

**CITY OF DELAWARE  
PLANNING COMMISSION  
AGENDA**

**CITY COUNCIL CHAMBERS  
1 S. SANDUSKY ST.  
7:00 P.M.**

REGULAR MEETING

MARCH 2, 2016

1. ROLL CALL
2. APPROVAL of the Motion Summary of the Planning Commission meeting held on February 3, 2016, as recorded and transcribed.
3. REGULAR BUSINESS

A. Communities at Glenross

- (1) 2016-0172: A request by Pulte Homes for approval of a Final Development Plan for The Communities at Glenross Section 7 consisting of 40 single family lots on 38.76 acres zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) located on White Fawn Run, Night Bird Lane, Course Road and Crick Stone Drive.
- (2) 2016-0173: A request by Pulte Homes for approval of a Final Subdivision Plat for The Communities at Glenross Section 6 consisting of 40 single family lots on 38.76 acres zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) located on White Fawn Run, Night Bird Lane, Course Road and Crick Stone Drive.

**Anticipated Process**

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (not a public hearing)
- d. Commission Action

- B. 2016-0242: A request by The Daimler Group for approval of a Final Development Plan for a building addition to the Delaware Health Center on approximately 102.25 acres zoned PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District) located at 801 Ohio Health Boulevard.

**Anticipated Process**

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (not a public hearing)
- d. Commission Action

- C. 2016-0244: A request by Fed One Dublin LLC for approval of a Combined Preliminary and Final Development Plan for an approximate 77,500 square foot building for Precision Tower Products on approximately 9.49 acres zoned M-2 (General Manufacturing District) located at 1600 Pittsburgh Drive.

**Anticipated Process**

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (not a public hearing)
- d. Commission Action

- D. 2016-0245: A request by Delaware Development Plan LTD for a Concept Plan Review for a proposed mixed use development on approximately 78 acres zoned A-1 (Agricultural District) and A-1 PMU (Agricultural with a Planned Mixed Use Overlay District) in the City and located north of proposed Meeker Way, east of US 23 and west of Stratford Road.

**Anticipated Process**

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (not a public hearing)
- d. No Commission Action

4. PLANNING DIRECTOR'S REPORT
5. COMMISSION MEMBER COMMENTS AND DISCUSSION
6. NEXT REGULAR MEETING: April 6, 2016
7. ADJOURNMENT

**PLANNING COMMISSION  
MOTION SUMMARY  
February 3, 2016**

ITEM 1. Roll Call

Chairwoman Keller called the Planning Commission meeting to order at 7:00 p.m.

Members Present: Robert Badger, George Mantzoros, Jim Halter, Colleen Tucker-Buck, Dean Prall, Vice-Chairman Stacy Simpson, and Chairwoman Lisa Keller

Staff Present: Jennifer Stachler, Assistant City Engineer, Lance Schultz, Zoning Administrator.

ITEM 2. Approval of the Motion Summary of the Planning Commission meeting held on December 2, 2015, as recorded and transcribed.

**Motion:** Mr. Halter moved to approve the Motion Summary for the January 20, 2016 meeting, seconded by Ms. Tucker-Buck. Motion approved by a 7-0 vote.

ITEM 3. REGULAR BUSINESS

A. 2016-0101: A request by Garage 26 for approval of a Conditional Use Permit for an automotive service facility at 147 East William Street on approximately 0.33 acres zoned B-3 (Community Business District).

Mr. Schultz discussed the zoning and types of uses under the zoning code. Mr. Schultz stated that the property is in the Historic District and will need to follow those standards. Mr. Schultz reviewed the conditions recommended by Engineering that include the existing asphalt to be repaired in 18 months time and the tree lawn area to be converted to grass. Mr. Schultz reviewed the proposed site plan and staff conditions.

Mr. Halter voiced his concern regarding the time requirement to complete the asphalt project and that it should be required to be completed sooner.

APPLICANT:

Liz Sickinger  
105 English Terrace  
Delaware, Ohio 43015

David Drissi  
8348 Dunnberry Circle  
Powell, Ohio 43065

Don McCann  
447 North Washington St.  
Delaware, Ohio 43015

Mr. Drissi discussed the history of his ownership of the property and that the time limit to repair the asphalt was to allow time for the applicant's to establish their business financially.

Mr. Halter discussed the wording of the condition and who will be responsible for the repairs. Mr. Schultz indicated the owner of the property would be responsible for any site improvements and any code violations.

Mr. McCann stated that the plan is to operate an upscale automobile service. Mr. McCann indicated that future plans are to purchase the property.

Chairwoman Keller requested clarification from Mr. Drissi that the agreement for asphalt repairs will be between the City of Delaware and the owner of the property, and not the tenants. Mr. Drissi expressed his understanding and discussed the lease requirements between him and the tenants.

Mr. Schultz explained that the reestablishment of the tree lawn could happen immediately per the applicant and that no formal occupancy building permit will be approved until this condition is met if that is the wish of the commission.

**Motion:** Mr. Halter moved to amend 2016-0101 condition number 3 to state that "the tree lawn shall be re-established and extended from the front of the building on Little Street north to north of the property line and shall be completed prior to final certificate of occupancy building permit approval", seconded by Mr. Badger. Motion approved by a 7-0 vote.

**Motion:** Vice-Chairman Simpson moved to approved 2016-0101, along with all staff conditions and recommendations, seconded by Mr. Prall. Motion approved by a 6-1 (Halter) vote.

B. Informal Discussion – Communities at Glenross south of Cheshire Rd.

Mr. Schultz provided a presentation of the existing location map, zoning map, and aerial photo of the site. Mr. Schultz reviewed the 2011 Approved Preliminary Plan & Plat, and reviewed the proposed revised plans, including changes in lot sizes.

APPLICANT:

Steve Peck  
4900 Tuttle Crossing Blvd.  
Columbus, Ohio

Mr. Peck discussed the plans of a 91 lot reduction and that changes occurred from attached to detached condominiums upon the change from Dominion Homes to Pulte. Mr. Peck indicated that there are no plans to change expected sale prices.

Ms. Tucker-Buck voiced her concern regarding the location of the tot lot, and requested consideration of a move to the southern area.

Mr. Prall voiced his concern over the change of lot size to 55ft. by 130ft. Mr. Prall discussed the need to maintain the minimum requirement of 65ft and that the auditor's valuation of the properties will not maintain and decline.

Chairwoman Keller also discussed her concerns regarding the changes in lot sizes.

Mr. Prall requested that Pulte evaluate for potential amenities for the development and target these amenities towards the expected user groups.

Mr. Peck will determine the potential loss of lots with the 65ft lot size to determine feasibility.

#### ITEM 4. PLANNING DIRECTOR'S REPORT

A. Mr. Schultz discussed next month's potential agenda.

#### ITEM 5. ELECTION OF OFFICERS

**Motion:** Mr. Halter moved to elect Mrs. Keller as Chairwoman, seconded by Mr. Prall. Motion approved by a 7-0 vote.

**Motion:** Mr. Prall moved to elect Mr. Simpson as Vice-Chairman, seconded by Mr. Badger. Motion approved by a 7-0 vote.

#### ITEM 6. COMMISSION MEMBER COMMENTS AND DISCUSSION

#### ITEM 7. NEXT REGULAR MEETING: March 2, 2016

Chairwoman Keller indicated that she will be unavailable to attend the March 2, 2016 meeting.

Mr. Prall requested an update to on any future Comprehensive Plan revisions.

Vice-Chair Simpson requested the final numbers on both residential and commercial permits.

ITEM 8. ADJOURNMENT:

**Motion:** Chairwoman Keller moved for the February 3, 2016 Planning Commission meeting to adjourn. The meeting adjourned at 8:46 p.m.

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Lisa Keller, Chairwoman

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Elaine McCloskey, Clerk



## PLANNING COMMISSION / STAFF REPORT

CASE NUMBERS: 2016-0172 & 0173

REQUEST: Multiple Requests

PROJECT: The Communities at Glenross - Section 7

MEETING DATE: March 2, 2016

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### APPLICANT/OWNER

Pulte Homes of Ohio LLC  
4900 Tuttle Crossing Blvd.  
Dublin, Ohio 43016

### REQUEST

2016-0172: A request by Pulte Homes for approval of a Final Development Plan for The Communities at Glenross Section 7 consisting of 40 single family lots on 38.76 acres zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) located on White Fawn Run, Night Bird Lane, Course Road and Crick Stone Drive.

2016-0173: A request by Pulte Homes for approval of a Final Subdivision Plat for The Communities at Glenross Section 6 consisting of 40 single family lots on 38.76 acres zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) located on White Fawn Run, Night Bird Lane, Course Road and Crick Stone Drive.

### PROPERTY LOCATION & DESCRIPTION

The subject section is located north of Cheshire Road, west of the railroad tracks and just south of Section 4 between Sections 5 and 6 and located on White Fawn Run, North Bird Lane, Course Road and Crick Stone Drive respectively. The zoning of the subject site is R-2 PMU (Single-Family Residential District with a Planned Mixed Use Overlay District) as are the properties to the north, south and west. The property to the east is zoned residential in Berlin Township.

### BACKGROUND

The Communities at Glenross development was annexed and zoned in 2006 and received a Rezoning Amendment and Amended Preliminary Development Plan and Preliminary Subdivision Plat approval in 2010. This development was designed as a sister development to the Golf Club at Glenross. Overall, this development consists of approximately 400 acres and over 1,100 dwelling units. The plan includes single family detached units as well as condominium units. Compared to the Golf Club at Glenross development, the Communities at Glenross has a much more detailed sub-area plan and Development Text. The development is located in several zoning sub-areas on both sides of Cheshire Road and includes significant open space, park area, a club house, and buffering amenities.

In August 2015, Sections 6-10, located north of Cheshire Road, received Amended Preliminary Development Plan and Amended Subdivision Plat approval by the Planning Commission and City Council. In January 2016, the Planning Commission and City Council approved the Final Development Plan and Final Subdivision Plat for Section 6. Now the applicant is requesting to develop Section 7 which is located west of the railroad tracks and south of Section 4 between Sections 5 and 6 and would contain 40 single family lots on 38.76 acres.

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### STAFF ANALYSIS

- **LAND USE:** The proposed development is located in an area that recommends a future land use of Mixed Use consistent with the PMU Overlay zoning and associated development text and preliminary plans. The proposed single family development achieves compliance with the comprehensive plan.
- **ENGINEERING:** The Applicant has submitted final engineering drawings for review by the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department. All utilities shall be stubbed to the section line to facilitate future adjacent development.
- **ROADS, TRAFFIC & ACCESS:** Access is gained through Sections 5 and 6 from the east and west respectively along White Fawn Run and Crick Stone Drive. With the construction of this section, a second access point to Cheshire Road would be established utilizing Balmoral Drive. Night Bird Lane and Course Road are internal roads within this Section. All the streets would have to achieve compliance with minimum engineering standards

- **LOT SIZE:** This section is in Sub-Area IIC which has specific development standards within The Communities at Glenross. The lot sizes range from 10,628 square feet (0.244 acre) to 28,139 square feet (0.646 acres) with minimum lot widths of 80 feet and minimum lot depths of 125 feet (8,450 square feet). The front yard setbacks are 25 feet, the rear yard setbacks are 30 feet while the side yard setbacks are 10 feet. All lots meet or exceed minimum requirements of the approved text and are in conformance with the Amended Preliminary Development Plan and Preliminary Subdivision Plat.
- **DESIGN:** The comprehensive and extensive design requirements of the Communities at Glenross subdivision would be required in this section. The requirements for Sub-Area IIA include: minimum 2,000 square feet for all single family houses, 100% natural materials on all elevations which shall consist of brick, stone, or cultured stone and/or fiber cement siding and the roofs shall have dimensional shingles among other items.
- **LIGHTING PLAN:** A lighting plan needs to be submitted, reviewed and approved by the Chief Building Official that complies with the minimum zoning requirements prior to the engineering drawing approval.
- **LANDSCAPE PLAN:** A street tree planting plan needs to be submitted, reviewed, and approved by the Shade Tree Commission. It is imperative that the Applicant coordinate the landscaping plan with the engineering site development plan so that required landscaping does not impede visibility at intersections or of any traffic control signs.
- **OPEN SPACE/RESERVE AREA:** There are two open space/detention basins located along Cheshire Road in this Section platted for storm water and traffic engineering considerations. The subjects lots are 5.581 and 17.124 acres located just west and east of the main entrance and roundabout into Section 10 of the subject development. Per a condition in the approved Amended Preliminary Plan and Plat, the programming and review of the amenities (tot lot, shelter house, basketball court, volleyball court and recreational fields) would occur with the Final Subdivision Plat for Section 10. These two lots shall be owned and maintained by the Homeowners Association for open space and storm water facilities.
- **MISCELLANEOUS:** This subdivision shall be in the Delaware South New Community Authority, there is a calculated transportation fee per lot imposed at the time of building permit issuance at the rate for single family lots in the Glenross Golf Club Subdivision and this area is subject to the South East Highland Sanitary Sewer additional capacity fee of \$3,200 per dwelling unit.

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**STAFF RECOMMENDATION – (FINAL DEVELOPMENT PLAN - 2016-0172)**

Staff recommends approval of a request by Pulte Homes of a Final Development Plan for The Communities at Glenross Section 7 consisting of 40 single family lots on 38.76 acres zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) located on White Fawn Run, Night Bird Lane, Course Road and Crick Stone Drive, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The subject plan shall achieve compliance with the approved Preliminary Development Plan.

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**STAFF RECOMMENDATION – (FINAL SUBDIVISION PLAT - 2016-0173)**

Staff recommends approval of a request by Pulte Homes of a Final Subdivision Plat for The Communities at Glenross Section 6 consisting of 40 single family lots on 38.76 acres zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) located on White Fawn Run, Night Bird Lane, Course Road and Crick Stone Drive, with the following conditions that:

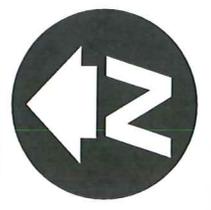
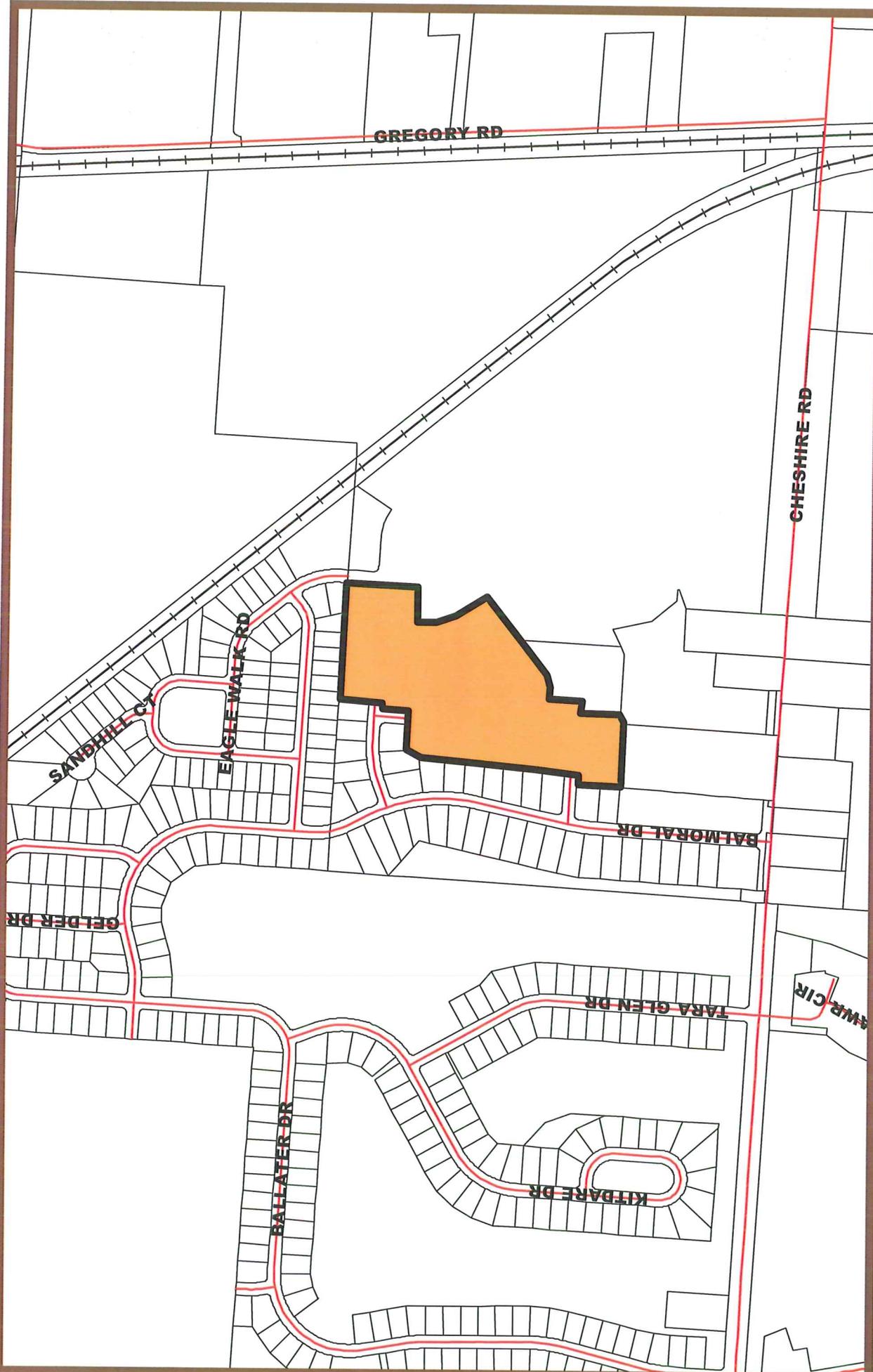
1. The Applicant needs to obtain final engineering approvals, including any stormwater and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The single family houses shall comply with the Sub-Area IIA Communities at Glenross design and size standards and Chapter 1171.08 Residential Development Design Criteria and Performance Standards.

3. The lighting plan shall be submitted, reviewed and approved by the Chief Building Official prior to engineering drawing approval.
  4. The street tree plan shall be reviewed and approved by the Shade Tree Commission.
  5. This section of the Communities of Glenross Subdivision is in the Delaware South New Community Authority, subject to the single family lot transportation fee in effect for the Glenross Golf Club at the time of building permit issuance and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling units.
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**CONCLUSIONS**

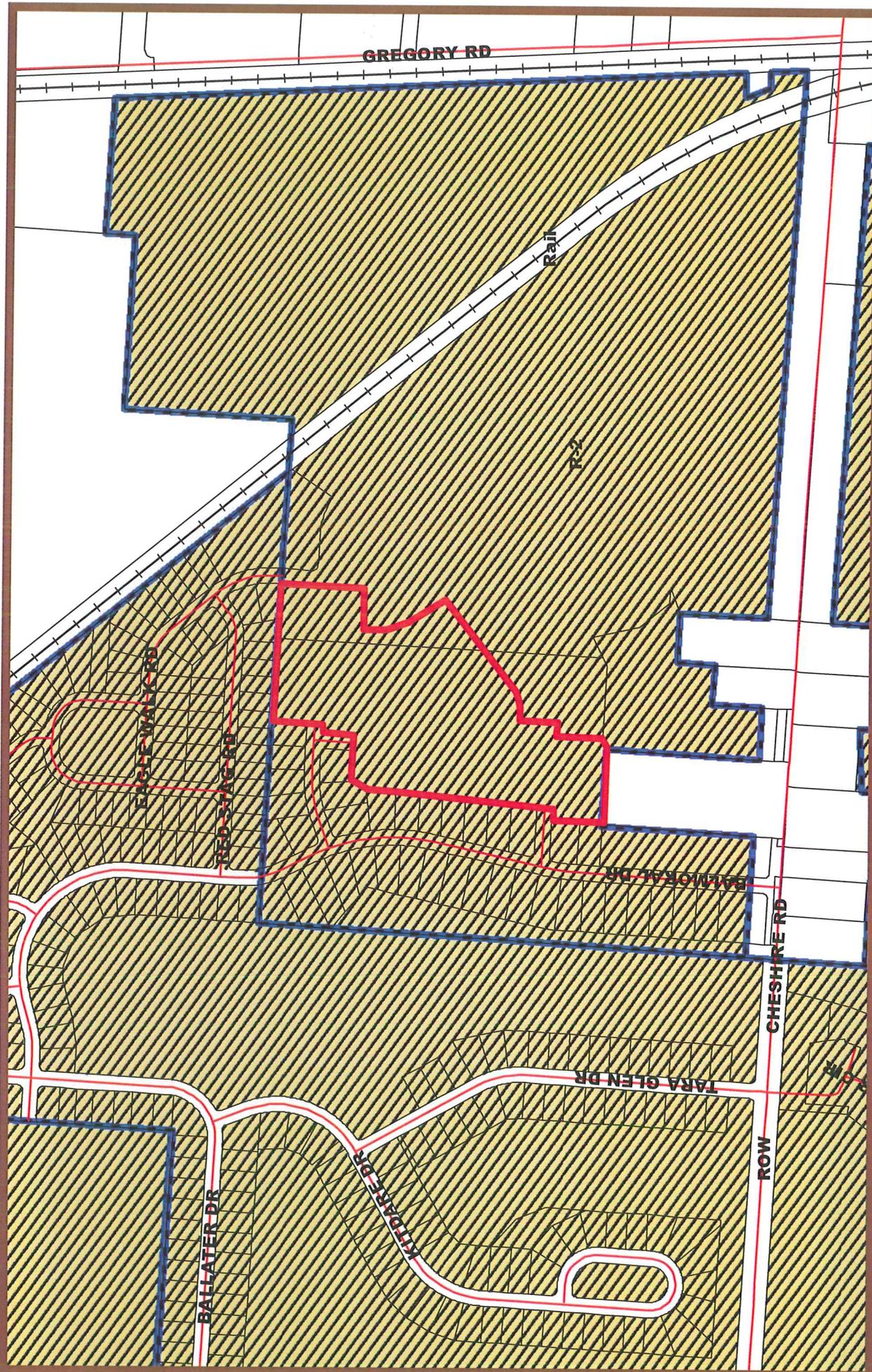
- The proposal is consistent with the Land Use element of the Comprehensive Plan.
- The proposal meets all applicable Code requirements, with fulfillment of the approval conditions.





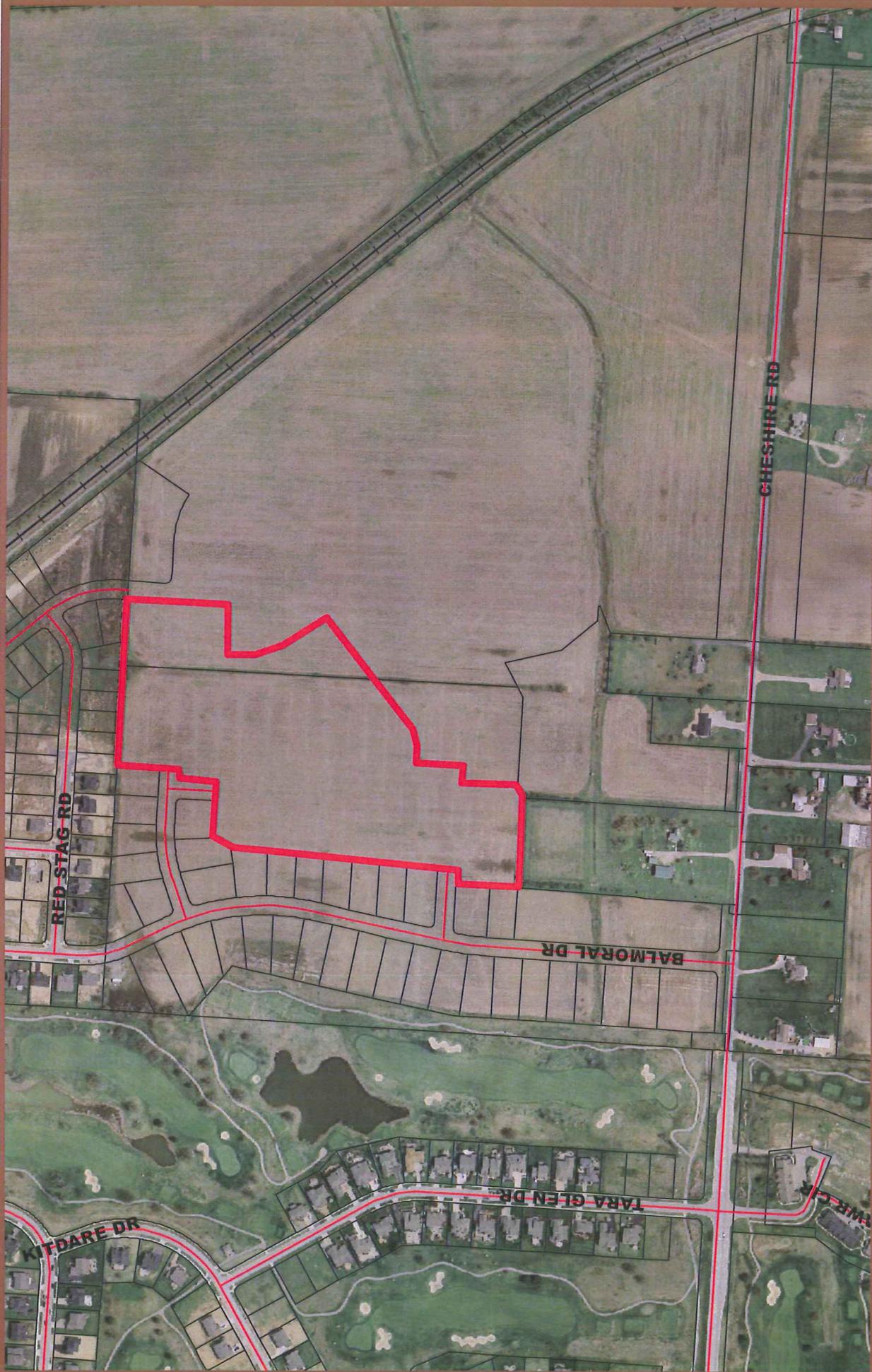
2016-0172 & 0173  
 Final Development Plan and Final Subdivision Plat  
 Communities at Glenross - Section 7  
 Location Map





2016-0172 & 0173  
 Final Development Plan and Final Subdivision Plat  
 Communities at Glenross - Section 7  
 Zoning Map





2016-0172 & 0173  
Final Development Plan and Final Subdivision Plat  
Communities at Glenross - Section 7  
Aerial (2013)



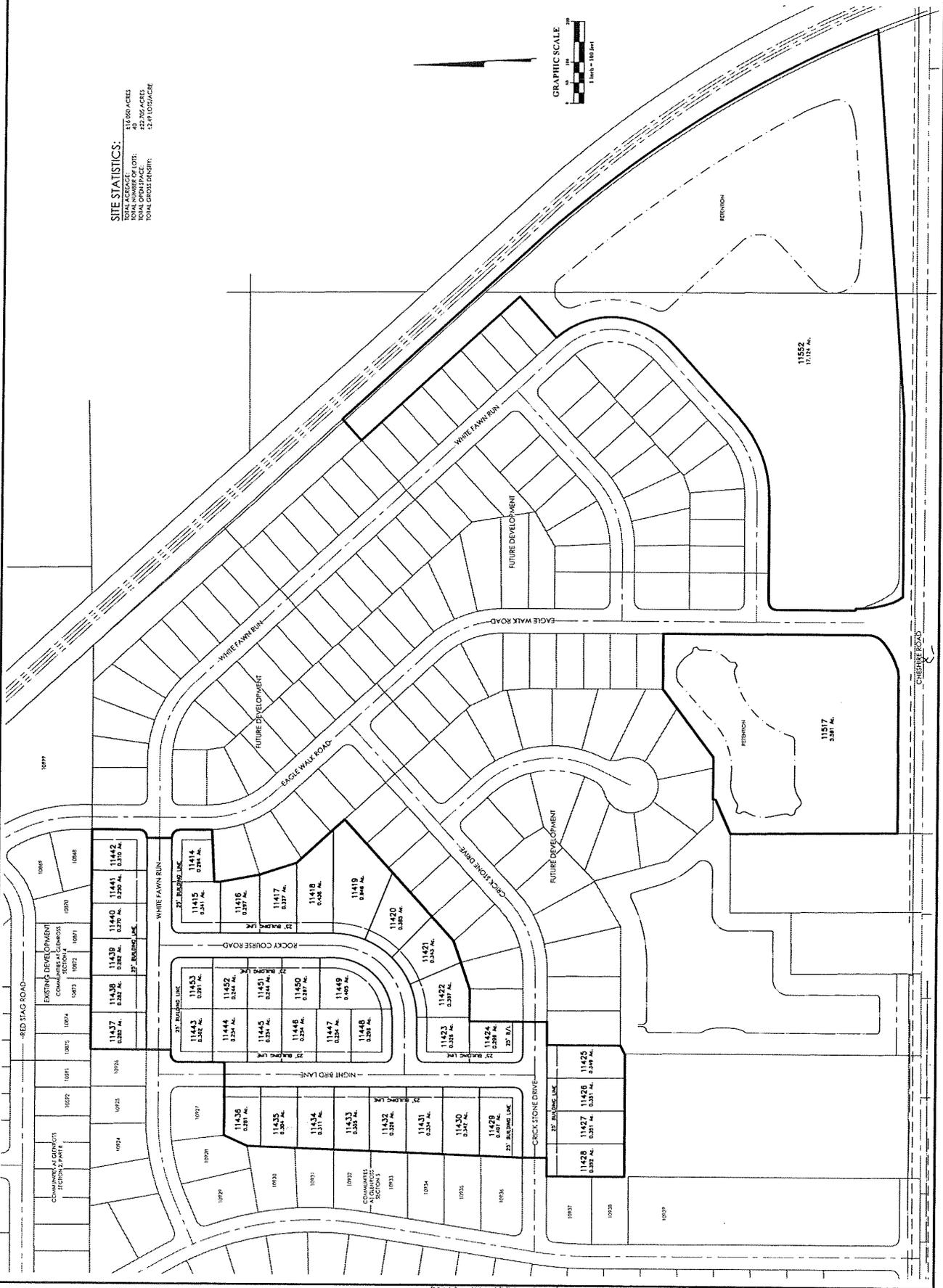






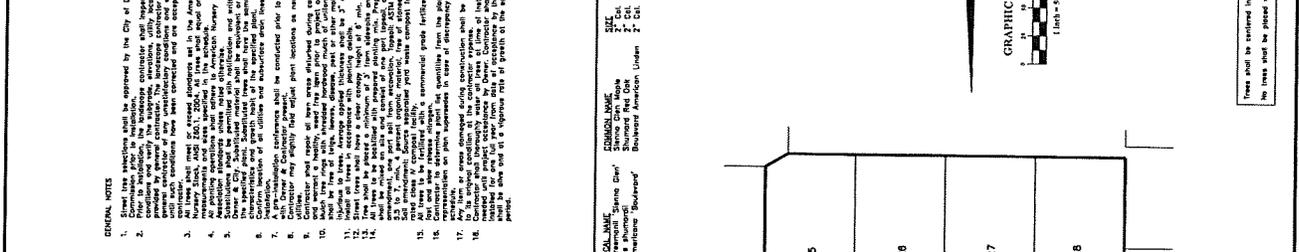


**SITE STATISTICS:**  
 10,600 ACRES  
 410 LOTS  
 232,705 SQUARE FEET  
 TOTAL OPEN SPACE: 12.6%  
 TOTAL LOT AREA: 12.6%



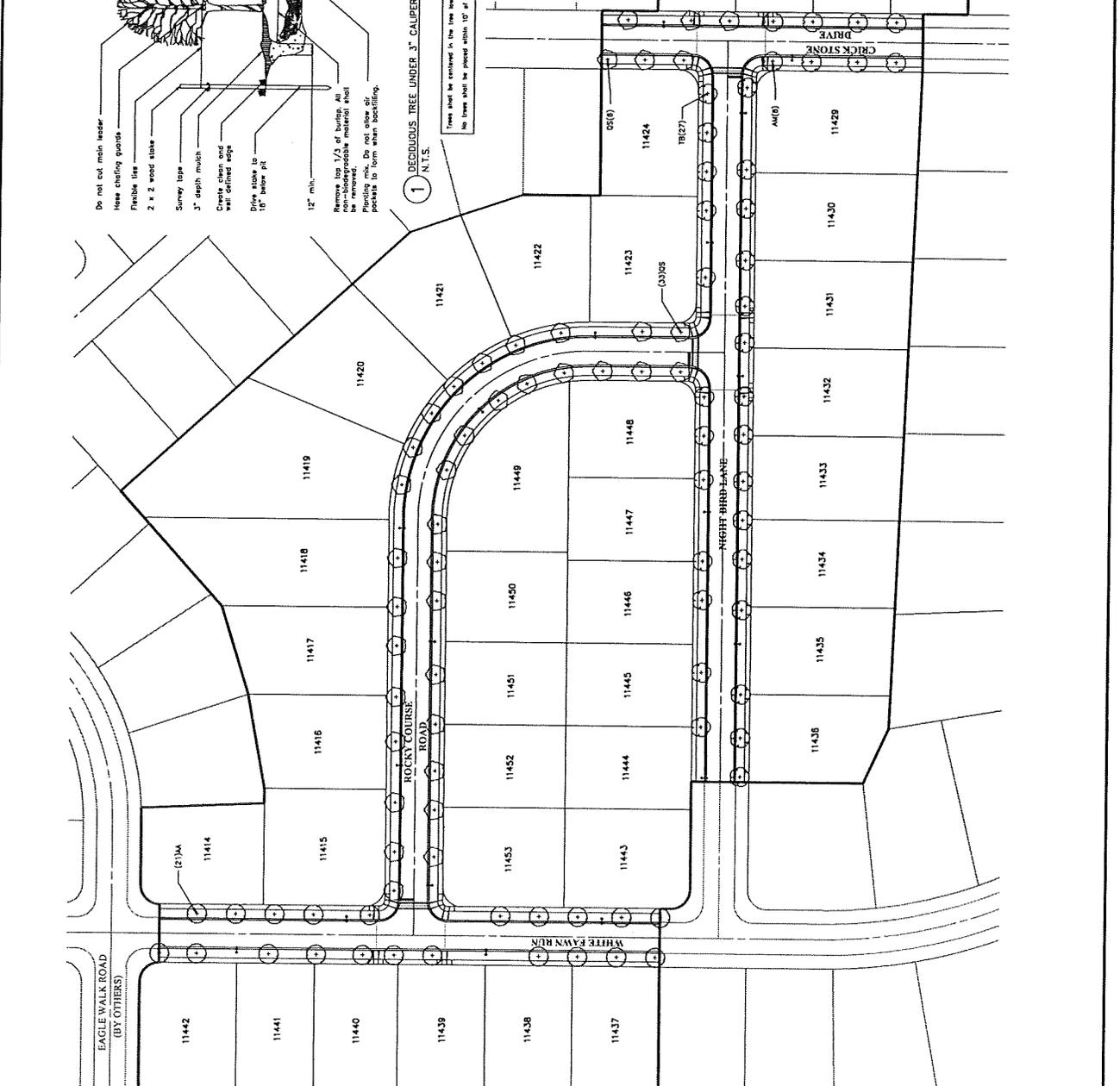
1/13/2016 10:58 AM: Overland Park Development 17077/20150058 FOR - 504 DRAWING LAY OUT BY: JAMES 2/27/2016 12:31 PM LAY OUT CHECKED BY: JAMES 2/27/2016 2:38 PM (REV)

GENERAL NOTES:  
 1. Street tree locations shall be approved by the City of Delaware Street Tree Commission (STTC) in accordance with the City of Delaware Street Tree Ordinance, 2009.  
 2. Contractors shall be responsible for the installation, maintenance, utility relocation and final removal of all street trees. The contractor shall be responsible for the installation and maintenance of any temporary construction site and/or of any other construction site.  
 3. All trees shall be installed in accordance with the City of Delaware Street Tree Ordinance, 2009, and shall be installed in accordance with the City of Delaware Street Tree Ordinance, 2009.  
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PLANT SCHEDULE

PLANT	QUANTITY	REMARKS	SIZE	CONDITION
DECIDUOUS TREE UNDER 3" CALIPER	1	See notes	3" Cal	BBB
DECIDUOUS TREE UNDER 3" CALIPER	1	See notes	3" Cal	BBB
DECIDUOUS TREE UNDER 3" CALIPER	1	See notes	3" Cal	BBB
DECIDUOUS TREE UNDER 3" CALIPER	1	See notes	3" Cal	BBB



Trees shall be installed in the tree lawn.  
 No trees shall be placed within 10' of a signal.





**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**



Project # 20150050

Case # 2016-0172-2938 <sup>Total</sup>  
(-1250 - paid)

Planning Commission

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Amended Final Development Plan                | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use <u>1089</u> |
| <input type="checkbox"/> Amended Final Subdivision Plat                | <input type="checkbox"/> Final Subdivision Plat           | <input type="checkbox"/> Vacation-Alley <u>out</u>                        |
| <input type="checkbox"/> Amended Preliminary Development Plan          | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement                                |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat          | <input type="checkbox"/> Floodplain Permit                | <input type="checkbox"/> Vacation-Street                                  |
| <input type="checkbox"/> Annexation Review                             | <input type="checkbox"/> Lot Split                        | <b>Board of Zoning Appeals</b>  |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement         | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment                  | <input type="checkbox"/> Preliminary Development Plan     | <input type="checkbox"/> Conditional Use Permit                           |
| <input type="checkbox"/> Concept Plan                                  | <input type="checkbox"/> Preliminary Dev Plan Extension   | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit                        | <input type="checkbox"/> Preliminary Sub Plat             | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Determination of Similar Use                  | <input type="checkbox"/> Preliminary Sub Plat Extension   |   |
| <input type="checkbox"/> Development Plan Exemption                    | <input type="checkbox"/> Rezoning                         |   |
| <input checked="" type="checkbox"/> Final Development Plan             | <input type="checkbox"/> Subdivision Variance             |   |

Subdivision/Project Name The Communities at Glenross Section 7 Address Cheshire Rd, Delaware OH  
 Acreage 38.76 Square Footage N/A Number of Lots 42 Number of Units 42  
 Zoning District/Land Use PMU/R-2 Proposed Zoning/Land Use PMU/R-2 Parcel # 41832001016000

Applicant Name Pulte Homes of Ohio LLC Contact Person Steve Peck  
 Applicant Address 4900 Tuttle Crossing Blvd, Dublin OH 43016  
 Phone 614-376-1082 Fax 614-356-6801 E-mail Stephen.Peck@Pulte.com  
 Owner Name Pulte Homes of Ohio LLC Contact Person Steve Peck  
 Owner Address 4900 Tuttle Crossing Blvd, Dublin OH 43016  
 Phone 614-376-1082 Fax 614-356-6801 E-mail Stephen.Peck@Pulte.com  
 Engineer/Architect/Attorney EMH&T INC Contact Person Brian Prenger  
 Address 5500 New Albany Rd Columbus OH 43054  
 Phone 614-775-4344 Fax 614-775-4887 E-mail bprenger@emht.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

Steve Peck

Owner Signature

Owner Printed Name

Agent Signature

Agent Printed Name

Sworn to before me and subscribed in my presence this 2nd day of February, 2016



Notary Stamp Bill R. Hayes  
Notary Public, State of Ohio  
My Commission Expires 12-07-2020

Notary Public



**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**



Project # 20150050

Case # 2016-0173

Planning Commission

- |  |  |   |
|--|--|---|
| <input type="checkbox"/> Amended Final Development Plan                | <input type="checkbox"/> Final Development Plan Extension  | <input type="checkbox"/> Substitution of a Non-Conforming Use             |
| <input type="checkbox"/> Amended Final Subdivision Plat                | <input checked="" type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Vacation-Alley                                   |
| <input type="checkbox"/> Amended Preliminary Development Plan          | <input type="checkbox"/> Final Subdivision Plat Extension  | <input type="checkbox"/> Vacation-Easement                                |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat          | <input type="checkbox"/> Floodplain Permit                 | <input type="checkbox"/> Vacation-Street                                  |
| <input type="checkbox"/> Annexation Review                             | <input type="checkbox"/> Lot Split                         | <b>Board of Zoning Appeals</b>  |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement          | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
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| <input type="checkbox"/> Concept Plan                                  | <input type="checkbox"/> Preliminary Dev Plan Extension    | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit                        | <input type="checkbox"/> Preliminary Sub Plat              | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Determination of Similar Use                  | <input type="checkbox"/> Preliminary Sub Plat Extension    |   |
| <input type="checkbox"/> Development Plan Exemption                    | <input type="checkbox"/> Rezoning                          |   |
| <input type="checkbox"/> Final Development Plan                        | <input type="checkbox"/> Subdivision Variance              |   |

Subdivision/Project Name The Communities at Glenross Section 7 Address Cheshire Rd, Delaware OH  
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 Address 5500 New Albany Rd Columbus OH 43054  
 Phone 614-775-4344 Fax 614-775-4887 E-mail bprenger@emht.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

*[Signature]*

Owner Signature

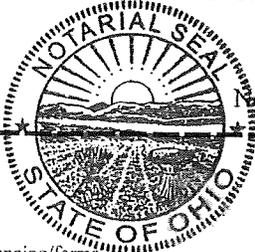
Steve Peck

Owner Printed Name

Agent Signature

Agent Printed Name

Sworn to before me and subscribed in my presence this 2nd day of February, 2016.



Notary Public, State of Ohio  
My Commission Expires 12-07-2020

*[Signature]*  
Notary Public

CASE NUMBERS: 2016-0242  
REQUEST: Final Development Plan  
PROJECT: Delaware Health Center  
MEETING DATE: March 2, 2016

**APPLICANT/OWNER**

The Daimler Group  
1533 Lake Shore Drive  
Columbus, Ohio 43204

**REQUESTS**

2016-0242: A request by The Daimler Group for approval of a Final Development Plan for a building addition to the Delaware Health Center on approximately 102.25 acres zoned PO/I PMU (Planned Office/Institutional with a Planned Mixed Use Overlay District) located at 801 Ohio Health Boulevard.

**PROPERTY LOCATION & DESCRIPTION**

The subject property and existing office building is located just east of the Glenn Road and Ohio Health Boulevard roundabout. The subject property is zoned PO/I PMU (Planned Office/Institutional with a Planned Mixed Use Overlay District). The property to the north is zoned R-2 PRD (One-Family Residential District with a Planned Residential Development District), the properties to the south are zoned B-3, R-2 and R-6 PMU (Community Business District, One-Family Residential District and Multi-Family Residential District with a Planned Mixed Use Overlay District), the properties to the east are zoned R-2 PMU and the property to the west is zoned B-4 (General Business District) with Text Limitations.

**BACKGROUND/PROPOSAL**

In 2005, the Planning Commission and City Council (Ordinance 05-11) approved a rezoning to PO/I with Text Limitations. Then in June 2007, the Planning Commission and City Council (Ordinance 07-75) approved a Combined Preliminary and Final Development Plan for Phase 1 of the Delaware Health Village. The subsequent approximate 60,320 square feet office building was constructed in 2008. Then in 2009, Planning Commission and Council (Ordinance 09-17) approved a rezoning to PO/I PMU to allow more flexibility for a campus setting for the subject site. Now the applicant is requesting to construct an approximate 7,160 square foot addition to the eastern portion of the existing building that will expand the oncology practice and offer new specialized cancer treatment options to patients.

**STAFF ANALYSIS**

- **ZONING:** As mentioned above, the zoning of the subject property is PO/I PMU which allows medical offices, health and allied services as a permitted use. As typical, a Final Development Plan would need to be approved for the small addition by the Planning Commission and City Council.
- **ENGINEERING** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on a technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND TRAFFIC:** The access to the site would remain the same from an existing curb cut on Ohio Health Boulevard just east of the roundabout at Glenn Parkway and Ohio Health Boulevard.
- **SITE LAYOUT:** The site would remain as currently configured except for the proposed 7,160 square foot addition on the east side of the existing building fronting Ohio Health Boulevard and the existing parking lot. The area where the addition is proposed is currently grass. The existing 263 space parking lot would be able to accommodate the existing building and the proposed addition which would require 236 parking space as required by the original rezoning approved in 2005 (Ordinance 05-11) and the subsequent rezoning to a Planning Mixed Use Overlay District approved in 2009 (Ordinance 09-17).
- **BUILDING DESIGN:** The proposed building design would match the existing building as much as feasible. The proposed building would be comprised of brick with windows on the south (Ohio Health Boulevard) and west elevations with a flat roof with a parapet to screen any mechanical equipment on the roof. The nature of the use of the building limits the number of windows within the addition.
- **LANDSCAPING:** The applicant is proposing parking island and foundation plantings. Two trees and associated landscaping will bookend the main entrance from the parking lot. In addition, 2 trees and 7 shrubs



CASE NUMBER: 2016- 0242  
MEETING DATE: March 2, 2016  
PAGE: Page 3 of 3

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MOTION: \_\_\_\_\_ 1<sup>st</sup> \_\_\_\_\_ 2<sup>nd</sup> *approved* *denied* *tabled* \_\_\_\_\_

CONDITIONS/MISCELLANEOUS:

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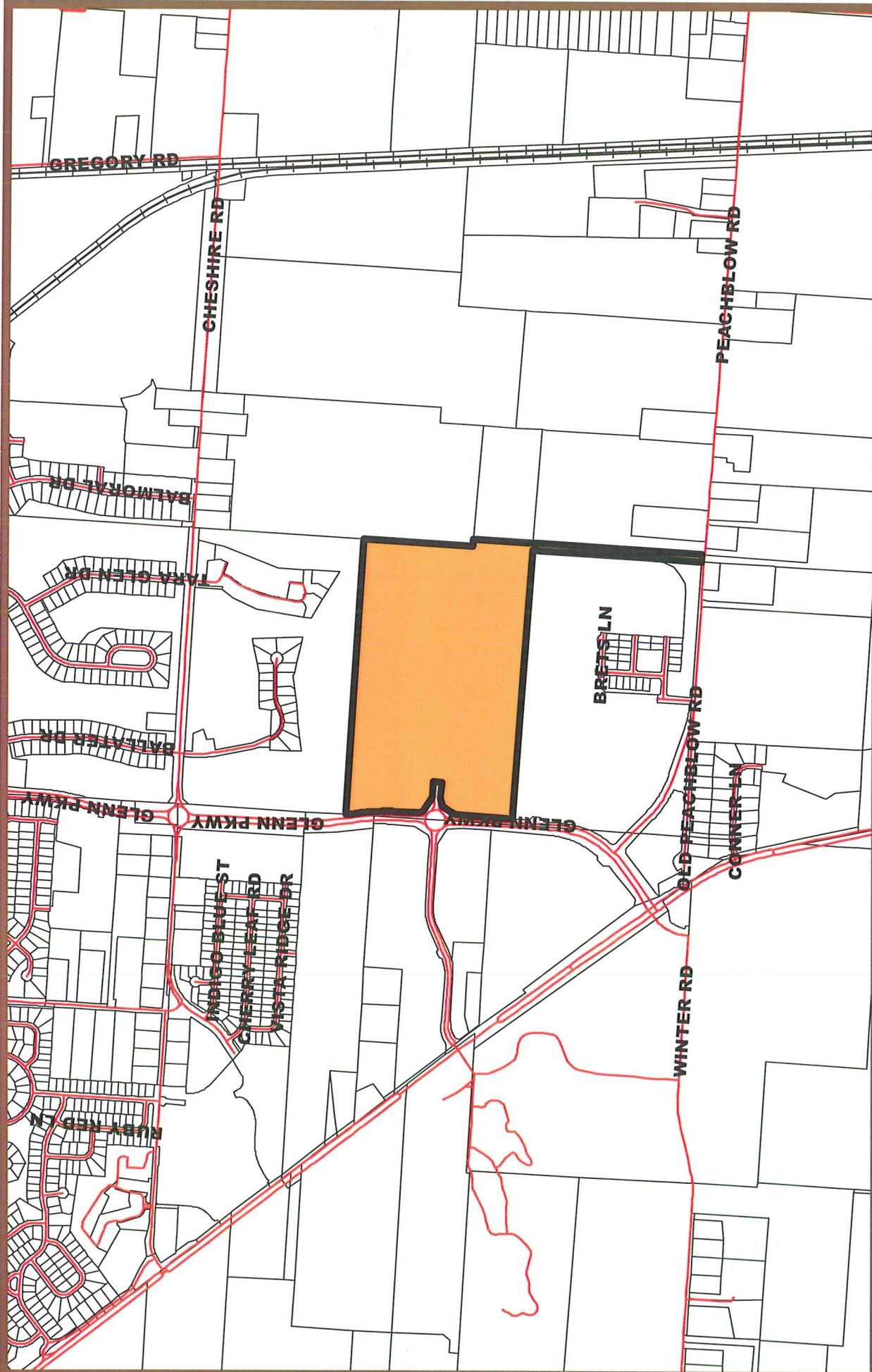
FILE:  
ORIGINAL:  
REVISED: 2/12/16



## Delaware Health Center - Linear Accelerator

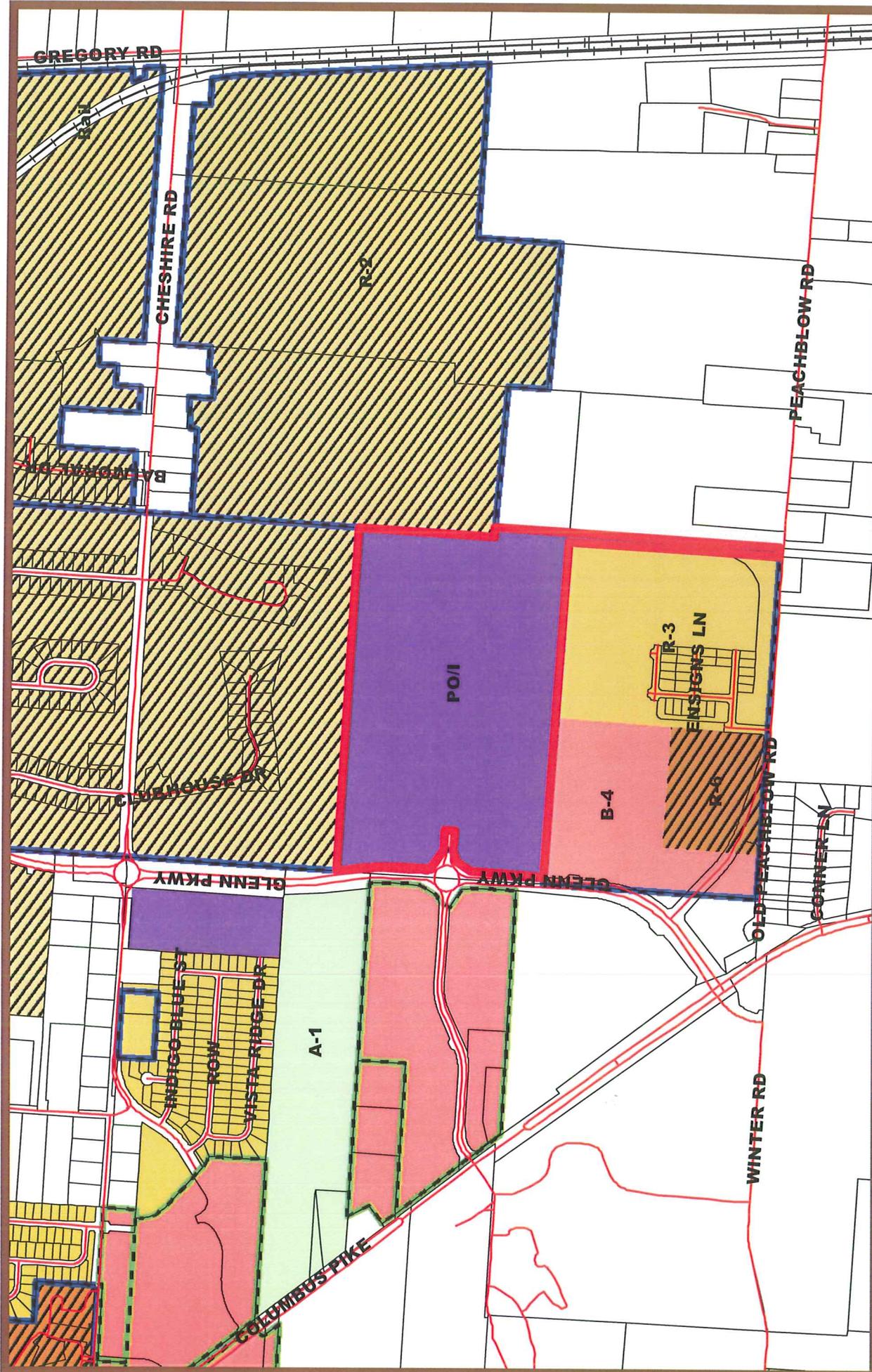
<b>Project:</b>	Delaware Health Center - Linear Accelerator Addition
<b>Project Size:</b>	The project will consist of a one-story, 7,160 square foot addition (existing building is 60,320 square feet).
<b>Project Location:</b>	The project is located in the northeast corner of Ohio Health Boulevard and Glenn Parkway. The addition itself will be constructed along the eastern wall of the existing building.
<b>Parcel/Land Size:</b>	105.278 acres
<b>Proposed Project Site:</b>	0.40 acres within the larger 105.278 acre tract owned by Grady Memorial Hospital.
<b>Project Description:</b>	The Project will serve as part of OhioHealth's new cancer center that will build on its existing oncology practice and offer new specialized cancer treatment options to patients.
<b>Existing Zoning:</b>	PO/I Planned Office/Institutional with a PMU (Planned Mixed Use) Overlay District. As defined in Section 1141.02 of the Zoning Code, medical offices, health and allied services are a permitted use. No adjustments to the zoning are being requested as part of this submission.
<b>Use:</b>	Medical Office/Institutional
<b>Parking:</b>	Currently there are 263 parking spaces serving the existing building. The Development Plan approval for the existing building allowed for a reduced number of parking spaces. Per Section 1161.08 of the Zoning Code and Schedules 1161.04 and 1161.08, a reduced number of parking spaces are permitted so long as the number of spaces exceeds 70% of amount required by zoning (1 space per 200 sf) and there are sufficient areas for construction of the additional required spaces if needed. With the addition of 7,160 square feet, the 70% threshold is 236 parking spaces, which is exceeded by the 263 spaces available. The existing parking lot is currently underutilized with plenty of capacity for its current uses and use anticipated with the new addition. Additionally, there are sufficient areas to add additional spaces due to any unforeseen conditions by the applicant.
<b>Design:</b>	Exterior design responds to both street-side and parking side elevations of the existing building, by incorporating the same palette of materials and other design elements, including corbeled brick parapets, limestone window headers and accent quoins, brick banding and corner column details, and an entry element incorporating glass and wood trim. New landscaping will match existing materials used on the site.





2016-0242  
 Final Development Plan  
 Delaware Health Center - 801 Ohio Health Boulevard  
 Location Map





2016-0242  
 Final Development Plan  
 Delaware Health Center - 801 Ohio Health Boulevard  
 Zoning Map





2016-0242  
Final Development Plan  
Delaware Health Center - 801 Ohio Health Boulevard  
Aerial (2013)







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DELAWARE HEALTH CENTER 801 OHIOHEALTH BLVD, DELAWARE, OH 43015

# OH DELAWARE HEALTH CENTER LINEAR ACCELERATOR ADDITION

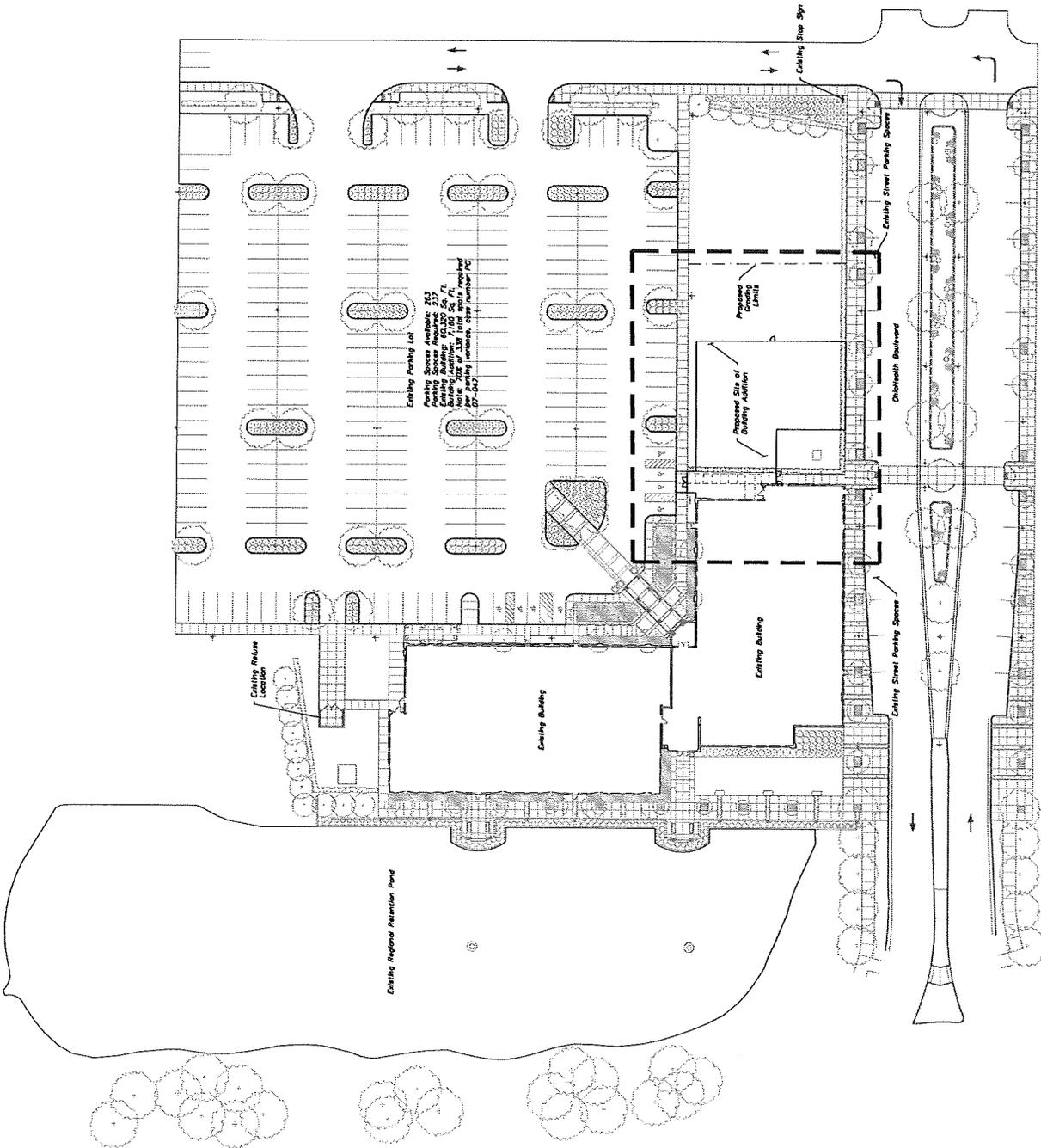
PROJECT NUMBER: 15390  
 DATE: 01.12.16  
 SHEET NUMBER: C1



Area (Acres)	Description
0.42	Proposed Building Site
0.18	Building Addition
0.08	Hardscape Space
0.76	Existing Building
2.90	Existing Parking Lot

LEGEND  
 EXISTING

Direction of Traffic







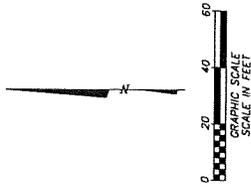
775 Ford Street, Suite 325  
 Columbus, Ohio 43215  
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 www.m-a-architects.com

DELAWARE HEALTH CENTER 801 OHIOHEALTH BLVD, DELAWARE, OH 43015

# OH DELAWARE HEALTH CENTER LINEAR ACCELERATOR ADDITION

m+a architects

PROJECT NUMBER: 15-001  
 SHEET TITLE: SITE STAKING PLAN  
 DATE: 01.12.16  
 SHEET NUMBER: C3

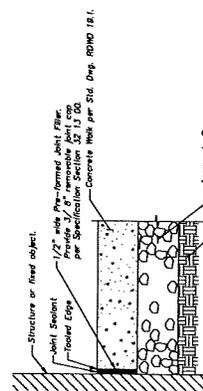
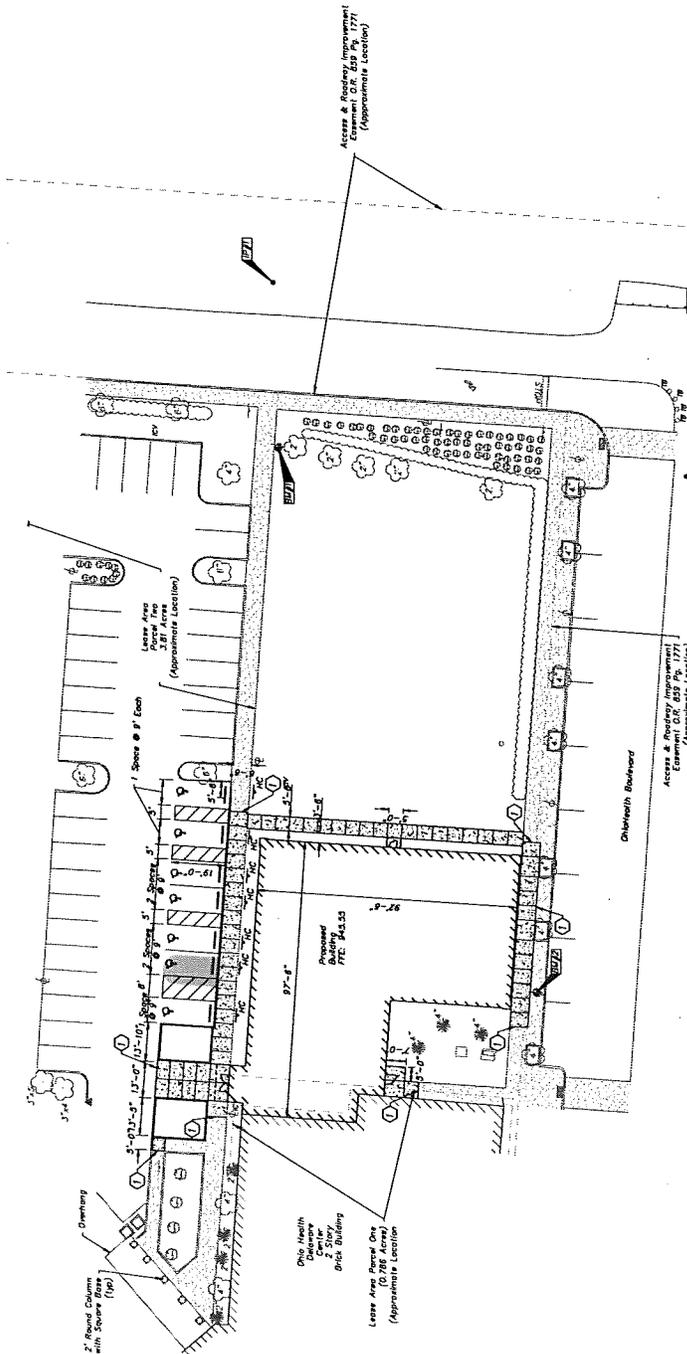


## LEGEND

EXISTING	
Property Line	---
Building/Wall	=====
Curb	=====
Pavement	=====
Walk	=====
Traffic Barrier	=====
Sign	=====
Bush/Shrub	=====
Deciduous Tree	=====
Survey Control Point	=====
Benchmark	=====
Painted Markers/Symbol	=====
Concrete Pavement or Sidewalk	=====

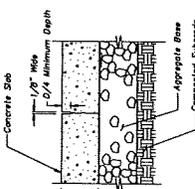
  

PROPOSED	
Building/Wall	=====
Pavement	=====
Formwork	=====
Walk	=====
Mark	=====
Site Map, Dwg. No. 15-001-01	=====
Site Map, Dwg. No. 15-001-02	=====
Painted Marker/Symbol	=====
Reinforced Handicapped Parking Sign	=====
Reinforced Bumper Block	=====
Concrete Sidewalk, Per Site Map, Dwg. No. 15-001-01	=====
Asphalt Pavement	=====



**NOTES:**

1. Reinforce joint with new concrete slab above structures or fixed objects including buildings, walls, curbs, etc. Provide 3/4\"/>



**NOTES:**

1. Provide control joints within 8 hours of concrete placement and at locations indicated on the Staking Plan. If joints are not shown on Staking Plan, provide joints at 16 feet on center.
2. Joints in both directions (i.e. 4\"/>

- GENERAL NOTES:**
1. All dimensions and coordinates are given to face of curb and face of property unless otherwise noted.
  2. All dimensions and coordinates are given to face of curb and face of property unless otherwise noted.
  3. All curb and sidewalk shall be 5'-0\"/>

### DETAIL B CONCRETE ISOLATION JOINT

### DETAIL A SAW CUT CONCRETE CONTROL JOINT- LONGITUDINAL OR TRANSVERSE

**Coord. Notes:**

1. Project existing pavement to remain.



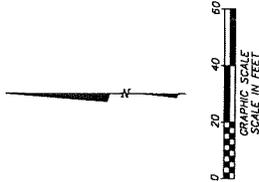
778 Third Street, Suite 325  
 Delaware, OH 43015  
 P 614.744.0200  
 F 614.744.0207  
 www.maa-architects.com

801 OHIOHEALTH BLVD, DELAWARE, OH 43015

# OH DELAWARE HEALTH CENTER LINEAR ACCELERATOR ADDITION

ma architects

PROJECT NUMBER: 15580  
 SCHEDULE: SITE GRADING  
 PLAN  
 DATE: 01.12.16  
 SCALE: 1/8" = 1'-0"

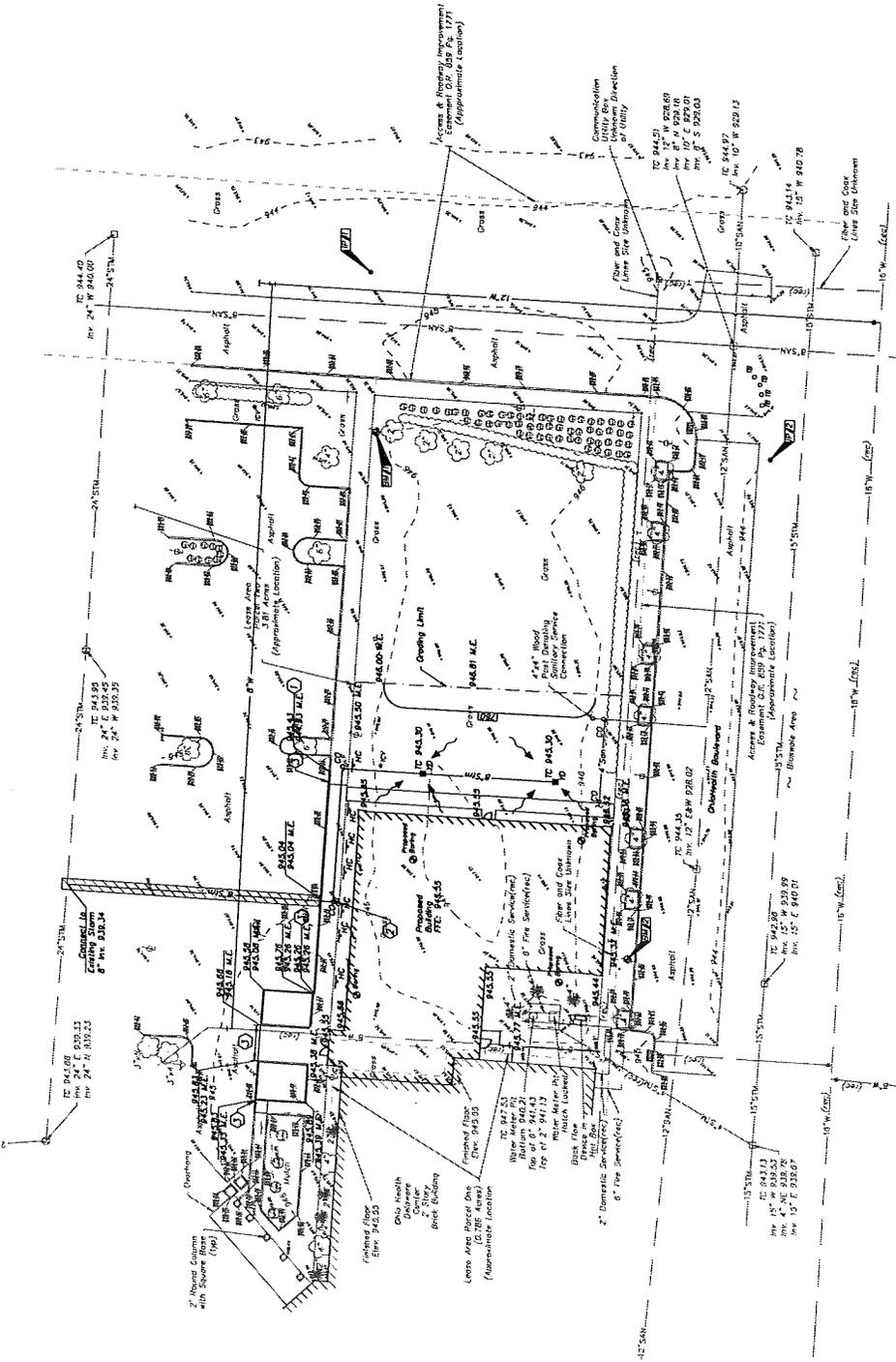


### General Notes:

- All pavement elevations refer to finished pavement elevation at face of curb unless otherwise noted.
- No construction work will be permitted without approved plans and inspection.
- Perform all work in accordance with City of Delaware Material Specifications, City of Delaware Department of Public Works, and any other applicable specifications, City of Delaware standards and plans.
- Soil erosion and sedimentation BMP measures shall be installed prior to start of any construction and shall be maintained at all times until permanent stabilization measures are in place. All BMP measures shall be to the satisfaction of the City of Delaware.
- Use of means necessary to control dust on the site and prevent tracking of soil and sediment on adjacent streets.
- Remove and dispose of all structures, and all undergrounds once they have been established.
- All alterations and conditions are to face of curb or face of building unless otherwise noted.
- Existing utilities to within 4'-0" of face of building shall be shown. Coordinate exact location with Plumbing Contractor. Final connection by Plumbing Contractor.
- Maximum finish slope shall be 4:1 unless otherwise noted.
- All conditions and elevations based on survey performed by Koro/Merrett Engineering, dated 1/8/16. Refer to Sheet 151.
- Contractor shall site and stabilize existing trees throughout the site prior to excavation. Upon completion of final grading, provide 2 inches of mulch and seed all areas disturbed by construction, including hydroponic areas and other locations if located outside the grading/erosion limits.
- All existing valves, manholes, and other appurtenances to remain located within the work limits and be adjusted to retain track.
- Collect curb undergrounds to adjacent existing undergrounds or storm sewer system.
- Open utilities shall show. Excuse prior to beginning work on final utility to determine effects on the site. Coordinate exact location with Plumbing Contractor. Final connection and location can be made.
- All concrete adjacent to building shall be sloped away from building at 2:10 unless otherwise noted.
- Roof drains, foundation drains, and other drain water connections to the sanitary sewer are prohibited.

### Grading Notes:

- Road from full height curb to finish curb is 4'-0".
- Existing utilities to within 5'-0" of face of building unless otherwise noted. Coordinate exact location with Plumbing Contractor. Final connection by plumbing contractor.
- Finish Curb with Landings.



### PROPOSED

- Index Contour
- Intermediate Contour
- Building/Wall
- Grading Limits
- Fire Protection Service Line
- Storm Sewer
- Sanitary Sewer
- Downspout/Adaptor
- Tee/Drop
- Reinforced Handicapped Parking Sign
- Spot Elevation
- Top of Curb Elevation
- Curb Elevation at Face of Curb
- Edge of Pavement
- Flow Direction Arrow
- High (Cross) Point
- Match Existing Elevation

### LEGEND

- Catch Basin
- Manhole
- Light Pole
- Traffic Barrier
- Water Line
- Fire Protection Service Line
- Storm Sewer
- Sanitary Sewer
- Fire Hydrant
- Wave
- Clean Out
- Down Spout
- Free Line
- Spot Elevation
- Top of Curb
- Survey Control Point
- Benchmark

### EXISTING

- Index Contour
- Intermediate Contour
- Building/Wall
- Water Line
- Fire Protection Service Line
- Storm Sewer
- Sanitary Sewer
- Fire Hydrant
- Wave
- Clean Out
- Down Spout
- Free Line
- Spot Elevation
- Top of Curb
- Survey Control Point
- Benchmark

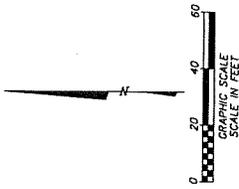


175 West Street, Suite 205  
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801 OHIO HEALTH BLVD, DELAWARE, OH 43015

# OH DELAWARE HEALTH CENTER LINEAR ACCELERATOR ADDITION

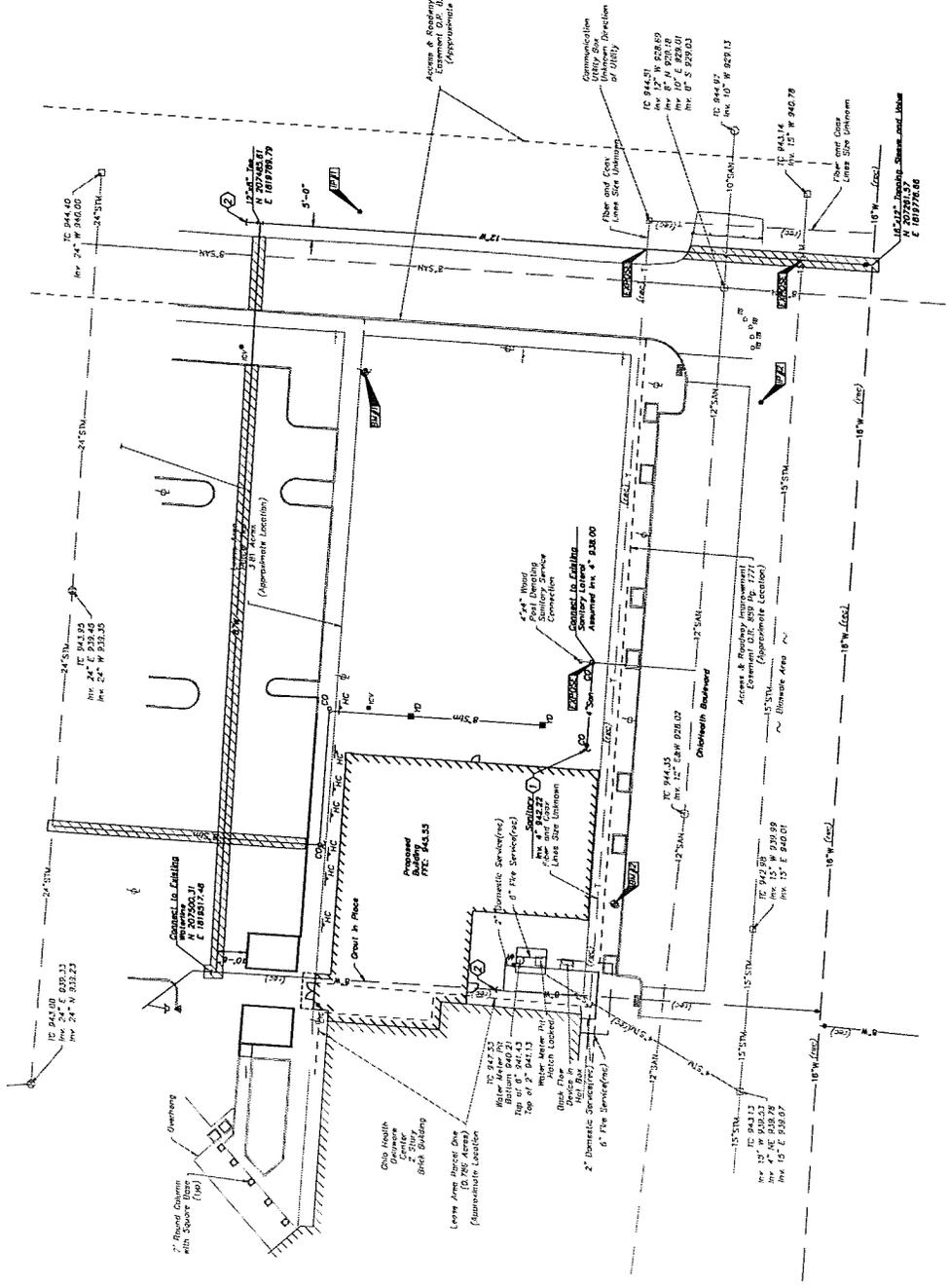
**m+a architects**  
PROJECT NUMBER: 15380  
SITE UTILITY PLAN  
DATE: 01.12.16  
SHEET NUMBER: 05



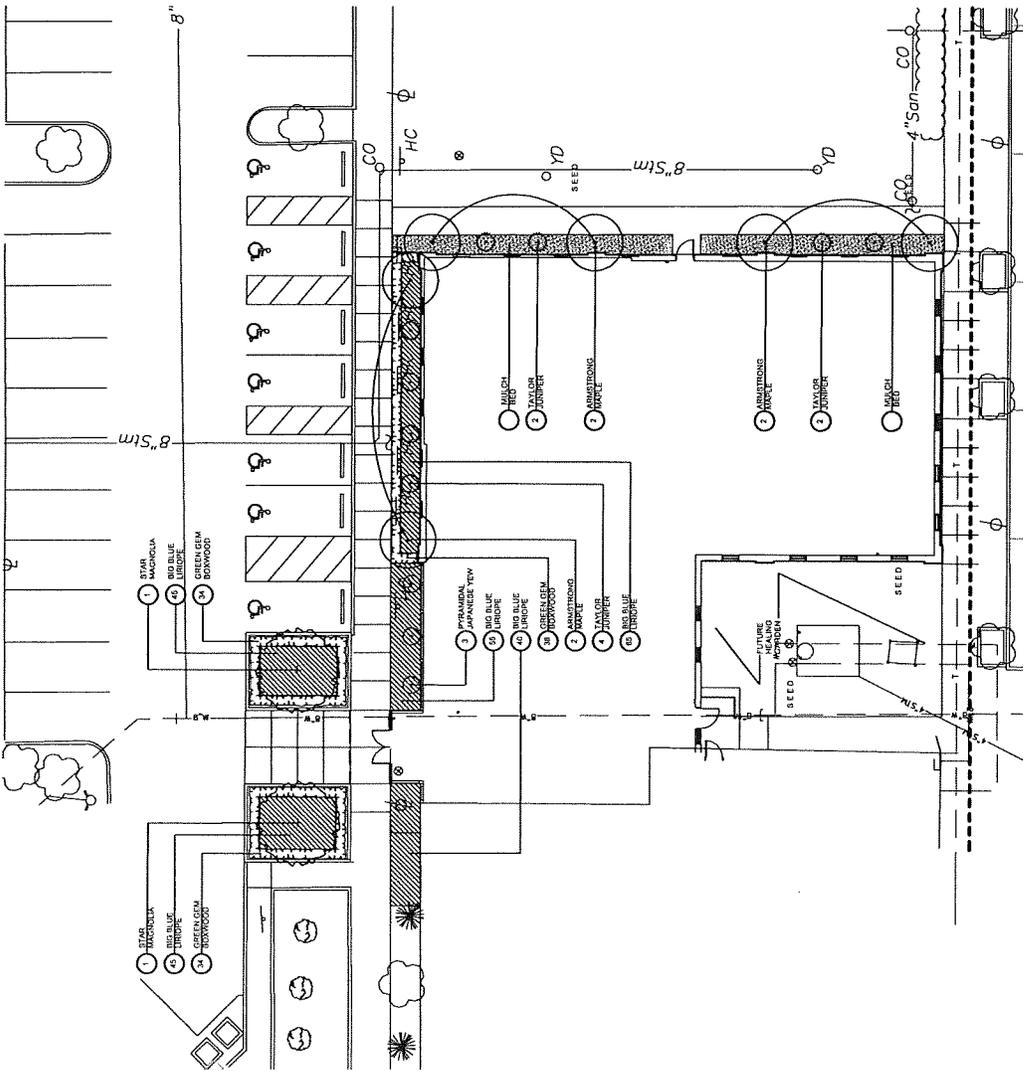
## LEGEND

EXISTING	
Water line	Fire Protection Service Line
Storm Sewer	Underground
Sanitary Sewer	Valve
Ditch/Drain	Manhole with Clean Out
Light Pole	
PROPOSED	
Water Line	Fire Protection Service Line
Storm Sewer	Underground
Sanitary Sewer	Sanitary Sewer
Oil and Plug Existing Utility	Abandon Existing Utility
Remove Existing Utility	Open Cut
Storm Structure Number	Remove and Replace Pavement in Area

- ### General Notes:
- Obtain all permits and pay all fees necessary to complete the work shown.
  - Dimensions and Coordinates are from face of curb or exterior face of building, unless otherwise noted.
  - Entire utility to within 5' of face of building, unless otherwise noted. Coordinate exact location with plumbing contractor. Plug connection by plumbing contractor.
  - Refer to Sheets C4 for storm sewer information.
  - Minimum minimum 4'-0" cover over all utilities.
  - Minimum minimum 2' vertical clearance from the outside of any vertical pipe to the outside of any other utility.
  - Provide necessary minimum member joint pipe at each valve, tee, fitting, or bend.
  - Reel racks, foundation drains, and other clean water connectors to the sanitary sewer are prohibited.
  - Connection to sanitary sewer shall not be performed until the area they have been verified and all fees have been completed as specified by the City of Delaware and these contract documents.
  - All coordinates and elevations based on survey performed by Korda North Engineering dated 1/16/16. Refer to Sheet D51.
  - Where plans provide for a proposed utility to be connected to, or cross over, or under an existing underground utility, the Contractor shall locate the existing pipe or utility in the field. If the Contractor is unable to locate the existing pipe or utility, the Contractor shall assume the location of the existing pipe or utility is as shown on the plans. If it is determined that the location of the existing pipe or utility differs from the plan elevation, results in a change in the plan sewer profile, or requires a change in the proposed utility profile, the Contractor shall be notified before starting construction of any portion of the proposed utility, which will be affected by the variance in the existing elevations.
  - Support and protect all utilities exposed during excavation and trenching.
  - Any required exterior shut-downs shall be coordinated with the Owner and/or the City.



- ### Graded Notes:
- Coordinate final location and elevation with Plumbing or Fire Protection Contractor.
  - Cap Existing Utilities.



PLANT MATERIALS LIST

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	MARKET
1	STAR MACULOSA	Aster's Heartleaf Amaranthoid	2' Cal	B&B	
2	STAR MACULOSA	Magnolia pedalis Royal Star	2' Cal	B&B	
<b>SHRUBS</b>					
104	GREEN GLEM REDWOOD	Juniperus 'Green Glem'	18" Hgt.	Cont.	
6	TAYLOR JUNIPER	Juniperus 'Taylor'	8" Hgt.	Cont.	
3	PYRAMIDAL JAPANESE YEW	Taxus cyparissias 'Capitata'	4" Hgt.	B&B	
<b>GROUND COVER</b>					
750	8" HD BLUE EUROPE	Ulex europaeus 'Big Blue'	1 Cal.	Cont.	

GENERAL PLANTING NOTES

- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AT ALL TIMES. SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR, RETURN TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN PLANTING AREAS. ALL PLANTINGS SHALL BE PLANTED IN THE PROPER SOIL MEDIA AND SHALL BE INCORPORATED BY CONTINUOUS MOUND BED TO LIMITS SHOWN.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN PLANTING AREAS. ALL PLANTINGS SHALL BE PLANTED IN THE PROPER SOIL MEDIA AND SHALL BE INCORPORATED BY CONTINUOUS MOUND BED TO LIMITS SHOWN.
- THE GRADE LAVA AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS DISTURBED DURING CONSTRUCTION. SEE PLAN FOR ALL LAWN AREAS.
- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
- ALL PLANTS SHALL BE PLANTED TO THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
- ALL DIMENSIONS USING CURBS, BUILDING WALLS OR PAVEMENT AS A REFERENCE ARE FROM BACK OF CURB, FINISHED FACE OF BUILDING, FINISHED FACE OF PAUL OR EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
- EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CHANGES TO THE PLANTING PLAN. THE OWNER'S REPRESENTATIVE SHALL BE RESPONSIBLE FOR ALL PLANTS SHOWN ON THIS PLAN TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.
- CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON THIS PLAN TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE A COMPLETE 1 YEAR WARRANTY OF PLANT MATERIAL, INCLUDING PLANTS AS VISIBLE AND THIRING.
- CONTRACTOR TO PROVIDE A COMPLETE 1 YEAR WARRANTY OF PLANT MATERIAL, INCLUDING PLANTS AS VISIBLE AND THIRING.
- ANY SUBSTITUTIONS OF PLANT MATERIAL OR CHANGES TO THE DESIGN SHALL BE AUTHORIZED BY THE LANDSCAPE ARCHITECT.



LANDSCAPE PLAN  
1 1"=10'



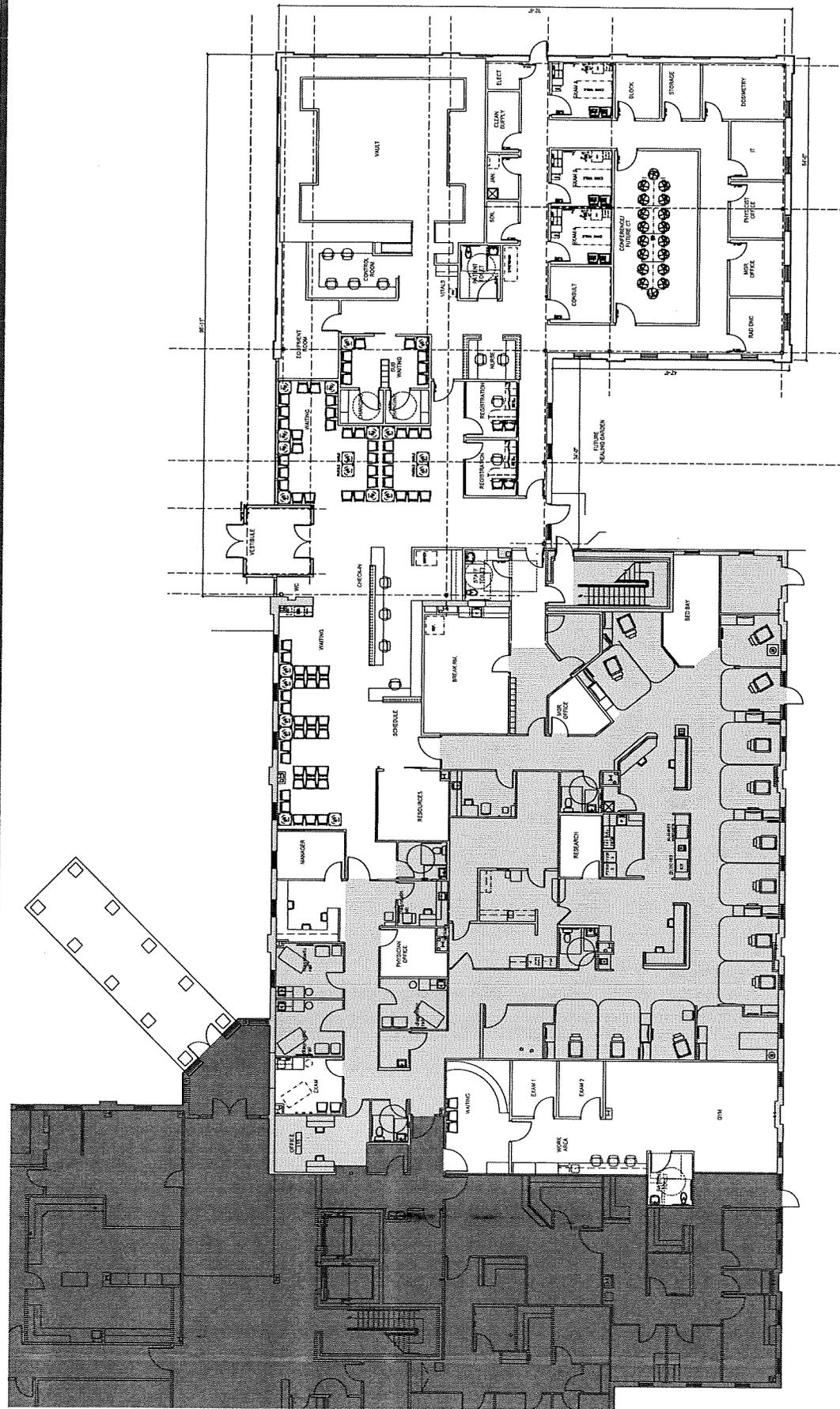
ma architects

ma@delaware.com

RADIATION ONCOLOGY ADDITION  
Delaware Health Center

City of Delaware Submission  
2.3.16





1 FIRST FLOOR PLAN  
1/4" = 1'-0"

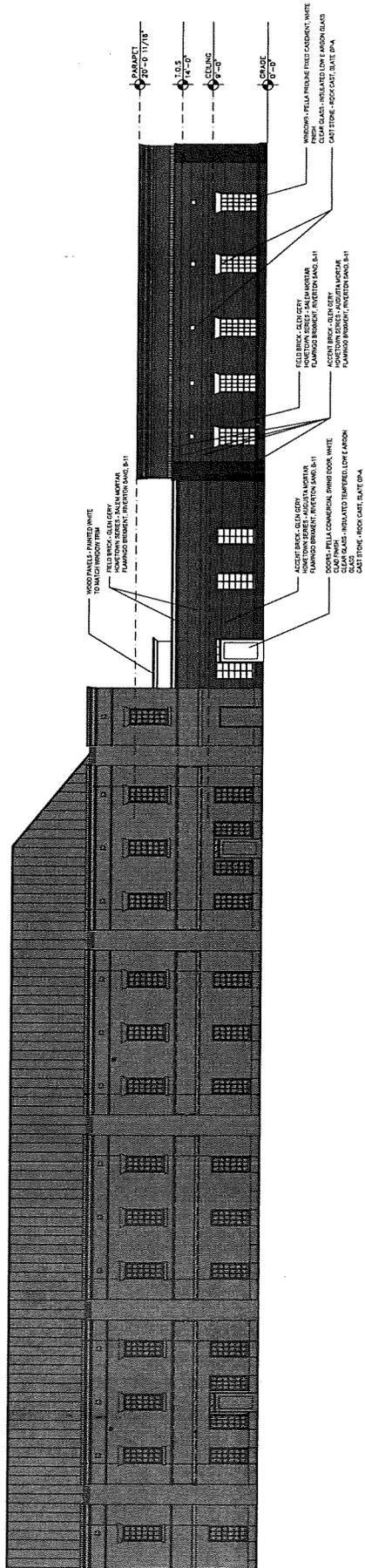
City Submittal  
02.03.16  
RFP-1  
F-2714A-10000

**RADIATION ONCOLOGY ADDITION**  
Delaware Health Center

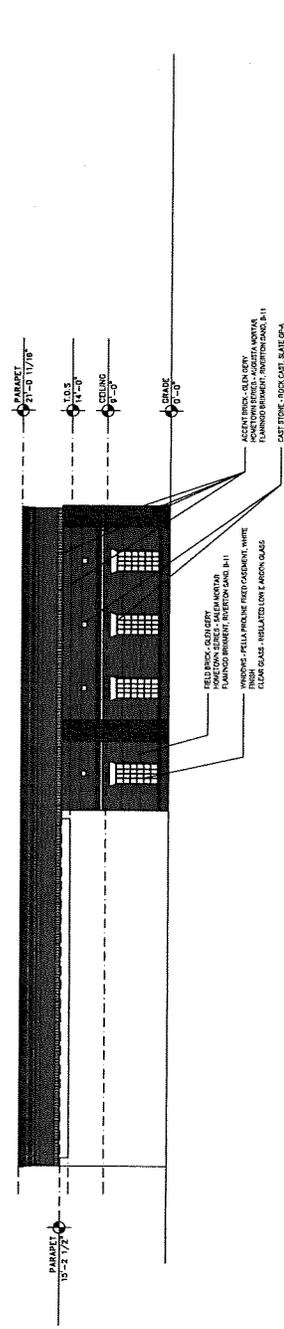
ma architects







1 SOUTH ELEVATION  
1/8" = 1'-0"



2 WEST ELEVATION  
1/8" = 1'-0"



m-a architects

# RADIATION ONCOLOGY ADDITION

Delaware Health Center

City Submittal  
02.03.16  
10/17/16  
6/21/16/REVISED

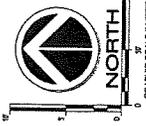
**K** **Karlberg**  
 Karlberg Architecture Inc.  
 1000 North Main Street • Columbus, OH 43215-1918 • (614) 251-1553 • [www.karlberg.com](http://www.karlberg.com)

**DELAWARE HEALTH CENTER  
 SHELL AND CORE PACKAGE**  
 Delaware Health  
 Delaware, Ohio

**2626A1**  
 SHEET NO.  
 MARCH 10, 2008  
 REVISED  
 MAY 2, 2008

SCALE: 1" = 30'  
 DRAWN BY: GCS  
**01**  
 07

**Floyd Browne Group**  
 Consulting Group  
 7400 Woodloch Forest Drive  
 Columbus, OH 43240  
 614.293.7847  
 www.floydbrowne.com



SEE LEGEND - SHEET C5-12

**NOTE:** VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO INSTALLATION.

**NOTE:** CONSTRUCTION SHALL BE PERMITTED TO OCCUR WITHIN 30' OF ALL EXISTING UTILITIES AND STRUCTURES OR RETAINING WALLS.

**STORM SEWER LINE TABLE**

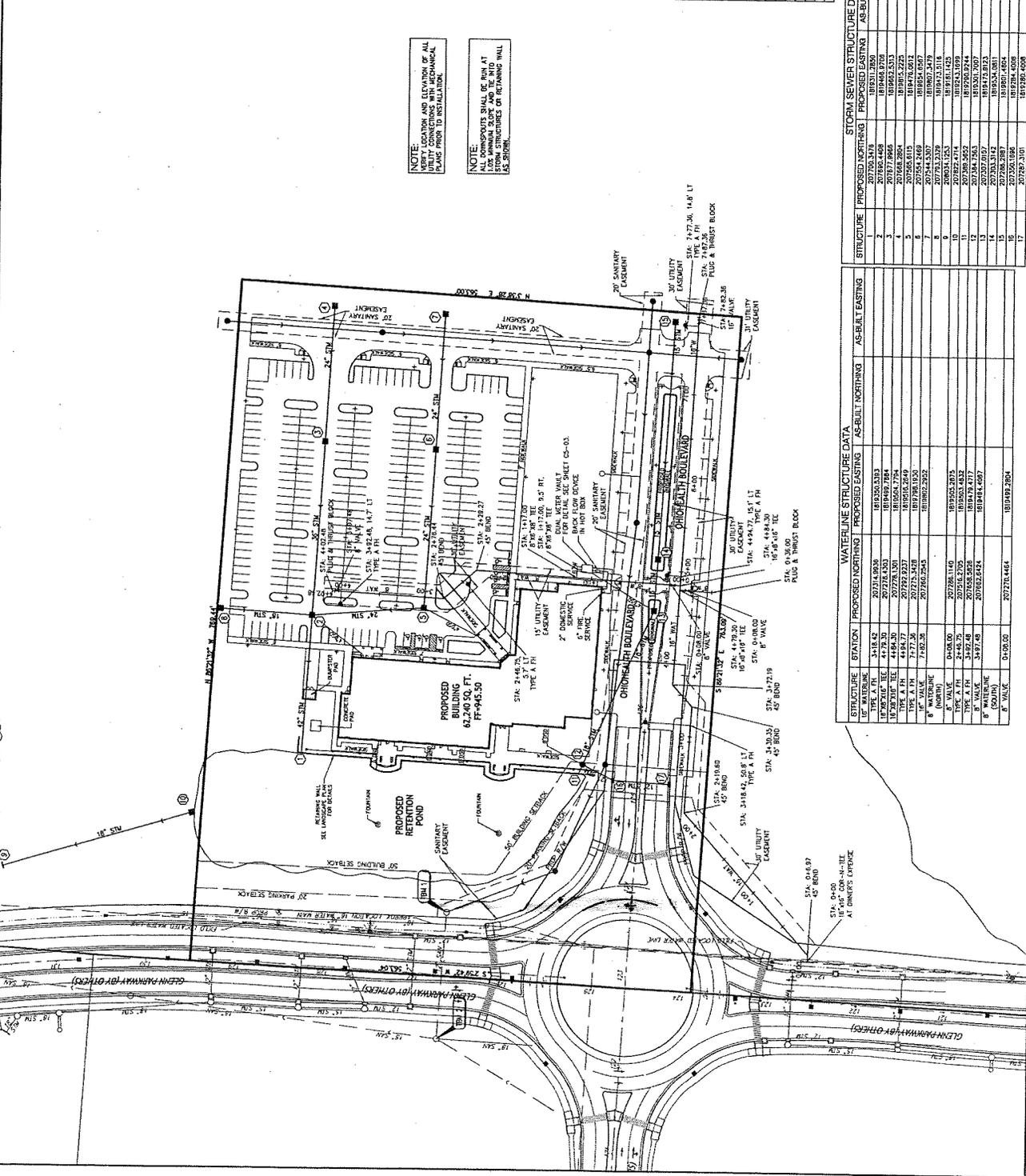
LINE	BEARING	DISTANCE
1-2	S 89°21'32" E	156.00'
2-3	S 89°21'32" E	102.00'
3-4	S 89°21'32" E	125.16'
4-5	S 89°21'32" E	170.00'
5-6	S 89°21'32" E	153.04'
6-7	S 89°21'32" E	200.00'
7-8	S 89°21'32" E	11.80'
8-9	S 89°21'32" E	190.77'
9-10	S 89°21'32" E	58.00'
10-11	S 89°21'32" E	38.00'
11-12	S 89°21'32" E	38.00'
12-13	S 89°21'32" E	38.00'
13-14	S 89°21'32" E	38.00'
14-15	S 89°21'32" E	38.00'
15-16	S 89°21'32" E	38.00'
16-17	S 89°21'32" E	62.93'

**STORM SEWER STRUCTURE DATA**

STRUCTURE	PROPOSED NORTHING	PROPOSED EASTING	AS-BUILT NORTHING	AS-BUILT EASTING
1	20770.1479	181811.2650		
2	20769.4489	181808.8728		
3	20768.7499	181806.4806		
4	20768.0509	181804.0884		
5	20767.3519	181801.6962		
6	20766.6529	181799.3040		
7	20765.9539	181796.9118		
8	20765.2549	181794.5196		
9	20764.5559	181792.1274		
10	20763.8569	181789.7352		
11	20763.1579	181787.3430		
12	20762.4589	181784.9508		
13	20761.7599	181782.5586		
14	20761.0609	181780.1664		
15	20760.3619	181777.7742		
16	20759.6629	181775.3820		
17	20758.9639	181772.9898		

**WATERLINE STRUCTURE DATA**

STRUCTURE	STATION	PROPOSED NORTHING	PROPOSED EASTING	AS-BUILT NORTHING	AS-BUILT EASTING
1	18+00.00	20774.8936	181825.8303		
2	18+00.00	20774.8936	181825.8303		
3	18+00.00	20774.8936	181825.8303		
4	18+00.00	20774.8936	181825.8303		
5	18+00.00	20774.8936	181825.8303		
6	18+00.00	20774.8936	181825.8303		
7	18+00.00	20774.8936	181825.8303		
8	18+00.00	20774.8936	181825.8303		
9	18+00.00	20774.8936	181825.8303		
10	18+00.00	20774.8936	181825.8303		
11	18+00.00	20774.8936	181825.8303		
12	18+00.00	20774.8936	181825.8303		
13	18+00.00	20774.8936	181825.8303		
14	18+00.00	20774.8936	181825.8303		
15	18+00.00	20774.8936	181825.8303		
16	18+00.00	20774.8936	181825.8303		
17	18+00.00	20774.8936	181825.8303		



SHEET NO. \_\_\_\_\_  
 PROJECT NO. \_\_\_\_\_  
 DATE \_\_\_\_\_

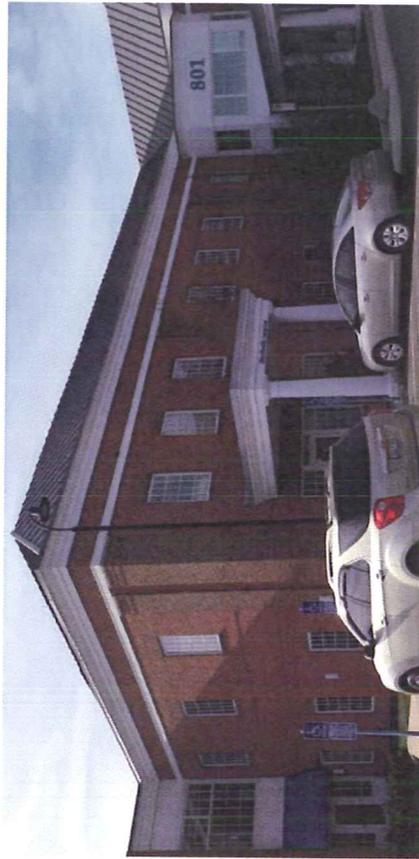
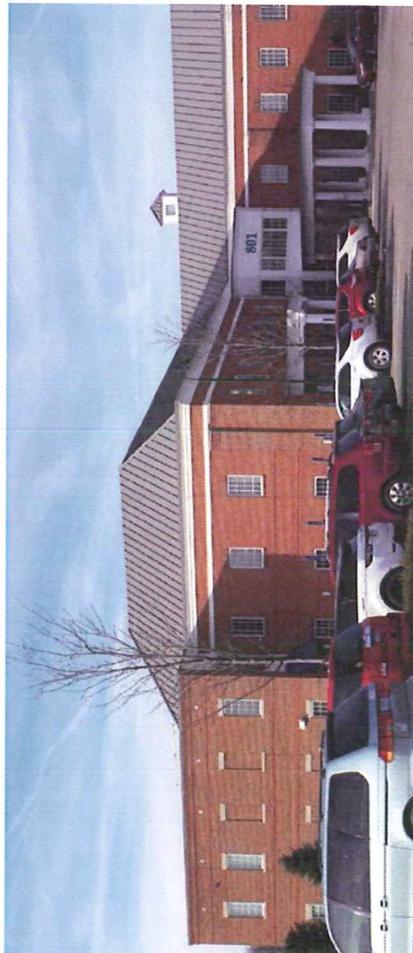
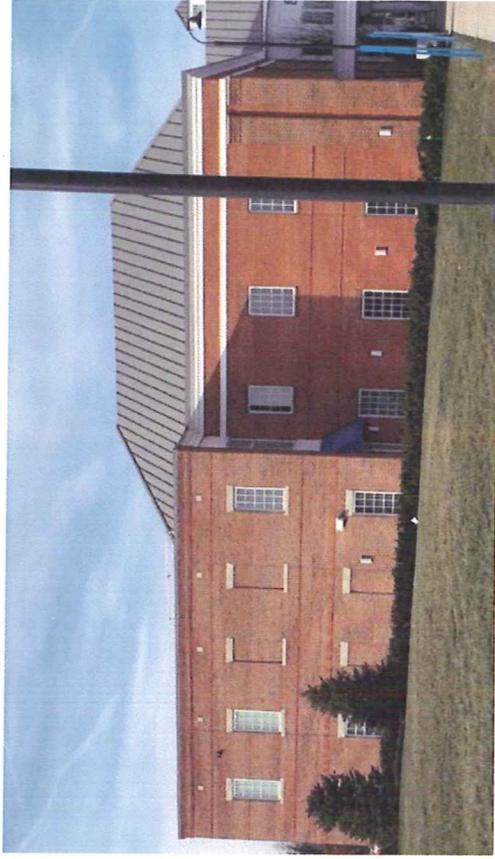
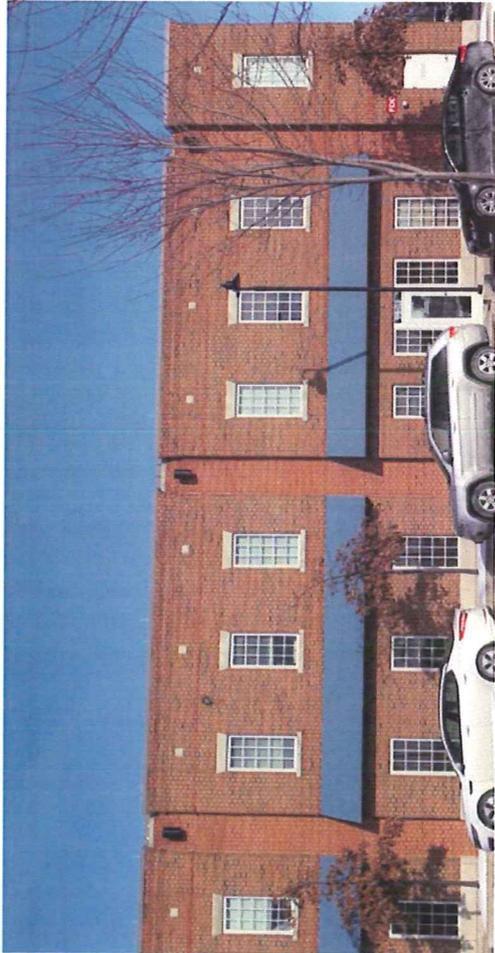




ma architects  
ma-architects.com

# RADIATION ONCOLOGY ADDITION

delaware health center



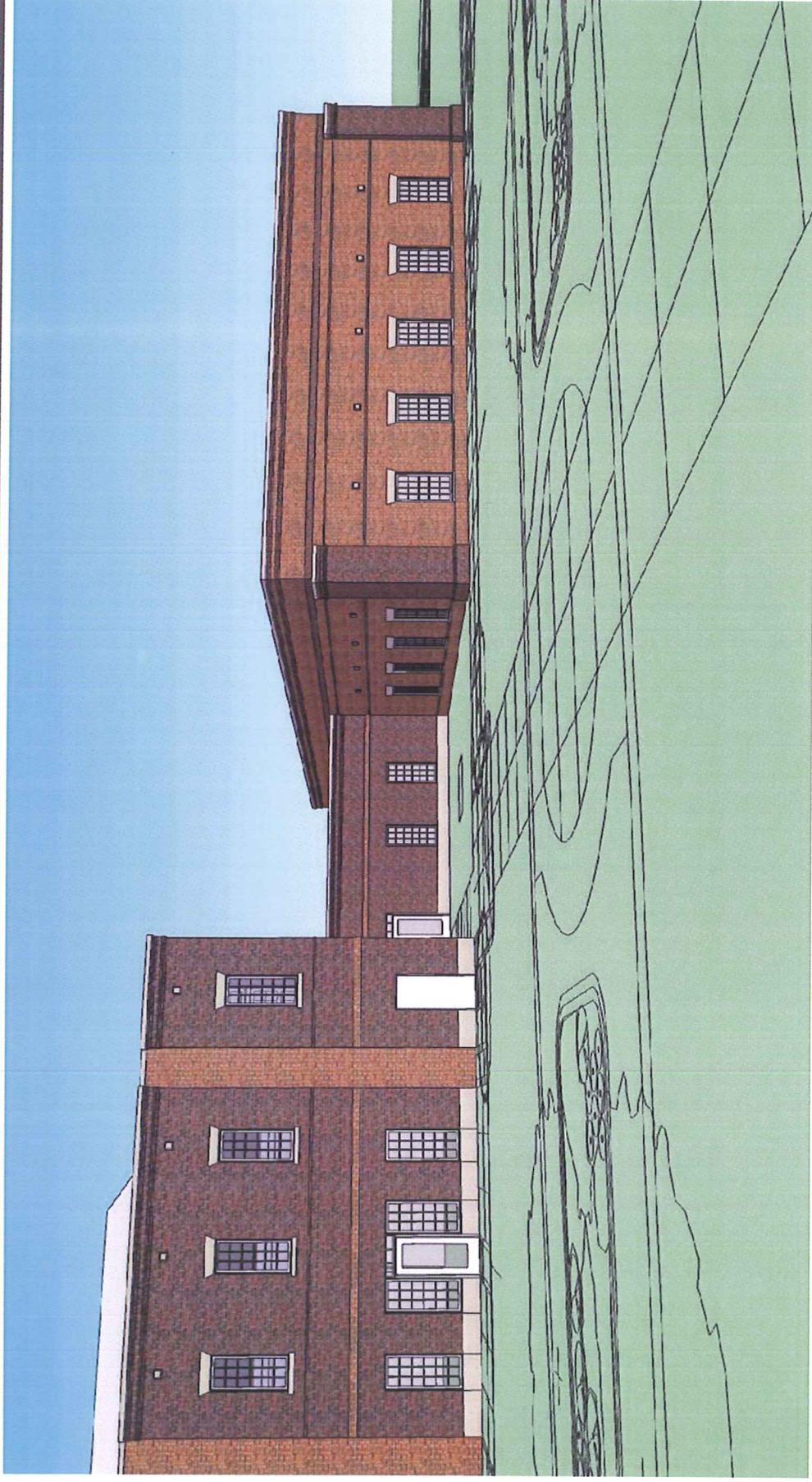
m+a architects  
ma-architects.com

# RADIATION ONCOLOGY ADDITION

delaware health center

city submittal  
2.3.2016

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04/16/2016

city submittal  
2.3.2016

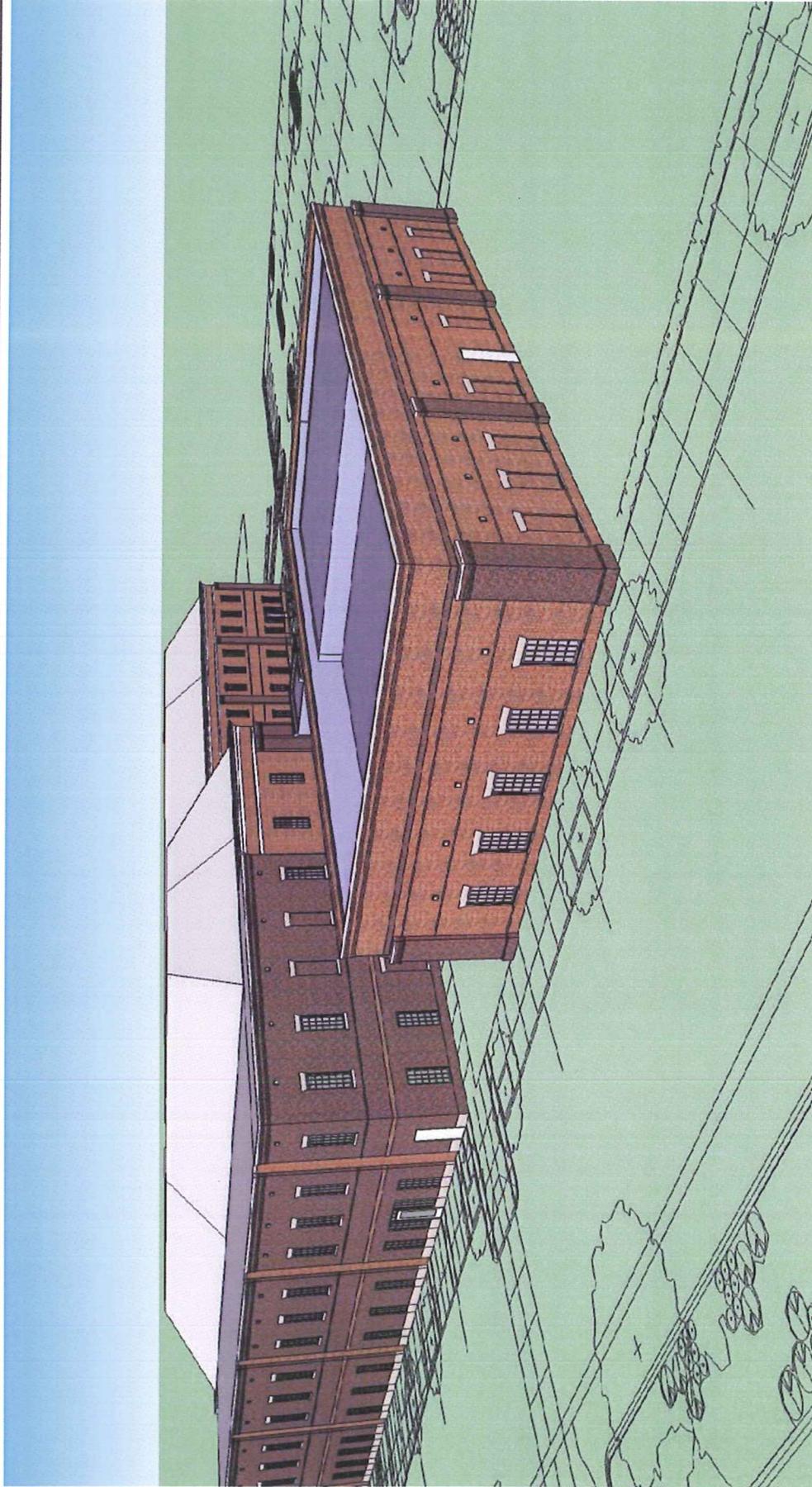
© 2016, M+A Architects

# RADIATION ONCOLOGY ADDITION

delaware health center

ma architects  
ma-architects.com





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m-a-architects.com

# RADIATION ONCOLOGY ADDITION

delaware health center

city submittal  
2.3.2016

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**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**



Project # \_\_\_\_\_

Case # 2016-0242

**Planning Commission**

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> Amended Final Development Plan                           | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use             |
| <input type="checkbox"/> Amended Final Subdivision Plat                           | <input type="checkbox"/> Final Subdivision Plat           | <input type="checkbox"/> Vacation-Alley                                   |
| <input type="checkbox"/> Amended Preliminary Development Plan                     | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement                                |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat                     | <input type="checkbox"/> Floodplain Permit                | <input type="checkbox"/> Vacation-Street                                  |
| <input type="checkbox"/> Annexation Review  | <input type="checkbox"/> Lot Split                        | <b><u>Board of Zoning Appeals</u></b>                                     |
| <input checked="" type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement         | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment                             | <input type="checkbox"/> Preliminary Development Plan     | <input type="checkbox"/> Conditional Use Permit                           |
| <input type="checkbox"/> Concept Plan   | <input type="checkbox"/> Preliminary Dev Plan Extension   | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit                                   | <input type="checkbox"/> Preliminary Sub Plat             | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Determination of Similar Use                             | <input type="checkbox"/> Preliminary Sub Plat Extension   |   |
| <input type="checkbox"/> Development Plan Exemption                               | <input type="checkbox"/> Rezoning                         |   |
| <input type="checkbox"/> Final Development Plan                                   | <input type="checkbox"/> Subdivision Variance             |   |

Delaware Health Center

Subdivision/Project Name Linear Accelerator Addition Address 801 Ohio Health Blvd.

Acreage 0.40 Square Footage 7,160 Number of Lots 1 Number of Units \_\_\_\_\_

Zoning District/Land Use PO/I Proposed Zoning/Land Use PO/I Parcel # 418-320-01-031-000

Applicant Name The Daimler Group Contact Person Chris Tumblin

Applicant Address 1533 Lake Shore Drive, Columbus, Ohio 43204

Phone 614-488-4424 Fax 614-488-0603 E-mail ChrisT@daimlergroup.com

Owner Name Grady Memorial Hospital/Ohio Health Contact Person Lee Bivens

Owner Address 180 E. Broad Street, Columbus, Ohio 43215

Phone 614-566-2002 Fax \_\_\_\_\_ E-mail Lee.Bivens@OhioHealth.com

Engineer/Architect/Attorney M+A Architects Contact Person Dorothea Stamm

Address 775 Yard Street, Suite 325, Columbus, Ohio 43212

Phone 614-764-0407 Fax \_\_\_\_\_ E-mail DottieS@ma-architects.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

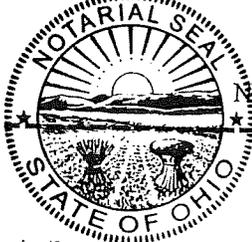
[Signature]  
Owner Signature

LEE A. BIVENS  
Owner Printed Name

[Signature]  
Agent Signature

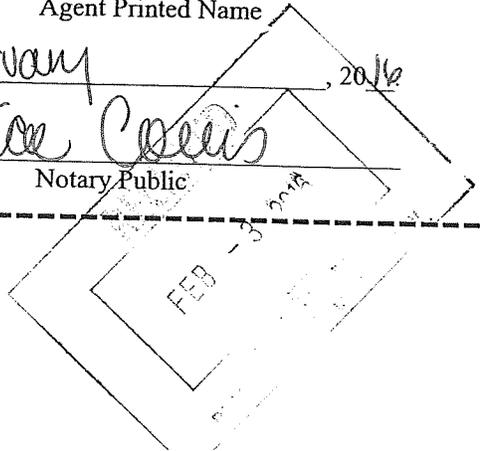
Chris Tumblin  
Agent Printed Name

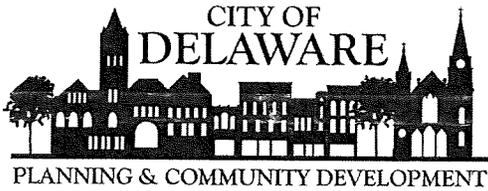
Sworn to before me and subscribed in my presence this 3<sup>rd</sup> day of February, 2016



Notary JESSICA CORRIS  
Notary Public, State of Ohio  
My Commission Expires 12-04-2018

[Signature]  
Notary Public





## PLANNING COMMISSION / STAFF REPORT

CASE NUMBER: 2016-0244

REQUEST: Combined Preliminary and Final Development Plan

PROJECT: Precision Tower Products

MEETING DATE: March 2, 2016

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### APPLICANT/OWNER

FedOne Dublin LLC  
8400 Industrial Parkway  
Plain City, Ohio 43064

### REQUEST

2016-0244: A request by Fed One Dublin LLC for approval of a Combined Preliminary and Final Development Plan for an approximate 77,500 square foot building for Precision Tower Products on approximately 9.49 acres zoned M-2 (General Manufacturing District) located at 1600 Pittsburgh Drive.

### PROPERTY LOCATION & DESCRIPTION

The 9.49 acre parcel is located on the north side of Pittsburgh Drive between South Houk Road and Section Line Road and is zoned M-2 (General Manufacturing District). The properties to the east, west and south are all zoned M-2 while the property to the north is in the Township.

### BACKGROUND/PROPOSAL

The vacant site is located in the City's Industrial Park and the applicant is proposing to construct an approximate 77,500 square foot building for Precision Tower Products on the subject site. The building would have a 4,000 square foot office and approximately 73,525 square foot of the building would be for manufacturing/warehouse use. In addition, the plan identifies a potential 20,000 square foot future expansion on the north side of the building.

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### STAFF ANALYSIS

- **ZONING:** The subject property is currently zoned M-2 (General Manufacturing District) which would allow the proposed use. A Combined Preliminary and Final Development Plan would need to be approved by the Planning Commission and City Council.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **UTILITIES:** Any new utilities to be constructed and/or extended within the development shall comply with the City minimum requirements or as approved by the Utility Director.
- **ROADS AND ACCESS:** The access to the site would be from a single curb cut on Pittsburgh Drive on the western portion of the site. In addition, a 20 foot wide fire lane (constructed of gravel at a minimum) stubbed into the parcel to the west is required along the northwestern portion of the site to provide looped access to the building to the west and extend to the eastern side of the proposed building.
- **SITE CONFIGURATION:** The proposed 77,525 square foot building is located on the eastern portion of the site with a 100 foot x 100 foot gravel storage area enclosed by a chain link fence located just north of the building. There would be five truck docks, six overhead doors and four man doors on the western elevation fronting the main access drive. They are proposing a total of 63 parking spaces with a 42 space parking lot located just south of the building while a 21 space parking lot is located just north of the building. The base zoning code requires 113 spaces. However per Chapter 1161.08, the Planning Commission can grant a 30% reduction ( $113 \times 0.70 = 80$  total spaces) if the subject future spaces could be constructed on the site. The applicant is only identifying 63 parking spaces (which is an approximate 56% reduction) because they are proposing only 23 everyday employees with 12 field technicians who may occasionally visit the site. Therefore, 23-35 spaces would be utilized during each shift. Staff can support the 56% reduction because the current user is comfortable with the parking ratio and because the site plan identifies 212 parking spaces that could be built if the existing user or future user would have a parking issue and staff could require the appropriate parking spaces to be constructed. This would be consistent with past decisions for other industrial uses. There is no compelling reason to pave over what otherwise would be green space for vacant parking

lots. The critical element is that there is sufficient room and accesses to allow the future provision for additional parking should it become necessary either by the applicant or by the City. A detention basin is located between Pittsburgh Drive and the proposed building.

- **BUILDING DESIGN:** The office would be on the southern portion of the building and would be one-story high (20 feet at the maximum peak) and constructed of light gray pre-cast concrete wall panels with a blue stripe along the top of the building. The office would have a glass entry feature with a stone arch with a continuous band of windows on the south, east and west elevations. The manufacturing/warehouse portion of the building would be a maximum 29 feet high and would be constructed of the same material as the office portion. There would be five truck docks, six overhead doors and four main doors on the west elevation. There would be one overhead door on the north elevation and one man door on the north and east elevation respectively. All building appurtenance (coping, downspouts, etc.) shall be painted to match the adjacent building color. The building design and materials achieve compliance with zoning code and is consistent with the surrounding area.
- **TREE REMOVAL & REPLACEMENT:** No trees appear to be removed in the proposed development but there are trees along the eastern and northern property lines and if they are removed because of any construction they would need to be replaced per Chapter 1168 Tree Preservation Regulations.
- **LANDSCAPING & SCREENING:** The development requires street trees, front yard trees, interior parking lot trees and shrubs and foundation plantings. The proposed development appears to comply with the required street trees (7) and front yard trees (6) along Pittsburgh Drive. Also the appropriate amount of interior parking lot and foundation landscaping is proposed within the development. The landscaping plan would be required to be approved by the Shade Tree Commission.
- **LIGHTING:** The plan identifies three 28 foot high light poles located in the southern parking lot and one light pole in the northern parking lot. In addition, there would be eight wall mounted lights located on all elevations of the building. The lighting plan would have to achieve compliance with the zoning code along with being approved by the Chief Building Official.
- **SIGNAGE:** The owner didn't identify any specific signage in the application but would be allowed building and ground signage that would have to achieve compliance with the minimum zoning code requirements.
- **AIRPORT OVERLAY DISTRICT:** The owner would have to receive the "Determination of No Hazard to Air Navigation" approval from the FAA. In addition, the owner would have to get a temporary determination letter to allow a crane, etc. during construction. Therefore, any approval must be conditioned that a building permit will not be issued until a copy of the permanent and temporary FAA determination is provided to the City and any conditions required by the FAA are met.

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**STAFF RECOMMENDATION (2016-0244 – COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN)**

Staff recommends approval of a request by Fed One Dublin LLC of a Combined Preliminary and Final Development Plan for an approximate 77,500 square foot building for Precision Tower Products on approximately 9.49 acres zoned M-2 (General Manufacturing District) located at 1600 Pittsburgh Drive, with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The required parking spaces shall be reduced to 63 parking spaces with 149 future parking spaces identified. The current land owner, at their sole expense, shall construct the future parking spaces when it is notified to do so by the City in its sole discretion.
3. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color.
4. Any ground and building signage shall achieve compliance with the minimum zoning requirements and the approved Gateways and Corridors Plan.
5. The landscape plan shall be submitted, reviewed and approved by the Shade Tree Commission.
6. Any trees that are removed shall comply with Chapter 1168 Tree Preservation Regulations.
7. The lighting plan shall be submitted, reviewed and approved by the Chief Building Official.

8. The fire lane shall be extended and constructed per the City Fire Department.
9. A building permit shall not be issued until a copy of the permanent and temporary FAA determination is provided to the City and any conditions required by the FAA are met.

COMMISSION NOTES:

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MOTION: \_\_\_\_\_ 1<sup>st</sup> \_\_\_\_\_ 2<sup>nd</sup> *approved* *denied* *tabled* \_\_\_\_\_

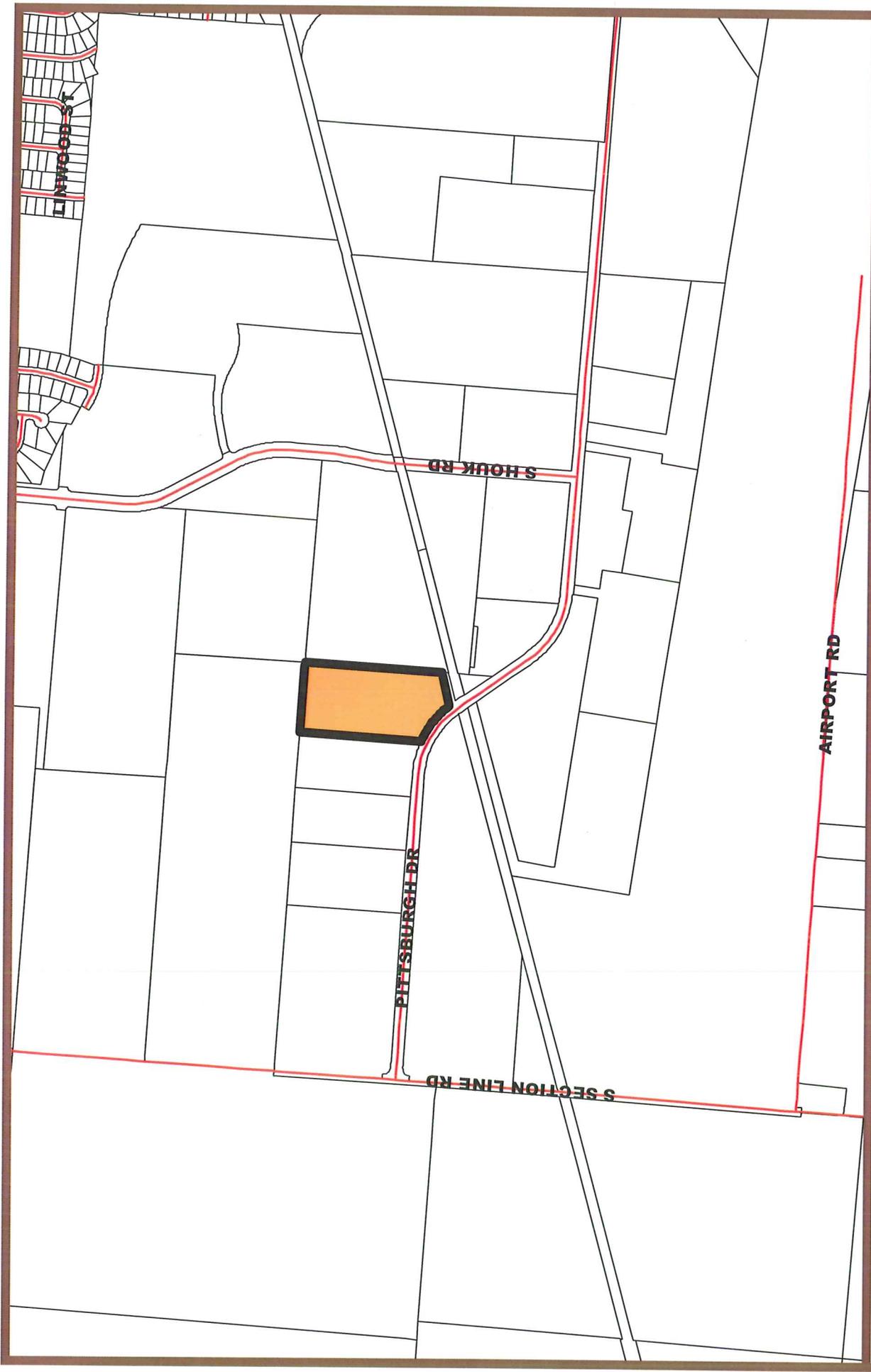
CONDITIONS/MISCELLANEOUS:

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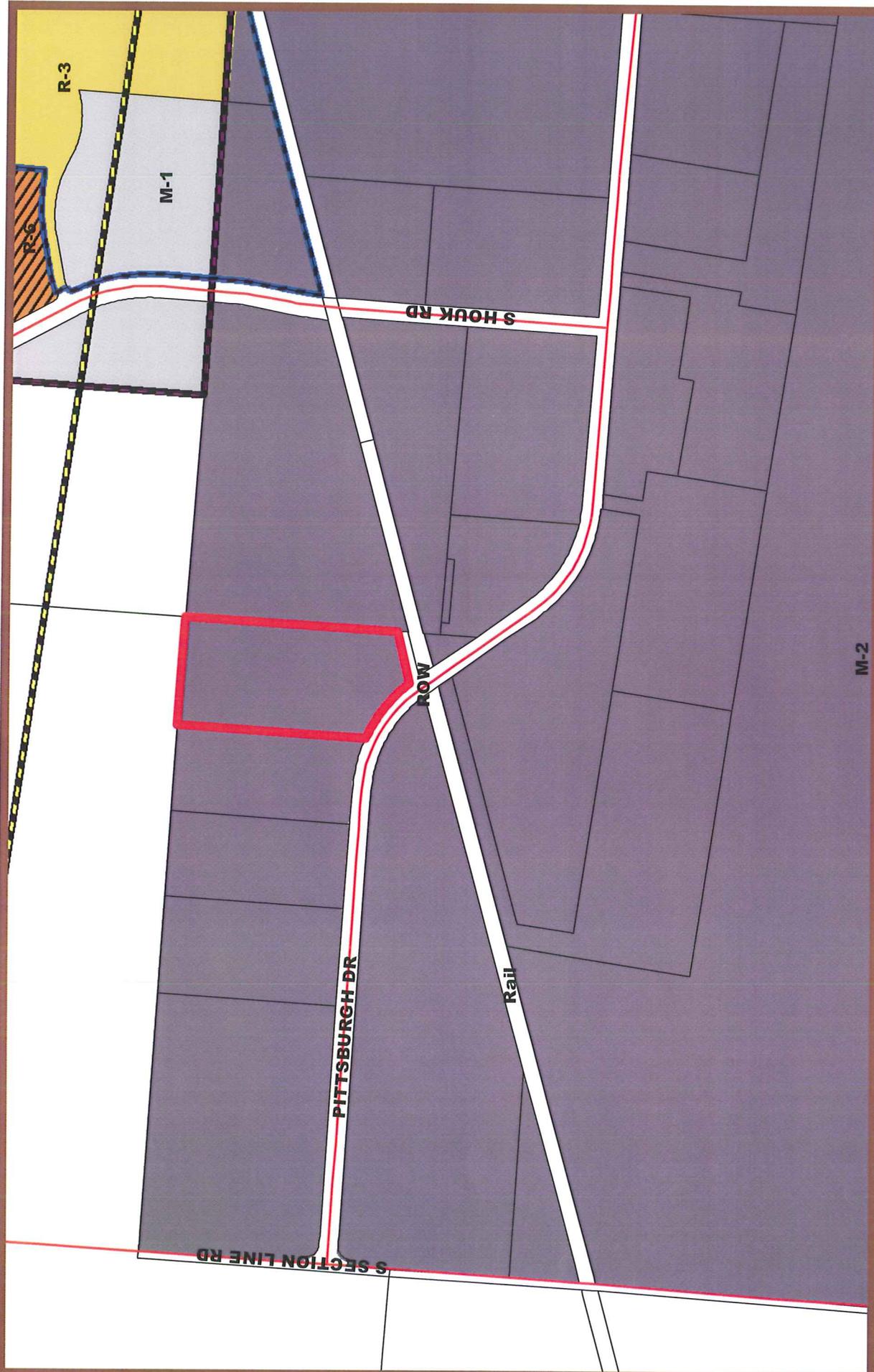
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2016-0244  
Combined Preliminary and Final Development Plan  
1600 Pittsburgh Drive  
Location Map





2016-0244  
 Combined Preliminary and Final Development Plan  
 1600 Pittsburgh Drive  
 Zoning Map





2016-0244  
Combined Preliminary and Final Development Plan  
1600 Pittsburgh Drive  
Aerial (2013)



NO.	DATE	DESCRIPTION

**SITE DATA**  
 DEVELOPED AREA OUTSIDE R/W: 9.495 ACRES  
 GREENSPACE PROVIDED PHASE I: 236,927 S.F.  
 TOTAL BLDG. AREA PHASE I: 77,525 S.F.  
 GREENSPACE PROVIDED PHASE II: 236,927 S.F.  
 TOTAL BLDG. AREA PHASE II: 77,525 S.F.  
 GREENSPACE PROVIDED PHASE III: 208,238 S.F.  
 TOTAL BLDG. AREA PHASE III: 97,525 S.F.  
**SITE COVERAGE CALCULATIONS PHASE I:**  
 BUILDING = 77,525 S.F. = 19%  
 PAVEMENT = 67,403 S.F. = 17%  
**SITE COVERAGE CALCULATIONS PHASE II:**  
 BUILDING = 97,525 S.F. = 24%  
 PAVEMENT = 101,417 S.F. = 25%  
**SITE COVERAGE CALCULATIONS PHASE III:**  
 BUILDING = 97,525 S.F. = 24%  
 PAVEMENT = 130,107 S.F. = 32%  
**TOTAL = 58%**

**APPROPRIATE OFFICERS:**  
 FEONE DUBLIN LLC  
 840 INDUSTRIAL PARKWAY  
 DUBLIN, OHIO 43017  
 CONTACT: AARON HUFFMAN  
 PHONE: (614)973-0862  
 FAX: (614)973-2884  
 PRECISION TOWER PRODUCTS, LLC  
 1800 PITTSBURGH DRIVE  
 CANTON, OHIO 44705  
 PHONE: (714)903-3800  
**SUPPLIER:**  
 WATSON CONSULTING ENGINEERS  
 81 SHULL AVENUE  
 WILSON, OHIO 45390  
 CONTACT: ROBERT MARTIN  
 PHONE: (614)914-7879  
**ENGINEER:**  
 MILLER & ASSOCIATES, LLC  
 P.O. BOX 1410  
 CANTON, OHIO 44705  
 CONTACT: SARA HANES  
 PHONE: (614)979-8823  
 FAX: (614)973-2884

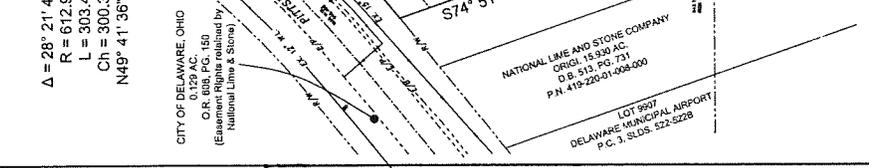
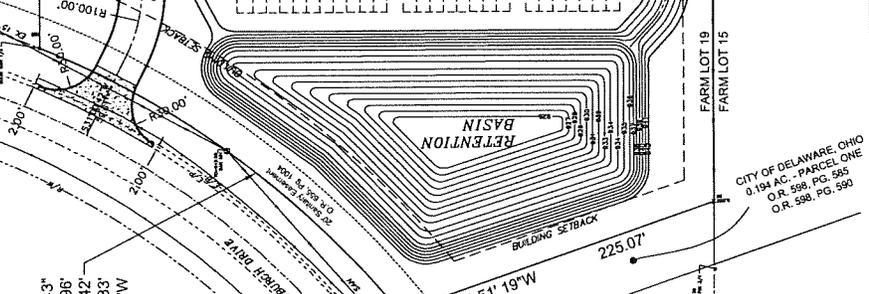
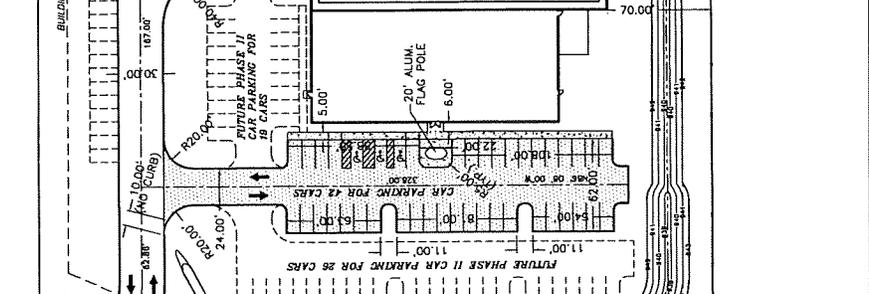
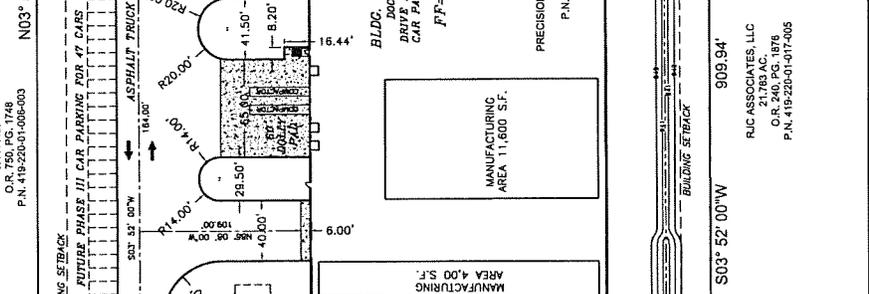
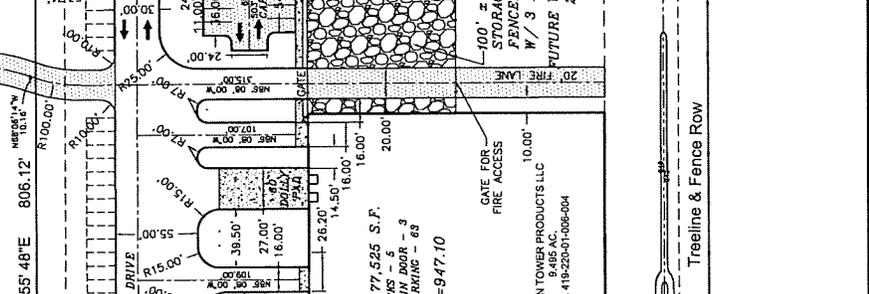
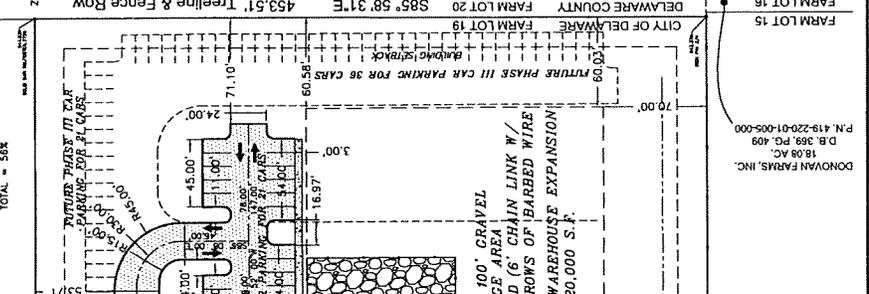
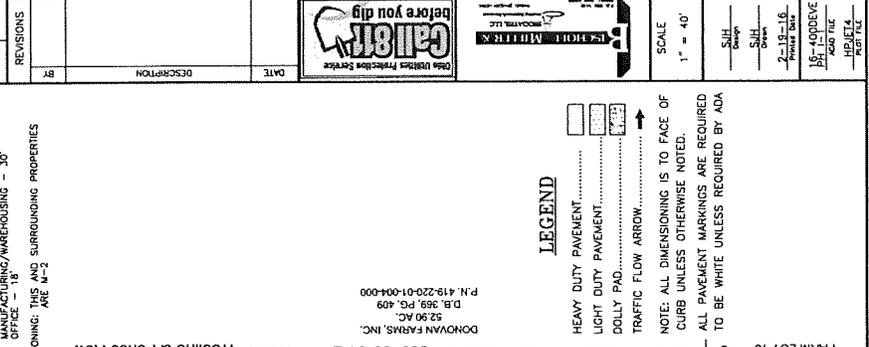
**PARKING REQUIREMENT FOR PHASE I:**  
 1 PER 300 S.F. = 16 SPACES  
 WAREHOUSING 56,725 S.F. SPACES  
 MANUFACTURING 16,000 S.F. SPACES  
 TOTAL REQUIRED = 32 SPACES  
 70% PROVIDED = 22 SPACES  
 70% REQUIRED = 45 SPACES  
**PARKING REQUIREMENT FOR PHASE II:**  
 1 PER 300 S.F. = 20 SPACES  
 WAREHOUSING 20,000 S.F. SPACES  
 MANUFACTURING 11,600 S.F. SPACES  
 TOTAL REQUIRED = 32 SPACES  
 70% PROVIDED = 22 SPACES  
 70% REQUIRED = 45 SPACES  
**PARKING REQUIREMENT FOR PHASE III:**  
 1 PER 300 S.F. = 212 SPACES  
 WAREHOUSING 20,000 S.F. SPACES  
 MANUFACTURING 11,600 S.F. SPACES  
 TOTAL REQUIRED = 32 SPACES  
 70% PROVIDED = 22 SPACES  
 70% REQUIRED = 45 SPACES

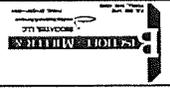
**PROTECTED EMPLOYMENT FOR PHASE I THROUGH 2021:**  
 23 ON SITE TECHNICIANS  
 23 FIELD TECHNICIANS  
 PARKING NEEDS = 23 SPACES

**LOCATION MAP**  
 CITY OF DELAWARE, OHIO  
 4.731 AC. - PARCEL TWO  
 O.R. 598, PG. 585  
 O.R. 598, PG. 590

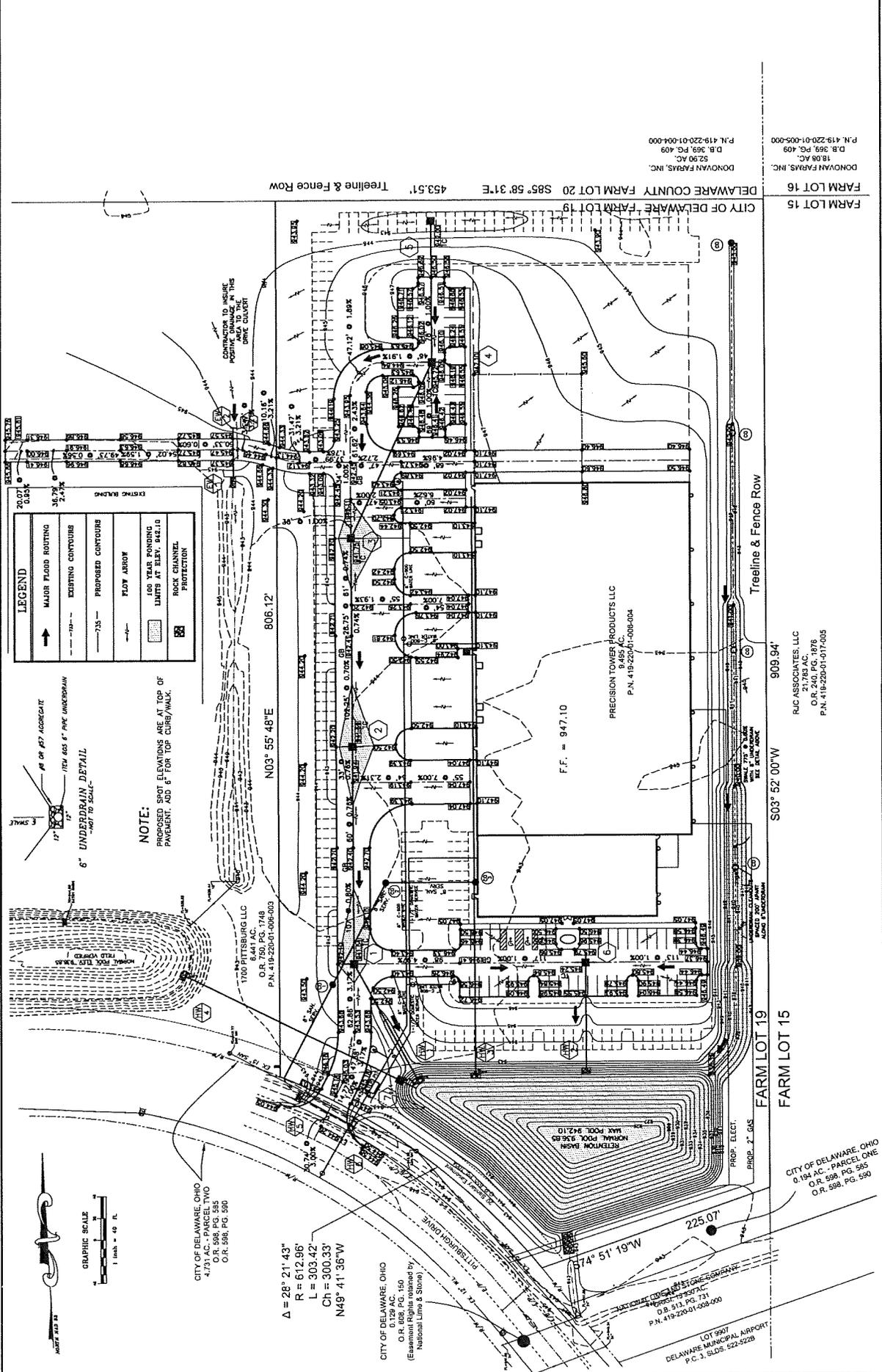
**REVISIONS**

**LEGEND**  
 HEAVY DUTY PAVEMENT  
 LIGHT DUTY PAVEMENT  
 DOLLY PAD  
 TRAFFIC FLOW ARROW



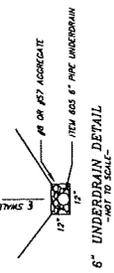


SCALE: 1" = 40'  
 SHEET: 2 OF 2  
 DATE: 2-18-16  
 PROJECT NO.: 16-4000002  
 CITY OF DELAWARE, OHIO  
 DONOVAN FARMS, INC. 18.08 AC. D.B. 598, PG. 409  
 DONOVAN FARMS, INC. 52.90 AC. D.B. 598, PG. 409  
 P.N. 419-220-01-004-000

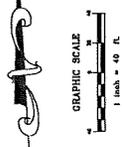


**LEGEND**

	MAJOR FLOOD ROUTING
	EXISTING CONTOURS
	PROPOSED CONTOURS
	FLAT ABOVE
	100 YEAR PONDING LIMITS AT ELEV. 942.10
	ROCK CHANNEL PROTECTION



**NOTE:**  
 PROPOSED SPOT ELEVATIONS ARE AT TOP OF PAVEMENT. ADD 6" FOR TOP CURB/WALK.



CITY OF DELAWARE, OHIO  
 4.731 AC. - PARCEL TWO  
 O.R. 598, PG. 585  
 O.R. 598, PG. 590

A = 28° 21' 43"  
 R = 612.96'  
 L = 303.42'  
 Ch = 300.33'  
 N49° 41' 36"W

CITY OF DELAWARE, OHIO  
 0.129 AC. - 150  
 (Easement Rights retained by National Lumber & Stone)

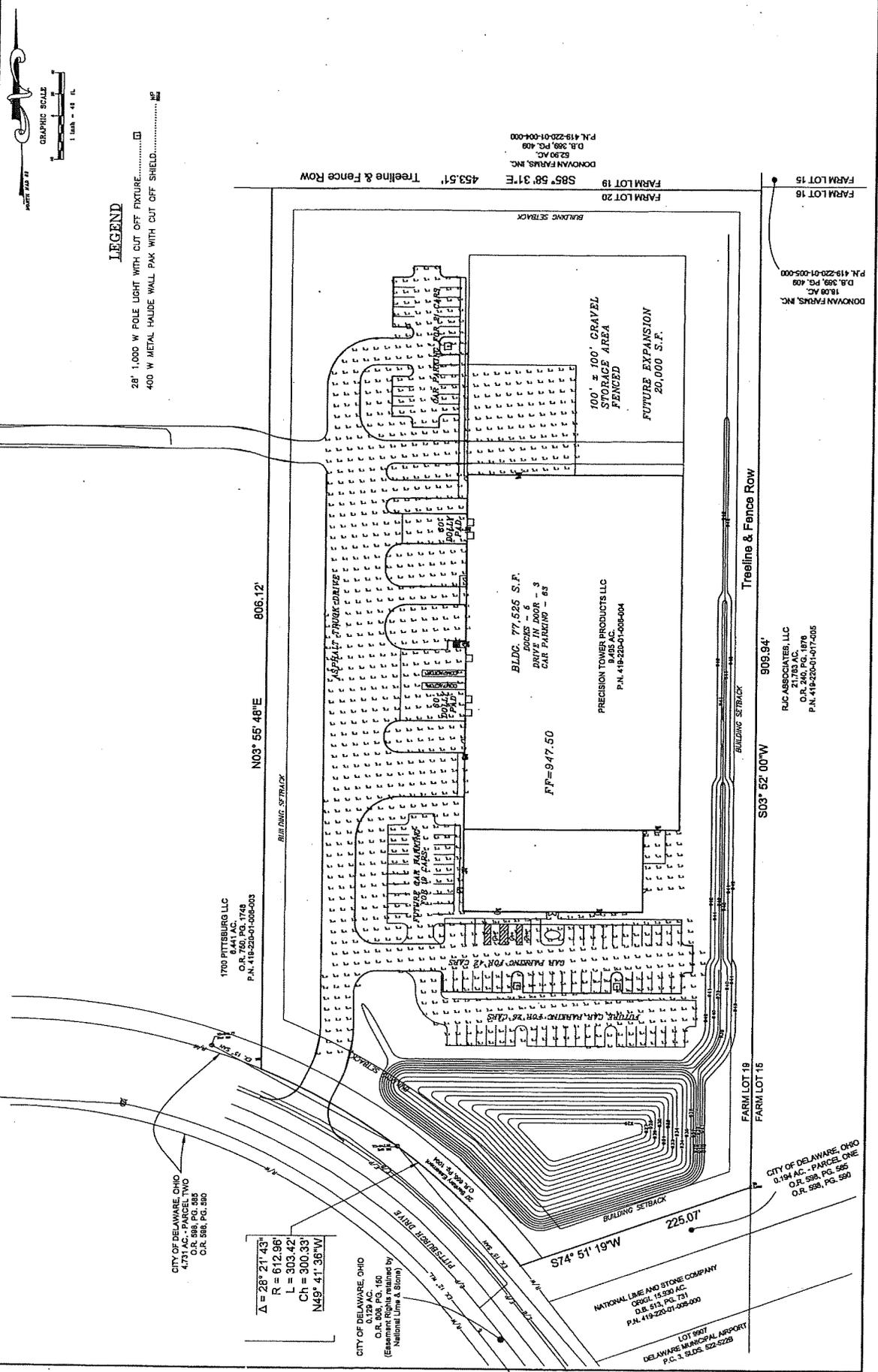
PRECISION TOWER PRODUCTS LLC  
 21.783 AC.  
 O.R. 240, PG. 1878  
 P.N. 419-220-01-017-005

CITY OF DELAWARE, OHIO  
 0.194 AC. - PARCEL ONE  
 O.R. 598, PG. 585  
 O.R. 598, PG. 590

These drawings are a representation of professional services provided by Bechtel, Shaw & Associates, LLC for the proposed project. Bechtel, Shaw & Associates, LLC assumes no liability for any unauthorized use of these drawings, specifications, and documents.

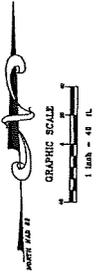


16-400 PROJECT NO.	1616	DATE		DESCRIPTION		BY		REVISIONS		CITY OF DELAWARE, OHIO PRECISION TOWER PRODUCTS STAIR, SHEDS, & SITE IMPROVEMENTS SITE LIGHTING PLAN
FED ONE DUBLIN LLC 8400 INDUSTRIAL PARKWAY PLAIN CITY, OHIO 43064 P.E. 614-873-2262 P.L. 419-220-01-004-000										
SCALE 1" = 40' 2-1/8" PLANTING DATA 10-10-2017 PREPARED BY HUNTER										



**LEGEND**

- 28' 1,000 W POLE LIGHT WITH CUT OFF FIXTURE
- 400 W METAL HAUGE WALL WITH CUT OFF SHIELD



1700 PITTSBURGH LLC  
 6.41 AC.  
 O.R. 750, PG. 1748  
 P.N. 419-220-01-005-003

$\Delta = 28^\circ 21' 43''$   
 $R = 612.96'$   
 $L = 303.42'$   
 $Ch = 300.33'$   
 $N49^\circ 41' 36''W$

CITY OF DELAWARE, OHIO  
 O.R. 800, PG. 150  
 (Easement Rights retained by  
 National Lime & Stone)

NATIONAL LIME AND STONE COMPANY  
 OHIO 15, 250 AC.  
 O.R. 513, PG. 731  
 P.N. 419-220-01-005-000

CITY OF DELAWARE, OHIO  
 0.194 AC. - PARCEL ONE  
 O.R. 598, PG. 595  
 O.R. 598, PG. 590

RUC ASSOCIATES, LLC  
 21,783 AC.  
 O.R. 240, PG. 1978  
 P.N. 419-220-01-017-005

DONOVAN FARMS, INC.  
 18.08 AC.  
 D.B. 359, PG. 409  
 P.N. 419-220-01-005-000

DONOVAN FARMS, INC.  
 62.90 AC.  
 D.B. 359, PG. 409  
 P.N. 419-220-01-004-000

FARM LOT 19 585° 58' 31"E 453.51'  
 Trelline & Fence Row

FARM LOT 15

FARM LOT 20

FARM LOT 16

Trelline & Fence Row

509.94'

S03° 52' 00"W

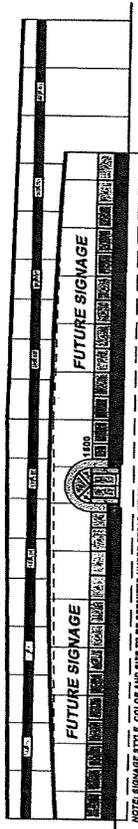
FARM LOT 19

FARM LOT 15

S74° 51' 19"W

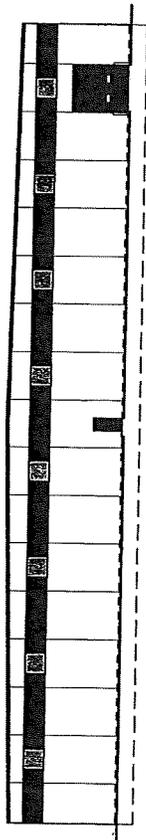
225.07'

LOT 1997  
 DELAWARE MUNICIPAL AIRPORT  
 P.C.-3, S.D.S. 525-528



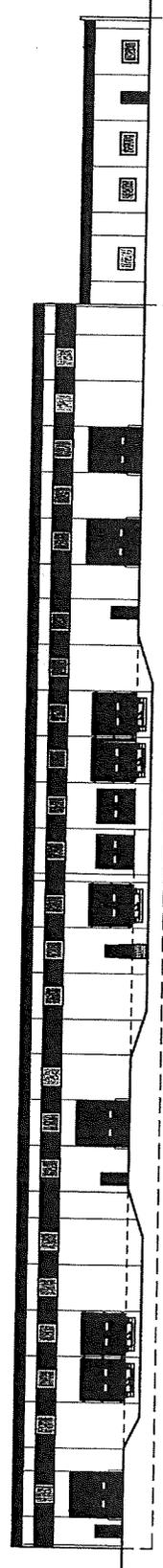
**SOUTH ELEVATION**

1/8"=1'-0"



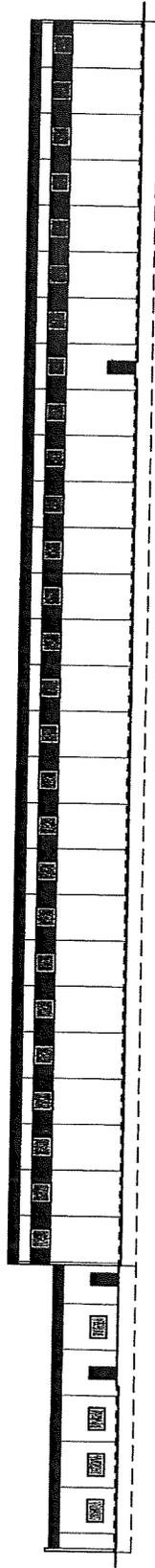
**NORTH ELEVATION**

1/8"=1'-0"



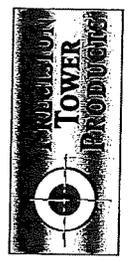
**WEST ELEVATION**

1/8"=1'-0"



**EAST ELEVATION**

1/8"=1'-0"



**FEDONE**



CITY OF DELAWARE, OHIO
PLANNING & COMMUNITY DEVELOPMENT
MASTER APPLICATION FORM



Project # \_\_\_\_\_

Case # 2016-0244

1475.75

Planning Commission

- Amended Final Development Plan
Amended Final Subdivision Plat
Amended Preliminary Development Plan
Amended Preliminary Subdivision Plat
Annexation Review
Combined Preliminary & Final Development Plan
Comprehensive Plan Amendment
Concept Plan
Conditional Use Permit
Determination of Similar Use
Development Plan Exemption
Final Development Plan
Final Development Plan Extension
Final Subdivision Plat
Final Subdivision Plat Extension
Floodplain Permit
Lot Split
Pre-annexation Agreement
Preliminary Development Plan
Preliminary Dev Plan Extension
Preliminary Sub Plat
Preliminary Sub Plat Extension
Rezoning
Subdivision Variance
Substitution of a Non-Conforming Use
Vacation-Alley
Vacation-Easement
Vacation-Street
Board of Zoning Appeals
Appeal Administrative Decision or Interpretation
Conditional Use Permit
Substitution of Equal or Less Non-Conforming Use
Variance

Subdivision/Project Name Precision Tower Products Address 1600 Pittsburgh Drive, Delaware OH 43015
Acreage 9.495 Square Footage 77,525 Number of Lots 1 Number of Units 1
Zoning District/Land Use M2 Proposed Zoning/Land Use M2 Parcel # 419-220-01-006-004

Applicant Name Fed One Dublin, LLC Contact Person Amy Biondi-Huffman
Applicant Address 8400 Industrial Pkwy, Plain City, OH 43064
Phone 614-873-0662 Fax 614-873-2684 E-mail amyhuffman@rohio.com
Owner Name Precision Tower Products Contact Person Todd King
Owner Address 1800 Pittsburgh Dr. Delaware, OH 43015
Phone 740-203-3905 Fax E-mail tking@skyclimber.com
Engineer/Architect/Attorney Bischoff Miller + Assoc. Contact Person Sara Hares
Address PO Box 1410, Powell, OH 43065
Phone 614-361-6794 Fax E-mail shares@rohio.com

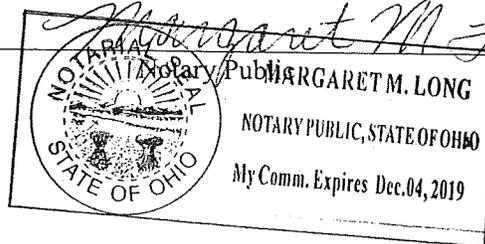
The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

Owner Signature
Agent Signature Amy Biondi-Huffman

Owner Printed Name
Agent Printed Name Amy Biondi-Huffman

Sworn to before me and subscribed in my presence this 2 day of February, 2016

Notary Stamp



**Community Impact Assessment  
Precision Tower Products, LLC  
1600 Pittsburgh Drive  
Delaware, Ohio 43015**

(a) **Site Specific Information**

(1) **Legal Description**

- A. The Deed has been enclosed for the Precision Tower Products, LLC parcel. Precision Tower Products, LLC owns the property shown in Deed Volume 1393 Page 1708-1718. Exhibit "A" is the Warranty Deed for this property. Figure 1A is the legal descriptions of the parcel.
- B. The Delaware County Auditor's office currently has the land market value for the Precision Tower Products, LLC parcel as \$129,700. Figure 1B is the Delaware County Auditor's current tax assessment.
- C. Adjacent property owners are as follows:  
Figure 1C shows the adjacent parcels with ownership

To the West is:

1700 Pittsburgh, LLC (VP Hydraulics)  
1700 Pittsburgh Drive  
Delaware, Ohio 43015

To the North is:

Donovan Farms, Inc.  
1723 S. Section Line Road  
Delaware, Ohio 43015

To the East is:

RJC Associates, LLC  
1188 Houk Road  
Delaware, Ohio 43015

To the South is:

Gardner David Noel ET AL  
2295 Snook Drive  
Naples, Florida 34102

To The South is:

National Lime & Stone Co.  
PO Box 120  
Findlay, Ohio 45840

D. There are no existing or proposed covenants to the subject land.

**(2) Location and Access**

This parcel (Parcel Number 41922001006004) is located on the Southwest side of the City of Delaware. It is situated on the North side of Pittsburgh Drive, East of the intersection of South Section Line Road. See Figure 2, Delaware County Auditor's aerial view. Access to the site will be via a single private access drive that will exit onto Pittsburgh Drive. See the enclosed site plan Exhibit B.

**(3) Adjacent Land Use**

The subject property is zoned M2. The parcels to the South are owned Gardner David Noel ET AL and National Lime & Stone Company. It is currently vacant land and is zoned M2. The parcel to the East is owned by RJC Associates, LLC. It is currently vacant land and is zoned M2. The parcel to the West is owned by 1700 Pittsburgh, LLC and is zoned M2. The parcel to the North is owned by Donovan Farms and is located in the Township of Delaware. It is currently an agricultural use. The long range Master Plan for the City of Delaware is that this parcel will also be in the M zoning classification. See Figure 2, Delaware County Auditor's aerial view. For the property assessments, see Figure 1B and the attached Property Information sheets which explain Figure 1B.

**(4) Existing Site Land Use**

The site is currently a vacant lot and it is zoned M2. It lies in the Delaware Industrial Park and construction of the manufacturing facility will be consistent with the permitted uses within the Industrial Park.

**(5) Maps, Chart, and Illustrations**

A tax map from the Delaware County Courthouse showing the site is included as Figure 3.

The aerial photograph of the site is in the City's computer system and attached as Figure 2.

**(6) Environmental Impacts**

A. Topography and Drainage: The site is located North of Pittsburgh Drive and West of the VP Hydraulics Building. The site is an open, flat field with tall weeds. The majority of the site drains to the Southeast. There is a small portion of the Northeast corner of this site that drains to the West into the existing swale on the VP Hydraulics property. (See Exhibit F).

Vegetation: The site is a vacant field with tall weeds. There are trees along the Northern and Eastern property lines that will not be disturbed by this development.

B. Soils: The site contains topsoil ranging from 0.50 to 0.60 feet thick. Below the surface cover the site was comprised of brown mottled gray to brown lean clay classified as CL under the Unified Soil Classification System. Standard penetration tests indicated the lean clay soils to be medium stiff in cohesive consistency. Below the upper level of lean clay, the borings encountered brown grading to gray glacial till (lean sandy clay and lean clay with gravel). Bedrock was not encountered in any of the borings (boring depth 20'). See Exhibit D (Subsurface Exploration and Foundation Engineering Reports by Geotechnical Consultants).

C. Ecology: The site will be located in a zoned industrial district (M2). This proposed project would have no abnormal impact on the ecology in the area.

**(7) Air and Noise Pollution**

The proposed manufacturing/warehouse/accessory use office building will result in minimal increases in the noise and air pollution to the area. This proposed use is consistent with the surrounding development.

**(8) Sanitary Sewer and Storm Drainage**

Sanitary Sewer and Water: The City of Delaware has Public sanitary sewer lines on the North side of Pittsburgh Drive and a water line on the South side of Pittsburgh Drive. Utility taps will be made from these existing main lines.

Storm Sewer: The site will consist of a retention basin designed to detain up to the 100 year post development storm including the Environmental Protection Agency Water Quality Volume. The on-site drainage system will collect the storm water from the building, paved and grass areas in 12", 15", 18" and 24" N-12 pipe, and with a grass swale with a 6" underdrain along the east side of the site. All of these drain into the basin. The on-site storm sewers will be sized for a 2 year storm and a 5 year hydraulic grade line.

**(9) Traffic and Parking**

On-site parking will be provided for 63 vehicles. This allows for ample parking spaces for the manufacturing and warehousing operations. There will be minimal visitors to these businesses. (Parking spaces will be 9 feet by 19 feet to meet the existing zoning code of 171 s.f. per space.) Should the need arise, there is sufficient green area to allow for additional parking spaces. The Final Development Plan indicates the "Future Car Parking Area". Since the businesses will have minimal truck traffic and Pittsburg Drive was designed to accommodate employee traffic, the Planning Department and Engineering Department have indicated that a full traffic impact study was not required.

**(10) View Interference**

The proposed building will have attractive landscaping and planted earth berms to provide screening of parking areas from the public roadways. Landscaping at the entrance will be placed in such a way as to maintain appropriate clear site paths at the intersections.

**(11) Historical Sites**

The proposed site is not located on a historical site. None of the adjacent sites have historical buildings or structures. (See Exhibit C).

**(12) Compatibility**

A. Proposed Development

The proposed factory/warehouse will be 325' x 200'. It will have a 75' x 167' office projection on the South side of the building. The building will be 29'-1" at the highest point of the structure. The building will be constructed of painted concrete pre-cast hard wall panels. The building will be light gray in color and will have a blue stripe on all side of the building. The building will have a glass entry feature similar to the existing Skyclimber building with a Dryvit and stone arch surrounding the front entry doors. Additionally, the building will have a band of continuous glass windows along the South side of the office projection. As an added architectural feature to the building, it will have 5' x 5' sidelights near the top of the hardwall panels on the North, East and West sides of the manufacturing sections of the buildings, and 2 ½' x 5' sidelights near the top of the South side of the manufacturing building. This matches the existing Skyclimber and VP Hydraulics buildings. This construction is consistent with the other surrounding buildings in the M zoning district. See the attached color elevations of the building.

B. Proposed Project

The proposed manufacturing/warehouse/accessory use office buildings will be built in an area with M2 zoning. All the surrounding sites are in the City Master Plan and either are or will be zoned M as well. The site will meet the requirements of the City of Delaware Zoning Code. No variances are being requested for this site at this time.

(b) **Impact on Public Services**

(1) **Tax Effect**

Industrial/ Commercial expansion improves the tax base of the community.

(2) **Police and Fire**

There is no anticipation of additional load added to the existing police and fire department other than emergency services.

(3) **Schools**

The proposed site will have no housing and has no additional loading to the school facilities and or an impact on the board of education.

(4) **Parks and Recreation**

The proposed project has no effect or requirements on the Parks and Recreation Department. A landscaping plan has been submitted which meets the requirements of the City of Delaware Planning and Zoning Code. Per the Planning and Zoning Department, bike paths are not required for this project.

(5) **Traffic Control**

No additional Traffic Control Signals or turn lanes will need to be added as a result of this project. The entrance drive has been designed 30' wide to accommodate both truck traffic and emergency vehicles.

(c) **General Requirements**

(1) **Financial Interest**

The building costs for this project is estimated at \$4,020,000. The Precision Tower building is being owned by Precision Tower Products, LLC. The members

of Precision Tower Products, LLC are George Anasis, Kelly Winkler, Tom Warchol and Todd King. There is no involvement with any appointed official.

A. Tax abatement and a Tax Increment Financing Plan have been requested for these projects. An agreement with the City has been reached and is provided as an attachment to this report. (See Exhibit E).

**(2) Coordination**

FAA Form 7460-1 dated 11-98 has been prepared by Stantec and filed with the US Department of Transportation, Federal Aviation Commission. This form has been submitted for both the permanent facilities and construction equipment, which may impact the airport height zone. It is not anticipated that public health or mass transit services will be necessary for this site.

**(3) Economic Impact**

The short term economic impact will be the creation of construction jobs for a period of six months. Precision Tower Products projects bringing 35 new jobs to the City of Delaware by 2020.

**(4) Construction Scheduling**

The proposed project is to be completed within six months from the start of construction. Construction is planned to begin immediately following the City Council approval of the Final Development Plan which is projected for early March 2016.

**(5) Adjacent Development**

All adjacent parcels are zoned M2' with the exception of the parcel to the North (Owned by Donovan Farms, Inc.) which is in Delaware Township. The Master Plan for the City of Delaware shows the Donovan Farms parcel being rezoned to an M zoning category.

**(6) Alternatives**

These are the only lots owned by the Applicant. There are no other alternatives for this project. The project is uniquely suited for the site.



Doc ID: 010922760D11 Type: OFF  
 Kind: DEED  
 Recorded: 12/15/2015 at 04:26:29 PM  
 Fee Amt: \$100.00 Page 1 of 11  
 Workflow# 0000108519-0002  
 Delaware County, OH  
 Melissa Jordan County Recorder  
 File# 2015-00035575

EXHIBIT A

Delaware County  
 The Grantor Has Complied With  
 Section 319.202 Of The R.C.  
 DATE 12-16-15 Transfer Tax Paid 690.90  
 TRANSFERRED OR TRANSFER NOT NECESSARY  
 Delaware County Auditor By SC

BK 1393 PG 1708-1718

TALON TITLE AGENCY (BOX)  
 570 POLARIS PKWY STE 140  
 WESTERVILLE, OH 43082

Order Number: 179937

**LIMITED WARRANTY DEED\* AND DEED OF EXECUTOR,  
 ADMINISTRATOR, TRUSTEE, GUARDIAN, RECEIVER OR  
 COMMISSIONER\*\***

*Talon box-C* 2

David Noel Gardner; married; Susan M. McKenzie, married; Stephen J. Myers; married and Sharon Myers Koons, Trustee of the Marilyn S. Myers Trust f/b/o Sharon Myers Koons w/d October 19, 1990, by the power conferred by the Trust Agreement and every other power, for valuable consideration paid, grants, with limited warranty covenants to **Precision Tower Products LLC, an Ohio limited liability company**, whose tax mailing address is 1800 Pittsburgh Drive, Delaware, Ohio 43015

the following real property:

“See Exhibit “A” attached hereto and made a part hereof...”

Parcel Number: 9.4 acres as split from 419-220-01-006-000

Property Address: 9.4 acres Pittsburgh Drive, Delaware, Ohio 43015

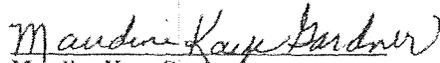
Except for the following and subject to all of which this conveyance is made: legal highways; zoning ordinances; real estate taxes and assessments which are now or may hereafter become a lien on said premises; covenants, conditions, restrictions and easements of record; and all coal, oil, gas, and other mineral rights and interests previously transferred or reserved of record.

Prior Instrument Reference: Deed Book 535, page 358; and Official Record Volume 1215, page 1233, Recorder’s Office, Delaware, County, Ohio.

Maudine Kaye Gardner, wife of David Noel Gardner; Scott McKenzie, husband of Susan M. McKenzie and Lana Kay Myers, wife of Stephen J. Myers, release all rights of dower therein.

Witness their hands this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

  
David Noel Gardner

  
Maudine Kaye Gardner

\_\_\_\_\_  
Susan M. McKenzie

\_\_\_\_\_  
Scott McKenzie

\_\_\_\_\_  
Stephen J. Myers

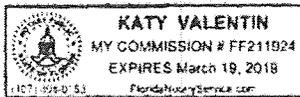
\_\_\_\_\_  
Lana Kay Myers

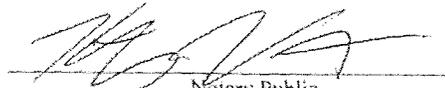
\_\_\_\_\_  
Sharon Myers Koons, Trustee of the  
Marilyn S. Myers Trust f/b/o Sharon  
Myers Koons u/a/d October 19, 1990

State of Florida  
County of Collier ss:

Be It Remembered, that on this 7<sup>th</sup> day of December, 2015, before me, a Notary Public in and for said State, personally appeared the above named David Noel Gardner and Maudine Kaye Gardner, the Grantors in the foregoing deed, and acknowledged the signing thereof to be their voluntary act and deed.

In Testimony Thereof, I have hereunto subscribed my name and affixed my official seal on the day and year last aforesaid.



  
\_\_\_\_\_  
Notary Public

State of Tennessee  
County of \_\_\_\_\_ ss:

Be It Remembered, that on this \_\_\_\_\_ day of December, 2015, before me, a Notary Public in and for said State, personally appeared the above named Susan M. McKenzie and Scott McKenzie, the Grantors in the foregoing deed, and acknowledged the signing thereof to be their voluntary act and deed.

In Testimony Thereof, I have hereunto subscribed my name and affixed my official seal on the day and year last aforesaid.

\_\_\_\_\_  
Notary Public

Witness their hands this 3<sup>rd</sup> day of December, 2015.

\_\_\_\_\_  
David Noel Gardner

\_\_\_\_\_  
Maudine Kaye Gardner

Susan M. McKenzie  
Susan M. McKenzie

Scott McKenzie  
Scott McKenzie

\_\_\_\_\_  
Stephen J. Myers

\_\_\_\_\_  
Lana Kay Myers

\_\_\_\_\_  
Sharon Myers Koons, Trustee of the  
Marilyn S. Myers Trust I/b/o Sharon  
Myers Koons u/a/d October 19, 1990

State of Florida  
County of \_\_\_\_\_ ss:

Be It Remembered, that on this \_\_\_\_\_ day of December, 2015, before me, a Notary Public in and for said State, personally appeared the above named David Noel Gardner and Maudine Kaye Gardner, the Grantors in the foregoing deed, and acknowledged the signing thereof to be their voluntary act and deed.

In Testimony Thereof, I have hereunto subscribed my name and affixed my official seal on the day and year last aforesaid.

\_\_\_\_\_  
Notary Public

State of Tennessee  
County of Hamilton ss:

Be It Remembered, that on this 3rd day of December, 2015, before me, a Notary Public in and for said State, personally appeared the above named Susan M. McKenzie and Scott McKenzie, the Grantors in the foregoing deed, and acknowledged the signing thereof to be their voluntary act and deed.

In Testimony Thereof, I have hereunto subscribed my name and affixed my official seal on the day and year last aforesaid.

Katrinla Perry  
Notary Public



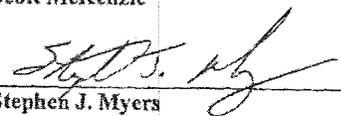
Witness their hands this 2<sup>nd</sup> day of December, 2015.

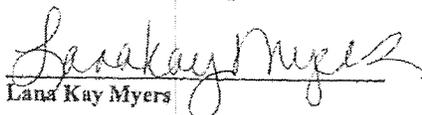
\_\_\_\_\_  
David Noel Gardner

\_\_\_\_\_  
Maudine Kaye Gardner

\_\_\_\_\_  
Susan M. McKenzie

\_\_\_\_\_  
Scott McKenzie

\*   
Stephen J. Myers

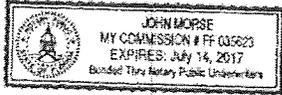
\*   
Lana Kay Myers

\_\_\_\_\_  
Sharon Myers Koons, Trustee of the  
Marilyn S. Myers Trust f/b/o Sharon  
Myers Koons u/a/d October 19, 1990

State of FLORIDA  
County of Collier ss:

Be It Remembered, that on this 2ND day of December, 2015, before me, a Notary Public in and for said State, personally appeared the above named Stephen J. Myers and Lana Kay Myers, the Grantors in the foregoing deed, and acknowledged the signing thereof to be their voluntary act and deed.

In Testimony Thereof, I have hereunto subscribed my name and affixed my official seal on the day and year last aforesaid.



[Signature]  
Notary Public

~~State of \_\_\_\_\_  
County of \_\_\_\_\_ ss:~~

~~Be It Remembered, that on this \_\_\_\_\_ day of December, 2015, before me, a Notary Public in and for said State, personally appeared the above named Sharon Myers Koons, Trustee of the Marilyn S. Myers Trust f/b/o Sharon Myers Koons w/a/d October 19, 1990, the Grantors in the foregoing deed, and acknowledged the signing thereof to be her voluntary act and deed.~~

~~In Testimony Thereof, I have hereunto subscribed my name and affixed my official seal on the day and year last aforesaid.~~

~~\_\_\_\_\_  
Notary Public~~

\*See Section 5302.07 and 5302.08 Ohio Revised Code  
\*\*See Section 5302.09 Ohio Revised Code

This instrument prepared by Magnuson & Barone, Attorneys at Law

Witness their hands this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

\_\_\_\_\_  
David Noel Gardner

\_\_\_\_\_  
Maudine Kaye Gardner

\_\_\_\_\_  
Susan M. McKenzie

\_\_\_\_\_  
Scott McKenzie

\_\_\_\_\_  
Stephen J. Myers

\_\_\_\_\_  
Lana Kay Myers

\* *Sharon Myers Koons Trustee*

Sharon Myers Koons, Trustee of the  
Marilyn S. Myers Trust f/b/o Sharon  
Myers Koons u/a/d October 19, 1990

State of \_\_\_\_\_  
County of \_\_\_\_\_ ss:

Be It Remembered, that on this \_\_\_\_\_ day of December, 2015, before me, a Notary Public in and for said State, personally appeared the above named Stephen J. Myers and Lana Kay Myers, the Grantors in the foregoing deed, and acknowledged the signing thereof to be their voluntary act and deed.

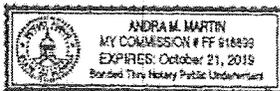
In Testimony Thereof, I have hereunto subscribed my name and affixed my official seal on the day and year last aforesaid.

\_\_\_\_\_  
Notary Public

State of Florida  
County of Alachua ss:

Be It Remembered, that on this 7th day of December, 2015, before me, a Notary Public in and for said State, personally appeared the above named Sharon Myers Koons, Trustee of the Marilyn S. Myers Trust f/b/o Sharon Myers Koons u/s/d October 19, 1990, the Grantors in the foregoing deed, and acknowledged the signing thereof to be her voluntary act and deed. *Sharon Myers KOONS personally known to me.*

In Testimony Thereof, I have hereunto subscribed my name and affixed my official seal on the day and year last aforesaid.

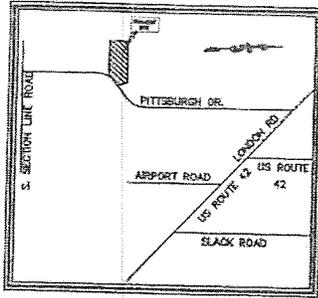


*Andra M. Martin*  
\_\_\_\_\_  
Notary Public

\*See Section 5302.07 and 5302.08 Ohio Revised Code  
\*\* See Section 5302.09 Ohio Revised Code

This instrument prepared by Magnuson & Barone, Attorneys at Law

EXHIBIT B



LOCATION MAP  
NOT TO SCALE

CITY OF DELAWARE, OHIO  
4.731 AC. - PARCEL TWO  
O.R. 598, PG. 585  
O.R. 588, PG. 580

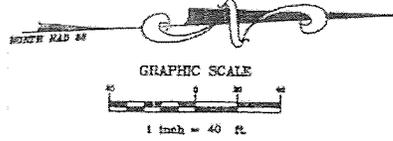
$\Delta = 28^{\circ} 21' 43''$   
 $R = 612.96'$   
 $L = 303.42'$   
 $Ch = 300.33'$   
 $N49^{\circ} 41' 36'' W$

CITY OF DELAWARE, OHIO  
0.129 AC.  
O.R. 608, PG. 150  
(Easement Rights retained by  
National Lime & Stone)

NATIONAL LIME AND STONE COMPANY  
O.R. 515, PG. 171  
O.R. 515, PG. 171  
P.N. 419-220-01-000-000

DELAWARE COUNTY, OHIO  
O.R. 515, PG. 171  
P.N. 419-220-01-000-000

CITY OF DELAWARE, OHIO  
O.R. 598, PG. 585  
O.R. 588, PG. 580



SITE DATA CONT.

EXISTING USE - VACANT LAND/ FARM FIELD  
EXISTING BUILDINGS - NONE  
INTENDED USE - MANUFACTURING/ WAREHOUSING  
SITE ZONING - M-2

PARKING

PARKING REQUIREMENT  
OFFICE 12,525 S.F.  
1 PER 300 S.F. = 42 SPACES  
WAREHOUSING 35,000 S.F.  
1 PER 1,000 S.F. = 35 SPACES  
MANUFACTURING 30,000 S.F.  
1 PER 400 S.F. = 75 SPACES  
TOTAL REQUIRED = 152 SPACES  
70% REQUIRED = 107 SPACES

PARKING PROVIDED  
60 SPACES; 2 HANDICAP &  
1 HANDICAP VAN ACCESSIBLE  
FUTURE PARKING PROVIDED = 45 SPACES  
TOTAL = 108 SPACES

16-400  
PROJECT NO.

1 OF 2

CITY OF DELAWARE, OHIO  
PRECISION TOWER PRODUCTS  
STORM, GRADING, & SITE IMPROVEMENTS

FINAL DEVELOPMENT PLAN

REVISIONS

BY	DESCRIPTION	DATE

Ohio Utilities Protection Service

Call it before you dig

BUSHNELL MILLER  
A PROGRESSIVE FIRM  
P.O. BOX 100  
P.O. BOX 100

SCALE  
1" = 40'

SJH  
Design

SJH  
Drawn

2-1-16  
Printed Date

16-400DEVE  
LEAD FILE

HPJET4  
PLOT FILE

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EYORS

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FARM LOT 19  
FARM LOT 20  
FARM LOT 15  
FARM LOT 16

453.51' Treeline & Fence Row

DONOVAN FARMS, INC.  
52.90 AC.  
O.B. 369, PG. 409  
P.N. 419-220-01-004-000

LEGEND

- HEAVY DUTY PAVEMENT.....
  - LIGHT DUTY PAVEMENT.....
  - DOLLY PAD.....
  - TRAFFIC FLOW ARROW.....
- NOTE: ALL DIMENSIONING IS TO FACE OF CURB UNLESS OTHERWISE NOTED.  
ALL PAVEMENT MARKINGS ARE REQUIRED TO BE WHITE UNLESS REQUIRED BY ADA



EXHIBIT C

## Ohio Department of Natural Resources

JOHN R. KASICH, GOVERNOR

JAMES ZIEGLER, DIRECTOR

Ohio Division of Wildlife  
*Raymond W. Petering, Chief*  
2045 Morse Rd., Bldg. G  
Columbus, OH 43229-6693  
Phone: (614) 265-6300

January 25, 2016

Amy Biondi-Huffman  
Fed One Dublin, LLC  
8400 Industrial Parkway  
Plain City, OH 43064

Dear Ms. Biondi-Huffman,

After reviewing the Natural Heritage Database, I find the Division of Wildlife has no records of rare or endangered species in the Precision Towers Products project area, including a one mile radius, in Delaware Township, Delaware County, Ohio. We are unaware of any unique ecological sites, geologic features, animal assemblages, scenic rivers, state wildlife areas, nature preserves, parks or forests, national wildlife refuges, parks or forests or other protected natural areas within a one mile radius of the project area.

Our inventory program has not completely surveyed Ohio and relies on information supplied by many individuals and organizations. Therefore, a lack of records for any particular area is not a statement that rare species or unique features are absent from that area. This letter only represents a review of rare species and natural features data within the Ohio Natural Heritage Database. It does not fulfill coordination under the National Environmental Policy Act (NEPA) or the Fish and Wildlife Coordination Act (48 Stat. 401, as amended; 16 U.S. C. 661 et seq.) and does not supersede or replace the regulatory authority of any local, state or federal agency nor relieve the applicant of the obligation to comply with any local, state or federal laws or regulations.

Please contact me at 614-265-6818 if I can be of further assistance.

Sincerely,

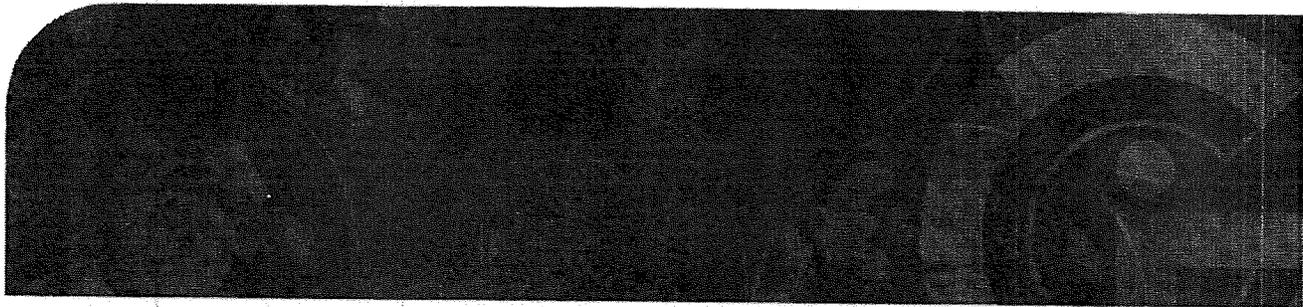
A handwritten signature in cursive script that reads "Debbie Woischke".

Debbie Woischke  
Ohio Natural Heritage Database Program

EXHIBIT D



GEOTECHNICAL  
CONSULTANTS INC.



GCI PROJECT No. 16-G-19814

## Subsurface Exploration and Geotechnical Engineering Report

Sky Climber 2 - Office/Warehouse  
Pittsburgh Drive  
Delaware, Ohio

**Prepared for:**  
Fed One Dublin, LLC

January 28, 2016



**GEOTECHNICAL  
CONSULTANTS INC.**

**MAIN OFFICE**  
720 Greencrest Drive  
Westerville, OH 43081  
614.895.1400 **phone**  
614.895.1171 **fax**

**YOUNGSTOWN OFFICE**  
8433 South Avenue  
Building 1, Suite 1  
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January 28, 2016

Ms. Amy Biondi-Huffman  
Fed One Dublin, LLC  
8400 Industrial Parkway  
Plain City, Ohio 43064

e-mail: amyhuffman@rohio.com

**Reference: Proposed Sky Climber 2  
77,525 sf Office/Warehouse  
Pittsburg Drive – Delaware, Ohio  
GCI Project No 16-G-19614**

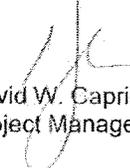
Dear Ms. Huffman;

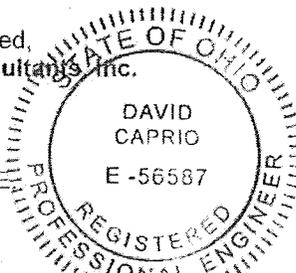
As you requested and authorized, Geotechnical Consultants, Inc. (GCI) performed a subsurface exploration and prepared a geotechnical engineering report for the above referenced project. In summary, the borings generally encountered a surface cover of topsoil over natural lean clay soils (including glacial till). We did not encounter bedrock in the borings. We encountered groundwater seepage in one of the six borings at a depth of 16 feet below existing grade. The seepage was from a sand and gravel seam in the impervious glacial till soils.

The primary geotechnical issues that will impact site development are proper site stripping, stabilizing soft natural soils, proper fill placement and compaction, and proper installation of foundations, slabs, and pavements. Groundwater seepage should not be an issue for typical shallow foundations. Provided these issues are properly addressed, it is GCI's opinion that this site is suitable for support of the anticipated one-story, slab-on-grade office/warehouse type structure using conventional shallow foundations with concrete slab-on-grade. We discuss geotechnical considerations and provide recommendations in the report.

After you have reviewed the report, feel free to contact us with any questions you may have. We appreciate the opportunity to provide our services for this project and hope to continue providing our services through construction.

Respectfully submitted,  
Geotechnical Consultants, Inc.

  
David W. Caprio, P.E.  
Project Manager



  
Jennifer Y. Rivera, E.I.  
In-House Reviewer

Distribution: Ms. Amy Biondi-Huffman @ Fed One – 1 bound, 1 pdf  
GCI file

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## INTRODUCTION

As requested and authorized by Ms. Amy Huffman on behalf of Fed One Dublin, LLC, Geotechnical Consultants, Inc. (GCI) performed a subsurface exploration and prepared a geotechnical engineering report for the proposed Sky Climber 2 facility to be constructed on Pittsburgh Drive in Delaware, Ohio. Prior to drilling, Fed One provided GCI with a site plan showing the proposed building layout and pond and pavement areas.

Our subsurface study consisted of 6 standard penetration borings within the proposed building and retention pond areas. GCI field located the borings using field stakes placed by others identifying the building corners; locations should be considered approximate. We were not provided with topographic information for the project and we did not determine ground elevations at the boring locations. We attach a sketch showing the approximate boring locations and copies of the boring logs in the appendix.

The intent of this study was to evaluate subsurface conditions and offer geotechnical recommendations relative to foundations, slabs, site preparation, and earthwork for the proposed the proposed Sky Climber 2 structure in Delaware, Ohio. We issue this report prior to the receipt of final site layout and grading plans. GCI should review these plans when available, and provide additional recommendations, if necessary.

We prepared this report for the exclusive use of Fed One Dublin, LLC and their consultants for specific application to the above referenced building in Delaware, Ohio in accordance with generally accepted soil and foundation engineering practices. We make no warranty, expressed or implied.

## SITE AND PROJECT DESCRIPTIONS

The site is an approximately rectangular-shaped parcel located in the north of Pittsburgh Drive in Delaware, Ohio. The site is due east of the existing V&P Hydraulics and the existing Sky Climber facility. The general site location is shown on an attached map (DeLorme Street Mapping).

The aerial photograph below shows the approximate site boundary. At the time of drilling, the site consisted of open, undeveloped land with grass/weed surface cover (as depicted on the aerial photograph).



**Aerial photograph (2016, Google Maps)**

The project consists of constructing a one-story, slab-on-grade office/warehouse structure with an area of 77,525 square-feet. Topographically, the site is relatively flat

and level. While we do not have existing site topographic information, we assume only minor regrading will be performed to create a level building pad and properly sloping pavements. The project will also include drives, parking areas, new site utilities, and a retention pond south of the proposed building.

### **SUBSURFACE CONDITIONS**

GCI mobilized a truck-mounted rotary drill rig (with an automatic sampling hammer) to the site on Monday, January 25, 2016. We drilled 5 standard penetration borings (B-1 to B-5) in the proposed building area to a depth of 15 to 20 feet. We also performed boring B-6 in the proposed retention pond to a depth of 20 feet.

We attach boring logs, a copy of the boring location plan, and a summary table of encountered subsurface conditions in the appendix. We summarize the subsurface findings on the following pages. Refer to the individual boring logs and summary table for more detailed subsurface information at specific boring locations.

#### **Surface Cover**

The borings encountered 0.5 to 0.6 feet of natural topsoil at the ground surface.

#### **Natural Soils**

Below the surface cover, the borings encountered brown mottled gray to brown lean clay (classified as CL under the Unified Soil Classification System). The lean clay was stained dark brown in the borings to a depth of about 2 feet. The lean clay extended to depths ranging from 4 to 6 feet below existing grade. Standard penetration testing indicated the lean clay soils were medium stiff in cohesive consistency.

Below the upper lean clay, the borings encountered brown grading to gray glacial till (lean sandy clay to sandy lean clay with gravel – CL). In general, the gray till contained more sand and gravel and was less plastic when compared to the brown till. We noted occasional cobbles and boulders and granular layers (silty sand) within the glacial till deposits. Standard penetration testing indicated the glacial till was medium stiff to stiff in cohesive consistency, becoming hard with depth. We terminated borings in the gray glacial till at depths ranging from 15 feet to 20 feet below existing grade.

### **Bedrock**

We did not encounter bedrock within the depths of the borings performed (maximum drilled depth of 20 feet).

### **Groundwater and Soil Moisture Conditions**

During the drilling work, we encountered groundwater seepage in borings B-2 at 16 feet below existing grade. The seepage appeared to be perched in the sand and gravel layers within the glacial till deposits. By completion of the drilling, the seepage rose to approximately 10 feet. We did not encounter groundwater in the remaining borings during drilling or immediately following completion of the drilling process.

Soil samples obtained from the drilling process were noted to be moist to very moist, with occasional wet samples noted at and below groundwater seepage levels and at isolated granular layers within the glacial till deposits. Note that soil moisture conditions and groundwater observations fluctuate due to changes in precipitation, climate, stabilization time and other factors that may differ from the time the measurements were made.

## **ANALYSES AND CONCLUSIONS**

### **GEOTECHNICAL EVALUATION**

Based on our borings, it is GCI's opinion that the site geotechnical conditions are suitable to support the proposed building, provided the site is properly prepared. The primary geotechnical issues that will impact site development are the proper topsoil stripping and fill placement and compaction to support foundations and slabs. We discuss these issues below.

#### **Topsoil Stripping**

The borings encountered a topsoil surface cover (0.5 to 0.6 feet thick). Topsoil, vegetation, and other organic materials are not suitable for foundation, floor slab, or pavement support. Stripping should extend to a minimum of 5 feet laterally beyond proposed building and pavement areas. Topsoil and organic matter can be stockpiled for reuse in landscaping mounds, redistributed in proposed green spaces areas, or disposed at an off-site location.

#### **Subgrade Stability**

The earthwork contractor should proof-roll the exposed natural soil subgrade using a fully-loaded, tandem-axle dump truck (or equivalent) to identify potential soft, yielding subgrade areas. Soft spots identified during the proof-roll should be undercut to firm, stable conditions or otherwise stabilized prior to placing additional fill, slab construction, or paving. Structural fill can be placed to design grade provided the exposed subgrades are proof-rolled, and firm, stable conditions are verified prior to fill placement.

The severity of soft, very moist subgrade conditions will depend on the time of year earthwork is performed, and the amount of moisture within the subgrade soils. We expect fewer problems with soft and wet subgrades if earthwork and mass grading operations are performed during traditionally drier times of the year (i.e. late spring, summer, and early fall).

Stabilization of soft subgrades by diskings, aerating/drying, and re-compaction may be feasible during traditionally drier times of the year. During wet seasons, partial undercutting and replacing of wet soils with structural fill, drying with soil additives such as lime, or use of geosynthetics may be needed to create a stable subgrade before placing controlled fills. The use of soil additives such as cement, lime, and flyash or installation of geosynthetics should be reviewed by our office prior to use in the field. Careful routing of construction traffic is advised to help minimize instabilities of near surface soils during wet seasons.

#### **Fill Placement and Compaction**

We expect that site cut and fills will be balanced to create a level building pad and properly sloping pavements. The retention pond excavation will be a source of fill for the project. The fill will consist of clay based soils including lean clay and sandy lean clay (CL in the Unified/ASTM classification system).

Fill materials within the building pad and pavement areas should be placed in a controlled manner. Fill should be placed in maximum 8-inch thick loose lifts and compacted to at least 98% of the maximum Standard Proctor dry density. Moisture should be controlled within 3% of the optimum Standard Proctor moisture. Lift thickness should be reduced to

6 inches in confined areas where hand operated compaction equipment is used. The clay-based site soils will compact best using static-weight, sheepsfoot or vibratory pad-foot compactors and granular materials will compact best with vibratory smooth-drum rollers.

Compaction will be difficult to obtain if soft/unstable subgrades are not properly remediated before starting to place fill, or if the proposed fill materials contain excess moisture. We recommend that site earthwork and grading be performed during traditionally drier times of the year such as late spring, summer, and early fall to reduce problems associated with very moist soils. It will be difficult to obtain proper compaction during wet seasons due to excess moisture.

## **FOUNDATIONS**

Provided the site is properly prepared as stated above, it is GCI's opinion that the proposed building can be constructed on conventional spread footings and continuous wall foundations. All footings should bear on stable, natural soils or new, controlled fill placed directly over stable natural soils. Footings bearing on acceptable soils can be designed using a maximum allowable bearing capacity not to exceed 3,000 pounds per square foot.

A side adhesion value of 500 psf can be used for design of footing to resist uplift. Footings shall be earth-formed, and not subjected to disturbance from frost, rain, etc.

Regardless of calculated sizes, we recommend minimum sizes of 16 inches wide for wall footings and 30 inches square for column pads to prevent a "punch" effect. All exterior

footings should extend to local frost bearing depth (36 inches) or to stable bearing (as stated above), whichever is deeper. Interior footings in heated areas may be placed as shallow as feasible, if bearing on acceptable soils.

Undercut foundations through soft or unstable, natural soils to bear footings on firm and stable, natural soils. Undercut areas can be backfilled to design bottom-of-footing elevation using controlled density fill (CDF) to allow footing construction at design grade. Alternatively, the foundations can be constructed on firm, stable site soils at the bottom-of-footing undercut. Soft, unstable bearing soils should be reviewed by the soil engineer prior to undercuts.

#### **FLOOR SLAB**

GCI recommends placing a minimum of 4 inches of granular fill (well-graded crushed stone, such as AASHTO #57 Stone or ODOT Item 304) under lightly loaded floor slabs to serve as a capillary cut-off, and to provide a uniform, firm subbase. We recommend the aggregate base thickness be increased to 6 inches below more heavily loaded slabs. We recommend placing a vapor barrier below the slab where moisture may be a problem with slab-on-grade floor coverings. Subgrades should be thoroughly proof-rolled and any soft, yielding areas brought to a stable condition prior to slab construction or placement of aggregate base.

#### **SEISMIC FACTOR**

The borings revealed a subsurface profile generally consisting of topsoil over natural clay-based soils including glacial till deposits. In accordance with the Ohio Building Code, we estimate the site as a Site Class D – stiff soil profile.

## EXCAVATIONS AND GROUNDWATER

The natural clay-based soils can be excavated with conventional track hoe equipment.

We did not encounter bedrock within the borings and we do not expect bedrock will impact shallow foundations or site development work. **All site excavations should comply with current OSHA regulations.**

We encountered groundwater seepage in one boring at a depth of 16 feet below existing grade. Based on the borings, groundwater should not be a significant issue for shallow foundation and shallow utility excavations at the site. If water is encountered in site excavations, the excavations should be dewatered to allow footing construction and utility trench backfilling in dry conditions. We expect groundwater seepage flows can be handled with portable sump pumps and working mats of crushed stone, as needed.

Deeper excavations that penetrate any saturated sand and gravel layers (found within the glacial till) will encounter more seepage and may require more extensive dewatering techniques, such as deep sumps or well points. Contact GCI for additional recommendations if excessive groundwater conditions are encountered.

## RETENTION POND

A retention pond will be constructed in the southeast corner of the site. We drilled boring B-6 in the location of the pond and encountered clay-based soils (including glacial till), with occasional sand and gravel layers. We did not encounter groundwater seepage in the boring.

The natural, lean clay site soils are suitable to use as a liner to retain water for a "wet" retention basin/pond. If sand and gravel layers are encountered within the sidewalls or the bottom of the pond, gouge out the materials and cover with a minimum of 18 inches of compacted, clay-based soil. Fill should be properly placed and compacted to a minimum of 98% Standard Proctor dry density, as described in the *Site Preparation and Earthwork* section of this report.

Ponds that encounter water seepage may require dewatering to properly place the liner material. Dewatering should be maintained until placement of the liner is completed and the pond is filled.

#### GENERAL SITE PREPARATION AND EARTHWORK

As a general approach to the site preparation, GCI recommends the following:

1. Strip vegetation, any topsoil, and root mat systems from below the proposed building footprint and pavement areas plus a minimum of 5 feet beyond. Stockpile any topsoil encountered for redistribution in proposed green space areas, reuse in landscaping mounds, or to backfill on-site borrow pits, otherwise haul the topsoil off-site.
2. Thoroughly and carefully proof-roll the exposed soil subgrades with a fully-loaded, tandem-axle dump truck (or equivalent) to identify potential soft/unstable areas. Undercut soft spots identified in the proof-roll or otherwise stabilize soft spots prior to placing controlled fill, placing underslab aggregate, or proceeding with pavement construction.
3. Place controlled fill to design grade within the proposed construction areas, as required. The natural, non-organic site soils are suitable for reuse in controlled fills. Off-site borrow materials should be reviewed by our office prior to use.
4. Place controlled fills in maximum 8-inch thick loose lifts and compact to a minimum of 98% of the maximum Standard Proctor dry density (ASTM D-698). The moisture in the site soils should be controlled to within  $\pm 3\%$  of the optimum Standard Proctor moisture content. **Depending on the time of year of earthwork, moisture adjustment of the site soils may be required to achieve proper compaction.** Cohesive soils will compact best with a static-weight sheepsfoot roller. Clay-based soils that are at or slightly over the optimum

moisture content will tend to pump if exposed to vibratory sheepsfoot compaction equipment.

5. Excavate for foundations after the building pad is properly constructed. Refer to the *Geotechnical Evaluation* section of this report for specific foundation design parameters.
6. Slabs should be compacted to a smooth and stable surface prior to the placement of aggregate base.
7. We recommend that GCI be retained to observe proof-rolling operations, cut and fill operations, and footing excavations.
8. If work is performed during the winter (e.g., when freezing temperatures occur), special protective measures will be required during fill placement and footing construction procedures. Contact GCI for additional cold weather recommendations, as needed.

### **CONSTRUCTION MATERIALS ENGINEERING AND TESTING**

GCI provides construction materials engineering and testing services. For project continuity throughout construction, we recommend that GCI be retained to observe, test, and document:

- earthwork procedures (stripping, fill placement, compaction, utility trench backfill, etc.),
- foundation and slab preparation (proof-rolling, excavations, undercuts, etc.),
- concrete placement and compressive strength testing (footings, structural concrete, slabs), and
- structural steel (welds, bolts, etc.).

The purpose of this work is to assess that the intent of our recommendations is being followed and to make timely changes to our recommendations (as needed) in the event site conditions vary from those encountered in our borings. Please contact our field department to initiate these services.

**FINAL**

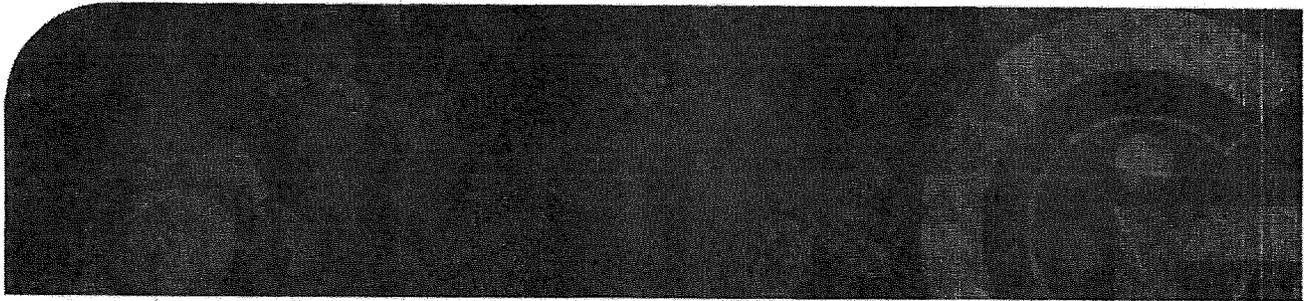
GCI should review the final building location, grading plans, final site topography, and project specifications in order to verify that recommendations contained in this report have been properly interpreted and implemented.

This report is for site evaluation and design purposes only and is not intended to be sufficient to prepare an accurate bid document. The nature and extent of variations between the borings might not become evident until construction and if variations are noted during construction, it may be necessary to re-evaluate the recommendations of this report.

If you have any questions or need for any additional information, please contact our office. It has been a pleasure to be of service to you on this project, and we hope to continue our services through construction.



GEOTECHNICAL  
CONSULTANTS INC.



**APPENDIX – Sky Climber 2 – Pittsburgh Drive, Delaware, Ohio**

**General Notes for Soil Sampling and Classifications**  
**General Site Location Map (DeLorme Street Atlas USA – 2014)**  
**Boring Location Plan**  
**Summary of Encountered Subsurface Conditions**  
**Test Boring Logs (B-1 to B-6)**



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**GENERAL NOTES FOR SOIL SAMPLING AND CLASSIFICATIONS**

**BORINGS, SAMPLING AND GROUNDWATER OBSERVATIONS:**

Drilling and sampling were conducted in accordance with procedures generally recognized and accepted as standard methods of exploration of subsurface conditions. The borings were drilled using a truck-mounted drill rig using auger boring methods with standard penetration testing performed in each boring at intervals ranging from 1.5 to 5.0 feet. The stratification lines on the logs represent the approximate boundary between soil types at that specific location and the transition may be gradual.

Water levels were measured at drill locations under conditions stated on the logs. This data has been reviewed and interpretations made in the text of the report. Fluctuations in the level of the groundwater may occur due to other factors than those present at the time the measurements were made.

The Standard Penetration Test (ASTM-D-1586) is performed by driving a 2.0 inch O.D. split barrel sampler a distance of 18 inches utilizing a 140 pound hammer free falling 30 inches. The number of blows required to drive the sampler each 6 inches of penetration are recorded. The summation of the blows required to drive the sampler for the final 12 inches of penetration is termed the Standard Penetration Resistance (N). Soil density/consistency in terms of the N-value is as follows:

COHESIONLESS DENSITY		COHESIVE CONSISTENCY	
0-10	Loose	0-4	Soft
10-30	Medium Dense	4-8	Medium Stiff
30-50	Dense	8-15	Stiff
50 +	Very Dense	15-30	Very Stiff
		30 +	Hard

**SOIL MOISTURE TERMS**

Soil Samples obtained during the drilling process are visually characterized for moisture content as follows:

MOISTURE CONTENT	DESCRIPTION
Damp	Soil moisture is much drier than the Atterberg plastic limit (where soils are cohesive) and generally more than 3% below Standard Proctor "optimum" moisture conditions. Soils of this moisture generally require added moisture to achieve proper compaction.
Moist	Soil moisture is near the Atterberg plastic limit (cohesive soils) and generally within $\pm 3\%$ of the Standard Proctor "optimum" moisture content. Little to no moisture conditioning is anticipated to be required to achieve proper compaction and stable subgrades.
Very Moist	Soil moisture conditions are above the Atterberg plastic limit (cohesive soils) and generally greater than 3% above Standard Proctor "optimum" moisture conditions. Drying of the soils to near "optimum" conditions is anticipated to achieve proper compaction and stable subgrades.
Wet	Soils are saturated. Significant drying of soils is anticipated to achieve proper compaction and stable subgrades.

**SOIL CLASSIFICATION PROCEDURE:**

Soil samples obtained during the drilling process are preserved in plastic bags and visually classified in the laboratory. Select soil samples may be subjected to laboratory testing to determine natural moisture content, gradation, Atterberg limits and unit weight. Soil classifications on logs may be adjusted based on results of laboratory testing.

Soils are classified in accordance with the ASTM version of the Unified Soil Classification System. ASTM D-2487 "Classification of Soils for Engineering Purposes (Unified Soil Classification System) describes a system for classifying soils based on laboratory testing. ASTM D-2488 "Description and Identification of Soil (Visual-Manual Procedure) describes a system for classifying soils based on visual examination and manual tests.

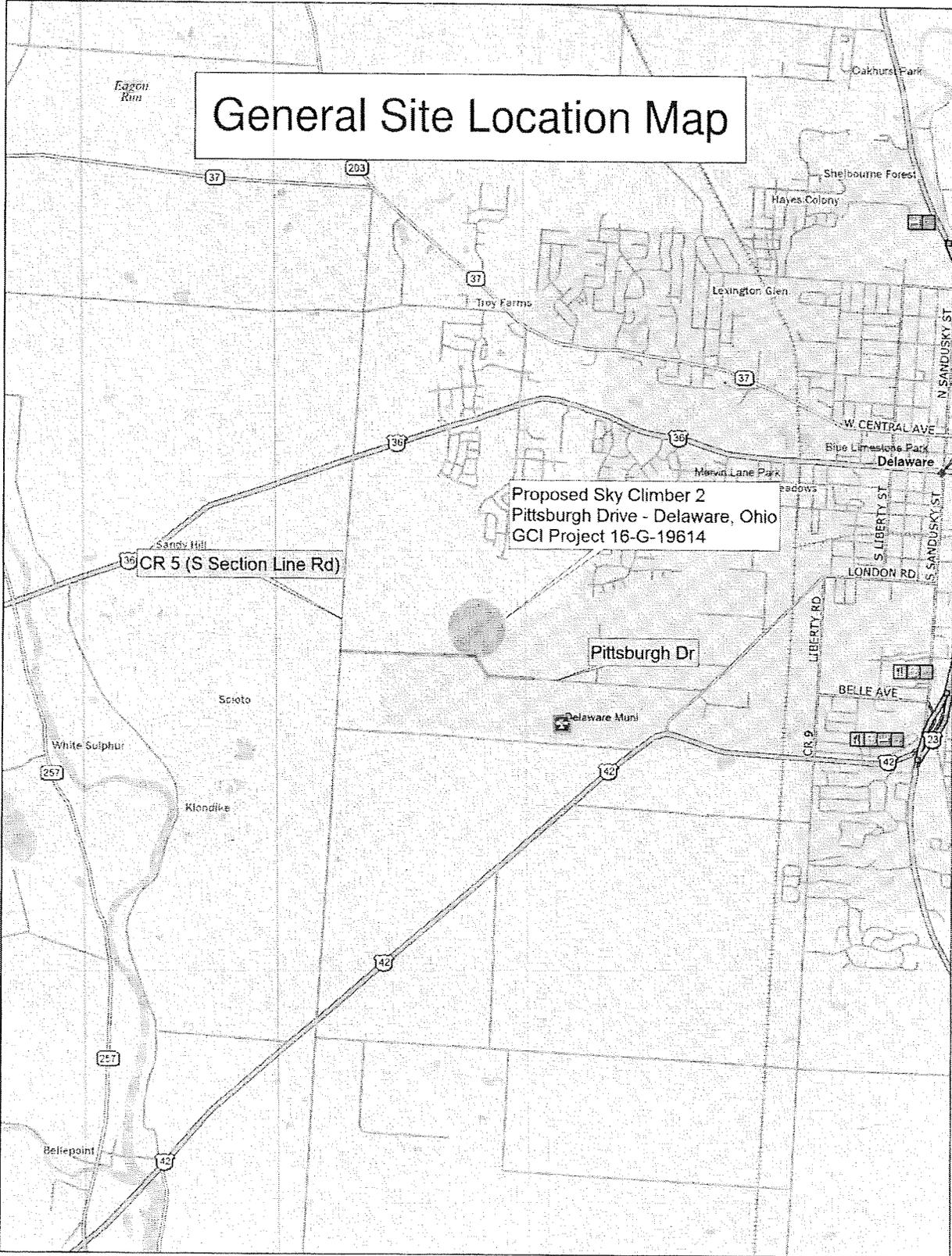
Soil classifications are based on the following tables (see reverse side):

### GENERAL NOTES FOR SOIL SAMPLING AND CLASSIFICATIONS

PARTICLE SIZE DEFINITION		CONSTITUENT MODIFIERS	
Boulders:	>12"	Trace	Less than 5%
Cobbles:	3" to 12"	Few	5-10%
Gravel:	Coarse: 3/4" to 3"	Little	15-25%
	Fine: No. 4 (3/16") to 3/4"	Some	30-45%
Sand:	Coarse No. 10 (2.0mm) to No. 4 (4.75mm)	Mostly	50-100%
	Medium No. 40 (0.425mm) to No. 10 (2.0mm)		
	Fine No. 200 (0.074mm) to No. 40 (0.425mm)		
Silt & Clay	<0.074mm; classification based on overall plasticity; in general clay particles <0.005mm.		

ASTM/UNIFIED SOIL CLASSIFICATION AND SYMBOL CHART		
<b>COARSE-GRAINED SOILS</b> (more than 50% of materials is larger than No. 200 sieve size)		
<b>GRAVELS</b> More than 50% of coarse fraction larger than No. 4 sieve size	<i>Clean Gravel (less than 5% fines)</i>	
	GW	Well-graded gravel, gravel-sand mixtures, little or no fines
	GP	Poorly-graded gravels, gravel sand mixtures, little or no fines
	<i>Gravels with fines (more than 12% fines)</i>	
	GM	Silty gravels, gravel-sand-silt mixtures
	GC	Clayey gravels, gravel-sand-clay mixtures
<b>SANDS</b> More than 50% of coarse fraction smaller than No. 4 sieve size	<i>Clean Sands (Less than 5% fines)</i>	
	SW	Well-graded sands, gravelly sands, little or no fines
	SP	Poorly-graded sands, gravelly sands, little or no fines
	<i>Sands with fines (More than 12% fines)</i>	
	SM	Silty sands, sand-silt mixtures
	SC	Clayey sands, sand-clay mixtures
Depending on percentage of fines (fraction smaller than No. 200 sieve size), coarse-grained soils are classified as follows:		
Less than 5 percent .....		GW, GP, SW, SP
Greater than 12 percent .....		GM, GC, SM, SC
5 to 12 percent .....		Borderline cases requiring dual symbols: SP-SM, GP-GM, etc.
<b>FINE-GRAINED SOILS</b> (50% or more of material is smaller than No. 200 sieve size)		
<b>SILTS AND CLAYS</b> Liquid Limit less than 50%	ML	Inorganic silts and very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity
	CL	Inorganic clays or low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays
	CL-ML	Inorganic silty clay of slight plasticity, P.I. between 4 and 7
	OL	Organic silts and organic silty clays of low plasticity
<b>SILTS AND CLAYS</b> Liquid Limit 50% or greater	MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts
	CH	Inorganic clays of high plasticity, fat clays
	OH	Organic clays or medium to high plasticity, organic silts
<b>HIGHLY ORGANIC SOILS</b>	PT	Peat and other highly organic soils

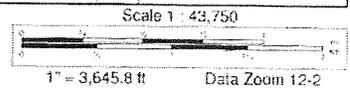
# General Site Location Map



Data use subject to license.

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## Summary of Encountered Subsurface Conditions

Sky Climber 2 - Office/Warehouse  
Pittsburg Drive  
GCI Job Number: 16-G-19614

Borehole	Surface Layer	Topsoil Thickness (ft.)	Groundwater: Level Encountered (ft)		Groundwater: Level at Completion (ft)	Depth to Top of Lean Clay (ft)	Depth to Top of Brown Till (ft)	Depth to Top of Gray Till (ft)	Bottom of Boring Depth (ft)
			Depth	Depth					
B1	Topsoil	0.5	--	--	--	0.5	5.0	--	15.0
B2	Topsoil	0.6	16	10	--	0.6	5.5	12.5	20.0
B3	Topsoil	0.5	--	--	--	0.5	4.0	14.0	15.0
B4	Topsoil	0.6	--	--	--	0.6	5.0	9.0	15.0
B5	Topsoil	0.5	--	--	--	0.5	5.0	15.5	20.0
B6	Topsoil	0.5	--	--	--	0.5	6.0	12.5	20.0

Average Topsoil Depth at boring locations: 0.5 feet

\*NOTE: Surface elevations were interpolated from topographic data on plans provided; GCI did not field verify the elevations.



# TEST BORING LOG

PROJECT NAME Sky Climber 2 - Office/Warehouse - Pittsburg Drive

BORING NO. B1

CLIENT Fed One Dublin, LLC

PROJ.

SURF. ELEV. \_\_\_\_\_

NO. 16-G-19614

DATE DRILLED 1/25/2016

GROUND WATER OBSERVATION				Proportions Used			140 lb Wt. x 30" fall on 2" O.D. Sampler				
<u>None</u> FEET BELOW SURFACE AT COMPLETION				Trace	Less than 5%		<b>Cohesionless Density</b>		<b>Cohesive Consistency</b>		
_____ FEET BELOW SURFACE AT 24 HOURS				Few	5 to 10%		0 - 10	Loose	0 - 4	Soft	
_____ FEET BELOW SURFACE AT _____ HOURS				Little	15 to 25%		10 - 30	Medium Dense	4 - 8	Medium Stiff	
				Some	30 to 45%		30 - 50	Dense	8 - 15	Stiff	
				Mostly	50 to 100%		50 +	Very Dense	15 - 30	Very Stiff	
									30 +	Hard	
LOCATION OF BORING <span style="float: right;">See Boring Location Plan</span>											
DEPTH	Pocket Penetrometer (tsf)	Sample Depths From To	Type of Sample	Blows per 6" on Sampler			Moisture Density or Consist.	Strata Change Depth*	SOIL IDENTIFICATION		
				0-6	6-12	12-18			Remarks include color, type of soil, etc. Rock-color, type, condition, hardness		
		0.0-1.5	SS	4	4	3	Moist to Very Moist	0.5	Topsoil		
									Brown Mottled Gray Lean Clay (CL), moderate plasticity, trace sand - Stained to 2.0'		
	1.75	2.0-3.5	SS	2	3	3	Moist				
									Brownish Gray Sandy Lean Clay (CL), low/moderate plasticity, little/some fine/coarse sand, trace gravel - Glacial Till		
	2.0	4.0-5.5	SS	2	2	3	Moist	5.0			
5									Sand and Gravel layers @ 13' ---		
									BOTTOM OF BORING: 15'		
	2.5	8.5-10.0	SS	3	4	5	Very Moist				
10									BOTTOM OF BORING: 15'		
									BOTTOM OF BORING: 15'		
	0.5-1.0	13.5-15.0	SS	3	3	7	Wet to Moist	15.0			
15									BOTTOM OF BORING: 15'		

\* The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



# TEST BORING LOG

PROJECT NAME Sky Climber 2 - Office/Warehouse - Pittsburg Drive

BORING NO. B2

CLIENT Fed One Dublin, LLC

PROJ.

SURF. ELEV.

NO. 16-G-19614

DATE DRILLED 1/25/2016

GROUND WATER OBSERVATION							Proportions Used		140 lb Wt. x 30" fall on 2" O.D. Sampler					
<u>10.0</u> FEET BELOW SURFACE AT COMPLETION _____ FEET BELOW SURFACE AT 24 HOURS _____ FEET BELOW SURFACE AT _____ HOURS							Trace	Less than 5%	Cohesionless Density		Cohesive Consistency			
							Few	5 to 10%	0 - 10	Loose	0 - 4	Soft		
							Little	15 to 25%	10 - 30	Medium Dense	4 - 8	Medium Stiff		
							Some	30 to 45%	30 - 50	Dense	8 - 15	Stiff		
							Mostly	50 to 100%	50 +	Very Dense	15 - 30	Very Stiff		
											30 +	Hard		
LOCATION OF BORING							See Boring Location Plan							
DEPTH	Pocket Penetrometer (tsf)	Sample Depths From To	Type of Sample	Blows per 6" on Sampler			Moisture Density or Consist.	Strata Change Depth*	SOIL IDENTIFICATION Remarks include color, type of soil, etc. Rock-color, type, condition, hardness					
				0-6	6-12	12-18								
		0.0-1.5	SS	6	4	4	Moist	0.6	Topsoil					
									Brown Mottled Gray Lean Clay (CL), moderate plasticity, trace sand - Stained to 2.0'					
	1.5-2.5	2.0-3.5	SS	2	2	3	Very Moist							
									Brown Sandy Lean Clay (CL), low/moderate plasticity, little/some fine/coarse sand, few fine/coarse gravel, few black shale fragments, trace limestone fragments - Glacial Till					
	1.5	4.0-5.5	SS	2	2	2	Very Moist	5.5						
									Gray Sandy Lean Clay w/Gravel (CL), low plasticity, some fine/coarse sand, little fine/coarse gravel - Glacial Till					
	1.5	8.5-10.0	SS	2	2	3	Very Moist	12.5						
									Water Seepage at 16' Gray Silty Sand and Gravel layers					
	0.5	13.5-15.0	SS	3	5	6	Wet to Very Moist							
									BOTTOM OF BORING: 20'					
	0.5	18.5-20.0	SS	8	10	13	Wet	20.0						

\* The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



# TEST BORING LOG

PROJECT NAME Sky Climber 2 - Office/Warehouse - Pittsburg Drive

BORING NO. B3

CLIENT Fed One Dublin, LLC

PROJ.

SURF. ELEV. \_\_\_\_\_

NO. 16-G-19614

DATE DRILLED 1/25/2016

GROUND WATER OBSERVATION				Proportions Used			140 lb Wt. x 30" fall on 2" O.D. Sampler				
<p><b>None</b> FEET BELOW SURFACE AT COMPLETION</p> <p>_____ FEET BELOW SURFACE AT 24 HOURS</p> <p>_____ FEET BELOW SURFACE AT _____ HOURS</p>				Trace	Less than 5%	Cohesionless Density		Cohesive Consistency			
				Few	5 to 10%	0 - 10	Loose	0 - 4	Soft		
				Little	15 to 25%	10 - 30	Medium Dense	4 - 8	Medium Stiff		
				Some	30 to 45%	30 - 50	Dense	8 - 15	Stiff		
				Mostly	50 to 100%	50 +	Very Dense	15 - 30	Very Stiff		
								30 +	Hard		
LOCATION OF BORING <span style="margin-left: 50px;">See Boring Location Plan</span>											
DEPTH	Pocket Penetrometer (tsf)	Sample Depths From To	Type of Sample	Blows per 6" on Sampler From To			Moisture Density or Consist.	Strata Change Depth*	SOIL IDENTIFICATION Remarks include color, type of soil, etc. Rock-color, type, condition, hardness		
				0-6	6-12	12-18					
		0.0-1.5	SS	6	4	4	Moist	0.5	Topsoil		
		2.0-3.0	SS	2	2	3	Very Moist		Brown Mottled Gray Lean Clay (CL), moderate plasticity, trace sand - Stained to 2.0'		
		2.5	SS	2	2	2	Very Moist	4.0	Brown Sandy Lean Clay (CL), low/moderate plasticity, some fine/coarse sand, trace gravel - Glacial Till		
		4.5	SS	6	12	11	Very Moist				
		1.5	SS	3	5	5	Wet to Moist	14.0	Gray Sandy Lean Clay w/Gravel (CL), low plasticity, some fine/coarse sand, little/some fine/coarse gravel, few/trace limestone fragments - Glacial Till - with cobble and boulders and silty sand and gravel layers		
								15.0			
BOTTOM OF BORING: 15'											

\* The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



# TEST BORING LOG

PROJECT NAME **Sky Climber 2 - Office/Warehouse - Pittsburg Drive**

BORING NO. **B4**

CLIENT **Fed One Dublin, LLC**

PROJ.

SURF. ELEV.

NO. **16-G-19614**

DATE DRILLED **1/25/2016**

GROUND WATER OBSERVATION				Proportions Used			140 lb Wt. x 30" fall on 2" O.D. Sampler			
<b>None</b> FEET BELOW SURFACE AT COMPLETION				Trace	Less than 5%		<b>Cohesionless Density</b>		<b>Cohesive Consistency</b>	
_____ FEET BELOW SURFACE AT 24 HOURS				Few	5 to 10%		0 - 10	Loose	0 - 4	Soft
_____ FEET BELOW SURFACE AT _____ HOURS				Little	15 to 25%		10 - 30	Medium Dense	4 - 8	Medium Stiff
				Some	30 to 45%		30 - 50	Dense	8 - 15	Stiff
				Mostly	50 to 100%		50 +	Very Dense	15 - 30	Very Stiff
									30 +	Hard
<b>LOCATION OF BORING</b> <b>See Boring Location Plan</b>										
DEPTH	Pocket Penetrometer (tsf)	Sample Depths From To	Type of Sample	Blows per 6" on Sampler			Moisture Density or Consist.	Strata Change Depth*	SOIL IDENTIFICATION Remarks include color, type of soil, etc. Rock-color, type, condition, hardness	
				0-6	6-12	12-18				
		0.0-1.5	SS	5	4	3	Moist	0.6	Topsoil	
									Brown Mottled Gray Lean Clay (CL), moderate plasticity, trace sand - Stained to 2.0'	
	2.0	2.0-3.5	SS	2	3	3	Moist			
									Brown Sandy Lean Clay (CL), low/moderate plasticity, some fine/coarse sand, few fine/coarse gravel - Glacial Till	
	3.5-4.0	4.0-5.5	SS	2	2	2	Moist	5.0		
									Gray Sandy Lean Clay (CL), low/moderate plasticity, some fine/coarse sand, few fine/coarse gravel - Glacial Till - with gray sand and gravel layers	
	2.5	8.5-10.0	SS	4	3	4	Moist	9.0		
									BOTTOM OF BORING: 15'	
		13.5-15.0	SS	15	29	28	Moist	15.0		

\* The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



# TEST BORING LOG

PROJECT NAME **Sky Climber 2 - Office/Warehouse - Pittsburg Drive**

BORING NO. **B5**

CLIENT **Fed One Dublin, LLC**

PROJ.

SURF. ELEV.

NO. **16-G-19614**

DATE DRILLED **1/25/2016**

GROUND WATER OBSERVATION				Proportions Used			140 lb Wt. x 30" fall on 2" O.D. Sampler			
None FEET BELOW SURFACE AT COMPLETION				Trace	Less than 5%		Cohesionless Density		Cohesive Consistency	
_____ FEET BELOW SURFACE AT 24 HOURS				Few	5 to 10%		0 - 10	Loose	0 - 4	Soft
_____ FEET BELOW SURFACE AT _____ HOURS				Little	15 to 25%		10 - 30	Medium Dense	4 - 8	Medium Stiff
				Some	30 to 45%		30 - 50	Dense	8 - 15	Stiff
				Mostly	50 to 100%		50 +	Very Dense	15 - 30	Very Stiff
									30 +	Hard
LOCATION OF BORING <b>See Boring Location Plan</b>										
DEPTH	Pocket Penetrometer (tsf)	Sample Depths From To	Type of Sample	Blows per 6" on Sampler From To			Moisture Density or Consist.	Strata Change Depth*	SOIL IDENTIFICATION Remarks include color, type of soil, etc. Rock-color, type, condition, hardness	
				0-6	6-12	12-18				
		0.0-1.5	SS	5	4	3	Moist	0.5	Topsoil	
									Brown Mottled Gray Lean Clay (CL), moderate plasticity, trace sand - Stained to 2.0'	
	2.5	2.0-3.5	SS	2	2	3	Very Moist			
									Brown Sandy Lean Clay (CL), low/moderate plasticity, some fine/coarse sand, few weathered black shale fragments, trace gravel - Glacial Till	
	2.5-3.0	4.0-5.5	SS	3	3	3	Moist	5.0		
5										
	2.0	8.5-10.0	SS	3	4	6	Moist			
10										
	NR	13.5-15.0	SS	10	50/1		Moist	15.5		
15									Gray Sandy Lean Clay (CL), low/moderate plasticity, some fine/coarse sand, few fine/coarse gravel - Glacial Till	
									Brown Silt layers noted in sample at 18.5 feet	
									BOTTOM OF BORING: 20'	
	2.5	18.5-20.0	SS	13	25	45	Moist	20.0		

\* The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



# TEST BORING LOG

PROJECT NAME **Sky Climber 2 - Office/Warehouse - Pittsburg Drive**

BORING NO. **B6**

CLIENT **Fed One Dublin, LLC**

PROJ.

SURF. ELEV.

NO. **16-G-19614**

DATE DRILLED **1/25/2016**

GROUND WATER OBSERVATION				Proportions Used			140 lb Wt. x 30" fall on 2" O.D. Sampler				
<b>None</b> FEET BELOW SURFACE AT COMPLETION				Trace	Less than 5%		<b>Cohesionless Density</b>		<b>Cohesive Consistency</b>		
_____ FEET BELOW SURFACE AT 24 HOURS				Few	5 to 10%		0 - 10	Loose	0 - 4	Soft	
_____ FEET BELOW SURFACE AT _____ HOURS				Little	15 to 25%		10 - 30	Medium Dense	4 - 8	Medium Stiff	
				Some	30 to 45%		30 - 50	Dense	8 - 15	Stiff	
				Mostly	50 to 100%		50 +	Very Dense	15 - 30	Very Stiff	
									30 +	Hard	
LOCATION OF BORING <span style="float: right;">See Boring Location Plan</span>											
DEPTH	Pocket Penetrometer (tsf)	Sample Depths From To	Type of Sample	Blows per 6" on Sampler			Moisture Density or Consist.	Strata Change Depth*	SOIL IDENTIFICATION		
				From	To	12-18			Remarks include color, type of soil, etc. Rock-color, type, condition, hardness		
		0.0-1.5	SS	4	3	3	Wet	0.5	Topsoil		
									Brown Mottled Gray Lean Clay (CL), moderate plasticity, trace sand - Stained to 2.0'		
	2.5	2.0-3.5	SS	2	3	3	Moist				
	2.0-3.0	4.0-5.5	SS	2	2	3	Moist				
5								6.0	Brown Sandy Lean Clay (CL), low/moderate plasticity, some fine/coarse sand, trace gravel - Glacial Till		
	2.5	8.5-10.0	SS	4	5	5	Moist				
10											
	NR	13.5-15.0	SS	50/2			Moist	12.5	Gray Sandy Lean Clay (CL), low/moderate plasticity, little fine/coarse sand, trace gravel - Glacial Till - with cobbles and boulders and silty sand and gravel layers		
15											
	4.5	18.5-20.0	SS	13	22	29	Wet to Moist				
								20.0	BOTTOM OF BORING: 20'		

\* The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



EXHIBIT E

COMMUNITY REINVESTMENT AREA AGREEMENT  
CITY OF DELAWARE and **PRECISION TOWER PRODUCTS, LLC**

This agreement made and entered into by and between the City of Delaware, Ohio, a municipal government, with its main offices located at 1 South Sandusky Street, Delaware, Ohio 43015, and **Precision Tower Products, LLC, 1800 Pittsburgh Drive, Delaware, OH 43015-8699,** WITNESSETH;

WHEREAS, the City of Delaware has encouraged the development of real property and the acquisition of personal property located in the area designated as Community Reinvestment Area 141-1135-01; and

WHEREAS, **Precision Tower Products, LLC** desires to construct a facility on an approximately 9.5 acre parcel on Pittsburgh Dr. This PROJECT will take place within the boundaries of the aforementioned Community Reinvestment Area provided that the appropriate development incentives are available to support the economic viability of said PROJECT; and

WHEREAS, the Council of the City of Delaware, Ohio, by Resolution No. 01-52 adopted July 23, 2001, designated the area as a "Community Reinvestment Area" pursuant to Chapter 3735 of the Ohio Revised Code; and

WHEREAS, effective September 4, 2001, the Director of the Development Services Agency of the State of Ohio determined that the aforementioned area designated in said Resolution No. 01-52 contains the characteristics set forth in Section 3735.66 of the Ohio Revised Code and confirmed said area as Community Reinvestment Area #141-1135-01 under said Chapter 3735; and

WHEREAS, the City of Delaware, having the appropriate authority for the stated type of project desires to provide **Precision Tower Products, LLC** with incentives available for the development of the PROJECT in said Community Reinvestment Area under Chapter 3735 of the Ohio Revised Code; and

WHEREAS, **Precision Tower Products, LLC** has submitted a proposed agreement application (herein attached as Exhibit A and incorporated herein by reference) to the City of Delaware (hereinafter referred to as "APPLICATION"); and

WHEREAS, **Precision Tower Products, LLC** has remitted the required state application fee of \$750.00 made payable to the Ohio Department of Development with the APPLICATION to be forwarded to said department with a copy of the final agreement; and

WHEREAS, the Tax Incentive Negotiating Committee of the City of Delaware has investigated the APPLICATION of **Precision Tower Products, LLC**, and has recommended the same to the Council of the City of Delaware on the basis that **Precision Tower Products, LLC** is qualified by financial responsibility and business experience to create and preserve employment opportunities in said Community Reinvestment Area and improve the economic climate of the City of Delaware; and

WHEREAS, the project site as proposed by **Precision Tower Products, LLC** is located in the Delaware City School District and the Delaware Area Career Center (per the attached resolutions authorizing the superintendents to act on behalf of the board) and both school districts have been notified in accordance with Section 5709.83 and been given a copy of the APPLICATION; and

WHEREAS, pursuant to Section 3735.67(A) and in conformance with the format required under Section 3735.671(B) of the Ohio Revised Code, the parties hereto desire to set forth their agreement with respect to matters hereinafter contained;

NOW, THEREFORE, in consideration of the mutual covenants hereinafter contained and the benefit to be derived by the parties from the execution hereof, the parties herein agree as follows:

1. **Precision Tower Products, LLC** shall construct a new estimated 55,000 sq. ft. facility to be located on a parcel on Pittsburgh Dr.

The PROJECT will begin at the earliest on September 1, 2015 and all construction will be completed by January 1, 2017. Any changes to the beginning and completion dates must be agreed to by formal resolution and an amended agreement.

2. **Precision Tower Products, LLC** shall create the equivalent of **35** new **full-time equivalent (FTE) (23 will be on-site and 12 will be travelling field techs)** jobs at the Delaware facility. The job creation period begins **January 1, 2017** and all jobs will be in place by **January 1, 2020** (3 years or 36 months after the completion of the PROJECT per ORC 3735).

This increase in the number of new employees shall result in the creation of at least ONE MILLION NINE HUNDRED AND SEVENTY THOUSAND (\$1,970,000) in total annual payroll generated at the PROJECT site (does not include \$600,000 of field tech payroll that would be taxed where the field techs work).

3. Based on new job and payroll creation levels, the City of Delaware estimates an annual new employee income tax revenue amount of \$36,445 (\$1,970,000 payroll times the current income tax rate of 1.85%) for the PROJECT. If in any year after the first three year grace period of this Agreement the level of new payroll does not reach or falls below levels established by this Agreement, **Precision Tower Products, LLC** agrees to reimburse the City of Delaware for lost employee income taxes. Should the City's income tax rates change, the reimbursement will be adjusted accordingly. Alternatively, the City of Delaware may modify this CRA agreement to lower Precision Tower Products' CRA percentage and/or term while adjusting the company's FTE and payroll commitments to match the company's actual hiring performance at the time of reporting at the City's discretion.

To the extent that **Precision Tower Products, LLC** substantially complies with the terms of this section 4 of this agreement, the company shall incur no income tax reimbursement penalty.

4. **Precision Tower Products, LLC** shall provide to the proper Tax Incentive Review Council any information reasonably required by the council to evaluate the enterprise's compliance with the agreement, including returns filed pursuant to section 5711.02 and 5727.08 of the Ohio Revised Code if requested by the council (ORC3735.671C7).

5. City of Delaware hereby grants **Precision Tower Products, LLC** a tax exemption for real property improvements made to the PROJECT site pursuant to Section 3735.67 of the Ohio Revised Code and shall be for ten (15) years in the following amounts:

<u>Year of Tax Exemption</u>	<u>Tax Exemption Amount</u>
Year 1	100%
Year 2	100%
Year 3	100%
Year 4	100%
Year 5	100%
Year 6	100%
Year 7	100%
Year 8	100%

Year 9	100%
Year 10	100%
Year 11	100%
Year 12	100%
Year 13	100%
Year 14	100%
Year 15	100%

The exemption commences the first full taxable year the facility is 100% complete. No exemption shall commence before January 1, 2015, nor extend beyond Dec. 31, 2031. Said exemption shall be based on the increase on the assessed value of real property attributed to the real property improvements at the PROJECT site. **Precision Tower Products, LLC** must file the appropriate tax forms (DTE 23) with the County Auditor to effect and maintain the exemptions covered in the agreement.

6. **Precision Tower Products, LLC** shall pay an annual fee equal to the greater of one percent of the dollar value of incentives offered under the agreement or five hundred dollars; provided, however, that if the value of the incentives exceeds two hundred fifty thousand dollars, the fee shall not exceed two thousand five hundred dollars.

The fee shall be made payable to the City of Delaware once per year for each year the agreement is effective by December 31. This fee shall be deposited in a special fund created for such purpose and shall be used exclusively for the purpose of complying with Section 5709.68 of the Ohio Revised Code and by the Tax Incentive Review Council created under Section 5709.85 of the Ohio Revised Code exclusively for the purposes of performing the duties prescribed under that section.

7. Waiver Requirement (for jobs relocated within Ohio)  
If the Director of Development has issued a waiver under Section 5709.633 of the Ohio Revised Code as a condition for the agreement to be executed, the following applies:  
Continuation of this agreement is subject to the validity of the circumstances upon which **Precision Tower Products, LLC** applied for, and the Director of the Ohio Department of Development issued, the waiver pursuant to Section 5709.633 of the Ohio Revised Code. If, after formal approval of this agreement by the City of Delaware, the Director or the City of Delaware discovers that such a circumstance did not exist, **Precision Tower Products** shall be deemed to have materially failed to comply with this agreement. The formal waiver document shall be incorporated as an exhibit to this

agreement and specifies conditions enumerated in Section 5709.633 of the Ohio Revised Code upon which the waiver was issued.

8. **Precision Tower Products, LLC** shall pay such real and tangible personal property taxes as are not exempted under this agreement and are charged against such property and shall file all tax reports and returns as required by law. If **Precision Tower Products, LLC** fails to pay such taxes or file such returns and reports, all incentives granted under this agreement are rescinded beginning with the year for which such taxes are charged or such reports or returns are required to be filed and thereafter (ORC3735.671C2).
9. City of Delaware shall perform such acts as are reasonably necessary or appropriate to effect, claim, reserve, and maintain exemptions from taxation granted under this agreement including, without limitation, joining in the execution of all documentation and providing any necessary certificates required in connection with such exemptions (ORC3735.671C4).
10. If for any reason the Community Reinvestment Area designation expires, the Director of the Ohio Development Services Agency revokes certification of the area, or the City of Delaware revokes the designation of the area, entitlements granted under this agreement shall continue for the number of years specified under this agreement, unless **Precision Tower Products, LLC** materially fails to fulfill its obligations under this agreement and the City of Delaware terminates or modifies the exemptions from taxation granted under this agreement (ORC3735.671C5).
11. If **Precision Tower Products, LLC** materially fails to fulfill its obligations under this agreement, or if the City of Delaware determines that the certification as to delinquent taxes required by this agreement is fraudulent, the City of Delaware may terminate or modify the exemptions from taxation granted under this agreement and may require the repayment of the amount of taxes that would have been payable had the property not been exempted from taxation under this agreement.
12. **Precision Tower Products, LLC** hereby certifies that at the time this agreement is executed, **Precision Tower Products, LLC** does not owe any delinquent real or tangible personal property taxes to any taxing authority of the State of Ohio, and does not owe delinquent taxes for which **Precision Tower Products, LLC** is liable under Chapter 5733., 5735., 5739., 5741., 5743., 5747., or 5753. of the Ohio Revised Code, or, if such delinquent taxes are owed, **Precision Tower Products,**

**LLC** currently is paying the delinquent taxes pursuant to an undertaking enforceable by the State of Ohio or an agent or instrumentality thereof, has filed a petition in bankruptcy under 11 U.S.C.A. 101, et seq., or such a petition has been filed against **Precision Tower Products, LLC**. For the purposes of the certification, delinquent taxes are taxes that remain unpaid on the latest day prescribed for payment without penalty under the chapter of the Ohio Revised Code governing payment of those taxes.

13. **Precision Tower Products, LLC** affirmatively covenants that it does not owe: (1) any delinquent taxes to the State of Ohio or a political subdivision of the State; (2) any moneys to the State or a state agency for the administration or enforcement of any environmental laws of the State; and (3) any other moneys to the State, a state agency or a political subdivision of the State that are past due, whether the amounts owed are being contested in a court of law or not.
14. **Precision Tower Products, LLC** and the City of Delaware acknowledge that this agreement must be approved by formal action of the legislative authority of the City of Delaware and approval and execution of this agreement by **Precision Tower Products, LLC** as a condition for the agreement to take effect (ORC3735.671C10).
15. The City of Delaware has developed a policy to ensure recipients of a Community Reinvestment Area tax benefits practice non-discriminating hiring in its operations. By executing this agreement, **Precision Tower Products, LLC** is committing to following non-discriminating hiring practices acknowledging that no individual may be denied employment solely on the basis of race, religion, sex, disability, color, national origin, or ancestry.
16. Exemptions from taxation granted under this agreement shall be revoked if it is determined that **Precision Tower Products, LLC** any successor property owner, or any related member (as those terms are defined in Division (E) of Section 3735.671 of the Ohio Revised Code) has violated the prohibition against entering into this agreement under Division (E) of Section 3735.671 or Section 5709.62 or 5709.63 of the Ohio Revised Code prior to the time prescribed by that division or either of those sections (ORC3735.671C9).
17. In any three-year period after the first three years of the agreement during which this agreement is in effect, if the actual number of employee positions created or retained by **Precision Tower Products, LLC** is not equal to or greater than ninety percent of the number of employee positions estimated to be created or retained under this agreement, **Precision Tower Products, LLC** shall repay the amount

of taxes on property that would have been payable had the property not been exempted from taxation under this agreement during that three-year period. In addition, the City of Delaware may terminate or modify the exemptions from taxation granted under this agreement.

18. **Precision Tower Products, LLC** affirmatively covenants that it has made no false statements to the State or local political subdivision in the process of obtaining approval for the Community Reinvestment Area incentives. If any representative of **Precision Tower Products, LLC** has knowingly made a false statement to the State or local political subdivision to obtain the Community Reinvestment Area incentives, **Precision Tower Products, LLC** shall be required to immediately return all benefits received under the Community Reinvestment Area Agreement pursuant to Ohio Revised Code Section 9.66 (C)(2) and shall be ineligible for any future economic development assistance from the State, any state agency or a political subdivision pursuant to Ohio Revised Code Section 9.66(C)(1). Any person who provides a false statement to secure economic development assistance may be guilty of falsification, a misdemeanor of the first degree, pursuant to Ohio Revised Code 2921.13(D)(1), which is punishable by a fine of not more than \$1,000 and/or a term of imprisonment of not more than six months.
19. This agreement is not transferable or assignable without the express, written approval of the City of Delaware.
20. **Precision Tower Products, LLC**, acknowledges that if any person that is party to an agreement granting an exemption from taxation discontinues operations at the structure to which that exemption applies prior to the expiration of the term of the agreement, that person, any successor to that person, and any related member shall not enter into an agreement under this section or sections 5709.62, 5709.63, or 5709.632 of the Ohio Revised Code, and no legislative authority shall enter into such an agreement with such a person, successor, or related member, prior to the expiration of five years after the discontinuation of operations. As used in this division, 'successor' means a person to which the assets or equity of another person has been transferred, which transfer resulted in the full or partial non-recognition of gain or loss, or resulted in a carryover basis, both as determined by rule adopted by the tax commissioner. 'Related member' has the same meaning as defined in section 5733.042 of the Ohio Revised Code without regard to Division (B) of that section (ORC3735.671E).
21. **Precision Tower Products, LLC** hereby represents that it has full authority to act, negotiate, and execute this agreement.

IN WITNESS WHEREOF, the City of Delaware, Ohio, by R. Thomas Homan, its City Manager, and pursuant to **Ordinance 15-42** adopted on **May 11, 2015**, has caused this instrument to be executed this 1<sup>st</sup> day of June 2015, and **Precision Tower Products, LLC** has caused this instrument to be executed on this \_\_\_\_\_ day of \_\_\_\_\_ 2015.

CITY OF DELAWARE

By: \_\_\_\_\_  
R. Thomas Homan, City Manager

PRECISION TOWER PRODUCTS, LLC

By:   
Todd King, President  
Precision Tower Products, LLC

Approved as to form:

By: \_\_\_\_\_  
Darren Shulman, Delaware City Attorney

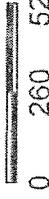
EXHIBIT F

Photo: 2002 Delaware Color Ortho

1/13/2016

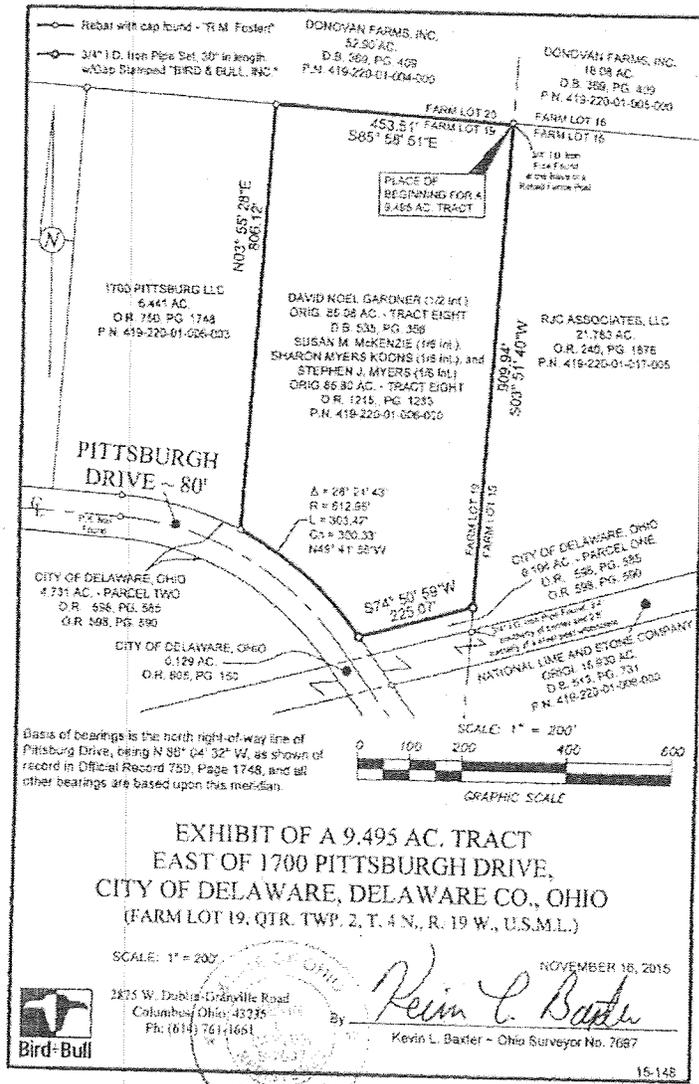


Note:  
 Delaware SWCD makes no guaranty or warranty as to the accuracy of the information on this map.



Conservation District  
 Rd Suite A  
 OH 43015  
 d@delawareswcd.org  
 /areswcd.org

FIGURE 1A



DESCRIPTION OF A 9.495 ACRE TRACT  
EAST OF 1700 PITTSBURG DRIVE,  
CITY OF DELAWARE, DELAWARE COUNTY, OHIO

Situated in the State of Ohio, County of Delaware, City of Delaware, in Farm Lot 19, Quarter Township 2, Township 4 North, Range 19 West, United States Military Lands and being a portion of an original 86.08 acre tract of land conveyed, as Tract 8, to David Noel Gardner (1/2 Interest), by deed of record in Deed Book 535, Page 358 and Susan M. McKenzie (1/6 Interest), Sharon Myers Koons (1/6 Interest) and Stephen J. Myers (1/6 Interest), by deed of record in Official Record 1215, Page 1233, all record referenced to the Recorder's Office, Delaware County, Ohio and bounded and described as follows;

Beginning at a 3/4" I.D. iron pipe found representing the corner common to said Farm Lot 19, Farm Lot 20, Farm Lot 16 and Farm Lot 15, at the northeast corner of said original 86.08 acre tract, at the southeast corner of a 52.90 acre tract of land conveyed to Donovan Farms, Inc., by deed of record in Deed Book 369, Page 409, at the southwest corner of an 18.08 acre tract of land conveyed to Donovan Farms, Inc., by deed of record in Deed Book 369, Page 409 and at the northwest corner of a 21.783 acre tract of land conveyed to RJC Associates, LLC, by deed of record in Official Record 240, Page 1876;

thence S 03° 51' 40" W along the east line of said Farm Lot 19, along the west line of said Farm Lot 15, along a portion of the east line of said original 86.08 acre tract and along a portion of the west line of said 21.783 acre tract a distance of 909.94 feet to a 3/4" I.D. iron pipe set at the northeasterly corner of a 0.194 acre tract of land conveyed, as Parcel One and out of said original 86.08 acre tract; to the City of Delaware, Ohio, by deeds of record in Official Record 598, Page 585 and Official Record 598, Page 590;

thence S 74° 50' 59" W crossing a portion of said original 86.08 acre tract and along the northerly line of said 0.194 acre tract a distance of 225.07 feet to a 3/4" I.D. iron pipe set at the northwesterly corner of said 0.194 acre tract and in the curved northeasterly right-of-way line of Pittsburg Drive (80 feet in width), said Pittsburg Drive having been conveyed as Tract Two, a 4.731 acre tract out of said original 86.08 acre tract, to the City of Delaware, Ohio, by deeds of record in Official Record 598, Page 585 and Official Record 598, Page 590;

thence northwesterly crossing a portion of said original 86.08 acre tract, along the curved northeasterly right-of-way line of Pittsburg Drive and with a curve to the left, data of which is: radius = 612.96 feet, and delta = 28° 21' 43", arc length = 303.42 feet, a chord distance of 300.33 feet bearing N 49° 41' 56" W to a rebar with cap ("R.M. Foster") found at the southeast corner of a 6.441 acre tract of land conveyed to 1700 Pittsburg LLC, by deed of record in Official Record 750, Page 1748;

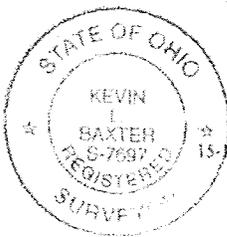
thence N 03° 55' 28" E crossing a portion of said original 86.08 acre tract and along the east line of said 6.441 acre tract a distance of 806.12 feet to a rebar with cap ("R.M. Foster") found in the north line of said original 86.08 acre tract, at the northeast corner of said 6.441 acre tract, in the north line of said Farm Lot 19, in the south line of said Farm Lot 20 and in the south line of said 52.90 acre tract;

thence S 85° 58' 51" E along a portion of the north line of said original 86.08, along a portion of the north line of said Farm Lot 19, along a portion of the south line of said Farm Lot 20 and along a portion of the south line of said 52.90 acre tract a distance of 453.51 feet to the place of beginning;

containing 9.495 acres of land more or less and being subject to all easements and restrictions of record.

The above description was prepared by Kevin L. Baxter, Ohio Surveyor No. 7697, of C.F. Bird & R.J. Bull, Inc., Consulting Engineers & Surveyors, Columbus, Ohio, from an actual field survey performed under his supervision in November, 2015. Basis of bearings is the north right-of-way line of Pittsburg Drive, being N 86° 04' 32" W, as shown of record in Official Record 750, Page 1748, Recorder's Office, Delaware County, Ohio.

*Kevin L. Baxter* 11/16/15  
Kevin L. Baxter - Ohio Surveyor #7697



DESCRIPTION FOR CLOSING ONLY  
 RPC Approval Required  
 Municipal Approval Required  
Delaware County Engineer

DESCRIPTION APPROVED FOR TRANSFER  
Chris Bainsman  
Delaware County Engineer

12-16-15

12-16-15

CASE NUMBER: 2016-0245

REQUEST: Concept Plan Review

PROJECT: Delaware Development Plan LTD

MEETING DATE: March 2, 2016

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**APPLICANT/OWNER**

Delaware Development Plan LTD  
P.O. Box 991  
Pataskala, Ohio 43062

**REQUEST**

2016-0245: A request by Delaware Development Plan LTD for a Concept Plan Review for a proposed mixed use development on approximately 78 acres zoned A-1 (Agricultural District) and A-1 PMU (Agricultural with a Planned Mixed Use Overlay District) in the City and located north of proposed Meeker Way, east of US 23 and west of Stratford Road.

**PROPERTY LOCATION & DESCRIPTION**

The subject 78 acres, which encompasses 14 existing parcels located in the City and in the Township respectively, is located north of proposed Meeker Way, east of US 23, west of Stratford Road and south of Chesrown and Elliot Estates Subdivision Number 2. Three of the four parcels in the City are zoned A-1 (Agricultural District) while the other parcel is zoned A-1 PMU (Agricultural District with a Planned Mixed Use Overlay District) while the 10 parcels located in the Township are zoned FR1 (Farm Residential District). The applicant would have to annex the aforementioned 10 Township parcels into the City.

**BACKGROUND**

A concept plan is just as the name suggests – a potential concept development. According to past practice and City of Delaware code, a concept plan represents a non-binding, informal opportunity for an applicant to receive non-binding feedback from Staff and the Planning Commission as well as the public to the extent the Planning Commission allows comment. No action is expected or taken and, again, the comments are non-binding and informal in nature. The Concept review can help to highlight areas of concern and/or any major red flag issues. Neither the applicant nor staff shall be bound by any aspect of concept plan review and the applicant shall not rely on such to indicate potential subsequent approval or disapproval by the City should formal applications be submitted subsequently. This has been communicated throughout the process to the applicant and their team and has been acknowledged by them.

The proposed mixed use development would encompass approximately 78 acres that the applicant assembled by purchasing 14 parcels including the entire Stratford View Subdivision. As mentioned above, four parcels are located in the City while ten parcels are located in the Township and would require annexation into the City. In addition, the proposal would require a zone change to an appropriate zoning district to accommodate all the proposed uses. The proposed development includes eight commercial buildings that yield approximately 277,700 square feet with a main anchor building. Two approximate five acre outparcels are located on the northwestern portion of the site along US 23 adjacent to Chesrown and Elliot Estates Subdivision Number 2 and a 3.76 acre site likely dedicated for senior living or multi-family uses on the northeastern portion of the site adjacent to Elliot Estates Subdivision Number 2. Per the submitted plan, approximately 38% of the site is green space with a series of detention basins, wooded areas, and an active common open gathering space for the development and community. In addition, the existing barn along Stratford Road would be renovated for an event center while the applicant would try to preserve the existing farm house if feasible.

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**STAFF ANALYSIS**

- **COMPREHENSIVE PLAN:** The Comprehensive Plan Map recommends a future land use of Mixed Use for the majority of the development area and Moderate Density Single Family on the eastern portion of the development area fronting Stratford Road. The majority of the site would be consistent with the land use plan except for the eastern portion of the site along Stratford Road which is proposing two story commercial buildings (up to five buildings with commercial uses on the first floor and office and residential uses on the second floor). The appropriate size, scale, building material and buffering of the proposed commercial buildings in this area could render this closer to compatibility from a site plan perspective but not fully from a use perspective. Specific to the overall sub-area in which the property is located, the Stratford Subarea, the Comprehensive Plan contains the following land use recommendations that are applicable to this site:

LU25.9 Properties located between Stratford Road and US 23 south of the Wagner Way/Hull Drive subdivision are designated Mixed Use. Under the Mixed-Use designation it is the City's intention to limit retail uses to neighborhood-scale businesses that are smaller in size, walkable, and meet day-to-day needs for goods and services. Development of these properties will be influenced by their location along US 23, land values, and market demand. However, development must be cognizant of the role these properties play given their visibility along this major corridor, location along a state scenic river, and adjacency to the Stratford historic village and other neighborhoods. A buffer is recommended on the Future Land Use Map by way of the designation of Moderate Density Single-Family along the west side of Stratford Road. For this entire area, site design, architecture, materials, lighting, etc. must be sensitive and complimentary to surrounding uses and character. Grading and filling of these properties will be held to the absolute minimum to ensure that the existing topography is left in its natural state. The stream that parallels US 23 must be kept in a natural state, although relocation could be acceptable depending on the final treatment of the stream. Heavily wooded frontage is expected along US 23, but allowing some views into the site and out parcels.

Also, there is other comprehensive plan elements that should be considered including but not limited to:

- 1.) A portion of the area is shown as a priority growth area in the comprehensive plan.
- 2.) The site is considered a major mixed use area on the on the Urban Form Map.

In conclusion, any re-zoning of the property would likely require an amendment to the Comprehensive Plan for the area along Stratford Road as proposed. This would, under the current concept, likely be a mixed use designation for the entire site.

- **ZONING:** As previously mentioned, the zoning for the subject site is A-1 and A-1 PMU in the City. The proposed mixed use development of commercial and some multi-family uses would require a rezoning. Given the mixed use nature of the site and the complexities of the property proposed in the redevelopment, staff has suggested the applicant pursue a Planned Mixed Use (PMU) Overlay. The PMU Overlay gives the greatest flexibility yet the most control to the City and the Applicant over the redevelopment of the property while being able to handle market and code changes over the long term build-out of a site. This is the only true planned district in the City of Delaware zoning toolbox that allows an Applicant and the City to craft a zoning solution unique to the site and needs of a particular development. In this instance, the mix of uses and preservation of a highly sensitive property can be most effectively achieved by using a PMU Overlay rather than simply applying a different base or overlay district available for consideration under the current Zoning Code. The PMU approach, through a negotiated process, allows the Applicant to craft a zoning that is able to support a different development pattern while ensuring the City has retained, and in many cases gained, control of the development to ensure a very specific and higher quality development than which could otherwise be achieved through a base zoning district. If this project moves forward and requires a rezoning, in the opinion of Staff, this is the appropriate zoning for this very unique property though the Applicant is always free to submit an application for any change. The City is under no obligation to approve a requested rezoning but it must carefully and reasonably way all relevant facts, testimony, and all guiding policies (such as all of the relevant goals and objectives in the Comprehensive Plan) and find that these have been satisfied on balance (or not ) by any applicant in order to justify the requested change. The applicant does have certain rights of use and development available under the current A-1 zoning district. The A-1 zoning district permits several permitted and conditional uses. The permitted uses include: bed and breakfast, cemetery, place of worship, park, sale of produces and plants raised on premises, nursery, and greenhouse. Single-family detached dwellings, two-family dwellings and cluster single family detached dwellings are Conditionally Permitted as part of (and if approved by) a Planned Residential Development (PRD). Other conditional uses permitted include: public or private school, library, public cultural institution art gallery, public safety and service facility (local service), public utility substation or distribution facility, golf course/country club (current use), non-commercial recreational facility and kennel or stable. Therefore, the existing zoning would support several lands uses as of right and several more with a conditional use permit and/or a Planned Residential Development district.

- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.

The Engineering Department prepared a Preliminary Technical Review for the Concept Plan proposal (see attached memo). This review outlines the preliminary engineering comments related to transportation (existing and proposed roadways), sanitary sewer collection, storm water management, water distribution and other items. All comments of this review must be satisfactorily addressed. More specifically, a preliminary storm water management plan would be required prior to submittal of any preliminary plans for zoning approval. Understanding the storm water requirements of the site will be important to be able to understand where and the size of any proposed stormwater ponds/structures which in turn could impact the overall type, location, and amount of uses on the site ultimately.

- **ROADS AND ACCESS:** The site has extensive frontage on US 23 which is considered a limited access right-of-way in this area, on Meeker Way which is a City street and on Stratford Road which is a County Road. As such, access and improvements to US 23, Meeker Way and Stratford Road are subject to the review and approval of the Ohio Department of Transportation (ODOT), Delaware County and the City which would require a traffic impact study for the proposed development to determine access locations and any specific improvements required. The developer would be responsible for any improvements and/or financial obligations the subject development would have in the area per ODOT, Delaware County Engineer and/or City Engineer.

The applicant is proposing the following access curb cuts to the proposed development: 1.) One full movement curb cut on the northern portion of the site utilizing the traffic signal across from Wendy's. The site could also utilize Meeker Way. Also, there would be two right-in/right-out curb cuts between Meeker Way and the Wendy's' traffic signal on US 23; 2.) One full movement curb cut on Meeker Way without a traffic signal; 3.) Two full movement curb cuts on Stratford Road as well as Meeker Way; 4.) A main public spine road would meander from Meeker Way to the full traffic signal on US 23 and would provide internal access to the entire development. Again, the traffic study would determine the external access points to the subject development while the internal access points appear to achieve compliance with typical City development requirements that the main spine road is public while the other internal roads could be public or private (built to public standards). Outparcel 2 should be required to permit cross access easement to the property to the north (currently Chesrown) to allow for the previously planned possible connection to a signal for that facility. This could include allowing access via the private drive aisle connection that intersects with the spine road.

- **PEDESTRIAN CONNECTIVITY:** A pedestrian connectivity plan would be required with the Preliminary Development Plan. A multi-use path along the east side of US 23 (likely along Stratford Road and meandering through the development to US 23 as proposed) in this area would be required and is consistent with the adopted Bikeway Plan. Ultimately, the multi-use path would extend from the south to Meeker Way and north to US 23 along the northern portion of the development to connect to the City bike path network. Finally, sidewalks will likely be required along both sides of all streets public and private roads where feasible to make the entire development pedestrian friendly. The bike path should be extended along Stratford Road to the north as the project develops. Easement areas for pedestrian connections along US 23 and Stratford Road should be accounted for and granted by the applicant with the first phase of any development to ensure connectivity options exist in the future should the development not be fully built out. Of note, Meeker Way is planned to have a pathway adjacent to it constructed with the road project from Stratford Road to US 23 providing another alternative connecting as well.
- **SITE CONFIGURATION:** The proposed development fronts US 23 and Stratford Road at proposed Meeker Way within the City and extends northward and eventually spans into Delaware Township along US 23 and Stratford Road. Because the entire site would ultimately be annexed into the City for this development to occur, staff will review the site as a whole. The development is divided into three distinct components which are characterized as subareas for convenience of discussion:

1. Sub-Area A – US 23 Development

2. Sub-Area B – Internal Commercial and Residential Development
3. Sub-Area C – Stratford Road Development

*Sub-Area A – US 23 Development* – The development has over one half mile of frontage on US 23 from Meeker Way to the northern portion of the site. At the US 23 and Meeker Way intersection they are proposing a 16,200 square foot commercial building (building 6) with the associated parking with direct access from a right-in/right-out on US 23 located just north of the site and indirect access from the proposed spine road. Two outparcels encompassing 5.07 acres and 5.29 acres are located north and south of the US 23 and spine road intersection and are likely targeted for commercial uses. A right-in/right-out is located just south of the southernmost outparcel. Between the two right-in/right-outs on US 23 is a large reserve area bookended to the north and south by two creeks that cross US 23 and extends southward across Meeker Way separating sub-areas A and B. This would break up the development on US 23 effectively ensuring that it is not simply “stripped out” along US 23. Importantly this area will preserve a stand of trees reinforcing this design approach. The plan notes this preserve as a potential detention area. Staff would suggest that this is an inappropriate design location for the reasons listed above. This area will be important to understand in more detail in the storm water analysis.

*Sub-Area B – Internal Commercial and Residential Development* – The internal development would be located adjacent to the proposed spine road that extends from Meeker Way and meanders through the site to US 23. A 10,800 square foot building (building 5) with associated parking is proposed at the Meeker Way and spine road intersection while a 76,100 square foot building (building 7) with associated parking lot is located just north of building 5 and west of the spine road. The main anchor “big box” store, that encompasses 120,000 square feet with associated parking, is located in the heart of the site just north and east of the spine road. Just north of the anchor big box store is a 3.76 acre site that would be dedicated for senior living or multi-family (condominiums or apartments). Staff recommends a senior living facility or high quality condominiums at an appropriate scale and with the appropriate buffer that would be compatible with the single family homes to the north located in the Township.

*Sub-Area C – Stratford Road Development* - The applicant indicated they have had several meeting with the residents along Stratford Road and instead of simply buffering with landscaping alone the properties on the east side of Stratford Road from the proposed mixed use development which would be nearly impossible given the grades and topography involved, they had decided to include them in a proposed development that would be compatible in scale with the single family homes across the road. The design and layout together with landscaping and stream corridor are critical to this effort. The applicant is proposing four two story stone end barn like commercial buildings with associated parking along Stratford Road. Building 4 (28,400 square feet) and building 3 (18,000 square feet) are paired together and building 2 (18,000 square feet) and building 1 (34,800 square feet) are paired together to create a scalable and walkable environment with restaurants, retail stores and office uses on the first floor and office and residential apartments on the second floor. A gathering place (open space) called “Stratford Commons” is located just west of the aforementioned buildings and could be utilized for a play area, picnics, day and evening concerts and the like. A series of detention ponds designed like a waterfall stream along with landscaping would separate the development from Stratford Road. The southwestern corner of this sub-area along Meeker Way and Stratford Dive is identified as a detention basin but could be converted to buildings to mirror aforementioned buildings if the detention basin is not warranted. Just north and across the street from the aforementioned buildings is an existing old growth forest that would be preserved. A small detention basin is also proposed in this area. North of the preserved old forest is an old historical barn that would be renovated into an event center (3,800 square feet) with an associated parking lot with an access point to Stratford Road. The applicant indicated they would try to preserve the existing historical house (listed on the National Register and locally known as the James house) located north of the barn independently or possibly integrating the house with the proposed senior living or multi-family development located just west of the house if feasible.

- **TOPOGRAPHY:** As noted, by central Ohio standards this site has substantial changes in topography near US 23 while flattening out to the east. The site slopes from north to south approximately 46 feet along US 23 and west to east approximately 40 feet along the northern portion of the site and then flattens out along Meeker Way and Stratford Road. The existing stream that parallels and crosses US 23 and the stream that bisects the northern portion of the site are preserved and it appears they have the appropriate OEPA stream setbacks but

that would need to be verified. A preliminary grading plan has not been submitted, nor is one required with a concept plan but such plan would allow Staff to assess the impact the proposed development would have on the topography and character of the existing environment. Staff recommends that this should be part of any future Preliminary Development Plan as a result. The Zoning Code as well as goals and objectives contained within the Comprehensive Plan require, in several instances, the preservation of topography such as this.

- **NON-RESIDENTIAL USES:** Staff understands the commercial uses along US 23 and Meeker Way because of the demand precipitated by ODOT's new signalized intersection. Staff is pleased the outparcels along US are relatively large that would not likely yield traditional auto-oriented uses (gas station, oil change, car wash, liquor drive-thrus, etc.). This use mix is a point of discussion which will eventually need to be captured in any zoning text that maybe created along with ensuring high quality design standards. In addition, staff understands the desire for a large anchor tenant or two to create the synergy needed for a development this size. The transition between the residential houses on the east side of Stratford Road and the subject development is paramount to ensure compatibility and scale are maintained as not to create a non-aesthetically pleasing environment as one travels along Stratford Road and to ensure appropriate land use, scale and landscaping transition for the adjacent residents. The preservation of the barn and existing old growth forest along with the potential preservation of the existing house begin to establish this transition. The proposed two story commercial on the first floor and office and residential on the second floor that yields four buildings appears to ease the transition from a scale and design perspective as long as the uses are not intense that front Stratford Road. Professional offices and small scale retail might be appropriate in this regard. The applicant has appeared to work with the adjacent residential property owners in a responsible manner to create a development that creates an appropriate transition but staff would like to hear the comments from the residents to ensure such transition is appropriate. Staff has been impressed with the applicant's willingness to meet with stakeholders and accommodate their requests to date. The process appears to have been collaborative and open to date. In addition, Staff would seek Planning Commission input on this issue as well in order to be able to advance any conversations with the Applicant and affected residents.
- **NUMBER OF DWELLING UNITS:** Staff would encourage second floor residential apartments above the first floor of the proposed four commercial building along Stratford Road to create a neighborhood environment. However, staff is concerned about the potential multi-family (condominiums or apartments) development proposed on the 3.76 acres parcel located just north of the main anchor building and just south of the Elliot Estates Subdivision Number 2 near Stratford Road. The density, design, scale and execution of the any multi-family development should be compatible to the single family houses to the north which should be well buffered. Staff encourages senior living facilities at this location at a density and scale to similar to the single family houses to the north. This is an area that Staff seeks comment to be able to advance future conversations with the Applicant.
- **BUILDING DESIGN:** While the PMU Overlay has many benefits for both the City and the Applicants, perhaps the most significant benefit is the architectural and landscaping design control it allows the City and negotiated flexibility it offers the Applicants to produce a development that is better than one that would be executed under a base zoning designation. The City has extensive design requirements for residential and retail/commercial/office development that should be enhanced for this development and tailored to the Stratford Road design approach and historic pattern language. For example any multi-family property is generally required to have 100% natural materials on all four sides with overhangs, window/door trims, and other architectural elements. Similar property with business district zoning (not a PMU Overlay) is subject to the building design requirements of Section 1143.11 at a minimum. These base district and Conditional Use standards are the foundation from which the architectural standards of a PMU Overlay begin.

Staff has suggested and the applicant has indicated they would commit to a common high end design and material theme throughout the development to create a signature development that would be derived from the existing Turkey Hill Gas Station that is located at the US 23 and Stratford Road intersection which is considered a gateway into the City as well as from the Stratford design pattern language in this area. The applicant has submitted renderings of the commercial buildings along Stratford Road that appears to emulate and fit this design approach but actual building materials and colors would need to be submitted and reviewed by staff during any future rezoning application. Staff highly recommends the renderings or at a minimum development text be submitted for review prior to any rezoning submittal of all the commercial buildings

along with the residential component whether it be a senior living facility or a multi-family development. If a PMU approach is selected this will be required.

- **OPEN SPACE & PARKLAND DEDICATION:** The Applicant indicated 39% of the development is open green space which includes a common gathering space, an existing old growth forest being preserved, tree preservation areas and detention basins. Staff would need a specific acreage breakdown of the aforementioned open spaces to get a better understanding of the active and passive open space proposed. In addition, the open space should be maintained by a private association with the active open space open to public use.
- **TREE REMOVAL & REPLACEMENT:** The site as described is heavily wooded in areas. The applicant has provided a tree survey for the entire site but needs to document the total number of trees and caliper inches. The preliminary development plan would need to identify which trees are being preserved and which trees are being eliminated and any removal and replacement would need to achieve compliance with Chapter 1168 Tree Preservation Requirements. Staff would recommend that all trees that are preserved within this development should be placed in a permanent tree preservation easement(s) or preserve.
- **LANDSCAPING & SCREENING:** Since this is a Concept Plan with many outstanding issues and with direction needed on several levels, the landscaping and screening plan will be prepared as part of any next steps. By code, the Applicant is required to plant street trees and front yard trees along all frontages including a shrub row (3 feet in height) along any parking area. A PMU zoning approach could modify or enhance this. Also, interior parking lot landscaping and foundation landscaping would be required in all parking lots and around all buildings respectively. Furthermore, the existing tree line along the northern and southern portion of the site would need to be preserved along with providing supplemental screening to buffer the adjacent single family uses to the north. In addition, as many trees as feasible along US 23 should be preserved to maintain the existing athletically pleasing corridor and avoid the “stripping out” of the corridor. Ensuring the proper reserve area is not used for detention will be important to this approach. It will be very important to develop a landscape plan that retains the scenic nature of this site and while providing appropriate screening and buffering to the adjacent properties, to the extent practical. This may involve the need to provide additional setbacks to adjacent pre-existing development as well. A landscaping plan shall be required prior to submitting for any rezoning and preliminary development plan and ultimately would have to be reviewed and approved by the Shade Tree Commission.
- **GATEWAYS & CORRIDORS PLAN:** This proposed development would be required to achieve compliance with the Gateways & Corridors Plan (GCP) as well as the emerging City wayfinding plan. Within this corridor there is a very specific landscape treatment to be applied at the corners. In addition and as a matter of implementing the GCP, low undulating mounding with landscaping is to be provided along the US 23, Meeker Way and Stratford Road where feasible. Stone piers and monoliths may be additionally required.
- **SIGNS:** A Comprehensive Sign Plan is critical and will be submitted with any future preliminary development plan and rezoning. The signage must be consistent in design with the ultimate architectural pattern. Aside from a larger development identification signs for the development at a few strategic locations, Staff suggests not allowing the outparcels separate free-standing signs in exchange for more wall sign area, similar to other new commercial centers of this scale. The applicant is identifying three silo signs along Stratford Road near the proposed detention basin. Staff would need to see specific elevations of this request to determine if the subject sign would be appropriate at this location. Also, staff will be highly critical of any proposal for development signs over 20 feet high. These should be used to brand the center and high light anchor tenants rather than provide signage to other tenants. Interior site wayfinding signage could be used to provide specific tenant directional information in a coordinated and well-designed fashion.
- **LIGHTING:** As has been the case with any development in proximity to the Perkins Observatory, Staff is concerned with the site and building lighting that will be proposed for this site. All lighting plans would need to be submitted, reviewed and approved by the Chief Building Official per the zoning code. Lighting should be consistent with that approved for the Turkey Hill development to the south. The applicant should coordinate with Perkins Observatory to ensure the lighting approach is workable.
- **COMMUNITY IMPACT ASSESSMENT:** A Community Impact Assessment (CIA) will be required with the submittal of a rezoning and development plan (Section 1191.01(b)).



## DELAWARE DEVELOPMENT PLAN, LTD.

This approximate eighty acre site bordered on its west by US23, its east by Stratford Road, and on its south by what will be known as Meeker Way, is the result of the stringing together of several farms and home sites. It is those farms and home sites, the Beaver farm with its horse track, the Janes' home with its stone end barn, and the homeowners on Stratford Drive, that have driven the design and character of the proposed project.

When we began considering this area of Delaware for future development, we of course were attentive to the traffic and high visibility brought by US23. Frontage of over one-half mile is an asset that few developers disregard. To add to that, the site also has frontage on Stratford Road and will soon be bordered and have access to Meeker Way. But this site brought much more than good frontage, it brought character that could not be denied, something we wanted to keep in our project.

So, instead of purchasing land and quickly going to the drawing board to create a commercial and mixed use development as permitted and provided in Delaware's future land use plan for this site, we went to the neighbors on Stratford, who by their intimate adjacency to the site, would be most affected by what was developed there.

The Stratford Road owners shared the history of the area with us and our land planners and architects. They provided pictures and information about the stone-end barns and the architecture that lines Stratford. They told us that while they knew our development would take away the agricultural views, they did not want the development to take away its history.

So, to honor that, instead of planning to "buffer" the Stratford owners from what would be a commercial and mixed use development, we agreed to include them. Along Stratford we have provided stone-end barn architecture, a large green walkway and easy walking access to these barn type buildings that will house small stores, offices, and some residential uses. When one drives on Stratford, the street will be lined with people walking, biking, and hopefully an ice cream store or coffee shop, a dentist and an attorney. Both the east and west side of Stratford will be scaled for people.

With the ability to have access to the new Meeker Way, we were able to design a "spine" road that meanders north through the interior of the site, thereby providing access to the Stratford Road shop/offices and access to the commercial and retail stores that line US23 and the interior of the site. A bike trail works its way through the site from US23 at the north, along the stream and trees (that will be maintained in their natural state) south to the Stratford Road element. A large green common area sits between the Stratford Road shops and the interior commercial stores, thereby dividing the two while at the same time, making it easy and comfortable for people to walk to the commons from any side to picnic, play Frisbee, or go to an evening concert on the green.

I will discuss uses and additional planning ideas when we meet in March.

Thank you.

Connie Klema, Delaware Development Plan, Ltd.

# PRELIMINARY ENGINEERING SERVICES TECHNICAL REVIEW

ANNEX/REZONING   
 CONCEPT PLAN   
 PRELIM DEVEL PLAN   
 OTHER

<b>PROJECT</b>	Delaware Development LTD - Klema		
<b>LOCATION</b>	Stratford Drive Area between US 23 and Stratford Road; north of proposed Meeker Way		
<b>DEVELOPER</b>	Connie Klema		
<b>PREPARED BY</b>	Jennifer Stachler, P.E./Matthew Weber, P.E.	<b>DATE:</b>	02/23/16

This report is provided to serve as an overview of critical (red flag) technical issues associated with the proposed development project. The comments are to be considered general in nature and are presented in order to identify critical technical matters that require specific consideration during the planning and engineering review process. The report is not intended to identify all technical requirements and issues, and additional comments are to be expected following the submission of a complete set of engineering plans and associated supporting reports and technical documentation, for a detailed review by the City Engineering Department. Preliminary Technical Reviews are performed during initial project development phases only.

### Transportation Overview

<b>1.</b>	<b>Impact on existing roadways, intersections, pavement condition:</b> <ul style="list-style-type: none"> <li>Traffic study, once complete, will help determine the exact improvements that are required.</li> <li>Possible reconstruction of the area of Stratford Road near the project to address curvature of the road, or add a roundabout.</li> <li>Widening of Meeker Way likely will be required.</li> <li>Improvements to US 23 will be required.</li> </ul>
<b>2.</b>	<b>Traffic impact study (TIS) considerations:</b> <ul style="list-style-type: none"> <li>Study areas to include US 23 and the following intersections: Cottswald, Hull Drive, Delaware Plaza North and South Entrance, Hawthorn Blvd, Meeker Way, SR 315 and All site access points at US23, Meeker and Stratford</li> <li>20 year horizon period analysis</li> <li>ODOT approval of study is required</li> <li>Delaware County approval of study required</li> </ul>
<b>3.</b>	<b>Right-of-way requirements:</b> <ul style="list-style-type: none"> <li>Premature to comment</li> </ul>
<b>4.</b>	<b>New roadway infrastructure requirements:</b> <ul style="list-style-type: none"> <li>Public road that extends from US23 to Proposed Meeker Way</li> </ul>
<b>5.</b>	<b>Special pedestrian &amp; bikeway facilities:</b> <ul style="list-style-type: none"> <li>Bike path planned along stream corridor running east and west originating at the north property line of the site</li> </ul>
<b>6.</b>	<b>Funding involvement (CDA, Tif, Contributions):</b> <ul style="list-style-type: none"> <li>N/A</li> </ul>

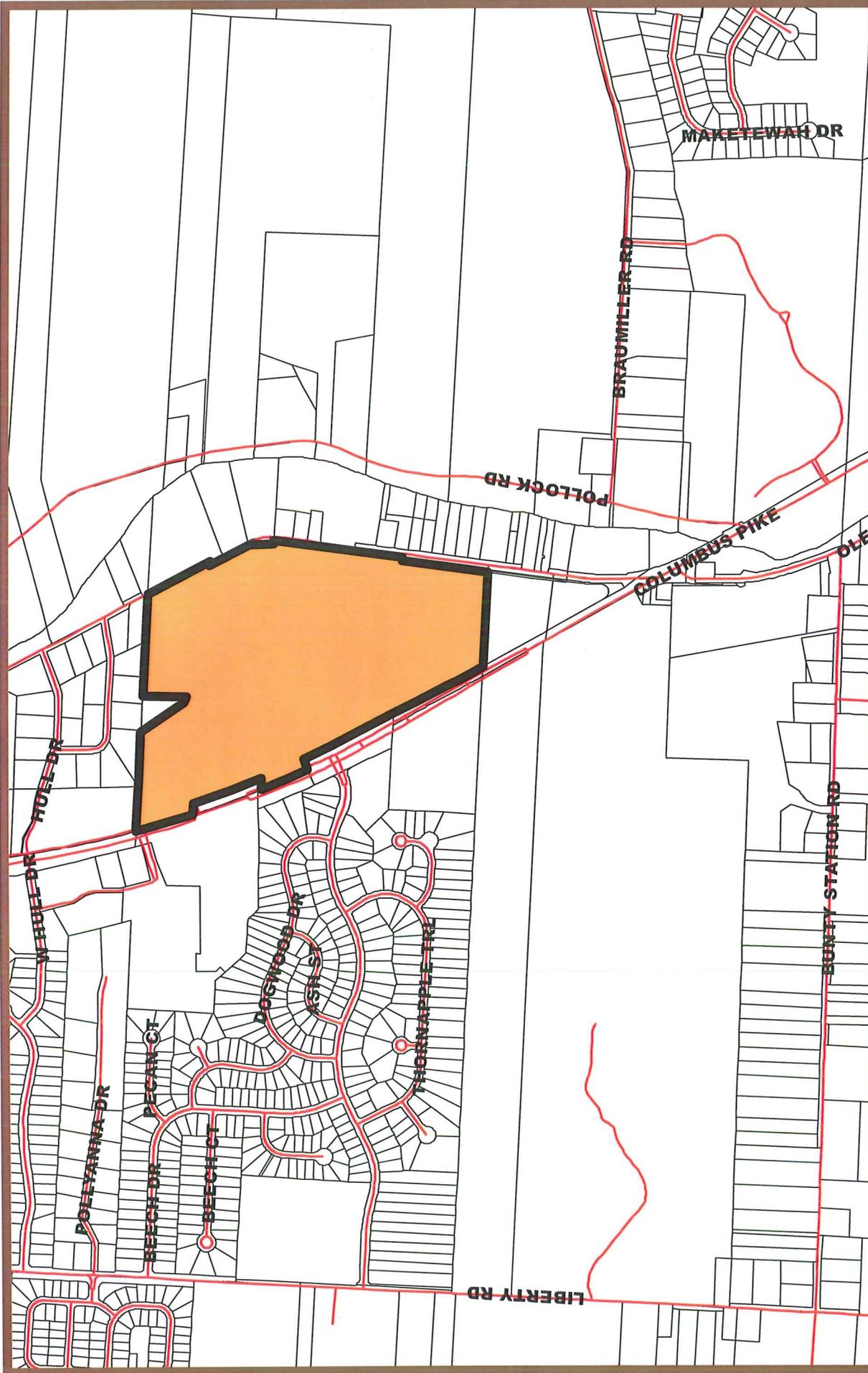
### Sanitary Sewer Collection

<b>1.</b>	<b>Availability of sewer access adjacent to site:</b> <ul style="list-style-type: none"> <li>A 15" sanitary sewer extends east and west through the south end of the project. The site's sanitary main will likely tie into this sewer. Portions of the existing sewer may need to be relocated to accommodate site layout.</li> <li>Analysis of the existing lift station to be performed to determine the ability to serve this development. Improvements to the plant by the Developer may be necessary.</li> </ul>
<b>2.</b>	<b>Required off-site sewer line extensions:</b> <ul style="list-style-type: none"> <li>N/A</li> </ul>
<b>3.</b>	<b>Tributary area considerations:</b> <ul style="list-style-type: none"> <li>N/A</li> </ul>
<b>4.</b>	<b>Special assessment district requirements:</b> <ul style="list-style-type: none"> <li>N/A</li> </ul>

### Storm Water Control

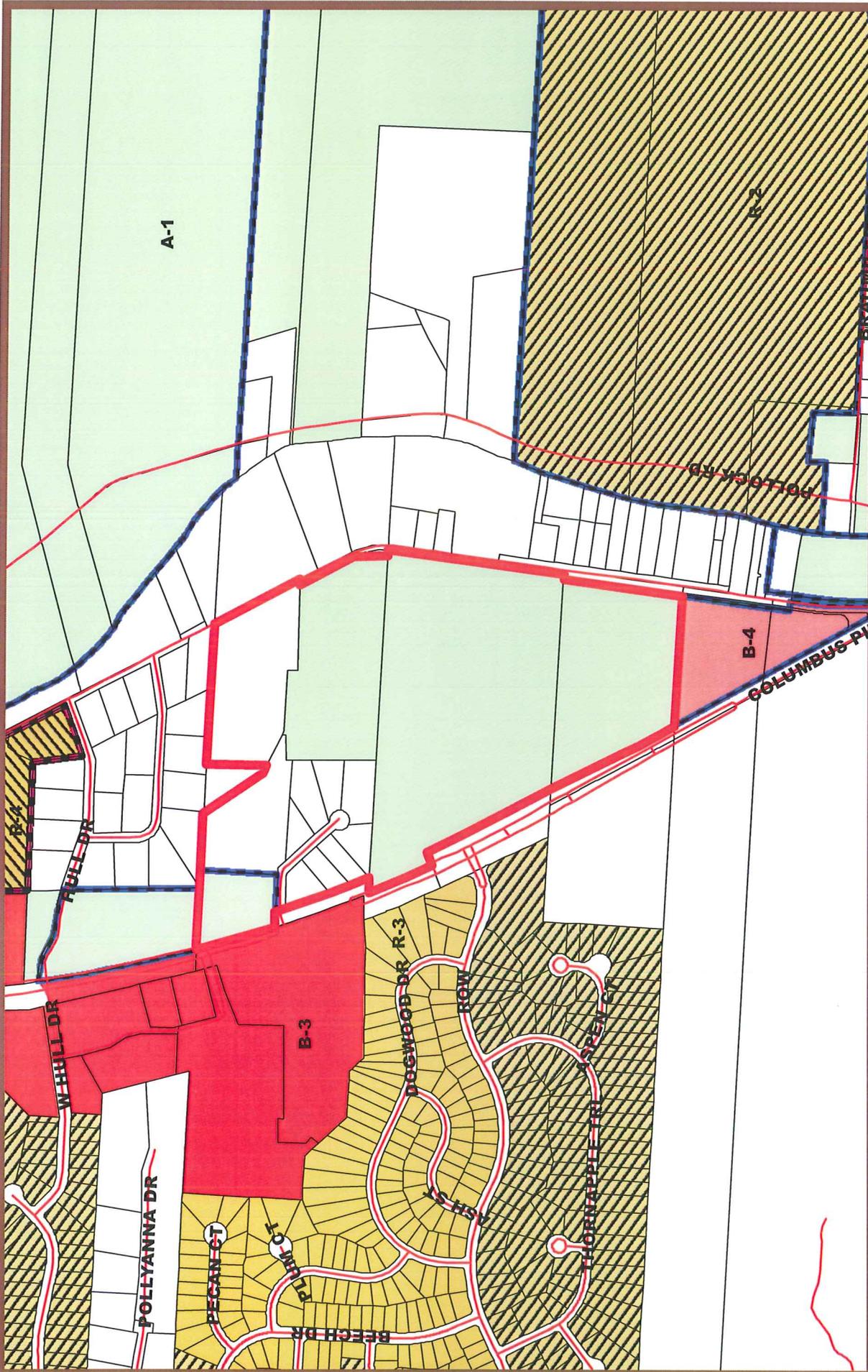
<b>1.</b>	<b>Tributary area considerations and requirements:</b> <ul style="list-style-type: none"> <li>This project will require a complex stormwater analysis, of which the results could affect the layout of the development.</li> </ul>
<b>2.</b>	<b>Existing storm water conditions and issues:</b> <ul style="list-style-type: none"> <li>Roughly 500 acres of offsite area drains through the site.</li> </ul>
<b>3.</b>	<b>BMP requirements:</b> <ul style="list-style-type: none"> <li>Per City of Delaware Stormwater Regulations</li> </ul>

<b>Water Distribution System</b>	
<b>1.</b>	<b>Availability of water supply access adjacent to site:</b> <ul style="list-style-type: none"> <li>• A 16" water main extends along US 23, which appears to have capacity to serve the proposed development, however this will be verified during final engineering of the site.</li> <li>• New waterlines built by the Developer most likely will be public, with some private lines as well.</li> <li>• New waterlines most likely will need looped into an existing waterline along Stratford Rd.</li> </ul>
<b>2.</b>	<b>Required off-site water line extensions:</b> <ul style="list-style-type: none"> <li>• N/A</li> </ul>
<b>3.</b>	<b>Tributary area considerations:</b> <ul style="list-style-type: none"> <li>• N/A</li> </ul>
<b>Special Land Development Requirements</b>	



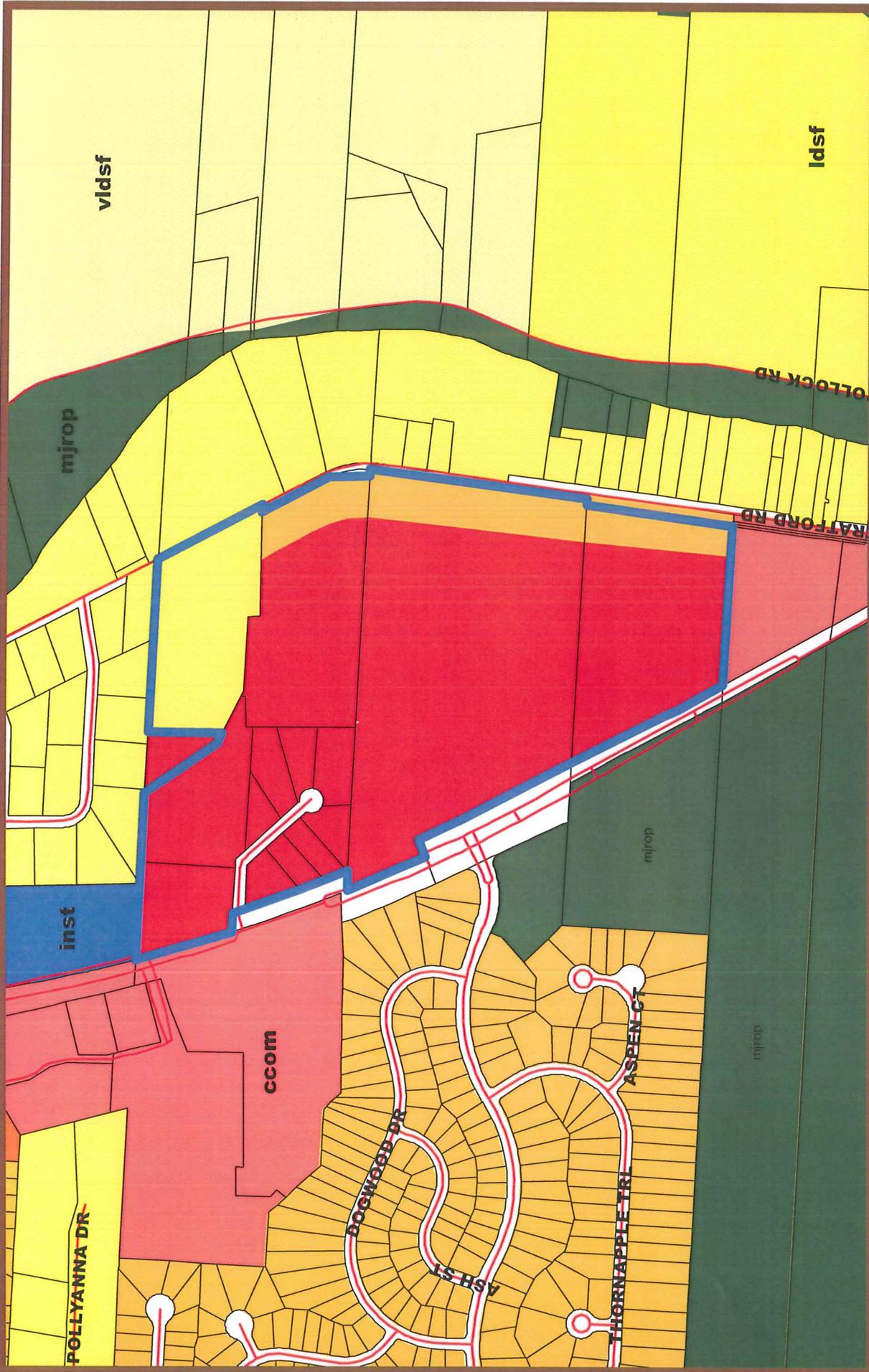
2016-0245  
 Concept Plan Review  
 Delaware Development Plan LTD  
 Location Map





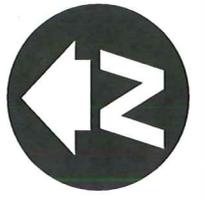
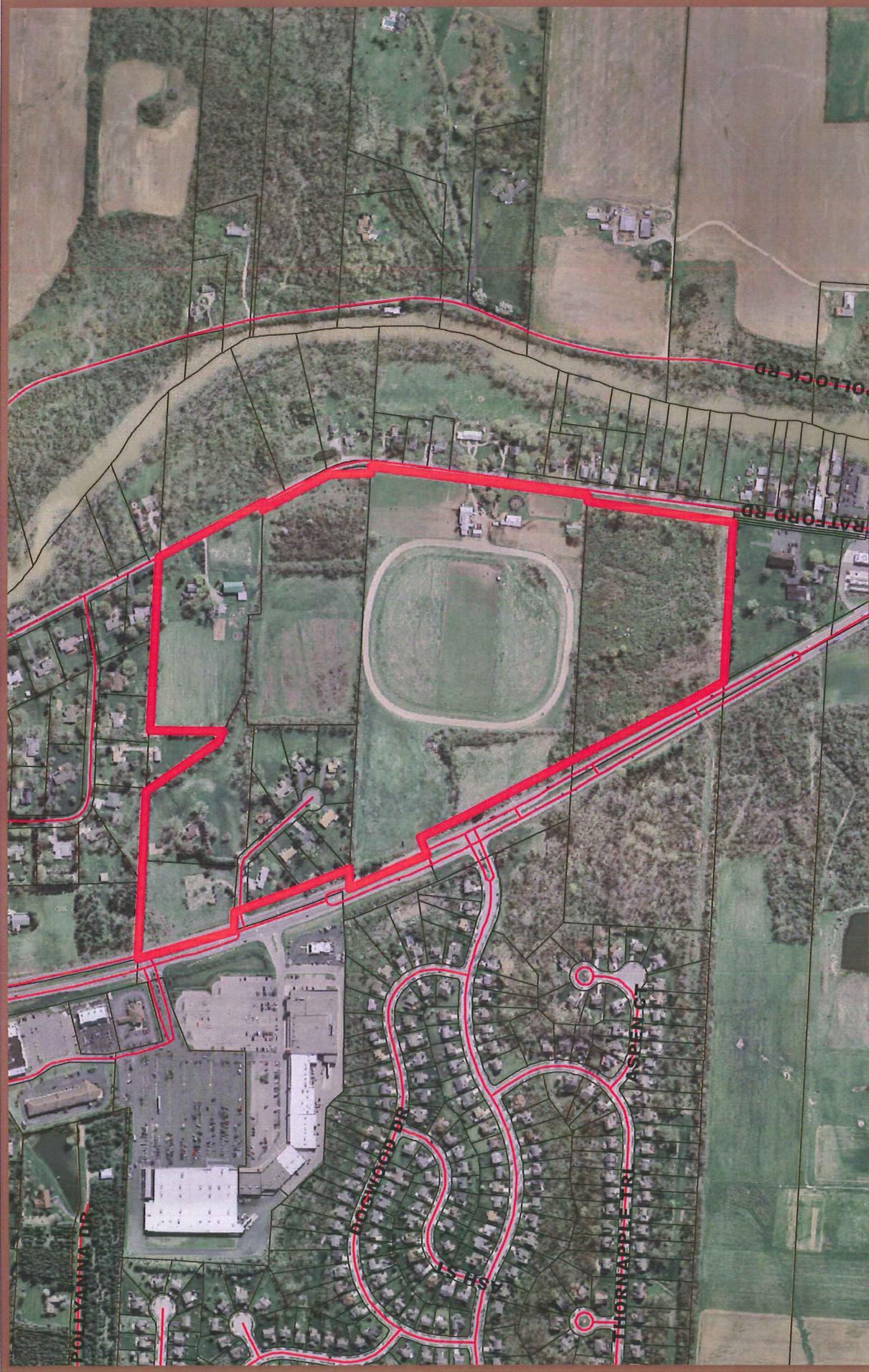
2016-0245  
 Concept Plan Review  
 Delaware Development Plan LTD  
 Zoning Map





2016-0245  
 Concept Plan Review  
 Delaware Development Plan LTD  
 Comprehensive Plan Map





2016-0245  
Concept Plan Review  
Delaware Development Plan LTD  
Aerial (2013)





**APPROXIMATE (PROPOSED)**

NO. OF BUILDINGS	100
TOTAL FLOOR AREA	1,000,000
TOTAL GROUND COVER	100%
TOTAL GREEN SPACE	100%

**EXISTING CONDITIONS (BASELINE)**

TOTAL FLOOR AREA	1,000,000
TOTAL GROUND COVER	100%
TOTAL GREEN SPACE	100%

**GREEN SPACE CALCULATIONS**

TOTAL GREEN SPACE	100%
TOTAL GREEN SPACE PER BUILDING	100%
TOTAL GREEN SPACE PER ACRE	100%
TOTAL GREEN SPACE PER SQUARE FOOT	100%

**BUILDING DATA**

BUILDING NAME	100
BUILDING TYPE	100
BUILDING SIZE	100
BUILDING LOCATION	100
BUILDING ORIENTATION	100

**PERFORMANCE CHARACTERISTICS**

PERFORMANCE CHARACTERISTIC	100

**PERFORMANCE CHARACTERISTICS**

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**PERFORMANCE CHARACTERISTICS**

PERFORMANCE CHARACTERISTIC	100

1 proposed masterplan  
SCALE 1" = 100'-0"



1 stratford row  
CONCEPT RENDERING



CITY OF DELAWARE, OHIO
PLANNING & COMMUNITY DEVELOPMENT
MASTER APPLICATION FORM



Project # \_\_\_\_\_

Case # 2016-0245

Planning Commission

- Amended Final Development Plan
Amended Final Subdivision Plat
Amended Preliminary Development Plan
Amended Preliminary Subdivision Plat
Annexation Review
Combined Preliminary & Final Development Plan
Comprehensive Plan Amendment
[X] Concept Plan
Conditional Use Permit
Determination of Similar Use
Development Plan Exemption
Final Development Plan
Final Development Plan Extension
Final Subdivision Plat
Final Subdivision Plat Extension
Floodplain Permit
Lot Split
Pre-annexation Agreement
Preliminary Development Plan
Preliminary Dev Plan Extension
Preliminary Sub Plat
Preliminary Sub Plat Extension
Rezoning
Subdivision Variance
Substitution of a Non-Conforming Use
Vacation-Alley
Vacation-Easement
Vacation-Street
Board of Zoning Appeals
Appeal Administrative Decision or Interpretation
Conditional Use Permit
Substitution of Equal or Less Non-Conforming Use
Variance

Subdivision/Project Name US 23 and Stratford Drive Address Delaware OH 43015
Acreage 72 Square Footage Variable Number of Lots PMU Number of Units PMU
41913004-009000, -010000,
Zoning District/Land Use A-1 Proposed Zoning/Land Use PMU Parcel # -018000, -021000, -022000,
-023000, -029000

Applicant Name Delaware Development Plan, Ltd. Contact Person Connie Klema

Applicant Address PO Box 991, Pataskala, OH 43062

Phone 614-374-8488 Fax \_\_\_\_\_ E-mail cklemaattorney@gmail.com

Owner Name Delaware Development Plan, Ltd. Contact Person Connie Klema

Owner Address PO Box 991, Pataskala, OH 43062

Phone 614-374-8488 Fax \_\_\_\_\_ E-mail cklemaattorney@gmail.com

Engineer/Architect/Attorney Mannik & Smith Group, Inc. Contact Person Randy VanTilburg, PE

Address 815 Grandview Ave, Suite 650, Columbus, OH 43215

Phone 614-441-4222 Fax 888-488-7340 E-mail rvantilburg@manniksmithgroup.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

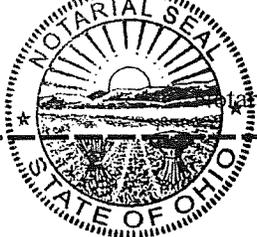
Owner Signature

Owner Printed Name

Agent Signature

Agent Printed Name

Sworn to before me and subscribed in my presence this 3rd day of February, 2016



MARCY D. GREEN
Notary Public, State of Ohio
My Commission Expires 02-29-2020

Notary Public