building addition.
- **SIGNAGE:** No additional signage is requested in this proposal.
- **LIGHTING:** No light poles are proposed.

- **DEVELOPMENT PLAN EXEMPTION:** Section 1129.06(k) of the Zoning Code authorizes the Director of Planning and Community Development to exempt small incidental construction, which does not result in an adverse impact to the site or surroundings, from the development plan review process. Should the Director make such a determination, the Planning Commission shall confirm or overturn the determination.

Section 1129.06(k) Development Plan Exemption. When a minor alteration is proposed to an existing building, structure, use or site arrangement the Director of Planning and Community Development may make a preliminary determination that such a proposal is not contrary to the Zoning Ordinance and will not result in any material adverse impact to the site or surrounding areas. In such case, the Director may further determine that such proposal is not subject to development plan review. Such determination shall primarily apply to small incidental construction on large zoning lots and when the proposed construction is substantially distant and screened from the adjacent roadways and property lines.

If the Director makes a determination that such a proposal is not a minor alteration, the proposal shall fully comply with the development plan review procedures in Chapter 1129.

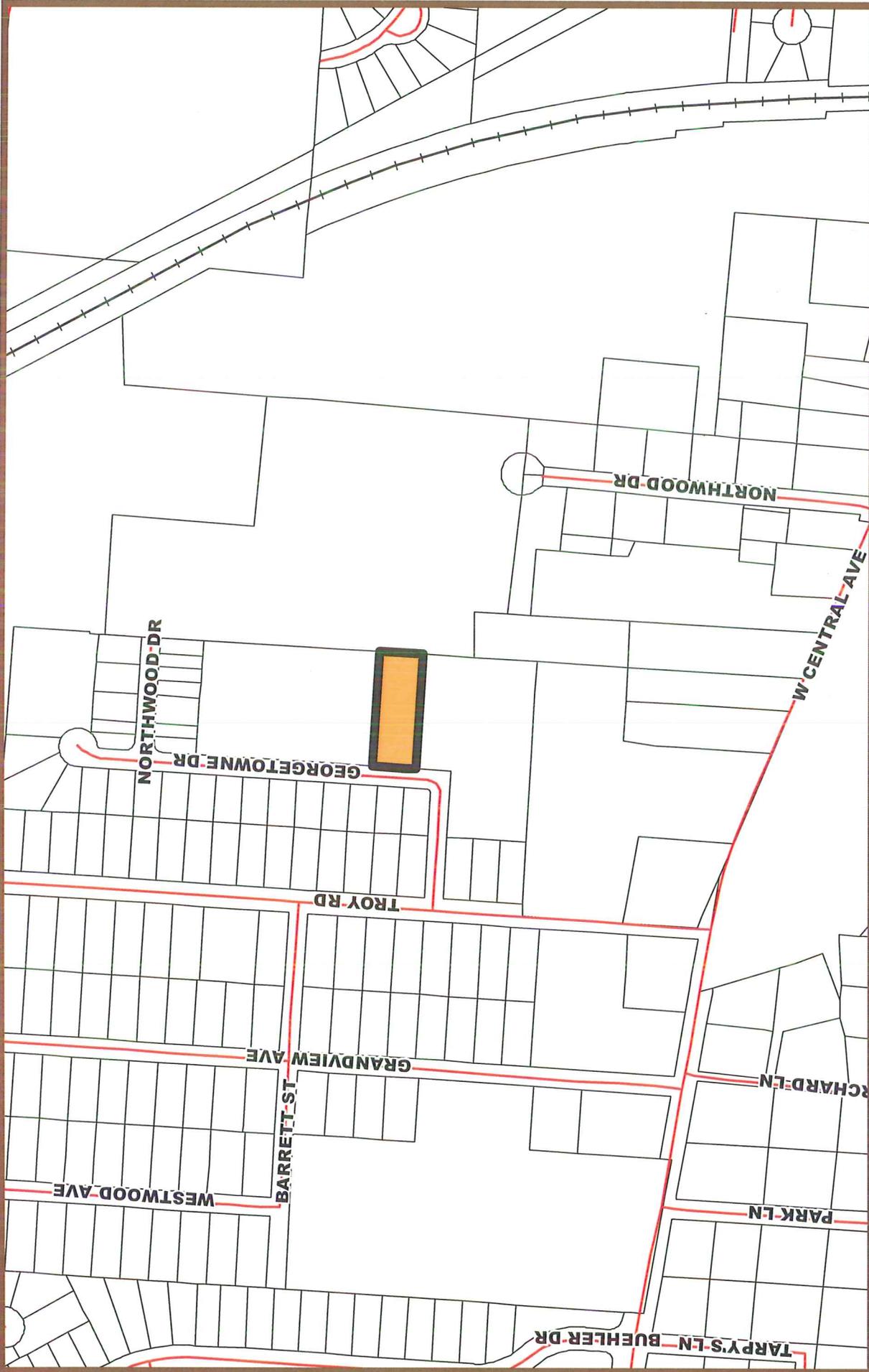
- (1) When the Director of Planning and Community Development makes such preliminary determination of administrative approval, the proposal shall be placed on the agenda of the next regularly scheduled Planning Commission meeting. At such meeting, the Planning Commission shall, by motion and majority vote, either:
 - A. Confirm the Director of Planning and Community Development's preliminary determination, in which case, the Director may issue a certificate of zoning compliance; or
 - B. Overturn the Director of Planning and Community Development's determination and, in so doing, require that the proposal fully comply with the development plan review procedures in Section 1129.06.

The Director finds, preliminarily, that this proposal with the conditions noted, is a minor alteration, with no adverse impacts to the site or surroundings, and is not contrary to the Zoning Code.

STAFF RECOMMENDATION – DEVELOPMENT PLAN EXEMPTION (2016-2522)

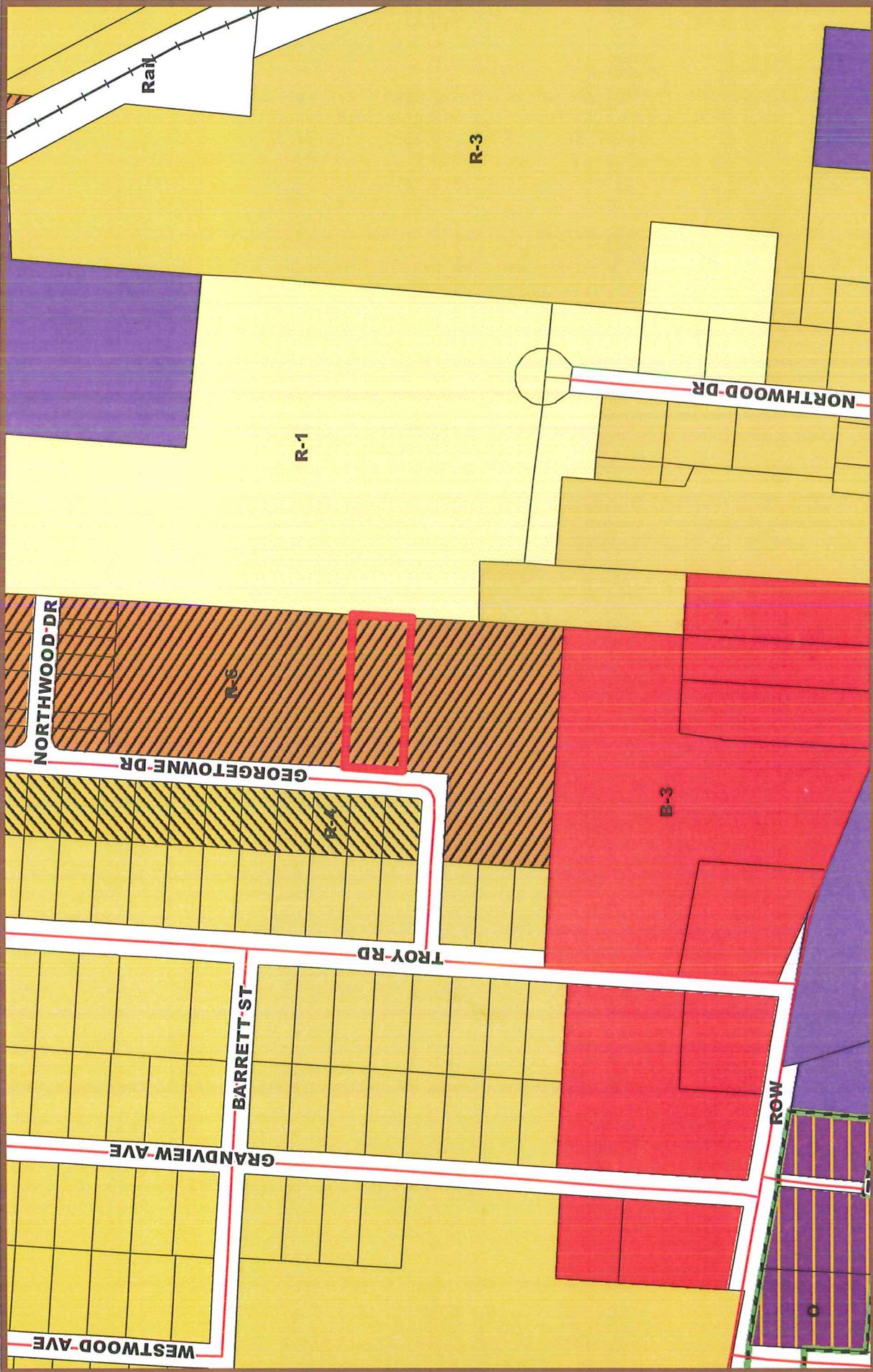
Staff recommends approval of a request by Georgetown Properties of Delaware for a Development Plan Exemption for a maintenance building addition to Georgetown Apartments on approximately 0.77 acres zoned R-6 (Multi-Family Residential District) and located at 80 Georgetown Drive, with the following conditions that:

1. The proposed building addition shall match the existing building in construction materials, design and color.
2. The proposed new play equipment shall be installed prior to or concurrently with the construction of the new addition.



2016-2522
Development Plan Exemption
Georgetown Apartments - 80 Georgetown Drive
Location Map





2016-2522
 Development Plan Exemption
 Georgetown Apartments - 80 Georgetown Drive
 Zoning Map



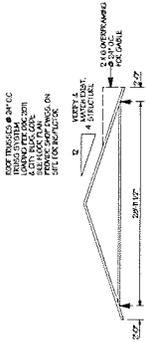


2016-2522
 Development Plan Exemption
 Georgetown Apartments - 80 Georgetown Drive
 Aerial (2013)

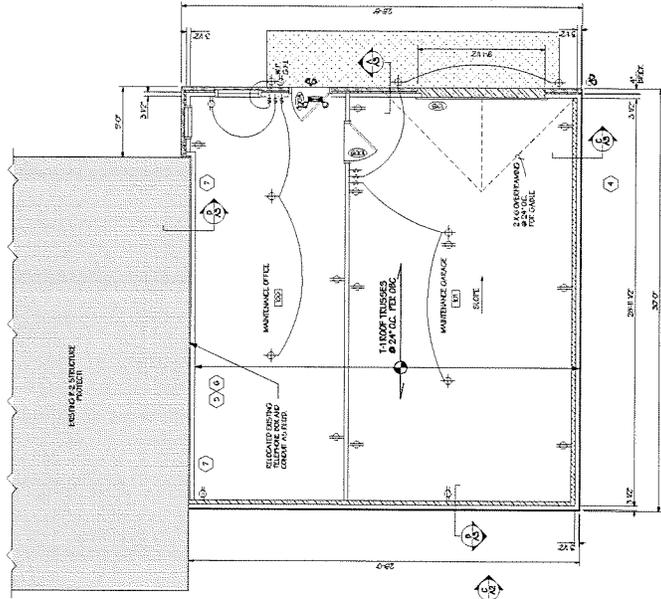


CODED NOTES:

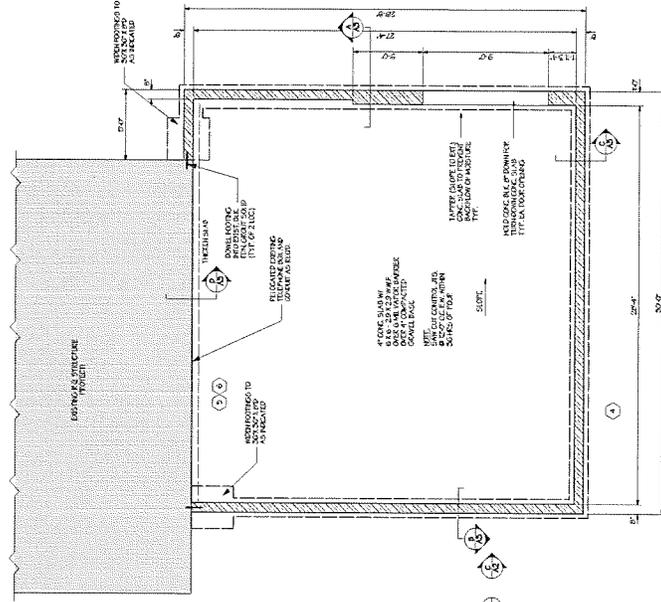
1. GENERAL CONTRACTOR AND SUBCONTRACTORS TO VERIFY ALL NECESSARY PERMITS ARE OBTAINED FROM ALL APPLICABLE AGENCIES.
2. COORDINATE ALL UTILITY ALL ACCESS, UTILITIES, EXISTING AND PROPOSED, AND ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. VERIFY ALL UTILITIES ARE PROPERLY LOCATED AND DEPT. RECORDS AND FIELD SURVEYING. VERIFY ALL UTILITIES ARE PROPERLY LOCATED AND DEPT. RECORDS AND FIELD SURVEYING.
3. VERIFY ALL UTILITIES (EXISTING AND PROPOSED) ARE PROPERLY LOCATED AND DEPT. RECORDS AND FIELD SURVEYING. VERIFY ALL UTILITIES ARE PROPERLY LOCATED AND DEPT. RECORDS AND FIELD SURVEYING.
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5. FLOORING FINISHES SHALL BE AS SHOWN IN THE ARCHITECTURAL DRAWINGS. VERIFY ALL FINISHES ARE PROPERLY LOCATED AND DEPT. RECORDS AND FIELD SURVEYING.
6. VERIFY ALL FINISHES (EXISTING AND PROPOSED) ARE PROPERLY LOCATED AND DEPT. RECORDS AND FIELD SURVEYING. VERIFY ALL FINISHES ARE PROPERLY LOCATED AND DEPT. RECORDS AND FIELD SURVEYING.
7. VERIFY ALL FINISHES (EXISTING AND PROPOSED) ARE PROPERLY LOCATED AND DEPT. RECORDS AND FIELD SURVEYING. VERIFY ALL FINISHES ARE PROPERLY LOCATED AND DEPT. RECORDS AND FIELD SURVEYING.



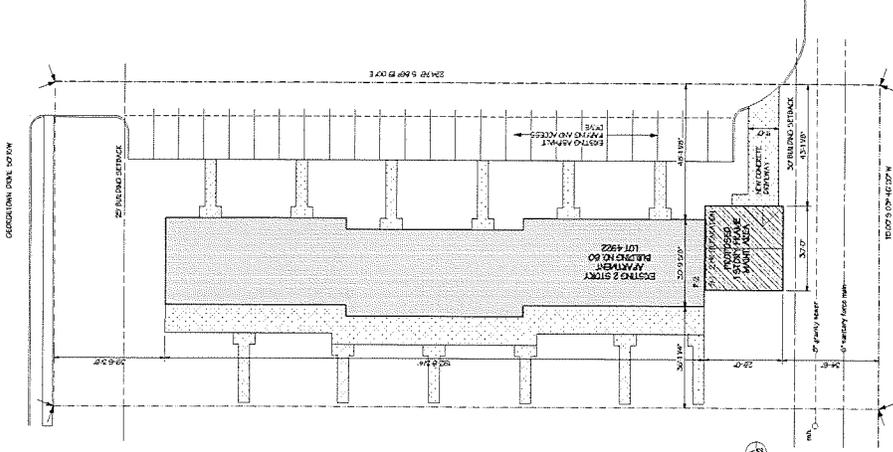
T-1 TRUSS DIAGRAM
10' x 10'



FLOOR PLAN
10' x 10'



FOOTING & FOUNDATION PLAN
10' x 10'



SITE PLAN
10' x 10'

MAINTENANCE GARAGE ADDITION TO
4922 GEORGETOWN VILLAGE NO. 4
DELAWARE, DELAWARE CTRY, OHIO

JOHN A. ERICSSON
ARCHITECT
1001 W. 10TH ST., SUITE 100
COLUMBUS, OHIO 43260

KEEP AT LEAST 3 FEET CLEARANCE FROM ALL UTILITIES AND STRUCTURES.



1416



05-10-16

A1



**CITY OF DELAWARE, OHIO
PLANNING & COMMUNITY DEVELOPMENT
MASTER APPLICATION FORM**



Project # _____

Case # 2016-2522 PPE

Planning Commission

- | | | |
|--|---|---|
| <input type="checkbox"/> Amended Final Development Plan | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use |
| <input type="checkbox"/> Amended Final Subdivision Plat | <input type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Vacation-Alley |
| <input type="checkbox"/> Amended Preliminary Development Plan | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat | <input type="checkbox"/> Floodplain Permit | <input type="checkbox"/> Vacation-Street |
| <input type="checkbox"/> Annexation Review | <input type="checkbox"/> Lot Split | Board of Zoning Appeals |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Development Plan | <input type="checkbox"/> Conditional Use Permit |
| <input type="checkbox"/> Concept Plan | <input type="checkbox"/> Preliminary Dev Plan Extension | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Preliminary Sub Plat | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Determination of Similar Use | <input type="checkbox"/> Preliminary Sub Plat Extension | |
| <input checked="" type="checkbox"/> Development Plan Exemption | <input type="checkbox"/> Rezoning | |
| <input type="checkbox"/> Final Development Plan | <input type="checkbox"/> Subdivision Variance | |

Subdivision/Project Name Georgetown Properties of Delaware Address 80 Georgetown

Acreage 0.77 AC Square Footage _____ Number of Lots _____ Number of Units _____

Zoning District/Land Use _____ Proposed Zoning/Land Use _____ Parcel # _____

Applicant Name Georgetown Properties of Delaware Contact Person Chris Bailey

Applicant Address 80 Georgetown DR. Delaware Ohio

Phone 614-348-2250 Fax _____ E-mail chris_b1022@yahoo.com

Owner Name Same Contact Person Same

Owner Address Same

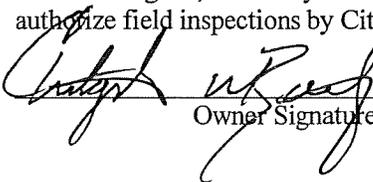
Phone _____ Fax _____ E-mail _____

Engineer/Architect/Attorney John Eberts Architect Contact Person John Eberts

Address 165 ERIE RD

Phone 614-430-9770 Fax _____ E-mail jeberts@inway.net

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.


Owner Signature

Christopher Bailey
Owner Printed Name

Agent Signature

Agent Printed Name

Sworn to before me and subscribed in my presence this _____ day of _____, 20__.

Notary Stamp

Notary Public

CASE NUMBERS: 2016-2630

REQUEST: Development Plan Exemption

PROJECT: Hamilton Parker Company

MEETING DATE: September 7, 2016

APPLICANT/OWNER

Hamilton Parker Company
188 East William Street
Delaware, Ohio 43015

REQUEST

2016-2630: A request by the Hamilton Parker Company for approval of a Development Plan Exemption for a new storage structure to the Hamilton Parker Company facility on 2.627 acres zoned R-4 (Medium Density Residential District) and located at 188 East William Street.

PROPERTY LOCATION & DESCRIPTION

The subject parcel located at 188 East William Street encompasses approximately 2.627 acres and is located on the south side of East William Street just west of Frank Street. The subject site is zoned R-4 (Medium Density Residential District) as are the properties to the south, east and west. A property to the east is also zoned B-4 (General Business District) while the property to the north is un-zoned railroad right-of-way.

BACKGROUND/PROPOSAL

In 2001, the subject property received a use variance (BZA 01-45) to allow the subject use in the residential zoning district and City Council (Ordinance 01-143) approved a Combined Preliminary and Final Development Plan to allow the construction of the new warehouse on the subject site. Now the owner is proposing to construct a 4,000 square foot (40' x 100') storage structure located just south of the warehouse to store materials.

STAFF ANALYSIS

- **COMPREHENSIVE PLAN:** The subject site is located in the Downtown Sub-Area of the Comprehensive Plan with a land-use designation of "Mixed Use". The site is surrounded by Mixed Use designation to the east and west and Moderate Density Single Family to the south and east while there is no designation to the north as it is railroad right-of-way. The subject site achieves compliance with the Comprehensive Plan.
- **ZONING:** The construction of the proposed building addition requires a Development Plan Exemption approved by the Planning Commission.
- **GENERAL ENGINEERING:** Per the Engineering Department, the proposed pole barn would not require any engineering approvals.
- **ROADS AND ACCESS:** The access to the site would remain the same from Frank Road through the parking lot to the proposed storage structure.
- **SITE CONFIGURATION:** The proposed 4,000 square foot storage structure would be located just south of the existing warehouse and just east of the bike path to store materials and the like. There would be no other changes to the site.
- **DESIGN:** The proposed storage structure would be constructed of metal siding with a metal roof. The east elevation would have an overhead door and two man doors while the north elevation would have an overhead door.
- **LANDSCAPING & SCREENING:** No additional landscaping is proposed nor would be required with the proposed storage structure.
- **TREE PRESERVATION:** No trees would be removed in the construction of the storage structure.
- **SIGNAGE:** No additional signage is requested in this proposal.
- **LIGHTING:** No light poles are proposed.
- **DEVELOPMENT PLAN EXEMPTION:** Section 1129.06(k) of the Zoning Code authorizes the Director of Planning and Community Development to exempt small incidental construction, which does not result in an adverse impact to the site or surroundings, from the development plan review process. Should the Director make such a determination, the Planning Commission shall confirm or overturn the determination.

Section 1129.06(k) Development Plan Exemption. When a minor alteration is proposed to an existing building, structure, use or site arrangement the Director of Planning and Community Development may make a preliminary determination that such a proposal is not contrary to the Zoning Ordinance and will not result in any material adverse impact to the site or surrounding areas. In such case, the Director may further determine that such proposal is not subject to development plan review. Such determination shall primarily apply to small incidental construction on large zoning lots and when the proposed construction is substantially distant and screened from the adjacent roadways and property lines.

If the Director makes a determination that such a proposal is not a minor alteration, the proposal shall fully comply with the development plan review procedures in Chapter 1129.

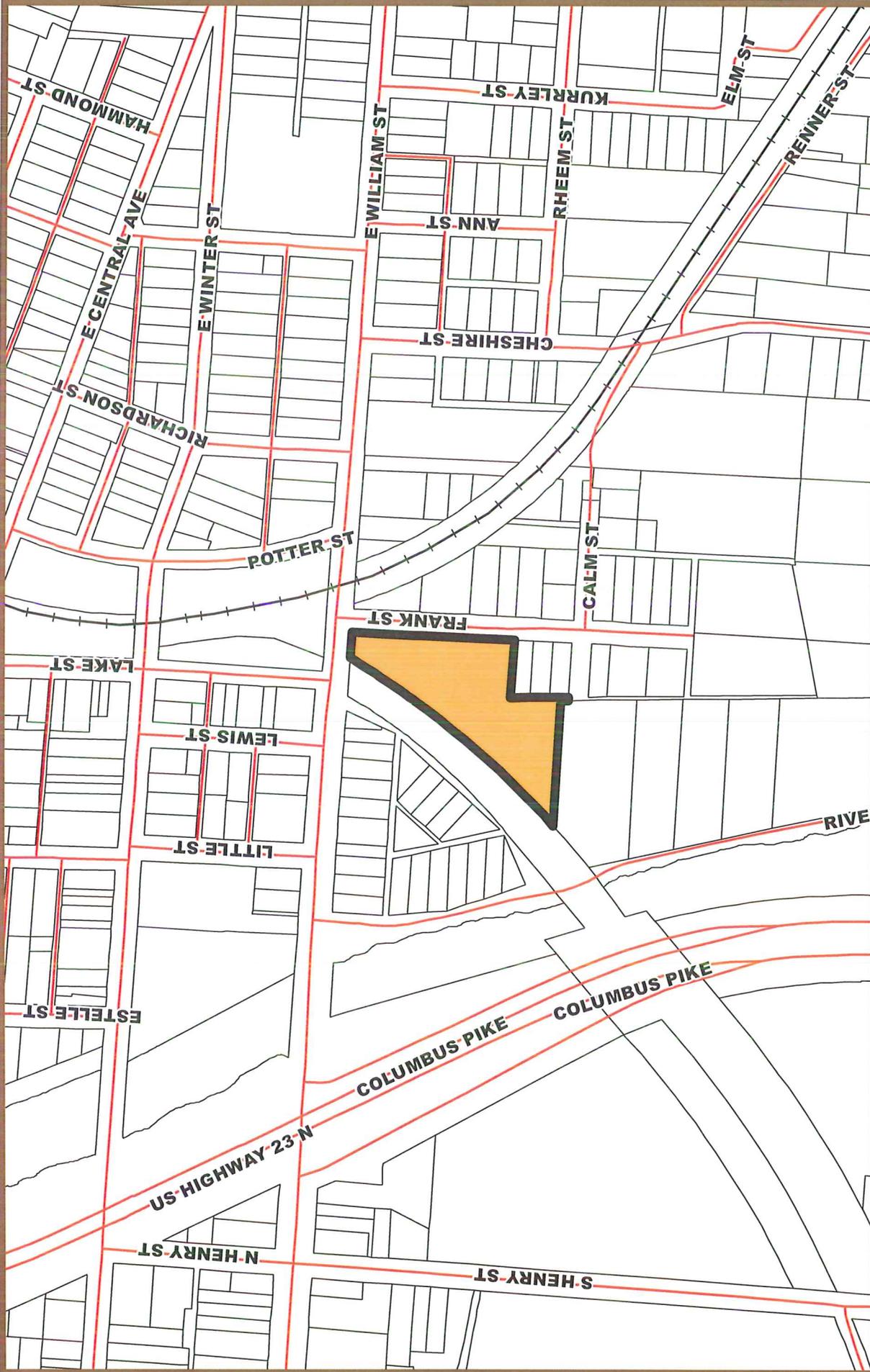
- (1) When the Director of Planning and Community Development makes such preliminary determination of administrative approval, the proposal shall be placed on the agenda of the next regularly scheduled Planning Commission meeting. At such meeting, the Planning Commission shall, by motion and majority vote, either:
 - A. Confirm the Director of Planning and Community Development's preliminary determination, in which case, the Director may issue a certificate of zoning compliance; or
 - B. Overturn the Director of Planning and Community Development's determination and, in so doing, require that the proposal fully comply with the development plan review procedures in Section 1129.06.

The Director finds, preliminarily, that this proposal with the conditions noted, is a minor alteration, with no adverse impacts to the site or surroundings, and is not contrary to the Zoning Code.

STAFF RECOMMENDATION – DEVELOPMENT PLAN EXEMPTION (2016-2630)

Staff recommends approval of a request by the Hamilton Parker Company of a Development Plan Exemption for a new storage structure to the Hamilton Parker Company facility on 2.627 acres zoned R-4 (Medium Density Residential District) and located at 188 East William Street, with the following conditions that:

1. The proposed storage structure shall be constructed per the submitted plans.
2. No hazardous materials as determined by the fire department shall be stored in the proposed storage structure.



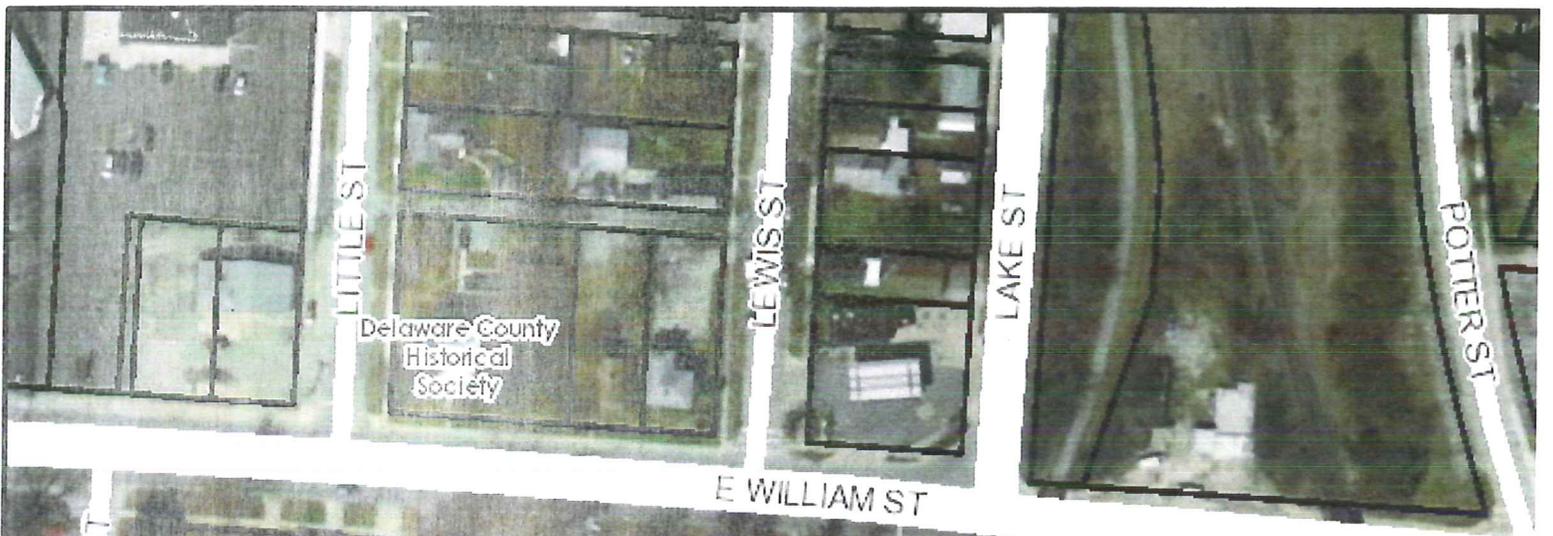
2016-2630
Development Plan Exemption
Hamilton Parker Company - 188 E. William Street
Location Map





2016-2630
Development Plan Exemption
Hamilton Parker Company - 188 E. William Street
Aerial (2013)





NEW CONSTRUCTION - DETACHED POLE BARN

188 E. WILLIAM STREET

DELAWARE, OHIO



NO.	REVISION

PROJECT: NEW CONSTRUCTION - DETACHED POLE BARN
PREPARED FOR: RATAI BUILDERS
 NEWARK, OHIO
 DELAWARE, OH
 HAMILTON PARKER COMPANY

SHEET TITLE	COVER PAGE/GENERAL NOTES
PROJECT NO.	69068-3448
DATE: 8/17/16	
DRAWN BY: JAK	REVIEWED BY: JAK
1	of 6

6.00 DOORS & WINDOWS (CONT.)

6.06 EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM CLEAR HEIGHT OF 80 INCHES (2030 MM) MEASURED TO THE TOP OF THE OPENING. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (508 MM).

6.07 THE BOTTOM OF THE EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 18 INCHES (457 MM) ABOVE THE FINISHED FLOOR.

DESIGN CRITERIA

GOVERNING CODE AND BUILDING CODE (2011)
 BUILDING CLASSIFICATION: N/A
 CONSTRUCTION TYPE: N/A
 OCCUPANCY: N/A

[Wind loading]
 Wind speed (V): 130 mph (3 second gust)
 Exposure category: B
 Risk factor (K): 1.0
 Gust effect factor (G): 0.9
 Directional area factor (K_d): 1.0
 Topographic factor (K_t): 1.0
 Importance factor (I): 1.0

[Floor loading]
 Dead load: 10 psf
 Live load: 40 psf

[Snow loading]
 Ground snow load (P_g): 20 psf
 Exposure factor (K_e): 0.9
 Thermal factor (T): 1.0

[Roof loading]
 Live load: 20 psf

5.00 INTERIOR FINISHES (CONT.)

5.04 ALL INTERIOR FINISHES SHALL BE FASTENED/ADHERED TO THE SUBSTRATE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS OR AS DESCRIBED IN THE GOVERNING BUILDING CODE.

6.00 DOORS & WINDOWS

6.01 ALL OF THE DESIGN, CONSTRUCTION, AND PLACEMENT OF DOORS AND WINDOWS SHALL BE IN ACCORDANCE WITH THE GOVERNING BUILDING CODE.

6.02 ALL MEANS OF EGRESS IN THE STRUCTURE SHALL BE IN ACCORDANCE WITH THE GOVERNING BUILDING CODE.

6.03 PROVIDE TEMPERED GLAZING ON WINDOWS/DOORS IN ALL AREAS DEEMED HAZARDOUS BY THE GOVERNING BUILDING CODE.

6.04 ALL WINDOWS, GLAZING, PARTITIONS, AND GLASS PARTITIONS SHALL BE CALKED/SEALED ALL SIDES OF THE OPENING AND ALL WINDOW/DOOR HEADERS SHALL BE INSTALLED IN ACCORDANCE WITH THE GOVERNING BUILDING CODE.

6.05 ALL EXITS AND EXIT DOORS SHALL BE MARKED BY AN APPROVED, READILY VISIBLE, ILLUMINATED EXIT SIGN.

4.00 FOUNDATION/CONCRETE NOTES

4.01 ALL CONCRETE USED/INSTALLED FOR FOUNDATIONS SHALL BE IN ACCORDANCE WITH THE GOVERNING BUILDING CODE (13.03 OF 2009PCA PER 2013 RC0 TABLE R402.2, AFTER 28 DAYS.

4.02 ALL FOUNDATIONS/FOOTINGS SHALL BE PLACED/INSTALLED ON A SUFFICIENTLY COMPACTED AND DRAINAGE CAPABLE SURFACE. GRADE OR AS REQUIRED BY MUNICIPALITY TO MAINTAIN FRESH DEPTH.

4.03 THE MINIMUM FOUNDATION/FOOTING WITH SMALL COMPLY WITH ALL REQUIREMENTS FOUND IN TABLE R402.1 OF THE 2013 RC0.

4.04 ALL SPREAD FOUNDATIONS/FOOTINGS SHALL BE A MINIMUM OF 8-INCHES THICK PER SECTION R403.1.1 OF THE 2013 RC0.

5.00 INTERIOR FINISHES

5.01 ALL INTERIOR FINISHES SHALL MEET OR EXCEED THE REQUIREMENTS PROVIDED BY THE GOVERNING BUILDING CODE.

5.02 INTERIOR FINISHES INCLUDE, BUT ARE NOT LIMITED TO, MATERIAL/TRIM, AND MOVABLE PARTITIONS.

5.03 INTERIOR FLOOR FINISHES INCLUDE, BUT ARE NOT LIMITED TO, COMMERCIAL GRADE CARPET, SHIP-PROOF LINOLEUM, VINYL, AND/OR ENGINEERED WOOD FLOORING PRODUCTS.

2.00 INSTALLATION NOTES (CONT.)

2.09 FLOOR FINISHES SHALL BE INSTALLED OVER CERAMIC TILE FLOORING ON WOOD FRAMED FLOOR JOIST SYSTEMS.

2.10 FLOOR FINISHES SHALL BE 3/4-INCH (19.05 MM) THICK AND CROWN ORIENTED STRAND BOARD (OSB), GLEUED AND NAILS TO SUPPORTING STRUCTURE. PANEL SPAN RATING SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION REQUIREMENTS.

2.11 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DIMENSIONS SHOWN ON DRAWINGS. DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO ERECTION. CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO ERECTION.

2.12 EACH CORNER OF A FRAMED WALL SHALL BE INSTALLED AT 16" O.C. (MAX).

2.13 ALL WALL STUDS SHALL BE SPACED AT 16" O.C. (MAX).

2.14 PROVIDE LUMBER BLOCKING AS REQUIRED IN FRAMED WALLS FOR ALL LIGHT FIXTURES, CABINETS, BRACKETS, HANDLES, OPTISM BURNER, ETC.

2.15 PREDRILLING SHALL BE PROVIDED TO CUT OFF ALL STUDS AND TO PROVIDE AN EFFECTIVE BARRIER BETWEEN STUDS AND ROOF SHEET.

2.16 ALL STUDS SHALL BE SPACED AT 16" O.C. (MAX) AND SHALL BE INSTALLED TO SUPPORT THE INCLUDING WALLS. FLOOR FINISHING THAT IS SEPARATED TO ALLOW FOR THE INSTALLATION OF FINISHING SHALL BE INSTALLED ON A BLOCKED SOLID WOOD LUMBER NOT LESS THAN 2-INCHES THICK (NOMINAL), AND SPACED AT 4'-0" O.C. (MAX).

2.17 ALL FASTENERS FOR PRESSURE/PRESERVATIVELY TREATED LUMBER SHALL BE CORROSION RESISTANT. ALL STUDS SHALL BE STAINLESS STEEL, SILDON BRONZE, OR COPPER.

2.18 PROVIDE STUD DOWNS ON ALL WALL FRAMING WHERE PIPING IS LESS THAN 1-1/2 INCHES FROM THE FACE OF THE STUD.

2.19 ANY CHIMNEY SHALL HAVE A HEIGHT OF 30 INCHES ABOVE THE FINISHED FLOOR. CHIMNEYS SHALL BE MORE THAN 30 INCHES ABOVE THE FLOOR. SPINDLES SHALL BE INSTALLED AS TO NOT ALLOW THE PASSAGE OF A 1-INCH SPHERE.

2.20 HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES, RESPECTIVELY, MEASURED VERTICALLY FROM THE FINISHED FLOOR TO THE TOP OF THE HANDRAIL. THE HANDRAIL PORTION OF THE WALL AND THE HANDRAIL SHALL BE INSTALLED ON THE SAME DIMENSION (A/OUT) OF THE WORK TO BE PERFORMED. THE HANDRAIL SHALL BE INSTALLED ON THE SAME DIMENSION (A/OUT) OF THE WORK TO BE PERFORMED. THE HANDRAIL SHALL BE INSTALLED ON THE SAME DIMENSION (A/OUT) OF THE WORK TO BE PERFORMED.

2.21 LUMBER JOISTS SHALL BE SPACED AT 16" O.C. (MAX) TO THE MINIMUM STANDARDS AND QUALITY AS SET FORTH IN SECTION 2305.

2.22 THE DESIGN AND FASTENING OF ALL WOOD FRAMING SHALL BE IN ACCORDANCE WITH THE CONNECTIONS OF TABLE 2304.8.1.1, AS A MINIMUM.

REVISION COMMENTS

SHEET INDEX

Page 1	COVER PAGE/GENERAL NOTES
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Page 4	FLOOR FINISH PLAN
Page 5	ROOF FRAMING PLAN
Page 6	WALL SECTIONS

CONTRACTOR INFORMATION

GENERAL CONTRACTOR	
ELECTRICAL CONTRACTOR	
HVAC CONTRACTOR	



8/17/16

1.00 GENERAL NOTES

1.01 GENERAL AND ARCHITECTURAL NOTES ARE INTENDED TO AMEND THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICT BETWEEN THE GENERAL STRUCTURAL NOTES AND ARCHITECTURAL NOTES, THE GENERAL STRUCTURAL NOTES SHALL PREVAIL.

1.02 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DIMENSIONS SHOWN ON DRAWINGS. DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO ERECTION. CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO ERECTION.

1.03 ANNOTATION OF THE PRIMARY/ORIGINAL STRUCTURE FOR THE MODIFIED LOADS IS NOT THE RESPONSIBILITY OF LEGACY ENGINEERING, LLC.

1.04 ANY AND ALL SPANNING SUBMITTALS ARE SUBJECT TO THE CONTRACTOR'S MATERIAL SELECTION AND CONNECTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE CONNECTIONS. THE PROJECT DESIGNER SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE CONNECTIONS. THE PROJECT DESIGNER SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE CONNECTIONS.

1.05 FOR SPECIFIC INSTALLATION REQUIREMENTS AND WARRANTY INFORMATION, REFER TO THE MANUFACTURER'S INFORMATION. LEGACY ENGINEERING, LLC ASSUMES NO RESPONSIBILITY FOR THE DESIGN OF THE CONNECTIONS. THE PROJECT DESIGNER SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE CONNECTIONS.

1.06 FOR SPECIFIC INSTALLATION REQUIREMENTS AND WARRANTY INFORMATION, REFER TO THE MANUFACTURER'S INFORMATION. LEGACY ENGINEERING, LLC ASSUMES NO RESPONSIBILITY FOR THE DESIGN OF THE CONNECTIONS. THE PROJECT DESIGNER SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE CONNECTIONS.

1.07 THE ARCHITECTURAL DRAWINGS INCLUDED IN THIS CONSTRUCTION RECOMMENDATION DO NOT TAKE INTO ACCOUNT THE OVERALL STRUCTURAL STABILITY OF THE STRUCTURE. THESE DRAWINGS ARE SUPPLIED AS AN INFORMATIONAL TOOL ONLY. LEGACY ENGINEERING, LLC ASSUMES NO RESPONSIBILITY FOR THE DESIGN OF THE CONNECTIONS. THE PROJECT DESIGNER SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE CONNECTIONS.

1.08 LEGACY ENGINEERING, LLC ASSUMES NO RESPONSIBILITY FOR THE DESIGN OF THE CONNECTIONS. THE PROJECT DESIGNER SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE CONNECTIONS.

2.00 INSTALLATION NOTES

2.01 UNDESIGNED CONNECTIONS INCLUDED IN THIS CONSTRUCTION RECOMMENDATION DO NOT TAKE INTO ACCOUNT THE OVERALL STRUCTURAL STABILITY OF THE STRUCTURE. THESE DRAWINGS ARE SUPPLIED AS AN INFORMATIONAL TOOL ONLY. LEGACY ENGINEERING, LLC ASSUMES NO RESPONSIBILITY FOR THE DESIGN OF THE CONNECTIONS. THE PROJECT DESIGNER SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE CONNECTIONS.

2.02 THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, & EQUIPMENT NECESSARY TO COMPLETE THE CONNECTIONS. LEGACY ENGINEERING, LLC ASSUMES NO RESPONSIBILITY FOR THE DESIGN OF THE CONNECTIONS. THE PROJECT DESIGNER SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE CONNECTIONS.

2.03 NO DOTS, NOTCHES, OR SPLICES IN STUDS, JOISTS OR OTHER LOAD CARRYING MEMBERS MAY BE MADE WITHOUT PRIOR ENGINEERING REVIEW/APPROVAL.

2.04 SQUARE OR ANGULAR FIT AGAINST ABUTTING MEMBERS, OR AS REQUIRED FOR ANGULAR FIT AGAINST ABUTTING PLACE WITH PROPERLY FASTENED.

2.05 THE INSTALLATION OF SHEATHING, WALLBOARD, OR ANY OTHER COLLATERAL MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. THE CURRENT ASTM STANDARDS AND/OR OTHER APPLICABLE CODES SHALL APPLY FOR THE CONNECTIONS.

2.06 WHEN ANGLES/STRUCTURAL CONNECTORS ARE USED TO ATTACH A COMPONENT TO THE PRIMARY STRUCTURE, THE INSTALLER SHALL FOLLOW THE MANUFACTURER'S SPECIFICATIONS. UNLESS OTHERWISE NOTED ON THE CONNECTIONS DRAWINGS.

2.07 WHEN ANGLES, WANGERS, AND/OR STRUCTURAL CONNECTORS ARE USED TO ATTACH A COMPONENT TO THE PRIMARY STRUCTURE, THE INSTALLER SHALL FOLLOW THE MANUFACTURER'S SPECIFICATIONS.

2.08 ALL STRUCTURAL CONNECTORS, INCLUDING BUT NOT LIMITED TO, BOLTS, NUTS, WELDS, TRUSS & BATTEN TIE-DOWNS, SHALL BE MANUFACTURED BY SHIMSON STEEL OR APPROVED EQUIVALENT. THESE CONNECTORS SHALL BE APPROVED EQUIVALENT AND APPROVED FOR USE BY ALL APPLICABLE CODES.

3.00 STRUCTURAL REQUIREMENTS

3.01 DIMENSIONAL LUMBER FRAMING SHALL PROVIDE STRUCTURAL DESIGN VALUES EQUAL TO, OR EXCEEDING THE FOLLOWING:

- FIBER BENDING STRESS (F_b) = 1,400,000 psi
- HORIZONTAL SHEAR (F_v) = 150 psi
- MODULUS OF ELASTICITY (E) = 2,000,000 psi
- PARALLEL STRAND LUMBER (PSL) FRAMING SHALL PROVIDE THE FOLLOWING:
- FIBER BENDING STRESS (F_b) = 2,800 psi
- FIBER BENDING STRESS (F_b) = 2,800 psi
- HORIZONTAL SHEAR (F_v) = 285 psi
- MODULUS OF ELASTICITY (E) = 2,000,000 psi
- PARALLEL STRAND LUMBER (PSL) FRAMING SHALL PROVIDE THE FOLLOWING:
- FIBER BENDING STRESS (F_b) = 2,800 psi
- HORIZONTAL SHEAR (F_v) = 285 psi

3.04 THE FRAMING CONTRACTOR MAY SUBSTITUTE FRAMING MEMBERS AND/OR FASTENERS OF EQUIVALENT PRODUCT TO THAT SHOWN ON THE DRAWINGS. PRIOR TO SUBSTITUTION, THE FRAMING CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENGINEER OF RECORD FOR PRODUCT LITERATURE TO THE ENGINEER OF RECORD FOR APPROVAL.

5.00 INSTALLATION NOTES

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6.00 DOORS & WINDOWS (CONT.)

6.06 EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM CLEAR HEIGHT OF 80 INCHES (2030 MM) MEASURED TO THE TOP OF THE OPENING. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (508 MM).

6.07 THE BOTTOM OF THE EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE NOT LESS THAN 18 INCHES (457 MM) ABOVE THE FINISHED FLOOR.

DESIGN CRITERIA

GOVERNING CODE AND BUILDING CODE (2011)
 BUILDING CLASSIFICATION: N/A
 CONSTRUCTION TYPE: N/A
 OCCUPANCY: N/A

[Wind loading]
 Wind speed (V): 130 mph (3 second gust)
 Exposure category: B
 Risk factor (K): 1.0
 Gust effect factor (G): 0.9
 Directional area factor (K_d): 1.0
 Topographic factor (K_t): 1.0
 Importance factor (I): 1.0

[Floor loading]
 Dead load: 10 psf
 Live load: 40 psf

[Snow loading]
 Ground snow load (P_g): 20 psf
 Exposure factor (K_e): 0.9
 Thermal factor (T): 1.0

[Roof loading]
 Live load: 20 psf

REVISION COMMENTS

SHEET INDEX

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Page 3	FOUNDATION & FRAMING PLAN
Page 4	FLOOR FINISH PLAN
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CONTRACTOR INFORMATION

GENERAL CONTRACTOR	
ELECTRICAL CONTRACTOR	
HVAC CONTRACTOR	

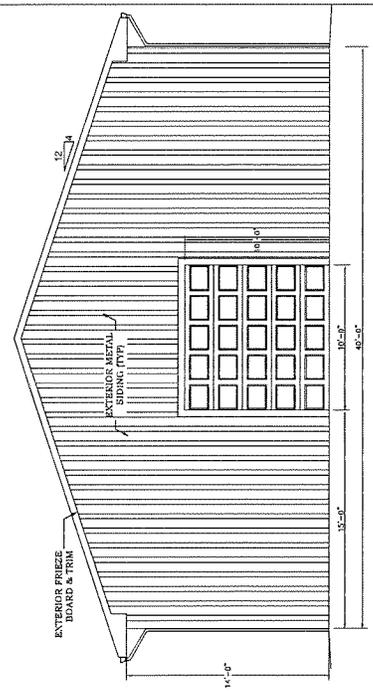


LEGACY ENGINEERING, LLC
 13400 W. STATE STREET
 SUITE 100
 COLUMBUS, OHIO 43240
 P.O. BOX 990212
 COLUMBUS, OHIO 43299
 WWW.LEGACYENGINEERING.COM

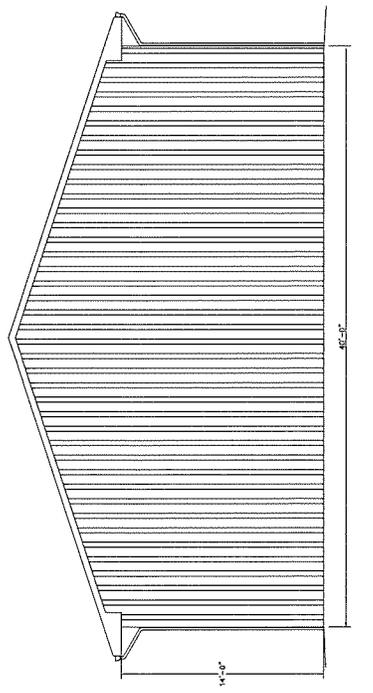
NO.	REVISIONS

PROJECT: NEW CONSTRUCTION - DETACHED POLE BARN
 HAMILTON PARKER COMPANY
 18 E. WILLIAM STREET
 DELAWARE, OH
PREPARED FOR: RATAI BUILDERS
 NEWARK, OHIO

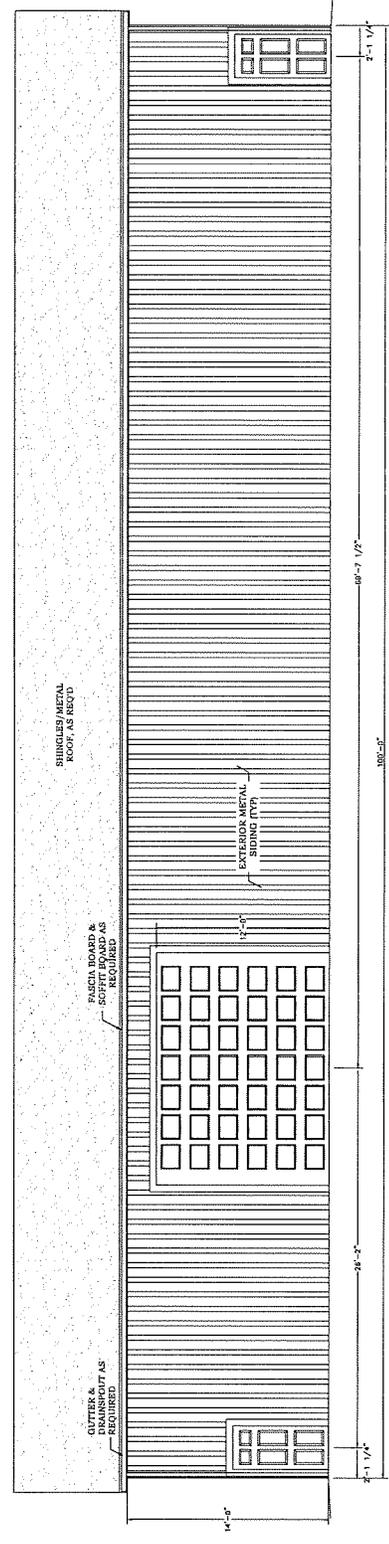
SHEET TITLE	
ELEVATIONS	
PROJECT NO.	69088-3446
DATE:	8/17/16
DRAWN BY	JAK
REVIEWED BY	JAK
2 of 6	



E2 RIGHT ELEVATION



E3 LEFT ELEVATION

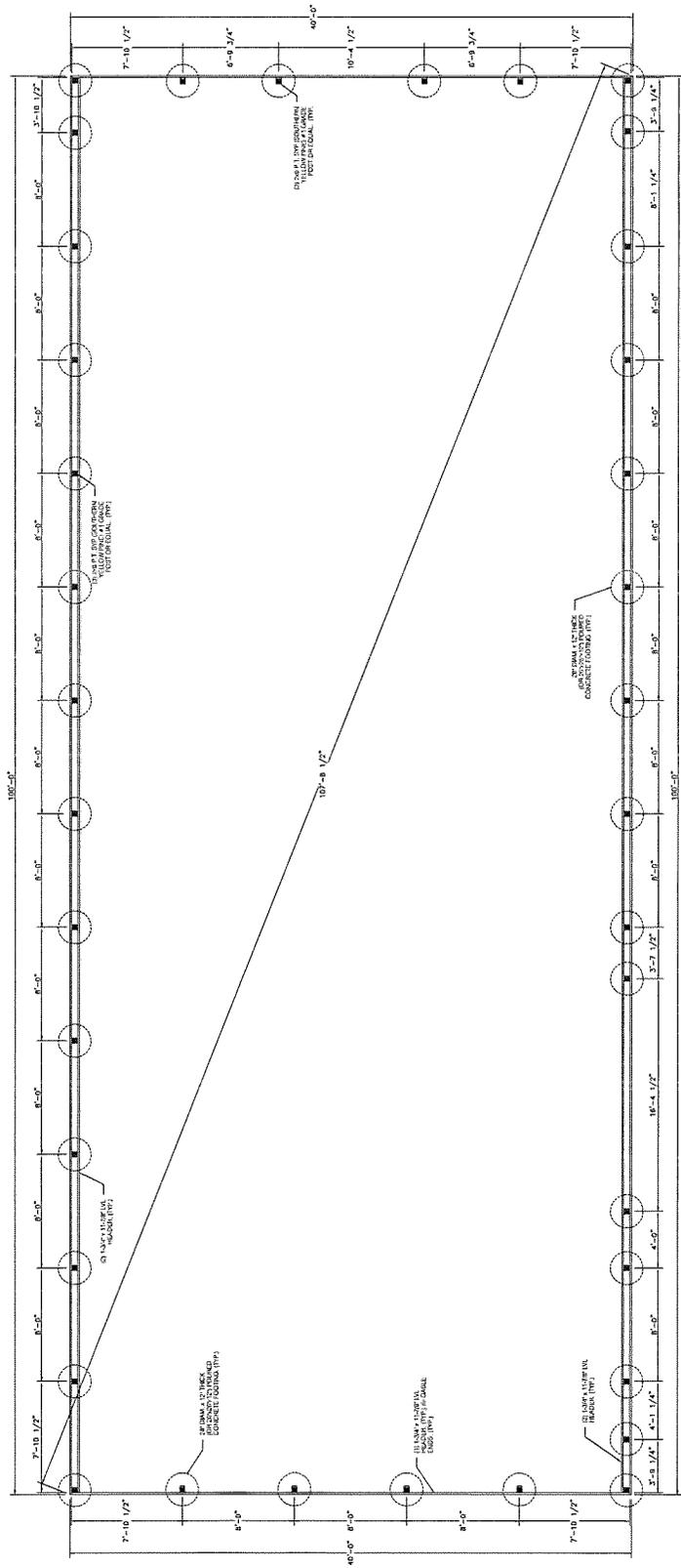


E1 FRONT ELEVATION
 188 E. WILLIAM STREET - DELAWARE, OH



FOUNDATION NOTES

1. ALL FOUNDATION ELEMENTS SHALL BE CONFORMANT WITH THE ASSUMED ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF.
2. ALL FOUNDATION ELEMENTS SHALL BE CONFORMANT WITH THE ASSUMED ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF.
3. ALL FOUNDATION ELEMENTS SHALL BE CONFORMANT WITH THE ASSUMED ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF.
4. CONTRACTOR SHALL ENSURE ALL FOOTINGS ARE PROTECTED FROM THE PROXIMITY OF ADJACENT FOUNDATIONS.



(P) FOUNDATION & FRAMING PLAN
188 E. WILLIAM STREET - DELAWARE, OH

STATE OF OHIO
ARTHEA A. GIBBS
REGISTERED PROFESSIONAL ENGINEER
8/17/16

LEGACY ENGINEERING, LLC
10100 WILLOW CREEK DRIVE
COLUMBUS, OH 43240
WWW.LEGACYENGINEERING.COM

LEGACY ENGINEERING, LLC
10100 WILLOW CREEK DRIVE
COLUMBUS, OH 43240
WWW.LEGACYENGINEERING.COM

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	8/17/16

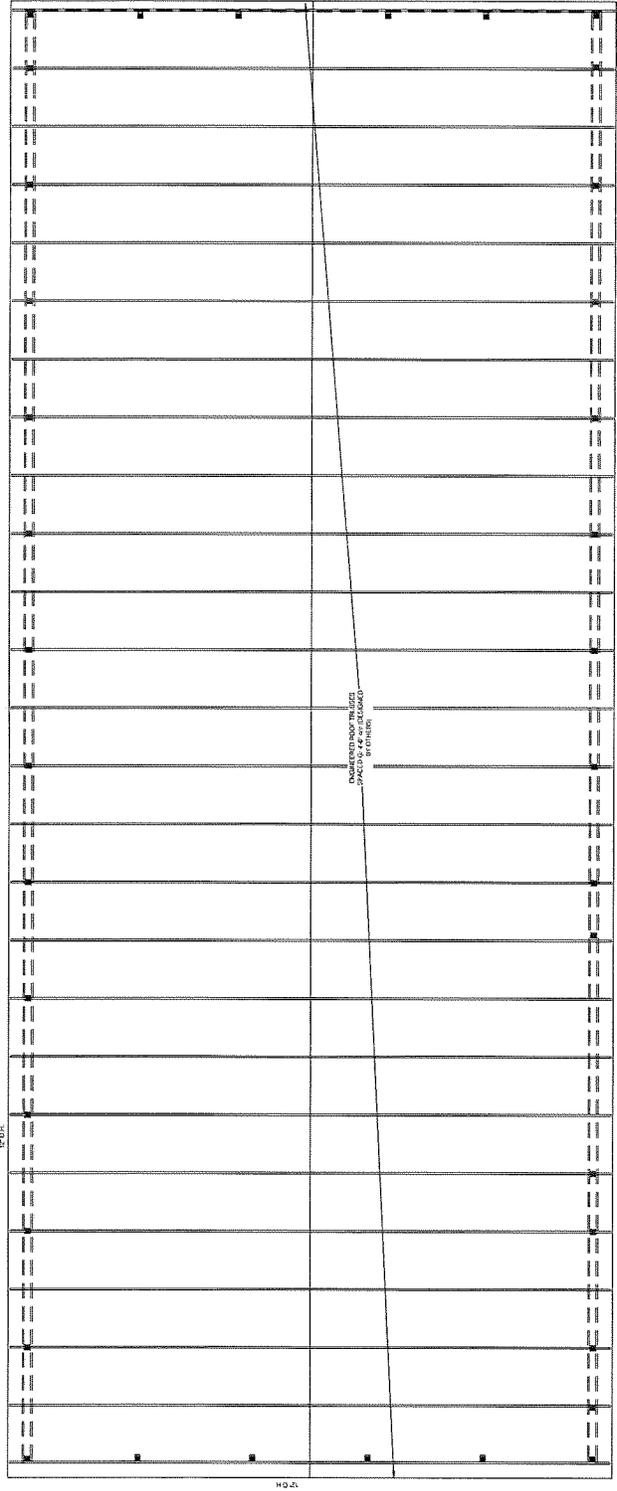
PROJECT:
NEW CONSTRUCTION - DETACHED POLE BARN
HAMILTON PARKER COMPANY
188 E. WILLIAM STREET
NEWARK, OHIO

PREPARED FOR:
RATAI BUILDERS
NEWARK, OHIO

SHEET TITLE		PROJECT NO.
FOUNDATION & FRAMING PLAN		69088-3446
DATE: 8/17/16		DRAWN BY: JAK
REVIEWED BY: JAK		DATE: 8/17/16
3 of 6		

ROOF FRAMING NOTES

1. THE LATEST REVISIONS REGARDING MATERIALS, SUPPLIER IS TO PROVIDE FROM TRUSS/VOLUT AND ENGINEER DRAWINGS FOR APPROVAL.
2. ALL TRUSS MANUFACTURERS SHALL BE ADVISED WITH THE STATE OF OHIO, ALONG WITH THE MOST RECENT TRUSS MANUFACTURER SHALL BE ADVISED WITH THE STATE OF OHIO, ALONG WITH THE TRUSS MANUFACTURER.
3. ALL TRUSS CONNECTIONS TO BE PROVIDED BY THE TRUSS MANUFACTURER.
4. ALL ROOF TRUSSES ARE TO BE CONNECTED TO THE EXISTING WALLS AND FOUNDATIONS AS SHOWN ON THIS MANUFACTURER'S DRAWING.
5. UNLESS NOTED OTHERWISE.



P3 ROOF FRAMING PLAN
188 E. WILLIAM STREET - DELAWARE, OH

LEGACY ENGINEERING, LLC
 188 E. WILLIAM STREET
 DELAWARE, OH 43015
 LEGACY ENGINEERING, LLC
 188 E. WILLIAM STREET
 DELAWARE, OH 43015
 WWW.LEGACYENGINEERING.COM

NO.	REVISIONS

PROJECT: NEW CONSTRUCTION - DETACHED POLE BARN
PREPARED FOR: RATAI BUILDERS
 NEWARK, OHIO
PREPARED BY: HAMILTON PARKER COMPANY
 188 E. WILLIAM STREET
 DELAWARE, OH

SHEET TITLE	
ROOF FRAMING	PLAN
PROJECT NO.	
69088-3446	
DATE: 8/17/16	
DRAWN BY:	REVIEWED BY:
JAK	JAK
5 of 6	

LEGACY ENGINEERING, LLC
 LEGACY ENGINEERING, LLC
 1500 W. 12th Street, Suite 100
 Columbus, OH 43260
 (614) 291-1111
 www.legacyengineering.com

RATAI BUILDERS
 RATAI BUILDERS
 185 E. William Street
 Delaware, OH 43015
 (614) 291-1111
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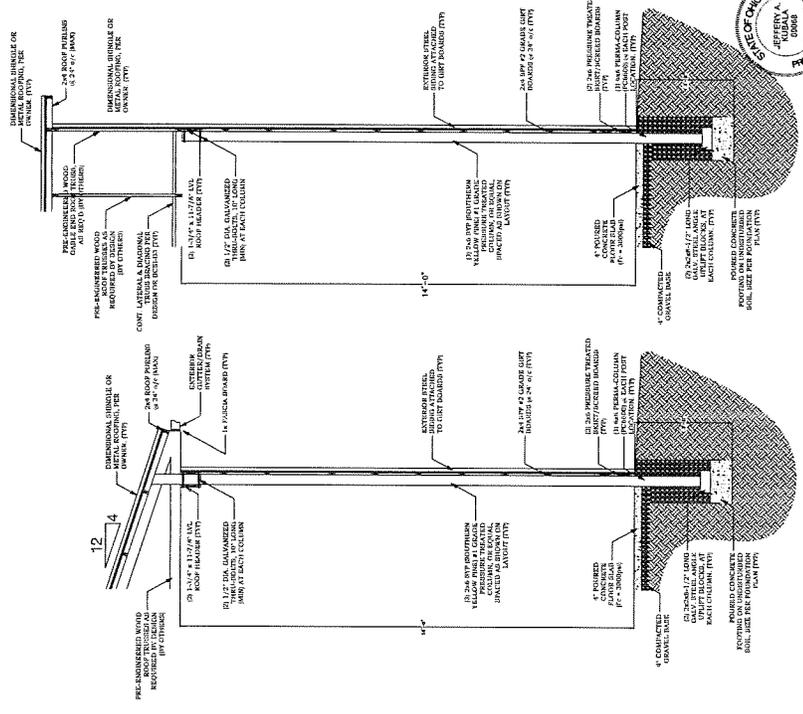
NO.	REVISIONS
1	
2	
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PROJECT:
 NEW CONSTRUCTION - DETACHED POLE BARN

PREPARED FOR:
 RATAI BUILDERS
 NEWARK, OHIO

PREPARED BY:
 HAMILTON PARKER COMPANY
 185 E. WILLIAM STREET
 DELAWARE, OH

SHEET TITLE	WALL SECTIONS
PROJECT NO.	69068-3446
DATE:	8/17/16
DRAWN BY:	JAK
REVIEWED BY:	JAK
6 of 6	



WALL SECTION B-B

WALL SECTION A-A



**CITY OF DELAWARE, OHIO
PLANNING & COMMUNITY DEVELOPMENT
MASTER APPLICATION FORM**



Project # _____

Case # 2014-2930

Planning Commission

- | | | |
|--|---|---|
| <input type="checkbox"/> Amended Final Development Plan | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use |
| <input type="checkbox"/> Amended Final Subdivision Plat | <input type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Vacation-Alley |
| <input type="checkbox"/> Amended Preliminary Development Plan | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat | <input type="checkbox"/> Floodplain Permit | <input type="checkbox"/> Vacation-Street |
| <input type="checkbox"/> Annexation Review | <input type="checkbox"/> Lot Split | Board of Zoning Appeals |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Development Plan | <input type="checkbox"/> Conditional Use Permit |
| <input type="checkbox"/> Concept Plan | <input type="checkbox"/> Preliminary Dev Plan Extension | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Preliminary Sub Plat | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Determination of Similar Use | <input type="checkbox"/> Preliminary Sub Plat Extension | |
| <input checked="" type="checkbox"/> Development Plan Exemption | <input type="checkbox"/> Rezoning | |
| <input type="checkbox"/> Final Development Plan | <input type="checkbox"/> Subdivision Variance | |

Subdivision/Project Name _____ Address _____

Acreage _____ Square Footage _____ Number of Lots _____ Number of Units _____

Zoning District/Land Use _____ Proposed Zoning/Land Use _____ Parcel # _____

Applicant Name HAMILTON PARKER CO. Contact Person BRAD HALL

Applicant Address 188 E. WILLIAM ST.

Phone 740-363-1196 Fax 740-363-1197 E-mail Bhall@hamiltonparker.com

Owner Name 477 NORTH FRONT STREET LIMITED Contact Person JAMES D. BROWN

Owner Address 2700 E. MAIN STREET STE 107 COLUMBUS, OH 43209

Phone 6148245049 Fax 6148245049 E-mail jbrown1865@hotmail.com

Engineer/Architect/Attorney _____ Contact Person _____

Address _____

Phone _____ Fax _____ E-mail _____

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

James D. Brown
Owner Signature

JAMES D. BROWN
Owner Printed Name

Brad Hall
Agent Signature

Brad Hall
Agent Printed Name

Sworn to before me and subscribed in my presence this _____ day of _____, 20__.

Notary Stamp

Notary Public



PLANNING COMMISSION / STAFF REPORT

CASE NUMBERS: 2016-2530 & 2531

REQUEST: Final Subdivision Plat

PROJECT: Lantern Chase Phase 2 Section 6 Parts 2 & 3

MEETING DATE: September 7, 2016

APPLICANT/OWNER

Westport Homes
507 Executive Campus Drive, Suite 100
Westerville, Ohio 43082

REQUEST

2016-2530: A request by Westport Homes for approval of a Final Subdivision Plat for Lantern Chase Phase 2 Section 6 Part 2 consisting of 45 single family lots on approximately 30.316 acres zoned R-3 (One Family Residential District) and located on Glemsbury Drive, Connaught Place, Cedar Creek Street and Lanthorn Pond Drive.

2016-2531: A request by Westport Homes for approval of a Final Subdivision Plat for Lantern Chase Phase 2 Section 6 Part 3 consisting of 35 single family lots on approximately 8.049 acres zoned R-3 (One Family Residential District) and located on Connaught Place and Marblewood Drive.

PROPERTY LOCATION & DESCRIPTION

The remaining 38.365 acres of the subject development is located north of Silversmith Lane and east and west of Phase 2 Section 6 Part 1 which was approved in August 2015. The subject site is zoned R-3 (One-Family Residential District) as is the property to the south. The properties to the north, east and west are located in the Township.

BACKGROUND/PROPOSAL

The Preliminary Subdivision Plat for Phase 1 was approved as Smith Farms Subdivision in 1998. Between then and May 2001 Final Subdivision Plats for Phase 1 were approved. The Preliminary Subdivision Plat for Phase 2 was approved by the Planning Commission in 2001. In 2006, the Final Subdivision Plat for Phase 2 Section 6 was approved by the Planning Commission and the developer subsequently requested an extension of Section 6 in 2007 which was approved but this section never began construction. Then in December 2014, Planning Commission and City Council approved an Amended Preliminary Subdivision Plat with 127 lots instead of 156 lots which were originally approved in this area and would likely be constructed in three sections. The reduction of 29 lots is due to the unwillingness of the applicant to construct a lift station in this area due to economic reasons. The revised layout would result in more open space with park amenities and the preservation of wetlands and wooded areas along the extreme northern portion of the development.

In August 2015 City Council approved Section 6 Part 1 which contained 47 single family lots on 11.974 acres. Now the applicant is proposing to construct Section 6 Parts 2 and 3 which would contain the remaining 80 single family lots on 38.365 acres. Section 6 Part 2 would contain 45 single family lots while Section 6 Part 3 would contain 35 single family lots.

STAFF ANALYSIS

- **COMPREHENSIVE PLAN AMENDMENT:** The Comprehensive Plan Future Land Use Map recommends Moderate Density Single-Family Land Use (3.25-4.25 dwelling units per acre) for the subject property. The proposed density for the amended plan is 2.52 units per acre.
- **ZONING:** The subject site is zoned R-3 (One Family Residential District) which requires Final Subdivision Plat approvals for Phase 2 Section 6 Part 2 and 3 by the Planning Commission and City Council.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on a technical review by the Engineering Department once a complete plan set is submitted for review.
- **UTILITIES:** Both water and sewer utilities would be public and would be extended from Phases 1 and 2 of the development. The development would have to comply with the current storm water requirements.

Depending on final grading plan, lots 11252, 11254, 11255 and 11257-59 would likely require grinder pumps for any basement sanitary service.

- **ROADS AND ACCESS:** Section 6 Part 2 would be accessed from Section 6 Part 1 thru Glemsbury Drive and Lanthorn Pond Drive which both terminate into Connaught Place which is the northern most east/west street of the development. Section 6 Part 3 is accessed from Section 6 Part 1 thru Marblewood Drive which also terminates into Connaught Place. Per the approved Amended Preliminary Subdivision Plat in 2014, the streets would be divided into two different street section designs in the subject parts: 1. Connaught Place, the northern most east/west street would have 60 feet of right-of-way with 36 feet of pavement with a standard tree lawn and the sidewalk within the right-of-way. 2. The remainder of the streets would have 50 feet of right of way with 32 feet of pavement. Three feet of the sidewalk would be in an easement with a 7 foot tree lawn and the front yard setback would be measured from the right-of-way line. The current engineering standards require 60 feet of right of way and 32 foot wide streets. Therefore, staff is giving concessions for this development while ensuring conforming pavement width to today's standards. There are existing streets in the built portions of this subdivision and therefore some flexibility must be utilized to ensure that this section can fit properly in the built environment. This approach is what was approved in the preliminary plat.
- **SITE LAYOUT:** These two parts would consist of 80 single family lots in a typical double loaded lot layout along Connaught Place, Lanthorn Pond Drive, Glemsbury Drive and Cedar Creek Street. In Section 6 Part 2 there are two reserves. Reserve A is 3.7 acres and is located in the southwestern portion of the development while Reserve B is 15.4 acres and is located along the northern portion of the development and would include a park area with amenities.
- **LOT SIZES:** The typical bulk requirements (setbacks, minimum lot width and size) have changed since originally approval in 2001. Therefore per the Amended Preliminary Subdivision Plat approved in December 2014, staff and the developer have negotiated fair zoning bulk requirements based on the previous and existing requirements coupled with the engineering requirements of wider streets and right-of-way. In this section, the lot sizes range from 60-70 foot lot widths with 120-128 foot lot depths (minimum 7,200 square foot lots) while the corner lots are oversized (minimum 80 feet wide) to comply with zoning requirements. The yard setbacks would be: 25 foot front, 30 foot rear and 8 foot side. The current R-3 zoning requirements are: 8,775 square foot minimum lots, 65 foot wide lots, 30 foot front yard setback, 40 foot rear yard setback and 8 foot side yard setbacks while the previous zoning in 2001 permitted 7,200 square foot minimum lots, minimum 60 foot lot width, 25 foot front yard setback, 30 foot rear yard setback and 6 foot side yard setbacks (total of 15 feet minimum). This is in keeping with the approved Amended Preliminary Development Plan.
- **DESIGN:** The houses would be required to comply with the Residential Design Criteria and Performance Standards of Section 1171.08 of the Planning & Zoning Code. The standards include among other items: front elevations consisting of a minimum 25 percent of natural materials (the natural materials are to include but are not limited to stone, brick, cedar, wood, stucco and stucco stone), minimum 8 inch overhangs/soffits on returns, minimum 4 inch window trim and higher end vinyl siding.
- **TREE REMOVAL & REPLACEMENT:** The applicant would have to submit a tree survey to ensure compliance with Chapter 1168 Tree Preservation Regulations prior to approval of the construction drawing for Section 6 Parts 2 and 3. Also, there is a 30 foot wide tree preservation zone along the rear of the lots on the north side of Connaught Place and along the rear of the lots 11287-11289 (east side of Marblewood Drive).
- **OPEN SPACE & PARKLAND:** As mentioned above, there are two reserves in Section 6 Part 2. Reserve A, which is 3.7 acres, contains a detention basin and is located on the southwestern portion of the Section next to the western boundary line. Reserve B, which is 15.4 acres, contains a park with amenities and preserves existing wetlands and woodlands and is located at the extreme northern end of the development. The park amenities would include a basketball court, play equipment, park benches, etc. As typical, the park and amenities shall be owned and maintained by the HOA but open to the public.
- **LANDSCAPING PLAN:** The Shade Tree Commission approved the street tree plan for Section 6 Parts 1, 2 and 3 on August 23, 2016. It is imperative that the Applicant coordinate the landscaping plan and street tree plan with the engineering site development plan so that the landscaping does not impeded visibility at intersection or of any traffic control signs.

- **LIGHTING PLAN.** The lighting plan for Section 6 Parts 1, 2 and 3 were approved on August 26, 2016 by the Chief Building Official.

STAFF RECOMMENDATION – (2016-2530 FINAL SUBDIVISION PLAT)

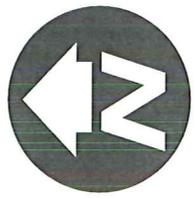
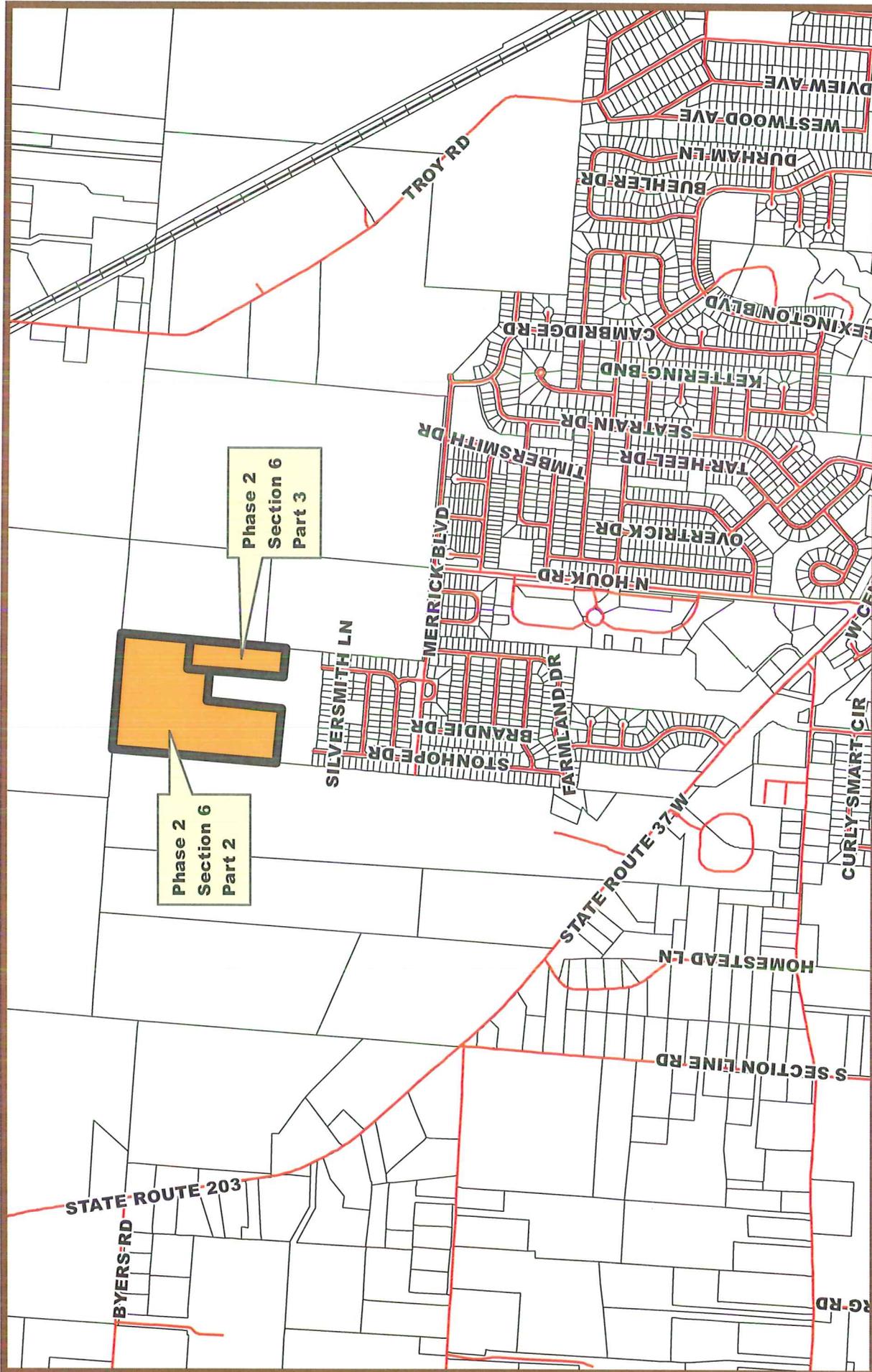
Staff recommends approval of a request by Westport Homes of a Final Subdivision Plat for Lantern Chase Phase 2 Section 6 Part 2 consisting of 45 single family lots on approximately 30.316 acres zoned R-3 (One Family Residential District) and located on Glemsbury Drive, Connaught Place, Cedar Creek Street and Lanthorn Pond Drive, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The right-of-way and street pavement width shall achieve compliance with the City Engineer requirements.
3. The minimum lot size and width and building setbacks shall be per the approved Amended Preliminary Subdivision Plat.
4. The front elevation shall achieve compliance with the minimum requirements of Chapter 1171.08 Residential Development Design Criteria and Performance Standards.
5. The development shall achieve compliance with Chapter 1168 Tree Preservation Regulations.
6. The park amenities in Reserve B shall be reviewed and approved by staff and shall be constructed prior to any building permits approved in the subject section. The subject park and amenities shall be owned and maintained by the HOA but open to the public.
7. Only lots 11252, 11254, 11255 and 11257-59 shall be permitted grinder pumps for any basement sanitary sewer service.

STAFF RECOMMENDATION – (2016-2531 FINAL SUBDIVISION PLAT)

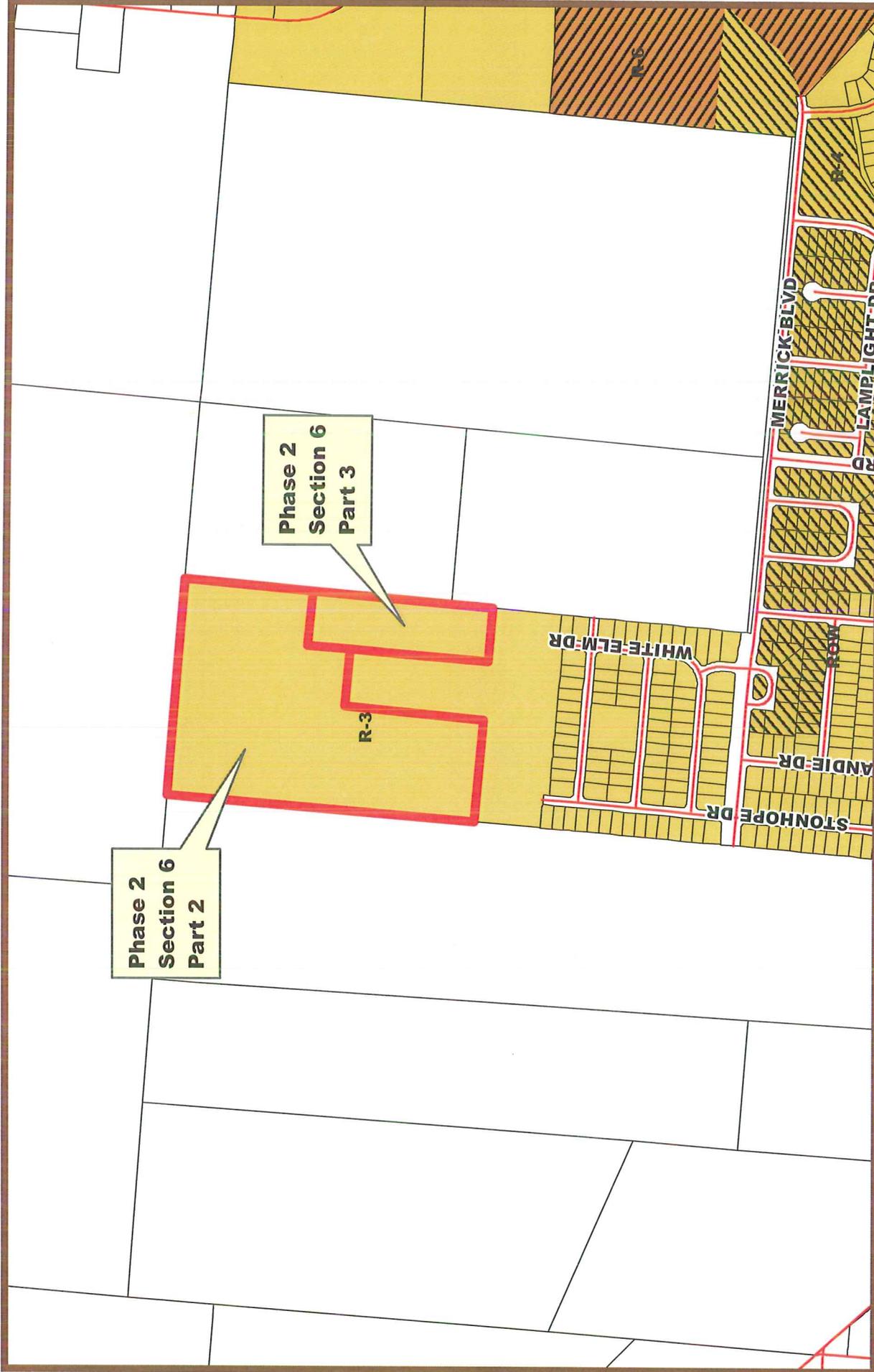
Staff recommends approval of a request by Westport Homes of a Final Subdivision Plat for Lantern Chase Phase 2 Section 6 Part 3 consisting of 35 single family lots on approximately 8.049 acres zoned R-3 (One Family Residential District) and located on Connaught Place and Marblewood Drive, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The right-of-way and street pavement width shall achieve compliance with the City Engineer requirements.
3. The minimum lot size and width and building setbacks shall be per the approved Amended Preliminary Subdivision Plat.
4. The front elevation shall achieve compliance with the minimum requirements of Chapter 1171.08 Residential Development Design Criteria and Performance Standards.
5. The development shall achieve compliance with Chapter 1168 Tree Preservation Regulations.



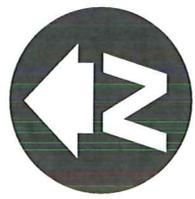
2016-2530 & 2531
 Final Subdivision Plats
 Lantern Chase Phase 2 Section 6 Part 2 &
 Phase 2 Section 6 Part 3
 Location Map





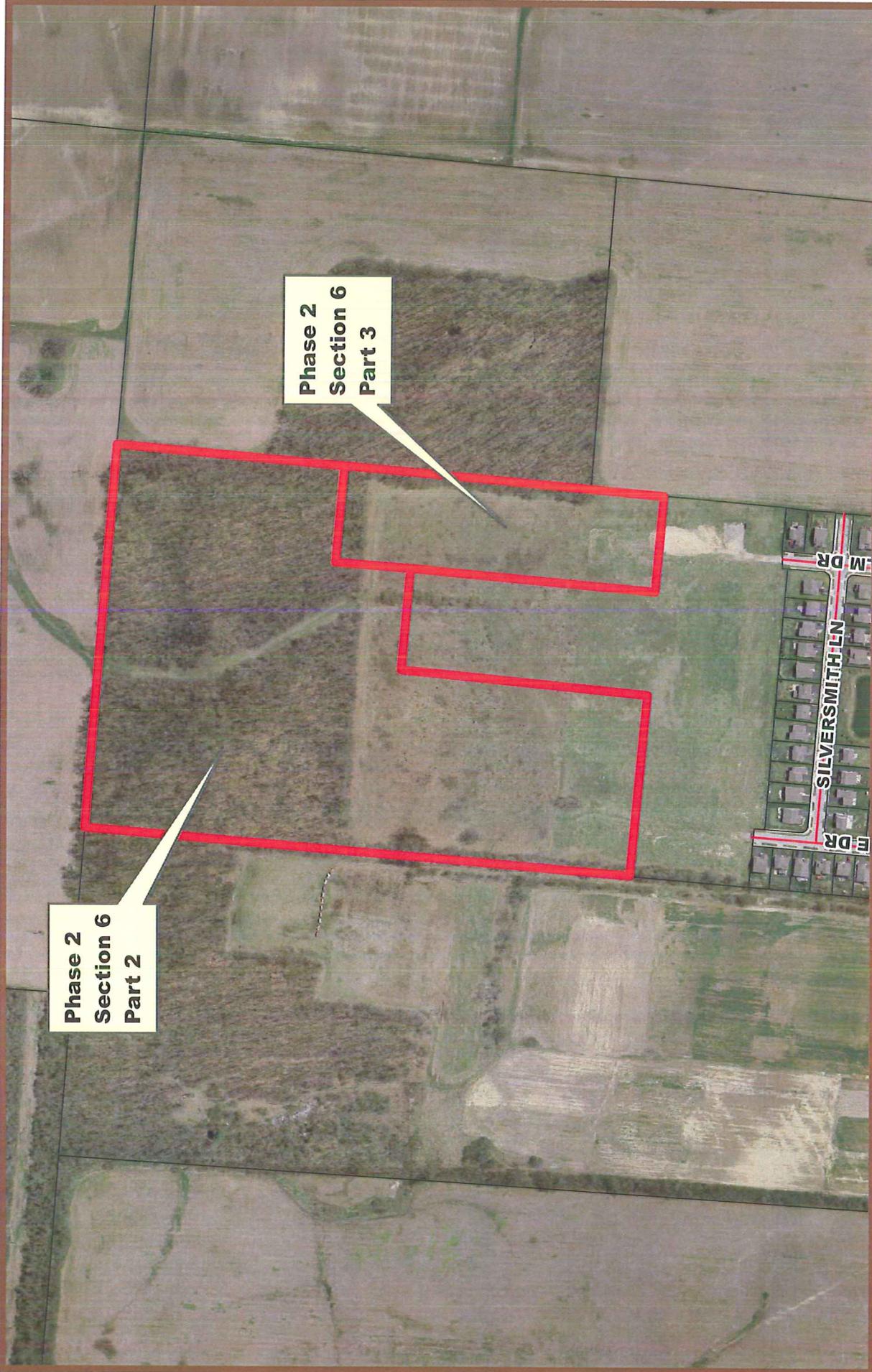
Phase 2
Section 6
Part 2

Phase 2
Section 6
Part 3



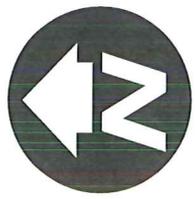
2016-2530 & 2531
Final Subdivision Plats
Lantern Chase Phase 2 Section 6 Part 2 &
Phase 2 Section 6 Part 3
Zoning Map





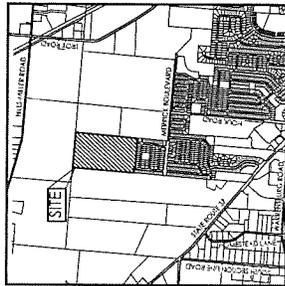
**Phase 2
Section 6
Part 2**

**Phase 2
Section 6
Part 3**



**2016-2530 & 2531
Final Subdivision Plats
Lantern Chase Phase 2 Section 6 Part 2 &
Phase 2 Section 6 Part 3
Aerial (2013)**



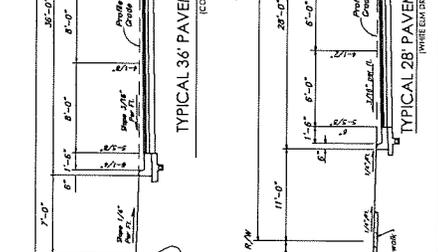
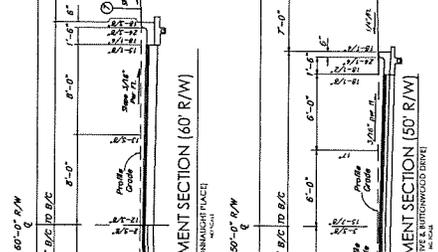
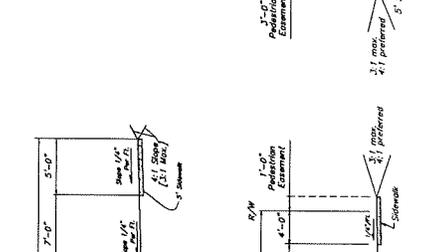
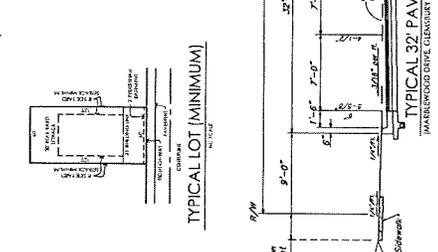
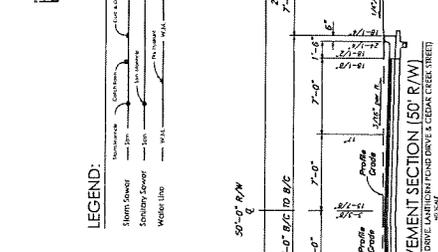
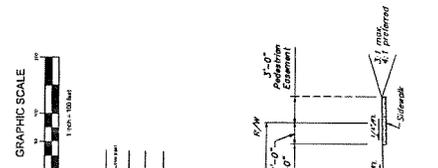
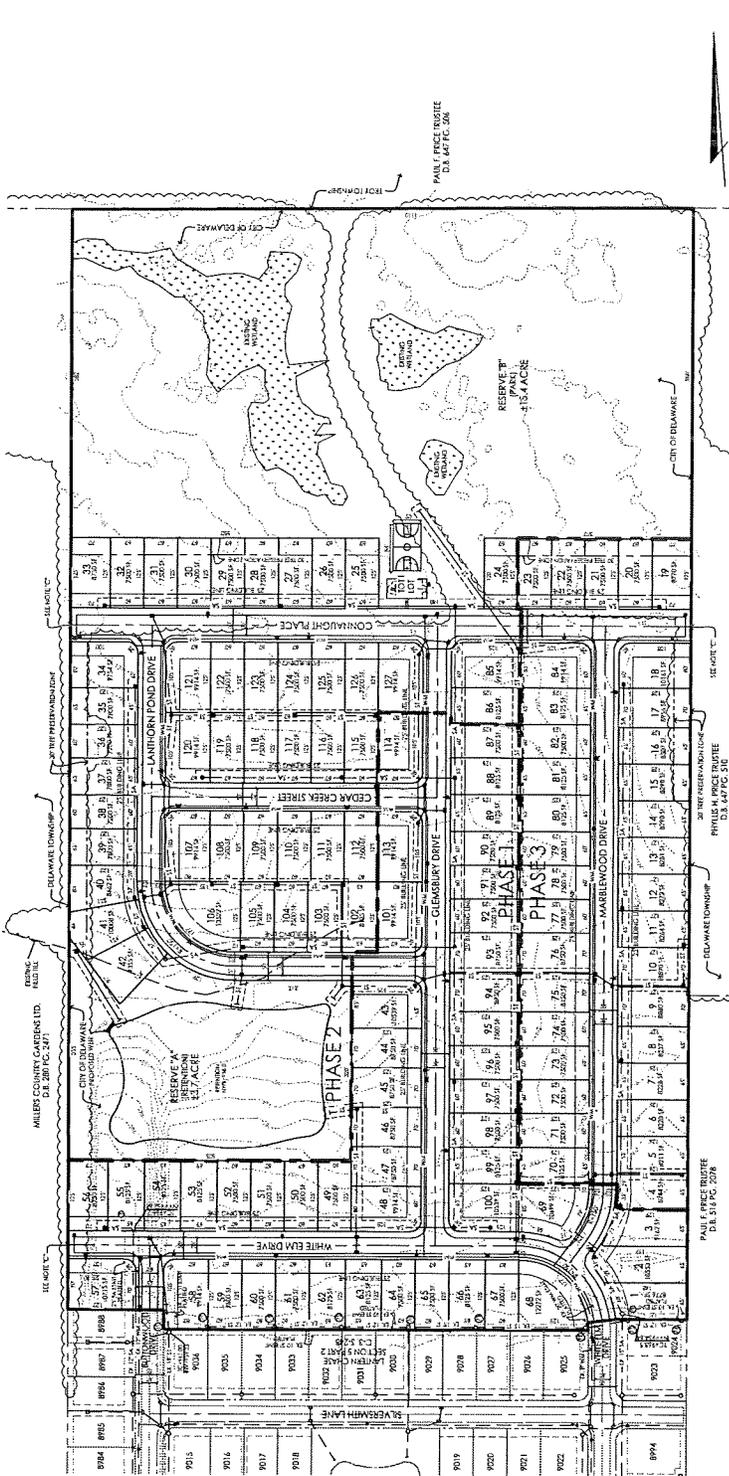


LOCATION MAP
1/8" SCALE

SITE STATISTICS:
 AREA: 157.4 ACRES
 NUMBER OF LOTS: 42
 CROSSING: 42 LOTS ACRES
 ZONING CLASSIFICATION: R3 (DNR)

NOTES:

- NOTE A: ALL LANTERN CHASE LOTS IN THE REZONED ZONE AS SHOWN ON THE REVISION 3 PLAN (CD) E, effective date April 16, 2009.
- NOTE B: ESSENCED "AS-BUILT" TO BE REVIEWED AND MAINTAINED BY THE LANTERN CHASE HOMEOWNERS ASSOCIATION. ESSENCED "AS-BUILT" WILL PROVIDE THE NECESSARY FORM WATER TO THE LANTERN CHASE HOMEOWNERS ASSOCIATION. THE LANTERN CHASE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR MAINTAINING THE NECESSARY FORM WATER TO THE LANTERN CHASE HOMEOWNERS ASSOCIATION.
- NOTE C: NO VEHICULAR ACCESS TO BE AFFECTED WITH THIS PROJECT.
- NOTE D: ALL EXISTING UTILITIES TO BE MAINTAINED AND PROTECTED. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES.
- NOTE E: ALL EXISTING UTILITIES TO BE MAINTAINED AND PROTECTED. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES.
- NOTE F: ALL EXISTING UTILITIES TO BE MAINTAINED AND PROTECTED. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES.
- NOTE G: ALL EXISTING UTILITIES TO BE MAINTAINED AND PROTECTED. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES.
- NOTE H: ALL EXISTING UTILITIES TO BE MAINTAINED AND PROTECTED. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES.
- NOTE I: ALL EXISTING UTILITIES TO BE MAINTAINED AND PROTECTED. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES.
- NOTE J: ALL EXISTING UTILITIES TO BE MAINTAINED AND PROTECTED. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES.



DESIGN STANDARDS: (OLD R-3 ZONING)

MINIMUM LOT SIZE: 2,000 SF
 MINIMUM LOT WIDTH: 40'
 SETBACKS (FRONT, SIDE, REAR): 5' (TOTAL 10')
 REAR YARD SETBACK: 5'

PC CASE NO. _____ APPROVED BY THE PLANNING COMMISSION ON _____
 ORDINANCE NO. _____ APPROVED BY CITY COUNCIL ON _____
 APPLICANT NAME TITLE _____ DATE _____
 MICHELE GELBERG, CITY CLERK _____ DATE _____
 DAVID AL. BLANK, ASST. PLANNING & COMMUNITY DEVELOPMENT DIRECTOR _____ DATE _____
 WILLIAM L. HENNING, P.E., CITY ENGINEER _____ DATE _____

LOCATED IN:
 QUARTER TOWNSHIP 3, TOWNSHIP 5 RANGE 19
 UNITED STATES MILITARY LANDS
 CITY OF DELAWARE COUNTY, OHIO

AMENDED PRELIMINARY PLAN / PRELIMINARY ENGINEERING
 FOR
LANTERN CHASE

EMH
 ENGINEERING, MECHANICAL & ARCHITECTURE
 1100 W. MAIN STREET, SUITE 100
 DELAWARE, OHIO 43015
 (614) 266-1100
 WWW.EMH-DE.COM

M/I HOMES
 mihomes.com

DATE	DESCRIPTION
08/14/2014	PRELIMINARY PLAN
08/14/2014	PRELIMINARY ENGINEERING
08/14/2014	PRELIMINARY ENGINEERING

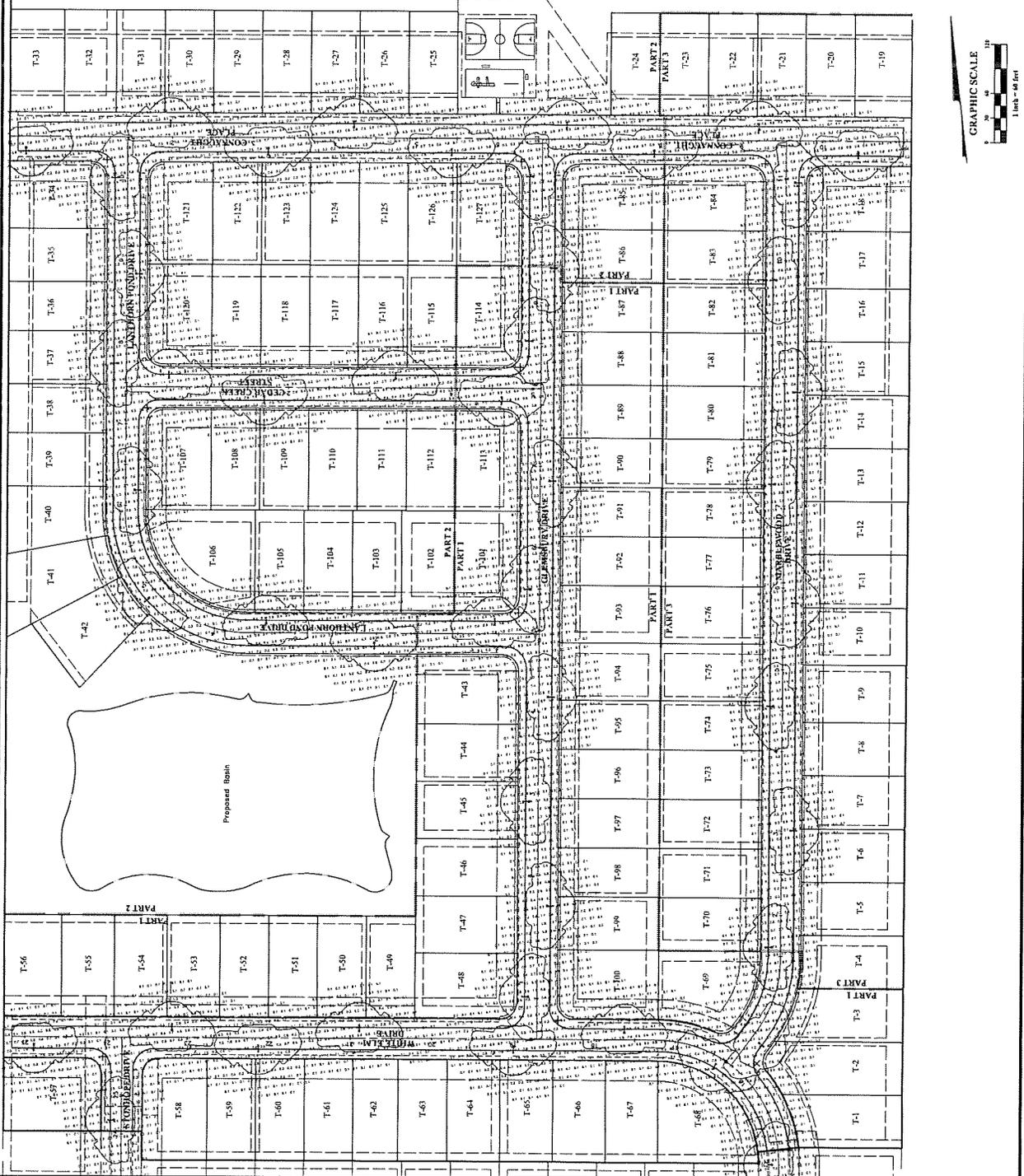
DATE: AUGUST 4, 2014
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1"=100'
 SHEET NO.: 1/1
 TOTAL SHEETS: 1/1

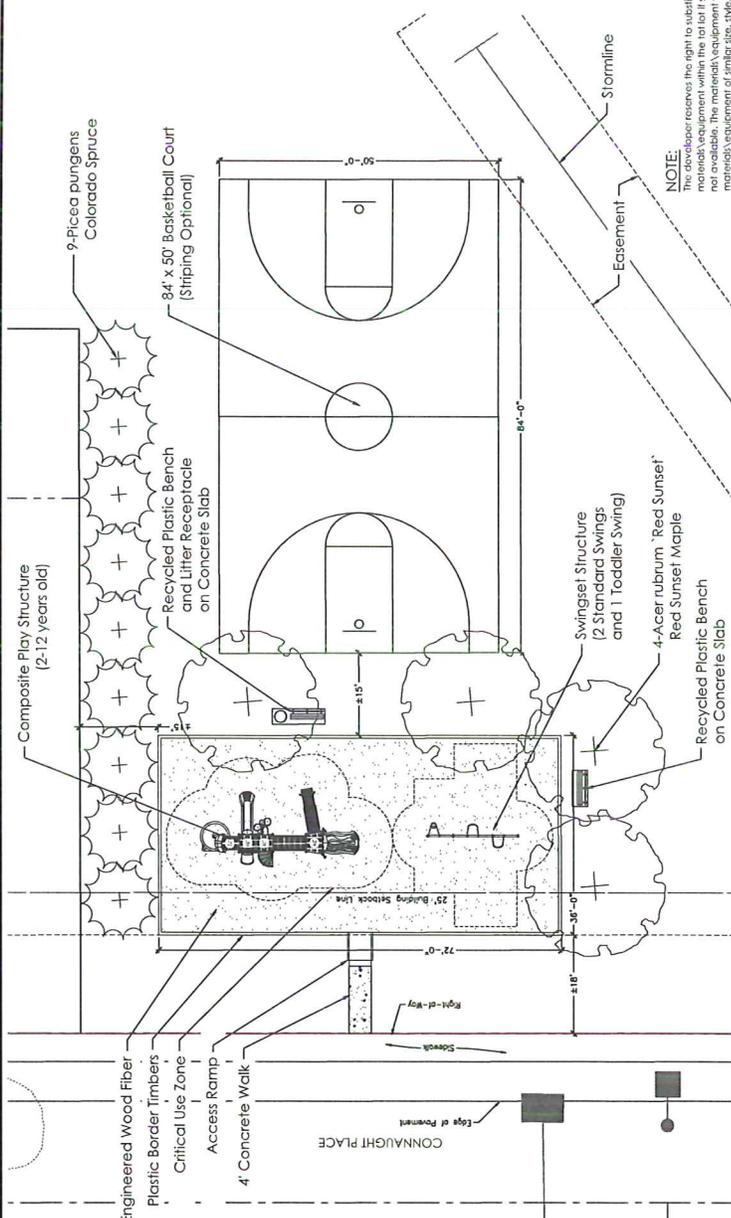
The contractor is responsible for all street lighting in accordance with this plan and City of Parma specifications. The contractor shall provide all materials and labor to install the lighting to match existing conditions. The contractor shall be responsible for all utility relocation and protection. The contractor shall be responsible for all traffic control during construction. The contractor shall be responsible for all site cleanup and restoration. The contractor shall be responsible for all safety during construction. The contractor shall be responsible for all quality control during construction. The contractor shall be responsible for all scheduling during construction. The contractor shall be responsible for all communication during construction. The contractor shall be responsible for all record keeping during construction. The contractor shall be responsible for all final inspection during construction. The contractor shall be responsible for all final payment during construction. The contractor shall be responsible for all final closeout during construction. The contractor shall be responsible for all final as-built drawings during construction. The contractor shall be responsible for all final punch list during construction. The contractor shall be responsible for all final closeout report during construction. The contractor shall be responsible for all final project closeout during construction. The contractor shall be responsible for all final project completion during construction. The contractor shall be responsible for all final project handover during construction. The contractor shall be responsible for all final project acceptance during construction. The contractor shall be responsible for all final project sign-off during construction. The contractor shall be responsible for all final project closeout during construction. The contractor shall be responsible for all final project completion during construction. The contractor shall be responsible for all final project handover during construction. The contractor shall be responsible for all final project acceptance during construction. The contractor shall be responsible for all final project sign-off during construction.

STREET	FASE	STATION	OFFSET
WHITE ELM DRIVE	1	18+42.20	18.5' LI
	1	17+43.00	18.5' RI
	1	19+40.00	18.5' LI
STONEHEDGE DRIVE	1	20+89.10	18.5' RI
	1	21+13.20	18.5' LI
	1	24+18.20	18.5' RI
MARBLEWOOD DRIVE	1	24+68.40	18.5' LI
	1	0+42.80	18.5' RI
	1	1+81.40	18.5' LI
LANEWOOD DRIVE	1	4+28.80	18.5' LI
	1	7+81.60	18.5' RI
	1	8+38.10	18.5' LI
LANEWOOD DRIVE	1	8+78.00	18.5' LI
	1	10+05.20	18.5' RI
	1	0+15.00	18.5' LI
LANEWOOD DRIVE	2	2+02.70	18.5' LI
	2	3+35.70	18.5' RI
	2	4+05.00	18.5' LI
LANEWOOD DRIVE	2	4+19.50	18.5' RI
	2	7+74.50	18.5' LI
	2	8+83.60	18.5' RI
LANEWOOD DRIVE	1	0+50.10	18.5' LI
	1	0+32.30	18.5' RI
	1	1+31.00	18.5' LI
LANEWOOD DRIVE	1	4+19.50	18.5' RI
	1	5+48.70	18.5' LI
	1	8+02.20	18.5' RI
LANEWOOD DRIVE	1	9+42.30	18.5' LI
	1	10+54.20	18.5' RI
	1	0+32.30	18.5' LI
LANEWOOD DRIVE	2	1+09.80	18.5' RI
	2	1+87.40	18.5' LI
	2	3+17.70	18.5' RI
LANEWOOD DRIVE	2	4+42.20	18.5' LI
	2	4+23.00	18.5' RI
	2	5+48.70	18.5' LI
LANEWOOD DRIVE	3	8+21.00	18.5' RI
	3	10+42.80	18.5' LI
	3	10+42.80	18.5' RI

STREET LIGHT TABLE
 PRELIMINARY
 NOT TO BE USED FOR
 CONSTRUCTION
 PLAN SET DATE
 MAY, 2016

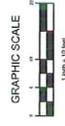
NOTE:
 All lighting fixtures must be fully functional and as-built drawings of the lighting must be submitted to the City of Parma for public review, prior to acceptance of public improvements. The contractor shall be responsible for all utility relocation and protection. The contractor shall be responsible for all traffic control during construction. The contractor shall be responsible for all site cleanup and restoration. The contractor shall be responsible for all safety during construction. The contractor shall be responsible for all quality control during construction. The contractor shall be responsible for all scheduling during construction. The contractor shall be responsible for all communication during construction. The contractor shall be responsible for all record keeping during construction. The contractor shall be responsible for all final inspection during construction. The contractor shall be responsible for all final payment during construction. The contractor shall be responsible for all final closeout during construction. The contractor shall be responsible for all final as-built drawings during construction. The contractor shall be responsible for all final punch list during construction. The contractor shall be responsible for all final closeout report during construction. The contractor shall be responsible for all final project closeout during construction. The contractor shall be responsible for all final project completion during construction. The contractor shall be responsible for all final project handover during construction. The contractor shall be responsible for all final project acceptance during construction. The contractor shall be responsible for all final project sign-off during construction.





NOTE:
The developer reserves the right to substitute any or all portions of the materials/equipment within the lot if it said materials/equipment are not available. The developer will be substituted with other materials/equipment of similar size, type, quality and cost.

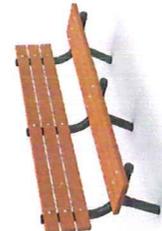
PLAYGROUND ENLARGEMENT
Scale: 1" = 10'



Swingset Structure
No Scale



Composite Play Structure
No Scale



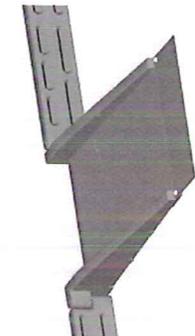
Recycled Plastic Bench
No Scale



Recycled Plastic Litter Receptacle
No Scale



Border Timbers
No Scale



Access Ramp
No Scale

NO.	DESCRIPTION	DATE



CITY OF DELAWARE, DELAWARE COUNTY, OHIO
PARK ENLARGEMENT PLAN
FOR
LANTERN CHASE

LOCATED IN:
QUARTER TOWNSHIP 2, TOWNSHIP 5, RANGE 19
UNITED STATES MILITARY LANDS,
CITY OF DELAWARE, COUNTY OF DELAWARE, STATE OF OHIO

Date	NOVEMBER 5, 2014	Proj. No.	2013-1425
Scale	1" = 10'	Sheet	1/1