

**CITY OF DELAWARE  
CITY COUNCIL  
CITY COUNCIL CHAMBERS  
1 SOUTH SANDUSKY STREET  
5:30 P.M. NOTE TIME CHANGE**

**AGENDA**

REGULAR MEETING

AUGUST 10, 2015

1. ROLL CALL
2. INVOCATION
3. PLEDGE OF ALLEGIANCE
4. APPROVAL of the Motion Summary of the regular meeting of Council held July 27, 2015, as recorded and transcribed.
5. CONSENT AGENDA
  - A. Resolution No. 15-39, a resolution authorizing the City Manager to apply for the Ohio Attorney General's Drug Use Prevention Grant Program for the 2015-2016 school year.
  - B. Resolution No. 15-40, a resolution accepting public improvements for the Estates at Braumiller, Section 5.
  - C. Acceptance of the Motion Summary for the Historic Preservation Commission meeting held June 24, 2015.
  - D. Acceptance of the Motion Summary for the Shade Tree Commission meeting held June 23, 2015.
  - E. Acceptance of the Motion Summary for the Planning Commission meeting held July 1, 2015.
  - F. Establish August 24, 2015 at 6:30 p.m. as the date and time for a public hearing and second reading of Ordinance No. 15-75, an ordinance approving a Conditional Use Permit for Kroger Distribution Center to install an above-ground hydrogen storage tank at 2000 Nutter Lane on approximately 162 acres zoned M-2 (General Manufacturing District) with text limitations.
  - G. Establish August 24, 2015 at 6:45 as the date and time for a public hearing and second reading of Ordinance No. 15-76, an ordinance approving a Conditional Use Permit for Delaware City Schools for an addition, renovation and site improvements for Woodward Elementary School on approximately 4.55 acres zoned R-4 (Medium Density Residential District) and located at 200 South Washington Street.

- H. Establish August 24, 2015 at 7:00 p.m. as the date and time for a public hearing and second reading of Ordinance No. 15-78, an ordinance approving a Rezoning from R-6 (Multi-Family Residential District) to PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District) for Ohio Wesleyan University for small living units (SLU's) Phases 1-5 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street and Ordinance No. 15-79, an ordinance approving a Conditional Use Permit for Ohio Wesleyan University allowing the placement of a PMU (Planned Mixed Use Overlay District) to be established for small living units (SLU's) Phases 1-5 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street.
- I. Establish August 24, 2015 at 7:15 p.m. as the date and time for a public hearing and second reading of Ordinance No. 15-60, an ordinance to amend Sections 191.03 and 191.14 of the Codified Ordinances of the City of Delaware, Ohio, to provide for the continuation of an existing fifteen one-hundredths of one percent (0.15%) levy on income by the City for the purpose of improving municipal recreation facilities and paying the debt services charges on securities issued for that purpose, but to provide that the final calendar year in which that tax may be levied shall be the calendar year in which the debt service charges on securities issued for that purpose and outstanding as of June 1, 2015, and on any securities hereafter issued to refund those securities, have been fully paid or provided for.

6. LETTERS, PETITIONS, AND PUBLIC COMMENTS

7. COMMITTEE REPORTS

8. CONSIDERATION of a Liquor Permit Transfer

- A. From Delaware Dog, LLC, DBA The Delaware Dog, 1<sup>st</sup> Fl & Bsmt, 23 N. Sandusky St., Delaware, OH 43015 to MOHIO Pizza Co., LLC, DBA MOHIO Pizza, 1<sup>st</sup> Fl & Bsmt, 23 N. Sandusky St., Delaware, OH 43015. Permit Class D5.

9. PRESENTATIONS:

- A. Proclamation presentation to Officer Rita Mendel honoring her for her years of dedicated service to the City of Delaware and its citizens.
- B. Proclamation presentation to Evan Lamping for his heroic efforts.
- C. Sister City Annual Report, Rand Guebert, Sister City Chairman

10. DISCUSSIONS ITEMS
  - A. Troy Township Update, Doug Price, Township Trustee
  - B. Parks and Natural Resource Director Update, Stacy Davenport, Parks Superintendent
11. FOURTH READING of Ordinance No. 15-55, an ordinance supplementing the 2015 Appropriations Ordinance to provide funding to hire a permanent part-time position in the Finance Department, and declaring an emergency.
12. 6:30 P.M. PUBLIC HEARING AND THIRD READING of Ordinance No. 15-68, an ordinance approving a Rezoning Amendment from A-1 (Agricultural District) to R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) for Vincent Romanelli for Glenross North Subdivision on approximately 100 acres located just east of Glenn Parkway and north of the Glenross Golf Club.
13. 6:30 P.M. PUBLIC HEARING AND THIRD READING of Ordinance No. 15-69, an ordinance approving a Conditional Use Permit allow the placement of a PMU (Planned Mixed Use Overlay District) for Vincent Romanelli to be established for Glenross North Subdivision on approximately 100 acres located just east of Glenn arkway and north of the Glenross Golf Club.
14. THIRD READING of Ordinance No. 15-70, an ordinance approving a Preliminary Development Plan for Vincent Romanelli for Glenross North Subdivision for 196 single-family lots on approximately 100 acres located just east of Glenn Parkway and north of the Glenross Golf Club on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District).
15. THIRD READING of Ordinance No. 15-71, an ordinance approving a Preliminary Subdivision Plat for Vincent Romanelli for Glenross North Subdivision for 196 Single-Family lots on approximately 100 acres located just east of Glenn Parkway and north of the Glenross Golf Club on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District).
16. SECOND READING of Ordinance No. 15-73, an ordinance supplementing the 2015 Appropriations Ordinance to provide funding to hire a full-time position in the Legal Department to prosecute delinquent income tax cases and to provide other legal assistance.
17. CONSIDERATION of Ordinance No. 15-75, an ordinance approving a Conditional Use Permit for Kroger Distribution Center to install an

above-ground hydrogen storage tank at 2000 Nutter Lane on approximately 162 acres zoned M-2 (General Manufacturing District) with text limitations.

18. CONSIDERATION of Ordinance No. 15-76, an ordinance approving a Conditional Use Permit for Delaware City Schools for an addition, renovation and site improvements for Woodward Elementary School on approximately 4.55 acres zoned R-4 (Medium Density Residential District) and located at 200 South Washington Street.
19. CONSIDERATION of Ordinance No. 15-77, an ordinance approving a Combined Preliminary and Final Development Plan for Delaware City Schools for an addition, renovation and site improvements for Woodward Elementary School on approximately 4.55 acres zoned R-4 (Medium Density Residential District) and located at 200 South Washington Street.
20. CONSIDERATION of Ordinance No. 15-78, an ordinance approving a Rezoning from R-6 (Multi-Family Residential District) to PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District) for Ohio Wesleyan University for small living units (SLU's) Phases 1-5 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street.
21. CONSIDERATION of Ordinance No. 15-79, an ordinance approving a Conditional Use Permit for Ohio Wesleyan University allowing the placement of a PMU (Planned Mixed Use Overlay District) to be established for small living units (SLU's) Phases 1-5 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street.
22. CONSIDERATION of Ordinance No. 15-80, an ordinance approving a Preliminary Development Plan for Ohio Wesleyan University for small living units (SLU's) Phases 1-5 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street on property zoned PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District).
23. CONSIDERATION of Ordinance No. 15-81, an ordinance approving a Final Development Plan for Ohio Wesleyan University for small living units (SLU's) Phase 1 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street on property zoned PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District).

24. CONSIDERATION of Ordinance No. 15-82, an ordinance approving a Final Subdivision Plat for MI Homes of Central Ohio for Lantern Chase Phase 2 Section 6 Part 1 consisting of 47 single-family lots on 11.974 acres zoned R-3 (One-Family Residential District) located north of Silversmith Lane.
25. CONSIDERATION of Ordinance No. 15-83, an ordinance approving a Final Development Plan for STG Development LTD for Village Gate Apartments Phase 2 consisting of 68 units on 6.8 acres on property zoned R-6 (Multi-Family Residential District) located north of Bowtown Road and at the terminus of Ferguson Avenue just west of the existing Village Gate Apartments.
26. CONSIDERATION of Ordinance No. 15-84, an ordinance approving an Amended Preliminary Development Plan for Pulte Homes of Ohio for the Communities at Glenross Sections 6-10 for 166 single-family lots on 84.04 acres zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) located north of Cheshire Road between Balmoral Drive and the railroad tracks.
27. CONSIDERATION of Ordinance No. 15-85, an ordinance approving an Amended Preliminary Subdivision Plat for Pulte Homes of Ohio for the Communities at Glenross Sections 6-10 for 166 single-family lots on 84.04 acres zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) located north of Cheshire Road between Balmoral Drive and the railroad tracks.
28. CONSIDERATION of Ordinance No. 15-86, an ordinance supplementing the 2015 Appropriations Ordinance to provide funding for the issuance of a refund of money collected pursuant to Section 1129.13 (g) of the City's Codified Ordinances, and declaring an emergency.
29. CONSIDERATION of Ordinance No. 15-60, an ordinance to amend Sections 191.03 and 191.14 of the Codified Ordinances of the City of Delaware, Ohio, to provide for the continuation of an existing fifteen one-hundredths of one percent (0.15%) levy on income by the City for the purpose of improving municipal recreation facilities and paying the debt services charges on securities issued for that purpose, but to provide that the final calendar year in which that tax may be levied shall be the calendar year in which the debt service charges on securities issued for that purpose and outstanding as of June 1, 2015, and on any securities hereafter issued to refund those securities, have been fully paid or provided for.

30. **EXECUTIVE SESSION:** pursuant to Ohio Revised Code Section 121.22 (G) (3) pending or imminent court action, Section 121.22 (G) (1) personnel, Section 121.22 (G) (5) matters required to be kept confidential by State statute, Section 121.22 (G) (2) acquisition of property for public purpose and 121.22(G) (8) consideration of confidential information related to a request for economic development assistance.
31. CITY MANAGER'S REPORT
32. COUNCIL COMMENTS
33. ADJOURNMENT

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BEAR GRAPHICS 800-325-8094 FORM NO. 10148

Held July 27

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The regular meeting of July 27, 2015 was called to order at 5:30 p.m., in the City Council Chambers. The following members of Council were present: First Ward Chris Jones, Second Ward Lisa Keller, Fourth Ward Andrew Brush, At Large Kent Shafer, Vice Mayor George Hellinger and Mayor Carolyn Kay Riggle who presided. Absent from the meeting was Third Ward Joe DiGenova. The invocation was given by Rev. Jim Summers, followed by the Pledge of Allegiance.

A demonstration of the new City of Delaware Website, the Economic Development Website, and the Municipal Court Website was provided by, Lindsey Kerr, Economic Development Specialist.

Staff Present: Dave Efland, Planning and Community Development Director, Scott Stowers, IT Director, Dean Stelzer, Finance Director, Lindsey Kerr, Economic Development Specialist, Dan Whited, Public Service Group Director, Darren Shulman, City Attorney, Bill Ferrigno, Public Works Director/City Engineer, Bruce Pijanowski, Police Chief, , and Tom Homan, City Manager

**Motion to Excuse:** Mr. Brush moved to excuse Mr. DiGenova, seconded by Mr. Shafer. Motion approved by a 6-0 vote.

#### **ITEM 4: APPROVAL OF MINUTES**

APPROVAL of the Motion Summary of the regular meeting of Council held July 6, 2015, as recorded and transcribed.

**Motion:** Mr. Brush moved to approve the Motion Summary of the regular meeting of Council held July 6, 2015, as recorded and transcribed, seconded by Mr. Shafer. Motion approved by a 6-0 vote.

#### **ITEM 5: CONSENT AGENDA**

- A. Acceptance of the Motion Summary for the Airport Commission meeting held April 16, 2015.
- B. Acceptance of the Motion Summary for the Public Works/Public Utilities Commission meeting held May 5, 2015.
- C. Acceptance of the Motion Summary for the Planning Commission meeting held June 3, 2015.
- D. Acceptance of the Motion Summary for the Parks and Recreation Advisory Board meeting held June 16, 2015.
- E. Acceptance of the Motion Summary of the Dog Park Planning Committee for the meeting held October 16, 2014.
- F. Resolution No. 15-33, a resolution appointing a member the Historic Preservation Commission, and specifying the term of the appointment.
- G. Resolution No 15-34, a resolution appointing members to the Sister City Advisory Board, and specifying the term of the appointments.
- H. Resolution No. 15-35, a resolution of necessity for construction or repair of sidewalks, curb, or gutters.
- I. Resolution No. 15-36, a resolution authorizing the City Manager to enter into a Cooperation Agreement with Delaware County for an application to the Ohio Public Works Commission (OPWC) for the pavement resurfacing and rehabilitation of North Sandusky Street and Park Avenue (Round 30 Application)
- J. Resolution No. 15-37, a resolution authorizing the City Manager to prepare and submit an application to participate in the Ohio Public

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Works Commission (OPWC) Local Transportation Improvements (LTIP) Grant Program (Round 30), and to execute contracts as required for pavement resurfacing and rehabilitation of North Sandusky Street and Park Avenue.

- K. Resolution No. 15-38, a resolution accepting public improvements for Heatherton Phase 4, Section 2.
- L. Re-establish August 10, 2015 at 6:30 p.m. **(time change from 7:30 to 6:30)**, as the date and time for a public hearing and third reading of Ordinance No. 15-68, an ordinance approving a Rezoning Amendment from A-1 (Agricultural District) to R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) for Vincent Romanelli for Glenross North Subdivision on approximately 100 acres located just east of Glenn Parkway and north of the Glenross Golf Club and Ordinance No. 15-69, an ordinance approving a Conditional Use Permit allow the placement of a PMU (Planned Mixed Use Overlay District) for Vincent Romanelli to be established for Glenross North Subdivision on approximately 100 acres located just east of Glenn Parkway and north of the Glenross Golf Club.

**Motion:** Mr. Brush moved to approve the Consent Agenda, seconded by Mr. Shafer. Motion approved by a 6-0 vote.

**ITEM 6: LETTERS, PETITIONS, AND PUBLIC COMMENTS**

**ITEM 7: COMMITTEE REPORTS**

Mr. Jones stated that the Historic Preservation Commission will meet on July 29, 2015.

Mrs. Keller discussed the recent groundbreaking event at Veteran’s Park.

Mr. Brush provided a review of the Finance Committee meeting that was held July 27, 2015. Mr. Brush reviewed the results of the annual audit, provided an update on House Bill 5 and recommendations by the Finance Committee to implement timecard and attendance software in 2016.

Vice-Mayor Hellinger provided an update on the July 16, 2015 Airport Commission meeting.

**ITEM 8: CONSIDERATION of a New Liquor Permit**

- A. Destination Discount Books LLC, DBA Destination Discount Books, 1185 US23 N, Delaware, OH 43015. Permit Class D2

Chief Pijanowski provided a review of the request for a liquor permit at Destination Discount Books.

**APPLICANT:**

Timothy Dickens  
1876 Africa Road  
Galena, Ohio

**Motion:** Mr. Brush moved to approve the new Liquor Permit for Destination Discount Books LLC, seconded by Mr. Shafer. Motion approved by a 6-0 vote.

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**ITEM 9: Discussion**

A. Main Street-Street Closure Request/Update

APPLICANT:

Francis Jo Hamilton  
244 River Rd.  
Delaware, Ohio

Ms. Hamilton provided an update on recent First Friday events and street closures. Ms. Hamilton discussed upcoming events and the request to have a three block closure for September and October First Friday events.

Mr. Shafer recommended that prior to the events that all businesses are notified.

**Motion:** Mr. Brush moved to approve Main Street Delaware's request for a three block street closure for September and October First Friday events, seconded by Mr. Shafer. Motion approved by a 6-0 vote.

**ITEM 10: RESOLUTION NO. 15-30** [Third Reading]

A RESOLUTION DECLARING THE NECESSITY OF AN ELECTION ON THE QUESTION OF APPROVING THE PASSAGE OF AN ORDINANCE TO AMEND SECTIONS 191.03 AND 191.14 OF THE CODIFIED ORDINANCES OF THE CITY OF DELAWARE, OHIO, TO PROVIDE FOR THE CONTINUATION OF AN EXISTING FIFTEEN ONE-HUNDREDTHS OF ONE PERCENT (0.15%) LEVY ON INCOME BY THE CITY FOR THE PURPOSE OF IMPROVING MUNICIPAL RECREATION FACILITIES AND PAYING THE DEBT SERVICE CHARGES OF SECURITIES ISSUED FOR THAT PURPOSE, BUT LIMITING THE FINAL CALENDAR YEAR IN WHICH THE TAX WILL BE LEVIED TO THE CALENDAR YEAR IN WHICH THE DEBT SERVICE CHARGES ON SECURITIES ISSUED PURSUANT TO SUCH AUTHORITY AND OUTSTANDING AS OF JUNE 1, 2015, INCLUDING ANY SECURITIES HEREAFTER ISSUED TO REFUND THOSE SECURITIES, HAVE BEEN FULLY PAID OR PROVIDED FOR.

The Clerk read the resolution for the third time.

Mr. Brush recommended that Resolution No. 15-30 not be placed on the November Ballot and that staff present an ordinance with the same text to be read at the next City Council meeting.

**Motion:** Mr. Brush moved to table Resolution No. 15-30, seconded by Mrs. Keller. Motion approved by a 6-0 vote.

**ITEM 11: ORDINANCE NO. 15-63** [Second Reading]

AN ORDINANCE AUTHORIZING THE CITY OF DELAWARE TO PURCHASE ITEMS OR SERVICES FROM ANY STATE OR SCHOOL DISTRICT COOPERATIVE PURCHASING PROGRAM, FROM A LIST OF PRE-QUALIFIED COMPETITIVELY BID COOPERATIVE PURCHASING PROGRAMS, FROM ANY OTHER GOVERNMENTAL AGENCY'S COMPETITIVELY BID CONTRACT IN ORDER TO ACHIEVE THE BEST PRICING FOR THE ITEMS AND SERVICES, AND DECLARING AN EMERGENCY.

The Clerk read the ordinance for the second time.

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**Motion:** Mr. Brush moved to suspend the rules for Ordinance No. 15-63, seconded by Mr. Shafer. Motion approved by a 6-0 vote.

**Motion:** Mr. Brush moved to enact the emergency clause for Ordinance No. 15-63, seconded by Mr. Shafer. Motion approved by a 6-0 vote.

**Motion:** Mr. Brush moved to adopt Ordinance No. 15-63, seconded by Mr. Shafer. Motion approved by a 6-0 vote.

**ITEM 12: ORDINANCE NO. 15-68** [Second Reading]  
AN ORDINANCE APPROVING A REZONING AMENDMENT FROM A-1 (AGRICULTURAL DISTRICT) TO R-2 PMU (ONE-FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED USE OVERLAY DISTRICT) FOR VINCENT ROMANELLI FOR GLENROSS NORTH SUBDIVISION ON APPROXIMATELY 100 ACRES LOCATED JUST EAST OF GLENN PARKWAY AND NORTH OF THE GLENROSS GOLF CLUB.

The Clerk read the ordinance for the second time.  
  
A public hearing has been re-established for August 10, 2015 at 6:30 p.m.

**ITEM 13: ORDINANCE NO. 15-69** [Second Reading]  
AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT ALLOW THE PLACEMENT OF A PMU (PLANNED MIXED USE OVERLAY DISTRICT) FOR VINCENT ROMANELLI TO BE ESTABLISHED FOR GLENROSS NORTH SUBDIVISION ON APPROXIMATELY 100 ACRES LOCATED JUST EAST OF GLENN PARKWAY AND NORTH OF THE GLENROSS GOLF CLUB.

The Clerk read the ordinance for the second time.  
  
A public hearing has been re-established for August 10, 2015 at 6:30 p.m.

**ITEM 14: ORDINANCE NO. 15-70** [Second Reading]  
AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN FOR VINCENT ROMANELLI FOR GLENROSS NORTH SUBDIVISION FOR 196 SINGLE-FAMILY LOTS ON APPROXIMATELY 100 ACRES LOCATED JUST EAST OF GLENN PARKWAY AND NORTH OF THE GLENROSS GOLF CLUB ON PROPERTY ZONED R-2 PMU (ONE-FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED USE OVERLAY DISTRICT).

The Clerk read the ordinance for the second time.  
  
**ITEM 15: ORDINANCE NO. 15-71** [Second Reading]

AN ORDINANCE APPROVING A PRELIMINARY SUBDIVISION PLAT FOR VINCENT ROMANELLI FOR GLENROSS NORTH SUBDIVISION FOR 196 SINGLE-FAMILY LOTS ON APPROXIMATELY 100 ACRES LOCATED JUST EAST OF GLENN PARKWAY AND NORTH OF THE GLENROSS GOLF CLUB ON PROPERTY ZONED R-2 PMU (ONE-FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED USE OVERLAY DISTRICT).

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The Clerk read the ordinance for the second time.

**ITEM 16: ORDINANCE NO. 15-72** [First Reading]
AN ORDINANCE SUPPLEMENTING THE 2015 APPROPRIATIONS ORDINANCE TO PROVIDE ADDITIONAL FUNDING FOR THE PURCHASE OF ROAD SALT FOR THE 2015/2016 WINTER SEASON, AND DECLARING AN EMERGENCY.

The Clerk read the ordinance for the first time.

**Motion:** Mr. Brush moved to suspend the rules for Ordinance No. 15-72, seconded by Mr. Shafer. Motion approved by 6-0 vote.

**Motion:** Mr. Brush moved to enact the emergency clause for Ordinance No. 15-72, seconded by Mr. Shafer. Motion approved by 6-0 vote.

**Motion:** Mr. Brush moved to adopt Ordinance No. 15-72, seconded by Mr. Shafer. Motion approved by 6-0 vote.

**ITEM 17: ORDINANCE NO. 15-73** [First Reading]
AN ORDINANCE SUPPLEMENTING THE 2015 APPROPRIATIONS ORDINANCE TO PROVIDE FUNDING TO HIRE A FULL-TIME POSITION IN THE LEGAL DEPARTMENT TO PROSECUTE DELINQUENT INCOME TAX CASES AND TO PROVIDE OTHER LEGAL ASSISTANCE.

The Clerk read the ordinance for the first time.

Mr. Brush indicated that this position was discussed with and endorsed by the Finance Committee.

**ITEM 18: ORDINANCE NO. 15-74** [First Reading]
AN ORDINANCE SUPPLEMENTING THE 2015 APPROPRIATIONS ORDINANCE TO PROVIDE ADDITIONAL FUNDING FOR GENERAL LIABILITY AND PROPERTY INSURANCE PREMIUMS, AND DECLARING AN EMERGENCY.

The Clerk read the ordinance for the first time.

**Motion:** Mrs. Keller moved to suspend the rules for Ordinance No. 15-74, seconded by Mr. Brush. Motion approved by a 6-0 vote.

**Motion:** Mrs. Keller moved to enact the emergency clause for Ordinance No. 15-74, seconded by Mr. Brush. Motion approved by a 6-0 vote.

**Motion:** Mrs. Keller moved to adopt Ordinance No. 15-74, seconded by Mr. Brush. Motion approved by a 6-0 vote.

**ITEM 19: Discussions:**

A. Hotel Market Study

Mr. Homan informed Council of the recent meeting with a hotel developer, which also included himself and Mr. Hughes, to determine the market and interest for a hotel in the downtown area.

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B. Troy Township Update

Mr. Homan stated the he along with Mayor Riggle, and Troy Township Trustees met to discuss their request of a modification of the annexation process. Mr. Homan indicated that a Troy Township Trustee will attend a future City Council meeting to discuss their request.

**ITEM 20: ORDINANCE NO. 15-64** [Public Hearing and Second Reading]

AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT FOR DELAWARE CITY SCHOOLS FOR AN ADDITION, RENOVATION, AND SITE IMPROVEMENTS FOR SMITH ELEMENTARY SCHOOL ON APPROXIMATELY 3.40 ACRES ZONED R-3 (ONE-FAMILY RESIDENTIAL DISTRICT) AND LOCATED AT 355 NORTH LIBERTY STREET.

The Clerk read the ordinance for the second time.

There was no public participation.

APPLICANT:

Larry Davis  
149 Westwood Ave.  
Delaware, Ohio

**Motion:** Mr. Brush moved to suspend the rules for Ordinance No. 15-64, seconded by Mr. Shafer. Motion approved by a 6-0 vote.

**Motion:** Mr. Brush moved to adopt Ordinance No. 15-64, seconded by Mr. Shafer. Motion approved by a 6-0 vote.

**ITEM 21: ORDINANCE NO. 15-65** [Second Reading]

AN ORDINANCE APPROVING A COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN FOR DELAWARE CITY SCHOOLS FOR AN ADDITION, RENOVATION, AND SITE IMPROVEMENTS FOR SMITH ELEMENTARY SCHOOL ON APPROXIMATELY 3.40 ACRES ZONED R-3 (ONE-FAMILY RESIDENTIAL DISTRICT) AND LOCATED AT 355 NORTH LIBERTY STREET.

The Clerk read the ordinance for the second time.

APPLICANT:

Larry Davis  
149 Westwood Ave.  
Delaware, Ohio

Mr. Efland provided a presentation that reviewed the location map, zoning map, and aerial photographs. Mr. Efland reviewed the proposed site location and addition.

Mayor Riggle voiced her concern over the placement of the dumpster next to a surrounding property owner. Mr. Davis indicated that there are plans to move the dumpster to a location closer to the cafeteria area and that they are working with staff to determine the most appropriate location.

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**Motion:** Mr. Brush moved to suspend the rules for Ordinance No. 15-65, seconded by Mr. Shafer. Motion approved by a 6-0 vote.

**Motion:** Mr. Brush moved to adopt Ordinance No. 15-65, seconded by Mr. Shafer. Motion approved by a 6-0 vote.

Mayor Riggle requested a recess at 6:44 p.m. Mayor Riggle reconvened the meeting at 6:52 p.m.

**ITEM 22: EXECUTIVE SESSION:** pursuant to Ohio Revised Code Section 121.22 (G) (3) pending or imminent court action, Section 121.22 (G) (1) personnel, Section 121.22 (G) (5) matters required to be kept confidential by State statute, Section 121.22 (G) (2) acquisition of property for public purpose and 121.22(G) (8) consideration of confidential information related to a request for economic development assistance.

Mr. Brush moved to enter into Executive Session at 6:52 p.m. This motion was seconded by Mr. Jones and approved by a 6-0 vote. Council met in executive session pursuant to Ohio Revised Code Section 121.22 (G) (3) pending or imminent court action, Section 121.22 (G) (1) personnel, Section 121.22 (G) (5) matters required to be kept confidential by State statute, Section 121.22 (G) (2) acquisition of property for public purpose and 121.22(G) (8) Consideration of Confidential Information Related To A Request For Economic Development Assistance. Council conducted a discussion of those items with the following members present: First Ward Chris Jones, Second Ward Lisa Keller, Fourth Ward Andrew Brush, At Large Kent Shafer, Vice Mayor George Hellinger and Mayor Carolyn Kay Riggle. Following the discussion at 7:43 p.m., it was moved by Mr. Brush that Council move into Open session, seconded by Mr. Shafer and approved by 6-0 vote.

**ITEM 23: FINANCE DIRECTOR'S REPORT**

Mr. Stelzer discussed the decrease in revenue at the airport.

**ITEM 24: CITY MANAGER'S REPORT**

Mr. Homan informed Council of an upcoming meeting with MORPC.

Mr. Homan provided an update on the Wayfinding status and that he recently signed a letter of intent to move forward with the project.

Mr. Homan stated that a meeting was held with former members of the Dog Park Committee regarding a follow-up on their request for financial information.

A discussion was held on a Work Session date to discuss and review the findings from the Citizen Survey. A date of September 12, 2015 at 9 a.m. has been agreed on by Council.

Mr. Homan provided an update on recent communication with Sakata, Japan and their interest in formally establishing a Sister City relationship.

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**ITEM 25: COUNCIL COMMENTS**

Mrs. Keller discussed the need for increase awareness of Lyme Disease and recent conversation with the health department.

Mr. Shafer indicated that there is a scheduled Parking and Safety set meeting date for August 17, 2015.

Mayor Riggle provided an update on recent events including Veteran's Park groundbreaking, Blast from the Past, and Sawmill Parkway groundbreaking.

**ITEM 26: ADJOURNMENT**

**Motion:** Mr. Brush moved to adjourn the meeting, seconded by Mr. Shafer. The meeting adjourned at 7:46 p.m.

\_\_\_\_\_  
Mayor Carolyn Kay Riggle

\_\_\_\_\_  
Elaine McCloskey, Council Clerk



## FACT SHEET

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AGENDA ITEM NO: CONSENT ITEM A      DATE: 8/10/15  
ORDINANCE NO:                                      RESOLUTION NO: 15-39  
READING: FIRST                                      PUBLIC HEARING: NO

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TO:                      Mayor and Members of City Council  
FROM:                 R. Thomas Homan, City Manager  
VIA:                    Police Department

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

A RESOLUTION AUTHORIZING THE CITY MANAGER TO APPLY FOR THE OHIO ATTORNEY GENERAL'S DRUG USE PREVENTION GRANT PROGRAM FOR THE 2015-2016 SCHOOL YEAR.

**BACKGROUND:**

The drug use prevention grant has been offered for several years by the Ohio Attorney General's office to support the presentation of the DARE curriculum within primary/secondary schools by uniformed police officers. The grant provides for the partial reimbursement of salary expenses incurred by the City related to the presentation of the DARE program.

**REASON WHY LEGISLATION IS NEEDED:**

Legislative approval is required to authorize City Manager and/or police department to submit an application for the Ohio Attorney General's Drug Use Prevention Grant.

**COMMITTEE RECOMMENDATION:**

N/A

**FISCAL IMPACT(S):**

If awarded the City of Delaware would receive reimbursement in the amount of \$3,347.52 for wages in relation to the DARE Keepin It Real Program and the DARE ITC/RX Drug Abuse Program.

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

Chief Bruce Pijanowski  
Capt. Adam Moore

**RECOMMENDATION:**

Approval

**ATTACHMENT(S)**

Draft grant application

RESOLUTION NO. 15-39

A RESOLUTION AUTHORIZING THE CITY MANAGER TO APPLY FOR THE OHIO ATTORNEY GENERAL'S DRUG USE PREVENTION GRANT PROGRAM FOR THE 2015-2016 SCHOOL YEAR.

WHEREAS, the State Attorney General's Office has grant monies available to supplement the hiring and maintenance of D.A.R.E. officers, and

WHEREAS, the City of Delaware continues to support the D.A.R.E. program in the city schools, and

WHEREAS, the City Schools Administration also supports the D.A.R.E. program, and

WHEREAS, the D.A.R.E. program has shown positive results in educating our youth about the dangers of drugs and alcohol and how to build self-esteem in challenging peer pressure to use drugs and/or alcohol, and

WHEREAS, the D.A.R.E. program has provided a positive role model in the police profession who children can trust and respect;

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL FOR THE CITY OF DELAWARE, STATE OF OHIO:

SECTION 1. The City Manager is hereby authorized to submit a grant application for the 2015-2016 Ohio Attorney General's Drug Use Prevention Grant Program.

SECTION 2. That this grant funding will supplement one-half of the D.A.R.E. officer's wages for a nine month period when that officer will be working full-time as a D.A.R.E. officer.

SECTION 3. That this resolution shall take effect and be in force immediately after its passage.

PASSED: \_\_\_\_\_, 2015

YEAS\_\_\_ NAYS\_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR



# MIKE DEWINE

★ OHIO ATTORNEY GENERAL ★

## 2015-2016 Drug Use Prevention Grant Acknowledgement and Authorization

### INSTRUCTIONS

- Please type or print all required information and provide the required signatures
- The Chief or Sheriff, CFO, and all relevant public school district Superintendents must sign this document before the application is complete.
- Any additional supporting documentation should be submitted along with this form.
- Failure to submit this form prior to the stated deadline will result in the disqualification of the entire grant application.
- Please e-mail the signed form to [DrugUsePrevention@OhioAttorneyGeneral.gov](mailto:DrugUsePrevention@OhioAttorneyGeneral.gov)

**DUE: August 21, 2015**

### APPLICANT INFORMATION

Agency Name: Delaware Police Department

Point of Contact Name: Adam Moore

### PUBLIC SCHOOL DISTRICT SUPERINTENDENT ACKNOWLEDGEMENT

School District: Delaware City School District

Name: Paul Craft

Signature:

Date:

School District:

Name:

Signature:

Date:

School District:

Name:

Signature:

Date:

Additional Superintendents

### STATEMENT OF ACKNOWLEDGEMENT AND AUTHORIZATION

We the undersigned do hereby certify, understand and agree to the content, conditions and assurances contained within the 2015-2016 Drug Use Prevention Grant application and guidelines and agree to abide by all rules and regulations pertaining to the Drug Use Prevention Grant as promulgated by the Ohio Revised Code and the Ohio Attorney General's Office. We also certify that the information contained within the application is true and correct, and that the governing body of this agency has authorized this application.

Chief/Sheriff Name: Bruce Pijanowski

Signature:

Date:

Chief Financial Officer Name: Dean Steltzer

Signature:

Date:

Print Form

# Your Request | Preview

Print

Please review your request for completeness and accuracy.



[Print](#)[Back](#)

## Organization Information

Name	Street Address 1	Street Address 2	City, State Zip
Delaware Police Department	70 North Union Street		Delaware, Ohio 43015

## Details

[Edit](#)

### Law Enforcement Agency

<b>Law Enforcement Agency:</b>	Delaware Police Department	<b>Agency Type:</b>	Police Department
<b>Address:</b>	70 North Union Street Delaware, Ohio 43015	<b>County:</b>	Delaware

### Law Enforcement Chief Executive Officer Information

<b>Chief Executive Officer:</b>	Bruce Pijanowski	<b>Job Title:</b>	Chief
<b>Chief/Sheriff E-mail:</b>	bpijanowski@delawareohio.net	<b>Chief/Sheriff Phone:</b>	(740)203-1103

### Law Enforcement Chief Financial Officer Information

<b>Chief Financial Officer:</b>	Dean Steltzer		
<b>Chief Financial E-mail:</b>	dstelzer@delawareohio.net	<b>Chief Financial Phone:</b>	(740)203-1100

### Drug Use Prevention Program Point of Contact Information

<b>Program Contact:</b>	Adam Moore		
<b>E-mail:</b>	amooore@delawareohio.net	<b>Phone:</b>	(740)203-1109

### Drug Use Prevention Program Information

<b>Classified Level</b>	Elementary
<b>Elementary School Programs</b>	DARE - Keeping It Real
<b>Middle School Programs</b>	
<b>High School Programs</b>	

### Funding Information

<b>Prior Funding?</b>	Yes	<b>Previous Grant #</b>	2014DUP212162
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## Essays

[Edit](#)

### Drug Use Prevention Program Description

**Program Description:**

School Resource Officers Hartman and Lucas will present the "DARE KEEPIN IT REAL PROGRAM" 10 week elementary school curriculum to the 5th grade students in the Delaware City School District.

### OTC/Rx Drug Abuse Program Description

**Project Description:**

School Resource Officers Hartman and Lucas will present the "DARE OTC/RX DRUG ABUSE PROGRAM" curriculum to the 5th grade students in the Delaware City School District.

## Budget

[Edit](#)

### Peace Officer Applicant Information

Officer Type	Name	Base Wage	Estimate Hours	Requested DUP Funding
DARE and SRO	John Hartman	\$34.87	96	\$1,673.76
DARE and SRO	Larry Lucas	\$34.87	96	\$1,673.76
<b>Total Amount Requested</b>				<b>\$3,347.52</b>

**Amount Requested for Funding:**

\$3,347.52

**Submit your Request**

Your request is complete but has not yet been submitted.

[Click Here to Submit](#)



## FACT SHEET

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AGENDA ITEM NO: CONSENT ITEM B      DATE: 8/10/15  
ORDINANCE NO:                                      RESOLUTION NO: 15-40  
READING: FIRST                                      PUBLIC HEARING: NO

---

TO:                      Mayor and Members of City Council  
FROM:                  R. Thomas Homan, City Manager  
VIA:                      Bill Ferrigno, Public Works Director/City Engineer

---

**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

A RESOLUTION ACCEPTING THE IMPROVEMENTS FOR THE ESTATES AT BRAUMILLER, SECTION 5.

**BACKGROUND:**

This resolution conditionally accepts the now completed public improvements consisting of streets, water distribution, sanitary sewer and stormwater drainage for Estates at Braumiller Section 5, except for the installation of lighting. A one year performance bond has been posted for the lighting, covering expense necessary to repair work due to deficiencies or failure of materials or workmanship.

**REASON WHY LEGISLATION IS NEEDED:**

This legislation is required in order to provide conformance to city code and publicly accept the infrastructure for the development prior to allowing a final plat to be recorded. The recording of the plat allows the creation of lots upon which home construction can begin.

**COMMITTEE RECOMMENDATION:**

N/A

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

Bill Ferrigno, Public Works Director/City Engineer

**RECOMMENDATION:**

Approval

**ATTACHMENT(S):**

Summary Report





CITY OF DELAWARE, OHIO  
PUBLIC WORKS DEPARTMENT

MEMORANDUM

TO: David Efland, Planning Director

FROM: William L. Ferrigno, P.E., Public Works Director, City Engineer

CC: Brad Stanton, Director of Public Utilities

SUBJECT: Recommendation for Acceptance of Public Improvements for Estates at Braumiller Section 5

DATE: 8/10/15

---

Estates at Braumiller Section 5 is the fifth section of the 176 lot, 61.1 acre residential subdivision located on the southeast side of Delaware, Ohio. Section 5 includes 20 single family residential lots on 6.22 acres of ground. Construction for this project commenced in March and was recently completed.

All utilities including storm sewer, sanitary sewer, waterlines, and roadways were constructed in accordance with current city engineering specifications and are in consideration to be publicly owned and operated. All utility lines and roadways have been inspected and found to be in acceptable condition by the Public Works Department, Division of Engineering Services. The estimated value of new public improvements totals \$ 286,762.20 and in accordance with City Codified Ordinance Section 1111.06, a two year maintenance bond has been posted by the developer, Rockford Homes which would cover the expense of necessary repair work due to deficiencies or failure of materials or workmanship. Also, a one year performance bond has been posted, which covers lighting yet to be installed and tested. The developer has paid all required plan review and construction inspection fees. Upon your satisfaction that all non-engineering related requirements have been completed as specified in the approved subdivision plans or other written commitments, we recommend acceptance of public improvements by the City.

mls

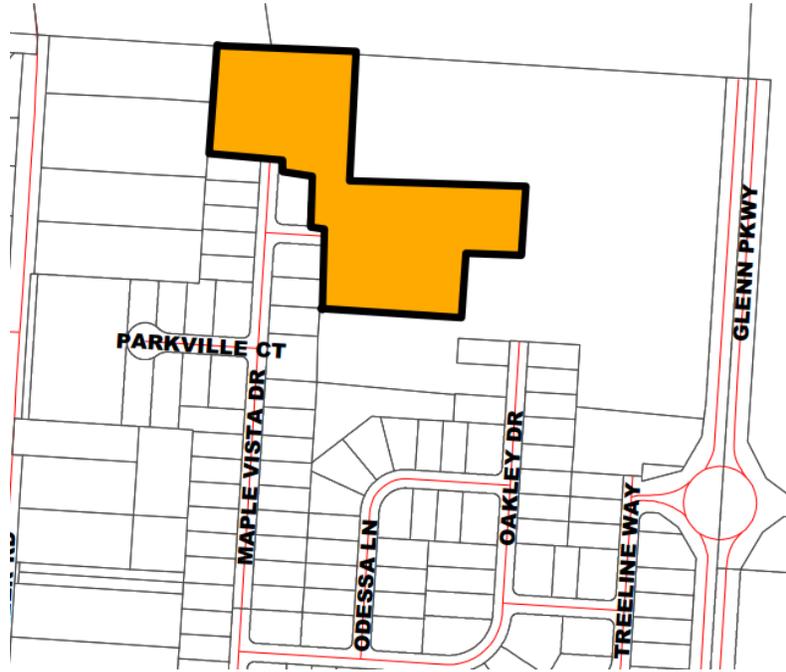
Attachments

CC: Public Improvements Ordinance File  
Estates @ Braumiller Section 5 Project File

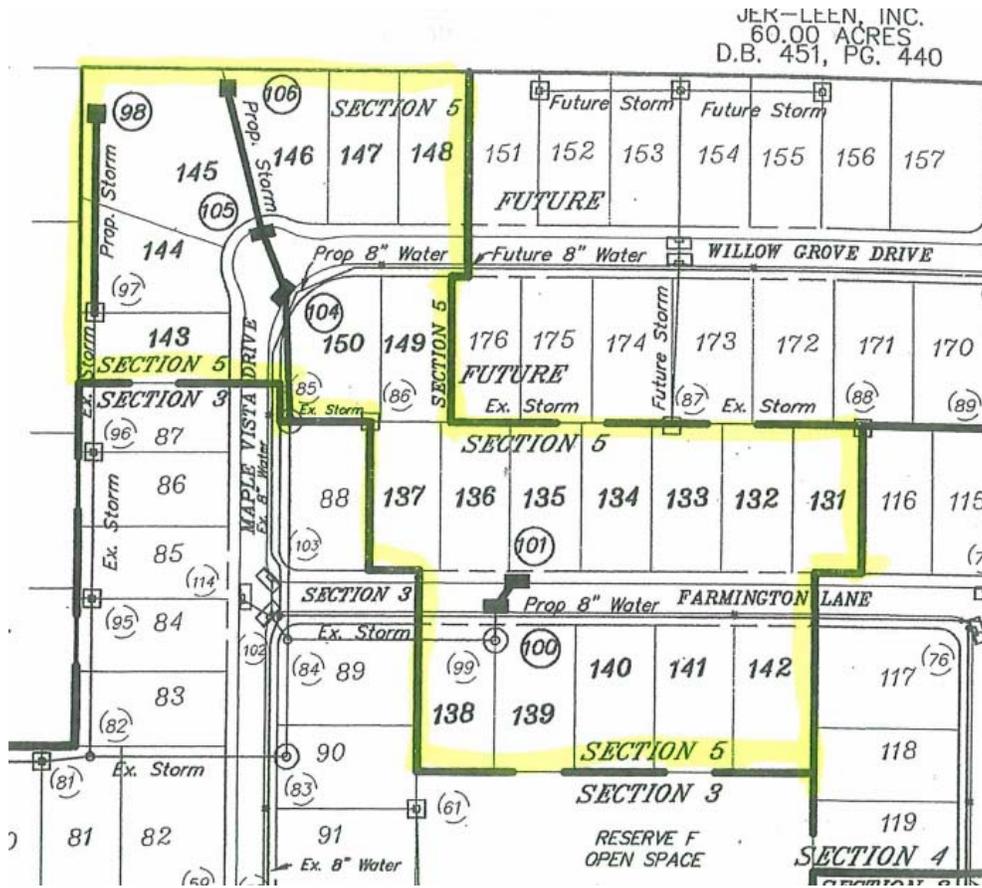
**MATERIAL QUANTITY REPORT**

<b>PROJECT: Estates at Braumiller Section 5</b>			<b>PC #: 2014-1379</b>
<b>OWNER/DEVELOPER: Rockford Homes</b>		<b>CONTRACTOR: Seals Construction</b>	
<b>DESCRIPTION: 20 Single family lots on 6.22 acres</b>			<b>API ORD.#:</b>
<b>TOTAL UTILITY COST: \$ 286,762.20</b>			<b>ENG #: 14-013</b>
<b>SANITARY SEWER</b>			
MANHOLES	1 EA		
SERVICE TAPS	11 EA	6" Wyes	
6-Inch			
8-Inch	385 LF	SDR-35	
10-Inch			
12-Inch			
15-Inch			
18-Inch			
21-Inch			
OTHER			
MISCELLANEOUS			
			<b>\$37,520</b>
<b>WATER SERVICE</b>			
SERVICE TAPS	16 EA	¾" 'K' Copper	
MAIN TAPS			
HYDRANTS W/Valve	1 EA	W/6" Valve	
6-Inch Valve	1 EA		
8-Inch Valve	1 EA		
12-Inch Valve			
16-Inch Valve			
6-Inch Dip	3 LF		
8-Inch Dip	560 LF		
10-Inch Dip			
12-Inch Dip			
16-Inch Dip			
MISCELLANEOUS			
			<b>\$ 43,719</b>

<b>STORM SEWER</b>			
MANHOLES			
CATCH BASINS	2 EA		
CURB INLETS	4 EA		
DET/RET BASIN			
12-Inch RCP	448 LF	Class C	
15-Inch RCP	125 LF	Class B	
18-Inch RCP			
21-Inch RCP			
24-Inch RCP			
27-Inch RCP			
30-Inch RCP			
36-Inch RCP			
42-Inch RCP			
48-Inch RCP			
HEADWALLS			
ROCK CHANNEL			
			<b>\$ 28,420.42</b>
<b>ROADWAY</b>			
24'-0 ROAD	725 LF		
28'-0 ROAD			
32'-0 ROAD			
2'-0 CURB	1449 LF		
BIKEPATH			
SIDEWALK			
MONUMENT BOXES	1 EA		
STREET LIGHTS	5 EA		
(+) INTERSECTIONS			
(T) INTERSECTIONS			
CUL-DE-SAC			
STRIPING/SIGNAGE			
			<b>\$ 177,102.78</b>



**Location Map**



**HISTORIC PRESERVATION COMMISSION  
MOTION SUMMARY  
June 24, 2015**

ITEM 1. Roll Call

Chairman Koch called the Historic Preservation Commission meeting to order at 7:00 p.m.

Members Present: Joe Coleman, Erinn Nicley, Sherry Riviera, Councilman Chris Jones, Vice-Chairman Hatten, and Chairman Roger Koch

Members Absent: Kim McMullen

Staff Present: Dave Efland, Planning and Community Development Director and Dianne Guenther, Development Planner

ITEM 2. APPROVAL OF MOTION SUMMARY of the Historic Preservation Commission meeting held on June 11, 2015, as recorded and transcribed.

**Motion:** Mr. Coleman moved to approve the Motion Summary of the Historic Preservation Commission meeting held on June 11, 2015, as recorded and transcribed, seconded by Ms. Riviera. Motion approved by a 4-0-2 (Hatten, Jones) vote.

ITEM 3. REGULAR BUSINESS

- A. HPC 2015-0411: A request by the Delaware County Board of Commissioners for a Certificate of Appropriateness for the proposed new County Courthouse Building located at 110 North Sandusky Street and adjacent parcels, which are zoned B-2 (Central Business) District and R-2 (Single-Family Residential) District and located in the Transitional Sub-District of the Downtown Historic District Overlay

Mr. Efland provided a presentation that included the location map, zoning map, site location, and aerial photographs.

**APPLICANT:**

John Melvin, Facilities Director  
Delaware County  
1405 U.S. Route 23 North  
Delaware, Ohio

Tom Potts, Principal  
Silling Associates  
405 Capitol Street

Charleston, West Virginia

Jody S. Driggs, Principal  
Silling Associates  
405 Capitol Street  
Charleston, West Virginia

Michael Moore, Business Development Director  
Silling Associates  
405 Capitol Street  
Charleston, West Virginia

Mr. Potts discussed the design principles and the complimentary materials to be used to the Hayes Building as well as looking at an Italianate architectural style. Mr. Potts referenced photos of existing courthouse and sketches of the existing Hayes Building.

Mr. Potts reviewed the site plan, which included the projected layout of the parking spaces.

Mr. Potts provided examples of the elevations of the proposed County Courthouse Building Expansion and the proposed building materials for the façade. Mr. Potts indicated their intentions to match the color from the brick, cast stone, and window frames from the Hayes Building to the new County Courthouse Building.

Mr. Potts discussed the changes from the renderings that were presented June 11, 2015 meeting compared to the new renderings.

Mr. Melvin discussed the timeline and main factors for the projected schedule completion date. Mr. Melvin discussed the desire to lock into a rate before any increases for the funding with a general revenue bond, and that there will be a domestic relations judge to take office in January of 2017.

Mr. Koch reviewed the architectural standards for the City of Delaware that requires new construction to be visually compatible to surrounding areas.

Ms. Riviera discussed concerns regarding the building design being too modern.

Mr. Jones voiced his concern over the use of cast stone in the main entryway of the building and how salt use during inclement weather can cause deterioration.

PUBLIC PARTICIPATION:

Mark Schluetz  
445 N. Sandusky St.  
Delaware, Ohio

Benny Shoults  
176 W. Lincoln Ave.  
Delaware, Ohio

Mr. Schluetz discussed the potential use of cast stone for sun shades instead of the projected aluminum material.

A discussion was held on the need for the design to follow the architectural standards that were set and on the Commission's roles and responsibilities to uphold the standards.

Mr. Efland provided the applicant with information on options to proceed forward including the option to file an appeal if the Certificate of Appropriateness is denied.

Mr. Potts requested that a straw poll be taken in which members agreed. The straw poll reflected three members in favor of the plan, and three members that oppose the plan.

Mr. Hatten recommended that the Commission table 2014-0411 to allow for the applicant to make changes and submit the changes electronically to provide time for comments and revision before the next meeting.

Mr. Koch granted the request of the applicant for a break to discuss their options at 9:10 p.m. Mr. Koch reconvened the meeting at 9:15 p.m. Mr. Potts stated their plans to pursue changes and notify the Commission through electronic submission.

**Motion:** Vice-Chairman Hatten moved to table 2014-0411, seconded by Mr. Coleman. Motion approved by a 6-0 vote.

#### ITEM 4. COMMISSION MEMBER COMMENTS AND DISCUSSION

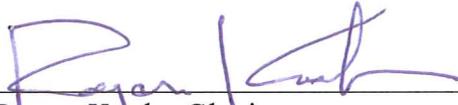
Mr. Nicley voiced his concern over the unexcused absence of Ms. McMullen. Mr. Efland informed the Commission of the process to inform members of upcoming meetings. Mr. Jones will discuss this concern with Mayor Riggle.

Mr. Jones indicated that he will be unavailable from July 13, 2015 to the end of the month due to a required training program for his employment.

ITEM 5. NEXT REGULAR MEETING: July 22, 2015

ITEM 6. ADJOURNMENT

**Motion:** Vice-Chairman Hatten moved to adjourn the meeting, seconded by Mr. Nicley. The Historic Preservation Commission meeting adjourned at 9:34 p.m.

  
\_\_\_\_\_  
Roger Koch, Chairman

  
\_\_\_\_\_  
Elaine McCloskey, Clerk

**SHADE TREE COMMISSION**  
**June 23, 2015**  
**MOTION SUMMARY**

ITEM 1. Roll Call

Chairman Carey called the meeting to order at 7:00 p.m.

Members Present: Jim Buck, Tom Glissman, Tom Wolber, Councilmember Joe DiGenova, Vice-Chairwoman Susan Wright, and Chairman Dave Carey.

Members Absent: Brenda Hendricks, Amanda Mowry, Paul Olen, Juliette Rike.

Staff Present: Doug Richmond (City Arborist) and Linda Mathews (Customer Service Liaison).

**Motion to Excuse:** Councilmember DiGenova moved to excuse Ms. Hendricks, Ms. Mowry, Mr. Olen, and Ms. Rike, seconded by Vice-Chairwoman Wright. Motion approved by a 6-0 vote.

ITEM 2. APPROVAL OF MOTION SUMMARY of Shade Tree Commission meeting of May 26, 2015 as recorded and transcribed.

**Motion:** Vice-Chairwoman Wright moved to approve the Motion Summary for the May 26, 2015 meeting, seconded by Mr. Wolber. Motion passed by a 6-0 vote.

ITEM 3. PUBLIC COMMENTS

ITEM 4. UPDATE of Tree Stewardship Program

Chairman Carey provided an update on the recent Home Owners Association Block Party that was held for Cheshire Crossing. Chairman Carey voiced a concern regarding home owner's liability and responsibilities as outlined in the deed restrictions. Mr. Richmond informed the Commission that he was informed by city staff that city ordinances come before Home Owner Association guidelines. Discussion held on the neighborhood residents participate in the Cost Share Program that is provided by the City of Delaware.

Discussion was held on volunteers that have expressed interest in the Tree Stewardship Program, and how many sets of tools will be available during the scheduled events.

Chairman Carey recommended passing out educational material while pruning. Mr. Richmond informed the Commission that there is already

literature available to be handed out. Discussion held on the first event date, with a tentative date of July 25, 2015 scheduled for Cheshire Crossing.

#### ITEM 5. ARBORIST REPORT

Mr. Richmond reviewed the monthly summary and activity completed for June 2015. Mr. Richmond informed the Commission that 18 trees were removed due to mortality issues, and 26 stumps were grounded out. Information was provided on tree maintenance. Discussion held on the mortality rate of the Zelkova trees that were obtained from a single nursery, and that the supplier has issued a full refund for these trees.

Mr. Richmond discussed with the Commission the increased growth of development in the City of Delaware which has an impact on the projected growth for the tree population of 25% in the next five years.

Mr. Wolber voiced a concern regarding the necessity of the street trees on Cobblestone Drive for the installation of a stop sign. Mr. Richmond explained to the Commission that he observed the three trees in question and recommends that only two trees be removed to increase safety and visibility. Mr. Richmond explained that the trees will be replaced in other locations by the City of Delaware.

Chairman Carey questioned if Mr. Richmond would like to review the tree palate. Mr. Richmond voiced the preference to review the current list. Chairman Carey plans for the review to take place at the July meeting.

#### ITEM 6. STAFF COMMENTS

Ms. Mathews reviewed the customer service requests that were received.

#### ITEM 7. MEMBER COMMENTS

Mr. DiGenova informed Council that he will be on a scheduled vacation for the July 28, 2015 Shade Tree Commission meeting.

Mr. Wolber provided articles to the Commission for reading.

Chairman Carey discussed the need to take a list of suggested and recommended trees to plant at public events to help provide knowledge to the public.

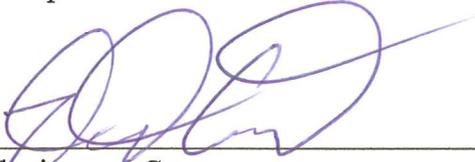
#### ITEM 8. PLAN REVIEWS

- A. Heatherton Phase 5- Informational only
- B. Smith Elementary School-Plans approved with suggested changes

C. Glenross North-Plans approved as submitted

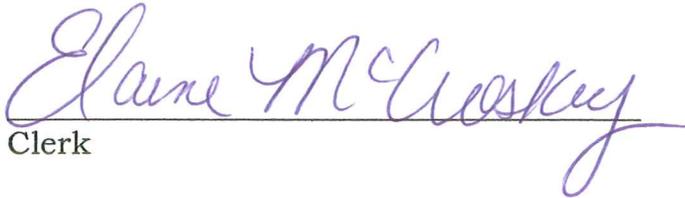
ITEM 9. ADJOURNMENT

**Motion:** Mr. DiGenova motioned to adjourn the meeting, seconded by Vice-Chairwoman Wright. The Shade Tree Commission meeting adjourned at 8:11p.m.



---

Chairman Carey



---

Clerk

**PLANNING COMMISSION  
MOTION SUMMARY  
JULY 1, 2015**

ITEM 1. Roll Call

Chairwoman Lisa Keller called the meeting to order at 7:05 p.m. in the Moses Byxbe Room at Mingo Park.

Members Present: George Mantzoros, Jim Halter, Colleen Tucker-Buck, Adam Lemke, Dean Prall, Vice-Chairman Stacy Simpson and Chairwoman Lisa Keller

Staff Present: Jennifer Stachler, Assistant City Engineer, Dave Efland, Planning and Community Development Director, and Lance Schultz, Zoning Administrator

ITEM 2. Approval of the Motion Summary of the Planning Commission meeting held on June 3, 2015, as recorded and transcribed.

**Motion:** Mr. Halter moved to approve the Motion Summary for the June 3, 2015 meeting, seconded by Vice-Chairman Simpson. Motion passed by a 6-0-1 (Prall) vote.

ITEM 3. REGULAR BUSINESS

A. Smith Elementary School

- (1) 2015-1051: A request by Delaware City Schools for approval of a Conditional Use Permit for an Addition, Renovation and Site Improvements for Smith Elementary School on approximately 3.40 acres zoned R-3 (One-Family Residential District) and located at 355 North Liberty Street.
- (2) 2015-1052: A request by Delaware City Schools for approval of a Combined Preliminary and Final Development Plan for an Addition, Renovation and Site Improvements for Smith Elementary School on approximately 3.40 acres zoned R-3 (One-Family Residential District) and located at 355 North Liberty Street.

**Anticipated Process**

a. Staff Presentation

Mr. Schultz provided a presentation that included information on the proposed site plan, access to the site, and new entrance locations. A discussion was held on the buffering and landscaping plan adjacent to the neighbors. Mr. Schultz reviewed the building elevations and conditions for approval.

b. Applicant Presentation

APPLICANT:

Larry Davis  
149 Westwood Avenue  
Delaware, Ohio 43015

Mr. Davis provided information and location on the addition for school age child care center. Mr. Davis provided information on the estimated growth of the student population.

- c. Public comment (public hearing)
- d. Commission Action

**Motion:** Vice-Chairman Simpson moved to approve 2015-1051 along with all staff recommendations and conditions, seconded by Mr. Lemke. Motion approved by a 7-0 vote.

**Motion:** Vice-Chairman Simpson moved to approve 2015-1052 along with all staff recommendations and conditions, seconded by Mr. Lemke. Motion approved by a 7-0 vote.

B. Glenross North Subdivision

- (1) 2015-1054: A request by Vincent Romanelli for approval of a Rezoning Amendment from A-1 (Agricultural District) to R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) for Glenross North Subdivision on approximately 100 acres located just east of Glenn Parkway and north of The Glenross Golf Club.
- (2) 2015-1055: A request by Vincent Romanelli for approval of a Conditional Use Permit allowing the placement of a PMU (Planned Mixed Use Overlay District) to be established for Glenross North Subdivision on approximately 100 acres located just east of Glenn Parkway and north of The Glenross Golf Club.
- (3) 2015-1056: A request by Vincent Romanelli for approval of a Preliminary Development Plan for Glenross North Subdivision for 196 single family lots on approximately 100 acres located just east of Glenn Parkway and north of The Glenross Golf Club on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District).
- (4) 2015-1057: A request by Vincent Romanelli for approval of a Preliminary Subdivision Plat for Glenross North Subdivision for 196 single family lots on approximately 100 acres located just east of Glenn Parkway and north of The Glenross Golf Club on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District).

**Anticipated Process**

- a. Staff Presentation

Mr. Efland provided a presentation which included aerial photographs of the site location and information on the zoning map. Mr. Efland reviewed the proposed site plan with the three phases for development. Mr. Efland reviewed and discussed the park location and additional open space locations in the plans. Discussion held on the landscape plan and signage at the entrance.

Mr. Prall requested information regarding the fencing requirement around retention ponds along Glenn Parkway.

Mr. Lemke addressed the transition of street names from adjoining neighborhoods. Mr. Efland discussed the transition to occur at marked intersections.

Mr. Halter voiced his concern regarding access of the walking trail to the central park location. Mr. Efland discussed the sidewalk system that will provide access to the park.

b. Applicant Presentation

APPLICANT:

David Fisher  
207 N. Fourth Street  
Columbus, Ohio 43215

Jeff Strung  
5500 New Albany Road  
Columbus, Ohio 43054

Vincent Romanelli  
148 W. Schrock Road  
Westerville, Ohio 43081

Mr. Fisher discussed the use of pillars to assist in wayfinding and to help in distinguishing the neighborhood from the Glenross Golf Club.

Mr. Fisher voiced concerns regarding the central park location and the requirement that the park remain open to the public. Mr. Fisher voiced the concern that homeowners will pay for the maintenance of the park. Mr. Fisher discussed amenities in the park and requested that the Commission consider eliminating the requirement for a basketball court to be placed in this area.

Mr. Efland voiced no concern over the removal of the basketball court, but did explain city policy that the park must be open to the public.

c. Public comment (public hearing)

Tom Bonacuse  
880 Ballater Drive  
Delaware, Ohio

Mr. Bonacuse requested information on tree line and what trees will remain and which trees will be removed. Mr. Efland provided information on location of current mature trees.

d. Commission Action

**Motion:** Mr. Halter moved to approve 2015-1054 along with all staff recommendations and conditions, seconded by Ms. Tucker-Buck. Motion approved by a 7-0 vote.

**Motion:** Mr. Halter moved to approve 2015-1055 along with all staff recommendations and conditions, seconded by Ms. Tucker-Buck. Motion approved by a 7-0 vote.

**Motion:** Mr. Halter moved to approve 2015-1056 along with all staff recommendations and conditions, seconded by Ms. Tucker-Buck. Motion approved by a 7-0 vote.

**Motion:** Mr. Halter moved to approve 2015-1057 along with all staff recommendations and conditions, seconded by Ms. Tucker-Buck. Motion approved by a 7-0 vote.

C. Heatherton Phase 5

(1) 2015-1048: A request by Pulte Homes of Ohio for approval of a Final Development Plan for Heatherton Phase 5 for 44 single family lots on 12.203 acres zoned R-3 PRD (One Family Residential District with Planned Residential District) located south of Benjamin Street and west of Houk Road.

(2) 2015-1049: A request by Pulte Homes of Ohio for approval of a Final Subdivision Plat for Heatherton Phase 5 for 44 single family lots on 12.203 acres zoned R-3 PRD (One Family Residential District with Planned Residential District) located south of Benjamin Street and west of Houk Road.

**Anticipated Process**

a. Staff Presentation

Mr. Schultz provided a presentation that included a map of the location of the site and aerial photographs. Mr. Schultz reviewed the approved Preliminary Development Plan.

Mr. Prall requested information regarding the removal of the dirt mounds. Ms. Stachler informed that the mounds would be cleared in the

next two phases.

b. Applicant Presentation

APPLICANT:

James Barry  
7965 N. High St.  
Columbus, Ohio 43235

c. Public comment (no public hearing)

d. Commission Action

**Motion:** Mr. Mantzoros moved to approved 2015-1048 along with all staff conditions and recommendations, seconded by Mr. Halter. Motion approved by a 7-0 vote.

**Motion:** Mr. Mantzoros moved to approved 2015-1049 along with all staff conditions and recommendations, seconded by Mr. Halter. Motion approved by a 7-0 vote.

ITEM 4. PLANNING DIRECTOR'S REPORT

Mr. Efland provided an update on the City Wayfinding Plan.

Mr. Efland discussed the outcome of the recent Glennross Neighborhood meeting that was held.

ITEM 5. COMMISSION MEMBER COMMENTS AND DISCUSSION

Chairwoman Keller stated that she will be out of town for the August meeting and that Vice-Chairman Simpson will be running the meeting. Chairwoman Keller voiced her concern regarding high weeds along Houk Road and the deteriorating condition of the Rockford signage at the front entrance.

Mr. Mantzoros requested information on the Delaware Place development. Mr. Efland addressed the concern and explained that Miller-Valentine did not receive additional funding at this time.

Mr. Prall provided more information on the Glennross Neighborhood meeting with regards to discussions on the plans for the new fire station.

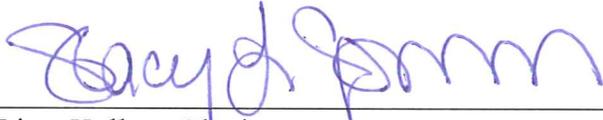
Vice-Chairman Simpson voiced her concern over the lack of lighting on the bike path along Henry Street.

Ms. Tucker-Buck voiced her concern over the lack of lighting on the bike path near Kensington Place.

ITEM 6. NEXT REGULAR MEETING: August 5, 2015

ITEM 7. ADJOURNMENT:

**Motion:** Chairwoman Keller moved for the July 1, 2015 Planning Commission meeting to adjourn. The meeting adjourned at 8:46 p.m.



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Lisa Keller, Chairwoman



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Elaine McCloskey, Clerk



## Delaware Police Department Liquor Permit Report

<b>DPD Report Number</b> L-15-006		<b>Investigating Officer</b> Detective David McQuigg	
<b>Applicant (Primary Shareholder)</b> Monroe Peter Nelson		<b>Company Name (LLC)</b> MOHIO Pizza Co, LLC	
<b>Common Name</b> DBA: MOHIO Pizza		<b>Address</b> 23 N Sandusky St (first floor & basement only) Delaware, Ohio 43015	
<b>Applicant Phone Number</b> 614-496-8422		<b>Applicant E-Mail Address; mohio65@hotmail.com</b>	
<input type="checkbox"/> Existing Business	<b>Type of Business</b> Restaurant/Bar	<b>Notification Type</b> New Permit	<b>Date of Report</b> July 28, 2015
<input checked="" type="checkbox"/> New Business (Supplement Attached)			
<b>Permit Type</b>			
<input type="checkbox"/> C1/C2X Beer only in original sealed container for carry out only. <input type="checkbox"/> C2 Wine and mixed beverages in sealed containers for carry out. <input type="checkbox"/> D1/D2X Beer only for on premises consumption or in sealed containers for carry out. <input type="checkbox"/> D2 Wine and mixed beverages for on premises consumption or in sealed containers for carryout. <input type="checkbox"/> D4 Beer and any intoxicating liquor to members only, for on premises consumption only until 1:00am. <input checked="" type="checkbox"/> D5 Spirituous liquor for on premises consumption only, beer, wine and mixed beverages for on premises, or off premises in original sealed containers, until 2:30am. <input type="checkbox"/> Other			

### Location Information

<b>Churches, Libraries and or schools within 500 feet</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<b>School, church or library objection</b> <input type="checkbox"/> Yes (Supplement Attached) <input checked="" type="checkbox"/> No Note: Objections are only permitted for <i>new permits</i> .
<b>Police Calls for Service in past 12 months: yes</b>	<b>Number of Police Reports in past 12 months: one</b>
<b>Calls for Service excluding calls not related to the business in past 12 months: zero</b>	<b>Location is excessive drain on Police Resources:</b> <input type="checkbox"/> Yes (Supplement Attached) <input checked="" type="checkbox"/> No
<b>Nuisance Abatement Pending</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<b>Accessible by Law Enforcement</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<b>Site compliance checked by Dept. of Commerce</b> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>	<b>Private Club (Restricted Access Door)</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

### Applicant Information

<b>Records Checked</b> <input checked="" type="checkbox"/> Ohio Law Enforcement Gateway <input checked="" type="checkbox"/> Delaware Police Department Database	
<b>Applicant has an active warrant</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<b>Record located for Liquor Law Violation</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<b>Local Record on file</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<b>Criminal History Checked by Dept. of Commerce</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<b>Problem History with DPD</b> <input type="checkbox"/> Yes (Supplement Attached) <input checked="" type="checkbox"/> No	<b>Contact made with Applicant</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

### Determination on Objection

<input checked="" type="checkbox"/> The Delaware Police Department does not find a legislative basis for requesting a hearing to object to the issuance of a liquor permit for this business.
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<input type="checkbox"/> The Delaware Police Department recommends requesting a hearing into the issuance of a liquor permit for this business, due to one or more of the following criteria for objection as set forth by the Ohio Revised Code. <ul style="list-style-type: none"> <li><input type="checkbox"/> Site does not conform to local building, safety and health codes (excluding zoning).</li> <li><input type="checkbox"/> Law enforcement or state agents do not have ready access to the premises where alcoholic beverages are being served.</li> <li><input type="checkbox"/> Physical location causes a public nuisance.</li> <li><input type="checkbox"/> Site has been officially classified as a nuisance according to State Law.</li> <li><input type="checkbox"/> Conviction of a crime by the applicant that relates to operating a liquor establishment.</li> <li><input type="checkbox"/> Past improper operation of a location with a liquor permit.</li> <li><input type="checkbox"/> Misrepresentation of material fact on the application.</li> <li><input type="checkbox"/> Addiction of the applicant to alcohol or narcotics.</li> <li><input type="checkbox"/> Formal objection by specific types of other locations to which the site is in certain proximity.</li> <li><input type="checkbox"/> Conviction of the applicant of food stamp or WIC fraud.</li> </ul> (Supplement Attached)
---



**Delaware Police Department  
Liquor Permit Report**

**Supplement**

**Supplement Type**

- New Business Description**
- Police Department Objection**
- Community Objection**
- Other**

MOHIO Pizza will operate out of the existing location previously known as "Delaware Dog". Owner Monroe Nelson hopes to open his restaurant sometime in November, 2015 barring any unforeseen construction/renovation issues. The new business will function as a restaurant/bar serving pizza; liquor; beer; and wine to patrons on-site. Owner Nelson anticipates operating hours to be Tuesday thru Saturday from approximately 4:00 PM to 10:00 PM, and will adjust these hours to accommodate patron wishes. Nelson does not anticipate operating much beyond 11:00 PM as his emphasis will be more on his menu items as opposed to alcoholic beverages. Nelson included the term "basement" in his liquor permit application as the bulk storage for his existing beer taps are located in the basement; he has clarified that all forms of alcoholic beverages will only be consumed by patrons on the ground floor of the business. Nelson volunteered that he is aware of an unresolved lawsuit involving the previous owners of the building and added that he is not part of this legal issue and does not anticipate it being a problem for him or his business. The location of MOHIO Pizza (23 N Sandusky St) is within 500 linear feet of the William Street United Methodist Church (28 W William St) and I have not received any form of objection from its staff or membership (several liquor permit sites operate far closer to this church than the proposed site of MOHIO Pizza). The proposed location of MOHIO Pizza is beyond 500 feet of the Delaware County Library; Willis Intermediate School; St Mary's Catholic School and Church; St Mark's Lutheran Church; and St Peter's Episcopal Church. One report was generated by DPD in 2014 (case # 14-1907) involving an intoxicated male who sought refuge in the Delaware Dog restroom after being spotted on the sidewalk (no evidence exists in the report to suggest that the suspect in this case was a patron of Delaware Dog, rather the suspect walked into the establishment in an effort to avoid a patrol officer). No other pertinent information exists to form any objections to this liquor permit request.

Det. David Melby      7/28/15  
Investigating Officer Signature      Date

Capt. Allison #5      7/29/15  
Supervisor Signature      Date

NOTICE TO LEGISLATIVE  
AUTHORITY

OHIO DIVISION OF LIQUOR CONTROL  
6606 TUSSING ROAD, P.O. BOX 4005  
REYNOLDSBURG, OHIO 43068-9005  
(614)644-2360 FAX(614)644-3166

TO

6082470		TRFO	MOHIO PIZZA CO LLC DBA MOHIO PIZZA 1ST FL & BSMT 23 N SANDUSKY ST DELAWARE OH 43015
PERMIT NUMBER		TYPE	
02	01	2015	
ISSUE DATE			
07	17	2015	
FILING DATE			
D5			
PERMIT CLASSES			
21	022	B	F14458
TAX DISTRICT			RECEIPT NO.

FROM 07/21/2015 SAFEKEEPING

2024103			DELAWARE DOG LLC DBA THE DELAWARE DOG 1ST FL & BSMT 23 N SANDUSKY ST DELAWARE OH 43015
PERMIT NUMBER		TYPE	
02	01	2015	
ISSUE DATE			
07	17	2015	
FILING DATE			
D5			
PERMIT CLASSES			
21	022		
TAX DISTRICT			RECEIPT NO.



MAILED 07/21/2015

RESPONSES MUST BE POSTMARKED NO LATER THAN. 08/21/2015

**IMPORTANT NOTICE**

PLEASE COMPLETE AND RETURN THIS FORM TO THE DIVISION OF LIQUOR CONTROL  
WHETHER OR NOT THERE IS A REQUEST FOR A HEARING.

REFER TO THIS NUMBER IN ALL INQUIRIES **B TRFO 6082470**

(TRANSACTION & NUMBER)

(MUST MARK ONE OF THE FOLLOWING)

WE REQUEST A HEARING ON THE ADVISABILITY OF ISSUING THE PERMIT AND REQUEST THAT  
THE HEARING BE HELD  IN OUR COUNTY SEAT.  IN COLUMBUS.

WE DO NOT REQUEST A HEARING.

DID YOU MARK A BOX? IF NOT, THIS WILL BE CONSIDERED A LATE RESPONSE.

PLEASE SIGN BELOW AND MARK THE APPROPRIATE BOX INDICATING YOUR TITLE:

(Signature)

(Title)-  Clerk of County Commissioner

(Date)

Clerk of City Council

Township Fiscal Officer

CLERK OF DELAWARE CITY COUNCIL  
1 SOUTH SANDUSKY ST  
DELAWARE OHIO 43015

6082470 PERMIT NBR  
MOHIO PIZZA CO LLC  
DBA MOHIO PIZZA  
1ST FL & BSMT  
23 N SANDUSKY ST  
DELAWARE OH 43015

\*\*\*\*\*

MONROE NELSON

07/17/2015 ACTIVE

CEO

MAN-MBR5%M

PA2-KEY = END SESSION, CLEAR-KEY = END OPTION, ENTER-KEY = TO CONTINUE

Office of the Mayor

# Proclamation

**Whereas:**

the City of Delaware has the

responsibility to recognize occasions of outstanding significance;  
and

WHEREAS, across our city, police officers carry the great responsibility of protecting their fellow citizens with valor and devotion;  
and

WHEREAS, today we pay tribute to Officer Rita Mendel, who retires after fulfilling her duties with courage and commitment in working tirelessly to serve our City for 25 years; and

WHEREAS, Officer Mendel began her career with the Delaware Police Department in 1990 and serves as the Community Relations Officer. In that position, she is responsible for many popular community programs, including Safety Town and the Citizens Police Academy, as well as neighborhood crime prevention initiatives; and

WHEREAS, during her time with the Delaware Police Department, Officer Mendel always endeavored to maintain order, enforce laws fairly and protect the life, peace and property of Delaware citizens.

NOW THEREFORE, I, Carolyn Kay Riggle, Mayor of the City of Delaware, Ohio, do hereby issue this proclamation to honor:

**OFFICER RITA MENDEL**

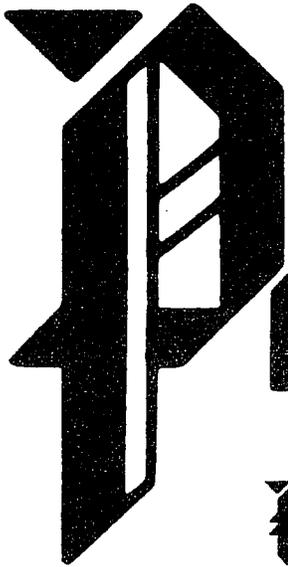
in the City of Delaware, Ohio, and I join with my fellow citizens in thanking Officer Mendel for making our city safer and more secure during a quarter century of service.

IN WITNESS WHEREOF, I have hereunto set my hand and caused to be affixed the seal of the City of Delaware.



---

Carolyn Kay Riggle, Mayor



Office of the Mayor

# Proclamation

**Whereas:**

the City of Delaware has the

responsibility to recognize occasions of outstanding significance;  
and

WHEREAS, on July 24, 2015, Michael Kroner suffered a severe allergic reaction in Seven Springs, Pennsylvania, after being stung by a bee; and

WHEREAS, 14-year-old Delaware resident Evan Lamping was taking part in a nearby family reunion dinner when alerted to the need of an EpiPen; and

WHEREAS, Evan Lamping rushed with his own EpiPen to the aid of Michael Kroner, who was successfully administered the injection procedure; and

WHEREAS, Evan Lamping performed a truly heroic deed that very likely saved the man's life.

NOW, THEREFORE, I, Carolyn Kay Riggle, Mayor of the City of Delaware, Ohio, do hereby issue this proclamation to honor:

**EVAN LAMPING**

in the City of Delaware, Ohio, and express profound admiration and gratitude for his extraordinary actions.

IN WITNESS WHEREOF, I have hereunto set my hand and caused to be affixed the seal of the City of Delaware.

\_\_\_\_\_  
Carolyn Kay Riggle, Mayor



**DELAWARE SISTER CITY ADVISORY BOARD**  
**2<sup>nd</sup> ANNUAL REPORT**  
**AUGUST 1, 2015**

Current Members:	Representing:
Dan Bartha	City Schools
Andrew Brush	City Council
Rand Guebert	Local citizens
Will Kopp	Ohio Wesleyan University
Alejandra Miller	Local citizens
Carolyn Kay Riggle	City Council
Rita Selle-Grider	Local citizens
Erin Teets	Convention & Visitors Bureau
Vacant	Chamber of Commerce

**INTRODUCTION**

The Board had its first meeting in August 2013, and is completing its second year of activity, during which we have had disappointments as well as very positive developments.

During this year we have come to have a better understanding of the significant role that Ohio Wesleyan University has played in the establishment of our relationships with Omutninsk and Baumholder, and is playing now as we discuss new relationships with Arequipa and Sakata.

We have continued to meet on the second Tuesday of each calendar quarter often having a social time with foreign snacks beforehand.

**SECOND YEAR DEVELOPMENTS**

**Baumholder**

Due to the impending closure of the high school in the town of Baumholder we were not able to continue our student exchange in the way we envisioned. In future students from Baumholder will attend either the high school in Kusel or Birkenfeld. Peter Lang, the mayor of the district, will be discussing with each of these schools the potential of an exchange with Hayes in the 2016-2017 school year.

There were also elections during the year. Mr. Lang was previously mayor of both the town and the district. We are in the process of establishing contacts with the new town administration.

The US Army Base in Baumholder will be maintained in future and will host new activities that are being moved from other locations in Europe. There was some concern that the base might be closed.

### **Omutninsk**

During the past year members of the Advisory Board met with older Delaware residents who were involved in establishing the sister city relationship in the 1980's. These meetings led to a renewal of contacts with both old and new contacts in Omutninsk. We have been assisted in this development by Elena Lubenets, a Russian woman living in Worthington, who went to school near Omutninsk as a child.

After being dormant for approximately 8 years it is not clear how this relationship will develop, but it seems that the possibility is there now.

### **Arequipa**

Last October Mayor Riggle wrote to the mayor of Arequipa to open a discussion on becoming sister cities. Patricio Plazolles, who is on the staff of the Woltemade Center at OWU, has been helping us with this contact.

We recently learned that there was a change in the management of the Sister City program in Arequipa and everything was slowed down. We have been advised that things will move forward this summer.

### **Sakata**

During the fourth quarter of 2014, Mayor Riggle and Mayor Honma of Sakata exchanged letters initiating a discussion on becoming sister cities. We invited the city of Sakata to send a representative with the students who will visit Dempsey this coming October.

We have also renewed contacts with Dr, Gary de Coker, a former professor at OWU, who was instrumental in setting up the Sakata school visits which have been going on now for 20 years.

### **Global Scholars Diploma Program**

During the year, Delaware City Schools began discussions with the Columbus Council on World Affairs to offer the supplemental Global Scholars Diploma (GSD) program to students at Hayes High School. These discussions continue and Hayes

plans to start the program with the 2016-2017 school year. This is a voluntary program and will likely start with 30 students who are freshmen or sophomores.

Delaware's sister city program would offer them excellent opportunities for projects, which are part of the GSD. We see real benefits for our Sister City relationships and for Delaware City Schools with this development.

### **Advisory Board Development**

With the help of Lindsey Kerr in Delaware's Economic Development Department, we created a short PowerPoint presentation that can be used in speaking to various groups in the area. We should have more opportunities to talk about our program in the year ahead.

## **THIRD YEAR OBJECTIVES**

### **Baumholder**

1. Host a visit from Jessica Jung, Peter Lang's assistant, in Spring 2016.
2. Identify a new school in the Baumholder area for a student exchange in 2016-2017.
3. Follow the OWU soccer team as they visit Baumholder in summer 2016.

### **Omutninsk**

Further develop our new contacts there, especially focusing on high school teachers and students.

### **Sakata and Arequipa**

Utilize our "Sister City Adoption Criteria and Process" to evaluate whether we can formally adopt a relationship with these two cities.

### **Global Scholars Diploma Program**

Continue to lend our support to the adoption and implementation of this program by Delaware City Schools.

### **Advisory Board Development**

Involve relevant faculty members from OWU and Delaware City Schools with each of our sister cities. Speak to more organizations in Delaware about the Sister City program.

**DELAWARE CITY COUNCIL FACT SHEET**

**ITEM NO.:** 11

**DATE:** 8/10/15

**PUBLIC HEARING:** NO

**READING:** FOURTH

**ORDINANCE NO.:** 15-55

**RESOLUTION NO.:**

**DESCRIPTION:** AN ORDINANCE SUPPLEMENTING THE 2015 APPROPRIATIONS ORDINANCE TO PROVIDE FUNDING TO HIRE A PERMANENT PART-TIME POSITION IN THE FINANCE DEPARTMENT, AND DECLARING AN EMERGENCY.

**DEPARTMENT AFFECTED:**  
**Finance**

**GROUP AFFECTED:**

**FINANCIAL INFORMATION**

**COST:**  
**\$10,442**

**FUND SOURCES:**  
**General**

**BUDGETED:**  
**No**

**RECOMMENDATIONS**

**COMMITTEE:**

**RECOMMENDATION:**

**VOTE:**

**MEETING DATE:**

**STAFF RECOMMENDATION:** Approval

**PRESENTER:** Dean Stelzer, Finance Director

**SUMMARY OF ITEM:**

A part of the consideration of the City participation in the JEDD District with Berkshire Township was discussion regarding the impact on the City (primarily Finance Department) of being the collection source for the new tax and also serving as the fiscal agent for the JEDD Board. The City negotiated a 4% of taxes collected fee to offset our administrative costs. At the time I had recommended that in order to not reduce our current income tax collection efforts, the addition of additional staff capacity in the form of a permanent part-time position would be prudent. We elected not to appropriate the funds for 2015 as the JEDD legislation was subject to a referendum. As the referendum was unsuccessful the JEDD District and associated income tax is moving forward. The JEDD Board would like to begin collecting the tax as soon as possible as construction has begun on the facilities. The amount requested for 2015 represents a part-time position at 30 hours per week for the 6.5 months remaining in 2015. The budget amount for 2016, for a full year, would be about \$21,500.

**ATTACHMENTS:**

**COUNCIL NOTES:**

ORDINANCE NO. 15-55

AN ORDINANCE SUPPLEMENTING THE 2015 APPROPRIATIONS ORDINANCE TO PROVIDE FUNDING TO HIRE A PERMANENT PART-TIME POSITION IN THE FINANCE DEPARTMENT, AND DECLARING AN EMERGENCY.

WHEREAS, the City entered into a Joint Economic Development District (JEDD) contract with Berkshire Township on November 14, 2014, and

WHEREAS, the JEDD Contract calls for the City to enter into a JEDD Income Tax Agreement in which the City agrees to administer, collect, enforce and distribute the JEDD Income Tax and for the City Director of Finance to be the Assistant Treasurer of the JEDD Board assisting in the duties of the Board Treasurer, and

WHEREAS, the JEDD will remit to the City an annual amount equal to 4% of the gross JEDD tax receipts to offset costs incurred by the city to administer the tax and provide financial administrative support to the JEDD Board, and

WHEREAS, previous discussions with City Council prior to entering into the JEDD Contract included the addition of a permanent part-time position in the Finance Department to offset the additional staff time necessary to administer the JEDD Tax and related financial transactions, and

WHEREAS, a supplemental appropriation will be necessary to authorize funding for the new permanent part-time position.

NOW, THEREFORE BE IT ORDAINED BY THE COUNCIL OF THE CITY OF DELAWARE, OHIO THAT:

SECTION 1. That there is hereby appropriated from the unencumbered balance of the General Fund \$10,442 increasing the following accounts:

Finance Department		
Wages	(101-0031-5100)	\$ 8,854
OPERS Pension	(101-0031-5101)	\$ 1,239
Medicare	(101-0031-5103)	\$ 128
Workers Comp.	(101-0031-5104)	\$ 221

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those

formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

SECTION 3. EMERGENCY CLAUSE. That this ordinance is hereby declared to be an emergency measure necessary to provide for the public peace, safety, health and welfare of the City and for the further reason to provide for the timely administration of a recently authorized JEDD District income tax to become effective in less than 30 days and as such will be in full force and be in effect immediately upon its passage.

EMERGENCY CLAUSE:

YEAS\_\_\_ NAYS\_\_\_  
ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2015

YEAS\_\_\_ NAYS\_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR



## FACT SHEET

---

AGENDA ITEM NO: 12

DATE: 8/10/15

ORDINANCE NO: 15-68

RESOLUTION NO:

READING: THIRD

PUBLIC HEARING: **YES**  
**August 10, 2015 6:30 p.m.**

---

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING A REZONING AMENDMENT FROM A-1 (AGRICULTURAL DISTRICT) TO R-2 PMU (ONE-FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED USE OVERLAY DISTRICT) FOR VINCENT ROMANELLI FOR GLENROSS NORTH SUBDIVISION ON APPROXIMATELY 100 ACRES LOCATED JUST EAST OF GLENN PARKWAY AND NORTH OF THE GLENROSS GOLF CLUB.

**BACKGROUND:**

The subject 100 acre site was annexed into the City in February 2015 and is currently zoned A-1 (Agricultural District) as required by the codified ordinances. The developer is proposing single family residential development similar to The Glenross Golf Club which is located just south of the subject property. The proposal would consist of 196 single family lots on approximately 100 acres for a density of 1.96 units per acre. The proposed main access point would be from an existing roundabout on Glenn Parkway and internally the development would connect into the stubbed streets of The Glenross Golf Club subdivision to the south at Silverwood Drive and to the east at Balmoral Drive. Glenn Parkway would not be extended north any further because of this development. The proposed layout is focused on a 7.0 acre central park located in the heart of the development with lots fronting across the street from the active park with amenities. An outer loop street with typical double loaded streets expands out from the central park with smaller loop streets to the east

adjacent to the railroad tracks and to the south connecting into The Glenross Golf Club. The main entrance street from Glenn Parkway would have a retention pond feature on the north side of the street and an open space on the south side of the street (parkland to be combined with the adjacent City owned Glenross Park). A second retention basin is proposed on the extreme northwestern portion of the development along Glenn Parkway. The developer is proposing 196 single family lots with 103 of the lots being 80 x140 (11,200 square feet) and 93 lots being 70 x140 (9,800 square feet). To be consistent with the setbacks of The Glenross Golf Club, the 80 foot lots would require 30 foot front yard setbacks, 10 foot side yard setbacks and 35 foot rear yard setbacks while the 70 foot lots would require 30 foot front yard setbacks, 7.5 foot side yard setbacks (total 15 feet) and 35 foot rear yard setbacks. In addition, the minimum house sizes would be 1,800 square feet for a one-story ranch and 2,000 square feet for a two-story plus 200 square feet per bedroom in excess of two bedrooms. Also to comply with the base zoning code, all the corner lots would be oversized by 30% from the base lot size. The site has 22.4 acres (almost 22.4%) of open space and parkland (14 acres or 62.5% of open space and 8.4 acres or 37.5% of parkland) which achieves compliance.

The applicant has submitted a comprehensive landscaping plan that includes street trees, perimeter landscaping, park landscaping and entrance signage and landscaping which would need to be reviewed and approved by the Shade Tree Commission. A landscape buffer with mounds and trees would span from the north to the south retention basins buffering the adjacent homes from Glenn Parkway and adjacent to the railroad tracks to the east. The main entrance sign located just north of the main entrance would be 5 feet tall and 30.4 feet wide and be constructed of cut limestone with a stone cap with black pin mounted letters identifying the subdivision with the appropriate landscaping and three stone columns flanking each side. The developer is proposing an 8 foot wide asphalt bike path along the length of Glenn Parkway to be consistent with what is constructed today. The development would have to achieve compliance with Chapter 1168 Tree Preservation Regulations and a lighting plan would need to be approved for each phase. The applicant has provided a preliminary phasing plan which indicates the site would be developed in three phases from south to north. Phase I would consist of 68 single-family lots, Phase 2 would consist of 69 single family lots and Phase 3 would consist of 59 single family lots. The property is subject to a pre-annexation agreement.

**REASON WHY LEGISLATION IS NEEDED:**

N/A

**COMMITTEE RECOMMENDATION:**

Planning Commission approved this case 7-0 on July 1, 2015.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval as submitted with the documented conditions.

**ATTACHMENT(S)**

Staff Report





## PLANNING COMMISSION / STAFF REPORT

CASE NUMBERS: 2015-1054-1057

REQUEST: Multiple Requests

PROJECT: Glenross North Subdivision

MEETING DATE: July 1, 2015

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### APPLICANT/OWNER

Vince Romanelli  
148 West Schrock Road  
Westerville, Ohio 43081

### REQUESTS

2015-1054: A request Vincent Romanelli for approval of a Rezoning Amendment from A-1 (Agricultural District) to R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) for Glenross North Subdivision on approximately 100 acres located just east of Glenn Parkway and north of The Glenross Golf Club.

2015-1055: A request Vincent Romanelli for approval of a Conditional Use Permit allowing the placement of a PMU (Planned Mixed Use Overlay District) to be established for Glenross North Subdivision on approximately 100 acres located just east of Glenn Parkway and north of The Glenross Golf Club.

2015-1056: A request Vincent Romanelli for approval of a Preliminary Development Plan for Glenross North Subdivision for 196 single family lots on approximately 100 acres located just east of Glenn Parkway and north of The Glenross Golf Club on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District).

2015-1057: A request Vincent Romanelli for approval of a Preliminary Subdivision Plat for Glenross North Subdivision for 196 single family lots on approximately 100 acres located just east of Glenn Parkway and north of The Glenross Golf Club on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District).

### PROPERTY LOCATION & DESCRIPTION

The subject parcel is located east of Glenn Parkway, west of the railroad tracks and north of The Glenross Golf Club Subdivision. The parcel was annexed into the City in February 2015 and is zoned A-1 (Agricultural District). The zoning to the south and east is R-2 PRD (One Family Residential District with a Planned Residential Development District), to the west is R-2 with text limitations (The Estates at Braumiller) and to the north is FR-1 in the Township.

### BACKGROUND/PROPOSAL

As mentioned above, the subject 100 acre site was annexed into the City in February 2015 and is currently zoned A-1 (Agricultural District) as required by the codified ordinances. The developer is proposing a single family residential development similar to The Glenross Golf Club which is located just south of the subject property. The proposal would consist of 196 single family lots on approximately 100 acres for a density of 1.96 units per acre with 22.4% open space (22.4 acres) and would be developed in three phases. The property is subject to a Pre-Annexation Agreement as attached.

---

### STAFF ANALYSIS

- **ZONING:** Staff recommended and the developer agreed to rezone the property to R-2 PMU (Planned Mixed Use Overlay District) with development text to allow greater flexibility and creativity in the layout of the development, create active and passive open space to be consistent with The Glenross Golf Club R-2 PRD (Planned Residential District Zoning). While there are certain benefits to the Applicant, the PMU Overlay also allows greater control of the development by the City by ensuring the development will be executed to a very specific and high quality standard.
- **LAND USE:** The proposed single-family development is consistent with the Comprehensive Plan recommendation for Low Density Single-Family land use in the "Cheshire Subarea" of the plan. The proposed density of 1.96 units per acres is less than the 2.0-3.25 dwelling units per acre in the Comprehensive Plan.
- **ENGINEERING** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on a technical review by the Engineering Department once a complete plan set is submitted for review. In addition, all

retention ponds should be setback a minimum of 80 feet from the edge of pavement for roads of 35 mph or higher or per the City Engineer. Also, this area is subject to the South East Highland Sanitary Sewer additional capacity fee of \$3,200 per dwelling unit.

- **ROADS AND TRAFFIC:** The proposed main access point would be from an existing roundabout on Glenn Parkway and internally the development would connect into the stubbed streets of The Glenross Golf Club subdivision to the south at Silverwood Drive and to the east at Balmoral Drive. Glenn Parkway would not be extended north any further because of this development. However, the appropriate Glenn Parkway right-of-way is granted by the development per the Pre-Annexation Agreement. All the streets would have to be constructed to public standards and achieve compliance with the minimum engineering requirements. Also, the development is subject to the single family lot transportation fee in effect in this area at the time of building permit issuance (currently the fee is \$1,000).
- **SITE LAYOUT:** The proposed layout is focused on a 7.0 acre central park located in the heart of the development with lots fronting across the street from the active park with amenities. An outer loop street with typical double loaded streets expands out from the central park with smaller loop streets to the east adjacent to the railroad tracks and to the south connecting into The Glenross Golf Club. The main entrance street from Glenn Parkway would have a retention pond feature on the north side of the street and an open space on the south side of the street. A second retention basin is proposed on the extreme northwestern portion of the development along Glenn Parkway while a 2.3 acre open space is proposed along the railroad tracks to the east. A landscape buffer with mounds and trees would span from the north to the south retention basins buffering the adjacent homes from Glenn Parkway and adjacent to the railroad tracks to the east.

The developer is proposing 196 single family lots with 103 of the lots being 80 x140 (11,200 square feet) and 93 lots being 70 x140 (9,800 square feet). To be consistent with the setbacks of The Glenross Golf Club, the 80 foot lots would require 30 foot front yard setbacks, 10 foot side yard setbacks and 35 foot rear yard setbacks while the 70 foot lots would require 30 foot front yard setbacks, 7.5 foot side yard setbacks (total 15 feet) and 35 foot rear yard setbacks. In addition, the minimum house sizes would be 1,800 square feet for a one-story ranch and 2,000 square feet for a two-story plus 200 square feet per bedroom in excess of two bedrooms. Also to comply with the base zoning code, all the corner lots would be oversized by 30% from the base lot size. Furthermore staff recommends all the lots abutting The Glenross Golf Club should be 80 foot wide lots to be consistent with the existing 80 foot wide lots in The Glenross Golf Club. A couple of lots along the southwestern boundary of the subdivision adjacent to The Golf Club at Glenross are less than 80 feet wide and one lot (Lot 194) is perpendicular to rather than parallel with the rear lots in this area which would require a redesign of these lots to achieve compliance with all abutting lots being a minimum 80 feet wide.

- **DESIGN:** As mentioned above, staff recommends the proposed subdivision have similar architectural standards as The Glenross Golf Club for consistency and the applicant has agreed to implement development text that would mirror The Glenross Golf Club architectural standards which are: 1. A uniform mailbox and post with reflective numbers are required; 2. The exterior elevations of each house excluding garage doors, entrance doors, gutters, shutters, downspouts and windows shall consist of brick, stone, cultured stone, stucco, wood siding or fibrous cement siding; 3. All houses shall have a minimum 2 car attached garage; 4. All houses shall have dimensional shingles; 5. All houses shall have a roof pitch of not less than 6/12. In addition, all the houses shall comply with Chapter 1171.08 Residential Development Design Criteria and Performance Standards.
- **PARKLAND AND OPEN SPACE:** The site has 22.4 acres (almost 22.4%) of open space and parkland (14 acres or 62.5% of open space and 8.4 acres or 37.5% of parkland) which achieves compliance with the open space requirements but not the active space open space requirements in base code of 10% of the site or 10 acres (a 1.6 acre shortfall). The 7.0 acre central park (Reserve B) is centrally located and would be programmed with active multi-purpose fields, passive pedestrian walking paths, a tot lot, a gazebo, benches and trash receptacles. The radial park would be constructed in Phase 2 of the development. In addition, the 1.4 acre neighborhood park (Reserve A) located just south of the main entrance would be consolidated with the existing 7.29 acre City owned Glenross Park and shall be maintained by the City. Staff believes the upgrading of the active park amenities would offset the 1.6 acres shortfall of active open space as mentioned above especially as this is a planned development allowing for flexibility and creativity to achieve an overall

better design. The majority of the open space is located in three reserves. Reserve D (12.9 acres) is located adjacent to Glenn Parkway in the form of retention ponds, landscaped mounds, setbacks and entrance features. Reserve E (2.3 acres) is located on the extreme northeastern portion of the development in the form of a 10-12 foot high mound with evergreen trees to buffer the residents from the railroad tracks. The buffering should be at least equivalent to the mounding just south of the development in the Communities at Glenross Subdivision. Reserve C (0.2 acres) connects a public street to the radial central park (Reserve B). Prior to Final Development Plan and Final Subdivision Plat approval the following staff park comments and items need to be addressed: 1. The gazebo shall be enlarged and resemble a pavilion; 2. A basketball court shall be added; 3. A bicycle rack shall be added; 4. A few benches shall be added between the north/south path between the fields; 5. The play structure shall have additional ADA compliant components added to what is shown; 6. Under drains shall be added to the fields and playground area; 7. The playground area shall include a raised border with opening(s) to accommodate ADA access; 8. The swing set structure shall include "U" shaped ends for stability and longevity; 9. Drainage shall be directed away from the pathways and active fields spaces.

- **LANDSCAPING PLAN:** The applicant has submitted a comprehensive landscaping plan that includes street trees, perimeter landscaping, park landscaping and entrance signage and landscaping. The applicant is proposing a minimum 3-6 foot high mound with landscaping adjacent to Glenn Parkway between the two retention ponds and a three rail wood fence stained white adjacent to the retention ponds. Staff recommends a composite fence material because of future maintenance issues. In addition, the applicant is proposing an approximate 4 foot high mound adjacent to the railroad tracks while the development text requires a 10-12 foot high mound to be consistent with mounding the Communities at Glenross Subdivision just south of the subject development. Park landscaping includes street trees in the radial park along the interior street sidewalk and along the east/west walking path. The main entrance sign located just north of the main entrance would be 5 feet tall and 30.4 feet wide and be constructed of cut limestone with a stone cap with black pin mounted letters identifying the subdivision with the appropriate landscaping and three stone columns flanking each side. The evergreen trees shall be a minimum 4 foot high at installation and the deciduous trees shall be a minimum 1.75 inch caliper. The maintenance of the mound and associated landscaping shall be the responsibility of the Homeowners Association. It is imperative that the Applicant coordinate the landscaping plan and street tree plan with the engineering site development plan so that the landscaping does not impeded visibility at intersections or the visibility of any traffic control signs. The Shade Tree Commission would have to review and approve the aforementioned plans.
- **BIKE PATHS AND PEDESTRIAN ROUTES:** The developer is proposing an 8 foot wide asphalt bike path along the length of Glenn Parkway to be consistent with what is constructed today. Sidewalks would be provided on both sides of all public streets in the subdivision and along with a pedestrian path extending eastward from the active park to connect the eastern portion of the subdivision
- **TREE PRESERVATION:** The development would have to achieve compliance with Chapter 1168 Tree Preservation Regulations. The applicant needs to identify all trees (if any) a minimum 6 inches in caliper and identify if they will be saved and removed trees for staff review and approval prior to Final Subdivision Plat approval of the subject phase. There appears to be minimal trees on the site but the existing tree lines along the east and south property lines shall be preserved.
- **LIGHTING PLAN:** A lighting plan would have to be submitted, reviewed and approved by the Chief Building Official and achieve compliance with the zoning code prior to Final Subdivision Plat approval of the subject phase.
- **FIRE DEPARTMENT:** The proposed development would need to be capable of supporting and allowing the full maneuverability of the fire department ladder truck along with complying with all other fire department requirements.
- **PHASING:** The applicant has provided a preliminary phasing plan which indicates the site would be developed in three phases from south to north. Phase I would be located in the southwest quadrant with access from Glenn Parkway and connecting to The Glenross Golf Club through Silverwood Drive to the south and Balmoral Drive to the east and would consist of 68 single family lots. Phase 2 would be located in the center of the development and extend to the railroad track and would consist of 69 single family lots. Phase 3 would

be the northern portion of the development extending from Glenn Parkway to the railroad tracks and would consist of 59 single lots.

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**STAFF RECOMMENDATION (2015-1054 – REZONING)**

Staff recommends approval of a request by Vincent Romanelli of a Rezoning Amendment from A-1 (Agricultural District) to R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) for Glenross North Subdivision on approximately 100 acres located just east of Glenn Parkway and north of The Glenross Golf Club, with the following condition that:

1. Any change of use of or major modification of the plan shall require conformance to all provisions of the Development Text.
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**STAFF RECOMMENDATION (2015-1055 – CONDITIONAL USE PERMIT)**

Staff recommends approval of a request by Vincent Romanelli of a Conditional Use Permit allowing the placement of a PMU (Planned Mixed Use Overlay District) to be established for Glenross North Subdivision on approximately 100 acres located just east of Glenn Parkway and north of The Glenross Golf Club.

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**STAFF RECOMMENDATION – (2015-1056 PRELIMINARY DEVELOPMENT PLAN)**

Staff recommends approval of request by Vincent Romanelli of a Preliminary Development Plan for Glenross North Subdivision for 196 single family lots on approximately 100 acres located just east of Glenn Parkway and north of The Glenross Golf Club on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District), with the following conditions:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
  2. All retention ponds shall be setback a minimum of 80 feet from the edge of pavement for roads of 35 mph or higher or per the City Engineer.
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**STAFF RECOMMENDATION – (2015-1057 PRELIMINARY SUBDIVISION PLAT)**

Staff recommends approval of a request by Vincent Romanelli of a Preliminary Subdivision Plat for Glenross North Subdivision for 196 single family lots on approximately 100 acres located just east of Glenn Parkway and north of The Glenross Golf Club on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District), with the following conditions:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. All retention ponds shall be setback a minimum of 80 feet from the edge of pavement for roads of 35 mph or higher or per the City Engineer.
3. All the lots adjacent to the The Glenross Golf Club shall have a minimum rear yard lot width of 80 feet.
4. Lot 194 shall be eliminated from the plan and plat because its perpendicular to rather than parallel with the rear lots in the The Glenross Golf Club.
5. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
6. The single family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
7. The proposed central park in Reserve B shall be programmed with a tot lot ( play equipment and a swing set), ball fields, gazebo, trash receptacles, etc., prior to approval of the Final Subdivision Plat in Phase 2 and shall be maintained by the Homeowner's Association with an easement dedicated to the City for public use. The exact programing shall be determined and approved with Final Development Plan and Plat reviews for Phase 2.
8. A minimum 3-6 foot high mound with landscaping shall be located along Glenn Parkway between the retentions ponds and a three rail wood fence stained white adjacent to the retention ponds. The



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MEETING DATE: July 1, 2015

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MOTION: \_\_\_\_\_ 1<sup>st</sup> \_\_\_\_\_ 2<sup>nd</sup> approved denied tabled \_\_\_\_\_

CONDITIONS/MISCELLANEOUS:

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FILE:

ORIGINAL:

REVISED: 06/26/15

**GLENROSS NORTH SUBDIVISION  
PLANNED MIXED USE DEVELOPMENT TEXT  
DELAWARE, OHIO**

1. DESCRIPTION OF DEVELOPMENT & RELATIONSHIP TO THE CITY OF DELAWARE COMPREHENSIVE PLAN

The Applicant is proposing a single family residential development, known as Glenross North, consisting of detached single-family homes and public and private park facilities that would connect into the existing City park and bikeway system. As such, the Applicant is seeking an amendment to the City of Delaware Zoning Code to permit the Property to be zoned and developed as an R-2 PMU (One-Family Residential with a Planned Mixed Use Overlay District) from the current existing A-1 (Agricultural District) zoning designation. The Applicant believes that such amendment will provide for the highest and best use of the Property, thereby permitting quality housing stock to be constructed within the City of Delaware. Additionally, as further discussed below, the Applicant believes that such amendment is in accordance with the City of Delaware Comprehensive Plan.

The purpose of this Development Text is to set forth all supplemental information required by the Zoning Code and set forth in textual form certain development standards that will apply to the Property. Accompanying this Development Text is a Preliminary Development Plan and Preliminary Subdivision Plat. All terms and conditions of the Preliminary Development Plan are incorporated in this Development Text by this reference.

The Property consists of approximately 100 acres located east of Glenn Parkway and north of the Glenross Golf Club, being located in the Cheshire Subarea of the City's Land Use Element incorporated in the Comprehensive Plan. The Property has been designated for development as residential housing in the City's Future Land Use Map. The proposed amendment is in keeping with the goals and policies established by the Comprehensive Plan for the following reasons:

- a. The Property will be developed as residential housing as contemplated by the Land Use Element incorporated in the Comprehensive Plan.
- b. The use of the Planned Mixed Use (PMU) Overlay District is consistent with the City's Objectives and Strategies in maintaining a reasonable land use balance to reflect the vision of the Comprehensive Plan. As stated in LU6.7 of the Land Use Element, planned district zoning "should be used as a flexible tool to meet the City's gross density requirements while providing a creative development plan with a mix of units, densities, and housing values within individual developments."
- c. The Comprehensive Plan anticipates supporting residential development in the Cheshire Subarea and encourages mixing densities and unit types, as well as small open spaces to create interest and a sense of place within neighborhoods. See, LU23 of the Land Use Element.
- d. Residential development in the Cheshire Subarea will be served by the Southeast Highland Sanitary trunk line. See, LU23 of the Land Use Element.

- e. The policies set forth in the Comprehensive Plan concerning expansion to the City's waste water treatment system and storm water management system will be implemented in connection with development of the Property.
- f. The policies set forth in the Comprehensive Plan concerning parks and recreational facilities for Delaware residents will be implemented with development of the Property.

In summary, by the amendment to the Zoning Ordinance in connection with the development of the Property as a Planned Mixed Use (PMU) development, the goals and objectives of the Comprehensive Plan will be met. This development will provide the City of Delaware an opportunity to obtain quality housing stock and will preserve in a park like setting approximately 22.4 acres within the subdivision as open space.

## 2. GENERAL DEVELOPMENT STANDARDS

- a. **Purpose and Intent.** It is the intent of this development to provide a residential development with compatible and common architectural design, streetscape, signage, lighting, and pedestrian amenities throughout the entire development. Architectural and site design that is not consistent with this purpose and intent will not be accepted. This Development Text represents the zoning requirements for this area unless otherwise noted.
- b. **Conformance with Codified Ordinances and City Policy.** Unless noted otherwise within this Development Text or the Preliminary Development Plan, all development will be constructed and provided in conformance with the then current Codified Ordinances and City Policy in effect at the time of application.
- c. **Conformance with Pre-Annexation Agreement.** The entire subdivision shall achieve compliance with Pre-Annexation Agreement between the City and the developer
- d. **Limitations.** Nothing in this Development Text shall prohibit additional restrictions or requirements from being placed on the approval of any Final Development Plan consistent with this Development Text or the Preliminary Development Plan.
- e. **Major Modifications.** Once a Final Development Plan has been approved by City Council, any subsequent major modification to that plan shall only be permitted by resubmission and approval of a revised Final Development Plan through the procedures set forth in the Zoning Code. Major modification for the purposes of this Development Text shall mean any modification of the approved Final Development Plan, as determined by the Director of Planning & Community Development, that results in:
  - (1) Any major increase in the number of or change in the type and/or mix of dwelling units or any major increase in the non-residential building area.
  - (2) Major change in the approved location of land uses or land use sub-areas.
  - (3) Substantial alteration of the basic geometry, including right-of-way width, and/or operation characteristics of any element of the approved public and private street pattern, access points, parking facilities, service access, trash storage facilities,

and system of pedestrian paths that results in a change in operating characteristics or character.

- f. **Minor Modifications.** Once a Final Development Plan has been approved by City Council, any subsequent minor modification to that plan shall only be permitted by resubmission and approval by the Director of Planning and Community Development of a revised Final Development Plan. Minor modification for the purposes of this Development Text shall mean any modification of the approved Final Development Plan, as determined by the Director of Planning & Community Development, that results in:
- (1) Any modification that is not considered a major modification by this Zoning Text or by determination of the Director of Planning & Community Development.
  - (2) Any minor increase in the number of or change in the type and/or mix of dwelling units less than 5% in the total number of dwelling units.
  - (3) Minor change in the approved location of land uses or land use sub-areas.
  - (4) Minor alteration of the basic geometry, including right-of-way width, and/or operation characteristics of any element of the approved public and private street pattern, access points, parking facilities, service access, trash storage facilities, and system of pedestrian paths that results in a change in operating characteristics or character.
  - (5) Minor structural alterations that do not alter the overall design intent of the buildings.
- g. **Tree Removal and Replacement.** There do not appear to be many significant trees on the subject site. Qualifying Major Trees as defined under current City of Delaware code shall be replaced as prescribed within the then current code. Every effort shall be made to preserve existing tree rows along the east and south property lines.
- h. **Master Association.** A master homeowners association will be created for the entire development. The master homeowners association shall be responsible for maintenance and upkeep of all Reserves (except Reserve A which shall be dedicated to the City as a public park and the sidewalk adjacent to the park shall be maintained by the HOA), entrance features and common open space located on the Property. Any declaration shall be reviewed and approved by the City prior to the recording of the declaration. By majority vote of the property owners, the association shall be transferred to the homeowners when 75% of the units have received a certificate of occupancy, unless the Developer establishes to the satisfaction of the City Director of Planning and Community Development that less than 75% of the units have been sold to third party buyers, in which event such transfer shall be deferred at the election of the Developer until such time as 75% of the units have been sold to third party buyers.
- i. **Common Open Space.** The common open space (Reserves C, D & E) for the development of the Property shall contain approximately 14 acres. All open space will be owned and maintained by the Homeowners Association for the Development (except Reserve A which shall be dedicated to the City as a public park) subject to all necessary easements and agreements in connection with the overall development of the Property. The identified areas shall satisfy all common open space requirements. All common

open space shall be improved, if improvements are necessary or required, concurrent with the public improvements with the respective phase in which the improvement is located.

- j. **Parkland.** The Parkland (Reserves A & B) required by the Zoning Code shall be satisfied by the dedication of approximately 8.4 acres of land located primarily in the middle of the subdivision (7.0 acres) and just south of the main entrance (1.4 acres) on Glenn Parkway. The City may subsequently grant any covenants, easements, or restrictions to a third party for the purposes of holding the same. Applicant shall grant to the City an easement for a bike path along Glenn Parkway but maintained by the Homeowners Association, as depicted on the Preliminary Development Plan and as designed and constructed by the Applicant. The parkland and bike paths shall be open to the public with signage identifying such. Prior to or concurrent with the submittal of the Preliminary Subdivision Plat, the Applicant shall submit for review and approval a Preliminary Parkland and Open Space Improvement Plan. All public parkland shall be improved, if improvements are necessary or required, concurrent with the public improvements with the respective phase in which the improvement is located. Final plans for improvement shall be submitted concurrent with required phase of development.
- k. **Utilities to be Located Underground.** All new utilities serving the Property shall be located underground. Additionally, and if determined to be economically feasible, any existing utilities that will serve the Property that are located above ground shall be relocated underground. The Applicant and the City shall work together to ensure that any technical and financial information provided by the respective utility company is fair and reasonable. Cell towers, DAS and small cell site(s) applications shall not be allowed with the subdivision and the covenant shall not reflect this.
- l. **Composite Utility Plan Required.** Prior to the installation of any non-City owned utility, a composite utility plan shall be submitted for review and approval by the City. Such plan shall depict the location and type of all non-City owned utilities including the location and type of any above ground pedestal, transformer, meter, cabinet, and other such above ground structures that support the respective utility. Any above ground structure shall be inconspicuously located, dark green in color, and if located in any front yard shall not be higher than 5 feet.
- m. **Removal of Existing Farm Fencing.** Unless demonstrated to the City that such fencing is not in the ownership of the Applicant, all existing farm fencing and barbed wire fencing shall be removed from the site at a minimum on a lot by lot basis.
- n. **Construction Trailers.** Construction trailers shall meet all requirements of the current Zoning Code and shall be removed once construction activity has moved to another phase of the development. For example, once the public improvements have been accepted in Phase 2 any construction trailer located in Phase 1 shall be relocated to Phase 2 provided the respective builder is or will be constructing lots in the subsequent phase.
- o. **Sidewalks and Multi-Use Paths.** Multi-use paths will be constructed and accepted concurrently with the public improvements in which the multi-use path is located. Sidewalks will be constructed concurrently with the construction of a home on each lot.

3. SINGLE-FAMILY STANDARDS

- a. **Uses.** The following uses of the Property shall be considered permitted or conditionally permitted as represented in the chart below by P or C, respectively, and as defined by attached Chapter 1121 of the Zoning Code. Any use not listed in the chart shall be considered a prohibited use unless amended by action of the Planning Commission and City Council through a Zoning Amendment process.
  - (1) **Permitted Uses.** Permitted uses are permitted by-right and shall meet all development standards specified within this Development Text and the Zoning Code, as applicable.
  - (2) **Conditionally Permitted Uses.** In addition to all standards specified within this Development Text, uses listed as conditionally permitted uses shall meet all the then current Zoning Code standards for approval of a Conditional Use Permit current at the time of application for the specific conditional use as well as any other regulations contained within the Zoning Code and applicable to the conditional use.
  - (3) **Accessory Uses and Structures.** Although not specified in the chart below, accessory uses, which are considered allowed uses, include those items that are customarily incidental and secondary to the principal use of the land. Such items include but are not limited to signs, fences, trash receptacles and enclosures, and off-street parking areas.

Land Use Category	Glenross North Uses
<b>(1) Residential</b>	
(1) Detached single-family dwelling	P
(2) Minor home occupation	P
<b>(2) Recreational/Open Space</b>	
(1) Park, playground	P
(2) Non-commercial recreation facility (including homeowner association controlled facilities)	P
<b>(3) Other</b>	
(1) Public Safety & Service facility (local service)	C

- b. **Density of Dwelling Unit Type.** The overall density shall not exceed that approved on the Preliminary Development Plan.
- c. **Lot Standards.** The minimum lot sizes and frontages shall be that depicted on the Preliminary Subdivision Plat.

- d. **Building Setback Standards.** The following standards shall apply for minimum principal building setbacks (including accessory structures attached to the principal structure) based on the type of dwelling unit.

Minimum Building Setbacks*	Glenross North
(a) Front Yard Setback	30 ft.
(b) Rear Yard Setback	35 ft.
(2) Side Yard Setback	
(1) 70 Foot lots	7.5 ft. (total 15 ft)
(2) 80 foot lots	10 ft (total 20 ft)

\*Side and rear yard setbacks shall not apply to minor architectural projections such as eaves, chimneys and bay windows. Such projections may extend 3 feet into the required side yard setback.

- e. **Floor Area Requirements.** Each dwelling unit shall provide for the following minimum floor area, exclusive of basements (unless walk-out units), unfinished attic spaces, garages, and any attached or detached accessory buildings.

- A. One story ranch – 1,800 sq. ft. – plus 200 square feet per bedroom in excess of 2 bedrooms per base code.
- B. Two story – 2,000 sq. ft. – plus 200 square feet per bedroom in excess of 2 bedrooms per base code.

- f. **Maximum Building Height.** The maximum height of any principal building or structure shall be 35 feet as measured from the average elevation of the finished grade at the front of the building to the highest point of the roof.

- g. **Building Design.** Unless otherwise modified within this Development Text, all dwellings shall meet the building design requirements of Chapter 1171, R-2 District standards for detached single-family dwellings.

- (1) To create a cohesive and unified design throughout the entire development yet provide a diversity of housing types each building shall be consistent in overall design, color, material, and architectural pattern and include a similar and/or repeating pattern of design elements such as architectural styles, roof and building massing, window proportion, or other elements as determined through the Final Development Plan review process.
- (2) Representative home elevations (all sides) shall be reviewed and approved by the Planning Commission as part of the Final Development Plan. Minor variations thereafter shall be potentially administratively approvable as written in this Development Text.
- (3) Exterior Material and Trim Standards.

- A. All elevations of the subject house shall be constructed of 100% natural materials excluding foundations, garage doors, entry doors, roofs, gutters, downspouts and windows. Natural materials include brick, stone, cultured stone, wood siding, stucco, SmartSide, fibrous cement siding, or other approved material,.
- B. Trim board around all corners, windows, and doors shall be a minimum of 4 inches all around.
- C. Standing seam metal roofs are encouraged on select architectural elements of front elevations, such as porches or front entrance features but not as a predominant roof system.
- D. EIFS or similar products (excluding stucco) are prohibited as an exterior material.
- E. Frieze trim a minimum of 4 inches wide is required under all overhangs and gables.
- F. All home elevations shall be reviewed and approved by the Director of Planning & Community Development to establish compliance with the Building Design requirements of this Development Text.
- G. All homes will have, at a minimum, dimensional shingles.

(4) Design Standards

- A. Materials on each home shall be varied to provide variety throughout the community.
- B. All front elevations shall include a variety of styles, colors, and/or materials types of materials and shall meet the varied locations requirement of Chapter 1171.
- C. All homes will have not less than a 2 car attached garage.
- D. The principal roof structure on all homes will have a roof pitch of not less than 6/12.
- E. Minimum 8 inch overhangs and rakes.
- F. Lintels and sills in masonry walls shall be brick soldier course, limestone, or sandstone, along with other manufactured stone products.
- G. Although porch railing and column details are encouraged to vary from home to home, porch columns shall have a minimum 6 x 6 inch cross section or diameter.
- H. Treated lumber shall be painted or stained, except when used on outdoor decks.
- I. Where wood burning fireplaces are utilized the exposed chimney shall be faced with brick or stone at a minimum. All direct vent fireplaces shall be located in a side or rear yard and screened from view when visible from a public street.
- J. All homes shall provide an identifiable entry with entry coverings and stoops being a minimum of 3 feet deep or the minimum necessary for building code regulations, which ever is greater. Any porch shall be a minimum depth of 6 feet.
- K. Front elevations shall be designed to de-emphasize the visual impact of the garage. All garage doors facing a public street shall be architecturally upgraded

to include design elements consistent with the design of the home and development including matching the door color to the predominant color of the main structure, incorporate a glass course, add trim packages to give the appearance of stable doors, man doors, hinged swing doors, and other similar architectural elements.

- L. Side elevations shall include multiple windows and design elements that provide visual interest as well as allow light into the unit.
- M. Rear elevations facing a public right-of-way shall have a minimum of two windows.
- h. **Accessory Structures.** Fences (other than decorative fencing along front entrance paths and front porches) are prohibited in any front yard and must meet the standard fence specifications as provided with the Final Development Plan. Privacy fences are prohibited except around spas and hot tubs. Attached decks and patios may extend up to five (5) feet into a required rear setback provided the encroachment does not adversely impact any easement. All other accessory structures shall meet the requirements of the current Zoning Code.
- i. **Landscaping and Screening.** All landscaping shall meet the requirements of the then current Zoning Code and the Gateways & Corridors Plan unless modified herein.
  - (1) All street tree plantings shall meet the requirements and approval process of the Zoning Code unless modified in this Development Text.
  - (2) Street trees shall be a minimum of 1.75 caliper inches as measured at breast height at the time of installation or per City Arborist.
  - (3) Along Glenn Parkway, an earth mound, no less than 3 feet and not more than 6 feet in height as measured from the bike path shall be installed with a mix of deciduous and coniferous plantings providing, at the time of installation, a minimum 60% year round opacity at a combined mound and landscaping height of no less than 10 feet at planting shall be provided. Such mounding shall not interfere with any required sight distance.
  - (4) A typical landscaping plan for each unit type shall be submitted and approved with the Final Development Plan. This typical landscaping shall set forth the minimum amount of required landscaping for each unit type at the time of building of each structure prior to the issuance of a Certificate of Occupancy. Landscaping species may be varied on a permit by permit basis.
  - (5) Ground mounted equipment shall be screened from view using plant materials providing 100% year round opacity. Air conditioning units shall be located in manner that minimizes the view from the public right-of-way.
  - (6) For the purposes of aesthetics and aquatic health, all ponds shall have a fountain/aerator.
  - (7) Along the existing railroad tracks, an earthen mound, no less than 10 to 12 feet high shall be installed with coniferous plantings providing complete screening at a combined mound and landscaping height of no less than 16 feet in a manner

consistent with the mounding to the south in the Communities at Glenross Subdivision. This can be achieved by a soldier course of plantings across the top of the mound leaving sufficient room for trees to grow adequately as approved by the City's urban forester.

- (8) Common HOA landscaping shall be well maintained including regular mowing, trimming, mulching and weeding.
- j. **Pedestrian Connectivity.** Pedestrian connectivity shall be provided throughout the subdivision with stub connections to other sub-areas and future development. Concrete sidewalks shall be provided on both sides of all public streets and multi-use paths of appropriate width and material shall be provided as shown on the approved Final Development Plan per engineering requirements.
- k. **Open Spaces.** Open spaces shall be landscaped and designed in a manner consistent with the overall development. Landscaping and design plans for all open spaces shall be submitted and approved with the Final Development Plan and include, at a minimum, the following:
  - (1) Sidewalks or multi-use paths shall be provided throughout the open space to link the amenities of the open space to the adjacent public sidewalk or pathway network and provide active recreation throughout as approved on the Preliminary Development Plan.
  - (2) Crosswalks leading to open spaces shall be provided and as acceptable by the City Engineer.
  - (3) Amenities such as benches, gazebos, or other such features are encouraged in the open spaces as depicted on the Preliminary Development Plan.
  - (4) All open spaces shall be constructed with the public infrastructure with the respective phase in which the open space is located. Landscaping shall be installed at the first time of year in which it is appropriate to install such plant material provided the acceptance of public improvements occurs during an inappropriate time for planting and the incomplete landscaping is bonded with the City.
- l. **Entry Features and Signs.** With the Final Development Plan, a comprehensive entry feature and signage plan shall be submitted. All signs shall be designed and located in a manner that is appropriate and consistent with the overall design of the Sub-Area. Internally illuminated signs are prohibited, but externally illuminated and backlighting of lettering is permitted.



## Pre-Annexation Agreement For the 100 Acre Lane Annexation

Between the City of Delaware, John Daniel Lane (land owner), and Vincent Romanelli (developer).

Background: John Daniel Lane ("Owner") has filed an expedited Type 2 annexation petition for 100 acres of land they own adjacent to the City ("City"). The land included in the annexation is included in Exhibit A of this agreement. It is the intent of Owner to develop the land for single family residential dwellings by utilizing Vincent Romanelli as developer ("Developer"). The City is a co-applicant in the annexation because there exists a small amount of right-of-way for Glenn Road (approximately 2.4 acres) that is currently outside the municipal corporation and this annexation would bring that area into the City as it is contiguous with the development area.

City Council Resolution No. 14-61 (Exhibit B) established the services that the City will provide to this proposed annexed property should it be finally accepted by the City.

The parties have agreed to the following pre-annexation agreement, which will remain binding on any future owners or developers of the property.

- A. **New Community Authority:** As a condition of annexation and consistent with this agreement, the record land owner at the time of execution shall execute a Declaration of Covenants, Restrictions, and Agreements for placement into a New Community Authority ("Declaration") upon request of the City and as soon as possible concurrent with or immediately after annexation. The Declaration shall become effective upon the property when the land subject to the annexation is rezoned to permit the development as acceptable to the developer and consistent with Items G and H of this agreement. The Declaration shall be immediately filed by the City on the entire property upon approval of initial rezoning requested by the developer after annexation. Should the developer pursue detachment as contemplated in Item II of this agreement, the Declaration shall not be filed by the City and shall become null and void. As property in the annexation area is developed, the property will be placed in a New Community Authority (such as the existing Delaware South New Community Authority or a newly created similar Authority) as designated by the City with a maximum initial millage charge of 7.5. The City will use its best efforts to ensure that similarly situated property is included in a New Community Authority consistent with this agreement and including a charge not less than 7.5 mills.
- B. **Additional Sewer Charge:** Owners and Developer agree to accept an additional charge for the South East Highland Sanitary Sewer of \$3,200 per equivalent dwelling unit. This fee will be paid at the time of building permit issuance. This is in addition to the then current sanitary sewer capacity charge that is paid concurrently with a building permit. This charge is required of all property tapping into the capacity of the SE Highland Sanitary Sewer Main. No structures or home lots shall be placed over the easements in place for this utility as approved through the platting and development planning processes required of this site.

- C. **Right of Way:** The Owners and Developer agree to dedicate free of charge their portion of the necessary right-of-way for future Glenn Parkway extension fronting upon their property as well as any temporary construction easements as required by the City . The right-of-way shall be established and dedicated to the City with the first final plat of the proposed subdivision. Future developments in the area will have similar requirements and may be required to construct part or all of the contemplated improvements described above. The conceptual right-of-way to be provided is attached as Exhibit C, though the parties recognize that the exact area required may change and is subject to an approved environmental study, final alignment, and right-of-way being certified by the City as required.
- D. **Roadway Access:** The City conceptually plans for a two-phase approach for the northward extension of Glenn Parkway from its current terminus north of Sycamore Lane, to its eventual connection at Curve Road. Initially, Glenn Parkway is conceived to be constructed with an at-grade alignment across the Norfolk Southern railroad tracks near Berlin Station Road. Exhibit 'C' shows two possible conceptual alignments under consideration to make this connection. Exhibit 'C' also shows the conceptually proposed future grade separated crossing alignment over the railway. The grade separation will be a necessary improvement at the point in the future where both increased highway and rail traffic are in conflict with maintaining acceptable levels of service along Glenn Parkway. The Delaware County Engineer will also be a necessary part of the review and approval process regarding access to and any improvements on Berlin Station Road and any future grade separated railroad crossing. Any development planning shall account for this approach understanding that changes to final alignment of future roads are anticipated and are shown as concept only at this time.

It is the City's intention to construct Glenn Parkway from the current northern terminus (north of Sycamore Lane) northward to Berlin Station Road at a point in time when it is deemed a necessary transportation improvement and funds are both available and appropriated by City Council, unless alternate non-city funding is identified and secured for the project or the project is advanced by a private sector developer at their cost. Should State or Federal Funding be secured for either the highway improvements, any regulations or requirements for those funds will be in addition to any requirements contained within this agreement.

- E. **Transportation Fee:** Owners and Developer agree to an additional per dwelling unit transportation fee of \$1,000. This fee will be paid at the time of building permit issuance and will be used by the city at its sole discretion to account for southeast area needed transportation improvements as a result of development in the area. This is consistent with other approved area developments and the city will use its best efforts to ensure that future similar residential developments in the area are subject to not less than the same charge.
- F. **Future Utility/Roadway Extensions:** With the exception of items contained within this agreement, any other needed utility or roadway extensions will be the responsibility of the developer as the property develops pursuant to the City's development review process, regulations, and policies in effect at the time of application.
- G. **Zoning:** Upon completion or concurrent with the annexation, the area will be rezoned to A-1 Agricultural Zoning, unless a complete zoning amendment application is received, processed, and approved prior to or concurrent with the annexation. Any future development will require the owner to file a zoning amendment request and follow all required processes. Requests will be reviewed on a case-by-case basis and must be consistent with the City Comprehensive Plan and

City policies in effect at the time the zoning amendment application is submitted. Formal Development Planning, Platting, and Conditional Use Permits may also be required depending upon the exact nature, scope, scale, and proposed development to be determined by City Staff at the time of application per the normal and customary development process and regulations in effect at the time of application. A conceptual plan is also attached as **Exhibit D**, and is used for illustrative purposes only to show one of several possible plans, uses, layouts for the acreage, and required roadway network connections to the south, east and future stub to the north. No development rights are conveyed, nor implied, by this concept plan. The area is expected to go through the normal and customary development review and zoning amendment process as contained within the city of Delaware code and consistent with past practices. Currently, the Comprehensive Plan dictates Low Density Single-Family Development for the entire proposed annexation area with a density range of 2-3.25 dwelling units per gross acre.

H. **Detachment and de-annexation:** The first rezoning application shall be for the entire annexation area. If the Owner does not receive zoning approvals they deem acceptable for the first rezoning application for the entire annexation area, the Owner may pursue detachment from the City per the processes outlined in the Ohio Revised Code and the City will cooperate and not be in opposition to any such proceeding brought by the Owner to detach and de-annex the property from the City. If the first rezoning application does not include the entire area or a future application seeks to rezone any portion of the annexed area after an initial zoning application for the entire annexation area has been filed, approved by the City, and accepted by the Owner, the City will not cooperate in any such detachment and de-annexation proceeding.

The undersigned representatives of the Owner, City, and Developer agree to this Pre-Annexation Agreement this \_\_\_\_\_ day of \_\_\_\_\_, 2015 by and between:

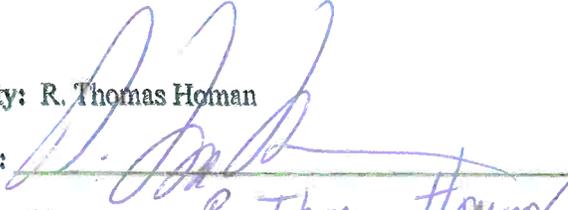
John Daniel Lane, Owner

R. Thomas Homan, City

Vincent Romanelli, Member

The undersigned representatives of the City agree to this Pre-Annexation Agreement between John Daniel Lane (Owner), R. Thomas Homan (City), and Vincent Romanelli (Member) for the approximately 100 Acre Lane Annexation.

City: R. Thomas Homan

By: 

Print Name: R. Thomas Homan

Title: City Manager

State of Ohio )

) ss:

County of Delaware

Before me, a notary public, in and for said county and state, personally appeared R. Thomas Homan, the City Manager and duly authorized representative of the City of Delaware, who acknowledged to me that he did execute the foregoing instrument on behalf of the City of Delaware.

IN TESTIMONY WHEREOF, I have subscribed my name and affixed my official seal this 20 day of February 2015.

  
Notary Public

MICHELE A. KOHLER  
Notary Public, Ohio  
My Commission Expires August 23, 2017

The undersigned representatives of the Developer agree to this Pre-Annexation Agreement between John Daniel Lane (Owner), R. Thomas Homan (City), and Vincent Romanelli (Member) for the approximately 100 Acre Lane Annexation.

Developer: Vincent Romanelli

By: *Vincent Romanelli*

Print Name: Vincent Romanelli

Title: Member DEVELOPER

State of Ohio )

) SS:

County of Franklin )

Before me, a notary public, in and for said county and state, personally appeared Vincent Romanelli, Member and duly authorized representative of the Developer, who acknowledged to me that he did execute the foregoing instrument on behalf of the Developer.

IN TESTIMONY WHEREOF, I have subscribed my name and affixed my official seal this 19 day of February, 2015.



KRISTINE LOUGHRY  
NOTARY PUBLIC, STATE OF OHIO  
My Commission Expires 2/6/2017

*Kristine Loughry*

The undersigned representatives of the Owner agree to this Pre-Annexation Agreement between John Daniel Lane (Owner), R. Thomas Homan (City), and Vincent Romanelli (Member) for the approximately 100 Acre Lane Annexation.

Owner: John Daniel Lane

By: *John Lane*

Print Name: John Lane

Title: Land Owner

State of Ohio )

County of Franklin )



Jullanna Doran  
Notary Public, State of Ohio  
My Commission Expires 02-28-2017

Before me, a notary public, in and for said county and state, personally appeared John Daniel Lane, the Land Owner, who acknowledged to me that he did execute the foregoing instrument on behalf of the Land Owner.

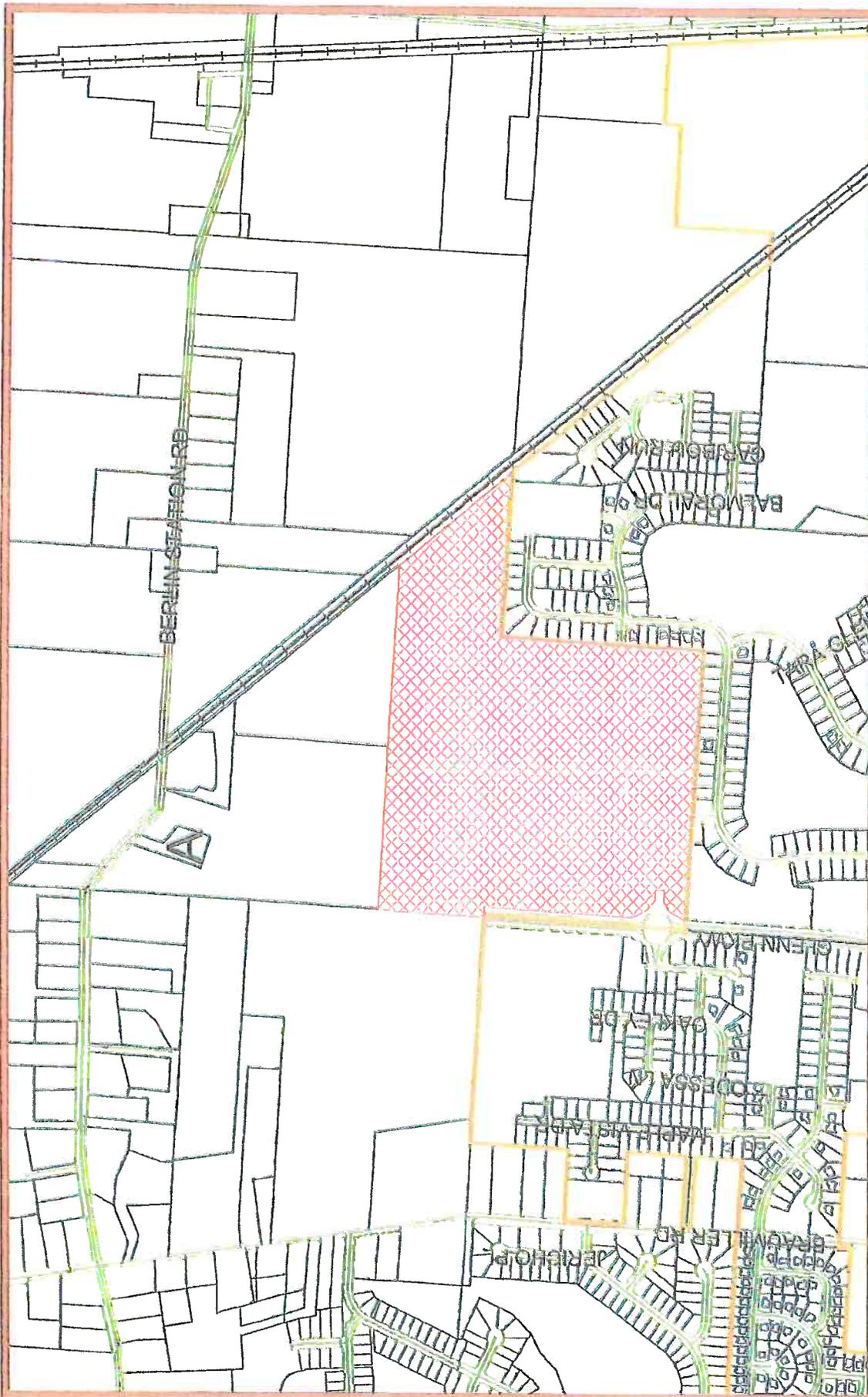
IN TESTIMONY WHEREOF, I have subscribed my name and affixed my official seal this 18<sup>th</sup> day of February, 2015.

*Jullanna Doran*

Notary Public

**EXHIBIT A**

Property survey



**Exhibit A**  
**Lane Annexation**  
 ~100 Acre property north of Glenross Subdivision  
 A = Single family dwelling at 2242 Berlin Station Rd.





## EXHIBIT B

Resolution of Services per ORC.

## Exhibit B

### RESOLUTION NO. 14-61

A RESOLUTION INDICATING WHAT SERVICES THE CITY OF DELAWARE WILL PROVIDE TO 102.4± ACRES OF LAND, MORE OR LESS, DESCRIPTION AND MAP ARE ATTACHED HERETO AS EXHIBITS "A" AND "B" FOR THE ANNEXATION KNOWN AS THE LANE ANNEXATION BY DAVID W. FISHER, AGENT FOR THE PETITIONER.

WHEREAS, David W. Fisher, agent for the petitioners, has filed with the Delaware County Commissioners for annexation of 102.4± acres of land, more or less, the description and map are attached hereto as Exhibits A and B, and

WHEREAS, David W. Fisher, as agent for the petitioners on October 1, 2014 delivered to the Acting Clerk of the Delaware City Council the notice of his filing of the annexation petition with the Board of County Commissioners of Delaware County and its clerk on September 26, 2014, and

WHEREAS, the Ohio Revised Code requires that within 20 days following the date the petition is filed, the City Council shall, by resolution, adopt a statement as to what services, if any, the City will provide an approximate date by which it will provide them to the territory proposed for annexation upon annexation.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That upon annexation to the City of Delaware of 102.4± acres more or less as delineated on the attached Exhibits A and B, the City will provide the following services by the approximate date indicated as to each, provided all necessary lines, hydrants, and other apparatus are installed by the property owner as required by the City and said services shall be provided under the same conditions and same costs as they are provided to other residents in the City of Delaware:

- (a) Water - upon acceptance of annexation
- (b) Sanitary Sewer - upon acceptance of annexation
- (c) Refuse - upon acceptance of annexation
- (d) Fire - upon acceptance of annexation
- (e) Police - upon acceptance of annexation
- (f) Road maintenance-upon acceptance of annexation

SECTION 2. That the Council of the City of Delaware, pursuant to Ohio Revised Code Section 709.023(D), hereby consents to the annexation.

SECTION 3. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Resolution were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

SECTION 4. That the Clerk of Council shall prepare and furnish to the agent for the petitioners a certified copy of this resolution and file with the Delaware County Board of County Commissioners on or before 20 days from the filing of the annexation petition.

SECTION 5. That if the territory is annexed and becomes subject to zoning by the City of Delaware and the City permits uses in the annexed territory that the City determines are clearly incompatible with the uses permitted under the current county or township zoning regulations in the adjacent land remaining within the township from which the territory was annexed, the Council of the City of Delaware will require, in the zoning ordinance permitting the incompatible uses, the owner of the annexed territory to provide a buffer separating the use of the annexed and the adjacent land remaining within the township for purposes of this ordinance, buffer includes open space, landscaping, fences, walls, and other structured elements; streets and street rights of way; and bicycle and pedestrian paths and sidewalks.

SECTION 6: That this Resolution of Services is further conditioned upon the following:

SECTION 7. That this resolution shall take effect and be in force immediately after this passage.

PASSED: October 13, 2014

YEAS 7 NAYS 0  
ABSTAIN 0

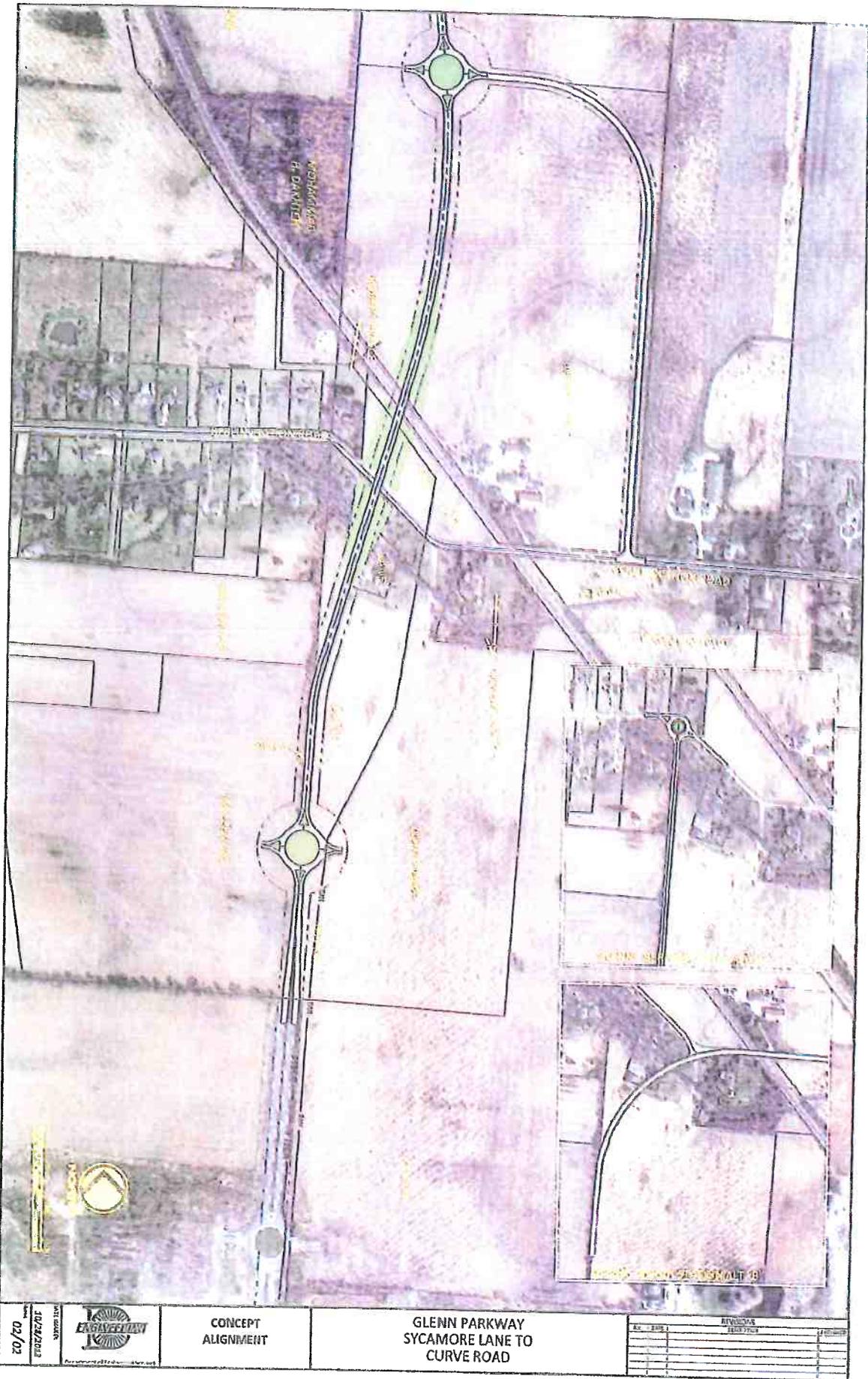
ATTEST: Glenn McCreary  
CITY CLERK

Carl K. R.  
MAYOR

# EXHIBIT C

Conceptual Glenn Parkway and Access Roadway plans.

# Exhibit C



# Exhibit C

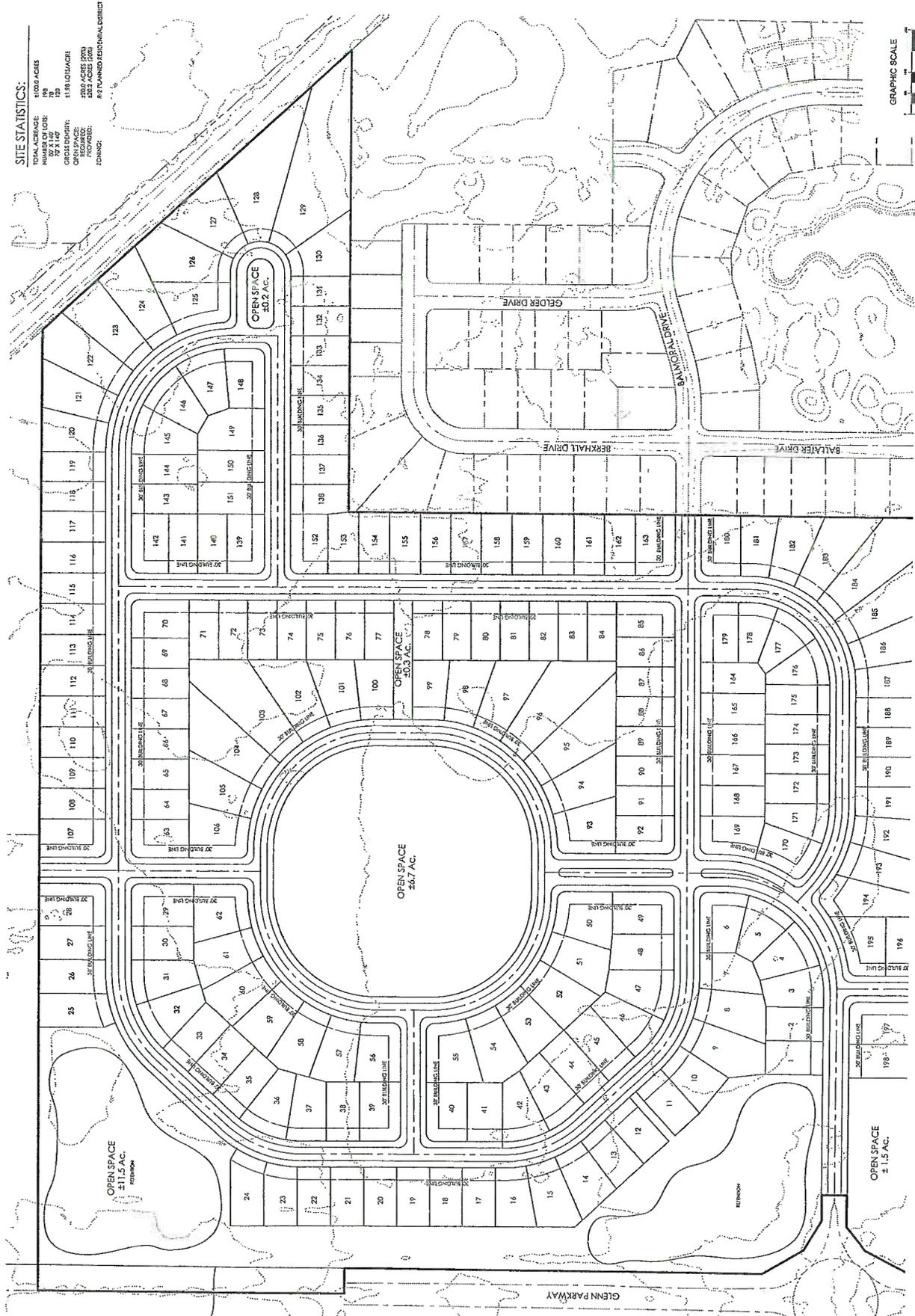


20/10 10/28/2013 01/12		<b>CONCEPT ALIGNMENT</b>	<b>GLENN PARKWAY          SYCAMORE LANE TO          CURVE ROAD</b>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	BY												
REV	DATE	DESCRIPTION	BY																	

## EXHIBIT D

Conceptual Development Plan

# Exhibit D



**SITE STATISTICS:**

TOTAL ACRES:	410.0 ACRES
NUMBER OF LOTS:	199
LOT AREA:	20.58 ACRES
CIRCLE DRIVE:	21.78 LOT/ACRE
OPEN SPACE:	843.8 ACRES (20.3%)
PROVIDED:	843.8 ACRES (20.3%)
ZONING:	R-2 PLANNED RESIDENTIAL DISTRICT

## GLENROSS NORTH

City of Delaware, Delaware County, Ohio

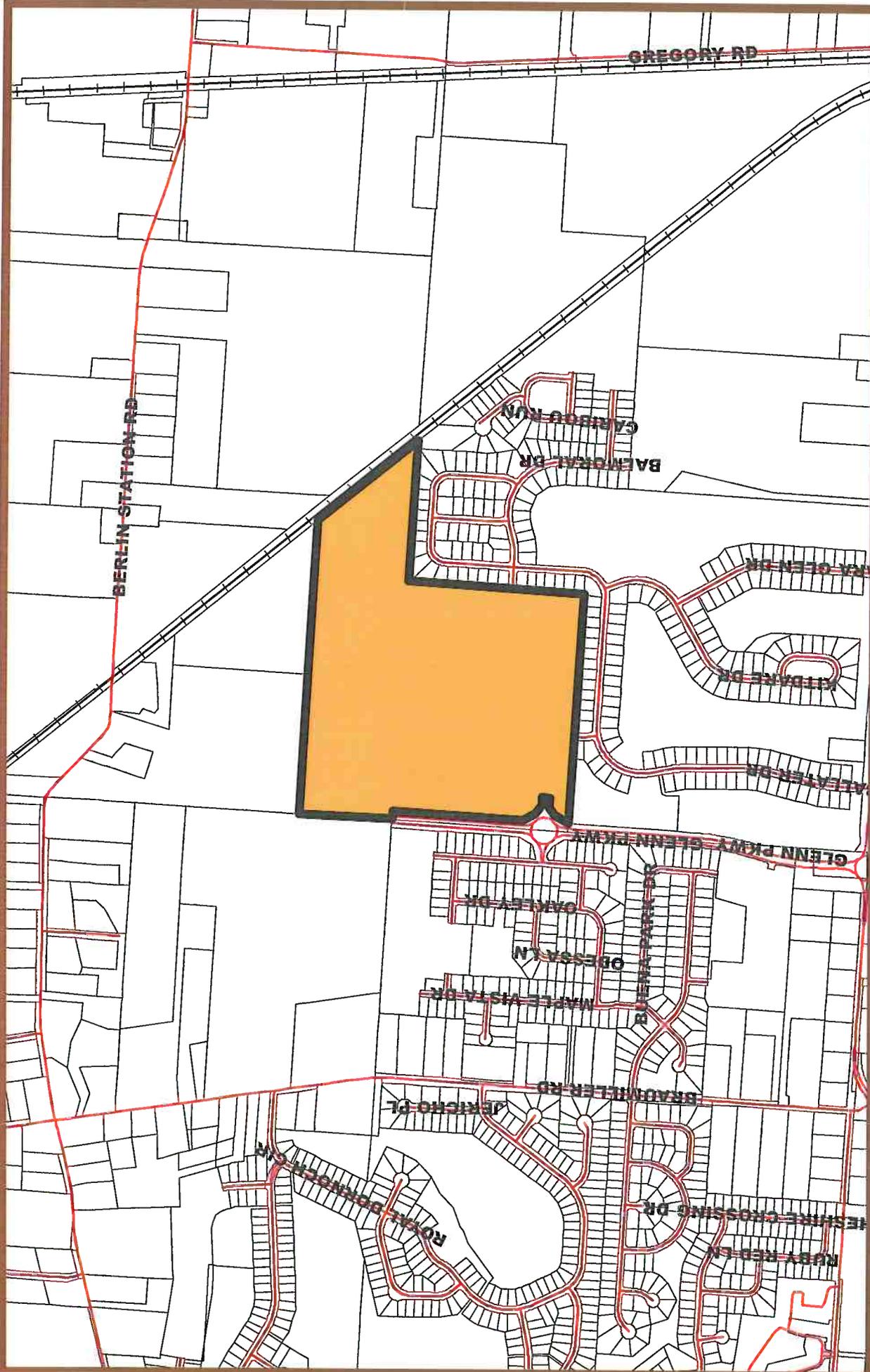
### CONCEPTUAL SITE PLAN

VINCE ROMANELLI



DATE:	JULY 15, 2011
PROJECT:	
CLIENT:	
SCALE:	
STATUS:	
DESIGNER:	
APPROVED:	

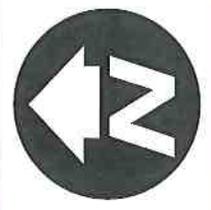




2015-1054-1057  
 Rezoning Amendment, Conditional Use Permit,  
 Preliminary Development Plan and Preliminary Subdivision Plat  
 Glenross North Subdivision  
 Location Map







2015-1054-1057  
Rezoning Amendment, Conditional Use Permit,  
Preliminary Development Plan and Preliminary Subdivision Plat  
Glenross North Subdivision  
Aerial (2013)



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***GLENROSS NORTH***

***DELAWARE, OHIO***

***APPLICATIONS FOR REZONING,  
PRELIMINARY DEVELOPMENT PLAN AND  
PRELIMINARY PLAT***

**Applications and  
Reference Documents**

Presented by:

**Vincent Romanelli**

**Kephart Fisher LLC**

**&**

**EMH&T**



***Selling Solutions Not Time*®**



**Engineers, Surveyors, Planners, Scientists**

**June 3, 2015**

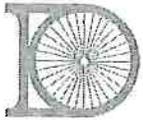
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**GLENROSS NORTH**



**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**



Project # \_\_\_\_\_ Case # \_\_\_\_\_

**Planning Commission**

- |  |  |   |
|--|--|---|
| <input type="checkbox"/> Amended Final Development Plan                | <input type="checkbox"/> Final Development Plan Extension        | <input type="checkbox"/> Substitution of a Non-Conforming Use             |
| <input type="checkbox"/> Amended Final Subdivision Plat                | <input type="checkbox"/> Final Subdivision Plat                  | <input type="checkbox"/> Vacation-Alley                                   |
| <input type="checkbox"/> Amended Preliminary Development Plan          | <input type="checkbox"/> Final Subdivision Plat Extension        | <input type="checkbox"/> Vacation-Easement                                |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat          | <input type="checkbox"/> Floodplain Permit                       | <input type="checkbox"/> Vacation-Street                                  |
| <input type="checkbox"/> Annexation Review                             | <input type="checkbox"/> Lot Split                               | <b>Board of Zoning Appeals</b>  |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement                | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment                  | <input checked="" type="checkbox"/> Preliminary Development Plan | <input type="checkbox"/> Conditional Use Permit                           |
| <input type="checkbox"/> Concept Plan                                  | <input type="checkbox"/> Preliminary Dev Plan Extension          | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit                        | <input checked="" type="checkbox"/> Preliminary Sub Plat         | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Determination of Similar Use                  | <input type="checkbox"/> Preliminary Sub Plat Extension          |   |
| <input type="checkbox"/> Development Plan Exemption                    | <input checked="" type="checkbox"/> Rezoning                     |   |
| <input type="checkbox"/> Final Development Plan                        | <input type="checkbox"/> Subdivision Variance                    |   |

Subdivision/Project Name Glencross North Address Glenn Parkway, Delaware, Ohio

Acreage 100 Square Footage N/A Number of Lots 196 Number of Units N/A

Zoning District/Land Use A-1 Proposed Zoning/Land Use PMU-R-2 Parcel # 41832001029000

Applicant Name Vincent Romanelli Contact Person David W. Fisher 614-469-1882

Applicant Address 148 W. Schrock Road, Westerville, OH 43081

Phone 614-469-1882 Fax 614-469-1887 E-mail davidfisher@kephartfisher.com

Owner Name John Daniel Lane Contact Person Same

Owner Address 2242 Berlin Station Road, Delaware, OH 43015

Phone 740-363-8119 Fax 740-417-8056 E-mail jlane@insight.rr.com

Engineer/Architect/Attorney EMHT Contact Person Jeff Strung

Address 5500 New Albany Road, Columbus, Ohio 43054

Phone 614-775-4700 Fax 614-775-4800 E-mail jstrung@emht.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

*John Daniel Lane*  
Owner Signature

John Daniel Lane  
Owner Printed Name

*Vincent Romanelli*  
Agent Signature

Vincent Romanelli  
Agent Printed Name

Sworn to before me and subscribed in my presence this 2<sup>nd</sup> day of June, 2015

Notary Stamp

*Jeffrey Rush*  
Notary Public Jeffrey Rush - Notary Public - State of Ohio - My Commission Expires: 8-22-16

**ZONING DESCRIPTION**  
**100.00 ACRES**

Situate in the State of Ohio, County of Delaware, City of Delaware, lying in Farm Lots A and F, Section 2, Township 4, Range 18 and Farm Lot 40, Section 3, Township 4, Range 18, United States Military Lands, being part of that 155.862 acre tract conveyed to John Daniel Lane by deed of record in Deed Book 571, Page 476 and to Mary Jo Lane, Trustee as Tract VIII (1/2 interest) by deed of record in Official Record 1036, Page 1572, (all references refer to the records of the Recorder's Office, Delaware County, Ohio) being more particularly described as follows:

BEGINNING in the easterly right-of-way line of Glenn Parkway at the common corner of Lot 9979 of "Glenross Golf Club Section 2 Part 2", a subdivision of record in Official Record 756, Page 1537, and that 2.451 acre tract conveyed to City of Delaware, Ohio by deeds of record in Official Record 911, Page 51 and Official Record 911, Page 55, being in the southerly line of said 155.862 acre tract;

Thence with said easterly right-of-way line, the following courses and distances:

North 30° 27' 47" East, a distance of 122.32 feet to a point;

North 54° 22' 24" East, a distance of 72.46 feet to a point;

South 86° 23' 55" East, a distance of 75.00 feet to a point;

North 03° 36' 08" East, a distance of 60.00 feet to a point;

North 86° 23' 55" West, a distance of 62.06 feet to a point;

North 53° 59' 51" West, a distance of 82.44 feet to a point;

North 26° 39' 17" West, a distance of 115.77 feet to a point; and

North 03° 36' 08" East, a distance of 1010.34 feet to a point;

Thence North 86° 32' 12" West, with the terminus of said Glenn Parkway, a distance of 60.00 feet to a point in the westerly line of said 155.862 acre tract;

Thence North 03° 29' 16" East, with the westerly line of said 155.862 acre tract, a distance of 739.51 feet to a point;

Thence South 86° 32' 21" East, across said 155.862 acre tract, a distance of 2266.94 feet to a point in the southwesterly line of that tract conveyed to Norfolk and Southern Railroad;

Thence South 38° 40' 49" East, with said southwesterly line, a distance of 305.14 feet to a point;

Thence South 38° 35' 34" East, continuing with said southwesterly line, a distance of 691.39 feet to a point at the northeasterly corner of "The Communities at Glenross Section 3", a subdivision of record in Official Record 1265, Page 2440;

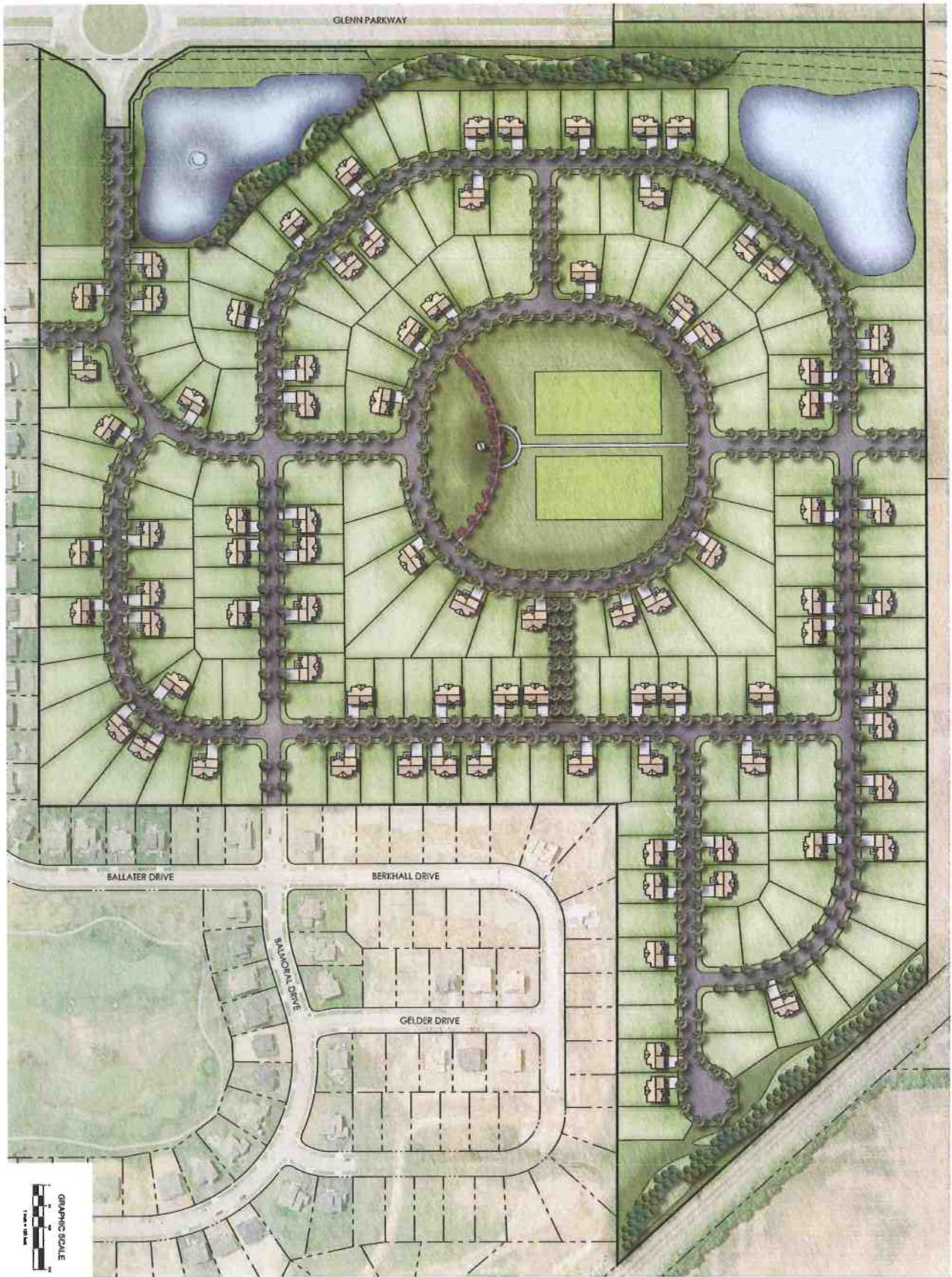
Thence North 86° 31' 57" West, with the northerly line of said "The Communities at Glenross Section 3", "Glenross Golf Club Section 4", a subdivision of record in Official Record 1314, Page 1197, and "Glenross Golf Club Section 3", a subdivision of record in Official Record 1199, Page 230, a distance of 1089.32 feet to a point;

Thence South 03° 21' 21" West, with the westerly line of said "Glenross Golf Club Section 3" and "Glenross Golf Club Section 2 Part 3", a subdivision of record in Plat Cabinet 3, Slide 669, a distance of 1378.95 feet to a point;

Thence North 86° 14' 09" West, with a northerly line of said "Glenross Golf Club Section 2 Part 3" and the northerly line of said "Glenross Golf Club Section 2 Part 2", a distance of 1788.14 feet to the POINT OF BEGINNING, containing 100.00 acres, more or less.

EVANS, MECHWART, HAMBLETON & TILTON, INC.





# GLENROSS NORTH

City of Delaware  
Delaware County, Ohio

PRELIMINARY  
DEVELOPMENT  
PLAN

ILLUSTRATIVE  
SITE PLAN

VINCE ROMANELLO  
1415 WEST CARROLL ROAD  
WESTERVILLE, OHIO 43081



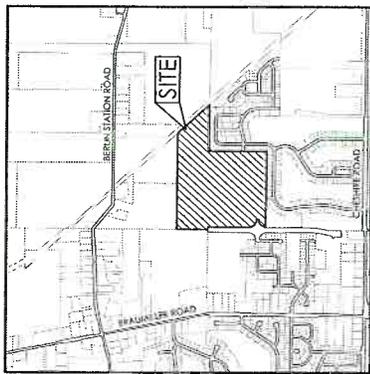
DATE:	JAN 13, 2011
PROJECT:	GLENROSS NORTH
CLIENT:	DELTA DEVELOPMENT
DESIGNER:	EMHT
SCALE:	AS SHOWN
BY:	EMHT
CHECKED BY:	EMHT
APPROVED BY:	EMHT



# GLENROSS NORTH

DELAWARE, OHIO

## PRELIMINARY DEVELOPMENT PLAN



LOCATION MAP  
NO SCALE

### NOTES

1. ALL OF THE GLENROSS NORTH PROPERTY IS IN THE FLOOD HAZARD ZONE X AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 170120K, 39041C0020K, 39041C00231K AND 39041C00232K, EFFECTIVE DATE APRIL 16, 2007.
2. RESERVE "A" SHALL BE OWNED AND MAINTAINED BY THE CITY OF DELAWARE AND RESERVES "B" THROUGH "E" ARE TO BE OWNED AND MAINTAINED BY THE GLENROSS NORTH HOMEOWNERS ASSOCIATION FOR OPEN SPACE AND STORMWATER FACILITIES. RESERVES "A" AND "B" ARE INTENDED FOR ACTIVE RECREATION.
3. STUB STREETS SHALL NOT PERMIT VEHICULAR ACCESS UNTIL SUCH TIME AS THE STREET IS EXTENDED BY PLAT OR DEED.
4. SIDEWALKS WILL BE PROVIDED ON BOTH SIDES OF ALL STREETS.
5. ALL PERMITS PERTAINING TO WETLANDS AND WATER OF THE UNITED STATES, AS REQUIRED BY THE ARMY CORPS OF ENGINEERS, SHALL BE OBTAINED AND PROVIDED TO THE CITY PRIOR TO THE PLANNING COMMISSIONS' APPROVAL OF ANY FINAL PLAT THAT CONTAINS SAID WETLANDS OR WATERS OF THE UNITED STATES.
6. 8' ASPHALT PATH SHALL BE CONSTRUCTED ALONG THE EAST SIDE OF THE CONSTRUCTED GLENROSS PARKWAY WITHIN THE ROAD RIGHT-OF-WAY AND CONNECT TO THE EXISTING PATH SOUTH OF THE ROUNDABOUT.
- \* IF ANY DISCREPANCIES EXIST BETWEEN THE NOTES HEREIN AND THE NOTES ON THE PRELIMINARY PLAT, THE DEVELOPMENT TEXT AND THE PRELIMINARY PLAT NOTES SHALL APPLY.

### PREPARED FOR:

VINCE ROMANELLI  
148 WEST SCHROCK ROAD  
WESTERVILLE, OHIO 43081  
P: (614) 891-2042

SUBMITTAL: JUNE 3, 2015

CIVIL ENGINEER &  
LANDSCAPE ARCHITECT



### INDEX OF DRAWINGS

EXISTING CONDITIONS:	1 of 9
SITE PLAN:	2 of 9
ILLUSTRATIVE SITE PLAN:	3 of 9
OFFSITE DRAINAGE:	4 of 9
LANDSCAPE:	5 of 9
LANDSCAPE PLAN:	6 of 9
RESERVE ENLARGEMENTS:	7 of 9
BUFFER ENLARGEMENTS:	8 of 9
ENTRANCE FEATURE:	9 of 9
DETAILS:	

### SITE STATISTICS:

TOTAL ACREAGE:	±100.0 ACRES
TOTAL NUMBER OF LOTS:	196
80' X 140'	103
70' X 140'	93
OPEN SPACE:	±22.4 ACRES (22.4%)
RESERVE "A" NEIGHBORHOOD PARK (EXPANSION):	±1.4 ACRES (ACTIVE RECREATION)
RESERVE "B" CENTRAL PARK:	±7.0 ACRES (ACTIVE RECREATION)
RESERVE "C" OPEN SPACE (PEDESTRIAN ACCESS):	±0.7 ACRES (PASSIVE RECREATION)
RESERVE "D" OPEN SPACE (PEDESTRIAN & BICYCLIST ACCESS):	±1.2 ACRES
RESERVE "E" OPEN SPACE (LANDSCAPE BUFFER):	±2.3 ACRES
RIGHT-OF-WAY:	±16.9 ACRES (16.9%)
ZONING:	PMU / R-2
GROSS DENSITY:	±1.96 LOTS/ACRE
196 LOTS DIVIDED BY 100.0 GROSS ACRES	
NET DENSITY:	±3.93 LOTS/ACRE
±196 LOTS DIVIDED BY ±60.7 ACRES	

### DESIGN STANDARDS

LOT SIZE:	
MINIMUM LOT WIDTH:	70 AND 80 FEET
MINIMUM LOT AREA:	10,000 S.F.
SETBACKS:	
FRONT:	30 FEET
SIDE YARD:	7.5 FEET (TOTAL OF 15 FEET)
REAR YARD:	10 FEET (TOTAL OF 20 FEET)
MAXIMUM BUILDING HEIGHT:	35 FEET

# GLENROSS NORTH

City of Delaware  
Delaware County, Ohio

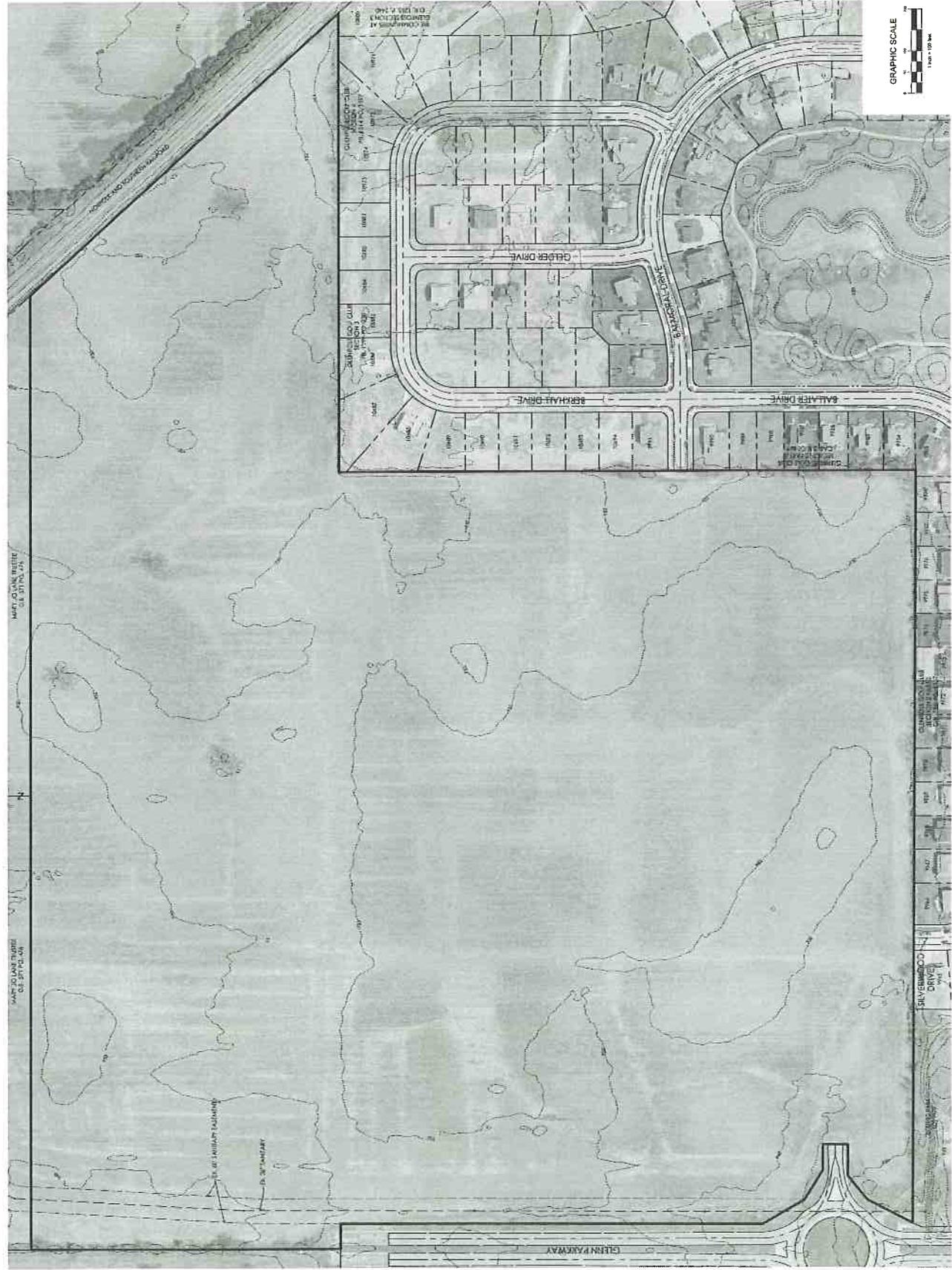
PRELIMINARY  
DEVELOPMENT  
PLAN

EXISTING  
CONDITIONS

PREPARED FOR:  
**VINCE ROMANELLI**  
14555 SCHROCK ROAD  
HESPERIA, OHIO 43021

PREPARED BY:  
**EIMHT**  
Engineering, Inc.  
10000 Jamboree Circle, G. 100  
Delaware, Ohio 43015  
Phone: 614.272.2000  
www.eimht.com

DATE:	
SCALE:	
REVISION:	















# GLENROSS NORTH

City of Delaware  
Delaware County, Ohio

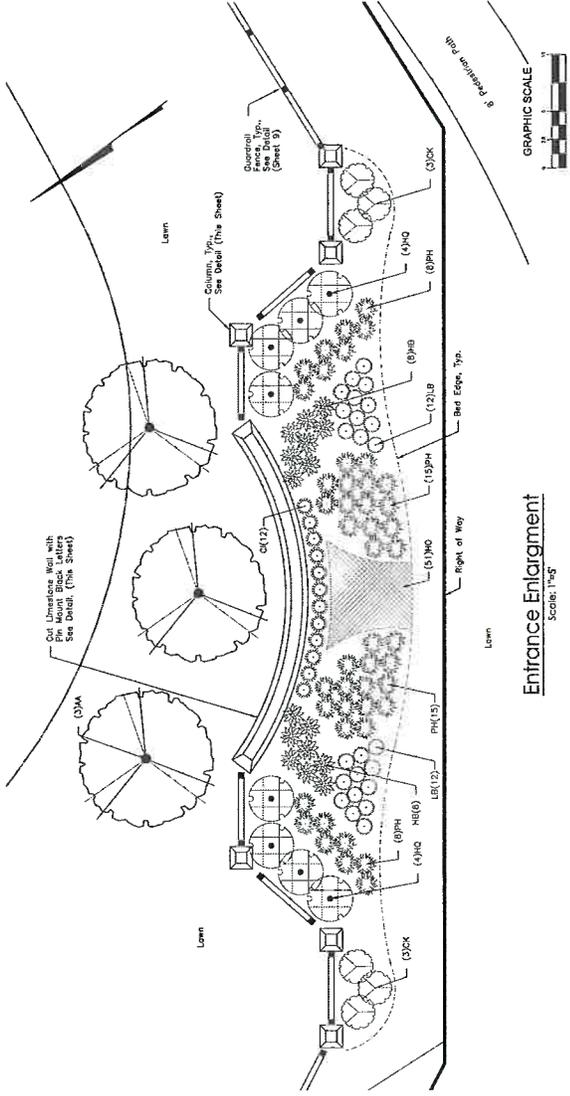
PRELIMINARY  
DEVELOPMENT  
PLAN

ENTRANCE  
FEATURE

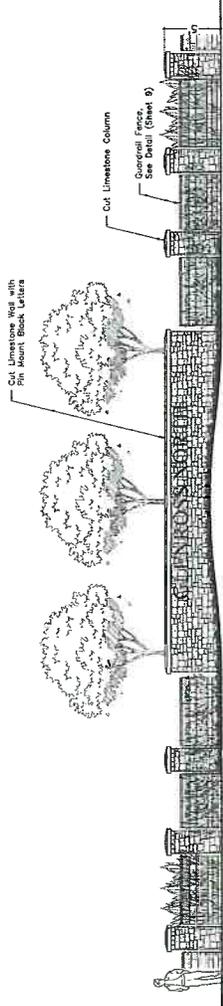
PREPARED BY  
**VINCE ROMANELLI**  
148 WEST SCHROCK ROAD  
WESTERVILLE, OHIO 43081



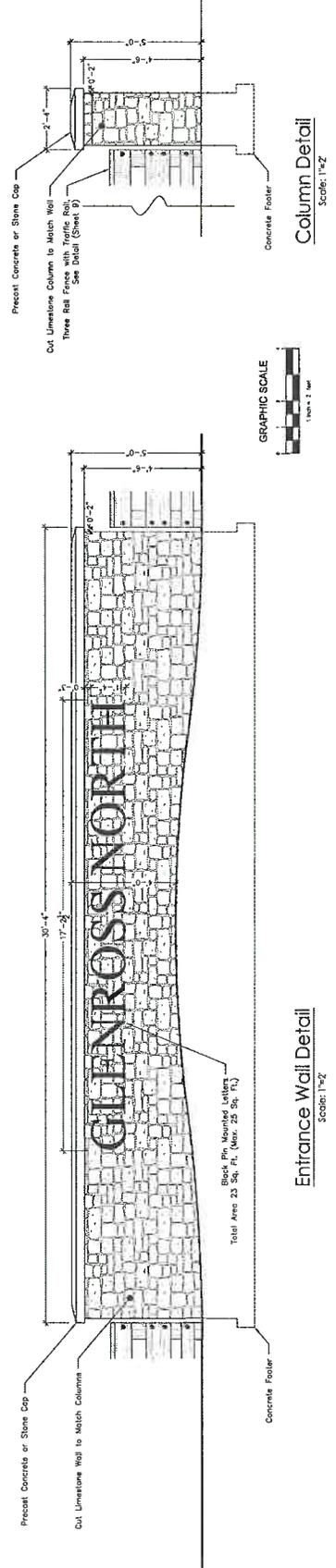
DATE:	JUNE 1, 2012
PROJECT:	
LOCATION:	
SCALE:	
DESIGNER:	
APPROVED:	



**Entrance Enlargement**  
Scale: 1"=3'



**Entrance Elevation**  
Scale: 1"=3'



**Entrance Wall Detail**  
Scale: 1"=2'

**Column Detail**  
Scale: 1"=2'

PLANT SCHEDULE ENTRANCE FEATURE

ITEMS	QTY	SYMBOLICAL NAME	SCIENTIFIC NAME	FUNCTION	SIZE	CONDITION
1	1	(13)A	Quercus macrocarpa	Tree	24" H.	Cont.
2	1	(13)B	Quercus macrocarpa	Tree	24" H.	Cont.
3	1	(13)C	Quercus macrocarpa	Tree	24" H.	Cont.
4	1	(13)D	Quercus macrocarpa	Tree	24" H.	Cont.
5	1	(13)E	Quercus macrocarpa	Tree	24" H.	Cont.
6	1	(13)F	Quercus macrocarpa	Tree	24" H.	Cont.
7	1	(13)G	Quercus macrocarpa	Tree	24" H.	Cont.
8	1	(13)H	Quercus macrocarpa	Tree	24" H.	Cont.
9	1	(13)I	Quercus macrocarpa	Tree	24" H.	Cont.
10	1	(13)J	Quercus macrocarpa	Tree	24" H.	Cont.
11	1	(13)K	Quercus macrocarpa	Tree	24" H.	Cont.
12	1	(13)L	Quercus macrocarpa	Tree	24" H.	Cont.
13	1	(13)M	Quercus macrocarpa	Tree	24" H.	Cont.
14	1	(13)N	Quercus macrocarpa	Tree	24" H.	Cont.
15	1	(13)O	Quercus macrocarpa	Tree	24" H.	Cont.
16	1	(13)P	Quercus macrocarpa	Tree	24" H.	Cont.
17	1	(13)Q	Quercus macrocarpa	Tree	24" H.	Cont.
18	1	(13)R	Quercus macrocarpa	Tree	24" H.	Cont.
19	1	(13)S	Quercus macrocarpa	Tree	24" H.	Cont.
20	1	(13)T	Quercus macrocarpa	Tree	24" H.	Cont.
21	1	(13)U	Quercus macrocarpa	Tree	24" H.	Cont.
22	1	(13)V	Quercus macrocarpa	Tree	24" H.	Cont.
23	1	(13)W	Quercus macrocarpa	Tree	24" H.	Cont.
24	1	(13)X	Quercus macrocarpa	Tree	24" H.	Cont.
25	1	(13)Y	Quercus macrocarpa	Tree	24" H.	Cont.
26	1	(13)Z	Quercus macrocarpa	Tree	24" H.	Cont.



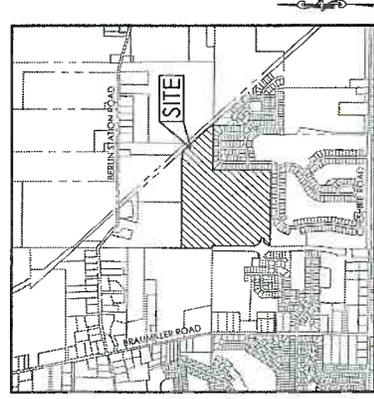
NO.	DATE	REVISIONS

VINCE ROMANELLI  
14835 KIRKWOOD ROAD  
WESTERVILLE, OHIO 43081  
P: (614) 991-3842

CITY OF DELAWARE, DELAWARE COUNTY, OHIO  
**GLENGROSS NORTH**  
PRELIMINARY PLAN  
INDEX PLAN



DATE	JUNE 3, 2015
SCALE	1" = 200'
APPROVED BY	APPROVED BY CITY COUNCIL ON _____
DATE	DATE _____
APPLICANT NAME/TITLE	APPLICANT NAME/TITLE _____
APPROVED BY	APPROVED BY CITY ENGINEER _____
DATE	DATE _____



**LOCATION MAP**  
NO SCALE

**SITE STATISTICS:**

TOTAL ACRES: 410.0 ACRES  
TOTAL NUMBER OF LOTS: 176  
LOT AREA: 52 X 140'  
OPEN SPACE: 22.4 ACRES (22.4%)  
RESERVE "A" NEIGHBORHOOD PARK (REPAIRS): 21.4 ACRES (ACTIVE RECREATION)  
RESERVE "B" NEIGHBORHOOD PARK (REPAIRS): 21.4 ACRES (ACTIVE RECREATION)  
RESERVE "C" OPEN SPACE (PEDIESTRIAN ACCESS): 50.2 ACRES (ACTIVE RECREATION)  
RESERVE "D" OPEN SPACE (RECREATION & LANDSCAPE BUFFER): 21.5 ACRES  
RESERVE "E" OPEN SPACE (RECREATION & LANDSCAPE BUFFER): 21.5 ACRES  
RIGHT-OF-WAY: 116.3 ACRES (14.9%)  
JOINING: PMU / R-2  
CROSS STREET: 21.94 ACRES  
TOTAL LOTS DIVIDED BY 100.0 GROSS ACRES  
ACRES REMOVED: ALL RESERVES AND RIGHT-OF-WAY (116.3 LOTS DIVIDED BY 440.7 ACRES)

**NOTES**

1. ALL OF THE GLENGROSS NORTH PROPERTY IS IN THE FLOOD HAZARD ZONE AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP. MAP NO. 15000-01-0010, EFFECTIVE DATE APRIL 14, 2009.
2. RESERVE "A" SHALL BE OWNED AND MAINTAINED BY THE CITY OF DELAWARE AND RESERVES "B" THROUGH "E" ARE TO BE OWNED AND MAINTAINED BY THE GLENGROSS NORTH HOMEOWNERS ASSOCIATION. ALL RESERVES SHALL BE MAINTAINED AND STORMWATER FACILITIES, RESERVES "A" AND "B" ARE RESERVED FOR ACTIVE RECREATION.
3. CURB STREETS SHALL NOT PERMIT VEHICULAR ACCESS UNTIL SUCH TIME AS THE STREET IS EXPANDED BY FAY OR CREED.
4. SIDEWALKS WILL BE PROVIDED ON BOTH SIDES OF ALL STREETS.
5. ALL RESERVES REMAINING TO WELFARE AND WATER OF THE UNITED STATES AS REQUIRED BY THE ARMY CORPS OF ENGINEERS, SHALL BE OBTAINED AND PROVIDED TO THE CITY FOR THE GLENGROSS NORTH PROJECT. THE CITY SHALL PROVIDE AN AMT PLAN THAT CONTAINS SAID WELFARE AND WATER OF THE UNITED STATES.
6. IF ANY PART SHALL BE CONSTRUCTED ALONG THE EAST SIDE OF THE CONSTRUCTED CURB PARALLEL WITHIN THE ROAD RIGHT-OF-WAY AND CONNECT TO THE EXISTING PATH OF ANY OTHER DRIVE, THE DEVELOPER SHALL PROVIDE A PLAN THAT SHOWS THE DEVELOPMENT SHALL BE CONFORMANT WITH THE DEVELOPMENT TEXT AND THE PRELIMINARY PLAN NOTES SHALL APPLY.

PC CASE NO. \_\_\_\_\_ APPROVED BY CITY ENGINEER \_\_\_\_\_  
ORDINANCE NO. \_\_\_\_\_ APPROVED BY CITY COUNCIL ON \_\_\_\_\_

APPLICANT NAME/TITLE \_\_\_\_\_ DATE \_\_\_\_\_

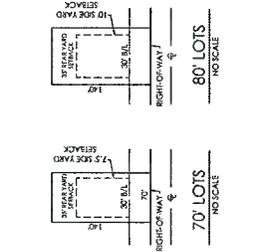
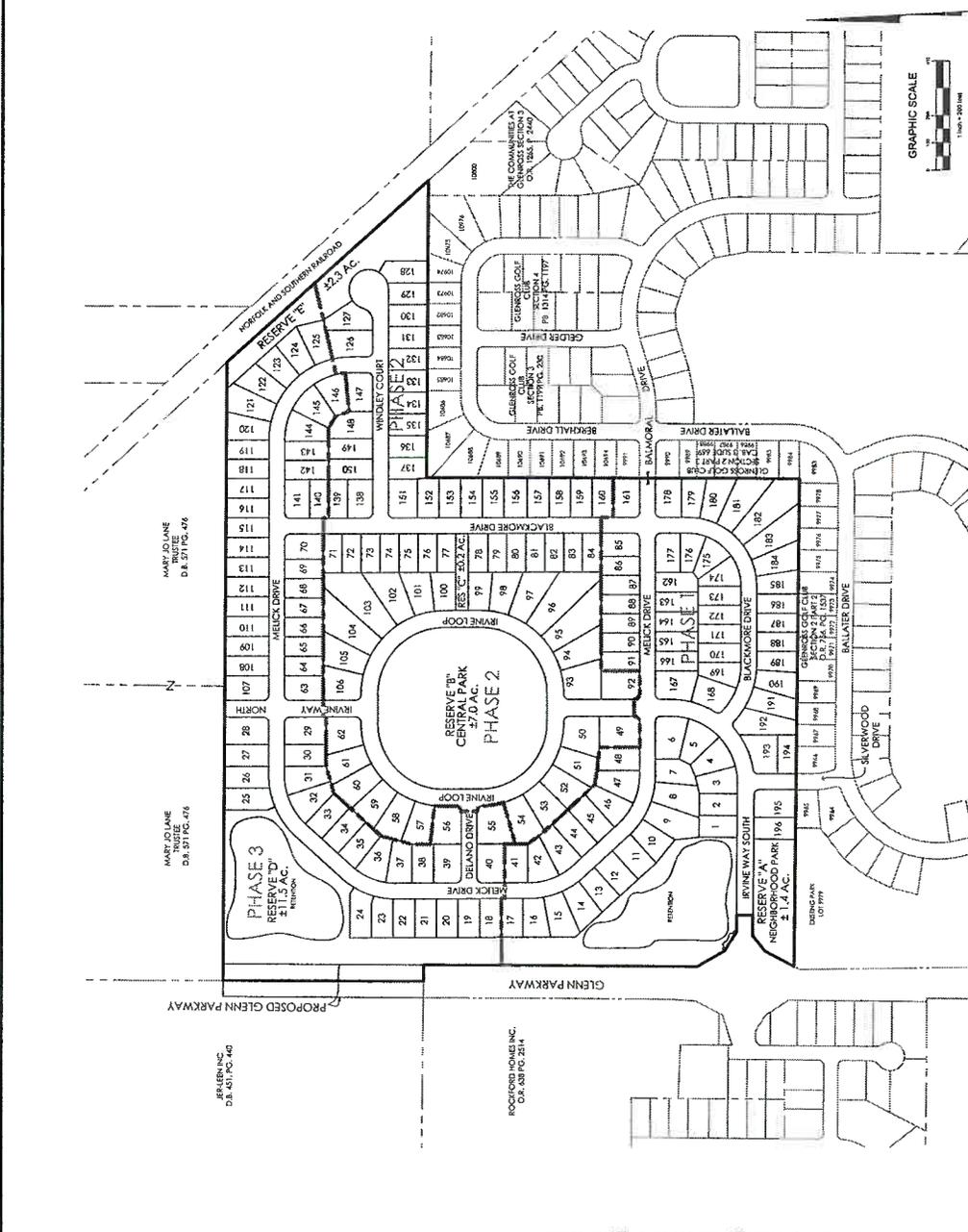
APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_

APPLICANT NAME/TITLE \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_

DAVID H. BEARD, ACP, PLANNING & COMMUNITY DEVELOPMENT DIRECTOR

WILLIAM L. FERRELL, P.E., CITY ENGINEER









June 3, 2015

## COMMUNITY IMPACT ASSESSMENT

### GLENROSS NORTH

This Community Impact Assessment (“CIA”) is being submitted in connection with a rezoning request for approximately 100 acres located on the east side of Glenn Parkway, just north of the Glenross Subdivision, to permit a proposed residential subdivision to be known as “Glenross North” ( the “Property”). The rezoning request is to permit a PMU-R2 zoning for the Property. This CIA is provided in compliance with Chapter 1191 of the Delaware Zoning Code. All Section references below are to specific Sections of Chapter 1191 of the Delaware Zoning Code unless otherwise noted.

#### SITE SPECIFIC INFORMATION

1. A legal description of the Property is attached hereto as Exhibit A.
2. The current Property Owner is John Daniel Lane.
3. The current Property assessment, based on information obtained from the Delaware County Auditor, as attached hereto as Exhibit B.
4. Adjacent parcels to the Property including ownership are attached hereto as Exhibit C.
5. The Property will be subject to a uniform system of covenants, conditions and restrictions complying with the Ohio Planned Communities Statute (Chapter 5312 of the Ohio Revised Code, as amended), and substantially similar to those of record for the Glenross Subdivision directly south of the Property, excluding those provisions specific to a golf course centered community.
6. The Property consists of approximately 100 acres located on the east side of Glenn Parkway due north of the Glenross Subdivision. It is bounded on the east by the Norfolk and Southern railroad tracks. The Property is currently undeveloped, contains very few trees or other vegetation and is used principally for farming. Lands adjacent to the Property to the south and southeast have been developed into residential subdivisions as a part of the Glenross development. Lands to the southwest of the Property have likewise been developed with residential subdivisions. Lands to the north, northeast and northwest are currently undeveloped and used principally for farming. The attached Exhibit D depicts all current land uses for properties adjacent to the Property. Lands to the south, southeast and southwest of the Property have already been developed into single family subdivisions. It is assumed that properties to the north, northeast and northwest that are currently farmed will eventually come into the development cycle principally as single family home communities as utilities and roadways make such areas accessible to more intensive development. The requirement to provide land assessment data on all adjacent lands has been waived by the Delaware Director of Planning and Community Development.

7. The Property is currently undeveloped and used principally for farming. A land use map of the Property is attached hereto as Exhibit E.
8. The attached Exhibit F is an aerial map of the Property showing current site conditions.
9. The Property is a flat open farm field with very little topography. The attached Exhibit G depicts the soil types located on the Property and drainage patterns. No significant development or construction constraints are anticipated from the soils types located on the Property. There is no significant vegetation or trees located on the Property as it is currently used principally for farming. Drainage of the Property is currently handled through a standard farm tile system. As the Property is development, this farm tile system will be removed with care being taken to provide required interconnections to off-site farm tile systems. The Property will be engineered and developed to manage all stormwater generated from the Property so as not to increase from current levels, off-site drainage from the Property. As depicted on the Preliminary Development Plan and Preliminary Plat accompanying the rezoning application, stormwater management facilities are planned for the development of the Property. No prior groundwater studies are available.
10. The proposed development of the Property into a single family residential subdivision with open space and parkland will not generate, create, cause or sustain any significant air or noise pollution.
11. The Preliminary Subdivision Plat included as a part of the rezoning, preliminary development plan and preliminary plat applications that accompany this CIA provide full and complete information on all sanitary sewer and storm drainage. Sanitary sewer use and stormwater drainage will be consistent with single family residential development. The sanitary sewer facilities designed for the Property will be serviced by the Southeast Highland Sanitary Trunk Line.
12. Traffic generated from the Property will be consistent with that of a single family residential subdivision. Parking will be permitted along public streets in the subdivision, as well as in driveways and garages. Each single family home will have at a minimum a 2-car garage and driveway parking. Traffic circulation will be as depicted on the Preliminary Development Plan and Preliminary Plat submitted as a part of the rezoning application. Sidewalks for pedestrian use will be located on both sides of all streets within the proposed Subdivision of the Property. A bike/walking path is planned along Glenn Parkway. Mass transit will not be available to the Property nor will related bus stops of weather shelters.
13. The development of the Property into a residential subdivision will change the view shed through the Property from open farm fields to a residential housing development. However, the proposed development of the Property as depicted in the Preliminary Development Plan and Preliminary Plat accompanying the rezoning application demonstrate a green corridor to be preserved along Glenn Parkway, with large open space reserves along Glenn Parkway at the northern and southern boundaries of the Property and an approximately 7 acre park planned for the center of the Property. These features will assist in keeping the area green and open.
14. There are no historical site or buildings located on the Property or on adjacent lands.

15. The proposed development of the Property will be compatible with adjoining areas that have already come into the development cycle and it is anticipated that other adjacent areas will be developed in a similar pattern. The Development Text for the rezoning application accompanying this CIA commits to housing stock substantially similar in size, quality and architecture to the Glenross Subdivision to the south. The proposed development is in keeping with the Comprehensive Plan of the City and planning policies of the City.

## **IMPACT ON PUBLIC SERVICES**

1. The Property was recently annexed to the City of Delaware. It is currently taxed based on current agricultural use value (CAUV) which yields very little income tax to the City, County, Olentangy School District and other levies included on real property in Delaware County, Ohio. Additionally, no one currently lives on the Property so it yields no income taxes to the City. It is assumed that: (a) 196 single family homes will be developed on the Property, thereby taking the Property out of the CAUV program and increasing the market land value of the Property for purposes of real estate taxation to approximately \$58,800,000 (196 homes X assumed \$300,000 value per home), and (b) residents of the Subdivision planned for the Property will pay Delaware City Income Tax, subject to certain offsets for city of employment, with some residents both living and working in the City of Delaware and paying full City Income Tax. Based on the foregoing analysis, it is clear that the proposed development of the Property will impact significantly the tax base of the City.
2. It is anticipated that the need for Delaware City Police, Fire and EMS will be similar to other nearby residential developments such as Glenross. This could result in some need for increased personnel based on the overall needs for this area of the City.
3. The Property is located in the Olentangy School District. It is assumed that each single family home planned for the Property will generate in the neighborhood of 1.5 students per household, meaning the Property when developed will generate approximately 300 new students for the school district. As noted above, the Property has never contributed significantly to the School District due to CAUV valuation. The proposed new development will add significantly to the tax assessments paid to the School District. The developer of the Property will continue discussions with the School District concerning the proposed development of the Property and keep the City apprised of those discussions.
4. The Property has been planned with a number of Reserve areas, including two Reserves creating open space and a interlinking bike/walking path along Glenn Parkway and an approximately 7 acre central park Reserve planned for the center of the Property. There is a Reserve planned along the Norfolk and Southern railroad tracks along the eastern boundary of the Property to screen the railroad tracks. The developer of the Property will also dedicate an approximately 1.4 acre Reserve at the southwest corner of the Property to the City of Delaware to be added to the current City Park located along Glenn Parkway at the northwest corner of the Glenross development. These Reserves has been discussed with City Planning Staff on numerous occasions.

5. The Property will be accessed from the current roundabout on Glenn Parkway and will interconnect with street stubs presently located in the Glenross development. The development of the Property also plans a street stub at the northern boundary to interconnect for future development to the north. The impact of development of the Property on public facilities will be consistent with single family residential development. Temporary access to the Property during site development and construction activities will employ the current roundabout intersection servicing the Property on Glenn Parkway. The developer of the Property will implement procedures to prevent development and construction traffic from using the Glenross neighborhoods to the south. No traffic signal improvements will be required, as the Property is served by a roundabout on Glenn Parkway.

### **GENERAL REQUIREMENTS**

1. As stated above, the anticipated overall estimated project value at full buildout will be approximately \$58,800,000.
2. The proposed development of the Property and the rezoning of the Property is being undertaken by Vincent Romanelli, who will proceed either individually or through a limited liability company controlled by him.
3. There is no involvement in the Property or its proposed development by any elected or appointed public officials.
4. There are no anticipated requests for any local government assistance in connection with the proposed development of the Property.
5. The Property will be developed, subdivided and sold as individual single family lots generally in keeping with the Preliminary Development Plan and Preliminary Plat accompanying the rezoning application.
6. Given the fact that the proposed development of the Property is a single family subdivision, the only coordination discussions that have been held are with City of Delaware Planning and Engineering Staffs.
7. The direct economic impact of the proposed development of the Property has been discussed elsewhere in this CIA (See Impact on Public Services, Item 1 above). There will a number of temporary jobs created within the City during the development and construction of the Subdivision and single family homes.
8. Assuming the rezoning of the Property is approved during the Summer and early Fall of 2015, it is anticipated that final engineering will be completed during the Fall of 2015, thereby permitting site development activities to commence in the first quarter of 2016 with the first phase of Lots being available in Summer 2016. Based on this schedule, the first homes would be available for occupancy in early 2017 and future phases would proceed accordingly based on absorption. It is currently anticipated that full build out would occur during the year 2020.
9. The development of the Property has been planned and engineered to provide access and compatibility with adjoining lands, both those currently developed and those that are anticipated to come into the development cycle in the future. Appropriate utility connections are also planned for adjoining properties.



**EXHIBIT A**  
**ZONING DESCRIPTION**

**ZONING DESCRIPTION**  
**100.00 ACRES**

Situate in the State of Ohio, County of Delaware, City of Delaware, lying in Farm Lots A and F, Section 2, Township 4, Range 18 and Farm Lot 40, Section 3, Township 4, Range 18, United States Military Lands, being part of that 155.862 acre tract conveyed to John Daniel Lane by deed of record in Deed Book 571, Page 476 and to Mary Jo Lane, Trustee as Tract VIII (1/2 interest) by deed of record in Official Record 1036, Page 1572, (all references refer to the records of the Recorder's Office, Delaware County, Ohio) being more particularly described as follows:

BEGINNING in the easterly right-of-way line of Glenn Parkway at the common corner of Lot 9979 of "Glenross Golf Club Section 2 Part 2", a subdivision of record in Official Record 756, Page 1537, and that 2.451 acre tract conveyed to City of Delaware, Ohio by deeds of record in Official Record 911, Page 51 and Official Record 911, Page 55, being in the southerly line of said 155.862 acre tract;

Thence with said easterly right-of-way line, the following courses and distances:

North 30° 27' 47" East, a distance of 122.32 feet to a point;

North 54° 22' 24" East, a distance of 72.46 feet to a point;

South 86° 23' 55" East, a distance of 75.00 feet to a point;

North 03° 36' 08" East, a distance of 60.00 feet to a point;

North 86° 23' 55" West, a distance of 62.06 feet to a point;

North 53° 59' 51" West, a distance of 82.44 feet to a point;

North 26° 39' 17" West, a distance of 115.77 feet to a point; and

North 03° 36' 08" East, a distance of 1010.34 feet to a point;

Thence North 86° 32' 12" West, with the terminus of said Glenn Parkway, a distance of 60.00 feet to a point in the westerly line of said 155.862 acre tract;

Thence North 03° 29' 16" East, with the westerly line of said 155.862 acre tract, a distance of 739.51 feet to a point;

Thence South 86° 32' 21" East, across said 155.862 acre tract, a distance of 2266.94 feet to a point in the southwesterly line of that tract conveyed to Norfolk and Southern Railroad;

Thence South 38° 40' 49" East, with said southwesterly line, a distance of 305.14 feet to a point;

Thence South 38° 35' 34" East, continuing with said southwesterly line, a distance of 691.39 feet to a point at the northeasterly corner of "The Communities at Glenross Section 3", a subdivision of record in Official Record 1265, Page 2440;

Thence North 86° 31' 57" West, with the northerly line of said "The Communities at Glenross Section 3", "Glenross Golf Club Section 4", a subdivision of record in Official Record 1314, Page 1197, and "Glenross Golf Club Section 3", a subdivision of record in Official Record 1199, Page 230, a distance of 1089.32 feet to a point;

Thence South 03° 21' 21" West, with the westerly line of said "Glenross Golf Club Section 3" and "Glenross Golf Club Section 2 Part 3", a subdivision of record in Plat Cabinet 3, Slide 669, a distance of 1378.95 feet to a point;

Thence North 86° 14' 09" West, with a northerly line of said "Glenross Golf Club Section 2 Part 3" and the northerly line of said "Glenross Golf Club Section 2 Part 2", a distance of 1788.14 feet to the POINT OF BEGINNING, containing 100.00 acres, more or less.

EVANS, MECHWART, HAMBLETON & TILTON, INC.



**EXHIBIT B**  
**PROPERTY INFORMATION**

## Property Information

Parcel Number	418-320-01-029-000	<b>Property Address:</b>
Owner Name	LANE JOHN DANIEL	BERLIN STATION RD
Owner Address	BERLIN STATION RD DELAWARE OH 43015	DELAWARE OH 43015
Tax District	05 BERLIN TWP OLENTANGY	
School District	2104 OLENTANGY LSD	
Neighborhood	05003 Berlin 003	
Use Code	101 Cash - grain or general farm	<b>Tax Payer Address:</b>
Acres	100.00000	LANE MARY JO TRUSTEE & JOHN DANIEL 2810 MID PINES CT DELAWARE OH 43015 USA
Description	LANDS 18 4 3 40 LANDS 18 4 2 A, F	

Assessment Info		Current Value		Recent Transfer	
Board of Revision	N	Mkt Land Value	\$1,002,900	# Parcels	0
<u>Homestead/Disability</u>	N	CAUV	\$366,540	Deed Type	Annexation
<u>Owner Occ Credit</u>	N	Mkt Impr Value	\$0	Amount	\$0
Divided Property	N	Total	\$1,002,900	Sale Date	5/26/2015
New Construction	N	<b>Current Tax</b>		Conveyance	
Foreclosure	N	Tax Due	\$7,981.82	Deed #	
Other Assessments	N	Paid To Date	\$3,990.91		
Front Ft.	N	Current Balance Due	\$3,990.91		

[<< Previous Card](#)      Card 1 of 0      [Next Card >>](#)

### Card - 1

#### Property Sketch and Photos -- Card 1

Property Sketch	Property Photos
	



# Property Report for 418-320-01-029-000



## Property Information

Parcel Number:	41832001029000
Owner(s)	LANE JOHN DANIEL
Address	BERLIN STATION RD
Tax Dist	5
School	2104 OLENTANGY
Use Code:	101
Acres:	100
Description	LANDS 18 4 3 40 LANDS 18 4 2 A, F
Property Address	BERLIN STATION RD DELAWARE

### Current Value

Land	Impr	Total
1002900	0	1002900

### Current Tax

Due	Paid	Balance
981.82	3990.91	3990.91

### Assessment Information

Board of Revision:	N	Homestead/Disability:	N
Owner Occ Credit:	N	DIVided Property:	N
New Construction:	N	Foreclosure:	N
Other Assessments:	N	Front Ft.:	N

### Land

Land Type	Acres	Square Ft.	Actual Frontage	Eff. Frontage	No. Units	Value
CA-Auditor Override	100	0	0	0	1	1002900

CAUV Land

Land Type	Acres	Soil Type	Acres	Adj. Rate	Value
5	29.2	BOA-BLOUNT SILT LOAM	29.2	3030	88480
5	67.4	PWA-PEWAMO SILTY CLAY	67.4	4020	270950

### Transfer History

Date	Amount	To	Type	Conveyance
2/26/2015	0	LANE JOHN DANIEL	Annexation	0
1/16/2014	0	LANE JOHN DANIEL	Change Owner	0
1/16/2014	0	LANE MARY JO & JOHN DANIEL	Change Owner	0
1/23/2011	0	LANE MARY JO TRUSTEE & JOHN DANIEL	Change Owner	0
1/23/2011	0	LANE JOHN F JOHN DANIEL	Change Owner	0
1/18/1994	389655	LANE JOHN F	Change Owner	928

### Value History

Year	Land	Improvement	Total	Reason
2011	649800	0	649800	Reappraisal, Update or Annual Equalization
2010	1513300	0	1513300	Reappraisal, Update or Annual Equalization
2009	281200	0	281200	CAUV Loss or Recoupment
2009	281200	0	281200	Annual Maintenance on Splits & Combines
2008	293600	0	293600	Reappraisal, Update or Annual Equalization
2008	293600	0	293600	Reappraisal, Update or Annual Equalization
2005	262100	0	262100	Reappraisal, Update or Annual Equalization
2002	233600	0	233600	Reappraisal, Update or Annual Equalization
1999	186900	0	186900	Reappraisal, Update or Annual Equalization
1996	149500	0	149500	Miscellaneous

### Tax Detail Information

Full Rate: 96.56 Effective Rate 69.129961  
 Annual Tax: \$7981.82

	Prior	1st Half	2nd Half
	Chg	Adj	Chg
Orig Tax	\$0.00	\$0.00	\$0.00
Reduction		\$1759.50	\$1759.50
Subtotal	\$0.00	\$4434.34	\$4434.34
10% Rollback		\$443.43	\$443.43
Own Occ Cred		\$0.00	\$0.00
Homestead		\$0.00	\$0.00
MR		\$0.00	\$0.00
IET	\$0.00	\$3990.91	\$3990.91
Penalty/Int	\$0.00	\$0.00	\$0.00
FE Chg	\$0.00	\$0.00	\$3990.91
FE Paid	\$0.00	\$3990.91	\$0.00
IPA Chg	\$0.00	\$0.00	\$0.00
IPA Paid	\$0.00	\$0.00	\$0.00
Total Owed	\$0.00	\$3990.91	\$3990.91
Total Paid	\$0.00	\$3990.91	\$0.00
Balance Due	\$0.00	\$0.00	\$3990.91

Diff. Rate	Amount	Type
52.570675	\$6,069.87	OLENTANGY LSD
2.331072	\$269.14	DELAWARE AREA CAREER CENTER
0.601515	\$69.45	DELAWARE COUNTY HEALTH DEPT.
0.577271	\$66.65	PRESERVATION PARK DISTRICT
0.961207	\$110.98	DELAWARE CO. DISTRICT LIBRARY
1.05	\$121.23	BERLIN TWP
0.000000	\$0.00	BERLIN TWP

0.431687

\$49.84 DELAWARE COUNTY 9-1-1 DISTRICT

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**EXHIBIT C**

**LIST OF PROPERTY OWNERS**

## LIST OF PROPERTY OWNERS

<u>Property to be Rezoned</u>	<u>Acreage/Lot Number</u>	<u>Parcel ID Number</u>
John Daniel Lane Berlin Station Rd Delaware, Ohio 43015	100.00	41832001029000
<b><u>North of Property to be Rezoned</u></b>		
Mary Jo Lane, Trustee 2810 Mid Pines Ct. Delaware, Ohio 43015	34.435 17.287	41823001029000 41823001031000
<b><u>East of Property to be Rezoned</u></b>		
John D. Lane Jennifer A. Lane 2242 Berlin Station Rd. Delaware, Ohio 43015	70.457	41823001041000
Rosalie Brown 2410 Berlin Station Rd. Delaware, Ohio 43015	8.21	41823001034000
Nirmala Muniyappa Katta Jayachandra Amith 758 Ballater Dr. Delaware, Ohio 43015	Lot 9984	41832010015000
Phillip Clark Joy Clark 752 Ballater Dr. Delaware, Ohio 43015	Lot 9985	41832010016000
Nagaraju Chakilam Himabindu Chakilam 746 Ballater Dr. Delaware, Ohio 43015	Lot 9986	41832010017000
Jeffrey S. Brennan Lori Ann Brennan 740 Ballater Dr. Delaware, Ohio 43015	Lot 9987	41832010018000

Ventkataswamy & Sulochana Bolineni 728 Ballater Drive Delaware, Ohio 43015	Lot 9988	41832010019000
Beth Ousley 722 Ballater Drive Delaware, Ohio 43015	Lot 9989	41832010020000
Andrew Deblock Elizabeth Deblock 716 Ballater Dr. Delaware, Ohio 43015	Lot 9990	41832010021000
Jitendra L. Patel Kalpana J. Patel 303 Tipperary Loop Delaware, Ohio 43015	Lot 9991	41832011001000
Lisa A. Eakin Michael A. Gregg 309 Tipperary Loop Delaware, Ohio 43015	Lot 10694	41832011002000
Christopher J. Daddis Sarah A. Daddis 315 Tipperary Loop Delaware, Ohio 43015	Lot 10693	41832011003000
Jitendra Patel Kalpana Patel 321 Tipperary Loop Delaware, Ohio 43015	Lot 10692	41832011004000
Kimberly Ann Miller William Raymond Miller 327 Tipperary Loop Delaware, Ohio 43015	Lot 10691	41832011005000
Michael A. & True F. Lombardo 339 Tipperary Loop Delaware, Ohio 43015	Lot 10689	41832011007000
Matthew Myers Kelly Myers 333 Tipperary Loop Delaware, Ohio 43015	Lot 10690	41832011006000



Delaware, Ohio 43015 Patrick R. Zuchegno Kristen Zuchegno 856 Ballater Dr. Delaware, Ohio 43015	Lot 9966	41832010001000
Shawn C. Smith Arlene M. Smith 850 Ballater Dr. Delaware, Ohio 43015	Lot 9967	41832010002000
Joseph D. Cress Amber D. Cress 844 Ballater Dr. Delaware, Ohio 43015	Lot 9968	41832010003000
Rachel R. Arps Richard W. Arps 838 Ballater Dr. Delaware, Ohio 43015	Lot 9969	41832010004000
Jianguo Pei Wang Jianmei Wang 832 Ballater Dr. Delaware, Ohio 43015	Lot 9970	41832010005000
Skyler K. Munekata Brooke N. Munekata 826 Ballater Dr. Delaware, Ohio 43015	Lot 9971	41832010006000
Lawrence T. Shafer Carol A. Shafer 820 Ballater Dr. Delaware, Ohio 43015	Lot 9972	41832010007000
Kevin N. Jones Kimberly H. Jones 814 Ballater Dr. Delaware, Ohio 43015	Lot 9973	41832010008000
Gregory D. Beeman, Trustee Amanda L. Beeman, Trustee 808 Ballater Dr. Delaware, Ohio 43015	Lot 9974	41832010009000

Anthony S. Lanasa Misty A. Lanasa 802 Ballater Dr. Delaware, Ohio 43015	Lot 9975	41832010010000
Reinaldo Millan Ibelca Millan 796 Ballater Dr. Delaware, Ohio 43015	Lot 9976	41832010011000
Jason C. Lehigh Kathryn E. Lehigh 790 Ballater Dr. Delaware, Ohio 43015	Lot 9977	41832010012000
Joseph P. Hay Lindsey C. Hay 784 Ballater Dr. Delaware, Ohio 43015	Lot 9978	41832010013000
Christopher J. Zamilski Sarah Zamilski 764 Ballater Dr. Delaware, Ohio 43015	Lot 9983	41832010014000

**West of Property to be Rezoned**

JER-LEEN INC. 1573 Berlin Station Rd. Delaware, Ohio 43015	60.0	41914004015000
Rockford Homes, Inc. 999 Polaris Parkway Columbus, Ohio 43240	25.315 2.332	41941001005000 41941001005001
Estates at Braumiller Homeowners Association Inc. 1069 & 1079 Treeline Way Delaware, Ohio 43015	Lot 10323 Lot 10324	41941030023000 41941030022000
Chistian Manansala Emmanuel Q. Manansala 1085 Treeline Way Delaware, Ohio 43015	Lot 10282	41941030021000
Shelli A. Farley 1097 Treeline Way Delaware, Ohio 43015	Lot 10283	41941030020000



**EXHIBIT D**

**ADJACENT OWNERSHIP EXHIBIT**



**EXHIBIT E**  
**EXISTING LAND USE PLAN**



**EXHIBIT F**  
**AERIAL MAP OF PROPERTY**



**EXHIBIT G**

**EXISTING CONDITIONS, TOPOGRAPHY AND SOILS PLAN**

GLENROSS NORTH  
 City of Delaware  
 Delaware County, Ohio

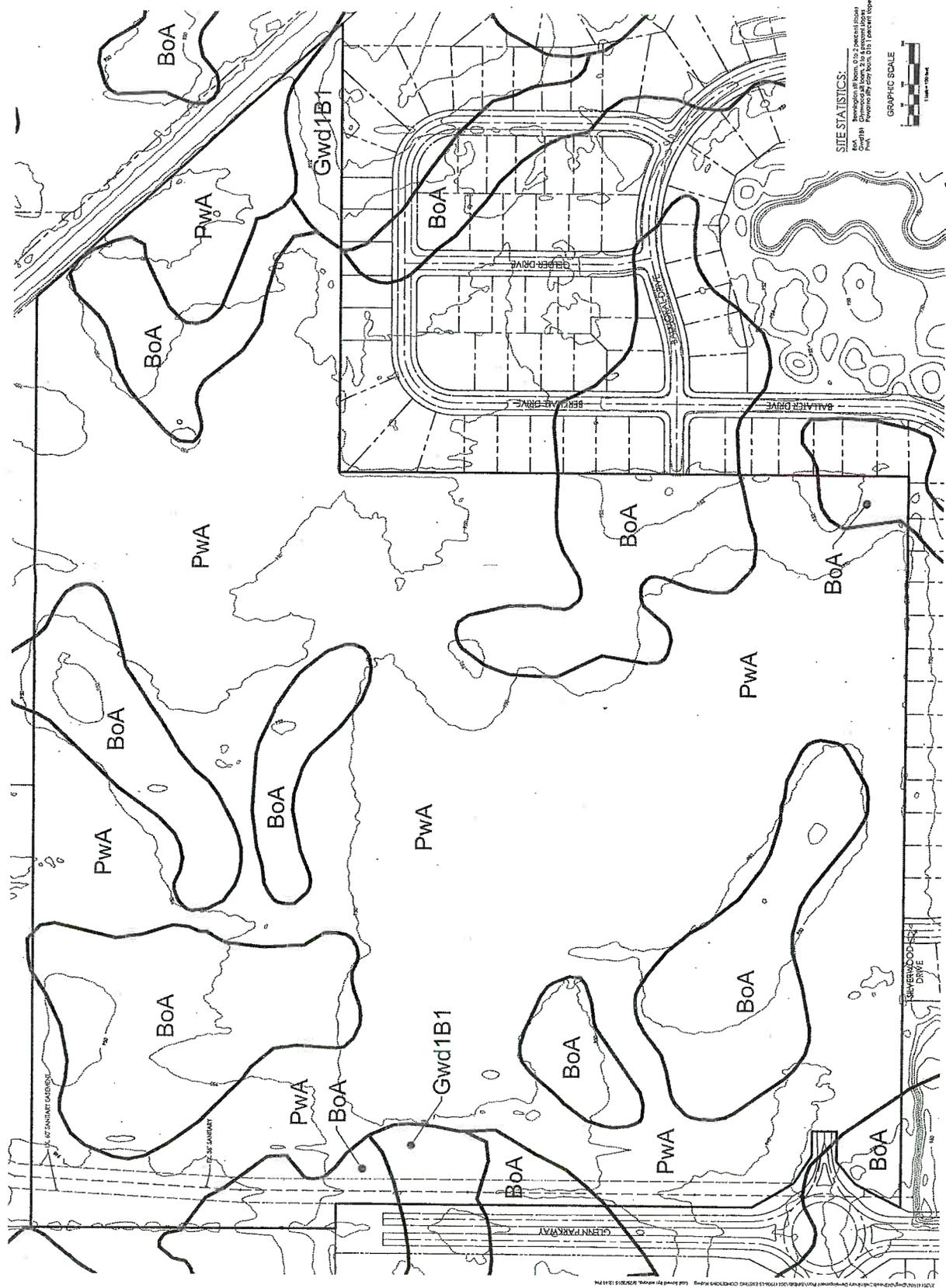
COMMUNITY  
 ASSESSMENT  
 PLAN

EXISTING  
 CONDITIONS  
 PLAN

PREPARED FOR:  
 VINCE ROMANELLI  
 148 WEST SCHROCK ROAD  
 WESTERVILLE, OHIO 43081



DATE	DESCRIPTION



**SITE STATISTICS:**  
 BoA: 1,000,000 sq. ft.  
 PWA: 2,000,000 sq. ft.  
 Gwd1B1: 1,000,000 sq. ft.





## FACT SHEET

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AGENDA ITEM NO: 13

DATE: 8/10/15

ORDINANCE NO: 15-69

RESOLUTION NO:

READING: THIRD

PUBLIC HEARING: **YES**  
**August 10, 2015 6:30 p.m.**

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TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT ALLOWING THE PLACEMENT OF A PMU (PLANNED MIXED USE OVERLAY DISTRICT) FOR VINCENT ROMANELLI TO BE ESTABLISHED FOR GLENROSS NORTH SUBDIVISION ON APPROXIMATELY 100 ACRES LOCATED JUST EAST OF GLENN PARKWAY AND NORTH OF THE GLENROSS GOLF CLUB.

**BACKGROUND:**

The subject 100 acre site was annexed into the City in February 2015 and is currently zoned A-1 (Agricultural District) as required by the codified ordinances. The developer is proposing single family residential development similar to The Glenross Golf Club which is located just south of the subject property. The proposal would consist of 196 single family lots on approximately 100 acres for a density of 1.96 units per acre. The proposed main access point would be from an existing roundabout on Glenn Parkway and internally the development would connect into the stubbed streets of The Glenross Golf Club subdivision to the south at Silverwood Drive and to the east at Balmoral Drive. Glenn Parkway would not be extended north any further because of this development. The proposed layout is focused on a 7.0 acre central park located in the heart of the development with lots fronting across the street from the active park with amenities. An outer loop street with typical double loaded streets expands out from the central park with smaller loop streets to the east adjacent to the railroad tracks and to the south connecting into The Glenross

Golf Club. The main entrance street from Glenn Parkway would have a retention pond feature on the north side of the street and an open space on the south side of the street (parkland to be combined with the adjacent City owned Glenross Park). A second retention basin is proposed on the extreme northwestern portion of the development along Glenn Parkway. The developer is proposing 196 single family lots with 103 of the lots being 80 x140 (11,200 square feet) and 93 lots being 70 x140 (9,800 square feet). To be consistent with the setbacks of The Glenross Golf Club, the 80 foot lots would require 30 foot front yard setbacks, 10 foot side yard setbacks and 35 foot rear yard setbacks while the 70 foot lots would require 30 foot front yard setbacks, 7.5 foot side yard setbacks (total 15 feet) and 35 foot rear yard setbacks. In addition, the minimum house sizes would be 1,800 square feet for a one-story ranch and 2,000 square feet for a two-story plus 200 square feet per bedroom in excess of two bedrooms. Also to comply with the base zoning code, all the corner lots would be oversized by 30% from the base lot size. The site has 22.4 acres (almost 22.4%) of open space and parkland (14 acres or 62.5% of open space and 8.4 acres or 37.5% of parkland) which achieves compliance.

The applicant has submitted a comprehensive landscaping plan that includes street trees, perimeter landscaping, park landscaping and entrance signage and landscaping which would need to be reviewed and approved by the Shade Tree Commission. A landscape buffer with mounds and trees would span from the north to the south retention basins buffering the adjacent homes from Glenn Parkway and adjacent to the railroad tracks to the east. The main entrance sign located just north of the main entrance would be 5 feet tall and 30.4 feet wide and be constructed of cut limestone with a stone cap with black pin mounted letters identifying the subdivision with the appropriate landscaping and three stone columns flanking each side. The developer is proposing an 8 foot wide asphalt bike path along the length of Glenn Parkway to be consistent with what is constructed today. The development would have to achieve compliance with Chapter 1168 Tree Preservation Regulations and a lighting plan would need to be approved for each phase. The applicant has provided a preliminary phasing plan which indicates the site would be developed in three phases from south to north. Phase I would consist of 68 single-family lots, Phase 2 would consist of 69 single family lots and Phase 3 would consist of 59 single family lots. The property is subject to a pre-annexation agreement.

**REASON WHY LEGISLATION IS NEEDED:**

N/A

**COMMITTEE RECOMMENDATION:**

Planning Commission approved this case 7-0 on July 1, 2015.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval as submitted with the documented conditions.

**ATTACHMENT(S)**





## FACT SHEET

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AGENDA ITEM NO: 14

DATE: 8/10/15

ORDINANCE NO: 15-70

RESOLUTION NO:

READING: THIRD

PUBLIC HEARING: NO

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TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN FOR VINCENT ROMANELLI FOR GLENROSS NORTH SUBDIVISION FOR 196 SINGLE FAMILY LOTS ON APPROXIMATELY 100 ACRES LOCATED JUST EAST OF GLENN PARKWAY AND NORTH OF THE GLENROSS GOLF CLUB ON PROPERTY ZONED R-2 PMU (ONE-FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED USE OVERLAY DISTRICT).

**BACKGROUND:**

The subject 100 acre site was annexed into the City in February 2015 and is currently zoned A-1 (Agricultural District) as required by the codified ordinances. The developer is proposing single family residential development similar to The Glenross Golf Club which is located just south of the subject property. The proposal would consist of 196 single family lots on approximately 100 acres for a density of 1.96 units per acre. The proposed main access point would be from an existing roundabout on Glenn Parkway and internally the development would connect into the stubbed streets of The Glenross Golf Club subdivision to the south at Silverwood Drive and to the east at Balmoral Drive. Glenn Parkway would not be extended north any further because of this development. The proposed layout is focused on a 7.0 acre central park located in the heart of the development with lots fronting across the street from the active park with amenities. An outer loop street with typical double loaded streets expands out from the central park with smaller loop streets to the east adjacent to the railroad tracks and to the south connecting into The Glenross

Golf Club. The main entrance street from Glenn Parkway would have a retention pond feature on the north side of the street and an open space on the south side of the street (parkland to be combined with the adjacent City owned Glenross Park). A second retention basin is proposed on the extreme northwestern portion of the development along Glenn Parkway. The developer is proposing 196 single family lots with 103 of the lots being 80 x140 (11,200 square feet) and 93 lots being 70 x140 (9,800 square feet). To be consistent with the setbacks of The Glenross Golf Club, the 80 foot lots would require 30 foot front yard setbacks, 10 foot side yard setbacks and 35 foot rear yard setbacks while the 70 foot lots would require 30 foot front yard setbacks, 7.5 foot side yard setbacks (total 15 feet) and 35 foot rear yard setbacks. In addition, the minimum house sizes would be 1,800 square feet for a one-story ranch and 2,000 square feet for a two-story plus 200 square feet per bedroom in excess of two bedrooms. Also to comply with the base zoning code, all the corner lots would be oversized by 30% from the base lot size. The site has 22.4 acres (almost 22.4%) of open space and parkland (14 acres or 62.5% of open space and 8.4 acres or 37.5% of parkland) which achieves compliance.

The applicant has submitted a comprehensive landscaping plan that includes street trees, perimeter landscaping, park landscaping and entrance signage and landscaping which would need to be reviewed and approved by the Shade Tree Commission. A landscape buffer with mounds and trees would span from the north to the south retention basins buffering the adjacent homes from Glenn Parkway and adjacent to the railroad tracks to the east. The main entrance sign located just north of the main entrance would be 5 feet tall and 30.4 feet wide and be constructed of cut limestone with a stone cap with black pin mounted letters identifying the subdivision with the appropriate landscaping and three stone columns flanking each side. The developer is proposing an 8 foot wide asphalt bike path along the length of Glenn Parkway to be consistent with what is constructed today. The development would have to achieve compliance with Chapter 1168 Tree Preservation Regulations and a lighting plan would need to be approved for each phase. The applicant has provided a preliminary phasing plan which indicates the site would be developed in three phases from south to north. Phase I would consist of 68 single-family lots, Phase 2 would consist of 69 single family lots and Phase 3 would consist of 59 single family lots. The property is subject to a pre-annexation agreement.

**REASON WHY LEGISLATION IS NEEDED:**

N/A

**COMMITTEE RECOMMENDATION:**

Planning Commission approved this case 7-0 on July 1, 2015.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval as submitted with the documented conditions.

**ATTACHMENT(S)**

ORDINANCE NO. 15-70

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN FOR VINCENT ROMANELLI FOR GLENROSS NORTH SUBDIVISION FOR 196 SINGLE FAMILY LOTS ON APPROXIMATELY 100 ACRES LOCATED JUST EAST OF GLENN PARKWAY AND NORTH OF THE GLENROSS GOLF CLUB ON PROPERTY ZONED R-2 PMU (ONE-FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED USE OVERLAY DISTRICT).

WHEREAS, the Planning Commission at its meeting of July 1, 2015 recommended approval of a Preliminary Development Plan for Vincent Romanelli for Glenross North Subdivision for 196 single family lots on approximately 100 acres located just east of Glenn Parkway and north of The Glenross Golf Club on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) (PC Case 2015-1056), and

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Preliminary Development Plan for Vincent Romanelli for Glenross North Subdivision for 196 single family lots on approximately 100 acres located just east of Glenn Parkway and north of The Glenross Golf Club on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and is hereby confirmed, approved, and accepted with the following conditions:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. All retention ponds shall be setback a minimum of 80 feet from the edge of pavement for roads of 35 mph or higher or per the City Engineer.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

PASSED: \_\_\_\_\_, 2015

YEAS \_\_\_ NAYS \_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR



## FACT SHEET

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AGENDA ITEM NO: 15

DATE: 8/10/15

ORDINANCE NO: 15-71

RESOLUTION NO:

READING: THIRD

PUBLIC HEARING: NO

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TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING A PRELIMINARY SUBDIVISION PLAT FOR VINCENT ROMANELLI FOR GLENROSS NORTH SUBDIVISION FOR 196 SINGLE FAMILY LOTS ON APPROXIMATELY 100 ACRES LOCATED JUST EAST OF GLENN PARKWAY AND NORTH OF THE GLENROSS GOLF CLUB ON PROPERTY ZONED R-2 PMU (ONE-FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED USE OVERLAY DISTRICT).

**BACKGROUND:**

The subject 100 acre site was annexed into the City in February 2015 and is currently zoned A-1 (Agricultural District) as required by the codified ordinances. The developer is proposing single family residential development similar to The Glenross Golf Club which is located just south of the subject property. The proposal would consist of 196 single family lots on approximately 100 acres for a density of 1.96 units per acre. The proposed main access point would be from an existing roundabout on Glenn Parkway and internally the development would connect into the stubbed streets of The Glenross Golf Club subdivision to the south at Silverwood Drive and to the east at Balmoral Drive. Glenn Parkway would not be extended north any further because of this development. The proposed layout is focused on a 7.0 acre central park located in the heart of the development with lots fronting across the street from the active park with amenities. An outer loop street with typical double loaded streets expands out from the central park with smaller loop streets to the east adjacent to the railroad tracks and to the south connecting into The Glenross

Golf Club. The main entrance street from Glenn Parkway would have a retention pond feature on the north side of the street and an open space on the south side of the street (parkland to be combined with the adjacent City owned Glenross Park). A second retention basin is proposed on the extreme northwestern portion of the development along Glenn Parkway. The developer is proposing 196 single family lots with 103 of the lots being 80 x140 (11,200 square feet) and 93 lots being 70 x140 (9,800 square feet). To be consistent with the setbacks of The Glenross Golf Club, the 80 foot lots would require 30 foot front yard setbacks, 10 foot side yard setbacks and 35 foot rear yard setbacks while the 70 foot lots would require 30 foot front yard setbacks, 7.5 foot side yard setbacks (total 15 feet) and 35 foot rear yard setbacks. In addition, the minimum house sizes would be 1,800 square feet for a one-story ranch and 2,000 square feet for a two-story plus 200 square feet per bedroom in excess of two bedrooms. Also to comply with the base zoning code, all the corner lots would be oversized by 30% from the base lot size. The site has 22.4 acres (almost 22.4%) of open space and parkland (14 acres or 62.5% of open space and 8.4 acres or 37.5% of parkland) which achieves compliance.

The applicant has submitted a comprehensive landscaping plan that includes street trees, perimeter landscaping, park landscaping and entrance signage and landscaping which would need to be reviewed and approved by the Shade Tree Commission. A landscape buffer with mounds and trees would span from the north to the south retention basins buffering the adjacent homes from Glenn Parkway and adjacent to the railroad tracks to the east. The main entrance sign located just north of the main entrance would be 5 feet tall and 30.4 feet wide and be constructed of cut limestone with a stone cap with black pin mounted letters identifying the subdivision with the appropriate landscaping and three stone columns flanking each side. The developer is proposing an 8 foot wide asphalt bike path along the length of Glenn Parkway to be consistent with what is constructed today. The development would have to achieve compliance with Chapter 1168 Tree Preservation Regulations and a lighting plan would need to be approved for each phase. The applicant has provided a preliminary phasing plan which indicates the site would be developed in three phases from south to north. Phase I would consist of 68 single-family lots, Phase 2 would consist of 69 single family lots and Phase 3 would consist of 59 single family lots. The property is subject to a pre-annexation agreement.

**REASON WHY LEGISLATION IS NEEDED:**

N/A

**COMMITTEE RECOMMENDATION:**

Planning Commission approved this case 7-0 on July 1, 2015.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval as submitted with the documented conditions.

**ATTACHMENT(S)**

ORDINANCE NO. 15-71

AN ORDINANCE APPROVING A PRELIMINARY SUBDIVISION PLAT FOR VINCENT ROMANELLI FOR GLENROSS NORTH SUBDIVISION FOR 196 SINGLE FAMILY LOTS ON APPROXIMATELY 100 ACRES LOCATED JUST EAST OF GLENN PARKWAY AND NORTH OF THE GLENROSS GOLF CLUB ON PROPERTY ZONED R-2 PMU (ONE-FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED USE OVERLAY DISTRICT).

WHEREAS, the Planning Commission at its meeting of July 1, 2015 recommended approval of a Preliminary Subdivision Plat for Vincent Romanelli for Glenross North Subdivision for 196 single family lots on approximately 100 acres located just east of Glenn Parkway and north of The Glenross Golf Club on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) (PC Case 2015-1057), and

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Preliminary Subdivision Plat for Vincent Romanelli for Glenross North Subdivision for 196 single family lots on approximately 100 acres located just east of Glenn Parkway and north of The Glenross Golf Club on property zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and is hereby confirmed, approved, and accepted with the following conditions:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. All retention ponds shall be setback a minimum of 80 feet from the edge of pavement for roads of 35 mph or higher or per the City Engineer.
3. All the lots adjacent to the The Glenross Golf Club shall have a minimum rear yard lot width of 80 feet.
4. Lot 194 shall be eliminated from the plan and plat because its perpendicular to rather than parallel with the rear lots in the The Glenross Golf Club.
5. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
6. The single family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections

- of the current zoning code.
7. The proposed central park in Reserve B shall be programmed with a tot lot ( play equipment and a swing set), ball fields, gazebo, trash receptacles, etc., prior to approval of the Final Subdivision Plat in Phase 2 and shall be maintained by the Homeowner's Association with an easement dedicated to the City for public use. The exact programing shall be determined and approved with Final Development Plan and Plat reviews for Phase 2.
  8. A minimum 3-6 foot high mound with landscaping shall be located along Glenn Parkway between the retentions ponds and a three rail wood fence stained white adjacent to the retention ponds. The maintenance of the mound and associated landscaping shall be the responsibility of the Homeowner's Association. The subject plan shall be reviewed and approved by the Shade Tree Commission.
  9. A 10-12 foot high mound with landscaping shall be installed adjacent to the railroad tracks to be consistent with mounding the Communities at Glenross just south of the subject development. The subject plan shall be reviewed and approved by the Shade Tree Commission.
  10. A street tree plan shall be submitted and approved by the Shade Tree Commission.
  11. Any tree removal and/or replacement requirements shall achieve compliance with Chapter 1168 Tree Preservation Regulations and shall be required prior to final plat approvals for each phase.
  12. The tree lines along the east and south property lines shall be preserved.
  13. The bike path along Glenn Parkway shall be installed by the developer and located within an easement dedicated to the City and shall be maintained by the Homeowner's Association.
  14. Reserve A (1.4 acres) shall be consolidated with the Glenross City Park to the south and shall be maintained by the City.
  15. The street lighting plan shall be submitted, reviewed and approved by the Chief Building Official and achieve compliance with all zoning requirements prior to final subdivision plat approval of each phase.
  16. All elements of the Pre-Annexation Agreement shall achieve compliance with including but not limited to: voluntary developer entrance into the a New Community Authority, an additional sanitary sewer charge for the Southeast Highlands trunk sewer of \$3,200 per edu, the single family lot transportation fee in effect in this area at the time of building permit issuance (currently the fee is \$1,000), and dedication of right-of-way for the future expansion of Glen Parkway.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

PASSED: \_\_\_\_\_, 2015

YEAS \_\_\_ NAYS \_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR



## FACT SHEET

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AGENDA ITEM NO: 16

DATE: 8/10/15

ORDINANCE NO: 15-73

RESOLUTION NO:

READING: SECOND

PUBLIC HEARING: NO

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TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: Darren Shulman, City Attorney

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE SUPPLEMENTING THE 2015 APPROPRIATIONS ORDINANCE TO PROVIDE FUNDING TO HIRE A FULL-TIME POSITION IN THE LEGAL DEPARTMENT TO PROSECUTE DELINQUENT INCOME TAX CASES AND TO PROVIDE OTHER LEGAL ASSISTANCE.

**BACKGROUND:**

Starting in 2014, the city piloted a program under which a recent law school graduate prosecuted municipal income tax cases. In conjunction with the program, the legal department established a diversion program for first time tax offenders. The increased enforcement effort has resulted in over \$100,000 in collections, with another \$150,000 pledged to be paid in the diversion program (though that won't all be collected).

The pilot showed us that the key aspects necessary for a successful program. First, most of these cases can be resolved before going to court by speaking with the defendants ahead of time. As a result, we are structuring this position to ensure that the attorney is available in the office to speak with defendants and coordinate with the finance department. Second, we believe an attorney is essential to the process to make sure cases are being filed appropriately, since charges carry criminal penalties. Third, while the city prosecutors can handle these cases, due to increasing caseloads, these cases tend to get the least attention. In addition, our three existing prosecutors are in court most of the day and are therefore not available to speak with

defendants. Fourth, we believe a full time position will enable us to increase the number of cases we file (and by extension, the amount of taxes we collect). Finally, we believe these cases, if reviewed and filed properly, tend to be less complex and involved than other cases. As such, we believe this attorney will have time to help address the increasing criminal caseload at the prosecutor's office and provide more capacity in the civil department.

**REASON WHY LEGISLATION IS NEEDED:**

The supplemental appropriation is necessary in order to providing funding for the full-time Attorney position in the Prosecutors Office. Beginning in FY16, the position is estimated to cost \$70,000. It's cost is expected to be offset with revenue collected through the program.

**COMMITTEE RECOMMENDATION:**

N/A

**FISCAL IMPACT(S):**

In 2015, \$20,584 is what the cost would be to add the person.

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

Darren Shulman, City Attorney

**RECOMMENDATION:**

Approval at second reading

**ATTACHMENT(S)**

N/A

ORDINANCE NO. 15-73

AN ORDINANCE SUPPLEMENTING THE 2015 APPROPRIATIONS ORDINANCE TO PROVIDE FUNDING TO HIRE A FULL-TIME POSITION IN THE LEGAL DEPARTMENT TO PROSECUTE DELINQUENT INCOME TAX CASES AND PROVIDE OTHER LEGAL ASSISTANCE.

WHEREAS, A pilot program has shown that increased enforcement can greatly increase income tax collections; and

WHEREAS, Council finds that a full-time Attorney is necessary to prosecute delinquent income tax cases; and

WHEREAS, in addition to managing the docket of income tax cases, the new attorney could help address increasing caseload in the Prosecutors Office and provide additional resource for civil work; and

WHEREAS, a supplemental appropriation will be necessary to authorize funding for the new full-time position.

NOW, THEREFORE BE IT ORDAINED BY THE COUNCIL OF THE CITY OF DELAWARE, OHIO THAT:

SECTION 1. That there is hereby appropriated from the unencumbered balance of the General Fund \$20,584 increasing the following accounts:

Legal Department		
Wages	(101-0021-5100)	\$ 17,452
OPERS Pension	(101-0021-5101)	\$ 2,443
Medicare	(101-0021-5103)	\$ 253
Workers Comp.	(101-0021-5104)	\$ 436

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION: YEAS\_\_\_ NAYS\_\_\_  
ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2015 YEAS\_\_\_ NAYS\_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR



## FACT SHEET

---

AGENDA ITEM NO: 17

DATE: 8/10/15

ORDINANCE NO: 15-75

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: YES  
**August 24, 2015 at 6:30 p.m.**

---

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

---

**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT FOR KROGER DISTRIBUTION CENTER TO INSTALL AN ABOVE GROUND HYDROGEN STORAGE TANK AT 2000 NUTTER LANE ON APPROXIMATELY 162 ACRES ZONED M-2 (GENERAL MANUFACTURING DISTRICT) WITH TEXT LIMITATIONS.

**BACKGROUND:**

The current site is the location of a Kroger Food Distribution Center that was approved in 2002. The storage tank will store liquid hydrogen to be used to charge fuel cells for powering indoor loading equipment. The applicant has had previously approved temporary storage of above ground hydrogen fuel tanks at this location. This was effectively a test of this new fuel source for Kroger's purposes at this location, which has proved successful, cost efficient, and more environmentally friendly than other power sources. The applicant is now proposing the installation of a permanent 15,150 gallon aboveground storage tank at the southern portion of the property. Staff from multiple Departments including the Fire Department met with the applicant to review the proposal and all are in general support of the proposal

**REASON WHY LEGISLATION IS NEEDED:**

N/A

**COMMITTEE RECOMMENDATION:**

Planning Commission approved this case 6-0 on August 5, 2015.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval with documented conditions.

**ATTACHMENT(S)**

Staff report

ORDINANCE NO. 15-75

AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT FOR KROGER DISTRIBUTION CENTER TO INSTALL AN ABOVE GROUND HYDROGEN STORAGE TANK AT 2000 NUTTER LANE ON APPROXIMATELY 162 ACRES ZONED M-2 (GENERAL MANUFACTURING DISTRICT) WITH TEXT LIMITATIONS.

WHEREAS, the Planning Commission at its meeting of August 5, 2015, recommended approval of a Conditional Use Permit for Kroger Distribution Center to install an above ground hydrogen storage tank at 2000 Nutter Lane on approximately 162 acres zoned M-2 (General Manufacturing District) with text limitations (PC Case 2015-1282), and

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Conditional Use Permit for Kroger Distribution Center to install an above ground hydrogen storage tank at 2000 Nutter Lane on approximately 162 acres zoned M-2 (General Manufacturing District) with text limitations and is hereby confirmed, approved, and accepted with the following conditions that:

1. No additional outdoor storage shall be permitted on the subject parcel.
2. No additional above-ground storage tanks shall be permitted, that does not comply with Conditional Use Permit Regulations.
3. The aboveground storage tank shall be no larger than 15,150 gallons.
4. The aboveground storage tank shall achieve compliance with all state and national fire code regulations.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS \_\_\_ NAYS \_\_\_  
ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2015

YEAS \_\_\_ NAYS \_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR

CASE NUMBERS: 2015-1282  
REQUEST: Conditional Use Permit  
PROJECT: Kroger Distribution Center  
MEETING DATE: August 5, 2015

**APPLICANT/OWNER**

The Kroger Company  
2000 Nutter Farms Lane  
Delaware, Ohio 43015

**REQUESTS**

2015-1282: A request by The Kroger Company for approval of a Conditional Use Permit for a 15,150 gallon aboveground liquid hydrogen storage tank at 2000 Nutter Farms Lane on approximately 162.29 acres on property zoned M-2 (General Manufacturing District).

**PROPERTY LOCATION & DESCRIPTION**

The subject 162.29 acre site is located on the eastern most edge of the City of Delaware municipal boundary to the south of US 36/37. The subject site is zoned M-2 (General Manufacturing District) with a Text Limitation Overlay. The properties surrounding the subject site are zoned M-1 (Light Manufacturing District) to the west, B-3 (Community Business District) to the north, and B-4 (General Business District) and A-1 (Agricultural District) to the east. There are also three unincorporated parcels adjacent to the subject site to the east, west, and south.

**BACKGROUND/PROPOSAL**

The current site is the location of a Kroger Food Distribution Center that was approved in 2002. The storage tank will store liquid hydrogen to be used to charge fuel cells for powering indoor loading equipment. The applicant has had previously approved temporary storage of above ground hydrogen fuel tanks at this location. This was effectively a test of this new fuel source for Kroger's purposes at this location, which has proved successful, cost efficient, and more environmentally friendly than other power sources. The applicant is now proposing the installation of a permanent 15,150 gallon aboveground storage tank at the southern portion of the property. Staff from multiple Departments including the Fire Department met with the applicant to review the proposal and all are in general support of the proposal.

**STAFF ANALYSIS**

- **COMPREHENSIVE PLAN:** The subject site is located in the eastern portion of the City of Delaware Comprehensive Plan and recommends light manufacturing use. The subject site is surrounded by light manufacturing future land uses to the east and west, as well as mixed-use to the south, and commercial use to the north.
- **ZONING:** As noted above, the subject site is currently zoned M-2 (General Manufacturing District) with a Text Limitation Overlay. Because the storage tank exceeds 2000 gallons, a Conditional Use Permit (CUP) is required.
- **GENERAL ENGINEERING:** The subject plans submitted will suffice as the reviewed engineering plan per the engineering department.
- **SITE CONFIGURATION:** The site consists of an 865,414 square foot distribution center. The site is accessed by a signal light at US 36/37 and Davidson Lane. Davidson Lane is a four lane road that extends to Nutter Farms Lane which has three curb cuts that access the subject lot. The proposed permanent aboveground liquid storage tank will be located at the south end of the property adjacent to the employee parking lot. The charging station will be located directly north of the proposed location of the storage tank. The storage tank will be placed on a concrete slab with a six foot high chain link fence to provide additional security. As per the City of Delaware zoning code for aboveground storage of flammable liquids, the applicant must comply with a minimum setback of 100 feet from all non-residential property lines and 300 feet from all residential property lines. The proposed tank is approximately 327 feet from the nearest property line to the south (and rail road spur) and approximately 420 feet from the nearest residential property line (to the west). The applicant is proposing four dispensing areas. Dispensers 1-2 will be located in the dry grocery section of the distribution center; dispenser 3 will be located in the perishables, while dispenser 4 will be located at the northeast area of the freezer section.

- **LANDSCAPING & SCREENING:** A landscape and street tree plan was approved and implemented in 2002. The proposed location has mounding and a maturing evergreen tree screening already in place. Therefore, no additional landscaping and screening has been proposed.
  - **LIGHTING:** The applicant is proposing 3 low LED light poles to illuminate the storage tank for security purposes. All new lights including wall packs shall be shielded away from adjacent residents and would need to achieve compliance with the zoning code and be approved by the Chief Building Official.
  - **SIGNS:** No additional signage has been proposed.
  - **FIRE DEPARTMENT:** The aboveground storage tank shall achieve compliance with City of Delaware fire codes and department requirements.
  - **CONDITIONAL USE PERMIT:** Staff has reviewed the criteria for a Conditional Use Permit and finds that all applicable criteria are achieved for approval including the supplemental regulation that in an M-2 District, aboveground storage tanks for gasoline, oil or alcohol shall not exceed 2,000 gallons in capacity without Planning Commission or City Council approval.
- 

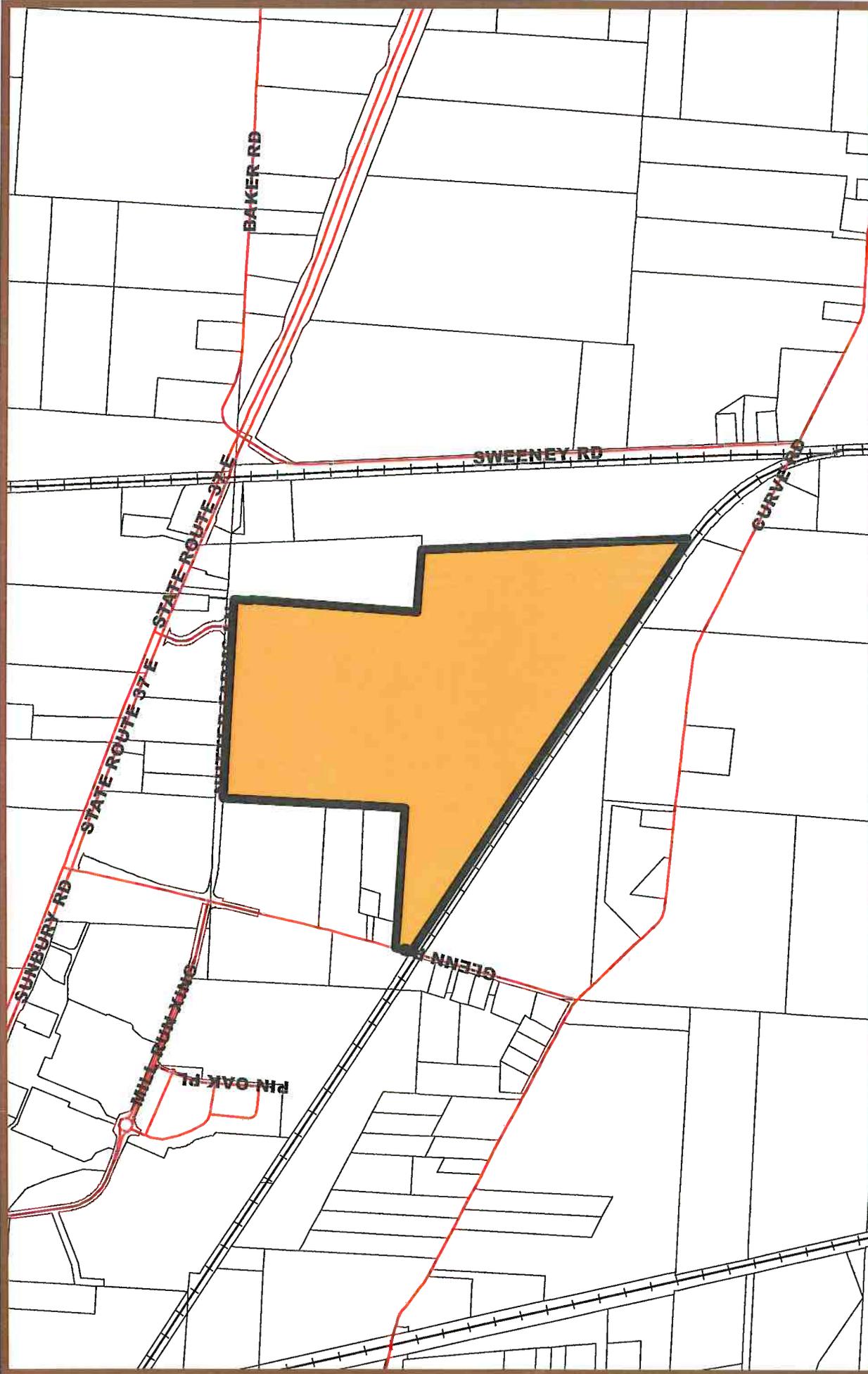
#### GENERAL REVIEW CRITERIA FOR ALL CONDITIONAL USE PERMITS

1. Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not essentially change the character of the same area.
2. Will not be detrimental to property values in the immediate vicinity.
3. Will not restrict or adversely affect the existing use of the adjacent property owners.
4. Will be designed and constructed so that all access drives, access points to public streets, driveways, parking and service areas shall be in compliance with the regulations set forth in Chapter 1161.
5. Will be properly landscaped in accordance with Chapter 1166.
6. That the establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or general welfare.
7. That the establishment of the conditional use in the proposed location will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
8. That adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
9. That adequate measures have been or will be taken to provide ingress and egress designed to minimize traffic congestion on the surrounding public streets and to maximize public safety.
10. That the establishment of the conditional use will not be detrimental to the economic welfare of the community by creating excessive additional requirements or public cost for public facilities such as police, fire and schools.
11. That there is minimal potential for future hardship on the conditional uses that could result from the proposed use being surrounded by uses permitted by right that may be incompatible.

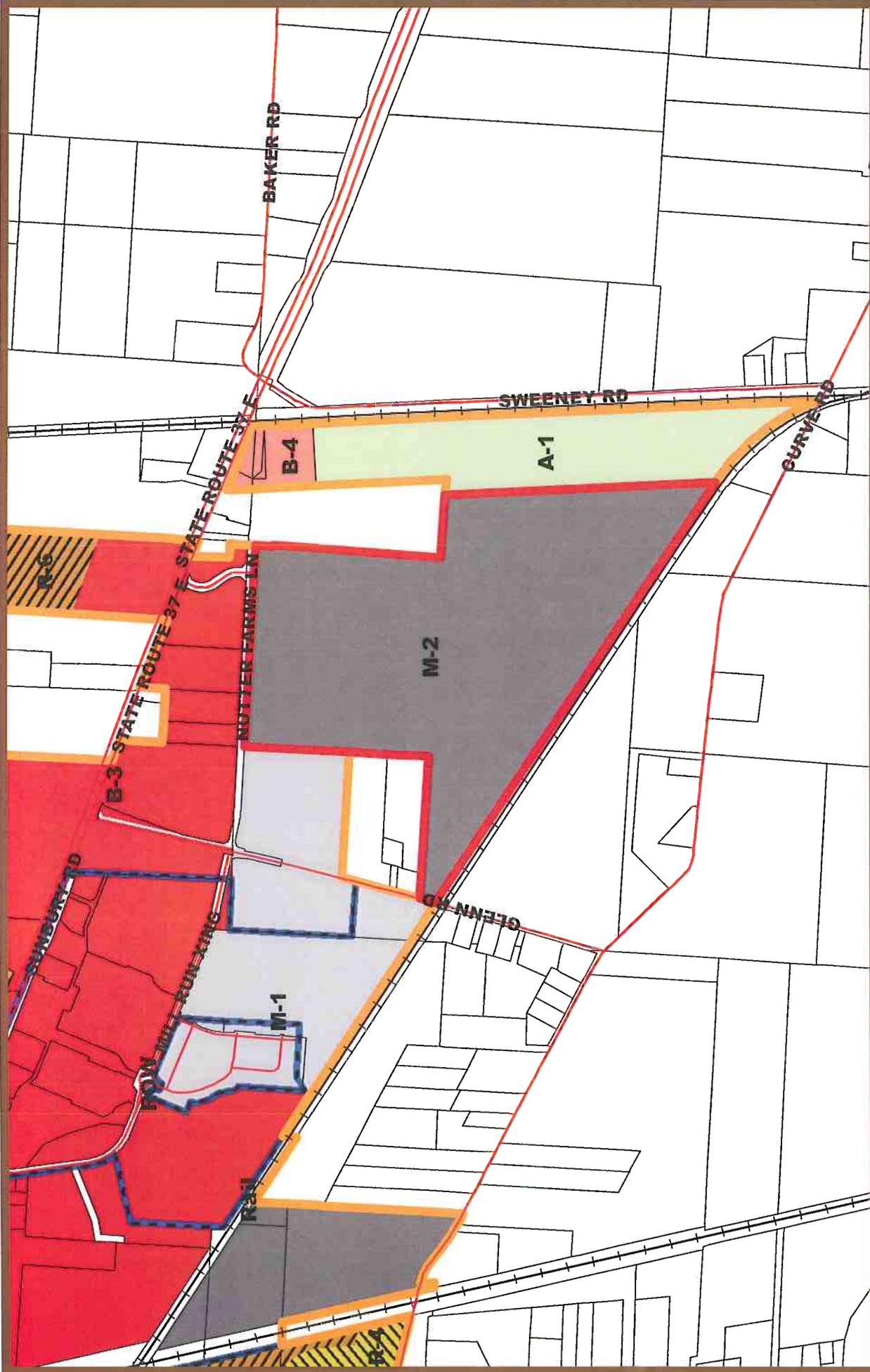
#### SECTION 1148.05      CONDITIONAL USE PERMIT SUPPLEMENTAL REGULATIONS FOR SPECIFIC USES.

- (ee) Storage (aboveground) of Flammable Liquids.
- (1) In an M-1 District, aboveground storage tanks for gasoline, oil or alcohol shall not exceed 500 gallons in capacity.
  - (2) In an M-2 District, aboveground storage tanks for gasoline, oil or alcohol shall not exceed 2,000 gallons in capacity.
  - (3) All aboveground storage tanks shall comply with all state and national fire code regulations.
  - (4) Aboveground storage tanks shall be set back a minimum of 100 feet from all non-residential property lines and 300 feet from residential property lines.





2015-1282  
Conditional Use Permit  
Kroger Distribution Center - 2000 Nutter Farms Lane  
Location Map



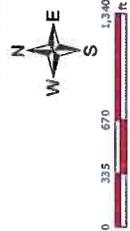
2015-1282  
 Conditional Use Permit  
 Kroger Distribution Center - 2000 Nutter Farms Lane  
 Zoning Map





2015-1282  
Conditional Use Permit  
Kroger Distribution Center - 2000 Nutter Farms Lane  
Aerial (2013)





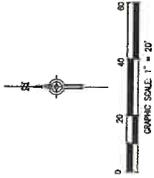
**Kroger DC**

Information contained within this map may be used to generally locate, identify and inventory land parcels within Delaware County. Delaware County cannot warrant or guarantee the information contained herein, including, but not limited to its accuracy or completeness. This map and any information obtained from FEMA and is administered by the Delaware County Auditor's Office. Please report any errors or omissions to the Delaware County Auditor's Office at [delcoaudit@co.delaware.oh.us](mailto:delcoaudit@co.delaware.oh.us). Prepared by: Delaware County Auditor's GIS Office



Printed on 8/22/2019





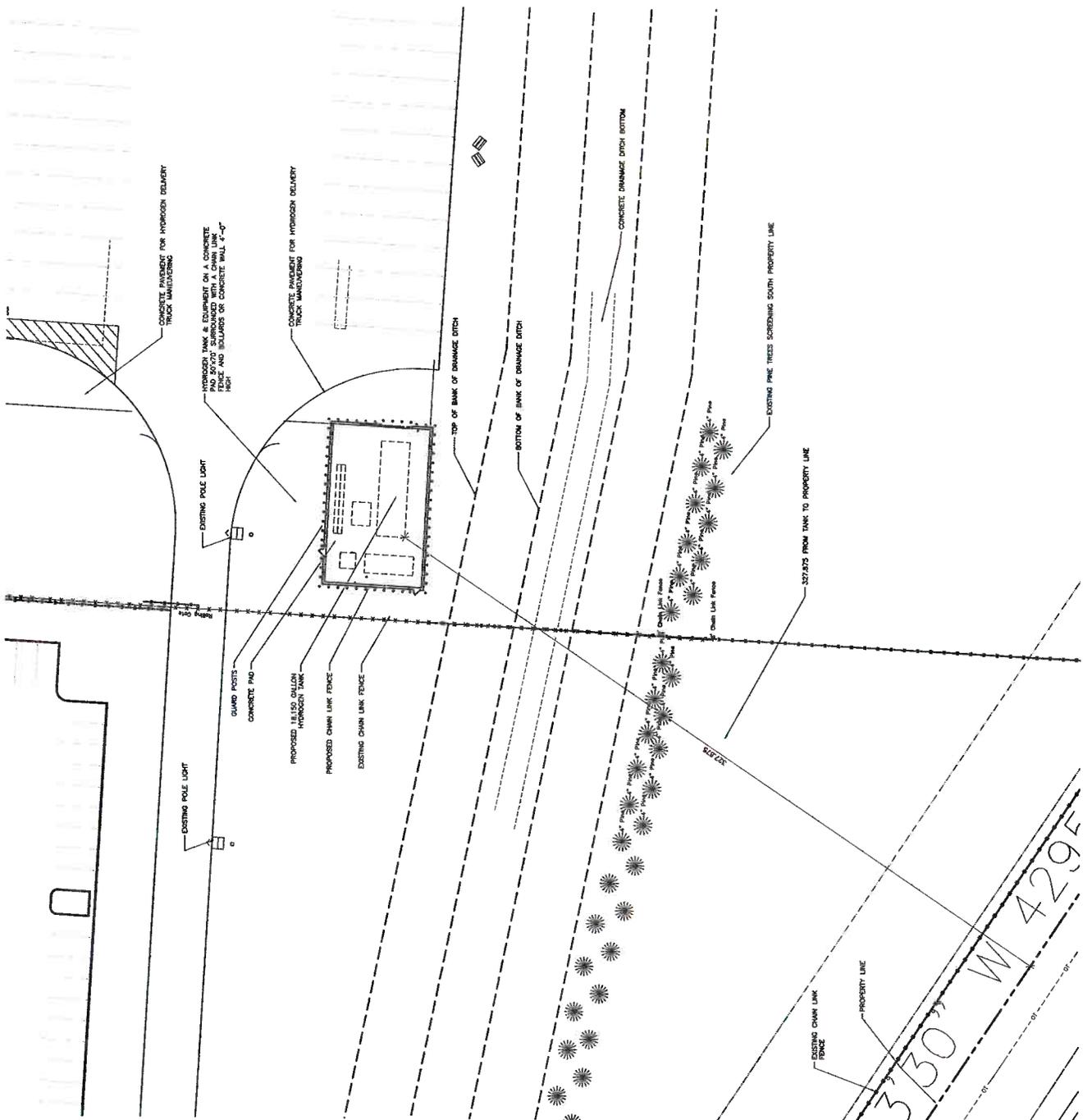
ZONING ENLARGED SITE PLAN

© 2014, Collaborative Design, LLC  
Project Number: 15040  
Date: 07-6-15  
Scale: AS NOTED  
This drawing shall be used in accordance with the provisions of the applicable zoning ordinance.

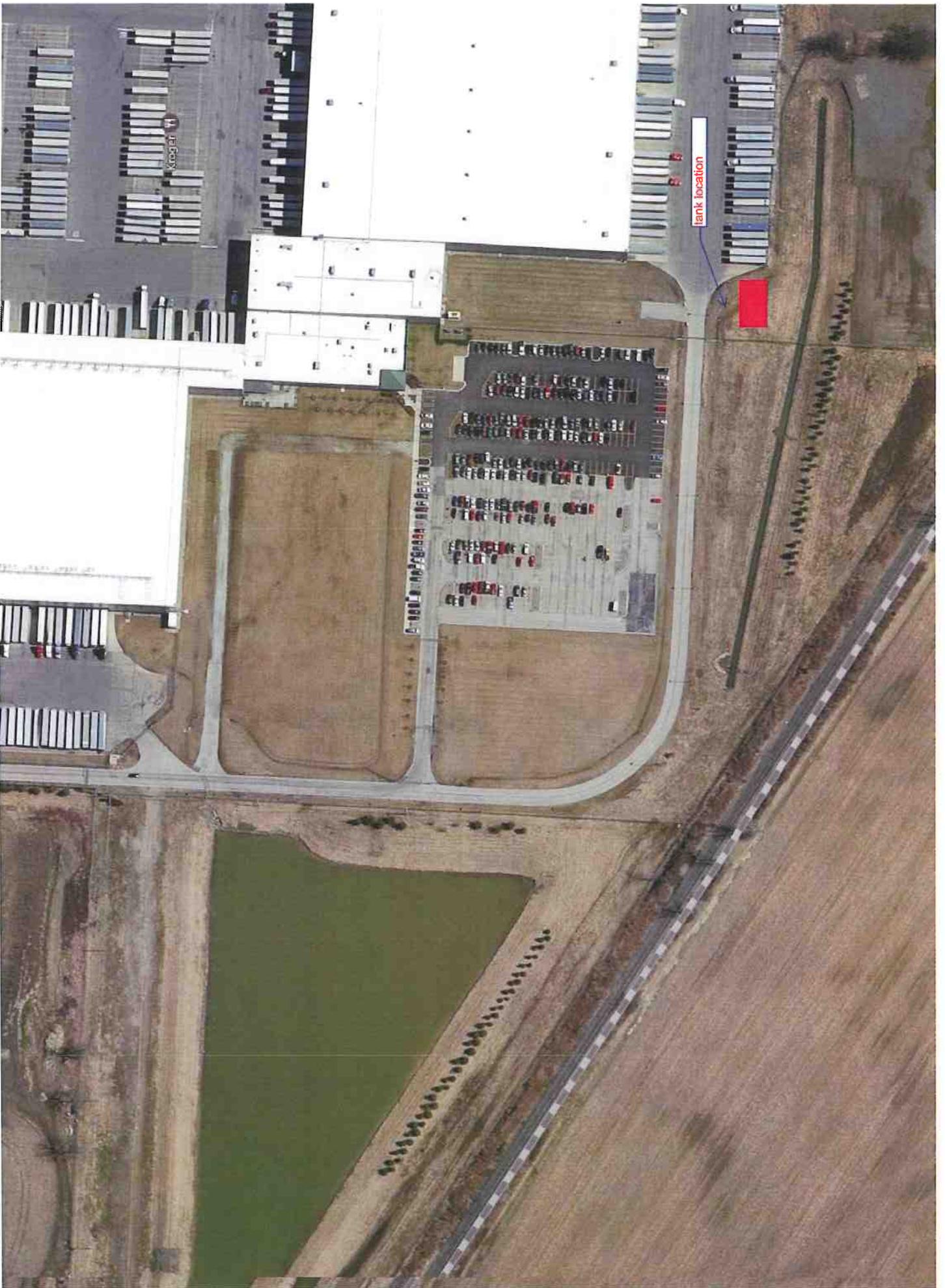
Collaborative Design, Ltd.  
2221 Timber Parkway, Suite 203  
Dublin, OH 43017  
Tel: 614.798.1515



Kroger Distribution Center  
Fuel Cell Project  
Delaware, OH







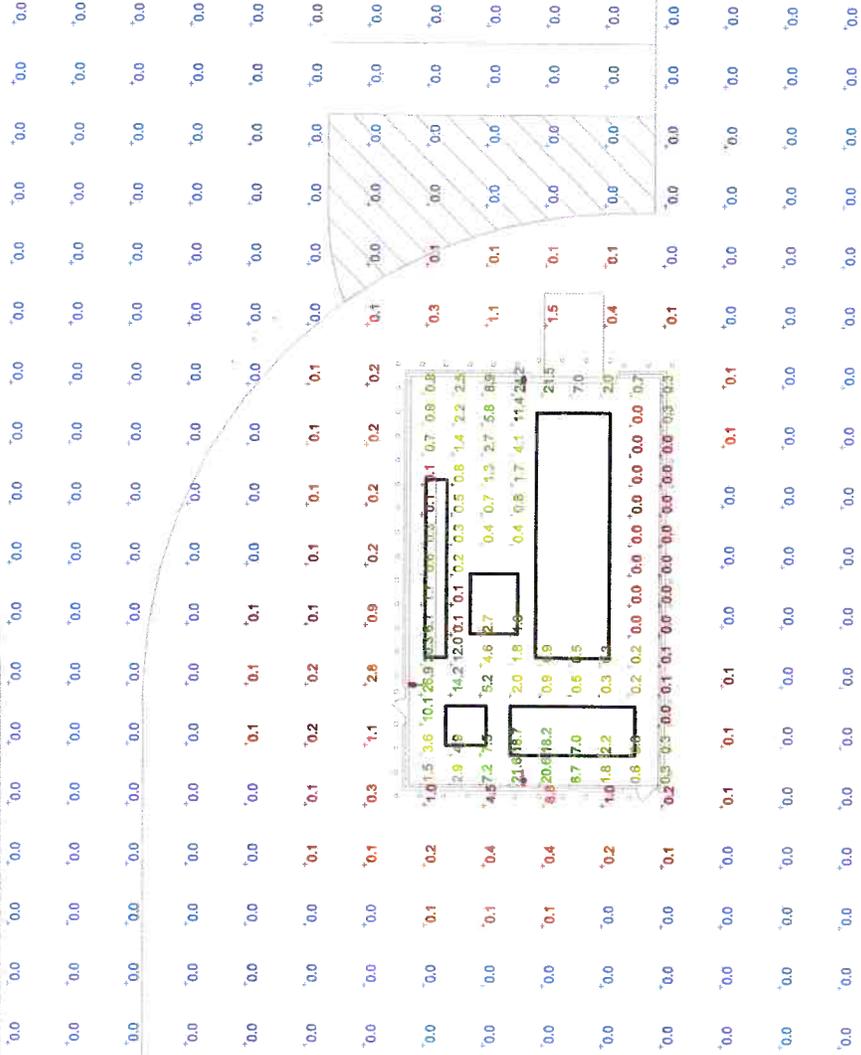
**LUMINAIRE SCHEDULE**

Symbol	Qty	Catalog Number	Description	Lamp	LLF	Watts
●	3	SAFR11LULFGXX	CAST GRAY PAINTED METAL HOUSING, ONE CIRCUIT BOARD WITH 9 LEADS, FROSTED GLASS LENS, FABRICATED SEMI-SPECULAR METAL WIRE GUARD SURROUNDING LENS. LENS FROSTED SIDE IN.	NINE WHITE LIGHT EMITTING DIODES (LEDS) EACH WITH CLEAR HEMISPHERICAL INTEGRAL LENS, FABRICATED VERTICAL BASE-UP POSITION.	0.95	98.2

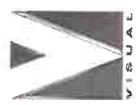
fixtures mounted with 25 deg. stanchion

**STATISTICS**

Description	Symbol	Avg	Max	Min
area surrounding pad	+	0.1 fc	8.8 fc	0.0 fc
equipment pad	+	3.8 fc	26.9 fc	0.0 fc



Snap Shot # 1  
Scale 1" = 20'



Kroger Distribution Center  
Fuel Cell Project, Delaware, OH  
Equipment Pad Lighting

Designer  
Date  
Jul 2 2015  
Scale  
as noted  
Drawing No.

# SAFR LED SERIES

SAFR  
LED

## Hazardous Location LED Luminaire

- Class I, Division 2, Groups A, B, C & D
- Class II, Division 1 & 2, Groups E, F & G
- Class III
- Class I, Zone 2, Groups IIA, IIB & IIC
- UL 8750 LED Safety
- UL 844 Hazardous Locations
- UL 1598 Wet Locations
- UL 1598A Marine Outside Type
- NEMA 3R & 4X
- IP66
- CUL
- ABS Type Approved
- Tested to LM 79 & LM 80
- Enclosed & Gasketed
- US Patent # D637,339S



**AZZ** | R-A-L™  
**RIG-A-LITE**

# SAFR LED SERIES

## Hazardous Location LED Luminaire

Large hinge permits fixture to open for "hands free" wiring. Also allows better heat dissipation of internal components.

Housing and outlet boxes are high strength, corrosion resistant copper-free cast aluminum alloy.

Superior heat resistant silicone o-ring gasket makes fixture suitable for installation indoors or outdoors. Other materials available.

All external hardware is stainless steel. Stainless steel inserts are available as an option.

All exterior surfaces are covered with corrosion and chemical resistant baked epoxy.

Available with deep prismatic glass, clear low-profile or frosted low-profile glass globes.

Suitable for installation on marine environments where equipment is subject to salt water spray, either indoor or outdoor.

- UL 844 Hazardous Locations
- UL 8750 LED Safety
- UL 1598A Marine Outdoor
- Enclosed and Gasketed
- Suitable for wet locations
- Suitable for hose down applications

LED

# SAFR Series

Hazardous Locations • Class I, Division 2 • Class II • Class III • UL 1598, 1598A, 844 & 8750 • Wet Locations • CUL

## Catalog Number Logic

**SAFR-09-L2-U-LFG-C-XX**

1
2
3
4
5
6
7

- 1 BASIC SERIES SAFR**  
 Hazardous Location LED  
 Class I, Division 2, Groups A, B, C & D  
 Class II, Division 1 & 2, Groups E, F & G  
 Class III  
 Simultaneous Presence  
 Class I, Zone 2, Groups IIA, IIB & IIC  
 Enclosed and Gasketed  
 Wet Locations  
 NEMA 3R, 4X; IP66  
 UL 1598, UL1598A, UL844 & UL8750  
 CUL  
 ABS Type Approved

- 2 LAMP CURRENT/LAMP WATTAGE**  
 09 = 70 Watts  
 11 = 96 Watts

- 3 LAMP TYPE**  
 L2 = LED

- 4 DRIVER VOLTAGE**  
 U = 120 to 277V 50/60 HZ  
 N = 347/480V 60 HZ

- 5 GLOBE & GUARD**  
 LC = Low Profile Clear Glass Globe Only  
 LCG = Low Profile Clear Glass Globe & Guard  
 LF = Low Profile Frosted Glass Globe Only  
 LFG = Low Profile Frosted Glass Globe & Guard  
 T5 = Type V (Symmetric)  
 Closed Bottom Glass Refractor  
 T5G = Type V (Symmetric)  
 Closed Bottom Glass Refractor & Guard

- 6 MOUNTING STYLE**  
 P = 3/4" Pendant Mount  
 P1 = 1" Pendant Mount  
 C = 3/4" Ceiling Mount  
 C1 = 1" Ceiling Mount  
 W = 3/4" Wall Mount  
 W1 = 1" Wall Mount  
 S = 1-1/4" 25° Stanchion Mount  
 S1 = 1-1/2" 25° Stanchion Mount  
 L = 1-1/4" 90° Stanchion Mount  
 L1 = 1-1/2" 90° Stanchion Mount  
 K = 3/4" Cone Top  
 K1 = 1" Cone Top

- 7 OPTIONS<sup>1</sup>**  
 SS = Stainless Steel Inserts (304)  
 FB1 = Single Fuse Block<sup>2,3</sup>  
 FB2 = Double Fuse Block<sup>2,3</sup>  
 SC = Safety Cable  
 SP = Surge Protector

<sup>1</sup> Consult factory for pricing

<sup>2</sup> Not available unless incoming voltage is specified. When installed, one fuse block is provided for 120, 277V and two fuse blocks are provided for 208, 220, 240V. Fuse not included. Not available on 347V or 480V

<sup>3</sup> Fuse option not available for marine listed fixtures.

## Certification Guide

Model	Watts	Type	Ambient Temperature °C	Class I, Div.2 Groups A,B,C & D	CLASS II, Div. 1 Groups E, F & G Class III	Simultaneous Presence	Supply Wire Suitable Temp °C	UL 1598A Outdoor	CUL
SAFR09	70	LED	40	T4	T6	T3B	75	YES	YES
SAFR09	70	LED	55	T4	T6	T3B	75	YES	YES
SAFR11	96	LED	40	T4A	T6	T3C	90	YES	YES
SAFR11	96	LED	55	T4A	T6	T3C	90	YES	YES

Refer to Certification Guide to determine suitability of individual fixture.

Catalog logic is for explaining catalog number structure only. Not all combinations are possible; consult factory for catalog numbers not listed in charts.

**Photos at Kroger Distribution Center Delaware Ohio, taken in May 2015**



**Standing at proposed tank pad location looking south east**



**Standing at proposed tank pad looking south and a little east**



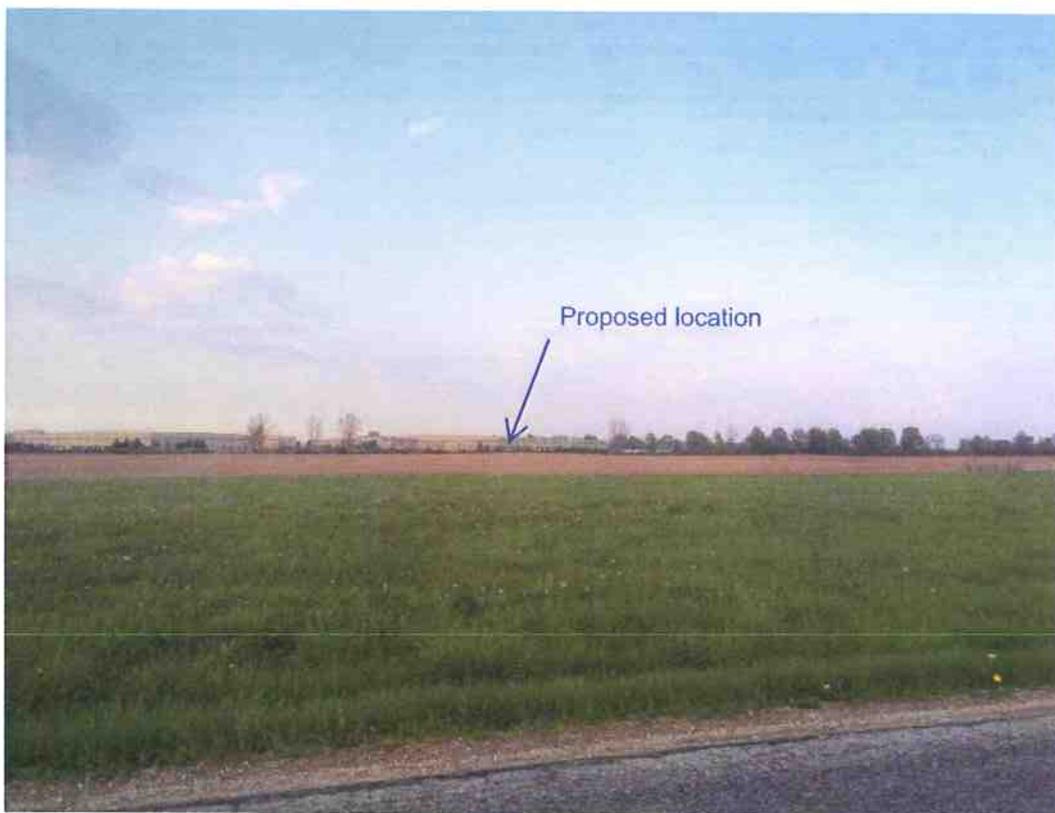
**Standing at proposed tank pad looking south**



**Standing at proposed tank pad looking south and a little west**



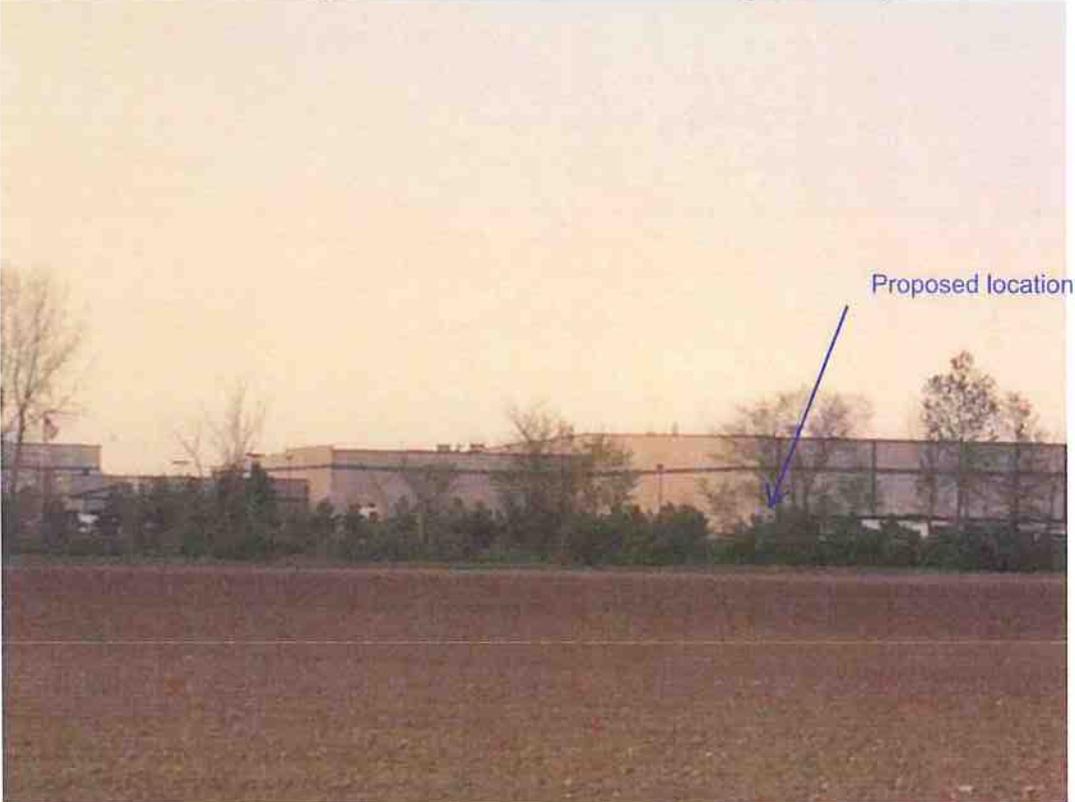
**Standing at proposed tank pad looking west**



**On Curve Road looking north east towards the Kroger facility**



**On Curve Road looking north east towards the Kroger facility**



**On Curve Road looking north east towards the Kroger facility**



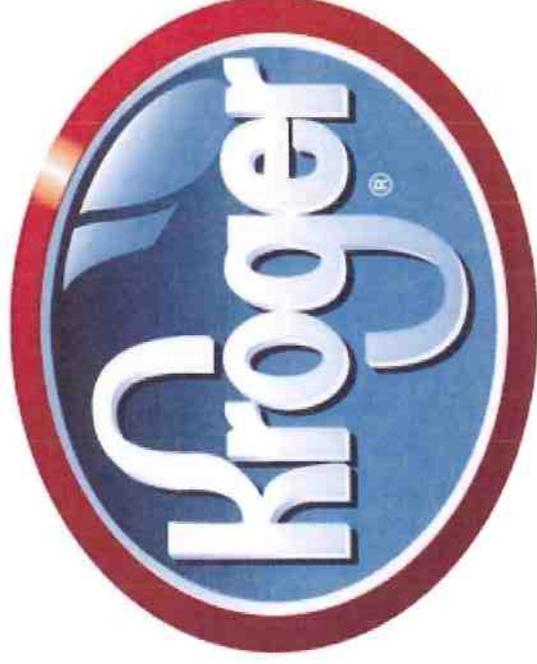
**Photo of a Hydrogen tank installation at another Kroger facility**



**Kroger Distribution Center**  
2000 Nutter Farms lane, Delaware OH 43015

## **Hydrogen Fuel Cell Project**

July 6, 2015





Fuel Cell Provider

**Steven Delmonaco**

Hydrogen Systems Engineer

Office (518) 380-3296

[Steven\\_Delmonaco@plugpower.com](mailto:Steven_Delmonaco@plugpower.com)



Project Owner

**Ernest A. (Tony) Cox, Jr., PE, PMP**

Senior Project Manager

Office (502) 420-6704

[Tony.Cox@kroger.com](mailto:Tony.Cox@kroger.com)



Collaborative Design, Ltd.

Architects

**Dellos Morrison, AIA, LEED AP**

Managing Partner

Office (614) 798-1515 ext 12

[dmorrison@cclarchitects.com](mailto:dmorrison@cclarchitects.com)



Hydrogen Provider

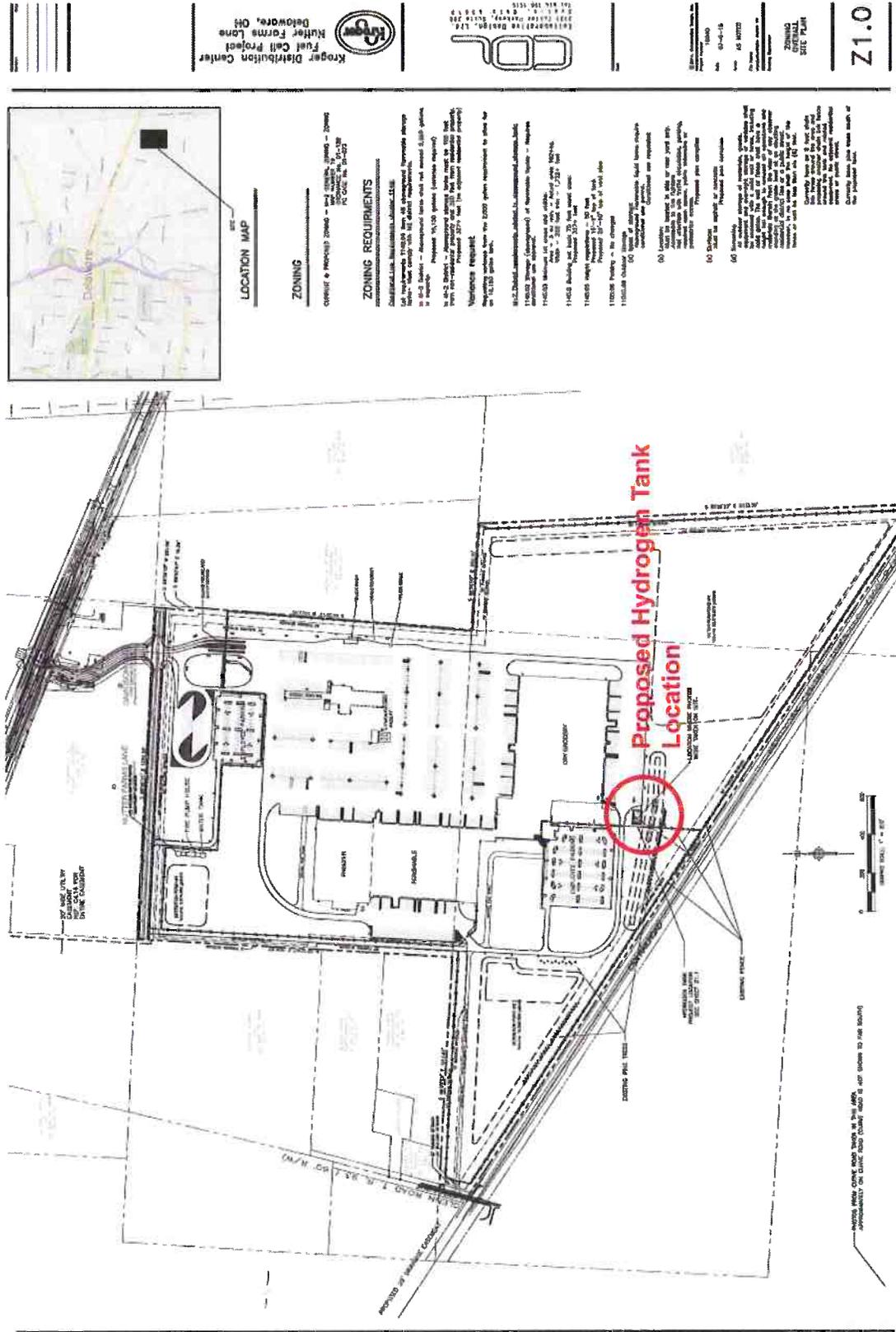
**Tim Birely**

Account Manager

Office (614) 776-5771

[Time\\_Birely@praxair.com](mailto:Time_Birely@praxair.com)

# Why are we here today?





Steering Wheel,  
Counterbalanced



Steering Wheel



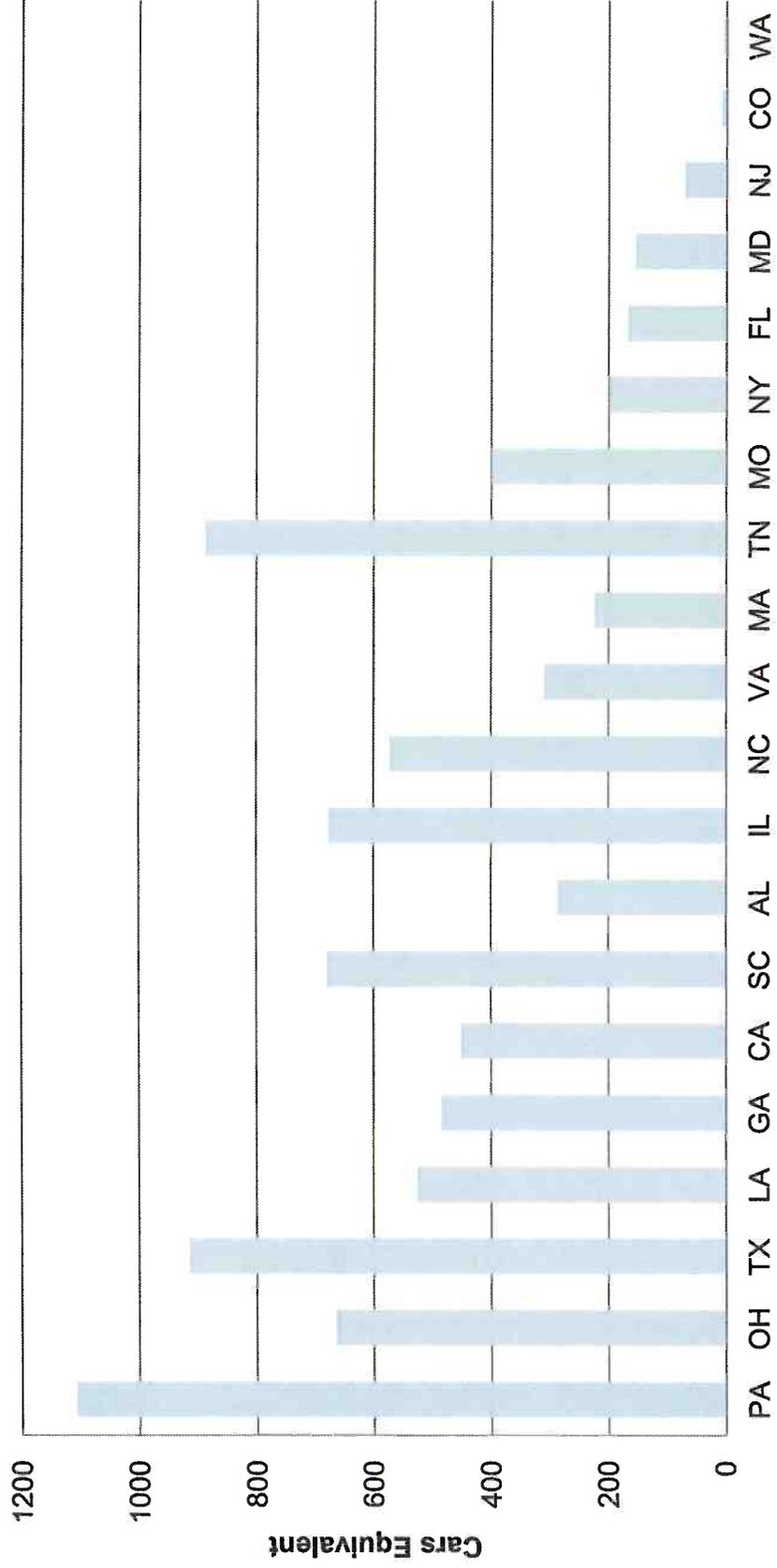
# Battery Charging



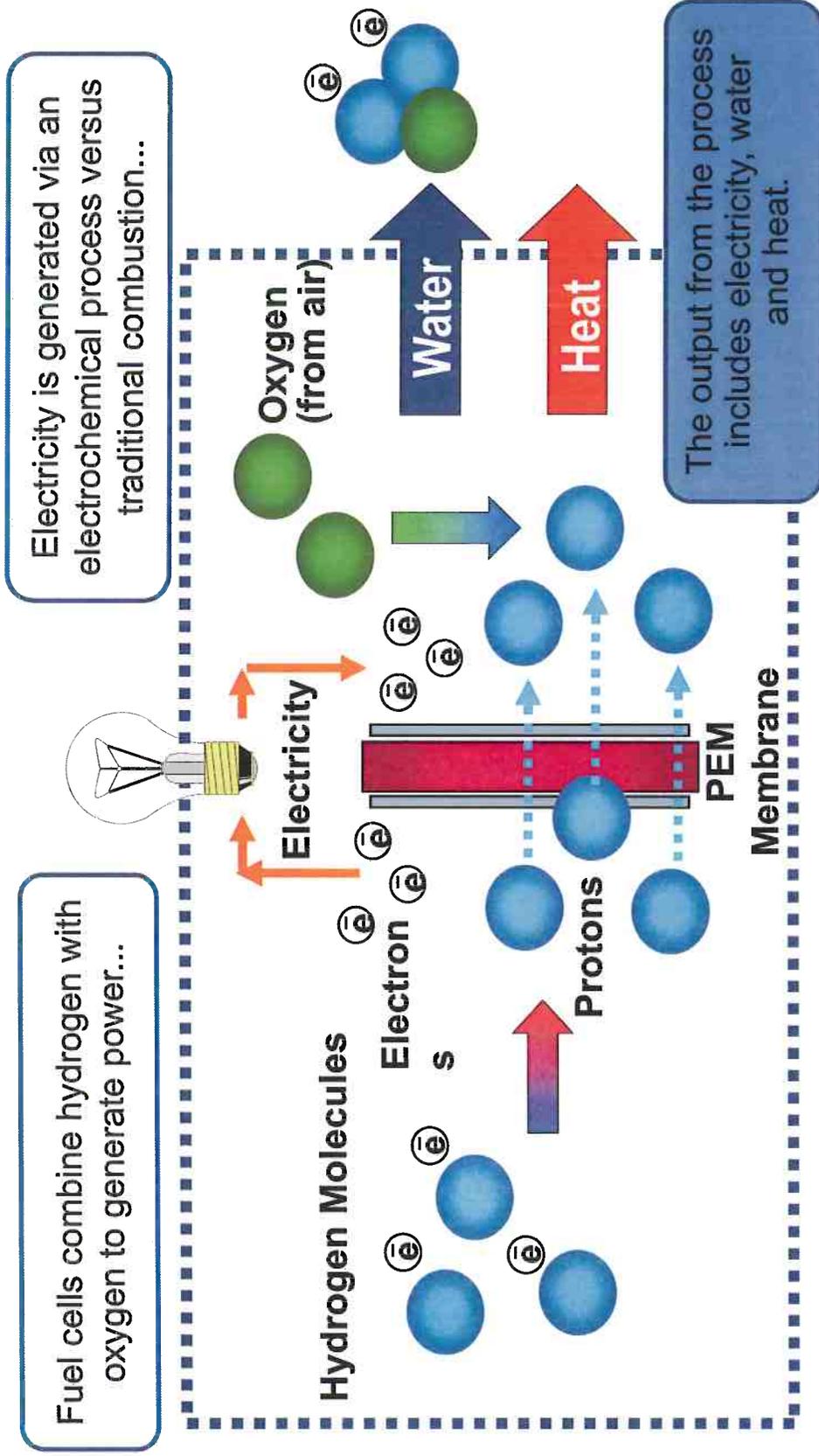
# Why Fuel Cells?



# Equivalent Cars Taken Off the Road by Use of Fuel Cells to Power Lift Trucks



# Fuel Cell Explained



# Hydrogen – The Facts

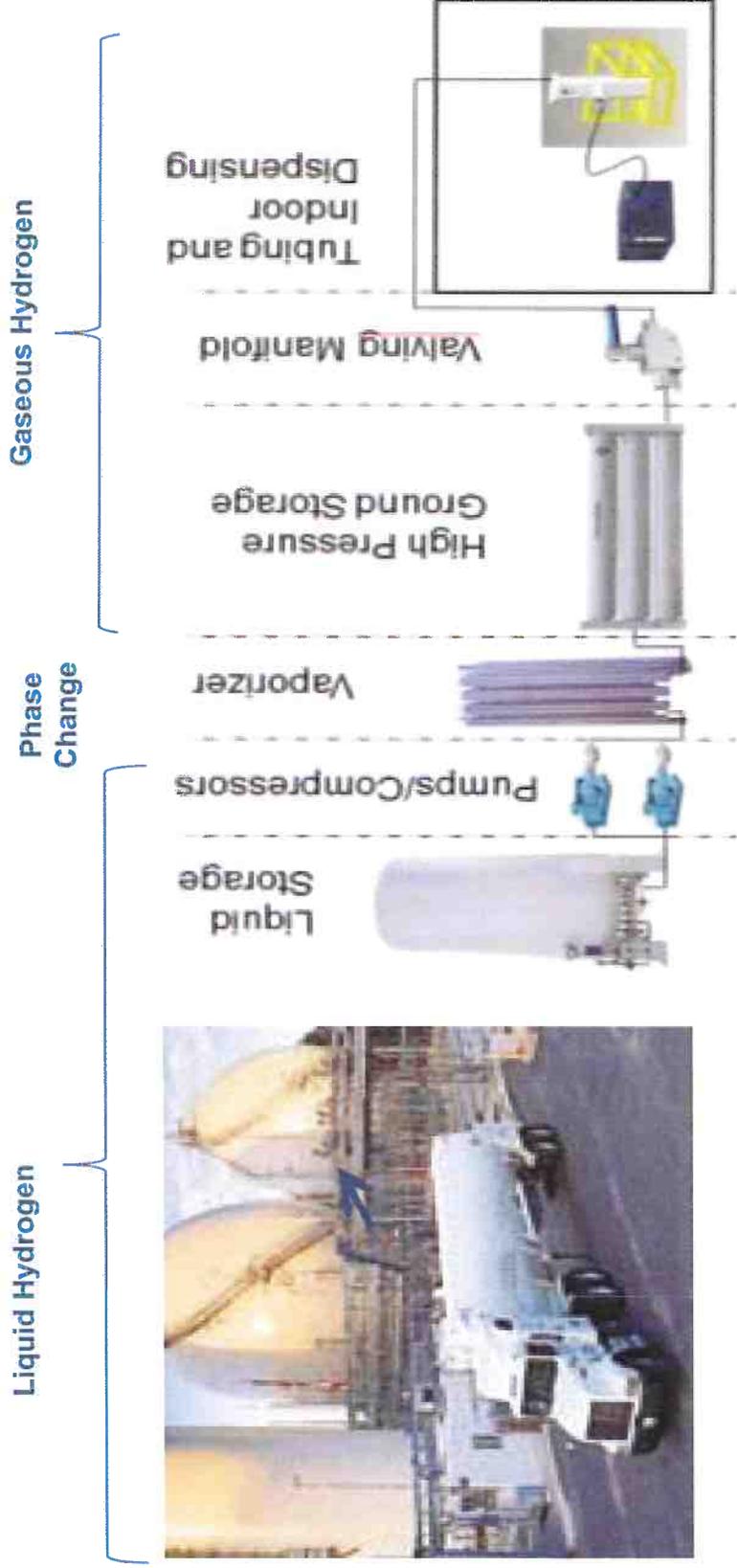
- Earth's lightest and smallest natural element
- Odorless, colorless and tasteless
- Non-toxic and non-poisonous, unlike methane and gasoline
- Rapid dispersion
  - Rises at a speed of 20 meters/second
- 3 times the energy content of gasoline (by volume)
  - When used in energy production:
    - Hydrogen is roughly twice as efficient as Gasoline
- U.S. produces more than 9M tons annually
  - Chemical, food, metallurgic & electronics industries

Source

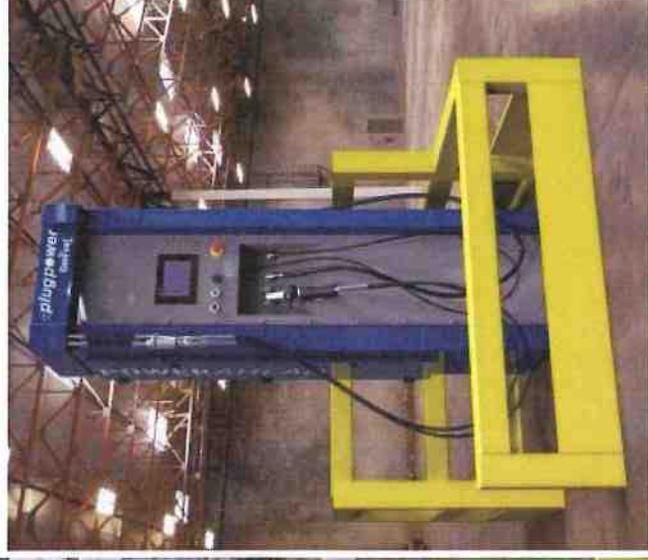


9

# Hydrogen Refueling Process



# Typical Bulk Hydrogen Install



Examples from another Kroger installation

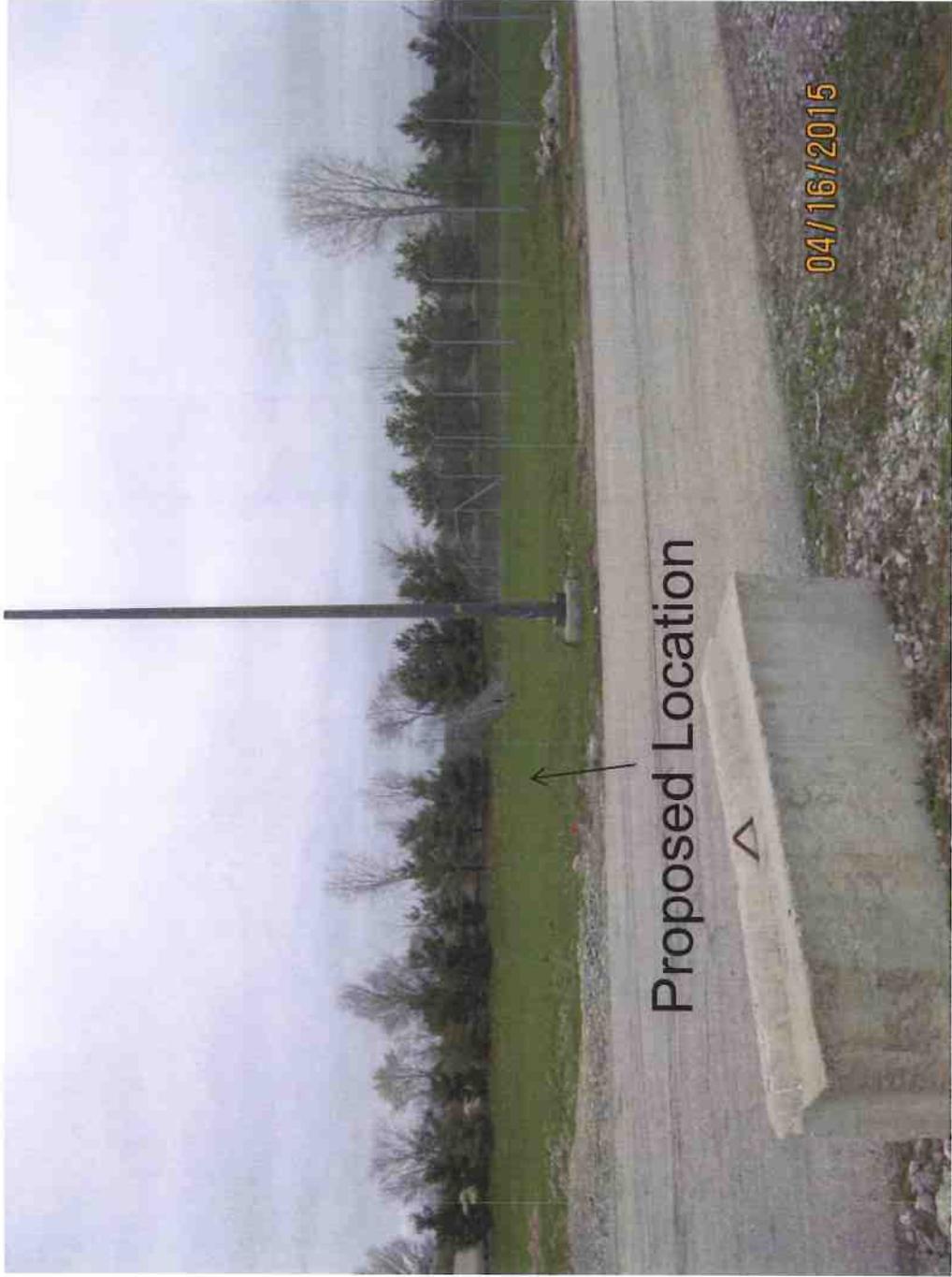
# Hydrogen Liquid Tank



# Hydrogen Liquid Tank

- Supplied, Maintained and Monitored by Praxair in compliance with the most stringent industry-tested safety regulations
- Total capacity of less than 10,000 pounds of hydrogen
- Visual Inspections performed at every delivery
- Scheduled maintenance performed and monitored by Praxair to ensure safety and reliability
- Praxair delivers to more than 200 active customers nationally
- Filling of tank will be monitored by site security staff
- Equipment yard covered by CCTV

# A Little Closer View





# Conclusion

- This project provides the first green technology of its type in this area
  - Reduced greenhouse gases
  - Smaller Carbon footprint
- System has a proven safety record
  - Over 20,000 operator refuelings without a safety incident
  - All work in compliance with local, state, and federal safety regulations



## FACT SHEET

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AGENDA ITEM NO: 18

DATE: 8/10/15

ORDINANCE NO: 15-76

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: **YES**  
**August 24, 2015 at 6:45 p.m.**

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TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT FOR DELAWARE CITY SCHOOLS FOR AN ADDITION, RENOVATION AND SITE IMPROVEMENTS FOR WOODWARD ELEMENTARY SCHOOL ON APPROXIMATELY 4.55 ACRES ZONED R-4 (MEDIUM DENSITY RESIDENTIAL DISTRICT) AND LOCATED AT 200 SOUTH WASHINGTON STREET.

**BACKGROUND:**

The 36,144 square foot elementary school building was constructed in 1950 and was remodeled in 1985. Now the School District is proposing a 23,355 square foot addition to the existing school for a total square footage of 59,499. The academic and gymnasium/student dining addition would be on the northern portion of the building. Just north of the addition would be a new private entrance road from Liberty Street that would accommodate bus traffic only while the existing parent drop-off drive along Washington Street would be extended to enhance safety in this area. Northeast of the new entrance road would be a new 56 space parking lot that would be accessed from Washington Street to serve the staff and events. The existing 54 space parking lot just east of Washington Street would remain.

**REASON WHY LEGISLATION IS NEEDED:**

N/A

**COMMITTEE RECOMMENDATION:**

Planning Commission approved this case 6-0 on August 5, 2015.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval as submitted.

**ATTACHMENT(S)**

Staff report

ORDINANCE NO. 15-76

AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT FOR DELAWARE CITY SCHOOLS FOR AN ADDITION, RENOVATION AND SITE IMPROVEMENTS FOR WOODWARD ELEMENTARY SCHOOL ON APPROXIMATELY 4.55 ACRES ZONED R-4 (MEDIUM DENSITY RESIDENTIAL DISTRICT) AND LOCATED AT 200 SOUTH WASHINGTON STREET.

WHEREAS, the Planning Commission at its meeting of August 5, 2015, recommended approval of a Conditional Use Permit for Delaware City Schools for an Addition, Renovation and Site Improvements for Woodward Elementary School on approximately 4.55 acres zoned R-4 (Medium Density Residential District) and located at 200 South Washington Street (PC Case 2015-1306), and

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Conditional Use Permit for Delaware City Schools for an Addition, Renovation and Site Improvements for Improvements for Woodward Elementary School on approximately 4.55 acres zoned R-4 (Medium Density Residential District) and located at 200 South Washington Street and is hereby confirmed, approved, and accepted.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS\_\_\_NAYS\_\_\_  
ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2015

YEAS\_\_\_NAYS\_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR



## PLANNING COMMISSION/STAFF REPORT

**CASE NUMBER:** 2015-1306 & 1307

**REQUEST:** Multiple Requests

**PROJECT:** Woodward Elementary School

**MEETING DATE:** August 5, 2015

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### APPLICANT/OWNER

Fanning Howey  
4930 Bradenton Avenue  
Dublin, Ohio 43017

Delaware City Schools  
621 Pennsylvania Avenue  
Delaware, Ohio 43015

### REQUEST

2015-1306: A request by Delaware City Schools for approval for a Conditional Use Permit for an Addition, Renovations and Site Improvements for Woodward Elementary School on approximately 4.55 acres zoned R-4 (Medium Density Residential District) and located at 200 South Washington Street.

2015-1307: A request by Delaware City Schools for approval for a Combined Preliminary and Final Development Plan for an Addition, Renovations and Site Improvements for Woodward Elementary School on approximately 4.55 acres zoned R-4 (Medium Density Residential District) and located at 200 South Washington Street.

### PROPERTY LOCATION & DESCRIPTION

The 4.5 acre Woodward Elementary School campus encompasses six parcels that is bounded to the north by Bernard Avenue, to the south by Harrison Street, to the east by Washington Street and to the west by Liberty Street. The subject site is zoned R-4 (Medium Density Residential District) as are the surrounding parcels to the north, south, east and west.

### BACKGROUND/PROPOSAL

The 36,144 square foot elementary school building was constructed in 1950 and was remodeled in 1985. Now the School District is proposing a 23,355 square foot addition to the existing school for a total square footage of 59,499. The academic and gymnasium/student dining addition would be on the northern portion of the building. Just north of the addition would be a new private entrance road from Liberty Street that would accommodate bus traffic only while the existing parent drop-off drive along Washington Street would be extended to enhance safety in this area. Northeast of the new entrance road would be a new 56 space parking lot that would be accessed from Washington Street to serve the staff and events. The existing 54 space parking lot just east of Washington Street would remain.

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### STAFF ANALYSIS

- **ZONING:** As previously mentioned, the subject parcels are zoned R-4. Under the current zoning, the building addition, renovations and site improvements would require a Conditional Use Permit and a Combined Preliminary and Final Development Plan approval by the Planning Commission and City Council.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND ACCESS:** The vehicular access to the building would be upgraded significantly in this proposal. The existing parent drop-off drive along Washington Street would be extended by approximately 140 feet to allow for more cars to minimize stacking along Washington Street. Also, a new bus only access road Liberty Street just north of the new addition would accommodate all the bus traffic.
- **SITE CONFIGURATION:** The single story academic and two story gymnasium/student dining addition would be located north of the existing building while the existing three classroom trailers would be razed. The gymnasium and student dining would front Washington Street with the academic addition located just south (behind) of the gymnasium and student dining addition. The academic addition would also accommodate 11 classrooms with associated restrooms, mechanical, electrical and technology spaces along with a new entrance on the south elevation adjacent to the new Liberty Street bus only access road. The existing ball field and playground located north and south of the new entrance drive from Liberty Road respectively would remain. A new 56 space staff and event parking lot would be located on the northeast portion of the property that

would be accessed from Washington Street. The school will have a total of 110 parking spaces which would be a 104% net increase from the existing 54 space parking lot located on the east side of Washington Street. An internal sidewalk network would connect the new addition, the new entrance drive on Liberty Street, the extended parent drop-off drive along Washington Street and the new parking lot to the existing facilities. Bio-retention basins would be located just north and south of the new parking lot.

- **BUILDING DESIGN:** The academic building would be mostly constructed of typical smooth face cmu with a face brick band above the aluminum storefront windows with a membrane roof while the gymnasium and student dining elevation would be typical metal wall panels above split face cmu with metal fascia capping the structure. All the additions, materials and colors would match the existing building as much as feasible.
- **TREE REMOVAL & REPLACEMENT:** The school would remove 212 caliper inches of trees in the proposed development while they are not adding any trees above the typical zoning requirements. However, any shortfall of trees being removed would be accounted for per the approved Dempsey Middle School tree preservation conservation easement agreement
- **LANDSCAPING & SCREENING:** The landscape plan identifies the required tree and shrubs adjacent to the new parking lot where it fronts Bernard Avenue and Washington Street, the appropriate interior parking lot landscaping and the appropriate front yard trees adjacent to the addition fronting Washington Street. Staff would recommend front yard trees should be installed along Liberty Street just south of the new entrance drive and extend to the existing playground. Street trees to supplement the existing street trees shall be installed along Liberty, Washington and Harrison Streets per the Parks and Natural Resource's Department. The landscape plan would have to be reviewed and approved by the Shade Tree Commission for species, installation size and location.
- **LIGHTING:** The site would have six new light poles that would be 20 feet high with cut off light fixtures. Three of the light poles would be located in the new parking lot, two light poles would be located along the new entrance road from Liberty Road and one light pole would be located near the extended parent drop-off area along Washington Street. The building addition would have six wall packs along the elevations. The lighting plan specifications would have to be reviewed and approved by the Chief Building Official.
- **SIGNS:** There is no new signage proposed with the addition and site improvement.

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**STAFF RECOMMENDATION (2015-1306 – CONDITIONAL USE PERMIT)**

Staff recommends approval of a request by Delaware City Schools for a Conditional Use Permit for an Addition, Renovations and Site Improvements for Woodward Elementary School on approximately 4.55 acres zoned R-4 (Medium Density Residential District) and located at 200 South Washington Street.

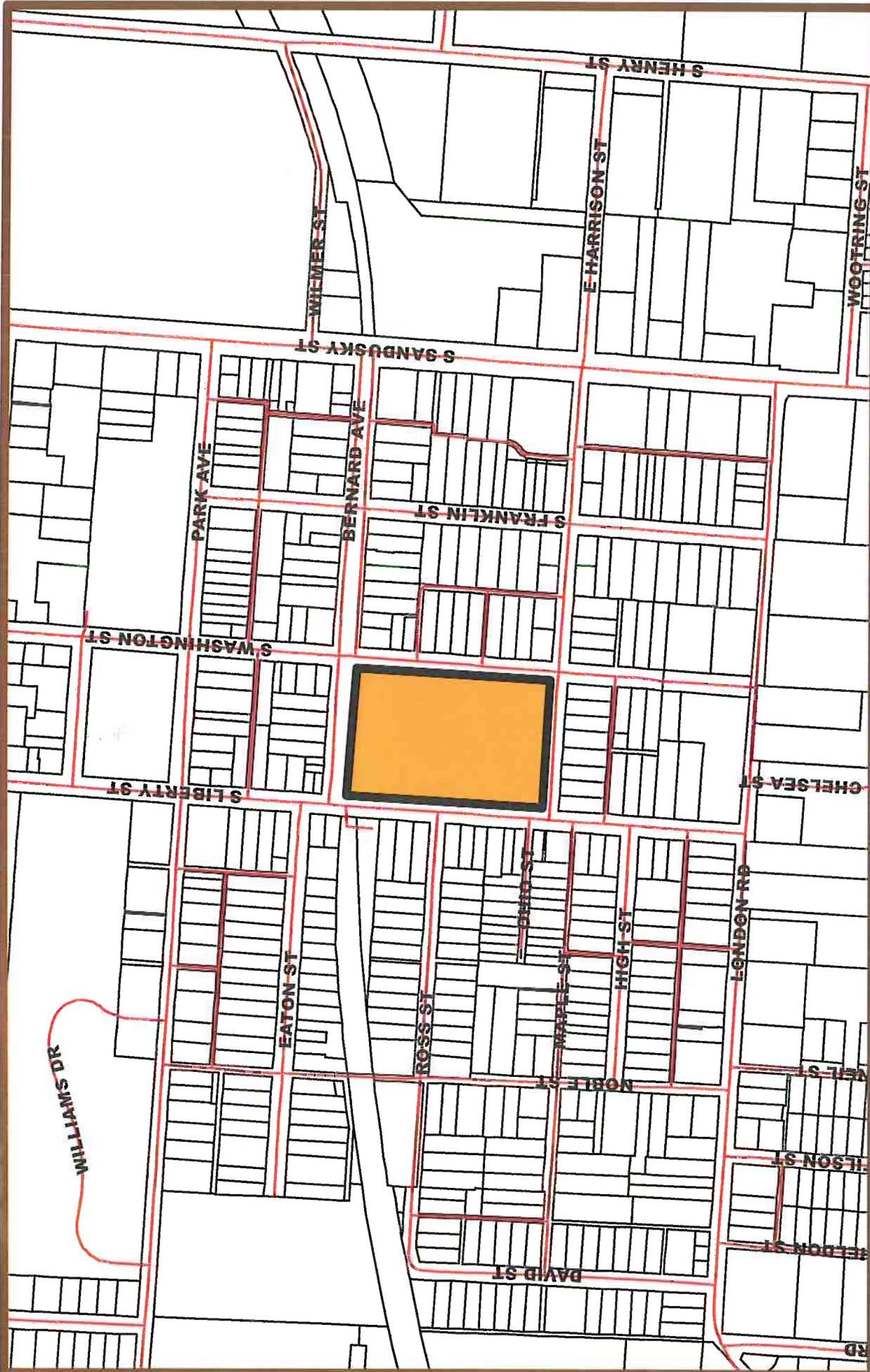
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**STAFF RECOMMENDATION (2015-1307 – COMBINED PRELIMINARY & FINAL DEVELOPMENT PLAN)**

Staff recommends approval of a request by Delaware City Schools for a Combined Preliminary and Final Development Plan for an Addition, Renovations and Site Improvements for Woodward Elementary School on approximately 4.55 acres zoned R-4 (Medium Density Residential District) and located at 200 South Washington Street, with the following conditions that:

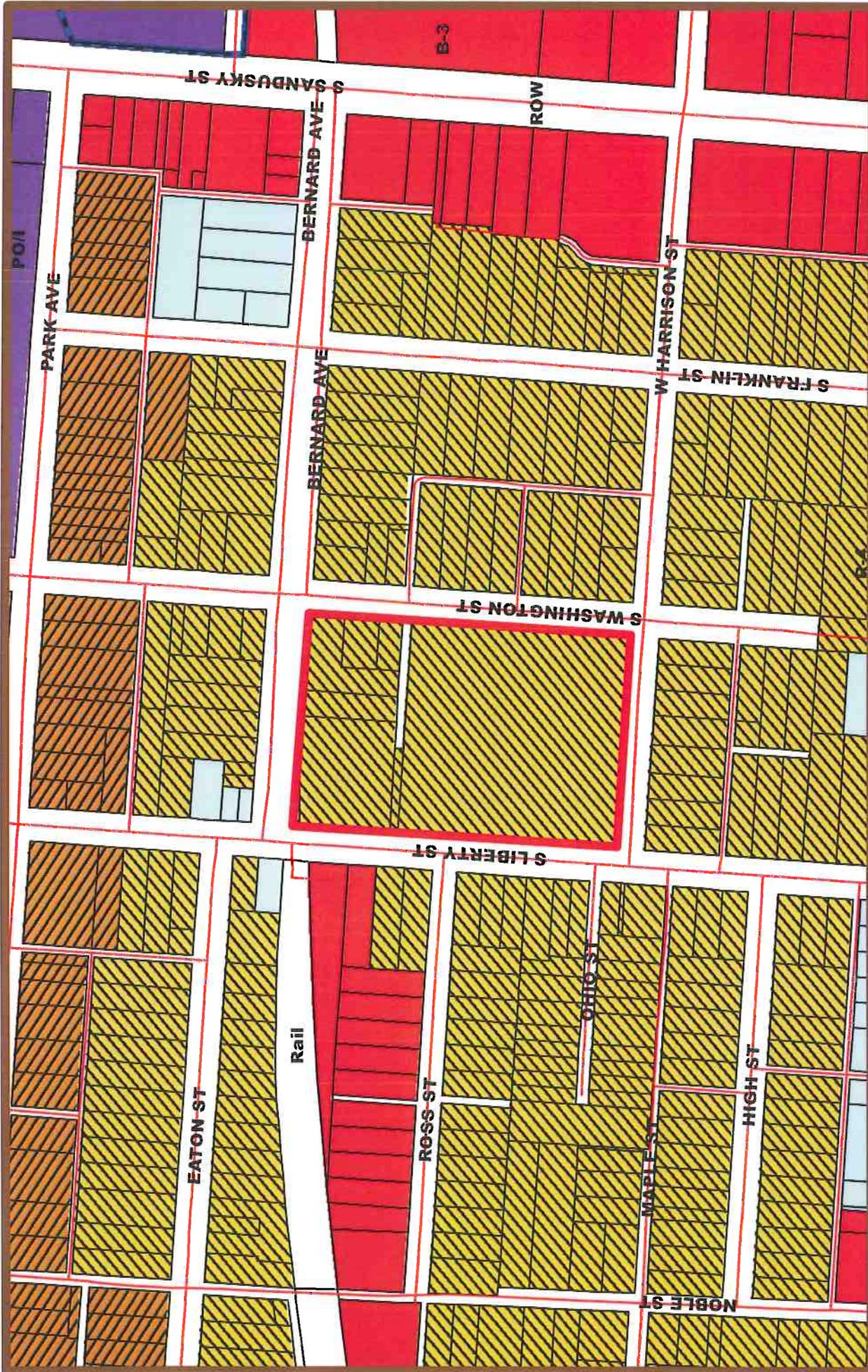
1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building material color.
3. Any new roof top mechanical equipment shall be screened from public view.
4. Front yard trees shall be installed along Liberty Street just south of the new entrance road south to the existing playground.
5. Street trees to supplement the existing street trees shall be installed along Liberty, Washington and Harrison Streets per the Parks and Natural Resource Department.
6. The landscape plans shall be reviewed and approved by the Shade Tree Commission.
7. The lighting plan shall be reviewed and approved by the Chief Building Official.





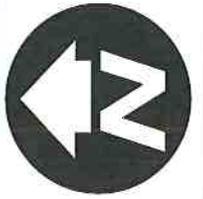
2015-1306 & 1307  
 Conditional Use Permit and Combined Preliminary  
 and Final Development Plan  
 Woodward Elementary - 200 South Washington Street  
 Location Map





2015-1306 & 1307  
 Conditional Use Permit and Combined Preliminary  
 and Final Development Plan  
 Woodward Elementary - 200 South Washington Street  
 Zoning Map





2015-1306 & 1307  
Conditional Use Permit and Combined Preliminary  
and Final Development Plan  
Woodward Elementary - 200 South Washington Street  
Aerial (2013)



# FANNING HOWEY

July 8, 2015

Woodward Elementary School  
Renovations and Additions  
Delaware City Schools  
Delaware, Ohio  
Project No. 213051.04

## Project Narrative

The work at Woodward Elementary School is comprised of a single story academic and gymnasium addition at the north end of the building to accommodate 11 classrooms with associated restrooms, new food service area, mechanical, and electrical. The addition will have a new entrance off Liberty Street to accommodate students arriving and leaving by bus. The existing parent drop-off drive along Washington Street will be extended to allow for more cars to minimize stacking along Washington Street. Existing and proposed building areas are as follows:

	<u>Existing</u>	<u>Proposed</u>	<u>Total</u>
Main Level	36,144 s.f.	22,355 s.f.	58,499 s.f.
Lower Level	3,052 s.f.	0 s.f.	0 s.f.
Upper Levels	333 s.f.	583 s.f.	916 s.f.

All new exterior materials (roofing, brick and concrete masonry, aluminum windows and doors) will match the existing exterior materials to the extent that these same or similar materials are still available.

The existing 54 car parking area located east of Washington Street will remain unchanged. A new 56 car parking lot with access from Washington Street will be added to the northern portion of the site for a 104% net increase in parking spaces. This parking lot will serve as staff and event parking.

The landscape plan complies with the parking lot tree planting requirements. The lighting plan for the site has accommodated the minimum foot candle standards.

Storm water from the new impervious roof and parking areas will be collected into bio-retention basins in the lawn areas north of the building addition and will then be tied into the city owned storm line in Washington St.

ARCHITECTURE | ENGINEERING

4930 Bradenton Avenue | Dublin, OH 43017

614.764.4661 | fax 614.764.7894 | [www.fhai.com](http://www.fhai.com)





WOODWARD ELEMENTARY SCHOOLS RENOVATIONS AND ADDITIONS DELAWARE, OHIO

FANNING HOWE logo and contact information: 61.754.4661 www.fh.dl.com

GENERAL NOTES table with columns for REVISION NO. DATE, DRAWN BY, and CHECKED BY.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF DELAWARE...

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Table with 4 columns: REVISION NO., DATE, DRAWN BY, and CHECKED BY. Contains revision notes for the project.









# LAND DEVELOPMENT PROJECT

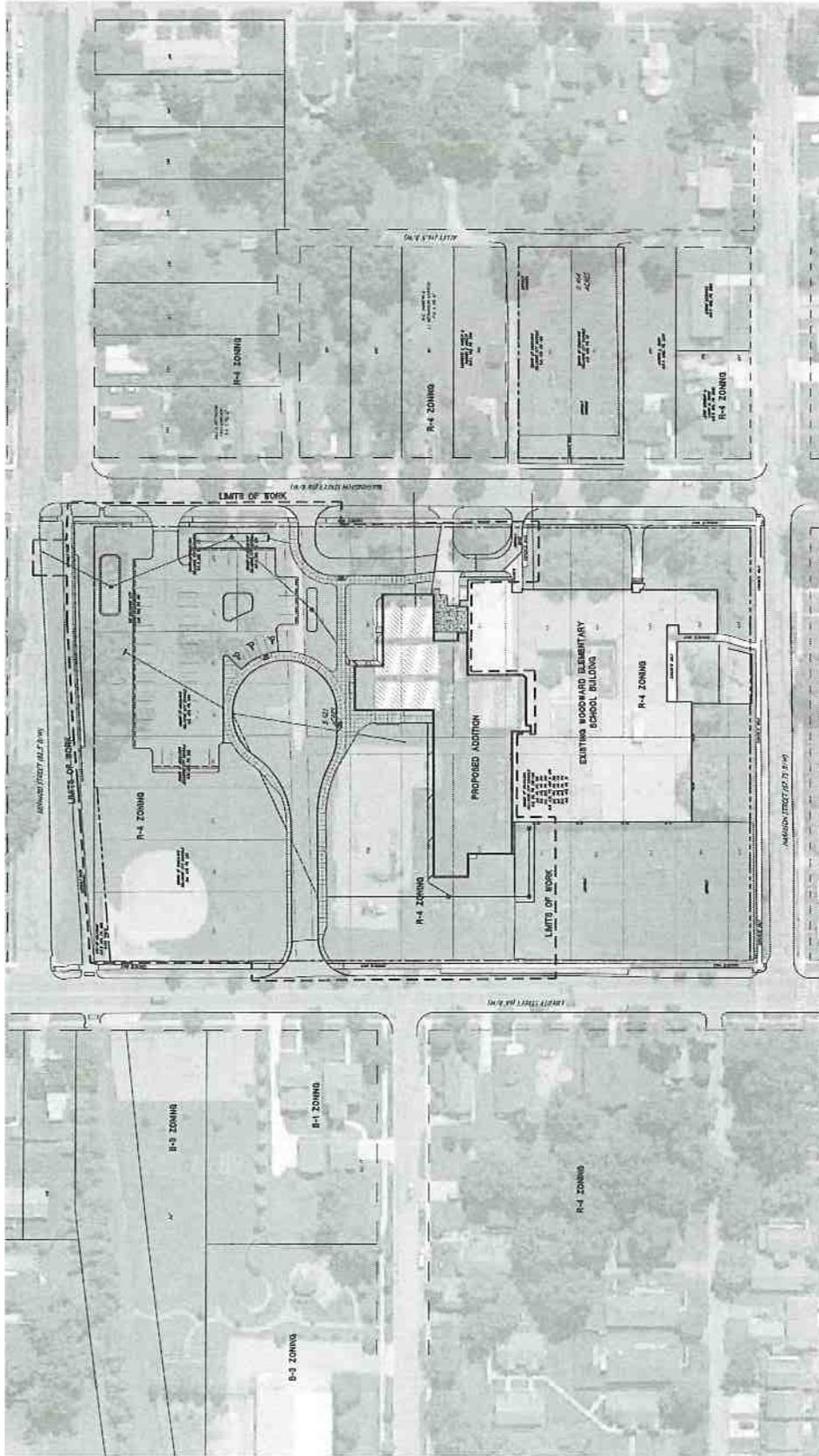
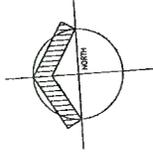
GENERAL PLAN NOTES

THE CITY OF DELAWARE CITY RECALCULATED SPECIFICATIONS, STANDARDS, BUSINESS AND ARCHITECTURAL DESIGN MANUAL, TOGETHER WITH THE CITY OF COLUMBUS (GOOD CONSTRUCTION AND MATERIAL SPECIFICATION) CHECK, INCLUDING ALL SUPPLEMENTAL TABLES, SHALL COVER ALL MATERIAL AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN IN THESE PLANS UNLESS OTHERWISE NOTED. ALL PERMIT STANDARD CONSTRUCTION DRAWINGS ARE AVAILABLE UPON REQUEST OF THE DEPARTMENT OF ENGINEERING SERVICES.

NOTE: ALL WORK SHALL BE COMPLETELY ACCORDANCE TO CITY ORDINANCES. NO WORK SHALL CONFLICT WITH ANY APPROPRIATIONS HAVE BEEN COMPLETED WITH THE DEPARTMENT OF ENGINEERING SERVICES. THE CITY FOR THE PROPOSED WORK, COST OF INSPECTION SHALL BE PAID FOR BY THE DEVELOPER THROUGH ENGINEERING INSPECTION FEES CALCULATED BY THE DEPARTMENT OF ENGINEERING SERVICES.

**ZONING:**  
 R-4 MEDIUM DENSITY RESIDENTIAL DISTRICT  
 PRESENT AND PROPOSED USE:  
 PRIMARY SCHOOL, EDUCATION  
**FLOOR AREAS - EXISTING BUILDINGS:**  
 MAIN LEVEL = 30,144 SF  
 SECOND LEVEL = 333 SF  
**FLOOR AREAS - NEW ADDITION:**  
 MAIN LEVEL = 23,255 SF  
 SECOND LEVEL = 550 SF  
**TOTAL FLOORING FLOOR AREA = 53,687 SF**

**EXISTING BUILDING FOOT (EXISTING BUILDING):**  
 24 FEET 4 INCHES  
**EXISTING BUILDING FOOT (NEW ADDITION):**  
 27 FEET 8 INCHES  
**WORK UNIT = 4.40 ACRES**



DEVELOPMENT PLAN

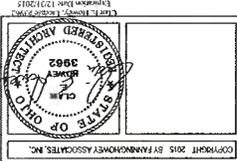
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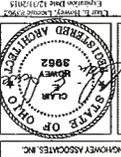
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DEVELOPMENT PLAN	
DESIGNED BY: RHT	DATE: MAY 6, 2015
PROJECT NO.: 21001204	REVISIONS NO. DATE:
G0.1	

**FANNING HOWEY**  
 614.764.4661 www.fhd.com  
**Magnik Smith GROUP**  
 TECHNICAL & ARCHITECTURAL GROUP

ADDITION & RENOVATIONS TO  
 WOODWARD ELEMENTARY SCHOOL  
 FOR  
 DELAWARE CITY SCHOOLS  
 DELAWARE, OHIO



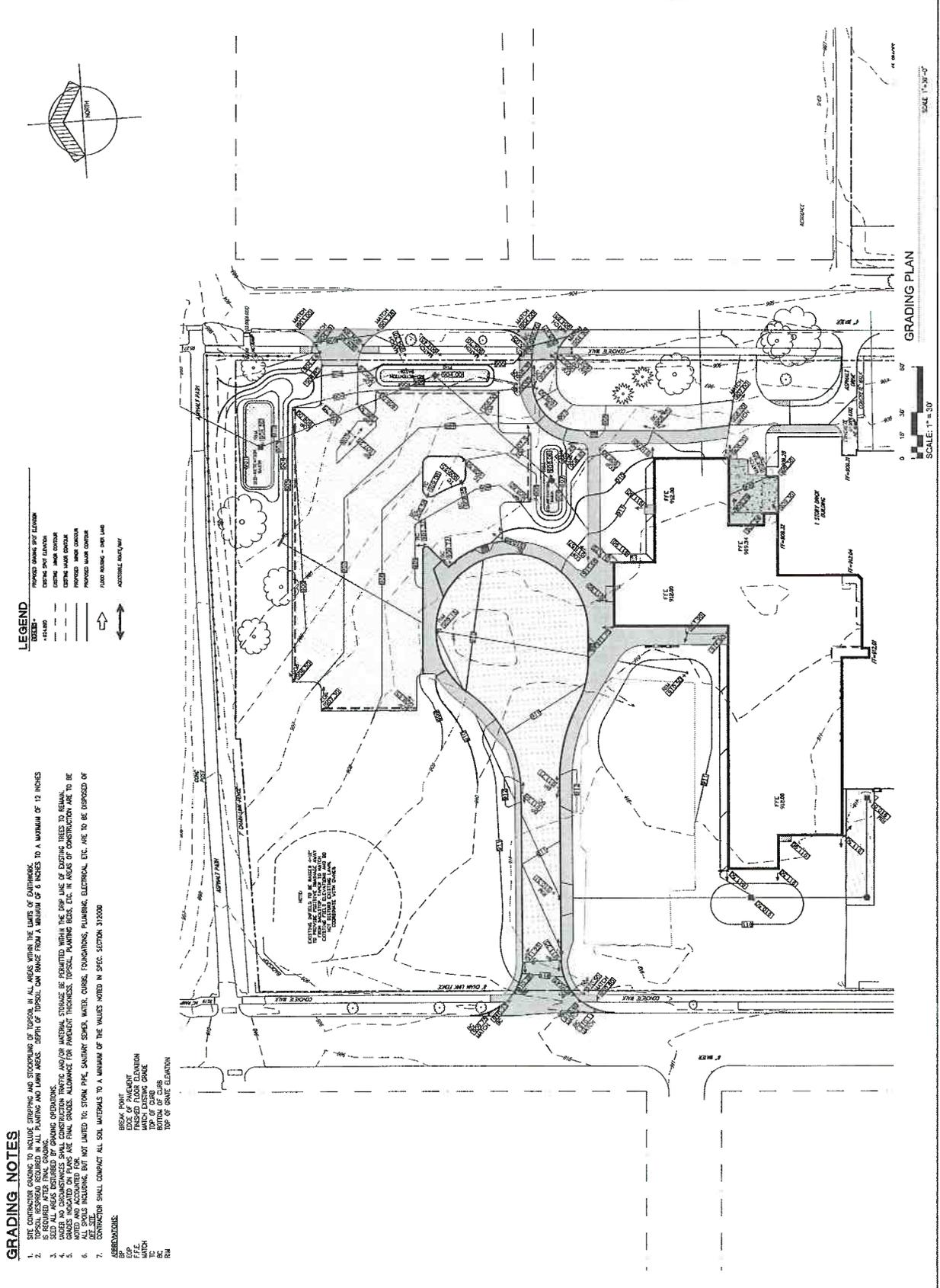


ADDITION & RENOVATIONS TO  
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DELAWARE, OHIO

**FANNING HOWEY**  
614.764.4661 www.fh.com  
**Mannik Smith Group**  
TECHNICAL SKILL  
CREATIVE SPIRIT.

GRADING PLAN	
DESIGNER'S NO.	G2.1
DATE	MAY 8, 2015
REVISIONS NO. DATE	

A & R BY WOODWARD ELEM. SCHOOL  
2/2015/14



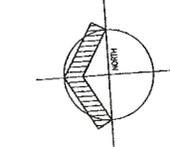
**GRADING NOTES**

1. THE COMPRESSOR SHALL COMPACT ALL SOIL MATERIALS TO A MINIMUM OF THE VALUES NOTED IN SPEC. SECTION 310200.
2. THE COMPRESSOR SHALL COMPACT ALL SOIL MATERIALS TO A MINIMUM OF THE VALUES NOTED IN SPEC. SECTION 310200.
3. IS REQUIRED AFTER FINAL GRADING.
4. GRASS AND DISCONTINUOUS SHALL CONSTRUCTION TRAFFIC AND/OR MATERIAL STORAGE BE PERMITTED WITHIN THE DROP LINE OF EXISTING TREES TO REMAIN.
5. GRASSES INDICATED ON PLANS ARE FINAL GRADES. ALLOWANCE FOR PAVEMENT THICKNESS, TYPICAL PLANNING BIDS, ETC. IN AREAS OF CONSTRUCTION ARE TO BE MAINTAINED.
6. ALL SPILLS INCLUDING, BUT NOT LIMITED TO: STORM PIPE, SANITARY SEWER, WATER, CURBS, FOUNDATIONS, PLUMBING, ELECTRICAL, ETC. ARE TO BE EXPOSED OF 1/2" MIN.
7. CONSTRUCTION SHALL COMPACT ALL SOIL MATERIALS TO A MINIMUM OF THE VALUES NOTED IN SPEC. SECTION 310200.

- ABBREVIATIONS:**
- END OF PAVEMENT
  - EXISTING GRADE
  - TOP OF CURB
  - TOP OF FINISH
  - TOP OF GRADE ELEVATION

**LEGEND**

--- (dashed line)	PROPOSED GRADING SPOT ELEVATION
--- (dotted line)	EXISTING SPOT ELEVATION
--- (long dashed line)	ELEVATION ABOVE GROUND
--- (short dashed line)	ELEVATION BELOW GROUND
--- (dash-dot line)	PROPOSED WATER COURSE
--- (solid line)	UTILITY ROUTING - SEE L&S
--- (dotted line)	ACCESSIBLE WALKWAY

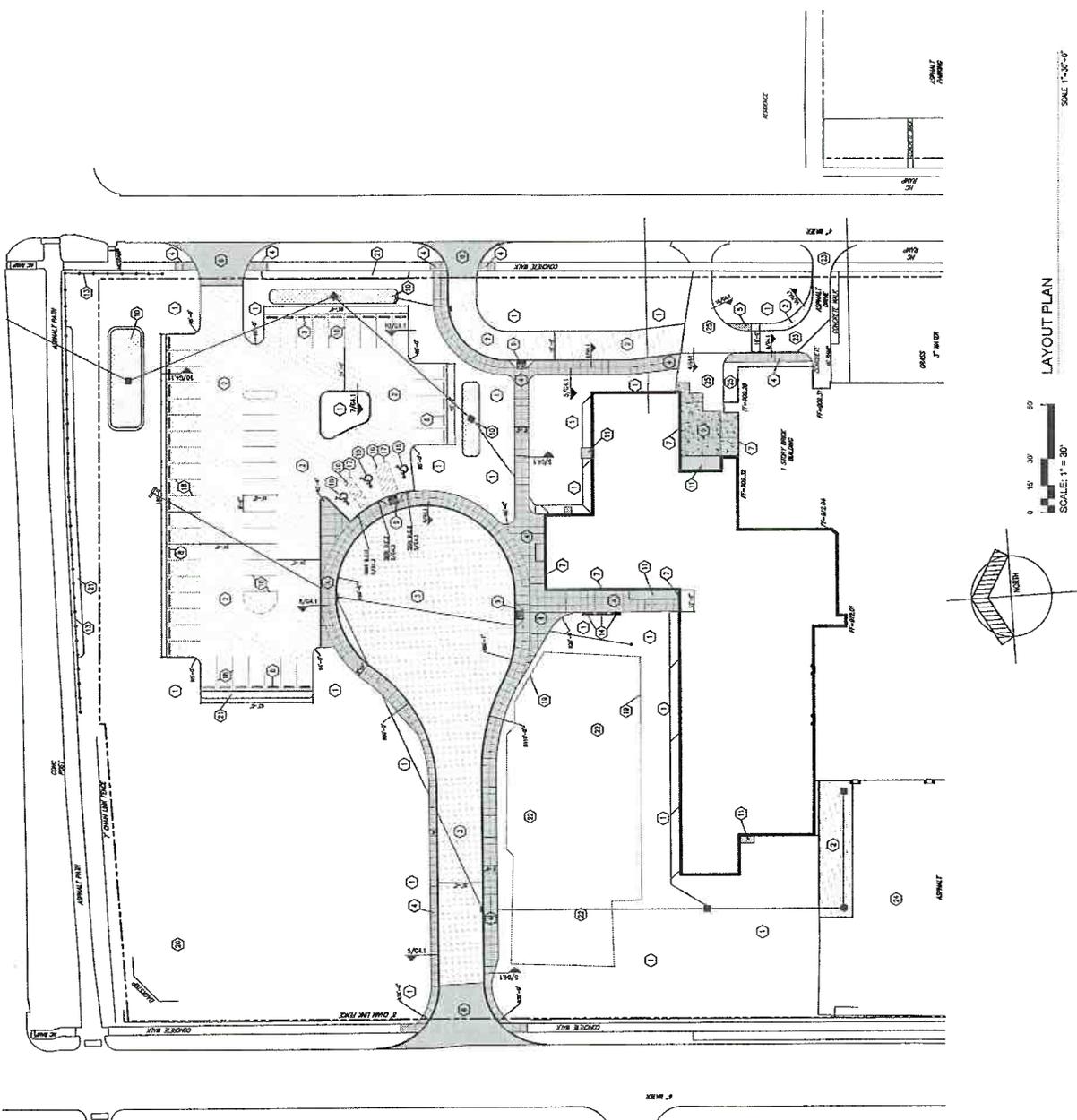




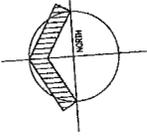
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**FANNING & HOWEY**  
614.764.4661 www.fhqi.com  
Mannik Smith  
CREATIVE SKILLS  
TECHNICAL GROUP

LAYOUT PLAN  
DRAWN BY: JAC  
CHECKED BY: RM  
DATE: JULY 8, 2015  
PROJECT NO. DATE  
G3.1



LAYOUT PLAN  
SCALE: 1" = 30'  
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**LAYOUT KEYNOTE LEGEND**

- 1 PERMANENT SCHED LANE AREA INCLUDING TYPICAL REVISIONS. REFER TO SPECIFICATIONS, REVISIONS AND CONSTRUCTION TREATISE TO A.1.1.1.1
- 2 STAIRWAY SCHED ADJACENT FINISHES. SEE DETAIL 17/04.1
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- 72 STAIRWAY SCHED FINISHES. SEE DETAIL 17/04.1
- 73 STAIRWAY SCHED CONCRETE. SEE DETAIL 17/04.1
- 74 STAIRWAY SCHED FINISHES. SEE DETAIL 17/04.1
- 75 STAIRWAY SCHED CONCRETE. SEE DETAIL 17/04.1
- 76 STAIRWAY SCHED FINISHES. SEE DETAIL 17/04.1
- 77 STAIRWAY SCHED CONCRETE. SEE DETAIL 17/04.1
- 78 STAIRWAY SCHED FINISHES. SEE DETAIL 17/04.1
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- 80 STAIRWAY SCHED FINISHES. SEE DETAIL 17/04.1
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- 82 STAIRWAY SCHED FINISHES. SEE DETAIL 17/04.1
- 83 STAIRWAY SCHED CONCRETE. SEE DETAIL 17/04.1
- 84 STAIRWAY SCHED FINISHES. SEE DETAIL 17/04.1
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- 86 STAIRWAY SCHED FINISHES. SEE DETAIL 17/04.1
- 87 STAIRWAY SCHED CONCRETE. SEE DETAIL 17/04.1
- 88 STAIRWAY SCHED FINISHES. SEE DETAIL 17/04.1
- 89 STAIRWAY SCHED CONCRETE. SEE DETAIL 17/04.1
- 90 STAIRWAY SCHED FINISHES. SEE DETAIL 17/04.1
- 91 STAIRWAY SCHED CONCRETE. SEE DETAIL 17/04.1
- 92 STAIRWAY SCHED FINISHES. SEE DETAIL 17/04.1
- 93 STAIRWAY SCHED CONCRETE. SEE DETAIL 17/04.1
- 94 STAIRWAY SCHED FINISHES. SEE DETAIL 17/04.1
- 95 STAIRWAY SCHED CONCRETE. SEE DETAIL 17/04.1
- 96 STAIRWAY SCHED FINISHES. SEE DETAIL 17/04.1
- 97 STAIRWAY SCHED CONCRETE. SEE DETAIL 17/04.1
- 98 STAIRWAY SCHED FINISHES. SEE DETAIL 17/04.1
- 99 STAIRWAY SCHED CONCRETE. SEE DETAIL 17/04.1
- 100 STAIRWAY SCHED FINISHES. SEE DETAIL 17/04.1

**GENERAL NOTES**

1. ALL WORK IS TO BE DONE BY A PROFESSIONAL CONTRACTOR WITH A LICENSE IN THE STATE OF OHIO.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

**SIGNAGE NOTES**

NEW UNPAINTED FINISHES. SEE SHEET G-3.2 FOR DETAILS.

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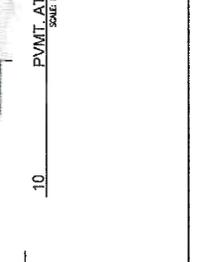
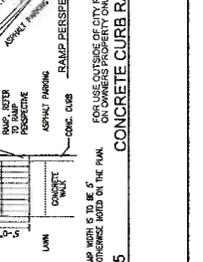
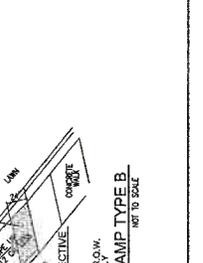
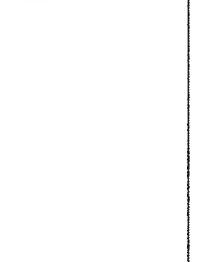
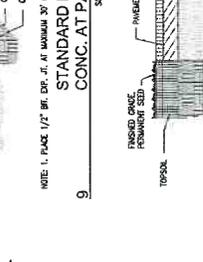
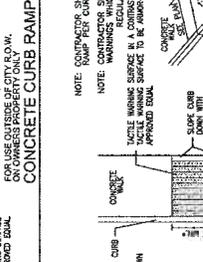
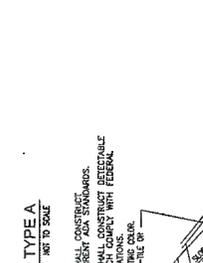
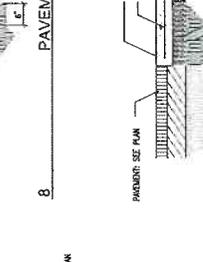
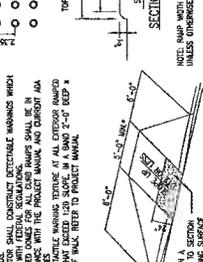
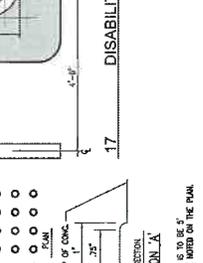
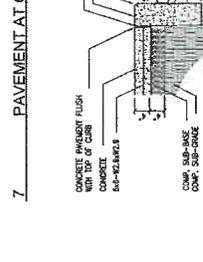
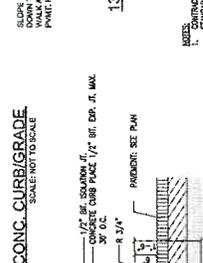
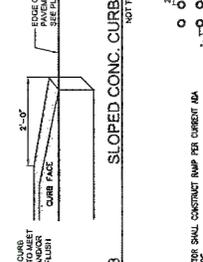
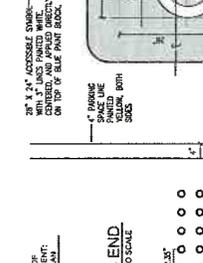
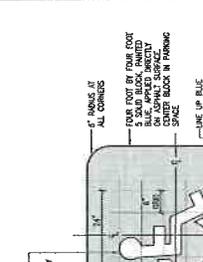
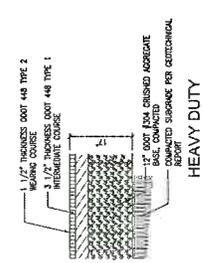
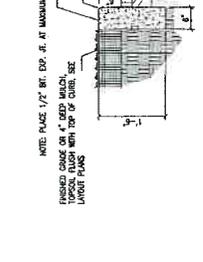
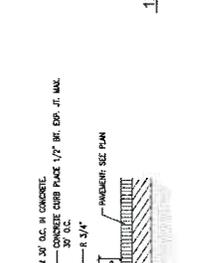
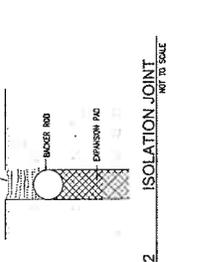
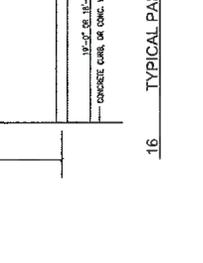
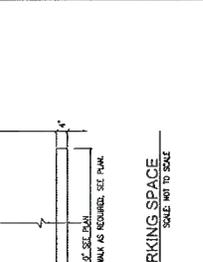
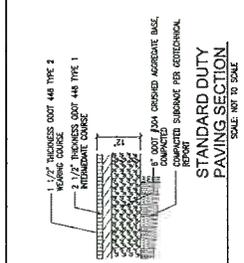
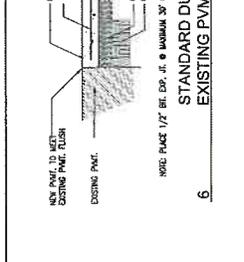
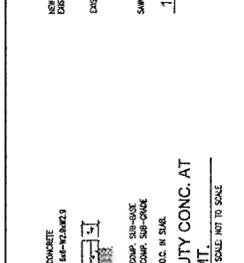
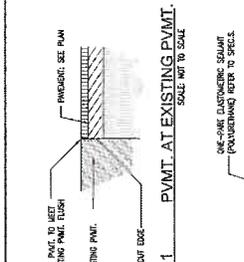
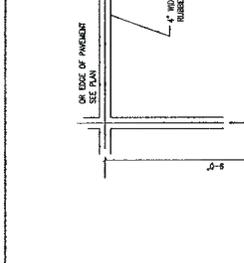
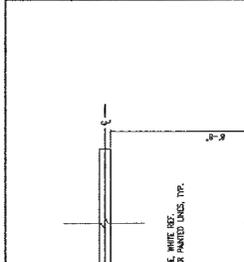
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FOR  
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TECHNICAL ENGINEER  
www.MannikSmithGroup.com

DETAILS AND SECTIONS  
CHECKED BY: MFL DATE: MAY 4, 2015  
DESIGNED BY: MFL DATE: MAY 4, 2015  
REVISIONS: NO. DATE  
G4.1  
SCALE: 1/8" = 1'-0" WOODWARD CLAS. SCHOOL  
12/2014

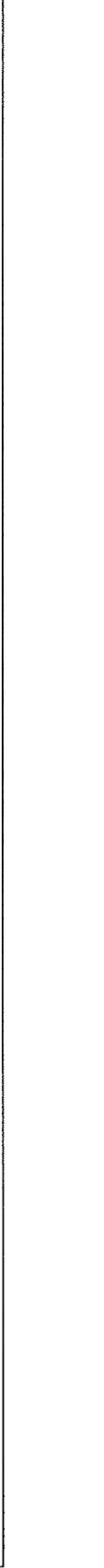
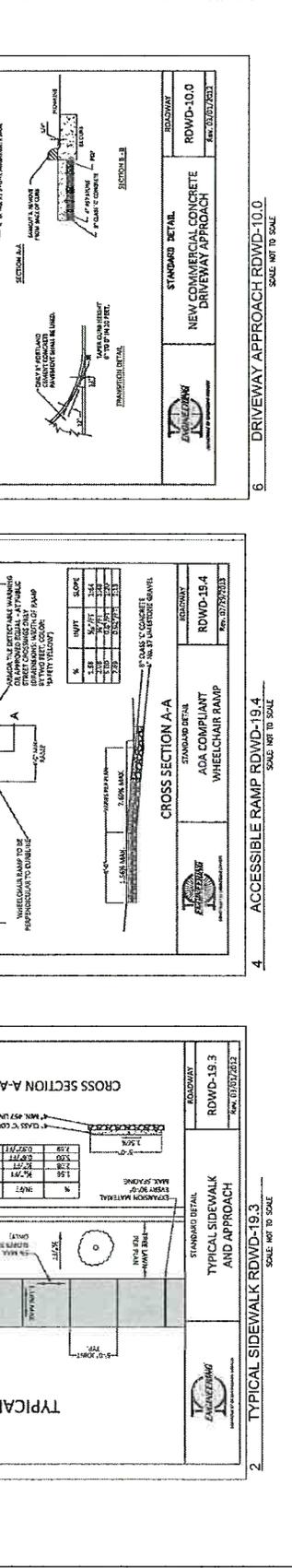
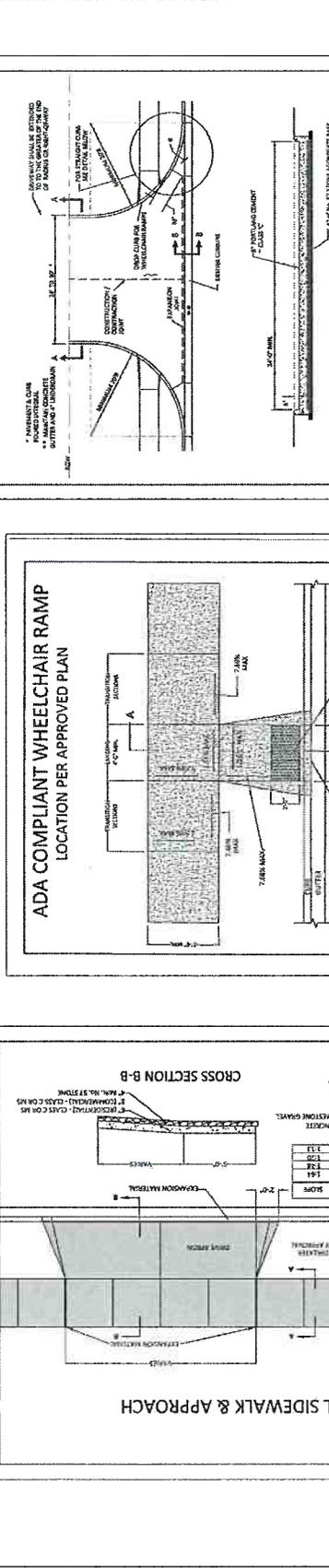
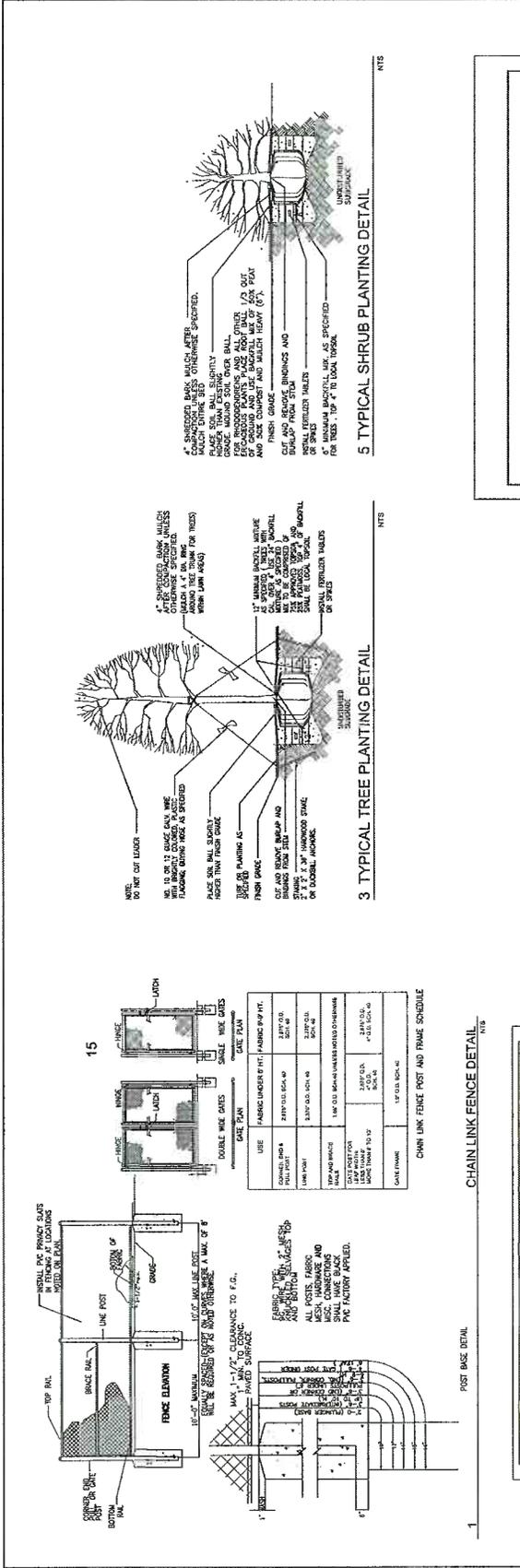




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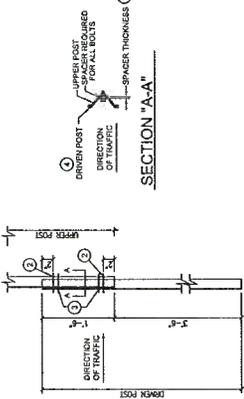
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DESIGNED BY: RVI  
DATE: JULY 8, 2015  
REVISIONS (NO. DATE)



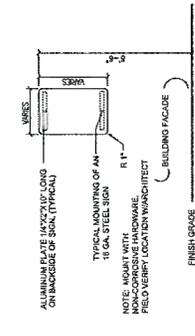
**MATERIAL SCHEDULE**  
 ALL MATERIALS AND INSTALLATIONS SHALL BE COMPLIANT WITH CURRENT M.U.C.D. MANUAL  
 SPECIFICATIONS AND THE M.U.C.D. STANDARD SPECIFICATIONS. REFER TO SHEET C-2.0.1 FOR ALL  
 MATERIALS. REFER TO SHEET C-2.0.2 FOR ALL MATERIALS. REFER TO SHEET C-2.0.3 FOR ALL  
 SIGN LOCATIONS. BACK OF ALL SIGNS SHALL BE PAINTED WITH BLACK FLAT PAINT. LOCATE SIGNS WITH LEGAL

KEY	DESCRIPTION	QUANTITY
1	STOP SIGN CHANGED FROM 18 GA. STEEL TO 18 GA. ALUMINUM REFLECTIVE ALUMINUM ANODIZED, 1/8" THICK SHEET WHITE TEXT, WHITE BORDER	34 - 1/2" x 30" x 30" SEE 5-A-4 AND DETAIL 1 THIS SHEET
2	UNPAVED DRIVEWAY AND DRIVEWAY APPROACH SIGN DOUBLE FLARED ARROW ARROW LEFT AND RIGHT BLACK TEXT, BLACK BORDER BLACK BACKGROUND WHITE BACKGROUND BLACK TEXT BORDERS	18 - 1/2" x 12" ALUMINUM REFLECTIVE ALUMINUM ANODIZED, 1/8" THICK SHEET BLACK TEXT, BLACK BORDER BLACK BACKGROUND WHITE BACKGROUND BLACK TEXT BORDERS
3	"NO PARKING ANYTIME" SIGN ARROWS LEFT & RIGHT CHANGED FROM 18 GA. STEEL TO 18 GA. ALUMINUM REFLECTIVE ALUMINUM ANODIZED, 1/8" THICK SHEET WHITE TEXT, WHITE BORDERS	18 - 1/2" x 12" ALUMINUM REFLECTIVE ALUMINUM ANODIZED, 1/8" THICK SHEET WHITE TEXT, WHITE BORDERS
4	"NO PARKING ANYTIME" SIGN ARROWS LEFT & RIGHT CHANGED FROM 18 GA. STEEL TO 18 GA. ALUMINUM REFLECTIVE ALUMINUM ANODIZED, 1/8" THICK SHEET WHITE TEXT, WHITE BORDERS	18 - 1/2" x 12" ALUMINUM REFLECTIVE ALUMINUM ANODIZED, 1/8" THICK SHEET WHITE TEXT, WHITE BORDERS
5	"NO LEFT TURN" SIGN CHANGED FROM 18 GA. STEEL TO 18 GA. ALUMINUM REFLECTIVE ALUMINUM ANODIZED, 1/8" THICK SHEET BLACK TEXT, BLACK BORDER	18 - 1/2" x 12" ALUMINUM REFLECTIVE ALUMINUM ANODIZED, 1/8" THICK SHEET BLACK TEXT, BLACK BORDER
6	"THROUGH TRAFFIC KEEP LEFT" SIGN CHANGED FROM 18 GA. STEEL TO 18 GA. ALUMINUM REFLECTIVE ALUMINUM ANODIZED, 1/8" THICK SHEET BLACK TEXT, BLACK BORDER	18 - 1/2" x 12" ALUMINUM REFLECTIVE ALUMINUM ANODIZED, 1/8" THICK SHEET BLACK TEXT, BLACK BORDER
7	"ONE WAY SIGN ARROW LEFT" SIGN CHANGED FROM 18 GA. STEEL TO 18 GA. ALUMINUM REFLECTIVE ALUMINUM ANODIZED, 1/8" THICK SHEET BLACK TEXT, BLACK BORDER	18 - 1/2" x 12" ALUMINUM REFLECTIVE ALUMINUM ANODIZED, 1/8" THICK SHEET BLACK TEXT, BLACK BORDER
8	"ONE WAY SIGN ARROW LEFT" SIGN CHANGED FROM 18 GA. STEEL TO 18 GA. ALUMINUM REFLECTIVE ALUMINUM ANODIZED, 1/8" THICK SHEET BLACK TEXT, BLACK BORDER	18 - 1/2" x 12" ALUMINUM REFLECTIVE ALUMINUM ANODIZED, 1/8" THICK SHEET BLACK TEXT, BLACK BORDER

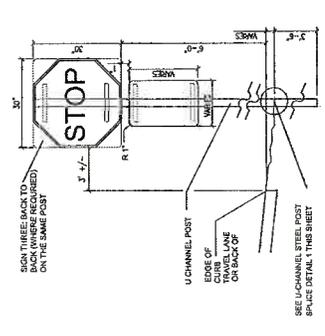
- GENERAL NOTES:**
- THE SPACER THICKNESS SHALL BE 1/16" LESS THAN THE GAP BETWEEN THE POSTS WHEN POSITIONED IN THE UNBOLTED CONFIGURATION.
  - POSTS SHALL BE POSITIONED IN THE UNBOLTED CONFIGURATION.
  - PREPARED HOLE WITHIN THE FIRST 2' OF THE END OF THE LAMPED POST SECTION.
  - SPACER THICKNESS SHALL BE 1/16" LESS THAN THE GAP BETWEEN THE PREPARED HOLE WITHIN THE FIRST 2' OF THE END OF THE LAMPED POST SECTION. THE SPACER THICKNESS SHALL BE 1/16" LESS THAN THE GAP BETWEEN THE PREPARED HOLE WITHIN THE FIRST 2' OF THE END OF THE LAMPED POST SECTION. THE SPACER THICKNESS SHALL BE 1/16" LESS THAN THE GAP BETWEEN THE PREPARED HOLE WITHIN THE FIRST 2' OF THE END OF THE LAMPED POST SECTION.
  - THE DRIVEN POST SHALL ALWAYS BE MOUNTED IN FRONT OF THE UPPER POST.
  - THE BOLTS SHOWN SHALL BE 1/2" GALVANIZED STEEL OR GALVANIZED BOLTS IN COORDINATION WITH LIST A.
  - CORE GRILL FOR SIGN POSTS PLACED IN PAVEMENT AND CONCRETE AND GROUT FILL.
  - PAINT ALL SIGN POSTS WITH FLAT BLACK PAINT.



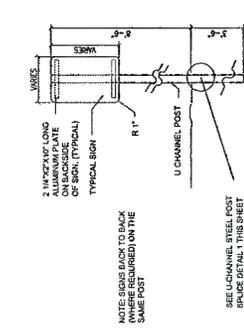
1 U CHANNEL STEEL POST SPLICE  
 NO SCALE



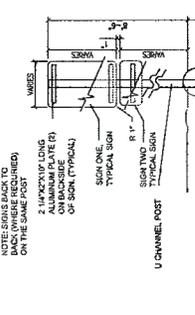
2 WALL MOUNTED SIGN  
 NO SCALE



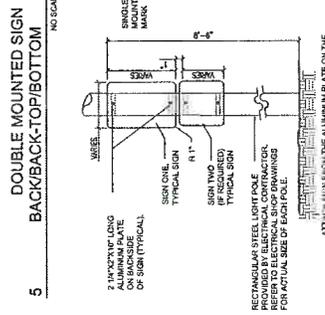
3 STOP SIGN WITH SECOND SIGN  
 NO SCALE



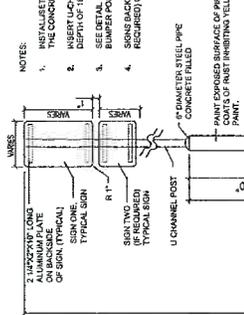
4 SIGN MOUNTED SINGLE  
 NO SCALE



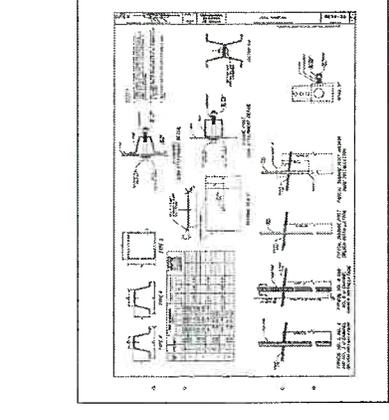
5 DOUBLE MOUNTED SIGN BACK-TO-TOP/BOTTOM  
 NO SCALE



6 MOUNTED ON LIGHT POLE  
 NO SCALE



7 DOUBLE MOUNTED SIGN TOP/BOTTOM IN A 6" EXTERIOR BUMPER POST  
 NO SCALE



8 DOUBLE MOUNTED SIGN TOP/BOTTOM  
 NO SCALE

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**ADDITION & RENOVATIONS TO WOODWARD ELEMENTARY SCHOOL**  
 FOR DELAWARE CITY SCHOOLS  
 DELAWARE, OHIO

**DETAILS AND SECTIONS**  
 DRAWING NO. DATE  
 REVISIONS NO. DATE  
 G4.3  
 1 & 2 TO WOODWARD BLA. SCHOOL  
 1/2018

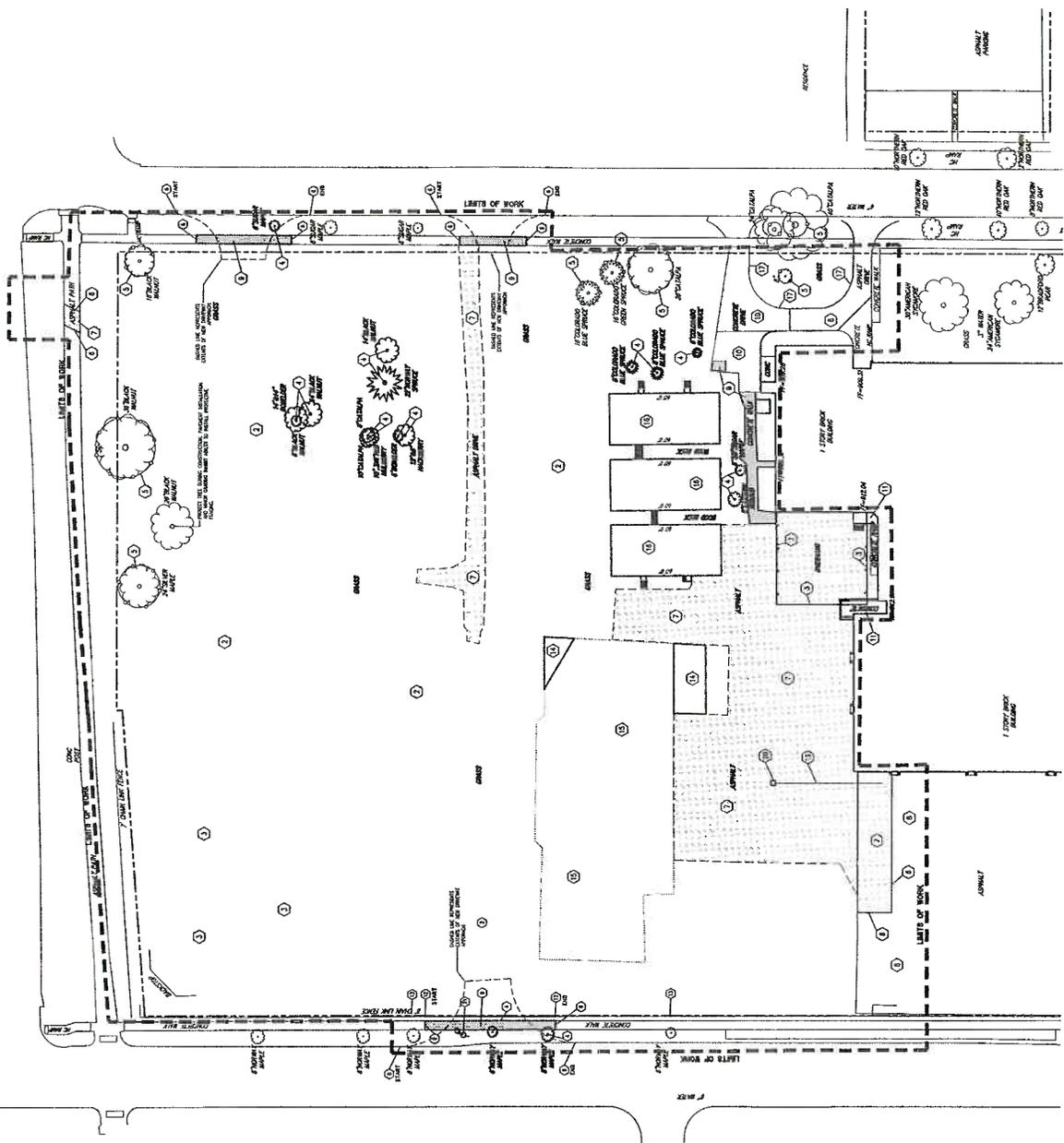




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FOR  
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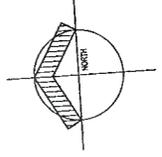
REVISIONS NO. DATE	GD1.1
DESIGNED BY: JMS	DATE: MAY 4, 2015
CHECKED BY: JMS	DATE: MAY 4, 2015
PROJECT NO. DATE	DEMOLITION PLAN



- DEMOLITION KEYNOTE LEGEND**
1. LIMITS OF WORK
  2. CLEAR AND GRAB AREA AND REMOVE EXISTING SEE SHEETS COLLECT FOR LIMITS
  3. REMOVE EXISTING CONCRETE FLOOR CONSTRUCTION
  4. REMOVE EXISTING WALLS, PARTIAL WALLS, PARTIAL ROOFS AND ROOFS AS SHOWN ON THE PLAN AND REMOVE EXISTING
  5. REMOVE EXISTING ROOF CONSTRUCTION TO REMAIN THROUGHOUT DEMOLITION WORK. REMOVE EXISTING ROOF CONSTRUCTION TO REMAIN THROUGHOUT DEMOLITION WORK. REMOVE EXISTING ROOF CONSTRUCTION TO REMAIN THROUGHOUT DEMOLITION WORK. REMOVE EXISTING ROOF CONSTRUCTION TO REMAIN THROUGHOUT DEMOLITION WORK.
  6. REMOVE EXISTING FLOORING
  7. REMOVE EXISTING EXTERIOR FINISHES AND BASE AND REMOVE EXISTING
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  40. REMOVE EXISTING CONCRETE FLOOR AND REMOVE EXISTING
  41. REMOVE EXISTING CONCRETE FLOOR AND REMOVE EXISTING
  42. REMOVE EXISTING CONCRETE FLOOR AND REMOVE EXISTING

**GENERAL NOTES**

1. THE CONTRACTOR IS TO VERIFY ALL UTILITIES PRIOR TO COMMENCING DEMOLITION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONTACT UTILITIES FOR CONNECTIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONTACT UTILITIES FOR CONNECTIONS.
3. CONTRACTOR SHALL VERIFY AND REMOVE ALL UTILITIES NECESSARY TO DEMOLITION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONTACT UTILITIES FOR CONNECTIONS.
4. PROTECT ALL UTILITIES AND SERVICES NOT SCHEDULED FOR REMOVAL. REMOVE EXISTING UTILITIES AND SERVICES NOT SCHEDULED FOR REMOVAL. REMOVE EXISTING UTILITIES AND SERVICES NOT SCHEDULED FOR REMOVAL. REMOVE EXISTING UTILITIES AND SERVICES NOT SCHEDULED FOR REMOVAL.
5. REMOVE EXISTING UTILITIES AND SERVICES NOT SCHEDULED FOR REMOVAL. REMOVE EXISTING UTILITIES AND SERVICES NOT SCHEDULED FOR REMOVAL. REMOVE EXISTING UTILITIES AND SERVICES NOT SCHEDULED FOR REMOVAL. REMOVE EXISTING UTILITIES AND SERVICES NOT SCHEDULED FOR REMOVAL.
6. IN THE EVENT THAT ANY UTILITIES ARE DISCOVERED DURING DEMOLITION WORK, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY THE ARCHITECT AND THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONTACT UTILITIES FOR CONNECTIONS.
7. IN THE EVENT THAT ANY UTILITIES ARE DISCOVERED DURING DEMOLITION WORK, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY THE ARCHITECT AND THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONTACT UTILITIES FOR CONNECTIONS.
8. REMOVE EXISTING UTILITIES AND SERVICES NOT SCHEDULED FOR REMOVAL. REMOVE EXISTING UTILITIES AND SERVICES NOT SCHEDULED FOR REMOVAL. REMOVE EXISTING UTILITIES AND SERVICES NOT SCHEDULED FOR REMOVAL. REMOVE EXISTING UTILITIES AND SERVICES NOT SCHEDULED FOR REMOVAL.
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SCALE: 1" = 30'-0"





WOODWARD CLARK

**ZONING APPROVAL**  
**SITE LIGHTING PHOTOMETRIC PLAN**  
**ADDITION TO WOODWARD ELEMENTARY SCHOOL**  
**DELAWARE CITY SCHOOLS - DELAWARE, OHIO**

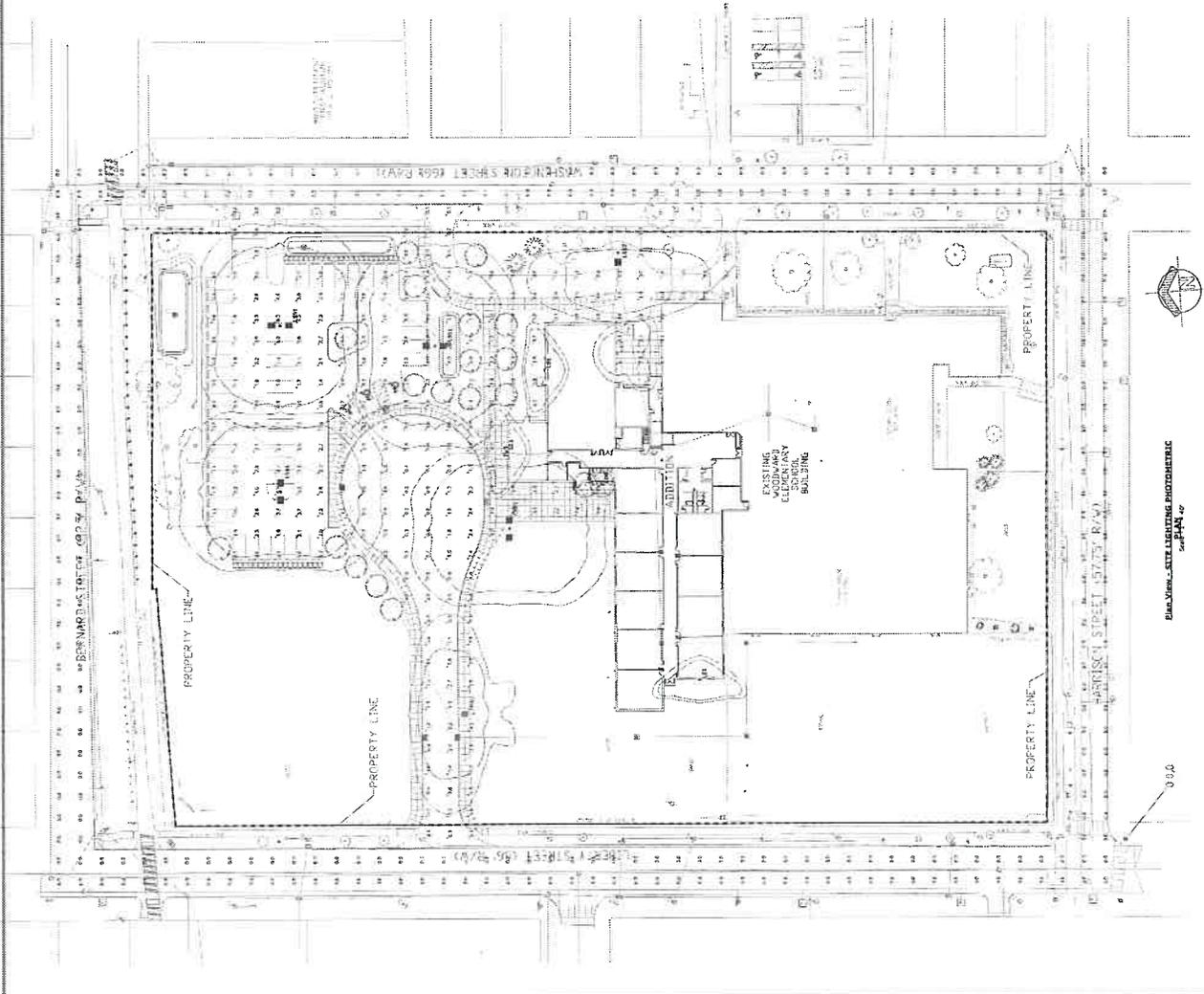
Designer: Woodward Clark  
 Draftsman: [Name]  
 Drawing No. [Number]  
 Revision: [Number]

Symbol	Lighting Fixture	Notes	Quantity	Notes	Quantity
○	LDS	1" CUT DIAMETER PARABOLIC REFLECTOR WITH ADJUSTABLE LAMP HOUSING	1	1" CUT DIAMETER PARABOLIC REFLECTOR WITH ADJUSTABLE LAMP HOUSING	1
▭	LES	1" CUT DIAMETER PARABOLIC REFLECTOR WITH ADJUSTABLE LAMP HOUSING	1	1" CUT DIAMETER PARABOLIC REFLECTOR WITH ADJUSTABLE LAMP HOUSING	1
▭	LES	1" CUT DIAMETER PARABOLIC REFLECTOR WITH ADJUSTABLE LAMP HOUSING	1	1" CUT DIAMETER PARABOLIC REFLECTOR WITH ADJUSTABLE LAMP HOUSING	1
□	LES	1" CUT DIAMETER PARABOLIC REFLECTOR WITH ADJUSTABLE LAMP HOUSING	1	1" CUT DIAMETER PARABOLIC REFLECTOR WITH ADJUSTABLE LAMP HOUSING	1
□	LES	1" CUT DIAMETER PARABOLIC REFLECTOR WITH ADJUSTABLE LAMP HOUSING	1	1" CUT DIAMETER PARABOLIC REFLECTOR WITH ADJUSTABLE LAMP HOUSING	1
□	LES	1" CUT DIAMETER PARABOLIC REFLECTOR WITH ADJUSTABLE LAMP HOUSING	1	1" CUT DIAMETER PARABOLIC REFLECTOR WITH ADJUSTABLE LAMP HOUSING	1

**Photometric Data**

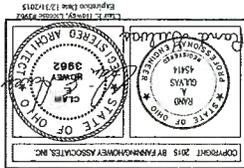
Fixture	Beam Angle	Beam Diameter	Beam Area	Beam Length	Beam Power	Beam Flux	Beam Density
LES	30°	1.73	3.0	1.73	1.0	1.0	1.0
LES	45°	2.25	5.0	2.25	1.0	1.0	1.0
LES	60°	2.59	6.7	2.59	1.0	1.0	1.0
LES	75°	2.89	9.0	2.89	1.0	1.0	1.0
LES	90°	3.14	11.0	3.14	1.0	1.0	1.0
LES	105°	3.35	13.0	3.35	1.0	1.0	1.0
LES	120°	3.53	15.0	3.53	1.0	1.0	1.0
LES	135°	3.68	17.0	3.68	1.0	1.0	1.0
LES	150°	3.81	19.0	3.81	1.0	1.0	1.0
LES	165°	3.92	21.0	3.92	1.0	1.0	1.0
LES	180°	4.00	23.0	4.00	1.0	1.0	1.0

**NOTE:** SITE LIGHTING PHOTOMETRIC PLAN DESIGN NOTES:  
 1. ALL LIGHTING FIXTURES SHALL BE CALCULATED AT EDGE OF PROPERTY.



Plan View - SITE LIGHTING PHOTOMETRIC PLAN

0.00



ADDITON & RENOVATIONS TO  
WOODWARD ELEMENTARY SCHOOL  
FOR  
DELAWARE CITY SCHOOLS  
DELAWARE, OHIO

**PLANNING & HOWEY**  
614.764.4661 www.phoi.com  
www.planningandhowey.com  
CREATIVE, SKILL,  
STRATEGIC GROUP

DATE: JULY 9, 2014	PROJECT NO. DATE: 1402014
REVISIONS NO. DATE:	
<b>E2.0</b>	
SITE ELECTRICAL ZONING APPROVAL PLAN	

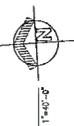
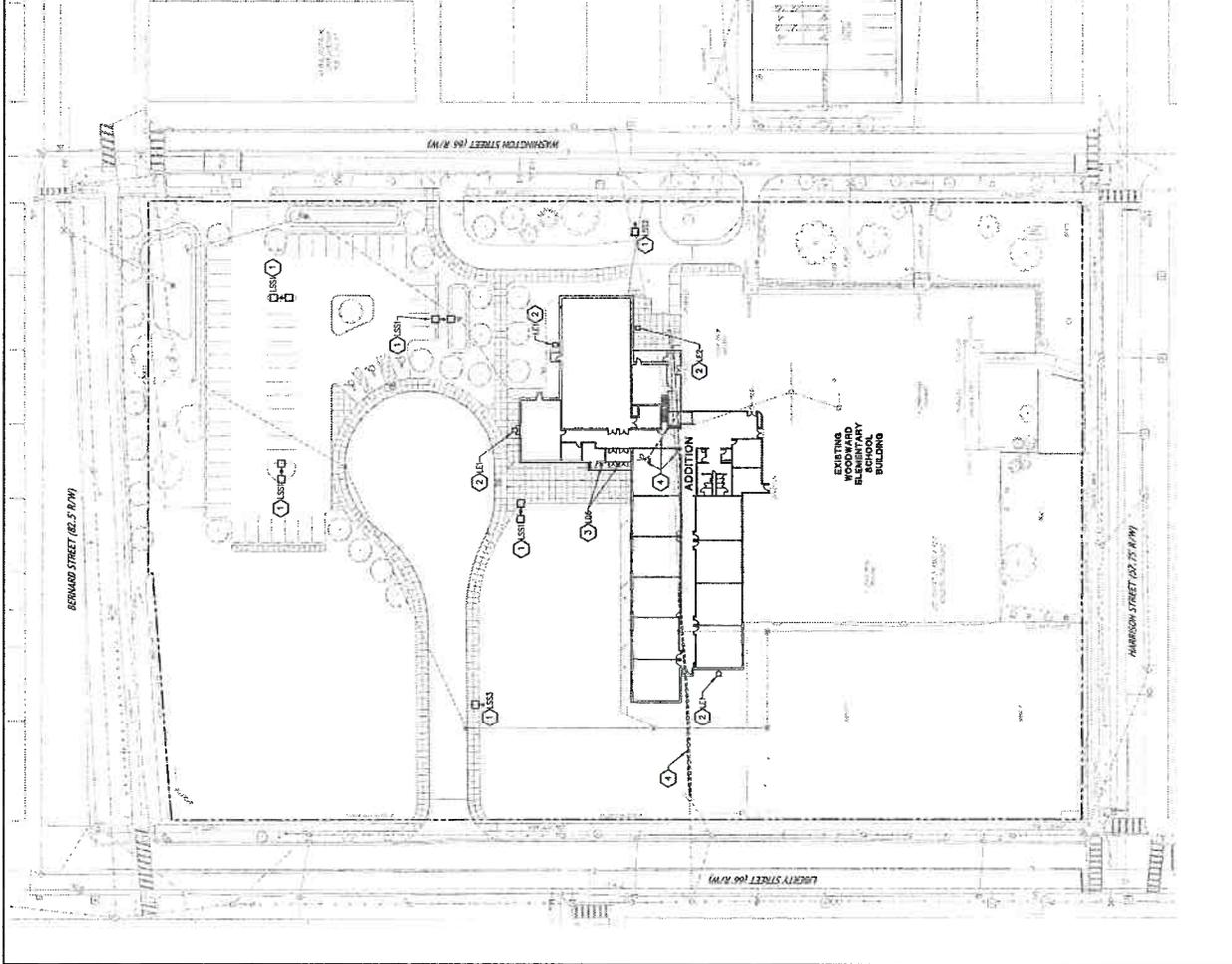
**GENERAL NOTES:**

- COORDINATE EXACT LOCATION OF ALL POLE BASSIS AND UNDERGROUND CONDUIT WITH LOCATIONS OF LATER BURNS TO BE MADE TO EXISTING UTILITY RECORDS. UNDERGROUND SERVICE DRAWINGS FOR INSTALLATION OF UNDERGROUND ELECTRICAL UNDERGROUND CONDUITS, ETC. SHALL BE PROVIDED TO THE CONTRACTOR FOR INSTALLATION. COORDINATE LOCATION OF ALL UNDERGROUND TRENCHING AND INSTALLATION.
- ANY UNDERGROUND SITE UTILITIES SHOWN ON THIS SHEET OTHER THAN ELECTRICAL SITE UTILITIES ARE LOCATIONS OF EXISTING SITE UTILITIES. SEE SITE UTILITIES RECORDS FOR EXISTING UNDERGROUND CONDUITS, ETC. OF UNDERGROUND SITE UTILITIES WHEN COORDINATING WITH ELECTRICAL SITE UTILITIES SHOWN ON THIS SHEET.

**PLAN NOTES:**

- NEW PARKING LOT LIGHTING (POLE/UNDERGROUND). REFER TO LUMINAIRE SCHEDULE ON SHEET E2.1 FOR ADDITIONAL INFORMATION. ALL LIGHTING SHALL BE INSTALLED ON THE EXISTING CONCRETE PAVEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SURFACING COSTS ASSOCIATED WITH LOCKING POLE FOUNDATIONS.
- NEW TALL CUT-OFF BUILDING MOUNTED EXTERIOR LIGHTING SHALL BE INSTALLED ON THE EXISTING CONCRETE PAVEMENT. REFER TO SHEET E2.1 FOR ADDITIONAL INFORMATION. EXISTING CONSTRUCTION DOCUMENTS WILL BE REVISED ON THE DATE OF THIS SHEET.
- NEW TALL CUT-OFF BUILDING MOUNTED EXTERIOR LIGHTING SHALL BE INSTALLED ON THE EXISTING CONCRETE PAVEMENT. REFER TO SHEET E2.1 FOR ADDITIONAL INFORMATION. EXISTING CONSTRUCTION DOCUMENTS WILL BE REVISED ON THE DATE OF THIS SHEET.
- EXISTING UTILITIES TO BE RECONSTRUCTED TO ALLOW FOR NEW UNDERGROUND CONDUIT SHALL BE INDICATED ON THE CONSTRUCTION DOCUMENTS.

**ALL UNDERGROUND CONDUIT RUNS UNDER EXISTING PAVING OR SIDEWALKS SHALL BE INSTALLED AT A MINIMUM DEPTH OF 36" BELOW FINISH GRADE UNLESS OTHERWISE SPECIFIED. PROVIDE WARNING TAPE IN ALL TRENCHES WHEN BACKFILLING. INSTALL IN-GRADE PULLBOXES AS REQUIRED FOR LONG UNDERGROUND CONDUIT RUNS. PULLBOXES SHALL BE FURNISHED AND INSTALLED PER SPECIFICATIONS AND SIZED AS REQUIRED FOR THE PULLING REQUIREMENTS FOR THE APPLICATION.**



SITE ELECTRICAL PLAN

MARKING DAYS  
BEFORE YOU DIG  
CALL TOLL FREE 800-362-2764  
OR VISIT WWW.MARKINGDAYS.COM

ADDITON & RENOVATIONS TO  
WOODWARD ELEMENTARY SCHOOL  
FOR  
DELAWARE CITY SCHOOLS  
DELAWARE, OHIO

**PLANNING & HOWEY**  
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www.planningandhowey.com  
CREATIVE, SKILL,  
STRATEGIC GROUP

DATE: JULY 9, 2014	PROJECT NO. DATE: 1402014
REVISIONS NO. DATE:	
<b>E2.0</b>	
SITE ELECTRICAL ZONING APPROVAL PLAN	



**WOODWARD ELEMENTARY SCHOOL**  
**FOR**  
**DELAWARE CITY SCHOOLS**  
**DELAWARE, OHIO**

**FANNING HOWEY**  
 614.764.4661 www.fhqi.com  
**Magnific Group**  
 CREATIVE SKILL. TECHNICAL EXPERT.

<b>LUMINAIRE SCHEDULE</b>	
PROJECT NO. DATE	DATE: JULY 8, 2015
DESIGNER: FANNING HOWEY ASSOCIATES, INC.	DATE: JULY 8, 2015
CLIENT: DELAWARE CITY SCHOOLS	DATE: JULY 8, 2015
PROJECT: WOODWARD ELEM. SCHOOL	DATE: JULY 8, 2015

LUMINAIRE TYPE	LUMINAIRE DESCRIPTION	FINISH COLOR	NORMAL SIZE	MOUNTING			LAMP DATA				FEATURE VA	VOLTAGE (V)	MANUFACTURER	REMARKS			
				TYPE	HEIGHT	CITY MOUNT	SIZE	WATTAGE	WATTAGE	WATTAGE					WATTAGE		
LD6	OVER RECESSED DOWNLGT. SELF-FINISH. CLEAR SPECULAR FINISH	CLEAR	6 IN. DIA.	RECESSED DOWNLGT.	CEILING	1 IN.	1 IN.	1 IN.	100W	4000	3000K	10	100W	100W	100W	100W	100W
LE1	TRIMMED DIMMED LED WALL SCONCE LIGHT FIXTURE WITH TYPE 2 PSE, 70 WATT DRIVER, MET SPOKE BRACKET	BURN BRONZE	4 IN. DIA.	SURFACE MOUNT	WALL	20 IN.	2 IN.	1 IN.	3.5W	4000	10000K	4	100W	100W	100W	100W	100W
LE2	TRIMMED DIMMED LED WALL SCONCE LIGHT FIXTURE WITH TYPE 2 PSE, 70 WATT DRIVER, MET SPOKE BRACKET	BURN BRONZE	4 IN. DIA.	SURFACE MOUNT	WALL	20 IN.	2 IN.	1 IN.	3.5W	4000	10000K	4	100W	100W	100W	100W	100W
LSS1	TRIMMED DIMMED LED WALL SCONCE LIGHT FIXTURE WITH TYPE 2 PSE, 70 WATT DRIVER, MET SPOKE BRACKET	BURN BRONZE	4 IN. DIA.	SURFACE MOUNT	WALL	20 IN.	2 IN.	1 IN.	3.5W	4000	10000K	4	100W	100W	100W	100W	100W
LSS2	TRIMMED DIMMED LED WALL SCONCE LIGHT FIXTURE WITH TYPE 2 PSE, 70 WATT DRIVER, MET SPOKE BRACKET	BURN BRONZE	4 IN. DIA.	SURFACE MOUNT	WALL	20 IN.	2 IN.	1 IN.	3.5W	4000	10000K	4	100W	100W	100W	100W	100W
LSS3	TRIMMED DIMMED LED WALL SCONCE LIGHT FIXTURE WITH TYPE 2 PSE, 70 WATT DRIVER, MET SPOKE BRACKET	BURN BRONZE	4 IN. DIA.	SURFACE MOUNT	WALL	20 IN.	2 IN.	1 IN.	3.5W	4000	10000K	4	100W	100W	100W	100W	100W

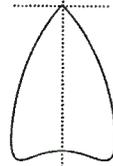
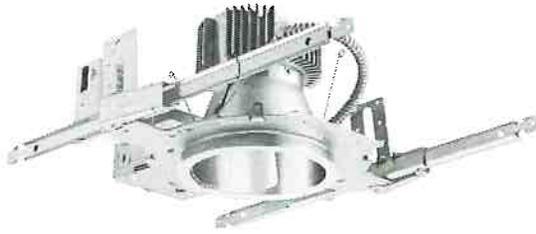
NOTES: 1. FOR ALL DOWNLIGHT LUMINAIRE, PROVIDE WORKING DRAWING FOR INSTALLATION IN ALL CEILING TYPES.  
 2. EED 7 LAMP, EMERGENCY TRANSFER SOURCE (P.A. LUMINAIRE), EEP, EMERGENCY BATTERY PACK. BIDDING: 20 AMP, FULL CIRCUIT TRANSFER SOURCE ADJACENT TO PANEL. REFER TO PROJECT MANUAL FOR REQUIREMENTS OF ALL OF THE ABOVE. SEE SCHEDULE.  
 3. REFER TO PROJECT MANUAL FOR LAMP & BALLAST REQUIREMENTS AS WELL AS SECTION FOR INTERIOR AND EXTERIOR LIGHTING.  
 4. ALL LED LUMINAIRE, PROVIDE MINIMUM 8000K LUMENS AND MAXIMUM WATTAGE AS NOTED ABOVE. PROVIDE REPLACEMENT LED MODULES WARRANTY. FULLY SERVICEABLE THROUGHOUT LIFETIME FOR FLAUGHTER DOWNLIGHTS. LED LUMINAIRE SHALL BE PROVIDED WITH A 5 YEAR WARRANTY.  
 5. PROVIDE CEILING INSULATION THE CORRECT THICKNESS. LUMINAIRE SHALL BE SPACED ON 4' ON CENTER.  
 6. 20 WATT 120V DIMMING DIMMER FOR LED AND DIMMABLE BALLAST FOR FLUORESCENT. DIMMING DIMMING DIMMER FOR LED.  
 7. COVER REFLECTOR IN ALL TYPES OF DOWNLIGHTS TO PREVENT GLARE WHEN IN USE.  
 8. PROVIDE A QUALITY GLOSS PAINT FINISH TO ALL DOWNLIGHTS, EXCEPT FOR DOWNLIGHTS IN ALL TYPES.

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 STATE OF OHIO REGISTERED ARCHITECT  
 FANNING HOWEY ASSOCIATES, INC. 9982

ADDITION TO WOODWARD ELEMENTARY  
DELAWARE CITY SCHOOLS  
TYPE LD6



Luminaire Type:  
Catalog Number  
(autopopulated):



Gotham Architectural Downlighting  
LED Downlights

**6" Evo®**  
Downlight

Solid-State Lighting



FEATURES

**OPTICAL SYSTEM**

- Self-flanged semi-specular, matte-diffuse or specular finishing trim
- Patented Bounding Ray™ optical design (U.S. Patent No. 5,800,050)
- 45° cutoff to source and source image
- Top-down flash characteristic
- Polycarbonate lens integral to light engine

**MECHANICAL SYSTEM**

- 16-gauge galvanized steel construction; maximum 1-1/2" ceiling thickness
- Telescopic mounting bars maximum of 32" and minimum of 15", preinstalled, 4" vertical adjustment
- Toolless adjustments post installation
- Junction box capacity: 8 (4 in, 4 out ) 12AWG rated for 90°C
- Light engine and driver accessible through aperture

**ELECTRICAL SYSTEM**

- Fully serviceable and upgradeable lensed LED light engine
- 70% lumen maintenance at 60,000 hours
- Tested according to LM-79 and LM-80 standards
- Overload and short circuit protected
- 2.5 SDCM; 85 CRI typical, 90+ CRI optional

**LISTINGS**

- Fixtures are CSA certified to meet US and Canadian standards; wet location, covered ceiling

**WARRANTY**

- 5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx)

Note: Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.

EXAMPLE: EVO 35/10 6AR MWD LSS MVOLT EZ1

Series	Color temperature	Nominal lumen values	Aperture/Trim color	Distribution	Finish	Voltage
EVO	27/ 2700 K	10 1000 lumens 35 3500 lumens	6AR Clear	VND Very narrow (0.5 s/mh)	LSS Semi-specular	MVOLT
	30/ 3000 K	15 1500 lumens 40 4000 lumens	6PR Pewter	ND Narrow (0.7 s/mh)	LD Matte-diffuse	120
	35/ 3500 K	20 2000 lumens 45 4500 lumens	6WTR Wheat	MD Medium (0.9 s/mh)	LS Specular	277
	40/ 4000 K	25 2500 lumens 30 3000 lumens	6GR Gold	MWD Medium wide (1.0 s/mh)		347 <sup>2</sup>
			6WR <sup>1</sup> White	WD Wide (1.2 s/mh)		
			6BR <sup>1</sup> Black			
			6WRAM <sup>1</sup> White anti-microbial			

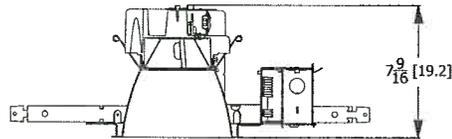
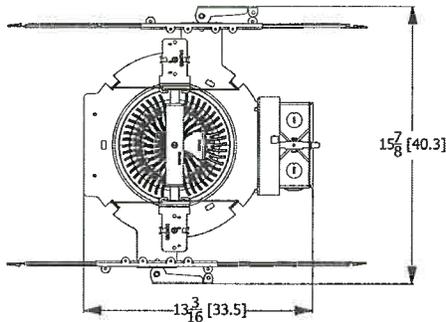
ORDERING INFORMATION

Driver <sup>3</sup>	Options
EZ1 eldoLED ECOdrive 0-10V dimming driver. Minimum dimming range level 1%	SF <sup>6</sup> Single fuse TRW <sup>7</sup> White painted flange TRBL <sup>8</sup> Black painted flange EL <sup>9</sup> Emergency battery pack with integral test switch ELR <sup>9</sup> Emergency battery pack with remote test switch NPS80EZ nLight® dimming pack controls 0-10V eldoLED drivers. NPS80EZER <sup>10</sup> nLight® dimming pack controls 0-10V eldoLED drivers. ER controls fixtures on emergency circuit. WRS <sup>11</sup> FIDO wireless monitoring and reporting system
EZB eldoLED SOLOdrive 0-10V dimming driver. Minimum dimming level <1%.	BGTD <sup>6</sup> Bodine generator transfer device CRI90 High CRI (90+) CP <sup>6</sup> Chicago plenum RRL__ RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature.
EDAB eldoLED SOLOdrive DALI dimming driver. Minimum dimming level <1%.	
EDXB eldoLED POWERdrive DMX with RDM (remote device management). Minimum dimming level <1%. Includes termination resistor.	
EXA1 XPoint Wireless, eldoLED ECOdrive 1% dimming, 0-10V. Refer to XPoint tech sheet.	
EXAB XPoint Wireless, eldoLED SOLOdrive <1% dimming, 0-10V. Refer to XPoint tech sheet.	
ECOS2 <sup>4,5</sup> Lutron® Hi-Lume® 2-wire forward-phase dimming driver. Minimum dimming level 1%	
ECOS3 <sup>4</sup> Lutron® Hi-Lume® 3-wire or EcoSystem® dimming driver. Minimum dimming level 1%	



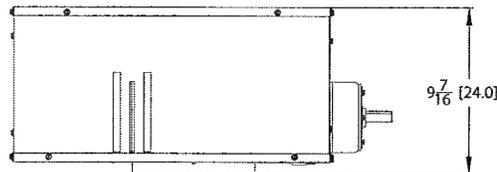
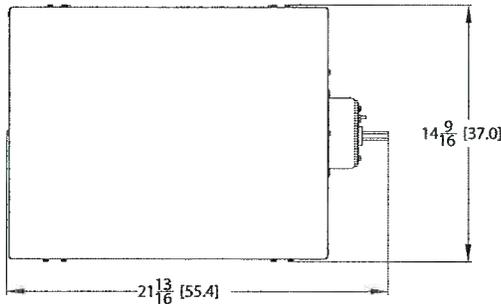
DIMENSIONAL DATA

All dimensions are inches (centimeters) unless otherwise noted.



Aperture: 6-1/4 (15.9)  
 Ceiling Opening: 7-1/8 (18.1)  
 Overlap Trim: 7-1/2 (19.1)

**DIMENSIONS FOR CHICAGO PLENUM**



ELECTRICAL

WATTAGE CONSUMPTION MATRIX			
LUMENS	LM ACTUAL	WATTAGE	LUMENS per WATT
1000	1,059	11.8	90.1
1500	1,572	18.5	85.0
2000	2,058	23.2	88.9
2500	2,612	29.5	88.5
3000	3,077	36.6	84.1
3500	3,591	42.1	85.3
4000	4,046	48.1	84.2
4500	4,555	46.9	97.1

EMERGENCY LUMEN OUTPUT		
LUMENS	WATTAGE	INITIAL OUTPUT
1000	9.6	1000
1500	9.6	1000
2000	9.6	1000
2500	9.6	1000
3000	9.6	1000
3500	9.6	1000
4000	9.6	1000
4500	9.6	1000

ACCESSORIES

ACCESSORIES order as separate catalog numbers (shipped separately)

- SCA6 Sloped ceiling adapter. Degree of slope must be specified (5D, 10D, 15D, 20D, 25D, 30D). Ex: SCA6 10D. Refer to [TECH-190](#).
- CTA4-8 YK Ceiling thickness adapter (extends mounting frame to accommodate ceiling thickness up to 5"). Adds 1" to fixture height.
- GVRT Vandal-resistant trim accessory. Refer to [TECH-200](#).
- ISD BC 0-10V wallbox dimmer. Refer to [ISD-BC](#).

NOTES

**ORDERING NOTES**

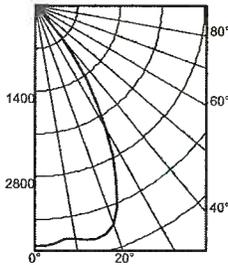
1. Not available with finishes.
2. Not available with EL or ELR options.
3. Refer to [TECH-240](#) for compatible dimmers.
4. Not available with nLight® and XPoint options.
5. 120V only.
6. Specify 120V or 277V.
7. Not available with white reflector.
8. Not available with black reflector
9. For dimensional changes, refer to [TECH-140](#). Not available with 347V.
10. For use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
11. Available only with EL/ELR. Not available with CP. PSSD2 included. Refer to [PSSD2](#).

PHOTOMETRY

Distribution Curve    Distribution Data    Output Data    Coefficient of Utilization    Illuminance: Single Luminaire 30" Above Floor

**EVO 35/40 6AR LS**

INPUT WATTS: 48.1, DELIVERED LUMENS: 4046, LM/W=84.1, 1.03 S/MH, TEST NO. LTL27768

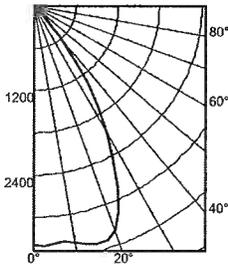


Ave Lumens	Zone	Lumens	% Lamp	pf	pc	pw	80%			20%			50%		
							50%	30%	10%	50%	30%	10%	50%	30%	10%
0	0° - 30°	2904.3	71.8	0	119	119	119	116	116	116	111	111	111	111	
5	0° - 40°	3830.0	94.7	1	111	108	106	109	106	104	105	103	101	101	
15	0° - 60°	4043.4	99.9	2	103	99	96	101	98	95	98	95	93	93	
25	0° - 90°	4046.3	100.0	3	96	91	87	95	90	87	92	88	85	85	
35	90° - 180°	0.0	0.0	4	90	84	80	89	84	80	87	82	79	79	
45	0° - 180°	4046.3	*100.0	5	84	78	74	83	78	74	81	77	73	73	
55			*Efficiency	6	79	73	69	78	73	68	77	72	68	68	
65				7	74	68	64	73	68	64	72	67	63	63	
75				8	70	64	60	69	63	60	68	63	59	59	
85				9	66	60	56	65	60	56	64	59	56	56	
90				10	62	56	52	62	56	52	61	56	52	52	

Initial FC		50% beam - 54.4°		10% beam - 78.1°	
Mounting Height	Center Beam	Diameter	FC	Diameter	FC
8.0	130.1	5.7	65.1	8.9	13.0
10.0	70.0	7.7	35.0	12.2	7.0
12.0	43.6	9.8	21.8	15.4	4.4
14.0	29.8	11.8	14.9	18.7	3.0
16.0	21.6	13.9	10.8	21.9	2.2

**EVO 35/35 6AR LS**

INPUT WATTS: 42.1, DELIVERED LUMENS: 3591, LM/W=85.3, 1.05 S/MH, TEST NO. LTL27767

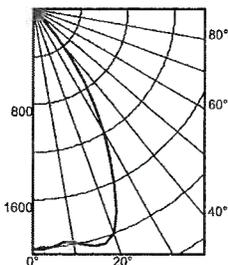


Ave Lumens	Zone	Lumens	% Lamp	pf	pc	pw	80%			20%			50%		
							50%	30%	10%	50%	30%	10%	50%	30%	10%
0	0° - 30°	2579.3	71.8	0	119	119	119	116	116	116	111	111	111	111	
5	0° - 40°	3399.8	94.7	1	111	108	106	109	106	104	105	103	101	101	
15	0° - 60°	3586.3	99.9	2	103	99	96	101	98	95	98	95	93	93	
25	0° - 90°	3590.5	100.0	3	96	91	87	95	90	87	92	88	85	85	
35	90° - 180°	0.0	0.0	4	90	84	80	89	84	80	87	82	79	79	
45	0° - 180°	3590.5	*100.0	5	84	78	74	83	78	74	81	77	73	73	
55			*Efficiency	6	79	73	69	78	72	68	77	72	68	68	
65				7	74	68	64	73	68	64	72	67	63	63	
75				8	70	64	60	69	63	60	68	63	59	59	
85				9	66	60	56	65	60	56	64	59	56	56	
90				10	62	56	52	62	56	52	61	56	52	52	

Initial FC		50% beam - 55.2°		10% beam - 78.2°	
Mounting Height	Center Beam	Diameter	FC	Diameter	FC
8.0	112.4	5.7	66.2	8.9	11.2
10.0	60.4	7.8	30.2	12.2	6.0
12.0	37.7	9.9	18.8	15.4	3.8
14.0	25.7	12.0	12.9	18.7	2.6
16.0	18.7	14.1	9.3	21.9	1.9

**EVO 35/20 6AR LS**

INPUT WATTS: 23.2, DELIVERED LUMENS: 2058, LM/W=88.7, 1.02 S/MH, TEST NO. LTL27777



Ave Lumens	Zone	Lumens	% Lamp	pf	pc	pw	80%			20%			50%		
							50%	30%	10%	50%	30%	10%	50%	30%	10%
0	0° - 30°	1498.5	72.8	0	119	119	119	116	116	116	111	111	111	111	
5	0° - 40°	1958.0	95.1	1	111	108	106	109	107	105	105	103	101	101	
15	0° - 60°	2056.6	99.9	2	103	99	96	102	98	95	98	95	93	93	
25	0° - 90°	2058.3	100.0	3	96	92	88	95	91	87	92	89	86	86	
35	90° - 180°	0.0	0.0	4	90	85	81	89	84	80	87	83	79	79	
45	0° - 180°	2058.3	*100.0	5	84	79	74	83	78	74	82	77	73	73	
55			*Efficiency	6	79	73	69	78	73	69	77	72	68	68	
65				7	74	68	64	74	68	64	72	67	64	64	
75				8	70	64	60	69	64	60	68	63	60	60	
85				9	66	60	56	66	60	56	65	60	56	56	
90				10	62	57	53	62	56	53	61	56	53	53	

Initial FC		50% beam - 54.2°		10% beam - 77.3°	
Mounting Height	Center Beam	Diameter	FC	Diameter	FC
8.0	66.7	5.6	33.4	8.8	6.7
10.0	35.9	7.7	17.9	12.0	3.6
12.0	22.4	9.7	11.2	15.2	2.2
14.0	15.3	11.8	7.6	18.4	1.5
16.0	11.1	13.8	5.5	21.6	1.1

LUMEN OUTPUT MULTIPLIER - CRI	
CRI	FACTOR
80 CRI	1
90 CRI	0.79

LUMEN OUTPUT MULTIPLIER - CCT	
CRI	FACTOR
4000 K	1.035
3500 K	1
3000 K	0.973
2700 K	0.938

LUMEN OUTPUT MULTIPLIER - TRIM FINISH						
FINISH	CLEAR (AR)	PEWTER (PR)	WHEAT (WTR)	GOLD (GR)	WHITE (WR/WRAF)	BLACK (BR)
Specular (LS)	1.00	0.88	0.83	0.95	N/A	N/A
Semi-specular (LSS)	0.95	0.84	0.79	0.90	N/A	N/A
Matte-diffuse (LD)	0.85	0.73	0.69	0.80	N/A	N/A
Paint	N/A	N/A	N/A	N/A	0.87	0.73

**PHOTOMETRY NOTES**

- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.
- CRI: 85 typical.

**Choose Wall Controls.**

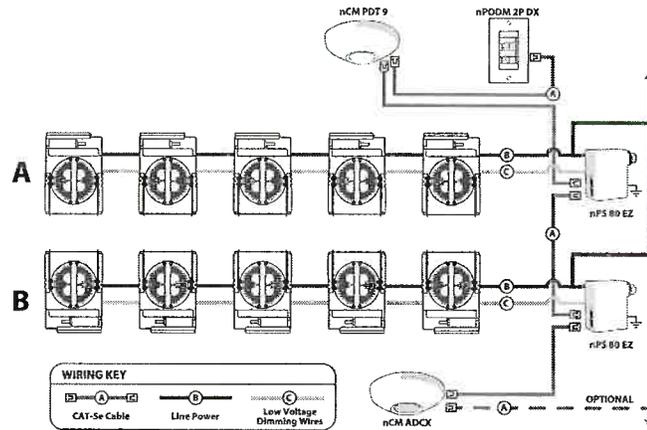
nLIGHT offers multiple styles of wall controls – each with varying features and user experience.



**Push-Button WallPod**  
Traditional tactile buttons and LED user feedback



**Graphic WallPod**  
Full color touch screen provides a sophisticated look and feel



**EXAMPLE**

Group Fixture Control\*

\*Application diagram applies for fixtures with eldoLED drivers only.

nPS 80 EZ Dimming/Control Pack (qty 2 required)

nPODM 2P DX Dual On/Off/Dim Push-Button WallPod

nCM ADCX Daylight Sensor with Automatic Dimming Control

nCM PDT 9 Dual Technology Occupancy Sensor

**Description:** This design provides a dual on/off/dim wall station that enables manual control of the fixtures in Row A and Row B separately. Additionally, a daylight harvesting sensor is provided so the lights in row B can be configured to dim automatically when daylight is available. An occupancy sensor turns off all lights when the space is vacant.

nLight® Control Accessories:			
Order as separate catalog number. Visit <a href="http://www.sensorswitch.com/nLight">www.sensorswitch.com/nLight</a> for complete listing of nLight controls.			
<b>WallPod stations</b>	<b>Model number</b>	<b>Occupancy sensors</b>	<b>Model number</b>
On/Off	nPODM [color]	Small motion 360°, ceiling (PIR / dual tech)	nCM 9 / nCM PDT 9
On/Off & Raise/Lower	nPODM DX [color]	Large motion 360°, ceiling (PIR / dual tech)	nCM 10 / nCM PDT 10
Graphic Touchscreen	nPOD GFX [color]	Wide view (PIR / dual tech)	nWV 16 / nWV PDT 16
Photocell controls	Model number	Wall Switch w/ Raise/Lower (PIR / dual tech)	nWSX LV DX / nWSX PDT LV DX
Dimming	nCM ADCX	<b>Cat-5 cables (plenum rated)</b>	<b>Model number</b>
		10', CAT5 10FT	CAT5 10FT J1
		15', CAT5 15FT	CAT5 15FT J1



## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%.

Light Engines	Drive Current (mA)	Performance Package	System Watts (MWOLTS)	Dist. Type	40K (4000K, 70 CRI)				
					Nominal Lumens	B	U	G	LPW
1 (10 LEDs)	700	10A700/-K	24W	SR2	2,005	1	0	1	84
				SR3	2,029	1	0	1	84
				SR4	1,959	1	0	1	82
2 (20 LEDs)	700	10A700/-K	47W	SR2	3,944	1	0	1	84
				SR3	4,028	1	0	1	86
				SR4	3,851	1	0	1	82

1 See electrical load chart for 347/480V system watts.

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C	1.10
10°C	1.06
20°C	1.02
25°C	1.00
30°C	0.98
40°C	0.92

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the WST LED 2 10A700 platform in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.94	0.88	0.77

### Electrical Load

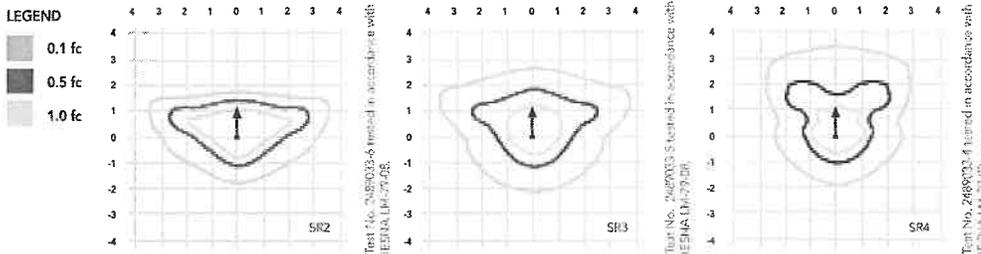
Light Engines	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
1	700	24W	0.24	0.14	0.12	0.1	-	-
		29W <sup>1</sup>	-	-	-	-	0.09	0.07
2	700	47W	0.44	0.27	0.23	0.20	-	-
		53W <sup>1</sup>	-	-	-	-	0.17	0.12

1 Higher wattage is due to electrical losses from step-down transformer.

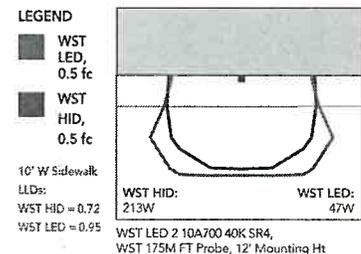
## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's WST LED homepage.

Isocandela plots for the WST LED 2 10A700/40K SR2, SR3, and SR4. Distances are in units of mounting height (12').



Distribution overlay comparison to 175W metal halide.



## FEATURES & SPECIFICATIONS

### INTENDED USE

The classic architectural shape of the WST LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long life LEDs and driver make this luminaire nearly maintenance-free.

### CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

### OPTICS

Precision-molded acrylic lenses are engineered for superior distribution, uniformity, and spacing in wall-mount applications. Light engines are 4000K (70 CRI). The WST LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal core circuit board and integral aluminum heat sinks to maximize heat dissipation and promote long life (100,000 hrs at 25°C, L77). Class 2 electronic driver has a power factor >90%, THD <20%. Easily-serviceable surge protection device meets a minimum Category B (per ANSI/IEEE C62.41.2).

### INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The integral bubble level on the mounting plate provides assistance for level placement on every installation.

### LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP65 rated; luminaire is IP65 rated and suitable for wet locations when mounted with the lenses down. WLU option offers wet location listing in "up" orientation. Rated for -30°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org](http://www.designlights.org) to confirm which versions are qualified.

### WARRANTY

Five year limited warranty. Full warranty terms located at [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx).

**Note:** Specifications subject to change without notice.





# D-Series Size 1 LED Area Luminaire



Catalog Number

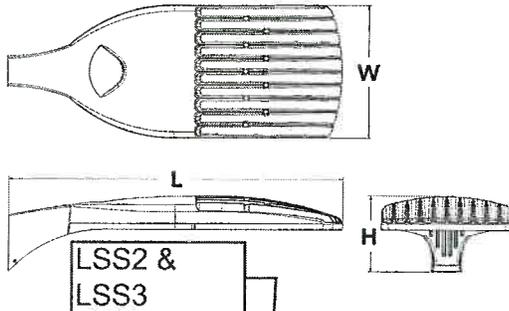
Notes ADDITION TO WOODWARD ES DELAWARE CITY SCHOOLS

Type LSS1, LSS2 AND LSS3

d#series

## Specifications

- EPA: 1.2 ft<sup>2</sup> (0.11 m<sup>2</sup>)
- Length: 33" (83.8 cm)
- Width: 13" (33.0 cm)
- Height: 7-1/2" (19.0 cm)
- Weight (max): 27 lbs (12.2 kg)



## Introduction

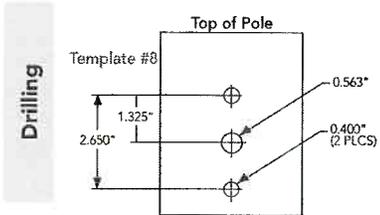
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing 100 - 400W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

## Ordering Information

EXAMPLE: DSX1 LED 60C 1000 40K T3M MVOLT SPA DBBXD

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting	Control options	Other options	Finish (required)				
DSX1 LED	Forward optics	530 530 mA	30K 3000K (80 CRI min.)	T1S Type I short	MVOLT <sup>2</sup>	Shipped included	Shipped installed	Shipped installed	DDBXD Dark bronze				
		700 700 mA		T2S Type II short						120 <sup>2</sup>	SPA Square pole mounting	PER NEMA twist-lock receptacle only (no controls) <sup>5</sup>	HS House-side shield <sup>11</sup>
		1000 1000 mA (1 A)		T2M Type II medium						208 <sup>2</sup>	RPA Round pole mounting	DMG 0-10V dimming driver (no controls)	WTB Utility terminal block <sup>2</sup>
	40C 40 LEDs (two engines)	50K 4000K (70 CRI min.) <sup>1</sup>	T3S Type III short	240 <sup>2</sup>	WBA Wall bracket	SPUMBA Square pole universal mounting adaptor <sup>4</sup>	DCR Dimmable and controllable via ROAM <sup>®</sup> (no controls) <sup>6</sup>	DF Double fuse (208, 240, 480V) <sup>13</sup>	DWHXD White				
			T3M Type III medium	277 <sup>2</sup>	RPUMBA Round pole universal mounting adaptor <sup>4</sup>					DS Dual switching <sup>2,3</sup>	L90 Left rotated optics <sup>14</sup>		
			T4M Type IV medium	347 <sup>2</sup>								PIR Motion sensor, 8-15' mounting height <sup>9</sup>	R90 Right rotated optics <sup>14</sup>
	Rotated optics	50K 5000K (67 CRI)	T4M Type IV medium	480 <sup>2</sup>	TFTM Forward throw medium	T5VS Type V very short	PIRH Motion sensor, 15-30' mounting height <sup>9</sup>	BL30 Bi-level switched dimming, 30% <sup>8,10</sup>	DDBTXD Textured dark bronze				
			T5S Type V short	BL50 Bi-level switched dimming, 50% <sup>8,10</sup>						DBLXD Black			
			T5M Type V medium								DBNAXD Natural aluminum		
	60C 60 LEDs (two engines)	LSS1	T5W Type V wide						DBWHXD Textured white				



DSX1 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS	Single unit	DM29AS	2 at 90°*
DM28AS	2 at 180°	DM39AS	3 at 90°*
DM49AS	4 at 90°**	DM32AS	3 at 120°**

Example: SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's POLES CENTRAL to see our wide selection of poles, accessories and educational tools.

\*Round pole top must be 3.25" O.D. minimum.  
\*\*For round pole mounting (RPA) only.

- ### Accessories
- Ordered and shipped separately.
- DLL127F 1.5 JU Photocell - SSL twist-lock (120-277V)<sup>15</sup>
  - DLL347F 1.5 CUL JU Photocell - SSL twist-lock (347V)<sup>15</sup>
  - DLL480F 1.5 CUL JU Photocell - SSL twist-lock (480V)<sup>15</sup>
  - SCU Shorting cap<sup>15</sup>
  - DSX1HS 30CU House-side shield for 30 LED unit
  - DSX1HS 40CU House-side shield for 40 LED unit
  - DSX1HS 60CU House-side shield for 60 LED unit
  - PUMBA DDBXD U\* Square and round pole universal mounting bracket adaptor (specify finish)

### Tenon Mounting Slipfitter \*\*

Slipfitter	AST20-190	AST20-280	AST25-320	AST35-380	AST35-480
2-3/8"	N/A	N/A	N/A	N/A	N/A
2-7/8"	N/A	N/A	N/A	N/A	N/A
4"	N/A	N/A	N/A	N/A	N/A

- ### NOTES
- Configured with 4000K (40K) provides the shortest lead times. Consult factory for 3000K (30K) and 5000K (50K) lead times.
  - MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
  - Not available with single board, 530mA product (30C 530, or 60C 530 DS). Not available with DCR, BL30 or BL50.
  - Available as a separate combination accessory: PUMBA (finish) U.
  - Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option.
  - Specifies a ROAM<sup>®</sup> enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347 or 480V. Additional hardware and services required for ROAM<sup>®</sup> deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net. N/A with BL30, BL50, DS, PIR or PIRH.
  - Requires 40C or 60C. Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with PER, DCR, WTB, PIR, or PIRH.
  - Requires an additional switched circuit.
  - PIR specifies the Sensor Switch SEGH-10-CDP control; PIRH specifies the Sensor Switch SBGR-6-CDP control; see Motion Sensor Kits for details. Dimming driver standard. Not available with DCR.
  - Dimming driver standard. MVOLT only. Not available with DCR.
  - Also available as a separate accessory; see Accessories information.
  - WTB not available with DS.
  - Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
  - Available with 60 LEDs (60C option) only.
  - Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Control.

For more control options, visit DTL and RPA online.



## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/-10%. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	Performance Package	System Watts	Dist. Type	30K (3000K, 80 minimum CR)					40K (4000K, 70 minimum CR)					50K (5000K, 67 CR)				
					Lumen	P	U	G	LPW	Lumen	P	U	G	LPW	Lumen	P	U	G	LPW
30C (30 LEDs)	700 mA	30C 700-K	68 W	T1S	5,290	1	0	1	78	6,524	2	0	2	96	7,053	2	0	2	104
				T2S	5,540	1	0	1	81	6,833	2	0	2	100	7,387	2	0	2	109
				T2M	5,360	1	0	2	79	6,611	2	0	2	97	7,147	2	0	2	105
				T3S	5,479	1	0	1	81	6,757	1	0	2	99	7,305	2	0	2	107
				T3M	5,452	1	0	2	80	6,724	2	0	2	99	7,269	2	0	2	107
				T4M	5,461	1	0	2	80	6,736	2	0	2	99	7,282	2	0	2	107
				TFTM	5,378	1	0	2	79	6,633	1	0	2	98	7,171	1	0	2	105
				TSVS	5,708	2	0	0	84	7,040	3	0	0	104	7,611	3	0	1	112
				TSS	5,639	2	0	0	83	6,955	2	0	0	102	7,519	3	0	0	111
	TSM	5,710	3	0	1	84	7,042	3	0	1	104	7,613	3	0	2	112			
	TSW	5,551	3	0	1	82	6,847	3	0	2	101	7,401	3	0	2	109			
	T1S	7,229	2	0	2	69	9,168	2	0	2	87	9,874	2	0	2	94			
	T2S	7,572	2	0	2	72	9,603	2	0	2	91	10,342	2	0	2	98			
	T2M	7,325	2	0	2	70	9,291	2	0	2	88	10,005	2	0	3	95			
	T3S	7,488	2	0	2	71	9,496	2	0	2	90	10,227	2	0	2	97			
	T3M	7,457	2	0	2	71	9,450	2	0	2	90	10,177	2	0	2	97			
	T4M	7,464	2	0	2	71	9,467	2	0	2	90	10,195	2	0	2	97			
	TFTM	7,351	1	0	2	70	9,323	2	0	2	89	10,040	2	0	3	96			
TSVS	7,801	3	0	1	74	9,894	3	0	1	94	10,655	3	0	1	101				
TSS	7,803	3	0	2	74	9,774	3	0	1	93	10,526	3	0	1	100				
TSM	7,707	3	0	0	73	9,897	3	0	2	94	10,658	4	0	2	102				
TSW	7,586	3	0	2	72	9,671	4	0	2	92	10,363	4	0	2	99				
40C (40 LEDs)	700 mA	40C 700-K	89 W	T1S	6,876	2	0	2	77	8,639	2	0	2	97	9,345	2	0	2	105
				T2S	7,202	2	0	2	81	9,049	2	0	2	102	9,788	2	0	2	110
				T2M	6,968	2	0	2	78	8,755	2	0	2	98	9,469	2	0	3	106
				T3S	7,122	2	0	2	80	8,948	2	0	2	101	9,679	2	0	2	109
				T3M	7,088	2	0	2	80	8,905	2	0	2	100	9,632	2	0	2	108
				T4M	7,100	2	0	2	80	8,920	2	0	2	100	9,649	2	0	2	108
				TFTM	6,992	1	0	2	79	8,785	2	0	2	99	9,502	2	0	2	107
				TSVS	7,421	3	0	0	83	9,323	3	0	1	105	10,085	3	0	1	113
				TSS	7,331	2	0	0	82	9,210	3	0	1	103	9,962	3	0	1	112
	TSM	7,423	3	0	2	83	9,326	3	0	2	105	10,087	4	0	2	113			
	TSW	7,216	3	0	2	81	9,066	4	0	2	102	9,807	4	0	2	110			
	T1S	9,521	2	0	2	69	11,970	2	0	2	87	12,871	3	3	0	93			
	T2S	9,972	2	0	2	72	12,558	3	0	3	91	13,481	3	0	3	98			
	T2M	9,648	2	0	3	70	12,149	3	0	3	88	13,043	3	0	3	95			
	T3S	9,862	2	0	2	71	12,418	2	0	2	90	13,331	2	0	2	97			
	T3M	9,814	2	0	2	71	12,358	3	0	3	90	13,267	3	0	3	96			
	T4M	9,831	2	0	2	71	12,379	2	0	3	90	13,290	2	0	3	96			
	TFTM	9,681	2	0	2	70	12,191	2	0	3	88	13,087	2	0	3	95			
TSVS	10,275	3	0	1	74	12,937	3	0	1	94	13,890	4	0	1	101				
TSS	10,150	3	0	1	74	12,782	3	0	1	93	13,721	3	0	1	99				
TSM	10,278	4	0	2	74	12,942	4	0	2	94	13,894	4	0	2	101				
TSW	9,991	4	0	2	72	12,582	4	0	2	91	13,507	4	0	2	98				
60C (60 LEDs)	700 mA	60C 700-K	131 W	T1S	10,226	2	0	2	78	12,871	3	0	3	98	13,929	3	0	3	106
				T2S	10,711	2	0	2	82	13,481	3	0	3	103	14,589	3	0	3	111
				T2M	10,363	2	0	3	79	13,043	3	0	3	100	14,115	3	0	3	108
				T3S	10,592	2	0	2	81	13,331	2	0	2	102	14,427	3	0	3	110
				T3M	10,541	2	0	2	80	13,267	3	0	3	101	14,357	3	0	3	110
				T4M	10,559	2	0	2	81	13,290	2	0	3	101	14,382	3	0	3	110
				TFTM	10,398	2	0	3	79	13,087	2	0	3	100	14,163	2	0	3	108
				TSVS	11,036	3	0	1	84	13,890	4	0	4	106	15,032	4	0	1	115
				TSS	10,902	3	0	1	83	13,721	3	0	1	105	14,849	4	0	1	113
	TSM	11,039	4	0	2	84	13,894	4	0	2	106	15,036	4	0	2	115			
	TSW	10,732	4	0	2	82	13,507	4	0	2	103	14,617	4	0	2	112			
	T1S	14,017	3	0	3	67	17,632	3	0	3	84	19,007	3	0	3	91			
	T2S	14,681	3	0	3	70	18,467	3	0	3	88	19,908	3	0	3	95			
	T2M	14,204	3	0	3	68	17,867	3	0	3	85	19,260	3	0	3	92			
	T3S	14,518	3	0	3	69	18,262	3	0	3	87	19,687	3	0	3	94			
	T3M	14,448	3	0	3	69	18,173	3	0	4	87	19,591	3	0	4	94			
	T4M	14,473	3	0	3	69	18,205	3	0	3	87	19,625	3	0	4	94			
	TFTM	14,253	2	0	3	68	17,928	3	0	4	86	19,326	3	0	4	92			
TSVS	15,127	4	0	1	72	19,028	4	0	1	91	20,512	4	0	1	98				
TSS	14,943	4	0	1	71	18,797	4	0	1	90	20,263	4	0	1	97				
TSM	15,131	4	0	2	72	19,033	4	0	2	91	20,517	5	0	3	98				
TSW	14,710	4	0	2	70	18,503	5	0	3	89	19,946	5	0	3	95				



## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.02
10°C / 50°F	1.01
20°C / 68°F	1.00
25°C / 77°F	1.00
30°C / 86°F	1.00
40°C / 104°F	0.99

### Electrical Load

Number of LEDs	Drive Current (mA)	% System Watts	Current (A)					
			120	208	240	277	347	480
30	530	52	0.52	0.30	0.26	0.23	—	—
	700	68	0.68	0.39	0.34	0.30	0.24	0.17
	1000	105	1.03	0.59	0.51	0.45	0.36	0.26
40	530	68	0.67	0.39	0.34	0.29	0.23	0.17
	700	89	0.89	0.51	0.44	0.38	0.31	0.22
	1000	138	1.35	0.78	0.67	0.58	0.47	0.34
60	530	99	0.97	0.56	0.48	0.42	0.34	0.24
	700	131	1.29	0.74	0.65	0.56	0.45	0.32
	1000	209	1.98	1.14	0.99	0.86	0.69	0.50

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

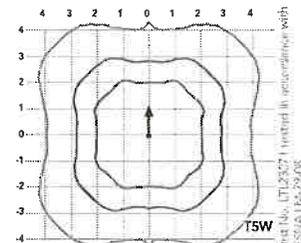
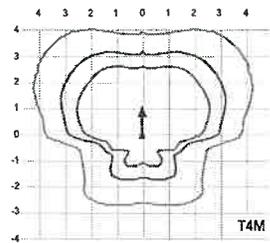
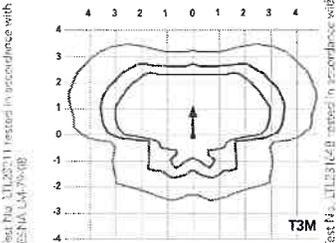
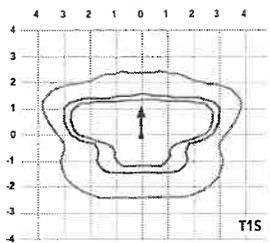
Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	DSX1 LED 60C 1000			
	1.0	0.95	0.93	0.88
	DSX1 LED 60C 700			
	1.0	0.99	0.98	0.96

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Area Size 1 homepage.

Isfootcandle plots for the DSX1 LED 60C 1000 40K. Distances are in units of mounting height (20').

#### LEGEND



## FEATURES & SPECIFICATIONS

#### INTENDED USE

The sleek design of the D-Series Size 1 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.

#### CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.2 ft) for optimized pole wind loading.

#### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

#### OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 4000K (70 minimum CRI) or optional 3000K (80 minimum CRI) or 5000K (67 CRI) configurations. The D-Series Size 1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

#### ELECTRICAL

Light engine configurations consist of 30, 40 or 60 high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L96/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an

expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV or 6kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

#### INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 1 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 1 utilizes the AERIS™ series pole drilling pattern. Optional terminal block, tool-less entry, and NEMA photocontrol receptacle are also available.

#### LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org](http://www.designlights.org) to confirm which versions are qualified.

#### WARRANTY

Five-year limited warranty. Full warranty terms located at: [www.acuitybrands.com/usa/brands/lithonia/lighting/area\\_size\\_1\\_and\\_conditions.aspx](http://www.acuitybrands.com/usa/brands/lithonia/lighting/area_size_1_and_conditions.aspx)

**Note:** Specifications subject to change without notice.





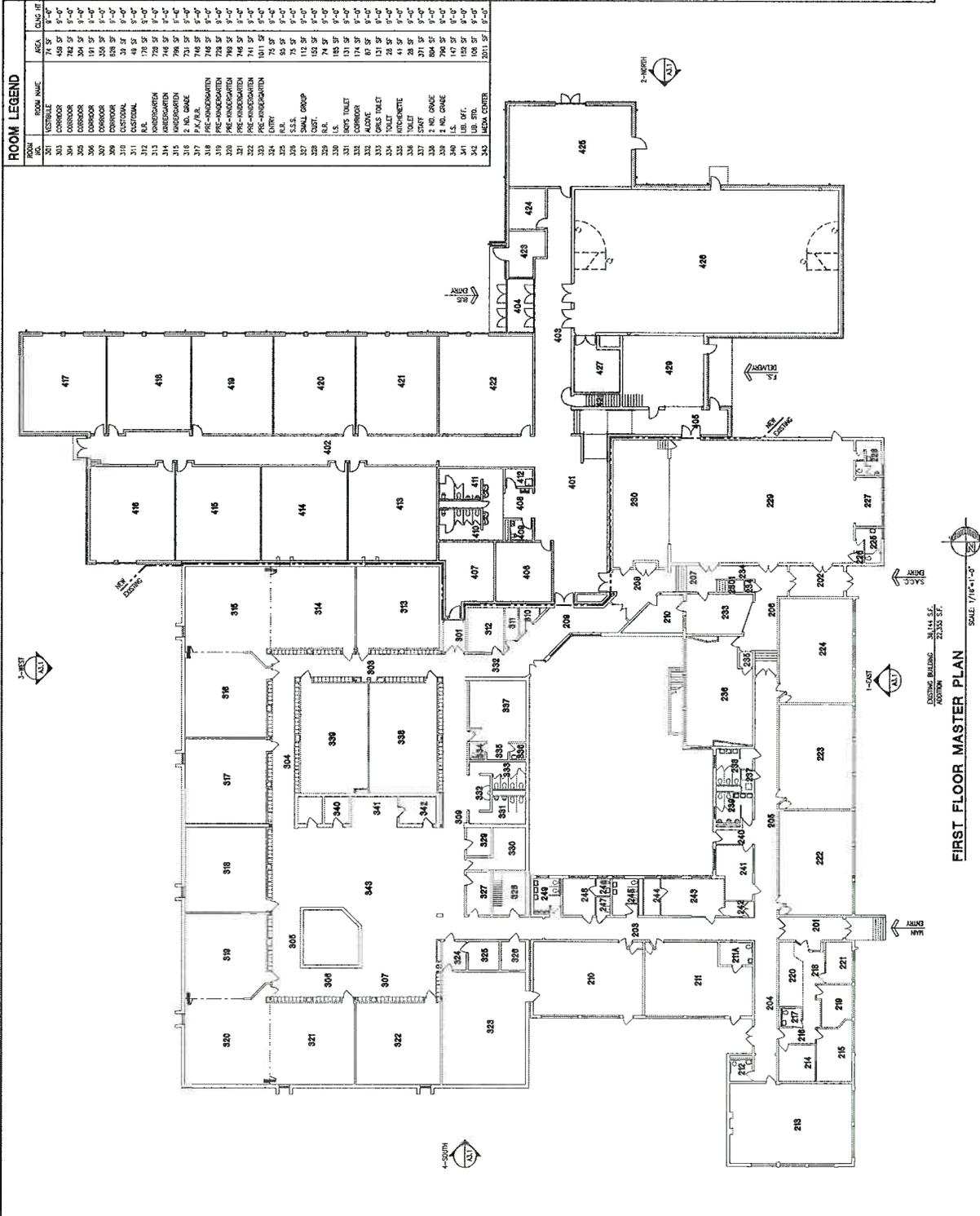


WOODWARD ELEMENTARY SCHOOL  
 ADDITION & RENOVATIONS TO  
 DELAWARE CITY SCHOOLS  
 DELAWARE, OHIO

**FANNING HOWEY**  
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 MANK SMITH GROUP  
 TECHNICAL SKILL CREATIVE SPIRIT

**FIRST FLOOR MASTER PLAN**  
 SHEET NO. A12  
 DATE: MAY 18, 2015  
 REVISIONS NO. DATE

ROOM NO.	ROOM NAME	AREA	CLING HT
201	VESTIBULE	74 SF	8'-0"
202	CORRIDOR	459 SF	9'-0"
203	CORRIDOR	147 SF	9'-0"
204	CORRIDOR	205 SF	9'-0"
205	CORRIDOR	191 SF	9'-0"
206	CORRIDOR	335 SF	9'-0"
207	CORRIDOR	529 SF	9'-0"
208	CORRIDOR	42 SF	9'-0"
209	CORRIDOR	48 SF	9'-0"
210	CORRIDOR	178 SF	9'-0"
211	PRE-ANNOUNCEMENT	729 SF	9'-0"
212	PRE-ANNOUNCEMENT	748 SF	9'-0"
213	PRE-ANNOUNCEMENT	748 SF	9'-0"
214	PRE-ANNOUNCEMENT	748 SF	9'-0"
215	PRE-ANNOUNCEMENT	728 SF	9'-0"
216	PRE-ANNOUNCEMENT	748 SF	9'-0"
217	RESTROOM	115 SF	9'-0"
218	RESTROOM	115 SF	9'-0"
219	MAIL/WORK/COPY ROOM	1011 SF	9'-0"
220	SECRETARY/RECEPTION	72 SF	9'-0"
221	CLINIC	55 SF	9'-0"
222	1 ST. GRADE	75 SF	9'-0"
223	1 ST. GRADE	153 SF	9'-0"
224	1 ST. GRADE	74 SF	9'-0"
225	TOILET	128 SF	9'-0"
226	CLD.	10 SF	9'-0"
227	TABLE STORAGE	133 SF	EXPOSED
228	TOILET	111 SF	9'-0"
229	TOILET	111 SF	9'-0"
230	PLATFOM	263 SF	EXPOSED
231	S.A.C.C.	56 SF	9'-0"
232	CORRIDOR	11 SF	9'-0"
233	CLD.	20 SF	9'-0"
234	CLD.	20 SF	9'-0"
235	CLD.	20 SF	9'-0"
236	CLD.	20 SF	9'-0"
237	CLD.	20 SF	9'-0"
238	CLD.	20 SF	9'-0"
239	CLD.	20 SF	9'-0"
240	HALL	72 SF	9'-0"
241	HALL	72 SF	9'-0"
242	STDR.	24 SF	9'-0"
243	TEACHER PREP.	248 SF	9'-0"
244	STO.	44 SF	9'-0"
245	GALS TOILET	44 SF	9'-0"
246	TOILET	26 SF	9'-0"
247	TOILET	26 SF	9'-0"
248	SMALL GROUP	128 SF	9'-0"
249	BOYS TOILET	128 SF	9'-0"
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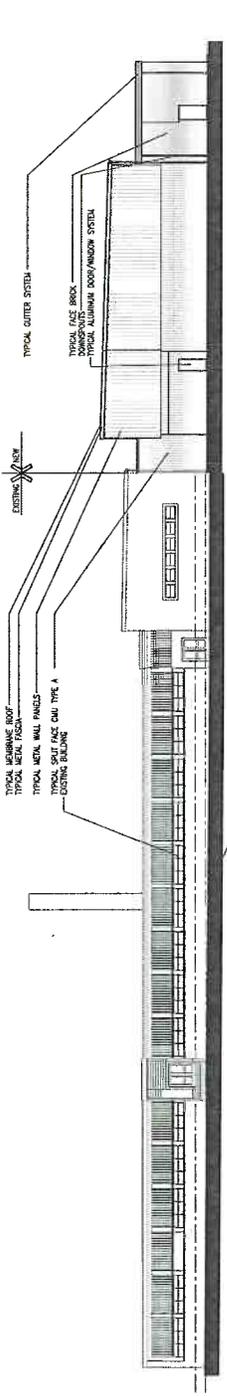
**FIRST FLOOR MASTER PLAN**  
 SCALE: 1/16"=1'-0"  
 EXISTING BUILDING: 34,114 SF  
 ADDITION: 23,335 SF



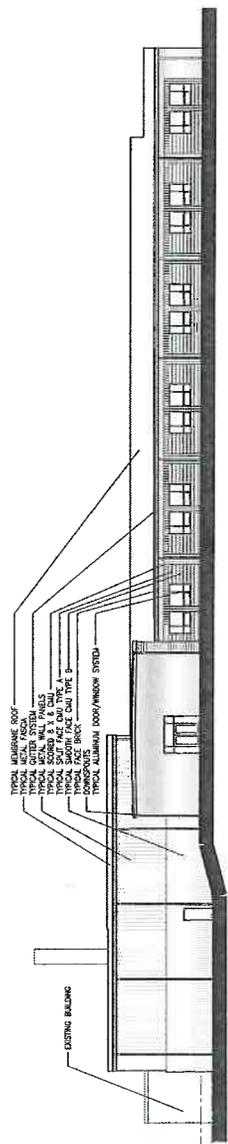
ADDITON & RENOVATIONS TO  
WOODWARD ELEMENTARY SCHOOL  
FOR  
DELAWARE CITY SCHOOLS  
DELAWARE, OHIO

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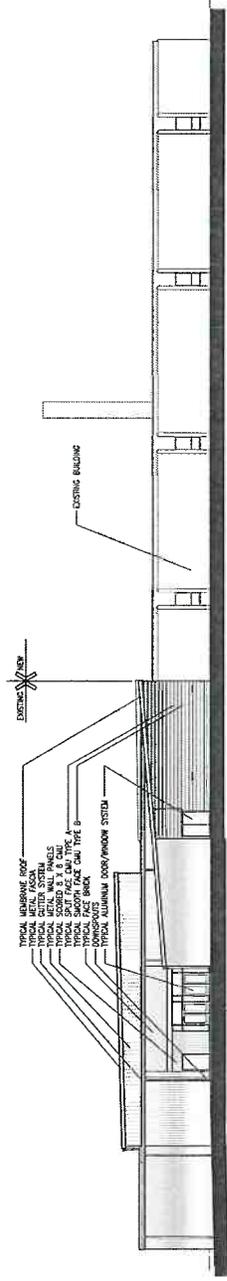
BUILDING ELEVATIONS	
DATE: MAY 4, 2015	REVISIONS NO. DATE
COMPILED BY: JLM	CHECKED BY: JLM
SCALE: A3:1	



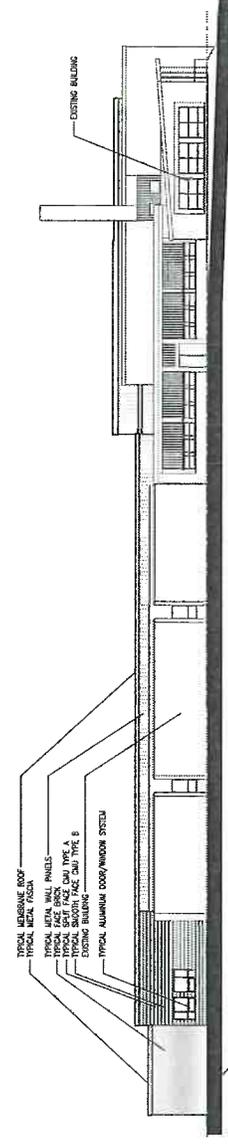
1 EXTERIOR ELEVATION - EAST FRONT  
SCALE: 1/16"=1'-0"



2 EXTERIOR ELEVATION - NORTH SIDE  
SCALE: 1/16"=1'-0"



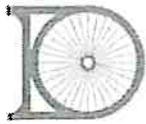
3 EXTERIOR ELEVATION - WEST REAR  
SCALE: 1/16"=1'-0"



4 EXTERIOR ELEVATION - SOUTH SIDE  
SCALE: 1/16"=1'-0"

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A & R TO WOODWARD ELEM. SCHOOL  
1/22/15



**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**



Project # \_\_\_\_\_ Case # \_\_\_\_\_

**Planning Commission**

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> Amended Final Development Plan                           | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use             |
| <input type="checkbox"/> Amended Final Subdivision Plat                           | <input type="checkbox"/> Final Subdivision Plat           | <input type="checkbox"/> Vacation-Alley                                   |
| <input type="checkbox"/> Amended Preliminary Development Plan                     | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement                                |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat                     | <input type="checkbox"/> Floodplain Permit                | <input type="checkbox"/> Vacation-Street                                  |
| <input type="checkbox"/> Annexation Review  | <input type="checkbox"/> Lot Split                        | <b>Board of Zoning Appeals</b>  |
| <input checked="" type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement         | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment                             | <input type="checkbox"/> Preliminary Development Plan     | <input type="checkbox"/> Conditional Use Permit                           |
| <input type="checkbox"/> Concept Plan   | <input type="checkbox"/> Preliminary Dev Plan Extension   | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit                                   | <input type="checkbox"/> Preliminary Sub Plat             | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Determination of Similar Use                             | <input type="checkbox"/> Preliminary Sub Plat Extension   |   |
| <input type="checkbox"/> Development Plan Exemption                               | <input type="checkbox"/> Rezoning                         |   |
| <input type="checkbox"/> Final Development Plan                                   | <input type="checkbox"/> Subdivision Variance             |   |

Subdivision/Project Name Additions/Renovations - Woodward Elementary School Address 200 S Washington Street Delaware, OH 43015  
 Ex=39,529  
 Acreage 4.55 Square Footage Add=23,938 Number of Lots N/A Number of Units N/A  
 Zoning District/Land Use R-3/Public School Proposed Zoning/Land Use R-3/Public School Parcel # 51943314001000 - 51943314006000  
99999914000000, 88888814000000

Applicant Name Delaware City Schools Contact Person Jason Sherman

Applicant Address 621 Pennsylvania Ave., Delaware, OH 43015

Phone 740-272-1429 Fax 740-833-1898 E-mail shermaja@delawarecityschools.net

Owner Name Delaware City Schools Contact Person Jason Sherman

Owner Address 621 Pennsylvania Ave., Delaware, OH 43015

Phone 740-272-1429 Fax 740-833-1898 E-mail shermaja@delawarecityschools.net

Engineer/Architect/Attorney Fanning Howey Contact Person Jim Moll

Address 4930 Bradenton Ave., Dublin, OH 43017

Phone 614-764-4661 Fax \_\_\_\_\_ E-mail jmoll@fhai.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

Jason Sherman  
Owner Signature

Jason Sherman  
Owner Printed Name

\_\_\_\_\_  
Agent Signature

\_\_\_\_\_  
Agent Printed Name

Sworn to before me and subscribed in my presence this 7th day of July, 2015



**MONIKA RAY**  
NOTARY PUBLIC  
STATE OF OHIO  
Notary Seal Expires 12-1-15  
Recorded in  
Delaware County

Monika Ray  
Notary Public



## FACT SHEET

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AGENDA ITEM NO: 19

DATE: 8/10/15

ORDINANCE NO: 15-77

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: NO

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TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING A COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN FOR DELAWARE CITY SCHOOLS FOR AN ADDITION, RENOVATION AND SITE IMPROVEMENTS FOR WOODWARD ELEMENTARY SCHOOL ON APPROXIMATELY 4.55 ACRES ZONED R-4 (MEDIUM DENSITY RESIDENTIAL DISTRICT) AND LOCATED AT 200 SOUTH WASHINGTON STREET

**BACKGROUND:**

The 36,144 square foot elementary school building was constructed in 1950 and was remodeled in 1985. Now the School District is proposing a 23,355 square foot addition to the existing school for a total square footage of 59,499. The academic and gymnasium/student dining addition would be on the northern portion of the building. Just north of the addition would be a new private entrance road from Liberty Street that would accommodate bus traffic only while the existing parent drop-off drive along Washington Street would be extended to enhance safety in this area. Northeast of the new entrance road would be a new 56 space parking lot that would be accessed from Washington Street to serve the staff and events. The existing 54 space parking lot just east of Washington Street would remain.

**REASON WHY LEGISLATION IS NEEDED:**

N/A

**COMMITTEE RECOMMENDATION:**

Planning Commission approved this case 6-0 on August 5, 2015.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval as submitted.

**ATTACHMENT(S)**

ORDINANCE NO. 15-77

AN ORDINANCE APPROVING A COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN FOR DELAWARE CITY SCHOOLS FOR AN ADDITION, RENOVATION AND SITE IMPROVEMENTS FOR WOODWARD ELEMENTARY SCHOOL ON APPROXIMATELY 4.55 ACRES ZONED R-4 (MEDIUM DENSITY RESIDENTIAL DISTRICT) AND LOCATED AT 200 SOUTH WASHINGTON STREET

WHEREAS, the Planning Commission at its meeting of August 5, 2015, recommended approval of a Combined Preliminary and Final Development Plan for Delaware City Schools for an Addition, Renovation and Site Improvements for Woodward Elementary School on approximately 4.55 acres zoned R-4 (Medium Density Residential District) and located at 200 South Washington Street (PC Case 2015-1307), and

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Combined Preliminary and Final Development Plan for Delaware City Schools for an Addition, Renovation and Site Improvements for Woodward Elementary School on approximately 4.55 acres zoned R-4 (Medium Density Residential District) and located at 200 South Washington Street and is hereby confirmed, approved, and accepted, with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building material color.
3. Any new roof top mechanical equipment shall be screened from public view.
4. Front yard trees shall be installed along Liberty Street just south of the new entrance road south to the existing playground.
5. Street trees to supplement the existing street trees shall be installed along Liberty, Washington and Harrison Streets per the Parks and Natural Resource Department.
6. The landscape plans shall be reviewed and approved by the Shade Tree Commission.

7. The lighting plan shall be reviewed and approved by the Chief Building Official.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS \_\_\_ NAYS \_\_\_  
ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2015

YEAS \_\_\_ NAYS \_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR



## FACT SHEET

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AGENDA ITEM NO: 20

DATE: 8/10/15

ORDINANCE NO: 15-78

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: **YES**  
**August 24, 2015 7:00 p.m.**

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TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING A REZONING FROM R-6 (MULTI-FAMILY RESIDENTIAL DISTRICT) TO PO/I PMU (PLANNED OFFICE/INSTITUTIONAL DISTRICT WITH A PLANNED MIXED USE OVERLAY DISTRICT) FOR OHIO WESLEYAN UNIVERSITY FOR SMALL LIVING UNITS (SLU'S) PHASES 1-5 ON APPROXIMATELY 1.373 ACRES LOCATED ON THE NORTH SIDE OF ROWLAND AVENUE BETWEEN SOUTH WASHINGTON STREET AND SOUTH LIBERTY STREET.

**BACKGROUND:**

Ohio Wesleyan University is proposing to raze the existing houses along the north side of Rowland Avenue which accommodates student housing and replace them with new small living unit (SLU's) student housing which would occur in four phases. The four new SLU's would allow the University to locate all the housing along the pedestrian corridor linking the residential area with the academic area of the campus. The existing houses would only be demolished when funding for each new SLU would be obtained. In Phase 5, Ohio Wesleyan's ultimate goal (this has been discussed with the City in the past) is to have Rowland Avenue vacated for vehicular travel and be utilized exclusively for pedestrians to extend the "jaywalk" concept in this area. Again, the City and University have discussed this possibility in general terms over several years and generally have agreed that it is a potential long term plan; however, both entities have discussed that much more detailed planning in this

regard is needed and many more details would need to be worked out prior to a formal application for vacation and Final Development Plan for Phase 5 being submitted. This approval would identify the vacation as part of the OWU long term plan.

**REASON WHY LEGISLATION IS NEEDED:**

N/A

**COMMITTEE RECOMMENDATION:**

Planning Commission approved this case 6-0 on August 5, 2015.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval with the documented conditions.

**ATTACHMENT(S)**

Staff report

ORDINANCE NO. 15-78

AN ORDINANCE APPROVING A REZONING FROM R-6 (MULTI-FAMILY RESIDENTIAL DISTRICT) TO PO/I PMU (PLANNED OFFICE/INSTITUTIONAL DISTRICT WITH A PLANNED MIXED USE OVERLAY DISTRICT) FOR OHIO WESLEYAN UNIVERSITY FOR SMALL LIVING UNITS (SLU'S) PHASES 1-5 ON APPROXIMATELY 1.373 ACRES LOCATED ON THE NORTH SIDE OF ROWLAND AVENUE BETWEEN SOUTH WASHINGTON STREET AND SOUTH LIBERTY STREET.

WHEREAS, the Planning Commission at its meeting of August 5, 2015, recommended approval of a Rezoning from R-6 (Multi-Family Residential District) to PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District) for Ohio Wesleyan University for Small Living Units (SLU's) Phases 1-5 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street (PC 2015-1322), and

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Rezoning from R-6 (Multi-Family Residential District) to PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District) for Ohio Wesleyan University for Small Living Units (SLU's) Phases 1-5 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street and is hereby confirmed, approved, and accepted, with the following condition that:

1. Any new structure(s) or any change of use of any existing structure(s) or property shall require conformance to all provisions of the Development Text.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS \_\_\_ NAYS \_\_\_  
ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2015

YEAS\_\_\_\_ NAYS\_\_\_\_  
ABSTAIN \_\_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR

**CASE NUMBERS:** 2015-1322, 1324-1326

**REQUEST:** Multiple Requests

**PROJECT:** Ohio Wesleyan University Student Housing

**MEETING DATE:** August 5, 2015

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**APPLICANT/OWNER**

BSHM Architects  
1020 Goodale Boulevard  
Columbus, Ohio 43212

Ohio Wesleyan University  
61 South Sandusky Street  
Delaware, Ohio 43015

**REQUESTS**

2015-1322: A request by Ohio Wesleyan University for approval of a Rezoning Amendment from R-6 (Multi-Family Residential District) to PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District) for Small Living Units (SLU's) Phases 1-5 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street.

2015-1324: A request by Ohio Wesleyan University for approval of a Conditional Use Permit allowing the placement of a PMU (Planned Mixed Use Overlay District) to be established for Small Living Units (SLU's) Phases 1-5 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street

2015-1325: A request by Ohio Wesleyan University for approval of a Preliminary Development Plan for Small Living Units (SLU's) Phases 1-5 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street on property zoned to PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District)

2015-1326: A request by Ohio Wesleyan University for approval of a Final Development Plan for Small Living Units (SLU's) Phase 1 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street on property zoned to PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District)

**PROPERTY LOCATION & DESCRIPTION**

The subject seven parcels are located on the north side of Rowland Avenue between South Washington Street and South Liberty Street and are zoned R-6 (Multi-Family Residential District). The properties to the north are zoned R-6 while the properties to the east, west and south are zoned PO/I (Planned Office/Institutional District). To the north are single family homes that have been converted to private rental units, to the south is the City Fire Department and a City Park and to the east and west are University uses.

**BACKGROUND/PROPOSAL**

Ohio Wesleyan University is proposing to raze the existing houses along the north side of Rowland Avenue which accommodates student housing and replace them with new small living unit (SLU's) student housing which would occur in four phases. The four new SLU's would allow the University to locate all the housing along the pedestrian corridor linking the residential area with the academic area of the campus. The existing houses would only be demolished when funding for each new SLU would be obtained. In Phase 5, Ohio Wesleyan's ultimate goal (this has been discussed with the City in the past) is to have Rowland Avenue vacated for vehicular travel and be utilized exclusively for pedestrians to extend the "jaywalk" concept in this area. Again, the City and University have discussed this possibility in general terms over several years and generally have agreed that it is a potential long term plan; however, both entities have discussed that much more detailed planning in this regard is needed and many more details would need to be worked out prior to a formal application for vacation and Final Development Plan for Phase 5 being submitted. This approval would identify the vacation as part of the OWU long term plan.

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**STAFF ANALYSIS**

- **ZONING:** As mentioned above, the zoning of the subject the property is R-6 which allows the proposed uses but would likely need several significant variances for building setbacks and the like. Staff recommends and the applicant agreed that a rezoning to PO/I with a PMU (Planned Mixed Use Overlay District) would allow the applicant flexibly to accommodate any setback issues while allowing the City to require performance standards on the site and buildings to accommodate this unique use. A PMU also sets forth requirements and expectations for the future phases. In addition, a Conditional Use Permit for the entire site along with

Preliminary and Final Development Plans would need to be approved for each building by the Planning Commission and City Council.

- **LAND USE:** The proposed student housing is consistent with the Comprehensive Plan of the “OWU Subarea” of the plan which identifies these properties for Institutional uses.
- **ENGINEERING** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on a technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND TRAFFIC:** The proposed four new SLU’s would have access from Rowland Avenue which is a public street. However, Ohio Wesleyan’s long term desire is to vacate Rowland Avenue for vehicular travel and extend the “jaywalk” concept in this area. The logistics of vacating (abandoning) the public street would have to be vetted with all City departments and the University to determine the feasibility of such request as the University and the City are the only two adjacent property owners at this time. The Fire Department has provided detailed comments in this regard and supports the concept.
- **PARKING:** Section 1161.05 Specific Parking Standards for College/University Uses of the zoning code specifically calls for a parking study to be prepared in cases such as this to determine overall campus parking demand, use and relocation. As a result OWU prepared a Rowland Avenue Student Housing Parking Study (see attached) which indicates there is a 161 parking space surplus of student parking throughout the campus (882 parking space supply – 721 parking space demand). The study concluded 43% of the students have purchased parking permits in 2015 and that percentage would be used to determine parking demand for each SLU. Staff has accepted the study results to determine the number of parking spaces required for each phase as it is constructed.
- **SITE LAYOUT:** The proposed development would be developed in five phases and consist of four individual SLU’s that front Rowland Avenue and are setback the same distance as the three existing homes (which would ultimately be demolished). Phase 5 would include the vacation of Rowland Avenue as discussed above. The design character of the SLU’s would mimic the existing single family housing stock with minimum two stories, front porches, gabled pitch roofs, etc., per the attached building elevations and would have to achieve compliance with Chapter 1171.08 Residential Design Criteria. Again the construction of the SLU’s and vacation of the Rowland Avenue would occur when funding is made available (see attached plans for each phase):

**Phase 1-** The existing house at 118 Rowland Avenue (westernmost house on Rowland Avenue) would be demolished. A new 24 unit, 6,103 square foot SLU with 10 double bedrooms and 4 single bedrooms would be constructed at this location. Per the above mentioned Rowland Avenue Student Housing Parking Study, six parking spaces at the Hamilton Williams Campus Center at 110 Rowland Avenue (on the eastside of Washington Street north of Rowland) would be allocated specifically for this SLU. This phase is currently funded with construction anticipated in late 2015.

**Phase 2 –** The existing houses at 86 and 94 Rowland Avenue (easternmost houses on Rowland Avenue) would be demolished. A new 24 unit SLU would be constructed at this location and no additional parking would be allocated per the parking study. This phase is not currently funded.

**Phase 3 –** A new 24 unit SLU would be constructed just east of the SLU in Phase 1 (currently vacant property). Eleven parking spaces at the Hamilton Williams Campus Center would be allocated for this SLU per the parking study. This phase is not currently funded.

**Phase 4 -** A new 24 unit SLU would be constructed just west of the SLU in Phase 2 (currently an approximate 12 space parking lot). Eleven parking spaces at the Hamilton Williams Campus Center would be allocated for this SLU per the parking study. This phase is not currently funded.

**Phase 5 -** Rowland Avenue would be vacated and converted into the extension of the “jaywalk” in conjunction with the required City approval(s). The vacation of Rowland Avenue would eliminate 20 on-street parking spaces and OWU would construct 20 new parking spaces in the Bashford lot located on Park Avenue just southwest of the SLU’s. This phase is not currently funded.

- **PARKLAND AND OPEN SPACE:** There is no parkland or open space associated with the proposal but the potential vacation of Rowland Avenue would yield additional active open space for the University which already has more parkland and open space than any other single land use (except for the City).
- **BIKE PATHS AND PEDESTRIAN ROUTES:** There are not any proposed bike paths or pedestrian routes in this area per the City of Delaware Bikeway Plan approved in 2010. Sidewalks would continue to front all streets and Phase 5 would include additional pedestrian paths.
- **LANDSCAPING:** The applicant submitted a landscape plan for the Phase 1 SLU which identifies 14 shrubs planted around the structure which appears to be appropriate. Such plan would be required for each subsequent SLU constructed. Furthermore, a more detailed landscape plan would be required for the vacated Rowland Avenue in Phase 5. All landscape plans would need to be submitted, reviewed and approved by the Shade Tree Commission.
- **TREE PRESERVATION:** Each phase would have to achieve compliance with Chapter 1168 Tree Preservation Regulations. In Phase 1 there do not appear to be any trees being eliminated, but that would need to be verified with building plans.
- **UTILITIES:** The site would be serviced by City sanitary sewer and water that would have to be extended by the developer where necessary.
- **LIGHTING PLAN:** The proposed plan does not show any proposed lights on the SLU's which are required for each house per the zoning code, In addition, a detailed lighting plan would be required for the vacated Rowland Avenue in Phase 5. All lighting plans would need to be submitted, reviewed and approved by the Chief Building Official that achieves compliance with the zoning code.
- **MISC:** Staff and OWU remains concerned with the pedestrian crossing utilized primarily by students at Liberty Street and Rowland Avenue. There have been several discussions between the City and University on this topic. The Engineering Department has explored a number of these adaptations such as a HAWK signal among other items and desires to conclude these discussions with the University and to see enhancements put in place in the area. This is an existing condition not specifically related to the SLU project but certainly must be addressed with Phase 5.
- **CONDITIONAL USE PERMIT:** The proposed development achieves compliance with the conditional use permit requirements per the zoning code and of the approved development text.

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**STAFF RECOMMENDATION (2015-1322 – REZONING AMENDMENT)**

Staff recommends approval of a request by Ohio Wesleyan University of a Rezoning Amendment from R-6 (Multi-Family Residential District) to PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District) for Small Living Units (SLU's) Phases 1-5 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street, with the following condition:

1. Any new structure(s) or any change of use of any existing structure(s) or property shall require conformance to all provisions of the Development Text.

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**STAFF RECOMMENDATION (2015-1324 – CONDITIONAL USE PERMIT)**

Staff recommends approval of a request by Ohio Wesleyan University of a Conditional Use Permit allowing the placement of a PMU (Planned Mixed Use Overlay District) to be established for Small Living Units (SLU's) Phases 1-5 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street

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**STAFF RECOMMENDATION (2015-1325 – PRELIMINARY DEVELOPMENT PLAN)**

Staff recommends approval of a request by Ohio Wesleyan University of a Preliminary Development Plan for Small Living Units (SLU's) Phases 1-5 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street on property zoned to PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District), with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the



CASE NUMBER: 2015- 1322, 1324-1326

MEETING DATE: August 5, 2015

PAGE: Page 5 of 5

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MOTION: \_\_\_\_\_ 1<sup>st</sup> \_\_\_\_\_ 2<sup>nd</sup> approved denied tabled \_\_\_\_\_

CONDITIONS/MISCELLANEOUS:

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FILE:

ORIGINAL:

REVISED: 07/31/15

OHIO WESLEYAN UNIVERSITY  
PLANNED MIXED USE DEVELOPMENT TEXT FOR  
SMALL LIVING UNITS (SLU'S)  
LOCATED ON THE NORTH SIDE OF ROWLAND AVENUE  
DELAWARE, OHIO

1. DESCRIPTION OF DEVELOPMENT

Ohio Wesleyan University (OWU) is proposing to rezone the subject seven parcels that contain 1.373 acres from R-6 (Multi-Family Residential District) to PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District) for a development that would raze the existing three student houses and ultimately construct four small living units (SLU's) and associated parking in four phases. In Phase 5, OWU would vacate Rowland Avenue for vehicular travel and would be utilized exclusively for pedestrians to extend the "jaywalk" concept in this area.



## 2. GENERAL DEVELOPMENT STANDARDS

- a. **Purpose and Intent.** It is the intent of this development to provide a student housing development with compatible and common site improvements, architectural design, signage and amenities in a campus like setting. This Development Text represents the zoning requirements for this area unless otherwise noted.
- b. **Conformance with Codified Ordinances and City Policy.** Unless noted otherwise within this development text, all development will be constructed and provided in conformance with the then current Codified Ordinances and City Policy in effect at the time of application.
- c. **Limitations.** Nothing in this text shall prohibit additional restrictions or requirements from being placed on the approval of any Final Development Plan.
- d. **Major Modifications.** Once a Final Development Plan has been approved by City Council, any subsequent major modification to that plan shall only be permitted by resubmission and approval of a revised Final Development Plan through the procedures set forth in the Zoning Code. Major modification for the purposes of this text shall mean any modification of the approved Final Development Plan, as determined by the Director of Planning & Community Development, that results in:
  - (1) Any major change in the use or occupancy other than those uses specifically listed in this text.
  - (2) Major change in the approved location of land uses.
  - (3) Substantial alteration of the basic geometry, including right-of-way width, and/or operation characteristics of any element of the approved access points and parking facilities that results in a change in operating characteristics or character.
- e. **Minor Modifications.** Once a Final Development Plan has been approved by City Council, any subsequent minor modification to that plan shall only be permitted by resubmission and approval by the Director of Planning and Community Development of a revised Final Development Plan. Minor modification for the purposes of this text shall mean any modification of the approved Final Development Plan, as determined by the Director of Planning & Community Development, that results in:
  - (1) Any modification that is not considered a major modification by this Zoning Text or by determination of the Director of Planning & Community Development.
  - (2) Any minor change to the use or occupancy other than those uses specifically allowed in this text or any minor changes to the approved site layout.
  - (3) Minor change in the approved location of land uses.
  - (4) Minor alteration of the basic geometry, including right-of-way width, and/or operation characteristics of any element of the approved access points and parking facilities that results in a change in operating characteristics or character.
  - (5) Minor structural alterations that do not alter the overall design intent of the building(s).

f. **Tree Removal and Replacement.** Tree removal and replacement shall meet all requirements of Chapter 1168 with the following replacement schedule:

- (1) Trees in poor condition shall not be replaced (dead, damaged or diseased).
- (2) Trees in fair condition shall be replaced at 50%.
- (3) Trees in good condition shall be replaced at 100%
- (4) Ash trees shall not be counted toward replanting requirements.

g. **Stormwater**

- (1) All State and local rules and regulations regarding stormwater shall apply as they are in effect at the time of permitting.

3. OWU – NORTH SIDE OF ROWLAND AVENUE

a. **Uses.** The following uses shall be considered permitted, conditionally permitted, or limited uses in Sub-Area A as represented in the chart below by P or C respectively, and as defined by attached Chapter 1121 of the Zoning Code. Any use not listed in the chart shall be considered a prohibited use unless amended by action of the Planning Commission and City Council through a Zoning Amendment process.

- (1) **Permitted Uses.** Permitted uses are permitted by-right and shall meet all development standards specified within this text and the Zoning Code, as applicable.
- (2) **Conditionally Permitted Uses.** In addition to all standards specified within this development text, uses listed as conditionally permitted uses shall meet all the then current Zoning Code standards for approval of a Conditional Use Permit current at the time of application for the specific conditional use as well as any other regulations contained within the Zoning Code and applicable to the conditional use.
- (3) **Limited Uses.** Limited uses shall be considered permitted uses subject to complying with all the specific limitations and restrictions as specified within this text as determined by Final Development Plan approval.
- (4) **Accessory Uses and Structures.** Although not specified in the chart below, accessory uses, which are considered allowed uses, include those items that are customarily incidental and secondary to the principal use of the land. Such items include but are not limited to signs, fences, trash receptacles and enclosures, and off-street parking areas. If the uses are specified as conditional or limited uses the processes and limitations shall apply regardless of accessory use status.

Land Use Category	Sub-Area A Uses
(a) Residential	
(1) Student housing (University owned and operated)	P

Land Use Category	Sub-Area A Uses
(2) Sorority or fraternity for college men and women	P
<b>(b) Community Facilities</b>	
(1) Place of Worship	P
(2) Colleges, universities, educational research establishment/laboratory	P
(3) Library	P
(4) Public safety and service facility	P
<b>(c) Office and Professional Services</b>	
(1) Offices – (University owned and operated)	P
(2) Medical offices (University owned and operated)	P
<b>(f) Recreation and Entertainment</b>	
(1) Park and Playground	P
<b>(g) Accessory Uses &amp; Structures</b>	
(2) Off Street Parking	A

b. **Lot Standards.** The following standards shall apply for lot standards and coverage.

Lot Standards	
(1) Minimum lot area	0.25 acre
(2) Minimum lot width and frontage	N/A.
(3) Maximum building coverage	40%
(4) Maximum lot coverage*	60%

\*Lot coverage shall be determined by calculating the total area of any impervious surface divided by the area of the subject lot, excluding any existing public right-of-way, and converted to a percentage.

c. **Building Setback Standards.** The following standards shall apply for minimum building setbacks, except as otherwise approved on the Final Development Plan.

Decorative architectural elements such as canopies and overhangs shall be permitted to encroach into any setback provided that no encroachment shall exceed 5 feet.

Minimum Building Setbacks	
(1) Front Yard Setback	15 ft.
(2) Rear Yard and Side Yard Setbacks	10 ft.

- d. **Parking Setbacks.** The following standards shall apply for minimum parking setbacks. Parking setbacks include any parking space, parking lot drive aisle, and parking lot circulation aisle, except as otherwise approved on the Final Development Plan.

Minimum Parking Setbacks	
(1) Front Yard Setback	15 ft.
(2) Rear and Side Yard Setbacks	10 ft.

- e. **Maximum Building Height.** The maximum height of any building or structure shall be 40 feet as measured from finished floor elevation to the highest point of the roof.

- f. **Building Design.** The intent of this regulation is to require all building to achieve compliance with Chapter 1171.08 Residential Development Criteria and Performance Standards per the attached building elevations. To create a cohesive and unified design throughout the entire development, each building shall be consistent in overall design, color, material, and architectural pattern as determined through the Final Development Plan review. They shall include higher end materials such as brick, stone (natural or cultured), cement siding and the like.

- (1) Accessory structures such as enclosures for dumpsters and other similar structures shall consist of brick, stone, cedar planking, cement fiber siding, or similar approved products as the exterior material and be designed in a consistent and cohesive manner to the principal building in which it serves.
- (2) Mechanical Equipment shall be screened from public view from all sides of the building through the use of parapets, equipment screens, or other screening measures as deemed appropriate. The height of such screening shall be equivalent to the height of the highest mechanical equipment.

- g. **Parking.** The amount of parking provided shall not be more than that shown on the approved Preliminary Development Plan for each Phase per the submitted Ohio Wesleyan University Rowland Student Housing Parking Study and allowed in Section 1161.05 Specific Standards for Colleges/University Uses of the City of Delaware Zoning Regulations.

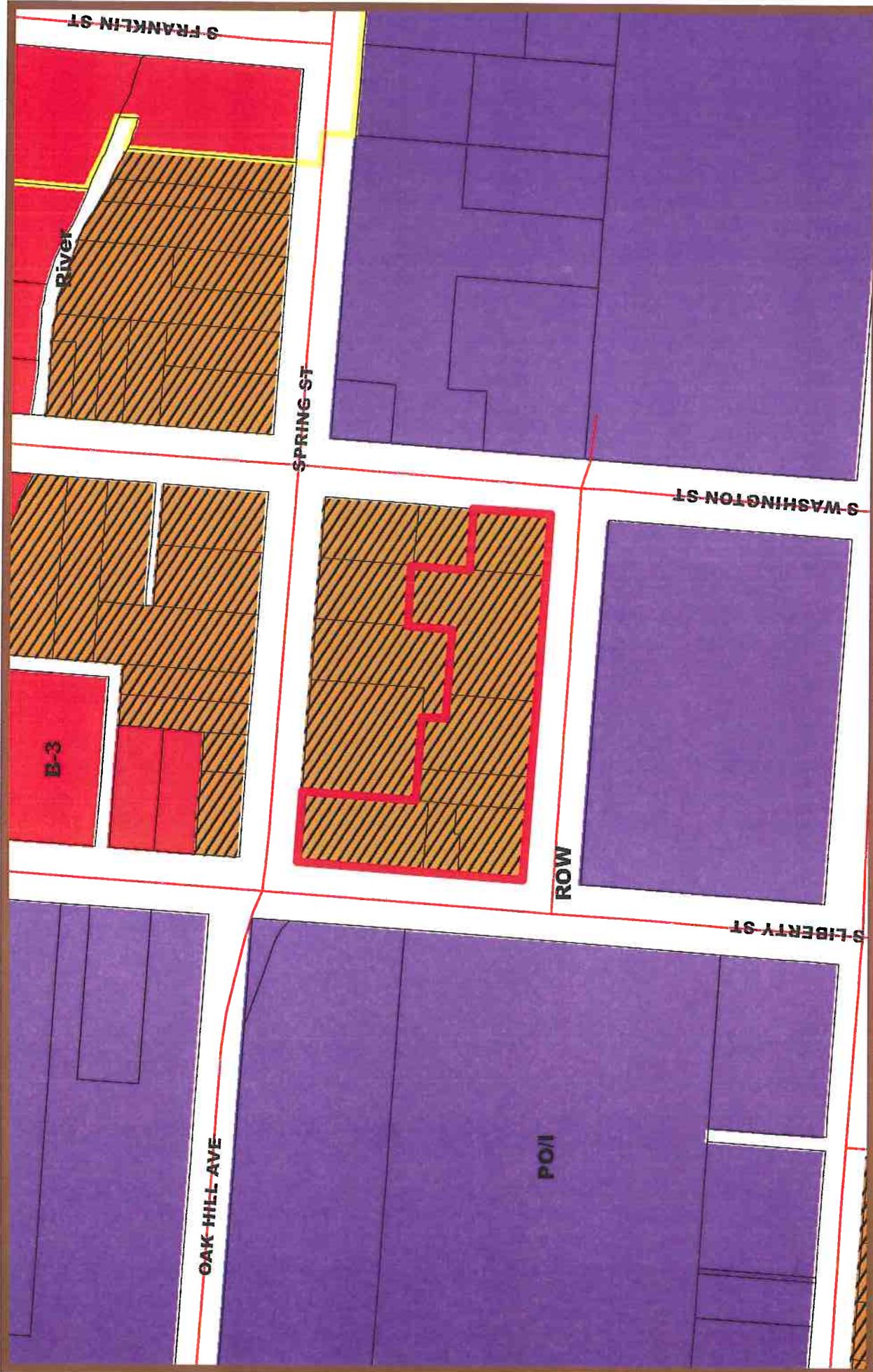
- h. **Landscaping and Screening.** All landscaping shall meet the requirements of the Zoning Code except as otherwise approved on the Final Development Plan.
  - (1) The landscaping for each SLU shall be per the attached Final Development Landscape Plan for Phase 1 or other City approved plan.
  - (2) A more detailed landscape plan would be required for the vacated Rowland Avenue with any Final Development Plan submitted for Phase 5.
  - (3) All landscape plans would need to be submitted, reviewed and approved by the Shade Tree Commission.
- i. **Lighting.** Building, site, and accent lighting shall be provided in accordance with the current Zoning Code, except that there is no requirement to provide lighting beyond that required by the applicable Building Code.
- k. **Signs.** All signage shall achieve compliance with 1165 Signs of the City of Delaware Zoning Code.
- m. **Utilities.** Any new or existing utilities(s) to be constructed and/or extended within the development shall comply with the City minimum requirements or as approved by the City Director of Utilities. The engineering drawings for such improvements shall accompany the submittal of the Final Development Plans for the subject phase.
- n. **Proposed Development – 5 Phases**
  - a. **Phase 1.** This phase would consist of the following elements:
    - i. The existing houses at 118 Rowland Avenue (westernmost house on Rowland Avenue) would be demolished.
    - ii. A new 24 unit SLU would be constructed at this location.
    - iii. Six parking spaces at the Hamilton Williams Campus Center located at 110 Rowland Avenue (on the eastside of Washington Street north of Rowland Avenue) would be allocated for this SLU per the OWU Rowland Avenue Student Housing Parking Study.
    - iv. A Final Development Plan would need to be approved by the Planning Commission and City Council.
  - b. **Phase 2.** This phase would consist of the following elements:
    - i. The existing houses at 86 and 94 Rowland Avenue (easternmost houses on Rowland Avenue) would be demolished.
    - ii. A new 24 unit SLU would be constructed at this location.
    - iii. No additional parking spaces would need to be allocated for this SLU per the OWU Rowland Avenue Student Housing Parking Study.
    - iv. A Final Development Plan would need to be approved by the Planning Commission and City Council.
  - c. **Phase 3.** This phase would consist of the following elements:
    - i. A new 24 unit SLU would be constructed just east of the SLU in Phase 1 (currently a vacant lot).
    - ii. Eleven parking spaces at the Hamilton Williams Campus Center located at 110 Rowland Avenue (on the eastside of Washington Street north of

- Rowland Avenue) would be allocated for this SLU per the OWU Rowland Avenue Student Housing Parking Study.
- iii. A Final Development Plan would need to be approved by the Planning Commission and City Council.
- d. **Phase 4.** This phase would consist of the following elements:
- i. A new 24 unit SLU would be constructed just west of the SLU in Phase 2 currently a parking lot).
  - ii. Eleven parking spaces at the Hamilton Williams Campus Center located at 110 Rowland Avenue (on the eastside of Washington Street north of Rowland Avenue) would be allocated for this SLU per the OWU Rowland Avenue Student Housing Parking Study.
  - iii. A Final Development Plan would need to be approved by the Planning Commission and City Council.
- e. **Phase 5.** This phase would consist of the following elements:
- i. Rowland Avenue would be vacated and converted into the extension of the “jaywalk” in conjunction with City approval(s).
  - ii. The vacation of Rowland Avenue would eliminate 20 on-street parking spaces. Therefore, 20 new parking spaces would be constructed in the Bashford Lot located on Park Avenue just southwest of the SLU’s per the OWU Rowland Avenue Student Housing Parking Study.
  - iii. A Final Development Plan and street vacation would need to be approved by the Planning Commission and City Council.



2015-1322, 1324-1326  
Rezoning Amendment, Conditional Use Permit,  
Phases 1-5 Preliminary Development Plan, and Phase 1  
Final Development Plan  
Ohio Wesleyan University  
Location Map





2015-1322, 1324-1326  
 Rezoning Amendment, Conditional Use Permit,  
 Phases 1-5 Preliminary Development Plan, and Phase 1  
 Final Development Plan  
 Ohio Wesleyan University  
 Zoning Map





2015-1322, 1324-1326  
 Rezoning Amendment, Conditional Use Permit,  
 Phases 1-5 Preliminary Development Plan, and Phase 1  
 Final Development Plan  
 Ohio Wesleyan University  
 Aerial (2013)



# OHIO WESLEYAN UNIVERSITY SMALL LIVING UNITS



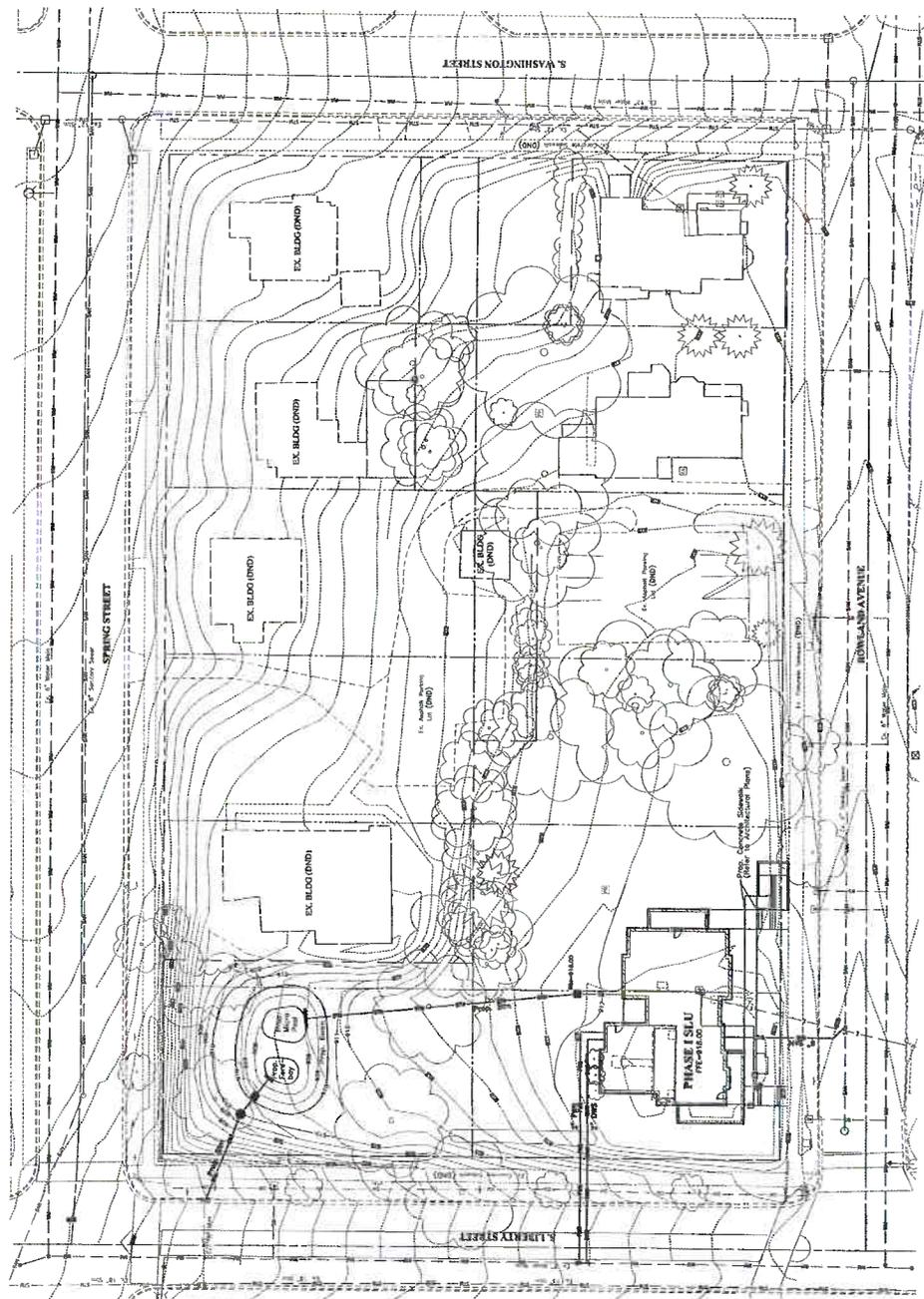


DESIGN DEVELOPMENT  
 SLUplex 1&2  
 ROWLAND AVENUE  
 DELAWARE, OH 43015

PROJECT NO.	113.000.00
DATE	7.07.2015
PROJECT NAME	SLUplex 1&2
PROJECT ADDRESS	ROWLAND AVENUE
PROJECT CITY	DELAWARE, OH
PROJECT STATE	OHIO
PROJECT ZIP	43015
PROJECT NUMBER	C300

**LEGEND**

EXISTING	PROPOSED
<ul style="list-style-type: none"> <li>Center Line Swale</li> <li>Water Main</li> <li>Sanitary Sewer</li> <li>Storm Sewer</li> <li>Underground Electric Service</li> <li>Electric Distribution</li> <li>Overhead Electric</li> <li>City Electric &amp; Communications</li> <li>Communications Distribution</li> <li>Water Main</li> <li>Sanitary Sewer</li> <li>Storm Sewer</li> <li>Underground Electric Service</li> <li>Electric Distribution</li> <li>Overhead Electric</li> <li>City Electric &amp; Communications</li> <li>Communications Distribution</li> <li>Water Main</li> <li>Sanitary Sewer</li> <li>Storm Sewer</li> <li>Underground Electric Service</li> <li>Electric Distribution</li> <li>Overhead Electric</li> <li>City Electric &amp; Communications</li> <li>Communications Distribution</li> </ul>	<ul style="list-style-type: none"> <li>Water Services</li> <li>Domestic Water Service</li> <li>Fire Water Service</li> <li>Sanitary Sewer Service</li> <li>Storm Sewer</li> <li>Underground Electric Service</li> <li>Overhead Electric Service</li> <li>City Electric Service</li> <li>Communications Service</li> <li>Water Main</li> <li>Sanitary Sewer</li> <li>Storm Sewer</li> <li>Underground Electric Service</li> <li>Overhead Electric Service</li> <li>City Electric Service</li> <li>Communications Service</li> </ul>



GRAPHIC SCALE  
 1" = 20'-0"

EMHIT  
 ENGINEERING, MECHANICAL & ELECTRICAL CONSULTANTS  
 10000 WOODLOCH ROAD  
 COLUMBUS, OHIO 43204  
 614.277.0100  
 www.emhit.com

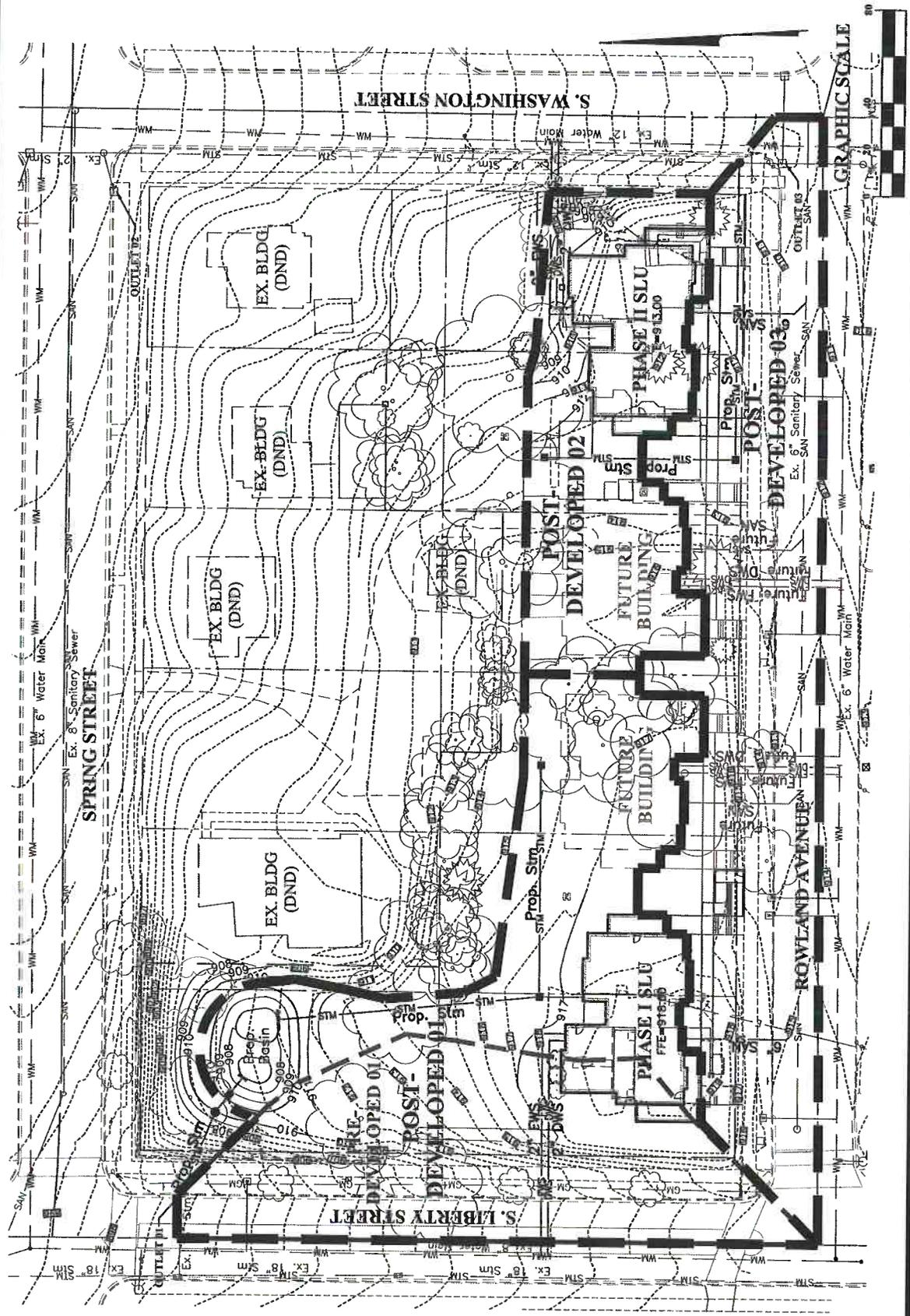
Prepared By: J. A. ...  
 Checked By: ...  
 Project Number: 113.000.00

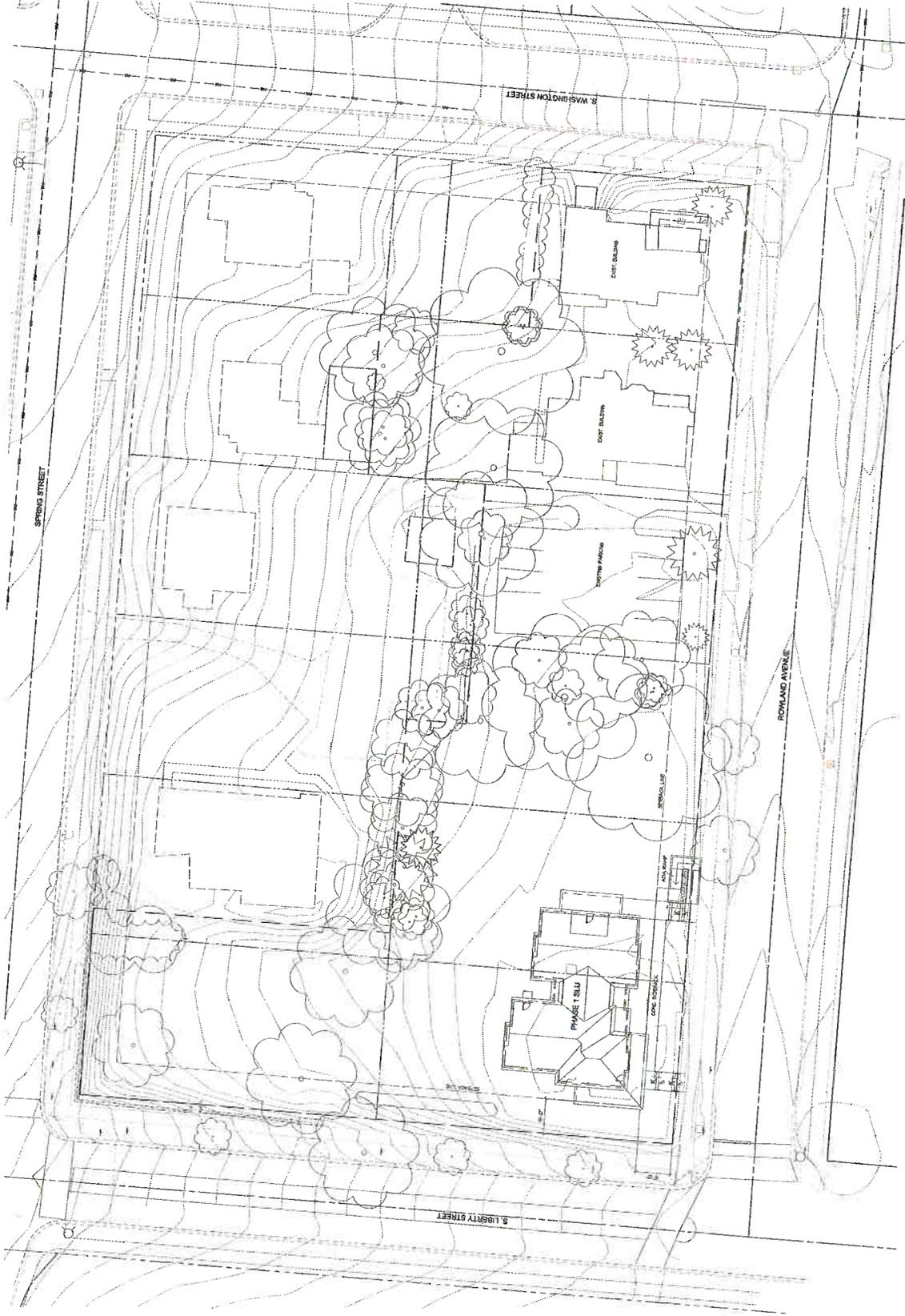


DATE: July 7, 2015  
 SCALE: 1" = 40'  
 JOB NO.: 2015-0612

CITY OF DELAWARE  
 FOR  
 EXHIBIT  
 OHIO WESLEYAN UNIVERSITY  
 SLUplex 1 & 2  
 TRIBUTARY AREAS

**EMHT**  
 Engineers • Surveyors • Planners • Scientists  
 5500 New Albany Road, Columbus, OH 43054  
 Phone: 614.775.4500  
 Toll Free: 888.775.3448  
 emht.com





ARCHITECTURAL SITE PLAN  
 SCALE: 1" = 30'-0"



1000 Madison Ave.  
 Suite 200  
 Columbus, OH 43215  
 614.427.2771 Fax

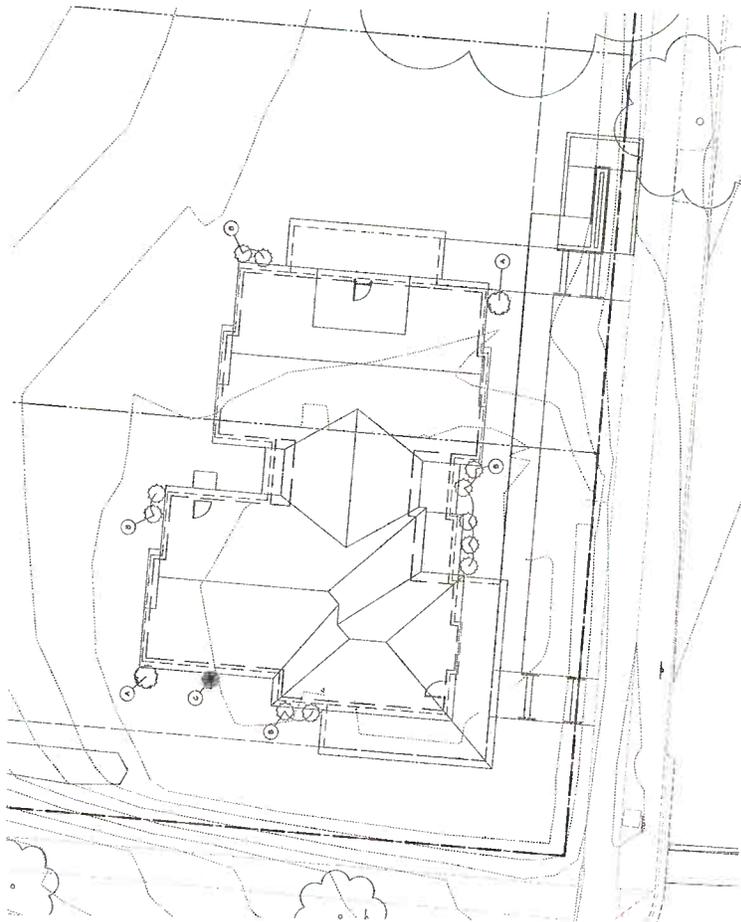


DESIGN DEVELOPMENT  
 OHIO WESLEYAN UNIVERSITY  
 SLUplex 1& 2  
 ROWLAND AVENUE  
 DELAWARE, OH 43015



DATE: 11.13.2010  
 BY: [Signature]  
 TITLE: [Signature]  
 PROJECT: LANDSCAPING  
 PLAN

7/08/2016  
 AS101

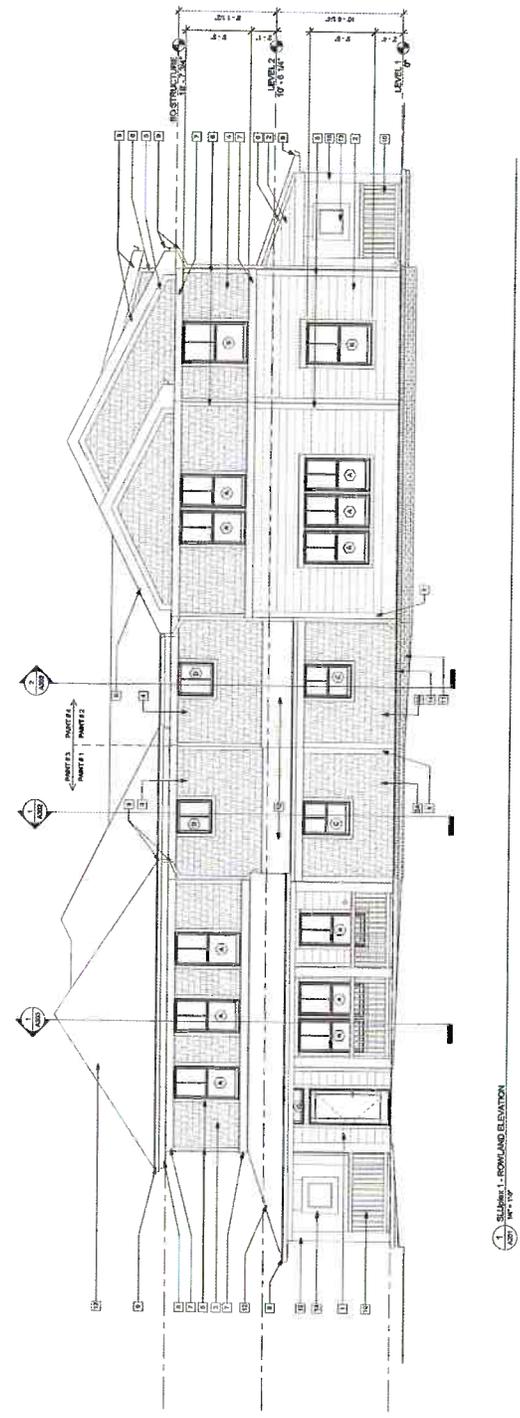
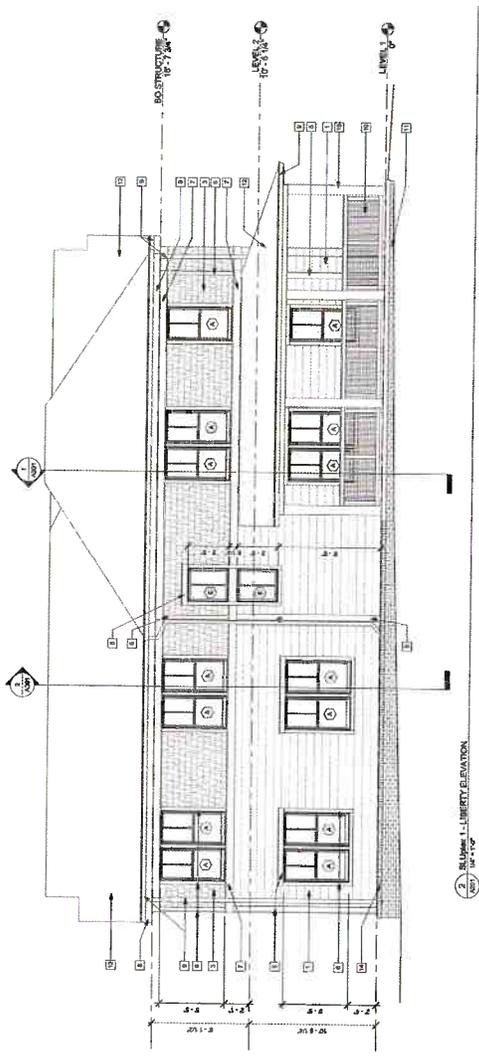


LANDSCAPING PLAN  
 SCALE: 1" = 10'-0"

MARK	COMMON NAME	PLANTING SCHEDULE	SIZE	QUANTITY
A	BURNING BUSH	2' x 2' SPACED	2' x 2' SPACED	2
B	DOGWOOD	2' x 2' SPACED	2' x 2' SPACED	1
C	SPANISH BARTON	2' x 2' SPACED	2' x 2' SPACED	1

**ELEVATION KEY NOTES**

- 1 PAINT CONCRETE LAP JOINTS, 1" DISCRETE, PAINT #1
- 2 PAINT CONCRETE LAP JOINTS, 1" DISCRETE, PAINT #2
- 3 PAINT CONCRETE BRASS BRONZE BRONZE BRONZE BRONZE PAINT #1
- 4 PAINT CONCRETE BRASS BRONZE BRONZE BRONZE BRONZE PAINT #2
- 5 PAINT CONCRETE BRASS BRONZE BRONZE BRONZE BRONZE PAINT #3
- 6 PAINT CONCRETE BRASS BRONZE BRONZE BRONZE BRONZE PAINT #4
- 7 PAINT CONCRETE BRASS BRONZE BRONZE BRONZE BRONZE PAINT #5
- 8 PAINT CONCRETE BRASS BRONZE BRONZE BRONZE BRONZE PAINT #6
- 9 PAINT CONCRETE BRASS BRONZE BRONZE BRONZE BRONZE PAINT #7
- 10 PAINT CONCRETE BRASS BRONZE BRONZE BRONZE BRONZE PAINT #8
- 11 ALUM. FINISH, COLOR TO MATCH TRIM
- 12 ALUM. COMPANION L. LETTER, COLOR TO MATCH TRIM
- 13 CELLULAR PVC PANELS
- 14 BRONZE/BLACK WATER TABLE, MODULAR RAINWATER DRAIN
- 15 ARCHITECTURAL UPHOLSTERY FABRIC
- 16 SLUW BRASS PANEL
- 17 BRONZE/BLACK/WHITE/BLACK COUSE
- 18 CELLULAR PVC COLUMN COVERS




 SLUplex 18.2 DOWNLAND ELEVATION



**ELEVATIONS**  
CORNER UNIT\_ROWLAND ELEVATION



**ELEVATIONS**  
CORNER UNIT\_LIBERTY ELEVATION



**PERSPECTIVE STUDIES**  
CORNER UNIT

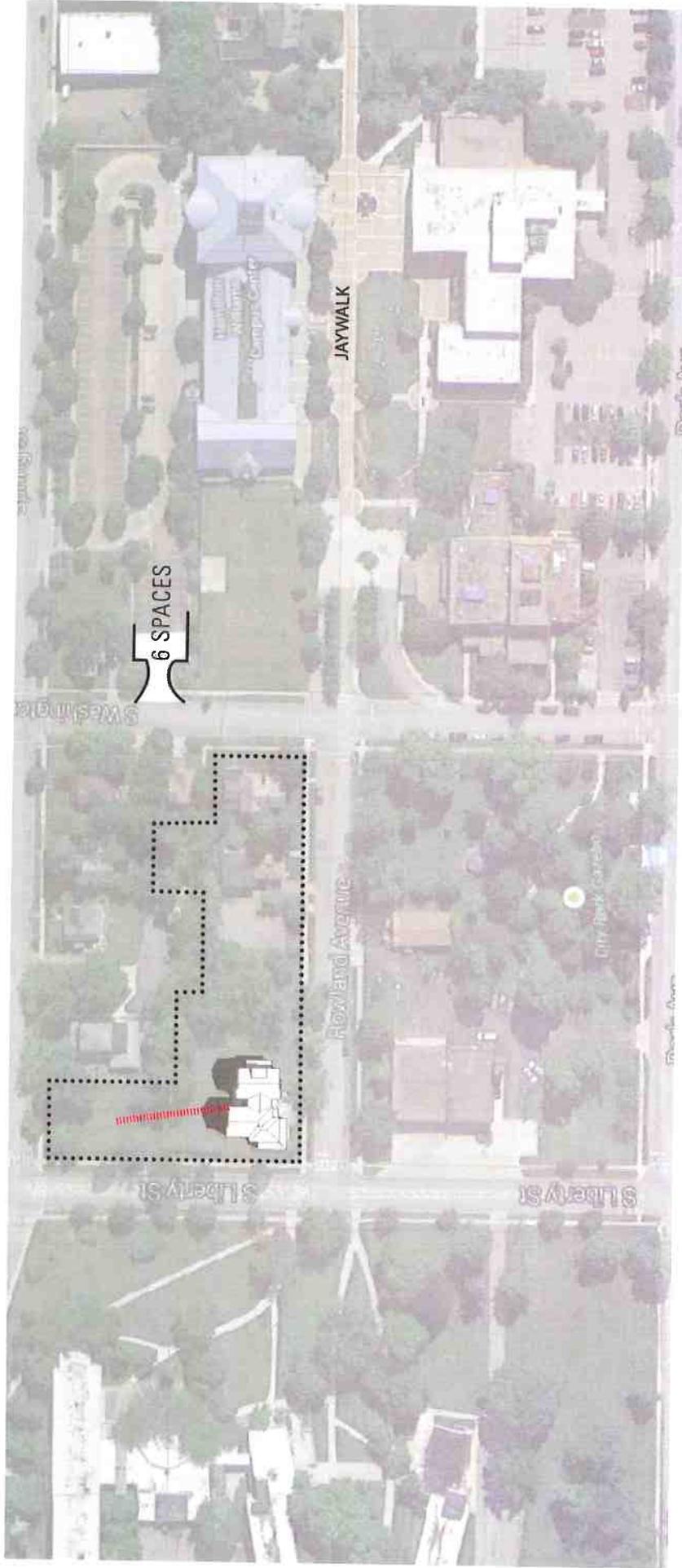


OHIO WESLEYAN UNIVERSITY SMALL LIVING UNITS



EXISTING

# OHIO WESLEYAN UNIVERSITY SMALL LIVING UNITS

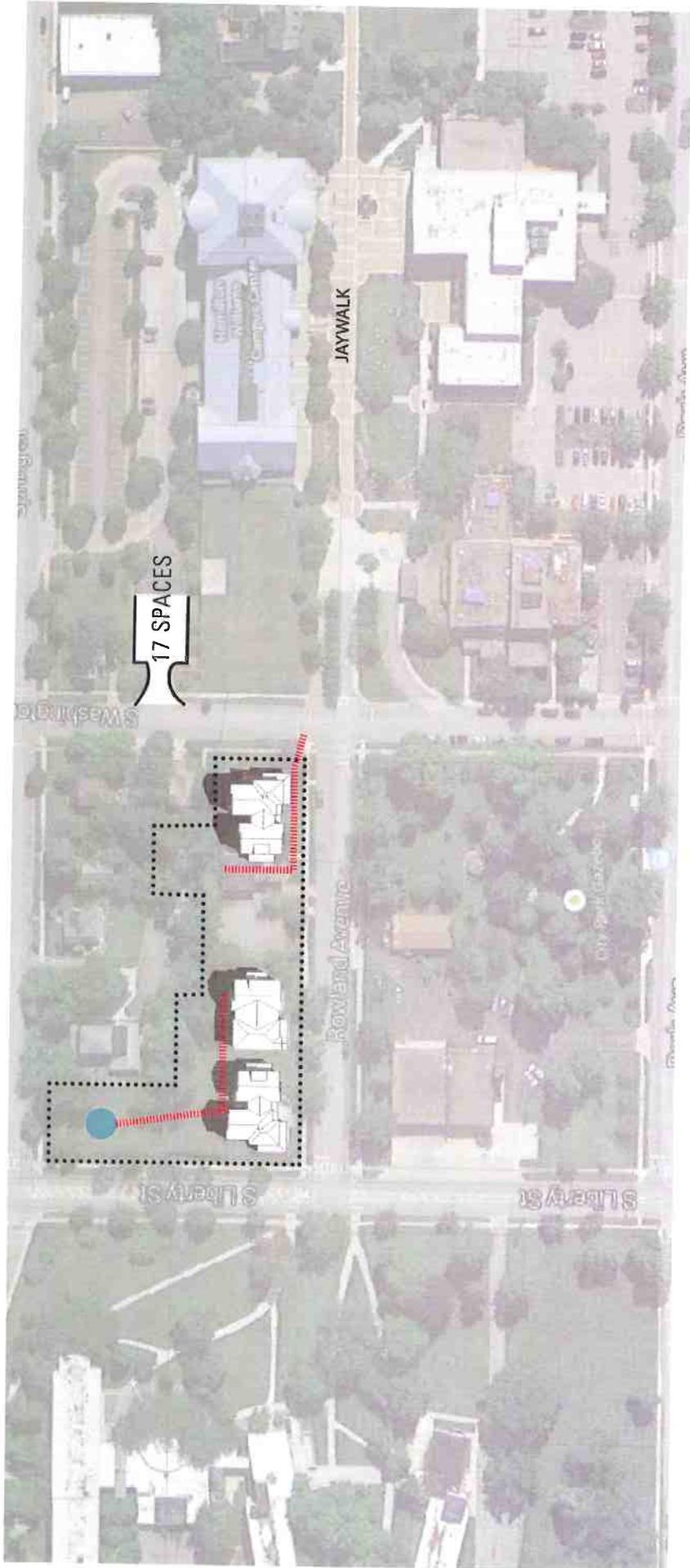


## PHASE I 1ST SLU

- ADD STORM PIPING TO NW FOR SLU 1
- ALLOCATE 6 PARKING SPACES AT HWCC



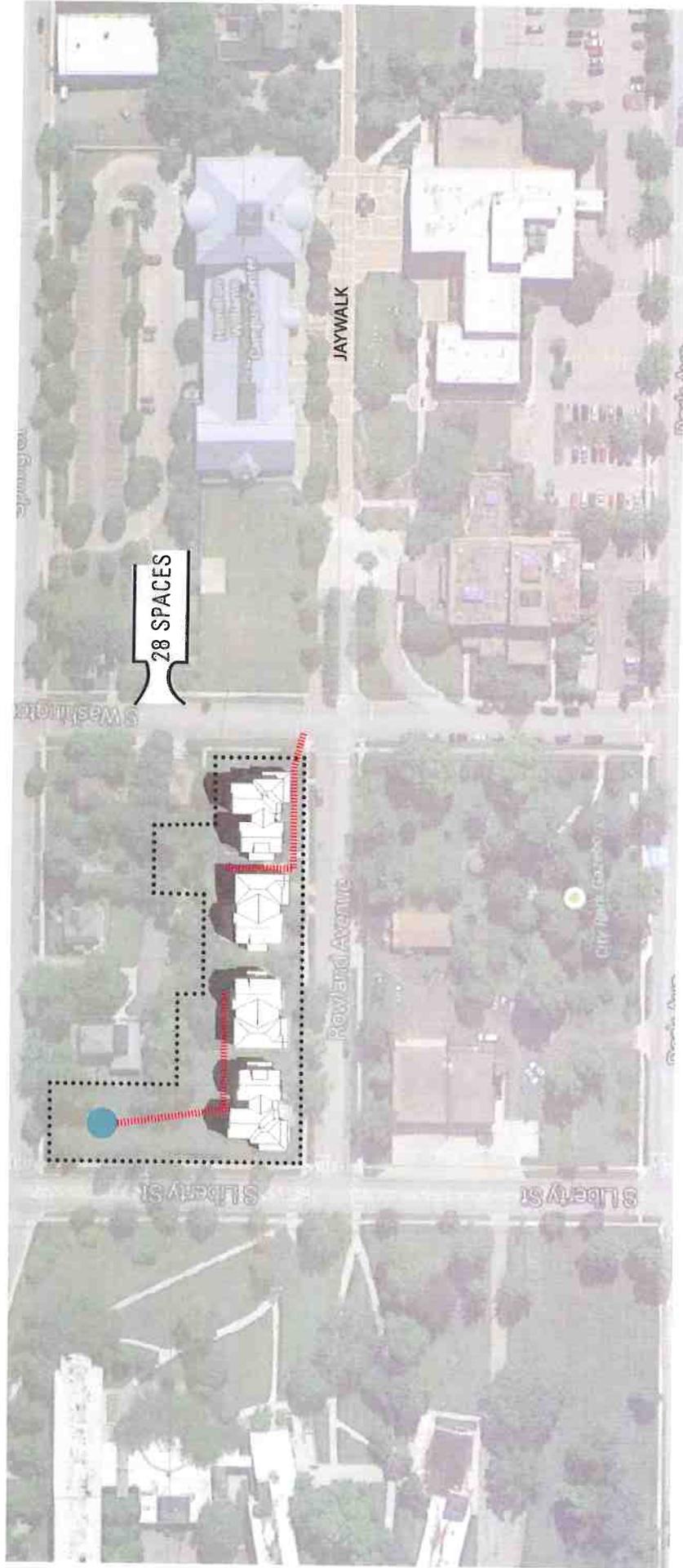
# OHIO WESLEYAN UNIVERSITY SMALL LIVING UNITS



## PHASE 3 3RD SLU

- ADD STORM PIPING FOR SLU 3 TO EXISTING BOX, ADD STORM BASIN
- ALLOCATE 11 MORE PARKING SPACES AT HWCC

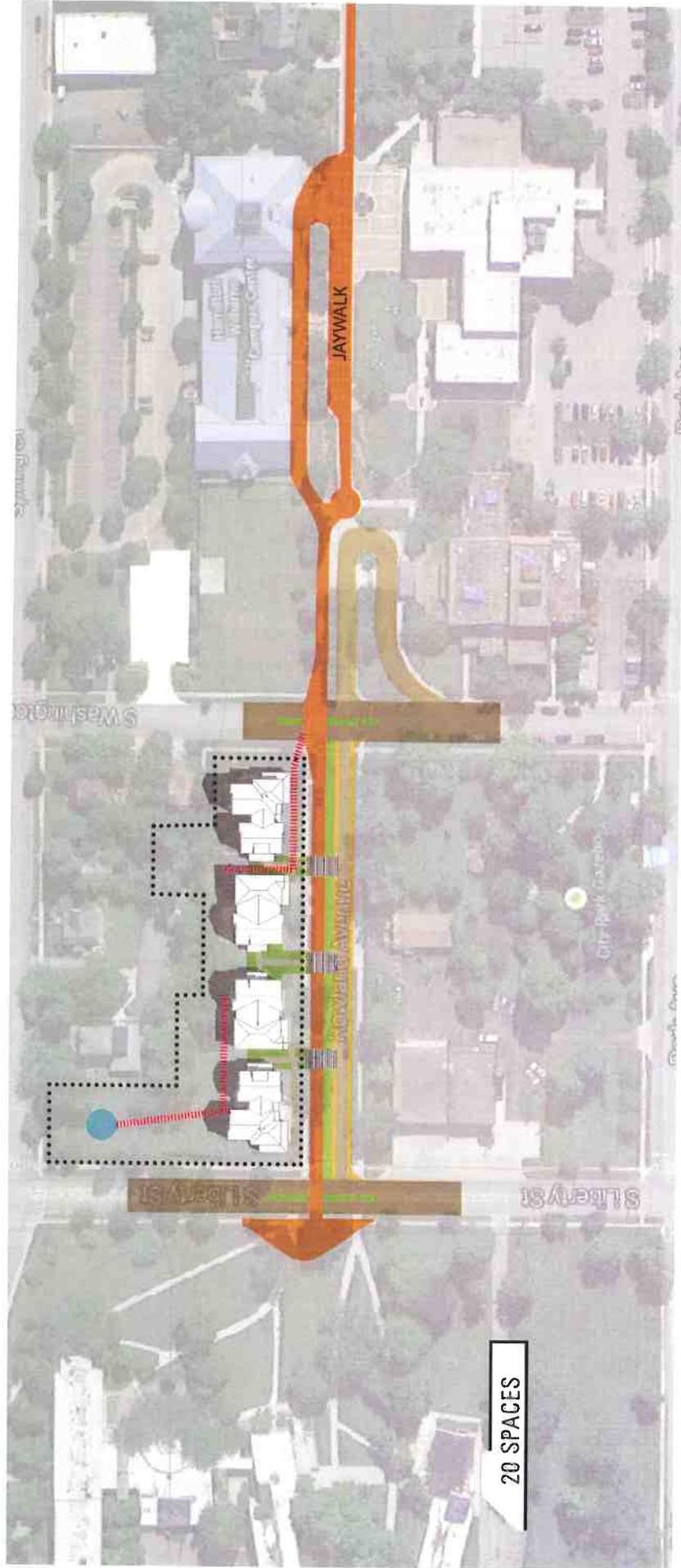
# OHIO WESLEYAN UNIVERSITY SMALL LIVING UNITS



## PHASE 4 4TH SLU

- NO CHANGE TO STORM DRAINAGE PLAN
- ALLOCATE 11 MORE PARKING SPACES AT HWCC

# OHIO WESLEYAN UNIVERSITY SMALL LIVING UNITS



## PHASE 5 CLOSING ROWLAND AVE

- NO CHANGE TO STORM DRAINAGE PLAN
- ADD 20 NEW PARKING SPACES TO BASHFORD LOT

Ohio Wesleyan University

Rowland Avenue Student  
Housing Parking Study

**Parking Management- Campus Wide:**

Total Spaces Available	<u>1,605</u>
Reserved for ADA	(54)
Reserved for Residential Life Staff	(8)
Reserved for Admissions visitors	(8)
Reserved for Short term/deliveries	(25)
Reserved for public safety	(7)
Reserved for faculty and staff	(500)
Reserved for Aramark/Chartwells employees	<u>(120)</u>
<b>Net Student Parking Spaces</b>	<u><b>882</b></u>

## AY15 Student Parking Demand

Fall enrollment	1,716
Students studying abroad	<u>(50)</u>
Delaware based students	<u>1,666</u>
Student parking permits sold	<u>721</u>
% of students with cars	43%

## Parking Supply vs. Demand

Student Parking Supply	882
Student Parking Demand	<u>721</u>
Surplus/(Deficit)	<u>161</u>

OWU has a *surplus* of student parking

**Options for Meeting Higher Concentrations of student parking  
Along Rowland Avenue**

1. Allocate HWCC west lot to student parking- 24 spaces
2. Build spaces at Bashford Hall

**Phase 1: Corner of Rowland & Liberty**

Raze 118 Rowland Avenue	-12
Construct Building	+24
Net new students at 118 Rowland Avenue	12
<b>Net Parking Spaces Required (@ 43% headcount)</b>	<b>6</b>

**ACTION PLAN: CONVERT 6 SPACES AT HWCC TO STUDENT  
PARKING**



**Phase 3: Rowland Avenue**

Construct 3 <sup>rd</sup> Building	+24
Net new students	24
Net new cars (@ 43% headcount)	11

**ACTION PLAN: CONVERT 11 SPACES AT HWCC TO STUDENT  
PARKING**

**Phase 4: Rowland Avenue**

Construct 4 <sup>th</sup> Building	+24
Net new students	24
Net new cars (@ 43% headcount)	11

**ACTION PLAN: ADD 11 SPACES AT HWCC TO STUDENT PARKING**

**Phase 5: Close Rowland Avenue**

Street Parking reduced by 20 Spaces

**ACTION PLAN: BUILD 20 NEW SPACES AT BASHFORD LOT TO  
SUPPORT THE PARK**

## Rowland Avenue Parking Summary

	Number of New Spaces Needed
Phase 1: Rowland & Liberty	6
Phase 2: Rowland & Washington	0
Phase 3: Rowland Avenue	11
Phase 4: Rowland Avenue	11
Phase 5: Close Rowland Avenue	20
<b>TOTAL</b>	<b>48</b>



## MEMO

**Date:** July 6, 2015  
**To:** City of Delaware  
**From:** Doug Turney, PE, CFM  
**Subject:** Ohio Wesleyan University Small Living Units (SLU) Housing – Stormwater Management  
**Copies:** Jessica Chouteau, PE; Chris Fleming, PE

---

This development proposes to build (4) residential buildings along Rowland Avenue between South Liberty Street and South Washington Street. The 1<sup>st</sup> phase will be the demolition of an existing house at 118 Rowland Avenue and the construction of a single residential building. Since the 1<sup>st</sup> phase is less than an acre, water quality is not required. With full build-out, the disturbed area is anticipated to remain less than an acre, therefore not requiring water quality controls.

The phase 1 building drains three directions as shown on the preliminary plan, but for the full-build out plan the intent is to install a detention basin with Phase 1 north of the Phase 1 structure and drain all of the roof drainage to the basin which will outlet to an existing curb and gutter inlet on South Liberty Street. The predeveloped impervious area to South Liberty Street is only 428 square feet and increases to 8436 square feet with development of Phase 1 and the next building to the east when funding becomes available for that structure. The increase in runoff volume to South Liberty Street is over 500%, resulting in a 100-year critical storm for Phase 1 and future building. The resulting storage volume needed for the proposed basin is 725 cubic feet with an additional amount required for freeboard.

For the ultimate build-out, the two buildings to the east closest to South Washington Street will continue to drain in that direction. The predeveloped impervious area to South Washington Street is 11,463 square feet and decreases to 10,659 square feet with full development, therefore no detention is required for the first two buildings west of South Washington. The diversion of impervious area to South Liberty Street associated with the western two buildings enables to the eastern two buildings to discharge without any detention controls, however, the diversion negatively impacts the volume of detention required for the project.



## FACT SHEET

---

AGENDA ITEM NO: 21

DATE: 8/10/15

ORDINANCE NO: 15-79

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: **YES**  
**August 24, 2015 7:00 p.m.**

---

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

---

**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT FOR OHIO WESLEYAN UNIVERSITY ALLOWING THE PLACEMENT OF A PMU (PLANNED MIXED USE OVERLAY DISTRICT) TO BE ESTABLISHED FOR SMALL LIVING UNITS (SLU'S) PHASES 1-5 ON APPROXIMATELY 1.373 ACRES LOCATED ON THE NORTH SIDE OF ROWLAND AVENUE BETWEEN SOUTH WASHINGTON STREET AND SOUTH LIBERTY STREET.

**BACKGROUND:**

Ohio Wesleyan University is proposing to raze the existing houses along the north side of Rowland Avenue which accommodates student housing and replace them with new small living unit (SLU's) student housing which would occur in four phases. The four new SLU's would allow the University to locate all the housing along the pedestrian corridor linking the residential area with the academic area of the campus. The existing houses would only be demolished when funding for each new SLU would be obtained. In Phase 5, Ohio Wesleyan's ultimate goal (this has been discussed with the City in the past) is to have Rowland Avenue vacated for vehicular travel and be utilized exclusively for pedestrians to extend the "jaywalk" concept in this area. Again, the City and University have discussed this possibility in general terms over several years and generally have agreed that it is a potential long term plan; however, both entities have discussed that much more detailed planning in this regard is needed and many more details would need to be worked out prior to a

formal application for vacation and Final Development Plan for Phase 5 being submitted. This approval would identify the vacation as part of the OWU long term plan.

**REASON WHY LEGISLATION IS NEEDED:**

N/A

**COMMITTEE RECOMMENDATION:**

Planning Commission approved this case 6-0 on August 5, 2015.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval with the documented conditions.

**ATTACHMENT(S)**

ORDINANCE NO. 15-79

AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT FOR OHIO WESLEYAN UNIVERSITY ALLOWING THE PLACEMENT OF A PMU (PLANNED MIXED USE OVERLAY DISTRICT) TO BE ESTABLISHED FOR SMALL LIVING UNITS (SLU'S) PHASES 1-5 ON APPROXIMATELY 1.373 ACRES LOCATED ON THE NORTH SIDE OF ROWLAND AVENUE BETWEEN SOUTH WASHINGTON STREET AND SOUTH LIBERTY STREET.

WHEREAS, the Planning Commission at its meeting of August 5, 2015, recommended approval of a Conditional Use Permit for Ohio Wesleyan University allowing the placement of a PMU (Planned Mixed Use Overlay District) to be established for Small Living Units (SLU's) Phases 1-5 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street (PC 2015-1324), and

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Conditional Use Permit for Ohio Wesleyan University allowing the placement of a PMU (Planned Mixed Use Overlay District) to be established for Small Living Units (SLU's) Phases 1-5 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street and is hereby confirmed, approved, and accepted.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION: YEAS\_\_\_NAYS\_\_\_  
ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2015 YEAS\_\_\_NAYS\_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK MAYOR



## FACT SHEET

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AGENDA ITEM NO: 22

DATE: 8/10/15

ORDINANCE NO: 15-80

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: NO

---

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

---

**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN FOR OHIO WESLEYAN UNIVERSITY FOR SMALL LIVING UNITS (SLU'S) PHASES 1-5 ON APPROXIMATELY 1.373 ACRES LOCATED ON THE NORTH SIDE OF ROWLAND AVENUE BETWEEN SOUTH WASHINGTON STREET AND SOUTH LIBERTY STREET ON PROPERTY ZONED PO/I PMU (PLANNED OFFICE/INSTITUTIONAL DISTRICT WITH A PLANNED MIXED USE OVERLAY DISTRICT).

**BACKGROUND:**

Ohio Wesleyan University is proposing to raze the existing houses along the north side of Rowland Avenue which accommodates student housing and replace them with new small living unit (SLU's) student housing which would occur in four phases. The four new SLU's would allow the University to locate all the housing along the pedestrian corridor linking the residential area with the academic area of the campus. The existing houses would only be demolished when funding for each new SLU would be obtained. In Phase 5, Ohio Wesleyan's ultimate goal (this has been discussed with the City in the past) is to have Rowland Avenue vacated for vehicular travel and be utilized exclusively for pedestrians to extend the "jaywalk" concept in this area. Again, the City and University have discussed this possibility in general terms over several years and generally have agreed that it is a potential long term plan; however, both entities have discussed that much more detailed planning in this regard is needed and many more details would need to be worked out prior to a

formal application for vacation and Final Development Plan for Phase 5 being submitted. This approval would identify the vacation as part of the OWU long term plan.

**REASON WHY LEGISLATION IS NEEDED:**

N/A

**COMMITTEE RECOMMENDATION:**

Planning Commission approved this case 6-0 on August 5, 2015.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval with the documented conditions.

**ATTACHMENT(S)**

ORDINANCE NO. 15-80

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN FOR OHIO WESLEYAN UNIVERSITY FOR SMALL LIVING UNITS (SLU'S) PHASES 1-5 ON APPROXIMATELY 1.373 ACRES LOCATED ON THE NORTH SIDE OF ROWLAND AVENUE BETWEEN SOUTH WASHINGTON STREET AND SOUTH LIBERTY STREET ON PROPERTY ZONED PO/I PMU (PLANNED OFFICE/INSTITUTIONAL DISTRICT WITH A PLANNED MIXED USE OVERLAY DISTRICT).

WHEREAS, the Planning Commission at its meeting of August 5, 2015, recommended approval of a Preliminary Development Plan for Ohio Wesleyan University for Small Living Units (SLU's) Phases 1-5 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street on property zoned PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District) (PC 2015-1325), and

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Preliminary Development Plan for Ohio Wesleyan University for Small Living Units (SLU's) Phases 1-5 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street on property zoned PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District) and is hereby confirmed, approved, and accepted, with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. Any new SLU shall achieve compliance with the design standards of the approved development text per the submitted building elevations.
3. Any tree removal shall comply with Chapter 1168 Tree Preservation Regulations along with the approved development text.
4. Any landscape plans shall be reviewed and approved by the Shade Tree Commission.
5. Any lighting plan shall be reviewed and approved by the Chief Building Official.

6. The seven parcels shall be consolidated prior to the occupancy permit of the second SLU.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS \_\_\_ NAYS \_\_\_  
ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2015

YEAS \_\_\_ NAYS \_\_\_  
ABSTAIN \_\_\_

ATTEST:

\_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR



## FACT SHEET

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AGENDA ITEM NO: 23

DATE: 8/10/15

ORDINANCE NO: 15-81

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: NO

---

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

---

**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN FOR OHIO WESLEYAN UNIVERSITY FOR SMALL LIVING UNITS (SLU'S) PHASE 1 ON APPROXIMATELY 1.373 ACRES LOCATED ON THE NORTH SIDE OF ROWLAND AVENUE BETWEEN SOUTH WASHINGTON STREET AND SOUTH LIBERTY STREET ON PROPERTY ZONED PO/I PMU (PLANNED OFFICE/INSTITUTIONAL DISTRICT WITH A PLANNED MIXED USE OVERLAY DISTRICT).

**BACKGROUND:**

Ohio Wesleyan University is proposing to raze the existing houses along the north side of Rowland Avenue which accommodates student housing and replace them with new small living unit (SLU's) student housing which would occur in four phases. The four new SLU's would allow the University to locate all the housing along the pedestrian corridor linking the residential area with the academic area of the campus. The existing houses would only be demolished when funding for each new SLU would be obtained. In Phase 5, Ohio Wesleyan's ultimate goal (this has been discussed with the City in the past) is to have Rowland Avenue vacated for vehicular travel and be utilized exclusively for pedestrians to extend the "jaywalk" concept in this area. Again, the City and University have discussed this possibility in general terms over several years and generally have agreed that it is a potential long term plan; however, both entities have discussed that much more detailed planning in this regard is needed and many more details would need to be worked out prior to a

formal application for vacation and Final Development Plan for Phase 5 being submitted. This approval would identify the vacation as part of the OWU long term plan.

**REASON WHY LEGISLATION IS NEEDED:**

N/A

**COMMITTEE RECOMMENDATION:**

Planning Commission approved this case 6-0 on August 5, 2015.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval with the documented conditions.

**ATTACHMENT(S)**

ORDINANCE NO. 15-81

AN ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN FOR OHIO WESLEYAN UNIVERSITY FOR SMALL LIVING UNITS (SLU'S) PHASE 1 ON APPROXIMATELY 1.373 ACRES LOCATED ON THE NORTH SIDE OF ROWLAND AVENUE BETWEEN SOUTH WASHINGTON STREET AND SOUTH LIBERTY STREET ON PROPERTY ZONED PO/I PMU (PLANNED OFFICE/INSTITUTIONAL DISTRICT WITH A PLANNED MIXED USE OVERLAY DISTRICT).

WHEREAS, the Planning Commission at its meeting of August 5, 2015, recommended approval of a Final Development Plan for Ohio Wesleyan University for Small Living Units (SLU's) Phase 1 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street on property zoned PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District) (PC 2015-1326), and

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Final Development Plan for Ohio Wesleyan University for Small Living Units (SLU's) Phase 1 on approximately 1.373 acres located on the north side of Rowland Avenue between South Washington Street and South Liberty Street on property zoned PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District) and is hereby confirmed, approved, and accepted, with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The new SLU shall achieve compliance with the design standards of the approved development text per the submitted building elevation.
3. Any tree removal shall comply with Chapter 1168 Tree Preservation Regulations along with the approved development text.
4. The landscape plan shall be submitted, reviewed and approved by the Shade Tree Commission.
5. The lighting plan shall be submitted, reviewed and approved by the Chief Building Official.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS\_\_\_NAYS\_\_\_  
ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2015

YEAS\_\_\_ NAYS\_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR



## FACT SHEET

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AGENDA ITEM NO: 24

DATE: 8/10/15

ORDINANCE NO: 15-82

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: NO

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TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING A FINAL SUBDIVISION PLAT FOR MI HOMES OF CENTRAL OHIO FOR LANTERN CHASE PHASE 2 SECTION 6 PART 1 CONSISTING OF 47 SINGLE-FAMILY LOTS ON 11.974 ACRES ZONED R-3 (ONE-FAMILY RESIDENTIAL DISTRICT) LOCATED NORTH OF SILVERSMITH LANE.

**BACKGROUND:**

This section would consist of 47 single family lots in a typical double loaded lot layout along mainly White Elm Drive (ease-west orientation) and Glemsbury Drive (north-south orientation) with some lots off Stonhope Drive, Marblewood Drive, Lanthorn Pond Drive and Cedar Creek Drive. The current engineering standards require 60 feet of right of way and 32 foot wide streets but staff is giving concessions for this development while ensuring conforming pavement width to today's standards because some flexibility must be utilized to ensure that this section can fit properly in the built environment. This approach is what was approved in the preliminary plat. In this section, the lot sizes range from 60-70 foot lot widths with 120-125 foot lot depths (minimum 7,200 square foot lots) while the corner lots are oversized (minimum 80 feet wide) to comply with zoning requirements. The yard setbacks would be: 25 foot front, 30 foot rear and 8 foot side. The houses would be required to comply with the Residential Design Criteria and Performance Standards of Section 1171.08 of the Planning & Zoning Code. There is not any open space or parkland in Section 6 Part 1 but the approved Preliminary Subdivision Plat indicates there

are 19.1 acres (37%) of open space and park land in two reserve areas in Section 6 Part 3 located just north and west of Part

**REASON WHY LEGISLATION IS NEEDED:**

N/A

**COMMITTEE RECOMMENDATION:**

Planning Commission approved this case 6-0 on August 5, 2015.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval as submitted with the documented conditions.

**ATTACHMENT(S)**

Staff report

ORDINANCE NO. 15-82

AN ORDINANCE APPROVING A FINAL SUBDIVISION PLAT FOR MI HOMES OF CENTRAL OHIO FOR LANTERN CHASE PHASE 2 SECTION 6 PART 1 CONSISTING OF 47 SINGLE-FAMILY LOTS ON 11.974 ACRES ZONED R-3 (ONE-FAMILY RESIDENTIAL DISTRICT) LOCATED NORTH OF SILVERSMITH LANE

WHEREAS, the Planning Commission at its meeting of August 5, 2015 recommended approval of a Final Subdivision Plat for MI Homes of Central Ohio for Lantern Chase Phase 2 Section 6 Part 1 consisting of 47 single-family lots on 11.974 acres zoned R-3 (One-Family Residential District) located north of Silversmith Lane (2015-1270), and

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Final Subdivision Plat for MI Homes of Central Ohio for Lantern Chase Phase 2 Section 6 Part 1 consisting of 47 single-family lots on 11.974 acres zoned R-3 (One-Family Residential District) located north of Silversmith Lane and is hereby confirmed, approved, and accepted with the following conditions:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The right-of-way and street pavement width shall achieve compliance with the City Engineer requirements.
3. The minimum lot size and width and building setbacks shall be per the approved Amended Preliminary Subdivision Plat.
4. The front elevation shall achieve compliance with the minimum requirements of Chapter 1171.08 Residential Development Design Criteria and Performance Standards.
5. The development shall achieve compliance with Chapter 1168 Tree Preservation Regulations.
6. A street tree plan shall be submitted, reviewed and approved by the Shade Tree Commission.
7. The lighting plans shall be submitted, reviewed and approved by the Chief Building Official that achieves compliance with all zoning requirements prior to Final Subdivision Plat approval.
8. Based upon the Applicant submission to date, the proposed stormwater outlet for this development appears to be inadequate. Therefore, the

applicant shall be required to take any and all necessary actions to the satisfaction of the City of Delaware to ensure its adequacy prior to the City authorizing Site Improvement Plans for this Section. These actions are likely to include following the Delaware County process for ditch petitions for the Gallant field tile that runs through the Lantern Chase property and the property to the west.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS\_\_\_NAYS\_\_\_  
ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2015

YEAS\_\_\_NAYS\_\_\_  
ABSTAIN \_\_\_

ATTEST:

\_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR

CASE NUMBERS: 2015-1270

REQUEST: Final Subdivision Plat

PROJECT: Lantern Chase Phase 2 Section 6 Part 1

MEETING DATE: August 5, 2015

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**APPLICANT/OWNER**

MI Homes  
3 Easton Oval  
Columbus, Ohio 43219

**REQUEST**

2015-1270: A request by MI Homes of Central Ohio for approval of a Final Subdivision Plat for Lantern Chase Phase 2 Section 6 Part 1 for 47 single family lots on 11.974 acres zoned R-3 (One Family Residential District) located north of Silversmith Lane.

**PROPERTY LOCATION & DESCRIPTION**

The 11.974 acre site is located just north of Silversmith Lane at the terminus of Stonhope Drive and White Elm Drive which is north of Phase 1 of Lantern Chase. The subject site is zoned R-3 (One-Family Residential District) as is the property to the south. The properties to the north, east and west are located in the Township.

**BACKGROUND/PROPOSAL**

The Preliminary Subdivision Plat for Phase 1 was approved as Smith Farms Subdivision in 1998. Between then and May 2001 Final Subdivision Plats for Phase 1 were approved. The Preliminary Subdivision Plat for Phase 2 was approved by the Planning Commission in 2001. In 2006, the Final Subdivision Plat for Phase 2 Section 6 was approved by the Planning Commission and the developer subsequently requested an extension of Section 6 in 2007 which was approved but this section never began construction. Then in December 2014, Planning Commission and City Council approved an Amended Preliminary Subdivision Plat with 127 lots instead of 156 lots which were originally approved in this area and would likely be constructed in three sections. The reduction of 29 lots is due to the unwillingness of the applicant to construct a lift station in this area due to economic reasons. The revised layout would result in more open space with park amenities and the preservation of wetlands and wooded areas along the extreme northern portion of the development. Now the applicant is requesting to develop 47 single family lots in Section 6 Part 1. Section 6 Parts 2 and 3 would contain the remaining 80 single family lots.

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**STAFF ANALYSIS**

- **COMPREHENSIVE PLAN AMENDMENT:** The Comprehensive Plan Future Land Use Map recommends Moderate Density Single-Family Land Use (3.25-4.25 dwelling units per acre) for the subject property. The proposed density for the amended plan is 2.52 units per acre.
- **ZONING:** The subject site is zoned R-3 (One Family Residential District) which requires Final Subdivision Plat approvals for Phase 2 Section 6 Part 1 and subsequent sections by the Planning Commission and City Council.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on a technical review by the Engineering Department once a complete plan set is submitted for review.
- **UTILITIES:** Both water and sewer utilities would be public and would be extended from Phases 1 and 2 of the development. The development would have to comply with the current storm water requirements.
- **ROADS AND ACCESS:** This section would be accessed from White Elm Drive and Stonhope Drive from the south respectively which extend from Section 5. From White Elm Drive, Glemsbury Drive would extend north which would have two stub streets (Lanthorn Pond Drive and Cedar Creek Street respectively) to the west into future Section 6 Part 3. A stub street (Marblewood Drive) would extend into future Section 6 Part 2 from White Elm Drive to the north. White Elm Drive and Stonhope Drive, which are both existing stub streets into this Section, would have 50 feet of right-of-way with 28 feet of pavement. One foot of the sidewalk would be in easement with a 7 foot tree lawn and the front yard setback would be measured from the right-of-

way while the remainder of the streets would have 50 feet of right of way with 32 feet of pavement. Three feet of the sidewalk would be in an easement with a 7 foot tree lawn and the front yard setback would be measured from the right-of-way line. The current engineering standards require 60 feet of right of way and 32 foot wide streets. Therefore, staff is giving concessions for this development while ensuring conforming pavement width to today's standards. There are existing streets in the built portions of this subdivision and therefore some flexibility must be utilized to ensure that this section can fit properly in the built environment. This approach is what was approved in the preliminary plat.

- **SITE LAYOUT:** This section would consist of 47 single family lots in a typical double loaded lot layout along mainly White Elm Drive (east-west orientation) and Glensbury Drive (north-south orientation) with some lots off Stonhope Drive, Marblewood Drive, Lanthorn Pond Drive and Cedar Creek Drive.
- **LOT SIZES:** The typical bulk requirements (setbacks, minimum lot width and size) have changed since originally approval in 2001. Therefore per the approved Amended Preliminary Subdivision Plat approved in December 2014, staff and the developer have negotiated fair zoning bulk requirements based on the previous and existing requirements coupled with the engineering requirements of wider streets and right-of-way. In this section, the lot sizes range from 60-70 foot lot widths with 120-125 foot lot depths (minimum 7,200 square foot lots) while the corner lots are oversized (minimum 80 feet wide) to comply with zoning requirements. The yard setbacks would be: 25 foot front, 30 foot rear and 8 foot side. The current R-3 zoning requirements are: 8,775 square foot minimum lots, 65 foot wide lots, 30 foot front yard setback, 40 foot rear yard setback and 8 foot side yard setbacks while the previous zoning in 2001 permitted 7,200 square foot minimum lots, minimum 60 foot lot width, 25 foot front yard setback, 30 foot rear yard setback and 6 foot side yard setbacks (total of 15 feet minimum).
- **DESIGN:** The houses would be required to comply with the Residential Design Criteria and Performance Standards of Section 1171.08 of the Planning & Zoning Code. The standards include among other items: front elevations consisting of a minimum 25 percent of natural materials (the natural materials are to include but are not limited to stone, brick, cedar, wood, stucco and stucco stone), minimum 8 inch overhangs/soffits on returns, minimum 4 inch window trim and higher end vinyl siding.
- **TREE REMOVAL & REPLACEMENT:** Although there do not appear to be any trees in Section 6 Part 1, the applicant would have to submit a tree survey to ensure compliance with Chapter 1168 Tree Preservation Regulations prior to approval of the construction drawing for Section 6 Part 1.
- **OPEN SPACE & PARKLAND:** There is not any open space or parkland in Section 6 Part 1. The approved Preliminary Subdivision Plat indicates there are 19.1 acres (37%) of open space and park land in two reserve areas in Section 6 Part 3 located just north and west of Part 1.
- **LANDSCAPING PLAN:** A street tree plan would need to be submitted, reviewed and approved by the Shade Tree Commission for Section 6 Part 1. It is imperative that the Applicant coordinate the landscaping plan and street tree plan with the engineering site development plan so that the landscaping does not impeded visibility at intersection or of any traffic control signs.
- **LIGHTING PLAN.** A lighting plan would need to be submitted, reviewed and approved by the Chief Building Official that achieves compliance with zoning code requirements for Section 6 Part 1 prior to Final Subdivision Plat approvals.

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**STAFF RECOMMENDATION – (2015-1270 FINAL SUBDIVISION PLAT)**

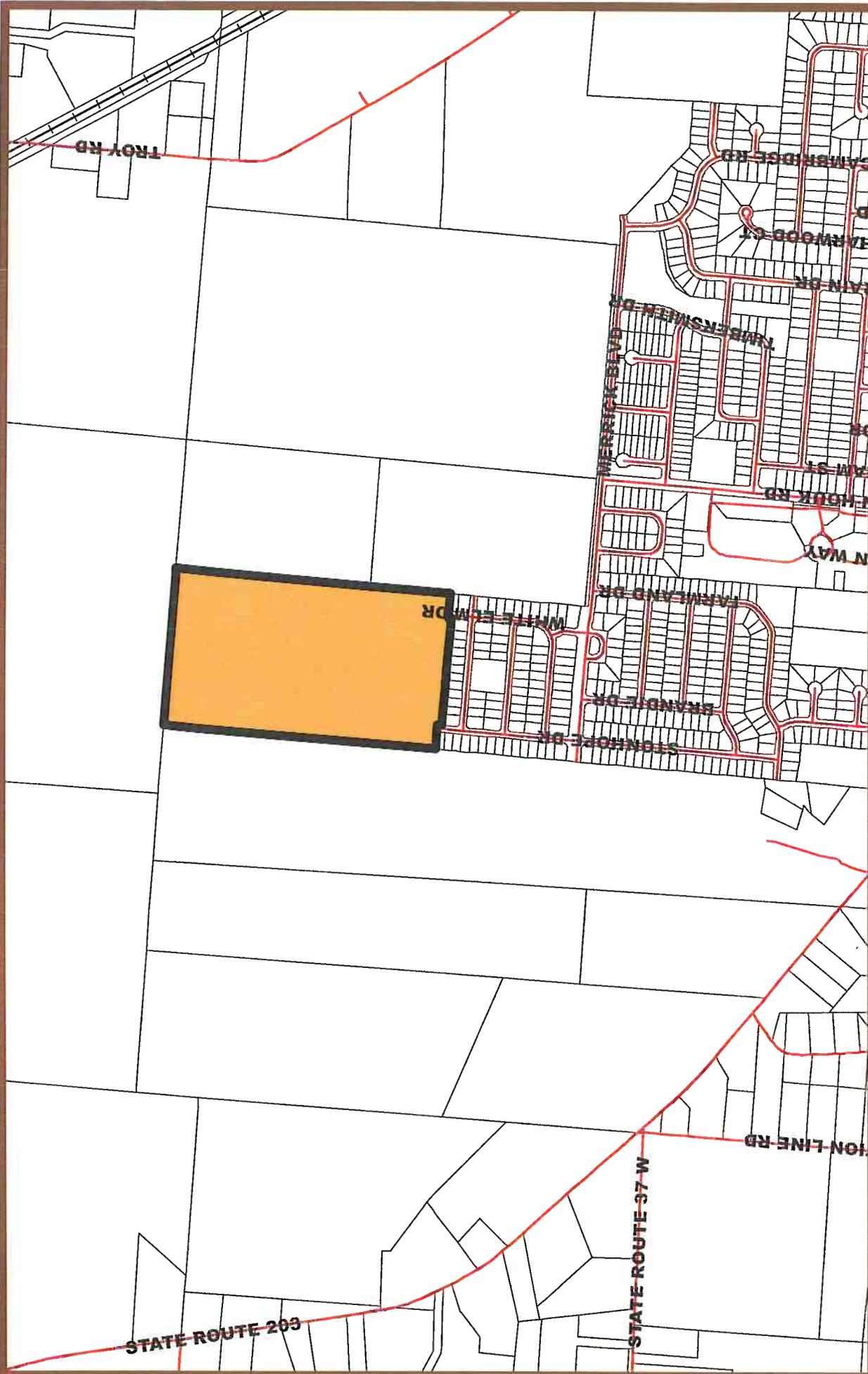
Staff recommends approval of a request by MI Homes of Central Ohio of a Final Subdivision Plat for Lantern Chase Phase 2 Section 6 Part 1 for 47 single family lots on 11.974 acres zoned R-3 (One Family Residential District) located north of Silversmith Lane, with the following conditions that::

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The right-of-way and street pavement width shall achieve compliance with the City Engineer requirements.
3. The minimum lot size and width and building setbacks shall be per the approved Amended

Preliminary Subdivision Plat.

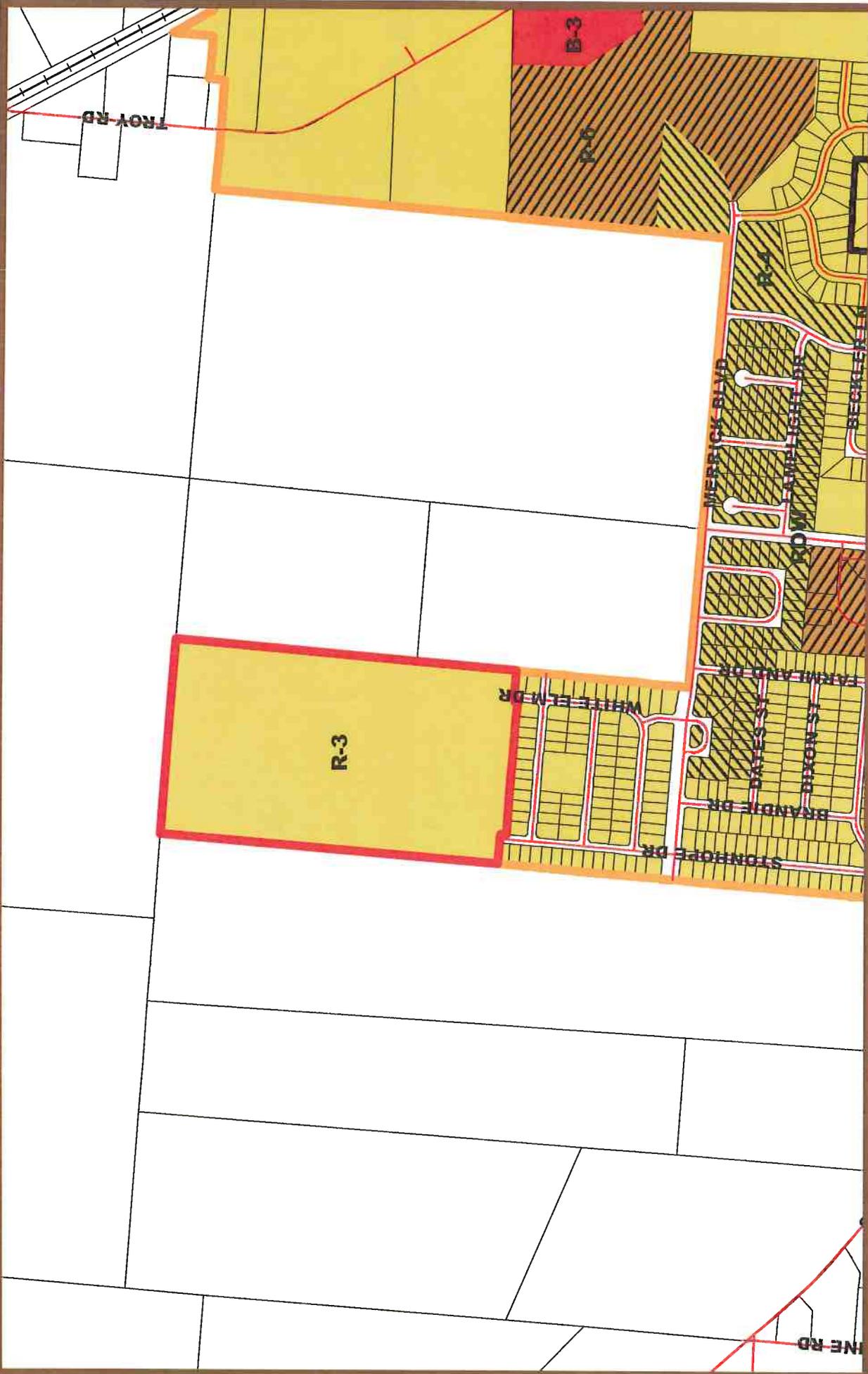
4. The front elevation shall achieve compliance with the minimum requirements of Chapter 1171.08 Residential Development Design Criteria and Performance Standards.
5. The development shall achieve compliance with Chapter 1168 Tree Preservation Regulations.
6. A street tree plan shall be submitted, reviewed and approved by the Shade Tree Commission.
7. The lighting plans shall be submitted, reviewed and approved by the Chief Building Official that achieves compliance with all zoning requirements prior to Final Subdivision Plat approval.





2015-1270  
 Final Subdivision Plat  
 Lantern Chase Phase 2 Section 6 Part 1  
 Location Map





2015-1270  
 Final Subdivision Plat  
 Lantern Chase Phase 2 Section 6 Part 1  
 Zoning Map

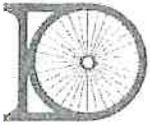


2015-1270  
Final Subdivision Plat  
Lantern Chase Phase 2 Section 6 Part 1  
Aerial (2013)









**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**



Project # \_\_\_\_\_

Case # 2015-1270

**Planning Commission**

- |  |  |   |
|--|--|---|
| <input type="checkbox"/> Amended Final Development Plan                | <input type="checkbox"/> Final Development Plan Extension  | <input type="checkbox"/> Substitution of a Non-Conforming Use             |
| <input type="checkbox"/> Amended Final Subdivision Plat                | <input checked="" type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Vacation-Alley                                   |
| <input type="checkbox"/> Amended Preliminary Development Plan          | <input type="checkbox"/> Final Subdivision Plat Extension  | <input type="checkbox"/> Vacation-Easement                                |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat          | <input type="checkbox"/> Floodplain Permit                 | <input type="checkbox"/> Vacation-Street                                  |
| <input type="checkbox"/> Annexation Review                             | <input type="checkbox"/> Lot Split                         | <b>Board of Zoning Appeals</b>  |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement          | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment                  | <input type="checkbox"/> Preliminary Development Plan      | <input type="checkbox"/> Conditional Use Permit                           |
| <input type="checkbox"/> Concept Plan                                  | <input type="checkbox"/> Preliminary Dev Plan Extension    | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit                        | <input type="checkbox"/> Preliminary Sub Plat              | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Determination of Similar Use                  | <input type="checkbox"/> Preliminary Sub Plat Extension    |   |
| <input type="checkbox"/> Development Plan Exemption                    | <input type="checkbox"/> Rezoning                          |   |
| <input type="checkbox"/> Final Development Plan                        | <input type="checkbox"/> Subdivision Variance              |   |

Subdivision/Project Name Lantern Chase Phase 2 Section 6 Part 1 Address White Elm Drive

Acreage 11.974 Square Footage \_\_\_\_\_ Number of Lots 47 Number of Units \_\_\_\_\_

Zoning District/Land Use R-3 (old) Proposed Zoning/Land Use \_\_\_\_\_ Parcel # 51932001014003

Applicant Name M/I Homes Of Central Ohio, LLC Contact Person Jason Francis

Applicant Address 3 Easton Oval, Suite 340, Columbus, Ohio 43219

Phone 614.418.8023 Fax 614.418.8317 E-mail jfrancis@mihomes.com

Owner Name M/I Homes of Central Ohio, LLC Contact Person Jason Francis

Owner Address 3 Easton Oval, Suite 340, Columbus, Ohio 43219

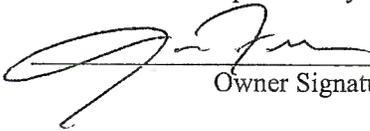
Phone 614.418.8023 Fax 614.418.8317 E-mail jfrancis@mihomes.com

Engineer/Architect/Attorney EMH&T Contact Person Matt Kirk

Address 5500 New Albany Road, Columbus, Ohio 43219

Phone 614.775.4131 Fax 614.775.4801 E-mail mkirk@emht.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

  
\_\_\_\_\_  
Owner Signature

Jason Francis  
\_\_\_\_\_  
Owner Printed Name

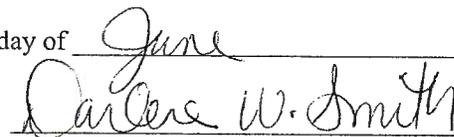
\_\_\_\_\_  
Agent Signature

\_\_\_\_\_  
Agent Printed Name

Sworn to before me and subscribed in my presence this 30<sup>th</sup> day of June, 2015



DARLENE W. SMITH  
NOTARY PUBLIC, STATE OF OHIO  
MY COMMISSION EXPIRES, JUNE 25, 2019

  
\_\_\_\_\_  
Notary Public



## FACT SHEET

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AGENDA ITEM NO: 25

DATE: 8/10/15

ORDINANCE NO: 15-83

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: NO

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TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN FOR STG DEVELOPMENT LTD FOR VILLAGE GATE APARTMENTS PHASE 2 CONSISTING OF 68 UNITS ON 6.8 ACRES ON PROPERTY ZONED R-6 (MULTI-FAMILY RESIDENTIAL DISTRICT) LOCATED NORTH OF BOWTOWN ROAD AND AT THE TERMINUS OF FERGUSON AVENUE JUST WEST OF THE EXISTING VILLAGE GATE APARTMENTS.

**BACKGROUND:**

In June 1998, City Council approved a Final Development Plan to develop a multi-family development on 22 acres with 220 dwelling units (Phase 1) and a portion of the development was constructed in 1999. In November 2003, City Council approved a Final Development Plan for 52 units on 9.661 acres and was subsequently constructed. Furthermore, in September 2004, City Council approved a Combined Preliminary and Final Development Plan for 68 units on 6.80 acres as Phase 2 of Village Gate Apartments to the west. This phase was never constructed and now the applicant is requesting Final Development Plan approval for Phase 2 again because the last approval has expired. Since 2004 when the Combined Preliminary and Final Development Plan was approved, engineering and zoning standards have been revised and the developer agreed with staff to upgrade the site plan to the extent possible to achieve compliance with the current standards.

Phase 2 would consist of 68 apartment units in six two story buildings with 147 parking spaces of which 35 parking spaces are located in three detached parking garages. The buildings and parking spaces would be double loaded on the single private road that connects Ferguson Avenue to the existing apartment complex along the southeastern portion of Phase 2. From the main entrance on Ferguson Avenue, a 30 foot right-of-way would be dedicated on the subject property along the northern property line and extend to the western property line per the City Engineer. A secondary access point would be located along the southeastern portion of Phase 2 where the private internal road connects with the existing Village Gate Apartments (Phase 1). A retention pond would be located in the central portion of the site along the eastern property line. An entrance gate would be located near Ferguson Avenue to continue the theme of a gated apartment complex. The 2010 City of Delaware Bikeway System Map indicates a proposed bike path along Bowtown Road which would be required to be constructed by the applicant per the City Engineer requirements. There are not any dedicated parks or open space in Phase 2 but there is a pool and clubhouse located in Phase 1 that serves the entire apartment complex which would achieve compliance with the zoning code for active open space.

**REASON WHY LEGISLATION IS NEEDED:**

N/A

**COMMITTEE RECOMMENDATION:**

Planning Commission approved this case 6-0 on August 5, 2015.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval as submitted with the documented conditions.

**ATTACHMENT(S)**

Staff report

ORDINANCE NO. 15-83

AN ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN FOR STG DEVELOPMENT LTD FOR VILLAGE GATE APARTMENTS PHASE 2 CONSISTING OF 68 UNITS ON 6.8 ACRES ON PROPERTY ZONED R-6 (MULTI-FAMILY RESIDENTIAL DISTRICT) LOCATED NORTH OF BOWTOWN ROAD AND AT THE TERMINUS OF FERGUSON AVENUE JUST WEST OF THE EXISTING VILLAGE GATE APARTMENTS.

WHEREAS, the Planning Commission at its meeting of August 5, 2015 recommended approval of a Final Development Plan for STG Development LTD for Village Gate Apartments Phase 2 consisting of 68 units on 6.8 acres on property zoned R-6 (Multi-Family Residential District) located north of Bowtown Road and at the terminus of Ferguson Avenue just west of the existing Village Gate Apartments (2015-0806), and

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

Section 1. That the a Final Development Plan for STG Development LTD for Village Gate Apartments Phase 2 consisting of 68 units on 6.8 acres on property zoned R-6 (Multi-Family Residential District) located north of Bowtown Road and at the terminus of Ferguson Avenue just west of the existing Village Gate Apartments and is hereby confirmed, approved, and accepted with the following conditions:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The building elevations shall match the existing apartment buildings as much as possible and the applicant shall submit all building elevations along with material and color samples for all building materials for staff review and approval prior to building permit approval.
3. A lighting plan shall be submitted, reviewed and approved by the Chief Building Official and achieve compliance with zoning code.
4. The dumpster enclosures shall be constructed of brick veneer to match the building and shall have wood doors.
5. The gated entrance gate adjacent to Ferguson Avenue shall comply with all fire department requirements.
6. The bike path along Bowtown Road shall be constructed per the City Engineer requirements.

7. From the main entrance on Ferguson Avenue, 30 feet of right-of-way shall be dedicated on the subject property along the northern property line and extend to the western property line.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS\_\_\_NAYS\_\_\_  
ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2015

YEAS\_\_\_ NAYS\_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR

CASE NUMBERS: 2015-0806  
REQUEST: Final Development Plan  
PROJECT: Village Gate Apartments Phase 2  
MEETING DATE: August 5, 2015

**APPLICANT & OWNERS**

STG Development  
536 South Wall Street, Suite 300  
Columbus, Ohio 43215

**REQUEST**

2015-0806: A request by STG Development LTD for approval of a Final Development Plan for Phase 2 of The Village Gate Apartments for 68 apartment units on 6.8 acres located north of Bowtown Road and at the terminus of Ferguson Avenue just west of the existing Village Gate Apartments on property zoned R-6 (Multi-Family Residential District).

**PROPERTY LOCATION & DESCRIPTION**

The subject parcel is located north of Bowtown Road and at the terminus of Ferguson Avenue just west of the existing Village Gate Apartments. The subject site is zoned R-6 as are properties to the north, south, east and west. A portion of the property to the north is in the township.

**BACKGROUND**

In June 1998, City Council approved a Final Development Plan to develop a multi-family development on 22 acres with 220 dwelling units (Phase 1) and a portion of the development was constructed in 1999. In November 2003, City Council approved a Final Development Plan for 52 units on 9.661 acres and was subsequently constructed. Furthermore, in September 2004, City Council approved a Combined Preliminary and Final Development Plan for 68 units on 6.80 acres as Phase 2 of Village Gate Apartments to the west. This phase was never constructed and now the applicant is requesting Final Development Plan approval for Phase 2 again because the last approval has expired. Since 2004 when the Combined Preliminary and Final Development Plan was approved, engineering and zoning standards have been revised and the developer agreed with staff to upgrade the site plan to the extent possible to achieve compliance with the current standards. Therefore, the Final Development Plan would reflect engineering and zoning revisions that would require Planning Commission and Council approval.

**STAFF ANALYSIS**

- **LAND USE:** The proposed multi-family development is consistent with the Comprehensive Plan recommendation for High Density Multi-Family land use in the "East Subarea" of the plan. The proposed density of 10 units per acres is equal to the 10 plus dwelling units per acre in the Comprehensive Plan.
- **ZONING:** With the site currently zoned R-6, the subject site would require Final Development Plan approval by the Planning Commission and City Council.
- **ENGINEERING** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **ACCESS:** The main entrance would be from extended Ferguson Avenue along the northern portion of the site. Ferguson Avenue (a public street) would have to be extended through the existing apartment property (Phase 1) to the main entrance in Phase 2. From the main entrance on Ferguson Avenue, a 30 foot right-of-way would be dedicated on the subject property along the northern property line and extend to the western property line per the City Engineer. A secondary access point would be located along the southeastern portion of Phase 2 where the private internal road connects with the existing Village Gate Apartments (Phase 1).
- **SITE LAYOUT:** Phase 2 would consist of 68 apartment units in six two story buildings with 147 parking spaces of which 35 parking spaces are located in three detached parking garages. The buildings and parking spaces would be double loaded on the single private road that connects Ferguson Avenue to the existing apartment complex along the southeastern portion of Phase 2. Six dumpsters would be scattered throughout the development. Staff recommends the dumpsters shall be enclosed by a brick wall to match the buildings and have wood doors. A retention pond would be located in the central portion of the site along the eastern

property line. An entrance gate would be located near Ferguson Avenue to continue the theme of a gated apartment complex and would need to be approved by the fire department.

- **ARCHITECTURE:** The applicant is proposing three 16 unit apartment buildings, two 6 unit apartment buildings and one 8 unit apartment building along with three detached parking garages. The front elevations of the 16 unit buildings are mostly vinyl siding (blue color) with some brick veneer while the rear and side elevations are all vinyl siding (yellow color) with pitched roofs. The 8 unit building front and rear elevations has brick veneer on the main gable entrances with vinyl siding on the remainder of the elevation (blue color) with pitched roofs. The six unit buildings front elevations are mostly vinyl siding (yellow color) with some brick veneer while the rear and side elevations area are all vinyl siding (yellow color) with pitched roofs. The garages are constructed of vinyl siding (blue color) with typical white garage doors with pitched roofs. The proposed building materials of the apartment buildings appear to match the existing buildings in Phase 1.
- **LANDSCAPING AND SCREENING:** The applicant submitted a landscape plan approved by the Shade Tree Commission on February 26, 2003 and more recently on May 26, 2015. The landscape plan consists of street trees along Ferguson Avenue, along with landscaping along the private access road, adjacent to each building and some perimeter buffering which all appear to achieve compliance with the minimum zoning requirements. A new black chain link fence would be installed along the property line of Phase 2 of the development for security reasons while the chain link fence between Phase 1 and 2 would be removed. The proposed landscaping appears to be consistent with the existing landscaping in Phase 1.
- **LIGHTING PLAN:** A lighting plan needs to be submitted, reviewed and approved by the Chief Building Official and would have to achieve compliance with the zoning code requirements.
- **PARKS/OPEN SPACE:** There are not any dedicated parks or open space in Phase 2 but there is a pool and clubhouse located in Phase 1 that serves the entire apartment complex which would achieve compliance with the zoning code for active open space.
- **PEDESTRIAN CONNECTIVITY:** The 2010 City of Delaware Bikeway System Map indicates a proposed bike path along Bowtown Road. Therefore the applicant shall be required to install the required path along Bowtown Road per the City Engineer requirements.

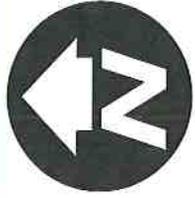
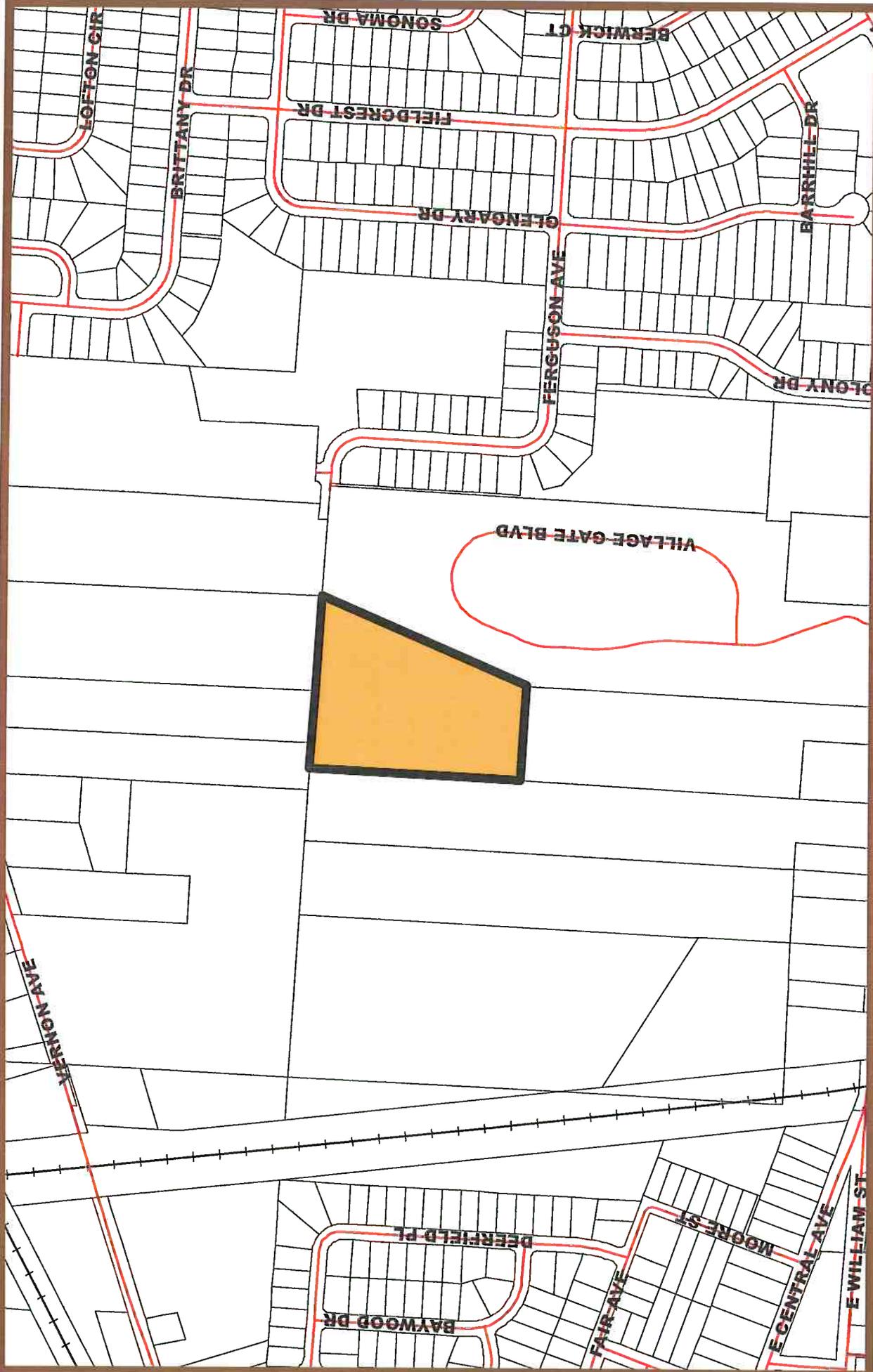
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**STAFF RECOMMENDATION – (2015-0806 FINAL DEVELOPMENT PLAN)**

Staff recommends approval of a request by STG Development LTD of a Final Development Plan for Phase 2 of The Village Gate Apartments for 68 apartment units on 6.8 acres located north of Bowtown Road and at the terminus of Ferguson Avenue just west of the existing Village Gate Apartments on property zoned R-6 (Multi-Family Residential District), with the following conditions that:

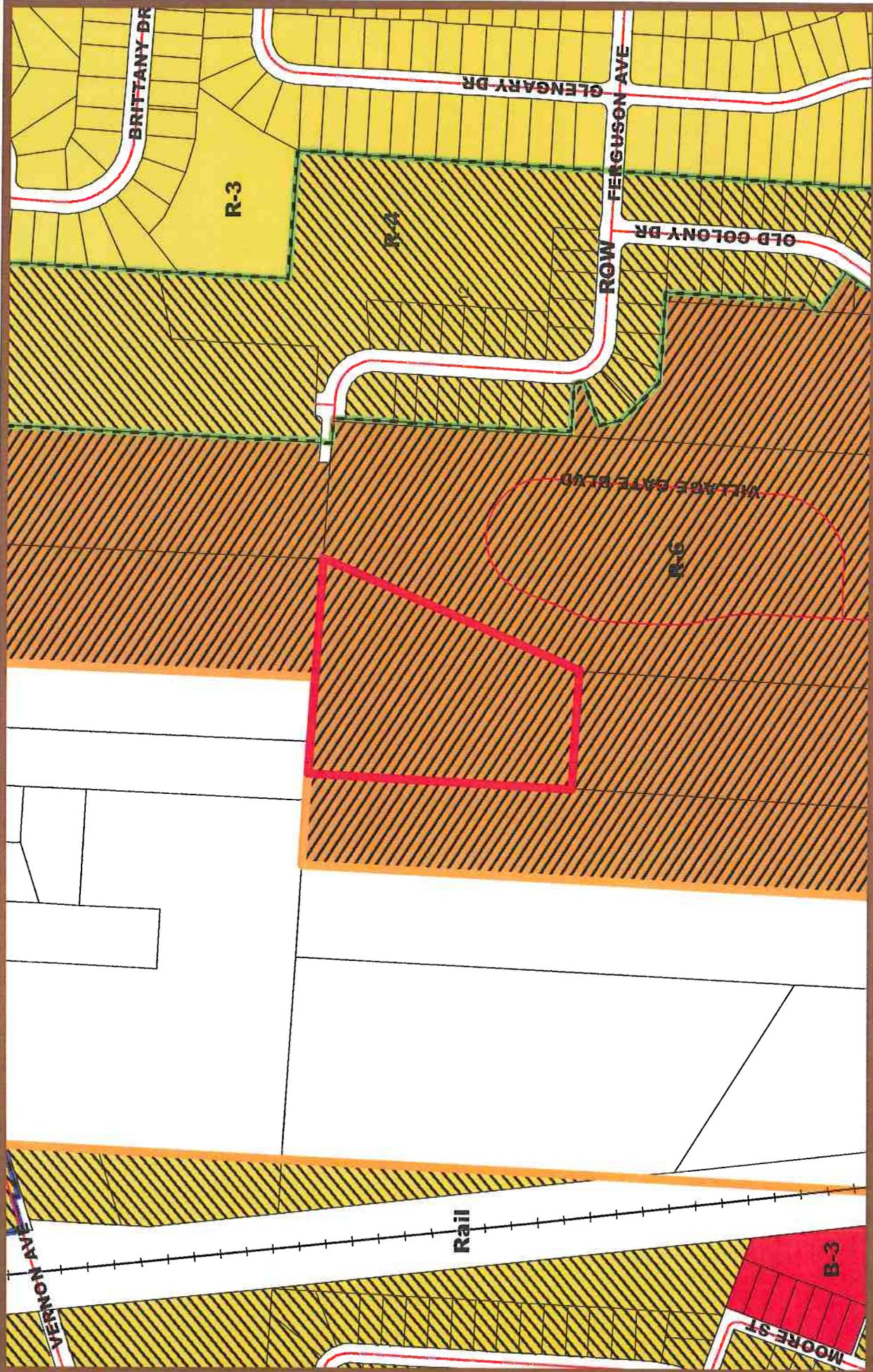
1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The building elevations shall match the existing apartment buildings as much as possible and the applicant shall submit all building elevations along with material and color samples for all building materials for staff review and approval prior to building permit approval.
3. A lighting plan shall be submitted, reviewed and approved by the Chief Building Official and achieve compliance with zoning code.
4. The dumpster enclosures shall be constructed of brick veneer to match the building and shall have wood doors.
5. The gated entrance gate adjacent to Ferguson Avenue shall comply with all fire department requirements.
6. The bike path along Bowtown Road shall be constructed per the City Engineer requirements.
7. From the main entrance on Ferguson Avenue, 30 feet of right-of-way shall be dedicated on the subject property along the northern property line and extend to the western property line.





2015-0806  
 Final Development Plan  
 The Village Gate Apartments Phase 2  
 Location Map





2015-0806  
 Final Development Plan  
 The Village Gate Apartments Phase 2  
 Zoning Map



2015-0806  
Final Development Plan  
The Village Gate Apartments Phase 2  
Aerial (2013)



FINAL DEVELOPMENT PLAN FOR:

# VILLAGE GATE AT DELAWARE ADDITION

CITY OF DELAWARE, DELAWARE COUNTY, OHIO

**DEVELOPER:**

SMITH TANDY GROUP  
536 SOUTH WALL STREET, SUITE 300  
COLUMBUS, OH 43215  
PH: (614) 224-9255  
FX: (614) 224-9258

**CIVIL ENGINEER:**

THE KLEINGERS GROUP  
350 WORTHINGTON ROAD, SUITE B  
WESTERVILLE, OHIO 43082  
PH: (614) 882-4311  
FX: (614) 882-4479

**APPROVED BY:**

CITY OF DELAWARE, OHIO

DANIELA P. LAND, ACP DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT	DATE
WILLIAM L. PERDUE, P.E., C.E.P. OHIO REGISTERED PROFESSIONAL ENGINEER NO. 54622	DATE
WILLIAM L. PERDUE, P.E., C.E.P. OHIO REGISTERED PROFESSIONAL ENGINEER NO. 51028	DATE
BRAD STANON DIRECTOR OF PUBLIC UTILITIES	DATE

APPROVAL OF THESE PLANS DOES NOT CONSTITUTE ASSURANCE TO THE CITY OF DELAWARE. THE CITY ENGINEER DOES NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF THE PLANS.

**DESCRIPTION**

THE PROPOSED ADDITION TO THE VILLAGE GATE AT DELAWARE APARTMENTS WILL CONSIST OF 88 NEW APARTMENT UNITS LOCATED WEST OF THE EXISTING VILLAGE GATE AT DELAWARE APARTMENTS. THE PROPOSED DEVELOPMENT WILL CONSIST OF 88 NEW APARTMENT OWELING UNITS INCLUDING THE STORM SEWERS, SANITARY SEWERS AND OTHER RELATED UTILITIES.

**PROJECT BENCHMARK**

THE BENCHMARK IS A CONCRETE DUMPSTER PAD AT SOUTHEAST CORNER OF THE SITE.  
ELEVATION: 232.10 (NAVD. 83)  
DATE: 11/15/2011  
BY: BRAD STANON, CIVIL ENGINEER  
LOCATION: 15355 MONUMENT AVE. BRASS PLATE LOCATED NEAR THE INTERSECTION OF US 302 & 37 AND BOWTOWN ROAD.  
ELEVATION: 232.10 (NAVD. 83)

**FLOOD DESCRIPTION**

PROPOSED SITE IS LOCATED IN ZONE X ON FEMA MAP NUMBER 33041C0118K, DATED APRIL 15, 2006.

**ZONING**

THE PROPERTY IS LOCATED WEST OF THE EXISTING VILLAGE GATE AT DELAWARE APARTMENTS. THE ZONING OF THE SITE IS R2 (MULTI-FAMILY RESIDENTIAL). THE SURROUNDING ZONINGS ARE A1 (DISTRICT, B3 (DISTRICT) AND R3 (DISTRICT).

**UTILITY COMPANIES:**

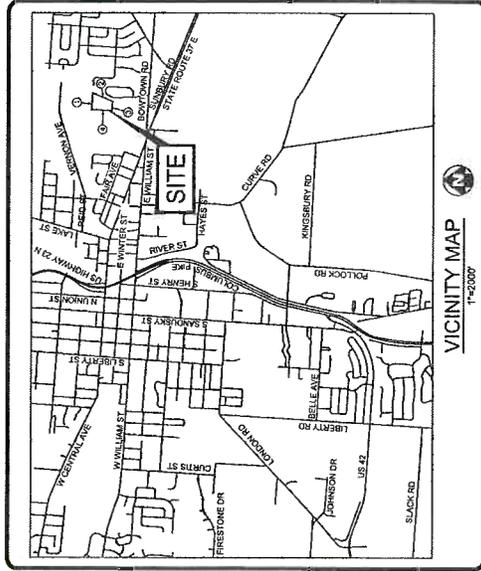
- AMERICAN ELECTRIC POWER (AEP)  
500 TECH CENTER DRIVE  
SHAWANA, OH 43228  
ATTN: RAY MAURER  
614-461-5282
- CONSOLIDATED ELECTRIC  
10000 STATE STREET  
DELAWARE, OH 43015  
ATTN: VIVIAN CURRY  
740-3860704
- FIRSTENERGY (OHIO Edison COMPANY)  
10000 STATE STREET  
ANSON, OH 44203  
800-533-4759
- COLUMBIA GAS  
10000 STATE STREET  
COLUMBUS, OH 43222  
603-344-6077
- VERIDON  
120 RAVINE STREET  
AKRON, OH 44303  
ATTN: JEFFREY WEST  
330-263-5207

**INFRASTRUCTURE OWNERSHIP CHART**

INFRASTRUCTURE ITEM	PUBLIC	PRIVATE	COMMENTS
SANITARY SEWER	X		PRIVATE MAIN SANITARY SERVICE
STORM SEWER	X		CRISTE STORM SEWER SYSTEM TO OUTLET TO THE EAST
WATERS	X		WATER SERVICE
STREETS	X		EXCEPT DRIVE APRON IN NEW DEVELOPMENT

NOTE: THE CITY RESERVES THE RIGHT TO ENLARGE ALL INFRASTRUCTURE IS PROPOSED TO BE CONSTRUCTED AND INSTALLED, REGARDLESS OF OWNERSHIP.

33.0 ACRES	1.12 ACRES	1.12 ACRES	1.12 ACRES	1.12 ACRES	1.12 ACRES
26.33 ACRES	1.12 ACRES				
26.33 ACRES	1.12 ACRES				
26.33 ACRES	1.12 ACRES				
26.33 ACRES	1.12 ACRES				
26.33 ACRES	1.12 ACRES				



**BOUNDARY DATA**

LINE #	BEARINGS	DISTANCE
1	S 87°00'11" E	551.86'
2	S 27°29'34" W	726.44'
3	N 80°10'28" W	305.06'
4	N 03°11'03" E	692.22'

**DRAWING INDEX**

TITLE SHEET	1
SITE PLAN	2
GRADING PLAN	3



**VILLAGE GATE OF DELAWARE ADDITION**  
CITY OF DELAWARE, DELAWARE COUNTY, OHIO

PROJECT NO: 2011-001  
DATE: 11/15/2011  
SCALE: AS SHOWN

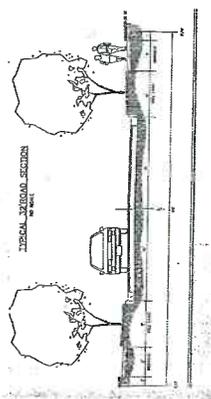
SHEET NAME: FINAL DEVELOPMENT PLAN  
TITLE SHEET  
SHEET NO: 1/3

C:\Users\jlp\Documents\Projects\2011\2011-001\2011-001-Final Development Plan\2011-001-Final Development Plan.dwg, 5/15/2011 11:08:22 AM, 0/0/0









APPROVED  
 FEB 13 2003  
 CHAIRMAN, SHADE TREE COMMISSION

APPROVED  
 FEB 13 2003  
 CHAIRMAN, SHADE TREE COMMISSION



VILLAGE GATE AT DELAWARE

PHASE TWO OVERALL LANDSCAPE PLAN

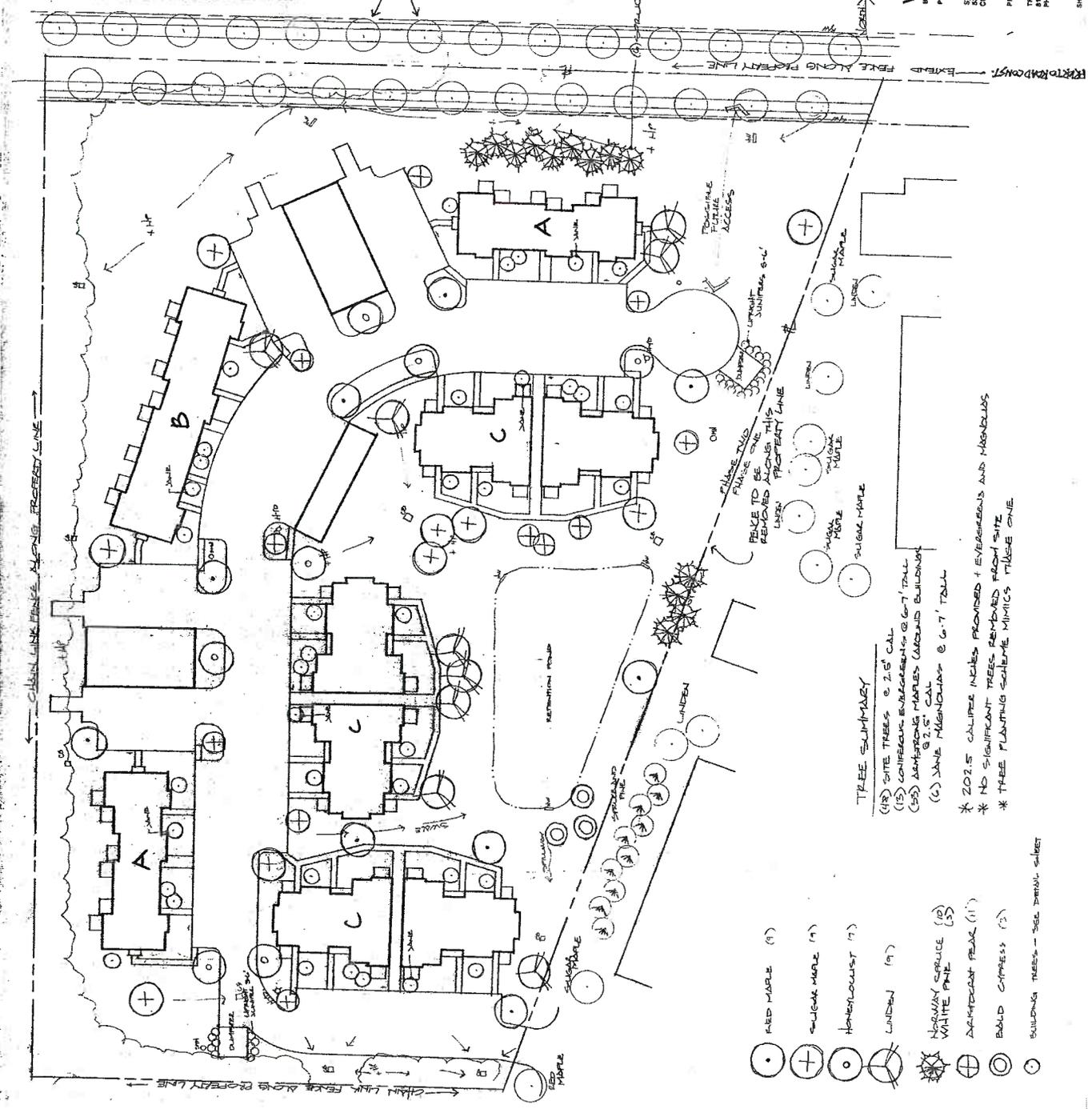
STO BRIDGE COMPANY, INC.  
 528 S. WALL ST., STE. 300  
 COLUMBUS, OH 43215

PREPARED BY:

THE MAQUA COMPANY, INC.  
 8701 CORPORATE BLVD. PLAIN CITY, OH 43084  
 PH: (614) 973-4007, F: (614) 973-0044

SHEET ONE OF TWO

JANUARY 31, 2003



- (A) RED MAPLE (9)
- (B) SUGAR MAPLE (7)
- (C) HORNLOCKST (7)
- (D) LINDEN (9)
- (E) NORWAY SPRUCE (10)
- (F) WHITE PINE
- (G) AMERICAN PEAR (11)
- (H) BOLD CYPRESS (2)
- (I) BUILDING TREES - SEE DETAIL SHEET

TREE SUMMARY

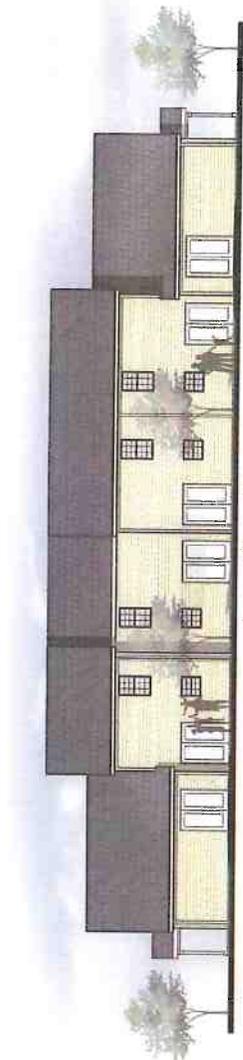
- (14) SITE TREES @ 2.5' CAL
- (15) CONIFEROUS EVERGREENS @ 6-7' TALL
- (16) AMERICAN MAPLES (LACINUS BUILDING)
- (17) JUNE MAGNOLIAS @ 6-7' TALL

\* 20.15 CALIPER INCHES PROVIDED + EVERGREENS AND MAGNOLIAS  
 \* NO SIGNIFICANT TREES REMOVED FROM SITE  
 \* TREE PLANTING SCHEME MIMICS THOSE ON

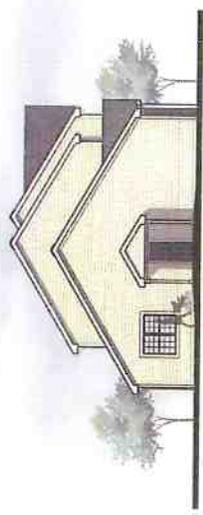
PLEASE REMOVE THIS FENCE ALONG THIS PROPERTY LINE



**Front Elevation**



**Rear Elevation**



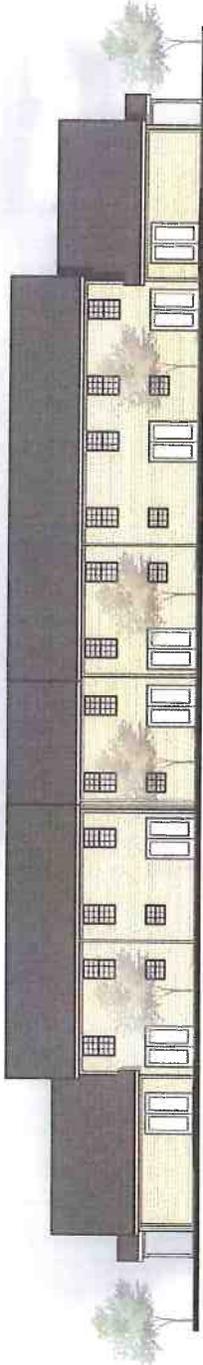
**Side Elevation**

**MATERIALS KEY**

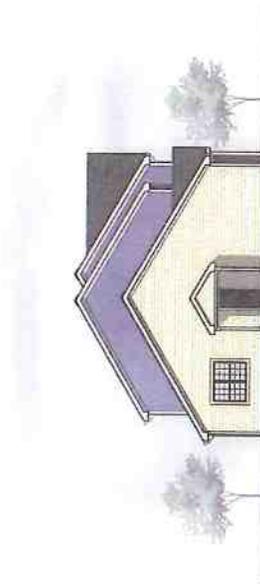
- Exterior Portfolio Vinyl by Crane  
Color: Wheat
- Exterior Portfolio Vinyl by Crane  
Color: Wheat
- Exterior Portfolio Vinyl by Crane  
Color: Wheat
- Bobrick 550 Brick Veneer
- Atlas Pinnacle Roof Sheathing



Front Elevation



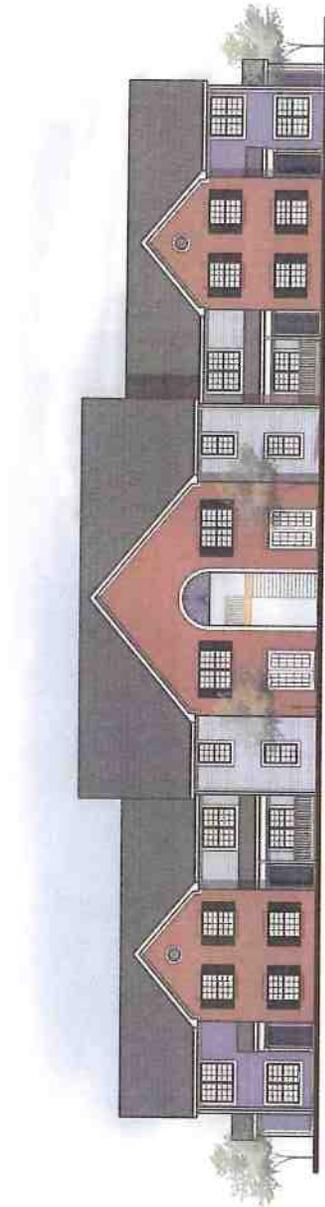
Rear Elevation



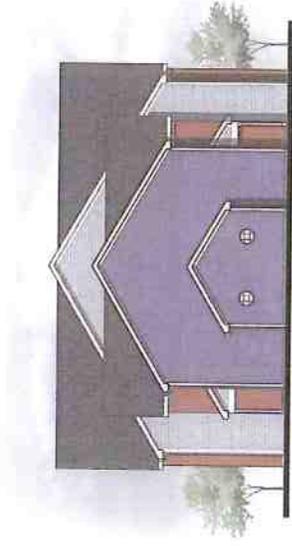
Side Elevation

**MATERIALS KEY**

- Exterior Portfolio Vinyl by Crane  
Color: Wheat
- Exterior Portfolio Vinyl by Crane  
Color: Wheat
- Exterior Portfolio Vinyl by Crane  
Color: Wheat
- Robrick 550 Brick Veneer
- Atlas Pinnacle Roof Sheathing



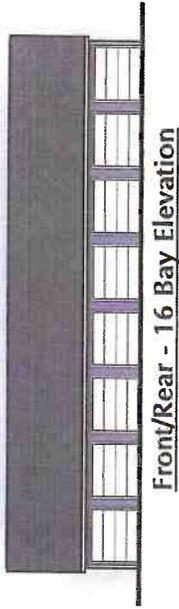
**Front and Rear Elevation**



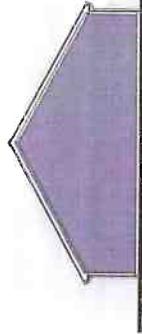
**Side Elevation**

**MATERIALS KEY**

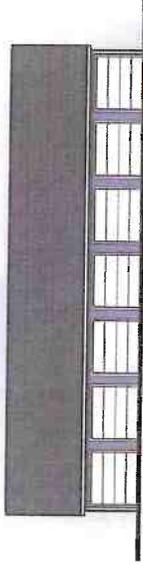
- Exterior Portfolio Vinyl by Crane  
Color: Wheat
- Exterior Portfolio Vinyl by Crane  
Color: Wheat
- Exterior Portfolio Vinyl by Crane  
Color: Wheat
- Bohrick 550 Brick Veneer
- Atlas Pinnacle Roof Sheathing



Front/Rear - 16 Bay Elevation



Side - 16 Bay Elevation



Front/Rear - 14 Bay Elevation



Side - 14 Bay Elevation



Front - 7 Bay Elevation



Rear - 7 Bay Elevation

**MATERIALS KEY**

-  Exterior Porifolia Vinyl by Crane  
Color: Wheat
-  Exterior Porifolia Vinyl by Crane  
Color: Wheat
-  Exterior Porifolia Vinyl by Crane  
Color: Wheat
-  Babrick 550 Brick Veneer
-  Atlas Pinnacle Roof Sheathing



Side - 7 Bay Elevation

Catalog Number	
Notes	Type

## FEATURES & SPECIFICATIONS

**INTENDED USE** — Round tapered direct bury (embedded) fiberglass general purpose pole for up to 35 foot mounting heights.

**CONSTRUCTION** — Reinforced composite shaft incorporating "E" type fiberglass and pigmented, UV inhibiting, thermosetting polyester resin. Shaft is painted with a polyurethane top coat providing a minimum 1.5 dry film thickness and smooth surface finish.

An oval, non-metallic, 2-1/2" x 5" handhole secured with a vandal resistant, stainless steel 1/4" socket head screw. Top cap provided with all drill-mount poles. Fasteners are high-strength galvanized, zinc-plated or stainless steel.

**FINISH** — Must specify finish.

Direct Burial

# RTFDB

ROUND TAPERED FIBERGLASS, DIRECT BURIAL

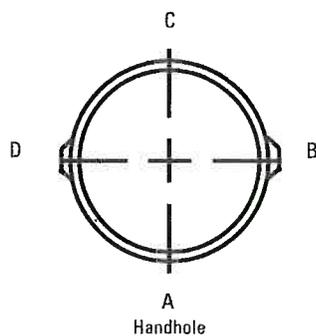
## ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: RTFDB 18 6X DM19 DDB

Series	Nominal fixture mounting height	Nominal shaft base size/wall thickness	Mounting <sup>1</sup>	Options	Finish <sup>7</sup>
RTFDB	14 - 35 feet (See back page.)	(See back page.)	<u>Tenon mounting</u> PT Open top T20 2-3/8" O.D. (2" NPS) T25 2-7/8" O.D. (2-1/2" NPS) <u>Drill mounting<sup>2</sup></u> DM19 1 at 90° DM28 2 at 180° DM28PL 2 at 180° with one side plugged DM29 2 at 90° DM32 3 at 120° DM39 3 at 90° DM49 4 at 90° <u>AERIS™/DMERO™ Drill mounting<sup>2</sup></u> DM19AS 1 at 90° DM28AS 2 at 180° DM29AS 2 at 90° DM32AS 3 at 120° DM39AS 3 at 90° DM49AS 4 at 90° <u>AERIS™ Suspend drill mounting<sup>2,4</sup></u> DM19AST_ 1 at 90° DM28AST_ 2 at 180° DM29AST_ 2 at 90° DM32AST_ 3 at 120° DM39AST_ 3 at 90° DM49AST_ 4 at 90° <u>DMERO™ Suspend drill mounting<sup>2,4</sup></u> DM19MRT_ 1 at 90° DM28MRT_ 2 at 180° DM29MRT_ 2 at 90° DM32MRT_ 3 at 120° DM39MRT_ 3 at 90° DM49MRT_ 4 at 90°	<u>Shipped installed</u> TP Tamper proof H1-18Fxx Horizontal arm bracket (1 fixture) <sup>3,5</sup> FDLxx Festoon outlet less electrical <sup>3</sup> CPL12xx 1/2" coupling <sup>3</sup> CPL34xx 3/4" coupling <sup>3</sup> CPL1xx 1" coupling <sup>3</sup> NPL12xx 1/2" threaded nipple <sup>3</sup> NPL34xx 3/4" threaded nipple <sup>3</sup> NPL1xx 1" threaded nipple <sup>3</sup> EHHxx Extra handhole <sup>3,6</sup>	<u>Standard colors</u> DDB Dark bronze DWH White DBL Black DMB Medium bronze DNA Natural aluminum <u>Classic colors</u> DSS Sandstone DGC Charcoal gray DTG Tennis green DBR Bright red DSB Steel blue <u>Architectural colors</u> (powder finish) <sup>7</sup>

### HANDHELD ORIENTATION



#### NOTES:

- When ordering tenon mounting and drill mounting for the same pole, follow this example: DM28/T20. The combination includes a required extra handhole.
- The drilling template to be used for a particular luminaire depends on the luminaire that is used. Refer to the Technical Data Section of the Outdoor Binder for Drilling Templates.
- Specify location and orientation when ordering option. For 1st "x": Specify the height in feet above base of pole. Example: 5ft = 5 and 20ft = 20  
For 2nd "x": Specify orientation from handhole (A,B,C,D) Refer to the Handhole Orientation diagram on this page.
- Insert "1" or "2" to designated fixture size; e.g. DM19AST2.
- Horizontal arm is 18" x 2-3/8" O.D. tenon standard and includes extra handhole.
- Combination of tenon-top and drill mount includes extra handhole.
- Finish must be specified. Additional colors available; see [www.lithonia.com/archcolors](http://www.lithonia.com/archcolors) or Architectural Colors brochure (Form No. 794.3).

#### IMPORTANT INSTALLATION NOTES:

- Do not erect poles without having fixtures installed.
- If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage.
- Lithonia Lighting is not responsible for the foundation design.

**1843 CARSON CITY SERIES****SPECIFICATIONS****LIST NO. 1843  
CARSON CITY  
SERIES**

**Frosted Glass Hurricane Chimney (FHC)** is an optic option which adds an authentic touch and can be used with Roof Optics.

**House Side Shield (HSS)** is an option which will block up to 120° of light in any one direction.

**3-Light (3L)** candelabra set is an option for incandescent application.

**QUARTZ RE-STRIKE**

The 1843 fixture can be supplied with an optional quartz re-strike system to retain constant fixture light if the H.I.D. lamp fails. The fixture will be equipped with a 100 watt quartz lamp and a controller to run on a 120 volt circuit and must be used in conjunction with a 120 volt or multi-tap ballast.

**PHOTOCELLS**

Photocells shall be either the thermo bi-metal button type or the electronic button type. On single post top fixtures the photocell shall be mounted in the fitter and pre-wired to ballast. On multiple head fixture assemblies photocells shall be mounted in the pole shaft on an access plate and are not pre-wired as ballast housing assemblies and fitters are packaged separately for ease of wiring to source. The thermo bi-metal photocell shall be designed to turn on at 1.0 footcandle and turn off at not more than 5 footcandles. The electronic button type photocell is instant on and a 5-10 second turn off and shall turn on at 1.5 footcandles with a turn-off at 2-3 footcandles. Photocells are either 120 volt or 208 thru 277 volt.

**ARMS**

All arms are made of cast aluminum and/or extruded aluminum. Arms with decorative filigree have meticulously detailed scroll work and gracefully curved brackets. All 1843 fixtures will have its fitter either welded to the arm or will be mechanically attached at the factory to ensure arms will be plumb, secure and level over the life of the installation. Each arm shall be bolted to a post mount adapter, which is welded to the pole to ensure proper alignment to the base. Twin TA, TASCAR and 579 arms will be attached to a decorative center hub which will slip-fit the center tenon of the pole (not shown). BA and 779 arms are available as a twin application. Arms are pre-wired for ease of installation.

**FINISH**

Prior to coating, each assembly shall be chemically cleaned and etched in a 5-stage washing system which includes alkaline cleaning, rinsing, phosphoric etching, reverse osmosis water rinsing, and non-chrome sealing to ensure corrosion resistance and excellent adhesion for the finish coating. The finish coating shall be electrostatically applied semi-gloss, super durable polyester powder baked at 400 degrees for a durable and superior, color retentive finish. Our optional antique Verde Green finish and Swedish Iron finish are hand brushed using a 3-step process. The total assembly shall be wrapped in shockproof wrapping or fully enclosed in corrugated cartons.

**WARRANTY**

Five-year limited warranty. See product and finish warranty guide for details.



# 1843 LED CARSON CITY SERIES

# SPECIFICATIONS

## LUMINAIRE DESIGN

- The 1843 LED Carson City series is large scale, traditionally styled colonial fixture featuring a tapered four-sided cage and roof.
- The four-paneled roof shall be appointed with a decorative cast aluminum finial.
- The luminaire shall measure 18 1/4" wide and 41 3/4" tall.
- The luminaire shall have a hinged roof for easy inside access.
- The luminaire shall be supplied with line-ground, line-neutral and neutral-ground electrical surge protection in accordance with IEEE/ANSI C62.41.2 guidelines.
- The luminaire shall be U.L. or E.T.L. listed in U.S. and Canada.

## POST FITTER

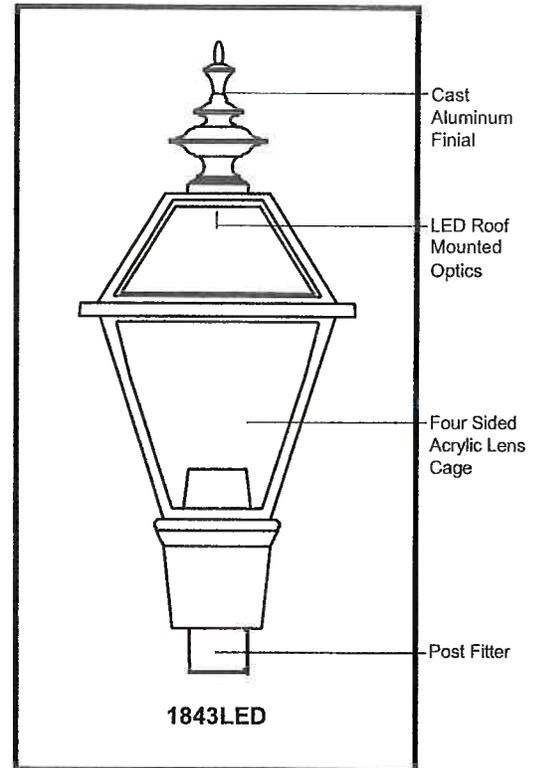
- The fitter or base shall be heavy wall cast aluminum, alloy for high tensile strength.
- The fitter shall have an inside diameter opening to accept a 3" diameter pole or tenon. When ordered with a Sternberg aluminum pole, the fitter shall be secured to the pole top or tenon with set screws.

## DRIVER HOUSING

- The LED driver housing shall be heavy wall cast aluminum for high tensile strength.
- The LED driver shall be attached to the driver housing to ensure high capacity heat sinking of driver thermals, keeping the driver cooler and ensuring long life.
- The LED driver shall be supplied with a quick-disconnect electrical connector on the power supply, providing an easy power connection.

## LIGHT SOURCES

- The luminaire shall use high output, high brightness LEDs.
- The LEDs shall be mounted in arrays, on printed circuit boards designed to maximize heat transfer to the heat sink surface.
- The LED arrays shall be mounted to minimize up-light.
- The LEDs shall be attached to the printed circuit board with not less than 90% pure silver to insure optimal electrical and thermal conductivity.
- The LEDs and printed circuit boards shall be protected from moisture and corrosion by a conformal coating of 1 to 3 mils.
- The LEDs and printed circuit board construction shall be environmentally friendly and 100% recyclable. They shall not contain lead, mercury or any other hazardous substances and shall be RoHS compliant.
- The LED life rating shall be determined in accordance with IESNA LM-80.

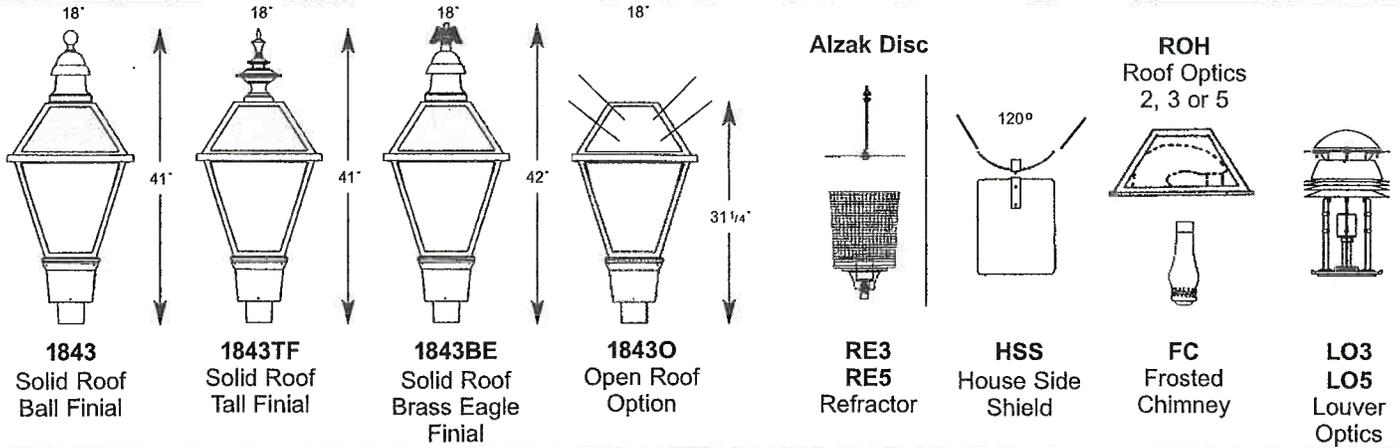


EPA = 3.77 (ft<sup>2</sup>)  
WEIGHT = 55 LBS

**1843 CARSON CITY**

**FIXTURES/ARMS PM-WB**

**FIXTURES / OPTICAL SYSTEMS**

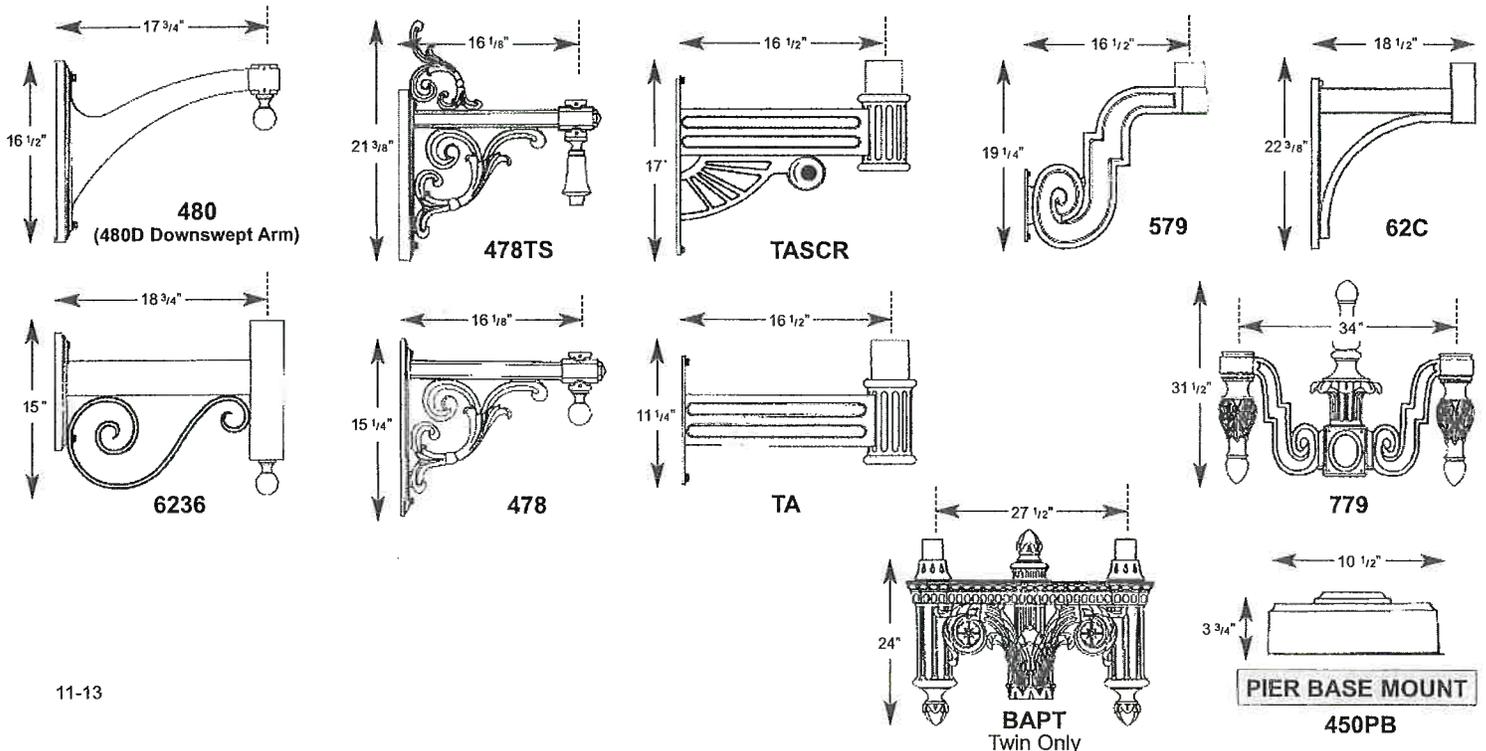


**LENSES**



**ARMS - POST MOUNT (PM) or WALL BRACKETS (WB)**

See Arms Section for more information



**1843 LED CARSON CITY SERIES****SPECIFICATIONS**

**LIST NO.**  
**1843 LED**  
**CARSON CITY**  
**SERIES**

**ELECTRONIC DRIVER**

- The driver shall be U.L. or E.T.L. Recognized
- The driver shall have overload as well as short circuit protection.
- The driver shall be a DC voltage output, constant current design, 50/60HZ.
- The driver shall have a minimum efficiency of 90%.
- The driver shall be rated at full load with THD<20% and a power factor of greater than 0.90.
- The driver shall contain over-heat protection which reduces output to less than half rating if the case temperature reaches 85°C.

**LUMINAIRIE HOUSING**

- The luminaire shall be made of heavy wall cast aluminum alloy.
- The luminaire shall be provided with a cast aluminum roof with optimized heat sinks to provide maximum life and performance for the LED light sources.
- The lens panels shall be made of vandal resistant, clear seeded acrylic (CSA). Available in optional clear textured acrylic (CTA), prismatic acrylic (PA) or white acrylic (WA).

**ARMS**

- The arms shall be cast aluminum and /or extruded aluminum.
- Arms with decorative filigree shall have meticulously detailed scroll work and gracefully curved brackets.
- The arms shall be pre-wired for ease of installation.
- The arms shall be bolted to a post mount adaptor which is welded to the pole to ensure proper alignment to the base.
- (Twin TA and Twin 579 arms) The arms shall be attached to a decorative center hub which will fit the center tenon of the pole (not shown).

**PHOTOCELL OPTIONS****Electronic Button Cell Option**

- Photocells shall electronic button type.
- On single or multi-fixture poles, the photocell shall be mounted in the pole shaft on an access plate.

The photocell is not pre-wired since driver are mounted in the fitters and packaged separately.

- The photocell shall turn on at 1.5 foot-candle and turn off 5-10 seconds at no more than 2-3 foot-candles.
- The photocell is 120-277 volt.



# BUILDING A PART NUMBER

## POST & ARM FIXTURES

ARM MOUNTED FIXTURE      CENTER POST TOP FIXTURE (PT)      POST      POST CAP      LIGHT SOURCE      DRIVER      LENS      OPTIONS      FINISH

NO. OF ARMS      FIXTURE/POSTARM      ACORN / FITTER (See Post Section)

□ — □ / 1843LED PT / 3610FP4 / □ / 16A1R45T5 / ML / CSA / PEC / BKT



## WALL FIXTURES

FIXTURE/WALLBRACKET      LIGHT SOURCE      DRIVER      LENS      OPTIONS      FINISH

1843LEDTF/480WB / 6A1R45T5 / ML / CSA / PEC / BKT



**PIER BASE**  
Uses same information boxes as wall fixture

1843LEDBE/450PB

FIXTURE / PIER MOUNT

## PART NUMBER SELECTIONS

### FIXTURES

- 1843LED
- 1843LEDBE
- 1843LEDTF

### LENSES

- CSA
- CTA
- PA
- WA

### DRIVERS

- ML - 120-277
- MH - 347-480
- MDL - Dimming 120-277
- MDH - Dimming 347-480

### POST ARMS

- 478PM
- 478TSPM
- 480PM
- 480DPM
- 62CPM
- 6236PM
- 579PT
- TAPT
- TASCRIPT
- 779PT
- BAPT  
Twin Only

### HANGING TYPE

- CH44
- SH44

### WALL BRACKET ARMS

- 478WB
- 478TSWB
- 480WB
- 480DWB
- 62CWB
- 6236WB
- 579WB
- TAWB
- TASCRTWB

### PIER BASE

- 450PB

### LIGHT SOURCES T5

- 10A1R60T5  
189W, 6000K  
Type V Optics
- 10A1R45T5  
189W, 4500K  
Type V Optics
- 10A1R35T5  
189W, 3500K  
Type V Optics

- 6A1R60T5  
125W, 6000K  
Type V Optics
- 6A1R45T5  
125W, 4500K  
Type V Optics
- 6A1R35T5  
125W, 3500K  
Type V Optics

- 6ARC60T5  
97W, 6000K  
Type V Optics
- 6ARC45T5  
97W, 4500K  
Type V Optics
- 6ARC35T5  
97W, 3500K  
Type V Optics

- 4ARC60T5  
66W, 6000K  
Type V Optics
- 4ARC45T5  
66W, 4500K  
Type V Optics
- 4ARC35T5  
66W, 3500K  
Type V Optics

- 3ARC60T5  
52W, 6000K  
Type V Optics
- 3ARC45T5  
52W, 4500K  
Type V Optics
- 3ARC35T5  
52W, 3500K  
Type V Optics

### LIGHT SOURCES T3

- 10A1R60T3  
189W, 6000K  
Type III Optics
- 10A1R45T3  
189W, 4500K  
Type III Optics
- 10A1R35T3  
189W, 3500K  
Type III Optics

- 6A1R60T3  
125W, 6000K  
Type III Optics
- 6A1R45T3  
125W, 4500K  
Type III Optics
- 6A1R35T3  
125W, 3500K  
Type III Optics

- 6ARC60T3  
97W, 6000K  
Type III Optics
- 6ARC45T3  
97W, 4500K  
Type III Optics
- 6ARC35T3  
97W, 3500K  
Type III Optics

- 4ARC60T3  
66W, 6000K  
Type III Optics
- 4ARC45T3  
66W, 4500K  
Type III Optics
- 4ARC35T3  
66W, 3500K  
Type III Optics

- 3ARC60T3  
52W, 6000K  
Type III Optics
- 3ARC45T3  
52W, 4500K  
Type III Optics
- 3ARC35T3  
52W, 3500K  
Type III Optics

### STANDARD FINISHES\*

- BKT Black Textured
- WHT White Textured
- PGT Park Green Textured
- ABZT Architectural Medium Bronze Textured
- DBT Dark Bronze Textured

\*Smooth Finishes are available upon request

### CUSTOM FINISHES

- OI Old Iron
- RT Rust
- WBR Weathered Brown
- CD Cedar
- WBK Weathered Black
- TT Two Tone

### STERNBERG SELECT FINISHES

- VG Verde Green
- SI Swedish Iron
- OWGT Old World Gray Textured

### OPTIONS

- PEC Photocell-Electronic 120-277 Volt
- FHC Frosted Chimney (Not Lighted)
- FHD Dual Fuse and Holder-208, 240, 480 Volt
- BE Brass Eagle Finial
- BF Ball Finial or Font (TA, TASCRT)
- TF Tall Finial
- HL Hi-Low operation\*

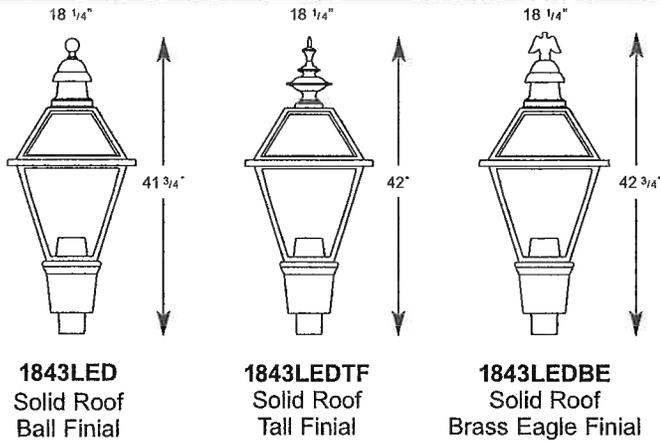
\*Not available on 3ARC

**1843 LED CARSON CITY**

**FIXTURES / FITTERS / ARMS PM - WB**

**FIXTURES**

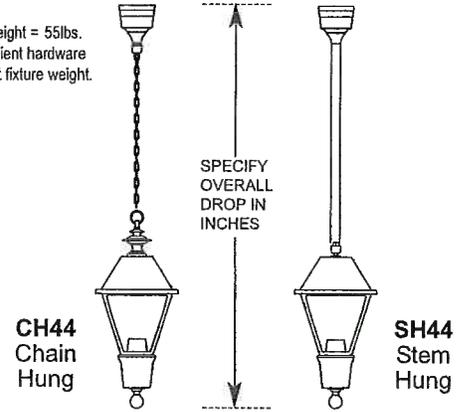
**HANGING BRACKETS\***



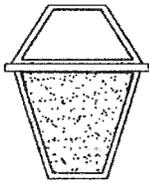
\*NOTE:  
Fixture weight = 55lbs.  
Use sufficient hardware  
to support fixture weight.



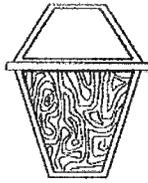
**FHC**  
Frosted  
Chimney



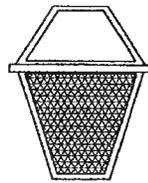
**LENSES**



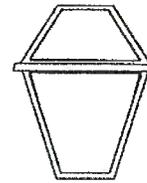
**CSA**  
Clear  
Seeded  
Acrylic



**CTA**  
Clear  
Textured  
Acrylic



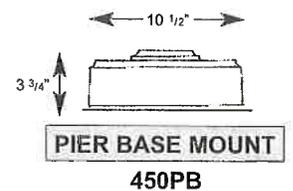
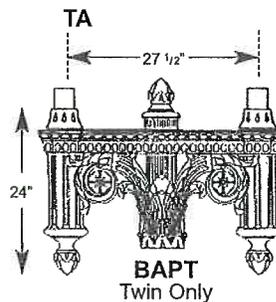
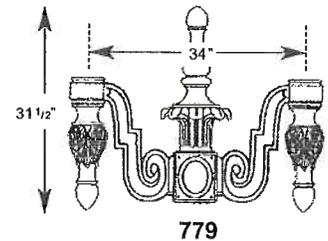
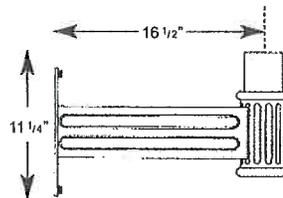
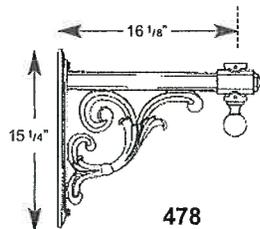
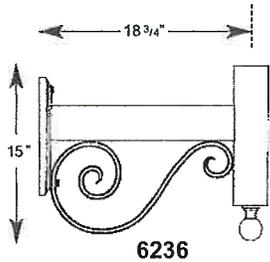
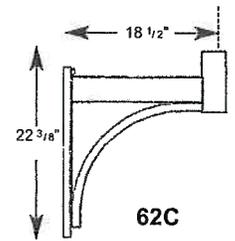
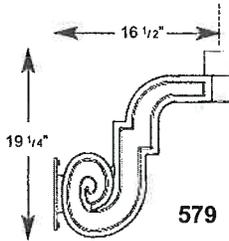
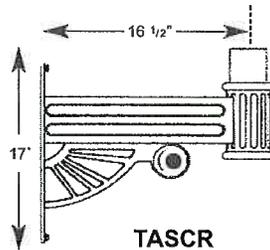
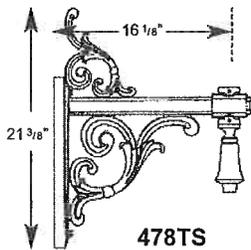
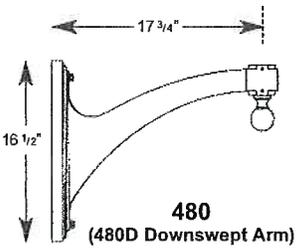
**PA**  
Prismatic  
Acrylic



**WA**  
White  
Acrylic

**ARMS - POST MOUNT (PM) or WALL BRACKETS (WB)**

See Arms Section for more information



## 1843 LED CARSON CITY SERIES

## SPECIFICATIONS

LIST NO.  
1843 LED  
CARSON CITY  
SERIES

**FINISH**

- Prior to coating, the luminaire shall be chemically cleaned and etched in a 5-stage washing system which includes alkaline cleaning, rinsing, phosphoric etching, reverse-osmosis water rinsing and non-chrome sealing to ensure corrosion resistance and excellent adhesion for the finish coat.
- The finish coat shall be an electrostatically applied semi-gloss, super durable polyester powder coat, baked on at 400°F, to provide a durable, color retentive finish.
- \*The optional \_\_\_\_\_ (Verde Green or Swedish Iron) finish shall be hand-brushed using a 3-step process. \* (OPTION)

**WARRANTY**

- The luminaire shall be free from all defects in materials and workmanship for a period of seven (7) years from the date of manufacture.
- The luminaire manufacturer shall warrant the LED boards/system, during the stated warranty period, against failure defined as more than three (3) simultaneous non-operating LEDs.
- The driver shall be warranted for seven (7) years.

**1843 CARSON CITY SERIES**

**SPECIFICATIONS**

**GENERAL**

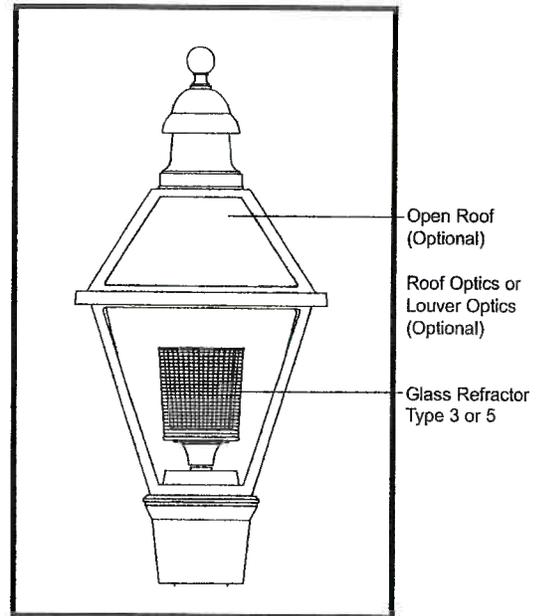
The 1843 Carson City series is large scale, traditionally styled colonial fixture featuring a tapered four-sided cage and roof. The four-paneled roof shall be appointed with a decorative cast aluminum finial.

**FITTER**

The fitter or base shall be heavy wall cast aluminum, 356 alloy for high tensile strength. It shall have an inside diameter opening to accept a 3" diameter pole or tenon. When ordered with a Sternberg aluminum pole, the fitter shall be set screwed to the pole top or tenon.

**BALLAST HOUSING**

The ballast housing shall be heavy wall cast aluminum, 356 alloy for high tensile strength. The housing shall be mounted cast in one piece to the fitter to ensure a water-tight compartment. The ballast shall be attached to the ballast housing to ensure high capacity heat sinking of ballast temperatures, keeping the ballast cooler and ensuring long life. The ballast shall be mounted on a pull out door for easy ballast maintenance.



**EPA = 3.77 (ft<sup>2</sup>)  
WEIGHT = 40 LBS**

**ELECTRICAL**

Fixture shall be U.L. or E.T.L. listed in U.S. and Canada. H.I.D. ballasts shall be high power factor with lamp starting down to -30 degrees C. Medium base and mogul base porcelain sockets are 4KV rated. The ballast / socket assembly shall be pre-wired when ballast is located in the fixture. All compact fluorescent (PL) ballasts shall be instant start electronic with a starting temperature of down to -10 degrees F. They shall have a 4-pin socket to accept quad or triple tube lamps. Ballasts shall be DOE EISA compliant.

**FIXTURE HOUSING**

The fixture shall be 18" wide and the overall height shall be 41". It shall be made of heavy wall cast aluminum, 356 alloy and lenses will be made of vandal resistant acrylic, available in clear (CA), clear seeded (CSA), clear textured (CTA), prismatic (PA), and white (WA) acrylic. The 1843 fixture features a closed recessed panel roof with cupola and cast ball finial. The 1843BE fixture features a cupola with brass eagle. The 1843TF fixture features a cast decorative tall finial. The 1843-O is an open roof design with lensed panels which allow uplight.

**OPTICAL OPTIONS**

Refractors shall be 6" diameter borosilicate glass with an I.E.S. Type 3 (RE3) or Type 5 (RE5) distribution. It shall be secured to the socket stem with 3/8" plated steel threaded pipe nipple and rest on a cast aluminum holder with anti-shock gasket. The refractor will be secured to cast holder with a quarter-turn internal aluminum twist ring for ease of maintenance.

The NIGHTSKY® OPTI-SHIELD® Louver Optic System (LO) shall be a multi-tier reflector with 7" diameter rings to produce an I.E.S. cut-off Type 3 or 5 distribution. The Louver Optic System shall be made of highly specular anodized aluminum and shall come standard with medium base socket.

NIGHTSKY® STAR-SHIELD® Roof Optics distribution shall be delivered by multi-segmented roof mounted reflector systems which eliminate uplight and provide cut-off. The reflector cavity shall be made of specular anodized aluminum. Roof Optics Type 2 (RO2), Type 3 (RO3) or Type 5 (RO5) horizontal are available for medium base lamps.

# 1843 LED CARSON CITY SERIES

# SPECIFICATIONS

**LIST NO.**  
**1843 LED**  
**CARSON CITY**  
**SERIES**

## OPTICS

- The luminaire shall be provided with individual, acrylic, refractor type optics applied to each LED.
- The luminaire shall provide Type \_\_\_\_ ( II, III or V) light distribution per the IESNA classifications. Testing shall be done in accordance with IESNA LM-79.

## PERFORMANCE

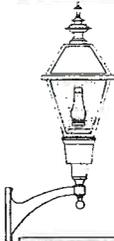
- The LED arrays are built in series-parallel circuits which maintain overall light output in the event of single LED failures.
- The LEDs and LED driver shall operate over a -40°C (-40°F) to +50°C (122°F) ambient air temperature range.
- The High Performance white LEDs will have a life expectancy of approximately 70,000 hours with not less than 70% of original brightness (lumen maintenance), rated at 25°C.
- The High Brightness, High Output LED's shall be 4500K (3500K or 6000K option) color temperature with a minimum of 75 CRI.
- The luminaire shall have a minimum \_\_\_\_\_ (see table) initial delivered lumen rating when operated at steady state with an average ambient temperature of 25°C (77°F).

Light Source	Initial Delivered Lumens	Fixture Watts	Light Source	Initial Delivered Lumens	Fixture Watts
10A1R60T5	12500	189	10A1R60T3	11475	189
10A1R45T5	10325	189	10A1R45T3	9300	189
10A1R35T5	9180	189	10A1R35T3	8155	189
6A1R60T5	8800	125	6A1R60T3	7580	125
6A1R45T5	7360	125	6A1R45T3	6140	125
6A1R35T5	6600	125	6A1R35T3	5380	125
6ARC60T5	6715	97	6ARC60T3	5850	97
6ARC45T5	5615	97	6ARC45T3	4750	97
6ARC35T5	5035	97	6ARC35T3	4170	97
4ARC60T5	4170	66	4ARC60T3	3750	66
4ARC45T5	3660	66	4ARC45T3	3290	66
4ARC35T5	3430	66	4ARC35T3	3050	66
3ARC60T5	3470	52	3ARC60T3	2970	52
3ARC45T5	2920	52	3ARC45T3	2420	52
3ARC35T5	2630	52	3ARC35T3	2130	52

**BUILDING A PART NUMBER**

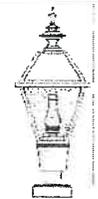
**POST & ARM FIXTURES**

ARM MOUNTED FIXTURE	CENTER POST TOP FIXTURE (PT)	POST	POST CAP	LIGHT SOURCE BALLAST	OPTICS	LENS	OPTIONS	FINISH
NO. OF ARMS	ACORN/FITTER	(See Post Section)		WATTS / TYPE / VOLTS				
1	1843 PT	3610FP4		100 HPS120	RE3	CSA	HPS100/MED	BK



**WALL FIXTURES**

FIXTURE/WALLBRACKET	LIGHT SOURCE BALLAST	OPTICS	LENS	OPTIONS	FINISH	PIER BASE
1843TF/480WB	100 HPS120	RO3/FHC	CSA	PEC1	BK	Uses same information boxes as wall fixture
						1843TF/450PB



**PART NUMBER SELECTIONS**

**FIXTURES**

- 1843
- 1843BE
- 1843TF
- 1843-O
- 1843-OBE
- 1843-OTF

**OPTICS**

- RE3
- RE5
- HSS
- ALZAK
- LO3
- LO5
- RO2S<sup>4,5</sup>
- RO3<sup>4,5</sup>
- RO5<sup>4,5</sup>
- FHC<sup>3</sup>

**OPTIONS**

- PEC1 Photocell-Bimetal 120 Volt
- PEC2 Photocell-Bimetal 208-277 Volt
- PEC1-E Photocell-Electronic 120 Volt
- PEC2-E Photocell-Electronic 208-277 Volt
- FHS Single Fuse and Holder-120,277 Volt
- FHD Dual Fuse and Holder-208,240,480 Volt
- QR Quartz Re-Strike
- PF Pineapple Finial or Font (TA, TASC)
- BF Ball Finial or Font (TA, TASC)
- LAMPS Select from List

**POST ARMS**

- 478PM
- 478TSPM
- 480PM
- 480DPM
- 62CPM
- 6236PM
- 579PT
- TAPT
- TASCRIPT
- 779PT
- BAPT  
Twin Only

**VOLTAGES**

- 120
- 208
- 240
- 277
- 480
- MULTI  
(120-277)

**WALL BRACKET ARMS**

- 478WB
- 478TSWB
- 480WB
- 480DWB
- 62CWB
- 6236WB
- 579WB
- TAWB
- TASCROWB

**PIER MOUNT**

- 450PB

**LENSES**

- CSA
- CA
- CTA
- PA
- WA

**BALLASTS<sup>2,6</sup>**

- 35HPS<sup>1</sup>
- 50HPS
- 70HPS
- 100HPS
- 150HPS
- 200HPS
- 250HPS
- 50MHP
- 70MHP
- 100MHP
- 150MHP
- 175MHP<sup>7</sup>
- 200MHP
- 250MHP
- 26PLT
- 32PLT
- 42PLT
- 57PLT
- 70PLT
- INCAND
- QL55\*
- QL85\*

**LAMPS<sup>6</sup>**

- HPS35/MED
- HPS50/MED
- HPS70/MED
- HPS100/MED
- HPS150/MED
- HPS250/MOG/ED18
- MHP50/MED
- MHP70/MED
- MHP100/MED
- MHP150/MED
- MHP175/MOG/ED28<sup>7</sup>
- MHP200/MOG/ED28
- MHP250/MOG/ED28
- PLT26
- PLT32
- PLT42
- PLT57
- PLT70

**STANDARD FINISHES\***

- BKT Black Textured
- WHT White Textured
- PGT Park Green Textured
- ABZT Architectural Medium Bronze Textured
- DBT Dark Bronze Textured

\*Smooth Finishes are available upon request

**CUSTOM FINISHES**

- OI Old Iron
- RT Rust
- WBR Weathered Brown
- CD Cedar
- WBK Weathered Black
- TT Two Tone

**STERNBERG SELECT FINISHES**

- VG Verde Green
- SI Swedish Iron
- OWGT Old World Gray Textured

\*Consult factory for specification details

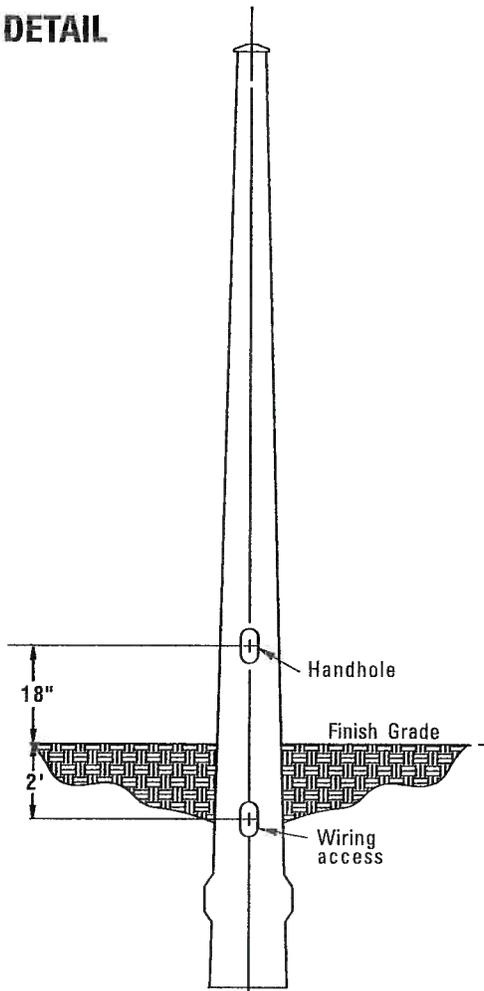
**NOTES:**

- <sup>1</sup> 35HPS is 120 volt only.
- <sup>2</sup> Medium base sockets standard with ballasts up to 150 watts HID. Mogul base sockets are standard with ballasts 200 watts and over. 4-pin for PL.
- <sup>3</sup> MED base only when used to house lamp.
- <sup>4</sup> Medium base lamp only. Consult factory for mogul base.
- <sup>5</sup> Can support PLH or PLT up to 60w.
- <sup>6</sup> Metal halide systems are pulse start.
- <sup>7</sup> Consult factory for limitations.

# RTFDB Round Tapered Fiberglass Poles - Direct Burial

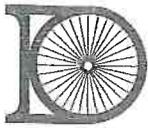
TECHNICAL INFORMATION							
Catalog Number	Nominal fixture mounting height (feet)	Pole shaft size (in x in x ft)	EPA (ft <sup>2</sup> ) with 1.3 gust			Max. weight	Approximate ship weight (pounds)
			80 mph	90 mph	100 mph		
RTFDB 18 6X	14	6.5 x 4.1 x 18	14.0	10.4	7.9	150	34
RTFDB 20 6-6X	16	6.7 x 4.1 x 20	10.0	7.4	5.5	100	38
RTFDB 24 6-7X	20	6.7 x 4.1 x 24	8.2	5.8	4.1	150	46
RTFDB 30 8-3X	25	8.2 x 4.5 x 30	6.2	4.7	3.6	100	71
RTFDB 30 8-4X	25	8.4 x 4.7 x 30	14.5	11.2	8.9	200	98
RTFDB 35 8-4X	30	8.4 x 4.7 x 35	10.5	8.0	6.2	200	116
RTFDB 35 8-5X	30	8.5 x 4.9 x 35	14.8	11.4	9.0	300	153
RTFDB 41 11-8X	35	11.8 x 6.4 x 41	14.3	10.8	7.8	300	218

## POLE DETAIL



**IMPORTANT:**

- These specifications are intended for general purposes only. Lithonia reserves the right to change material or design, without prior notice, in a continuing effort to upgrade its products.



**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**



Project # \_\_\_\_\_

Case # 2615-0806

**Planning Commission**

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Amended Final Development Plan                | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use             |
| <input type="checkbox"/> Amended Final Subdivision Plat                | <input type="checkbox"/> Final Subdivision Plat           | <input type="checkbox"/> Vacation-Alley                                   |
| <input type="checkbox"/> Amended Preliminary Development Plan          | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement                                |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat          | <input type="checkbox"/> Floodplain Permit                | <input type="checkbox"/> Vacation-Street                                  |
| <input type="checkbox"/> Annexation Review                             | <input type="checkbox"/> Lot Split                        | <b><u>Board of Zoning Appeals</u></b>                                     |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement         | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment                  | <input type="checkbox"/> Preliminary Development Plan     | <input type="checkbox"/> Conditional Use Permit                           |
| <input type="checkbox"/> Concept Plan                                  | <input type="checkbox"/> Preliminary Dev Plan Extension   | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit                        | <input type="checkbox"/> Preliminary Sub Plat             | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Determination of Similar Use                  | <input type="checkbox"/> Preliminary Sub Plat Extension   |   |
| <input type="checkbox"/> Development Plan Exemption                    | <input type="checkbox"/> Rezoning                         |   |
| <input checked="" type="checkbox"/> Final Development Plan             | <input type="checkbox"/> Subdivision Variance             |   |

Subdivision/Project Name Village Gate Phase 2 Address \_\_\_\_\_

Acreage 6.8 Square Footage \_\_\_\_\_ Number of Lots \_\_\_\_\_ Number of Units 68

Zoning District/Land Use R-6 Proposed Zoning/Land Use R-6 Parcel # 51944101045000

Applicant Name STG Development LTD Contact Person Jack Wendell

Applicant Address 536 S Wall Street, Suite 300 Columbus, Ohio 43215

Phone (614)224-9255 Fax (614)224-9258 E-mail jwendell@smithtandy.com

Owner Name Bowtown Village LTD Contact Person Jack Wendell

Owner Address 536 S Wall Street, Suite 300 Columbus, Ohio 43215

Phone (614)224-9255 Fax (614)224-9258 E-mail jwendell@smithtandy.com

Engineer/Architect/Attorney ~~The Kleingers Group~~ Contact Person Megan Cyr

Address 350 Worthington Road, Suite B, Westerville, Ohio 43082

Phone (614)882-4311 Fax \_\_\_\_\_ E-mail megan.cyr@kleingers.com

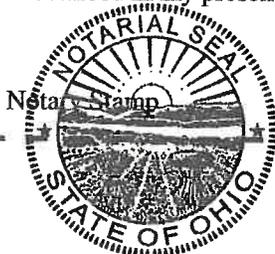
The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

Eddie Friedman  
Owner Signature

Jack Wendell  
Agent Signature

Owner Printed Name  
Jack Wendell  
Agent Printed Name

Sworn to before me and subscribed in my presence this 15 day of May, 2015



Amy A. Friend  
Notary Public, State of Ohio  
My Commission Expires 02-17-2019



## FACT SHEET

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AGENDA ITEM NO: 26

DATE: 8/10/15

ORDINANCE NO: 15-84

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: NO

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TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING AN AMENDED PRELIMINARY DEVELOPMENT PLAN FOR PULTE HOMES OF OHIO FOR THE COMMUNITIES AT GLENROSS SECTIONS 6-10 FOR 166 SINGLE FAMILY LOTS ON 84.04 ACRES ZONED R-2 PMU (ONE FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED USE OVERLAY DISTRICT) LOCATED NORTH OF CHESHIRE ROAD BETWEEN BALMORAL DRIVE AND THE RAILROAD TRACKS.

**BACKGROUND:**

The Communities at Glenross was annexed and zoned in 2006 after the success of Glenross Golf Club which contained a Parade of Homes in 2005. This development was designed as a sister development to both the Glenross Golf Club and Cheshire Crossing neighborhoods. In 2011 City Council approved an amended Rezoning, Preliminary Development Plan and Preliminary Subdivision Plat for Glenross and The Communities at Glenross which resulted in the Communities at Glenross yielding 1110 dwelling units of which 626 were detached single family units and 484 were condominium units in various configurations. By July 2015, the developer has either constructed or has received Final Plat approval of Sections 1 thru 5 of the Communities at Glenross which all have been single family homes (119 lots). The developer is now requesting to revise Sections 6-10 of The Communities at Glenross located north of Cheshire Road. Consequently, the proposed amended development would result overall in The Communities at Glenross totaling 961 units at build out which is a reduction from the previous 2011 approvals of 149 units. Of the

961 total units proposed, there are 637 single-family detached units and 324 condominium units in several phases both north and south of Cheshire Road. Sections 6-10 herein proposed for amendment would now represent 166 single-family detached lots and would eliminate all the condominium units on the north side of Cheshire Road. The portion of the development south of Cheshire Road is not being reviewed in this application and the previous approvals would still apply to these areas. From a "macro" perspective, the access to development remains the same from Cheshire Road with a proposed roundabout accessing the properties to the north and south of Cheshire Road when that portion of the subdivision is developed. From a "micro" perspective, the internal roadway network within the development has been redesigned to facilitate a more functional and aesthetically enhanced development while accounting for the change in unit types.

The amended plan and plat would contain 166 single family lots on approximately 84.07 acres for a gross density of 1.97 units per acre. Of the 166 single family lots, 93 lots would have 65 feet of frontage and 73 lots would have 80-90 feet of frontage which is consistent with approved plan lot sizes. The layout is the typical double loaded subdivision street design that connects seamlessly with the previous sections (Sections 4 and 5). In addition, a swimming pool (with a restroom facility) and parking lot would be located just west of the main entrance from the roundabout on Cheshire Road while just east of the entrance would be a neighborhood park programmed with amenities. The homes that abut the railroad tracks would be buffered by mounding and landscaping (consistent with previous sections). Per the approved development text for The Communities at Glenross, the building setbacks are the following for the remainder of the development: 25 feet for front yards, 30 feet for rear yards and 10 feet for side yards. In addition, the minimum house size is 1,600 square feet for single-story houses and 1,800 square feet for multi-story houses with a maximum building height of 40 feet. Also, the development would have to comply with the oversized corner lot requirements in the zoning code. In addition, the lot depths of the houses that are adjacent to the railroad tracks are restricted to allow rear porches and decks to be constructed. The design requirements for The Communities at Glenross remain unchanged from the approval in 2011. Some of the requirements include: 1). The front elevation shall have at least 40% natural material which includes brick, stone, or cultured stone, lap siding products such as cedar, SmartSide, and cement-fiber siding, 2). Gutters (and the materials by which they are attached to the home), downspouts, soffits, shutters, garage and entrance doors shall be of man-made materials such as metal, vinyl, aluminum or glass, 3). No concrete or split face block shall be permitted except for the basement or foundation walls, 4). The roofs shall have dimensional shingles. In addition, the home shall achieve compliance with Residential Development Design Criteria and Performance Standards in Chapter 1171.08.

The developer is proposing street trees, mounding and landscaping along Cheshire Road, mounding and landscaping adjacent to the railroad tracks along with appropriate landscaping within the parks and open spaces. The Cheshire Road buffering should match or be enhanced above the existing buffering in The Glenross Golf Club east of this development. The amended plan yields 22.7 acres of open space and parkland (27%) in Reserve A (5.1 acres) and B (17.6 acres) which are located east and west of the main entrance respectively just north of the proposed roundabout on Cheshire Road. Reserve A (Section 9) includes a pool and restroom facility, a parking lot and retention pond which approximately half of the site would be considered active parkland. Reserve B (Section 10) includes approximately 7.5 acres of active parkland programmed with a tot lot, shelter house, basketball court, volleyball court and recreational field while the remaining approximately 10.1 acres is a detention/retention basin next to the railroad tracks. According to the applicant, the previous approved plan had 15.11 acres of open space in Sections 6-10 while the amended plan has 22.7 acres of open space. The pedestrian connectivity plan remains unchanged from the past approvals with regional connections being provided along Cheshire Road in addition to neighborhood sidewalks and walkways leading to the swimming pool, neighborhood park and open spaces.

Staff maintains the proposed plan is an improvement over the currently approved plan for the following reasons: 1). The overall density has been slightly reduced; 2). The condominium units have been eliminated; 3). The proposed plan increases the amount of parkland and open space along with amenities which includes a pool with a restroom facility, a programmed neighborhood park with bike paths and sidewalks connecting the aforementioned amenities; 4. Staff has had ongoing discussions with Pulte Homes regarding a number of the items as well which have been agreed to and captured in documented conditions for approval.

**REASON WHY LEGISLATION IS NEEDED:**

N/A

**COMMITTEE RECOMMENDATION:**

Planning Commission approved this case 6-0 on August 5, 2015.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval as submitted with the documented conditions.

**ATTACHMENT(S)**

Staff report

ORDINANCE NO. 15-84

AN ORDINANCE APPROVING AN AMENDED PRELIMINARY DEVELOPMENT PLAN FOR PULTE HOMES OF OHIO FOR THE COMMUNITIES AT GLENROSS SECTIONS 6-10 FOR 166 SINGLE FAMILY LOTS ON 84.04 ACRES ZONED R-2 PMU (ONE FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED USE OVERLAY DISTRICT) LOCATED NORTH OF CHESHIRE ROAD BETWEEN BALMORAL DRIVE AND THE RAILROAD TRACKS.

WHEREAS, the Planning Commission at its meeting of August 5, 2015 recommended approval of an Amended Preliminary Development Plan for Pulte Homes of Ohio for the Communities at Glenross Sections 6-10 for 166 single family lots on 84.04 acres zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) located north of Cheshire Road between Balmoral Drive and the railroad tracks (2015-1328) and

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

Section 1. That the an Amended Preliminary Development Plan for Pulte Homes of Ohio for the Communities at Glenross Sections 6-10 for 166 single family lots on 84.04 acres zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) located north of Cheshire Road between Balmoral Drive and the railroad tracks and is hereby confirmed, approved, and accepted with the following conditions:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. All retention ponds shall be setback a minimum of 80 feet from the edge of pavement for roads of 35 mph or higher or per the City Engineer.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS \_\_\_ NAYS \_\_\_  
ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2015

YEAS \_\_\_ NAYS \_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR

**APPLICANT/OWNER**

Pulte Homes of Ohio  
4900 Tuttle Crossing Boulevard  
Dublin, Ohio 43016-5555

**REQUEST**

2015-1328: A request by Pulte Homes of Ohio for approval of an Amended Preliminary Development Plan for The Communities at Glenross Sections 6-10 for 166 single family lots on 84.04 acres zoned R-2 PMU (One Family Residential District with Planned Residential District) located north of Cheshire Road between Balmoral Drive and the railroad tracks.

2015-1329: A request by Pulte Homes of Ohio for approval of an Amended Preliminary Subdivision Plat for The Communities at Glenross Sections 6-10 for 166 single family lots on 84.04 acres zoned R-2 PMU (One Family Residential District with Planned Residential District) located north of Cheshire Road between Balmoral Drive and the railroad tracks.

**PROPERTY LOCATION & DESCRIPTION**

The property is located on the north side of Cheshire Road extending from The Glenross Golf Course to the N&S/CSX Railroad. The Communities at Glenross is zoned R-2 PMU (One Family Residential with a Planned Mixed Use Overlay District) as is the property to the south (the remaining sections of the Communities at Glenross). The surrounding zoning is a mix of Township zoning to the north and east and R-2 District with Text Limitations to the north and west.

**BACKGROUND**

The Communities at Glenross was annexed and zoned in 2006 after the success of Glenross Golf Club which contained a Parade of Homes in 2005. This development was designed as a sister development to both the Glenross Golf Club and Cheshire Crossing neighborhoods. Overall, this development at the time consisted of approximately 373.9 acres and 870 dwelling units. Of the total number of dwelling units, 546 were detached single-family units and 324 were condominiums of various configurations.

In 2011 City Council approved an amended Rezoning, Preliminary Development Plan and Preliminary Subdivision Plat for Glenross and The Communities at Glenross which resulted in the Communities at Glenross yielding 1110 dwelling units of which 626 were detached single family units and 484 were condominium units in various configurations.

By June 2014, the developer has either constructed or has received Final Plat approval of Sections 1 thru 5 of the Communities at Glenross which all have been single family homes (119 lots). The developer is now requesting to revise Sections 6-10 of The Communities at Glenross located north of Cheshire Road. The portion of the development south of Cheshire Road is not being reviewed in this application and the previous approvals would still apply to these areas. The significant changes include the elimination of the condominiums because the market demand for such units has declined after the recession. The current market trends along with sales and development activity in this area suggest the need to further evolve The Communities at Glenross into a destination community which provides several housing options and price points along with active and passive open space and recreational opportunities. Consequently, the proposed amended development would result overall in The Communities at Glenross totaling 961 units at build out which is a reduction from the previous 2011 approvals of 149 units. Of the 961 total units proposed, there are 637 single-family detached units and 324 condominium units in several phases both north and south of Cheshire Rd. Sections 6-10 herein proposed for amendment would now represent 166 single-family detached lots on the north side of Cheshire Rd.

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**STAFF ANALYSIS**

- **COMPREHENSIVE PLAN:** The Comprehensive Plan recommends a future land use of Major Open Space (Golf Course), Low Density Single-Family (2-3.25 du/ac), and Moderate Density Multi-Family (8-10 du/ac) for these properties. The proposed revisions to The Communities at Glenross are consistent with these land use recommendations. Specific to the overall sub-area in which the property is located, the Cheshire Sub-

Area, the Comprehensive Plan contains the following land use recommendations that are applicable to these properties and consistent with this development proposal,

- LU23.3 The Cheshire Subarea will generally continue to be a focus of residential development given its location at the southerly entrance to the City and closer proximity to employment centers. The City supports residential developments with higher valued homes and condominium developments than found in other parts of the City. The City does not support additional “entry level” product in this subarea – except in support of adjacent or nearby employment centers. It is the City’s clear expectation that residential development in the Glenn Road corridor will contain a mix of housing products, but it will not be “entry level” housing.
- LU23.4 Creative and imaginative site design techniques will be used. Mixing densities and unit types is supported within residential developments, as is the use of small open spaces to create interest and a sense of place within neighborhoods. Neighborhood collectors should incorporate medians or roundabouts to create attractive corridors and slow traffic.
- LU23.5 Light pollution is reduced in the subarea to mitigate impacts on Perkins Observatory. The City requires reduced lighting standards in all developments in the subarea.

- **ZONING:** The zoning of the properties is still applicable and the proposed revisions would remain in conformance with current standards and requirements. However, from a procedural perspective Preliminary and Final Development Plans and Plats would need to be reviewed and approved by the Planning Commission and City Council for each section.
- **DEVELOPMENT TEXT:** The current approved PMU Overlay Development Text sets forth the development standards and requirements for this development and would remain with the proposed revisions. The Development Text and plan is sensitive to the existing residential surroundings while providing an appropriate transition to a very active pair of railroad tracks operated separately by Norfolk & Southern and CSX.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **UTILITIES:** The site would be serviced by City sanitary sewer (SE Highland trunk sewer) and water that would have to be extended by the developer from the existing development. An overall storm water master plan for the remainder of the development is required per the City Engineer.
- **ROADS AND ACCESS:** From a “macro” perspective, the access to development remains the same from Cheshire Road with a proposed roundabout accessing the properties to the north and south of Cheshire Road when that portion of the subdivision is developed. From a “micro” perspective, the internal roadway network within the development has been redesigned to facilitate a more functional and aesthetically enhanced development while accounting for the change in unit types. Since the last approval in 2011, engineering standards have been revised (road width, pavement width, road radii, etc.) and the plan would have to achieve compliance with the subject standards or staff and the developer would have to agree upon concessions to meet the intent of the current standards while being sensitive to the existing development rights already established.
- **LOT LAYOUT & SIZE:** The subject amended sections are located north of Cheshire Road east of the golf course and west of the railroad tracks. The intent of the revised design is to eliminate the condominium units and increase amenities including a pool with restroom facility and a programmed neighborhood park on the eastern portion of the site north of Cheshire Road. These amenities would be linked via the internal community sidewalks to a bike path system along Cheshire Road.

The amended plan and plat would contain 166 single family lots on approximately 84.07 acres for a gross density of 1.97 units per acre. Of the 166 single family lots, 93 lots would have 65 feet of frontage and 73 lots would have 80-90 feet of frontage which is consistent with approved plan lot sizes. The layout is the typical double loaded subdivision street design that connects seamlessly with the previous sections (Sections 4 and 5). A few homes would back up to the three retention ponds located along the southern portion of the site

along Cheshire Road which would create aesthetically enhanced lots with additional privacy. In addition, a swimming pool (with a restroom facility) and parking lot would be located just west of the main entrance from the roundabout on Cheshire Road while just east of the entrance would be a neighborhood park programed with amenities. The homes that abut the railroad tracks would be buffered by mounding and landscaping (consistent with previous sections).

Per the approved development text for The Communities at Glenross, the building setbacks are the following for the remainder of the development: 25 feet for front yards, 30 feet for rear yards and 10 feet for side yards. Projection of fireplaces, chimneys, bay windows and architectural projections of not more than 3 feet shall be allowed. In addition, the minimum house size is 1,600 square for single-story houses and 1,800 square feet for multi-story houses with a maximum building height of 40 feet. Also, the development would have to comply with the oversized corner lot requirements in the zoning code. In addition, the lot depths of the houses that are adjacent to the railroad tracks are restricted to allow rear porches and decks to be constructed.

- **PEDESTRIAN CONNECTIVITY:** The pedestrian connectivity plan remains unchanged from the past approvals with regional connections being provided along Cheshire Road in addition to neighborhood sidewalks and walkways leading to the swimming pool, neighborhood park and open spaces.
- **BUILDING DESIGN:** The design requirements for The Communities at Glenross remain unchanged from the approval in 2011. Some of the requirements include: 1).The front elevation shall have at least 40% natural material which includes brick, stone, or cultured stone, lap siding products such as cedar, SmartSide, and cement-fiber siding, 2). Gutters (and the materials by which they are attached to the home), downspouts, soffits, shutters, garage and entrance doors shall be of man-made materials such as metal, vinyl, aluminum or glass, 3). No concrete or split face block shall be permitted except for the basement or foundation walls, 4). The roofs shall have dimensional shingles. In addition, the home shall achieve compliance with Residential Development Design Criteria and Performance Standards in Chapter 1171.08.
- **LANDSCAPING & SCREENING:** The developer is proposing street trees, mounding and landscaping along Cheshire Road, mounding and landscaping adjacent to the railroad tracks along with appropriate landscaping within the parks and open spaces. The Cheshire Road buffering should match or be enhanced above the existing buffering in the The Glenross Golf Club east of this development. Also, the approved Development Text prescribes a minimum screening buffer to be required along the railroad which should be consistent with approved buffering in the Final Plats of Section 3 and 4 of the Communities of Glenross. All landscape plans would require review and approval by the Shade Tree Commission.
- **OPEN SPACE/PARKLAND:** The amended plan yields 22.7 acres of open space and parkland (27%) in Reserve A (5.1 acres) and B (17.6 acres) which are located east and west of the main entrance respectively just north of the proposed roundabout on Cheshire Road. Reserve A (Section 9) includes a pool and restroom facility, a parking lot and retention pond which approximately half of the site would be considered active parkland. Reserve B (Section 10) includes approximately 7.5 acres of active parkland programed with a tot lot, shelter house, basketball court, volleyball court and recreational field while the remaining approximately 10.1 acres is a detention/retention basin next to the railroad tracks. According to the applicant, the previous approved plan had 15.11 acres of open space in Sections 6-10 while the amended plan has 22.7 acres of open space. All open space/parkland in The Communities at Glenross should be privately owned and maintained but open to the public except for the clubhouses and pools as documented in the approved zoning text. Each park and open space should be improved no later than or concurrent with the subject section of public improvements that are adjacent to the respective open space. Nothing in the text prohibits the acceleration of providing open space should the applicant chose to do so.
- **TREE PRESERVATION:** The development would have to achieve compliance with Chapter 1168 Tree Preservation Regulations. With the preliminary open space and parkland plan, the applicant needs to identify all tree preservation areas on the final plan and plat in the form of easements with a tree survey identifying all trees a minimum 6 inches in caliper and identify if they will be saved and removed trees for staff review and approval. Staff recommends that utilities should not be located within tree preservations easements and ensure the subject lots impacted could yield a maximum size house with an acceptable deck and functional yard.
- **LIGHTING PLAN:** A lighting plan for all streets and amenities would be required for Final Development Plan approval and Final Subdivision Plat approval and would have to achieve compliance with the zoning code and approved by the Chief Building Official.

- **PHASING:** The remainder of the subdivision would be developed in five sections (6-10) from north to south connecting into Cheshire Road. Of the 166 total single lots in these sections, preliminarily Section 6 would contain 30 lots, Section 7 would contain 39 lots, Section 8 would contain 33 lots, Section 9 would contain 29 lots and Section 10 would contain 35 lots. With multiple Sub-Areas and many more development phases in the Communities at Glenross, it is important for reference and tracking purposes that the plans and plats for each phase or section have appropriate nomenclature that correlates the sections and phases to the applicable Zoning Sub-Areas. Therefore all plans and plats that reference a section or phase must include the Zoning Sub-Area name either in the title or some form approved by City Staff.
- **MICS:** Staff maintains the proposed plan is an improvement over the currently approved plan for the following reasons: 1). The overall density has been slightly reduced; 2). The condominium units have been eliminated; 3). The proposed plan increases the amount of parkland and open space along with amenities which includes a pool with a restroom facility (accelerating the development of this), a programmed neighborhood park with bike paths and sidewalks connecting the aforementioned amenities; 4. Staff has had ongoing discussions with Pulte Homes regarding a number of the items as well which have been agreed to and captured in the conditions herein.

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**STAFF RECOMMENDATION – (2015-1328 PRELIMINARY DEVELOPMENT PLAN)**

Staff recommends approval of a request by Pulte Homes of Ohio of an Amended Preliminary Development Plan for The Communities at Glenross Sections 6-10 for 166 single family lots on 84.04 acres zoned R-2 PMU (One Family Residential District with Planned Residential District) located north of Cheshire Road between Balmoral Drive and the railroad tracks, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. All retention ponds shall be setback a minimum of 80 feet from the edge of pavement for roads of 35 mph or higher or per the City Engineer.

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**STAFF RECOMMENDATION – (2015-1329 PRELIMINARY SUBDIVISION PLAT)**

Staff recommends approval of a request by Pulte Homes of Ohio of an Amended Preliminary Subdivision Plat for The Communities at Glenross Sections 6-10 for 166 single family lots on 84.04 acres zoned R-2 PMU (One Family Residential District with Planned Residential District) located north of Cheshire Road between Balmoral Drive and the railroad tracks, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. All retention ponds shall be setback a minimum of 80 feet from the edge of pavement for roads of 35 mph or higher or per the City Engineer.
3. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
4. The single family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
5. For the lots along the railroad track noted upon the submitted plat, house depths shall be restricted to 45 feet from the building line and porch and deck depths shall be restricted to 60 feet from the building line. These restrictions shall be evaluated in detail and placed upon the final plat.
6. The proposed neighborhood park in Reserve B shall be programmed with a tot lot ( play equipment and a swing set), shelter house, basketball court, volleyball court, and recreational field and shall be maintained by the Homeowner's Association with an easement dedicated to the City for public use. The exact programing shall be determined and approved with Final Development Plan and Plat reviews for Section 10.
7. The Cheshire Road buffering should match or be enhanced above the existing buffering in the The Glenross Golf Club east of this development. The maintenance of the mound and associated

landscaping shall be the responsibility of the Homeowner's Association. The subject plan shall be reviewed and approved by the Shade Tree Commission.

8. A 10-12 foot high mound with landscaping shall be installed adjacent to the railroad tracks to be consistent with mounding in Section 4 of the Communities at Glenross just north of the subject section. The mounding and landscaping shall be placed within an easement recorded and described upon the final plat and all such improvements shall be the maintenance responsibility of the Home Owners Association (HOA) in perpetuity. No changes to the mounding or landscaping shall be allowed without the approval of the City of Delaware. The applicant may make allowances for individual homeowners to mow and otherwise maintain this area so long as no improvements are altered, but the final maintenance responsibility shall rest with the HOA. The subject plan shall be reviewed and approved by the Shade Tree Commission.
9. A street tree plan shall be submitted and approved by the Shade Tree Commission.
10. Any tree removal and/or replacement requirements shall achieve compliance with Chapter 1168 Tree Preservation Regulations and shall be required prior to final plat approvals for each phase.
11. The bike path along Cheshire Road shall be installed by the developer and located within an easement dedicated to the City and shall be maintained by the Homeowner's Association.
12. The street lighting plan shall be submitted, reviewed and approved by the Chief Building Official and achieve compliance with all zoning requirements prior to final subdivision plat approval of each phase.
13. Prior to accepting a final plan, plat, or home lot construction for the 75th home in Sections 6-10, Pulte shall produce evidence, sufficient to the city's satisfaction, of procurement of the necessary right of way and easements along Cheshire Road in order to complete the improvements from the current eastern terminus through the railroad tracks on the eastern boundary of the overall project.
14. Preliminary design of the Cheshire Road and roundabout improvements shall be submitted and performance bonding shall be in place (Ordinance 15-49 contained item 2 in this regard but the City is willing to relax that condition as noted herein) prior to acceptance of public improvements for Section 5.
15. The long standing dirt spoil mound located on Glenross Park and long promised to be removed by Dominion Homes and now Pulte Homes, shall be removed and the area graded and seeded together with straw as required by the engineering department and the parks and natural resources department, prior to the acceptance of any public improvements for Section 5 of Communities at Glenross.
16. These sections of the Communities of Glenross Subdivision shall be placed in the Delaware South New Community Authority prior to issuance of building permits, subject to the single family lot transportation fee in effect for the Glenross Golf Club at the time of building permit issuance and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling units.

**COMMISSION NOTES:**

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MOTION: \_\_\_\_\_ 1<sup>st</sup> \_\_\_\_\_ 2<sup>nd</sup> *approved* *denied* *tabled* \_\_\_\_\_

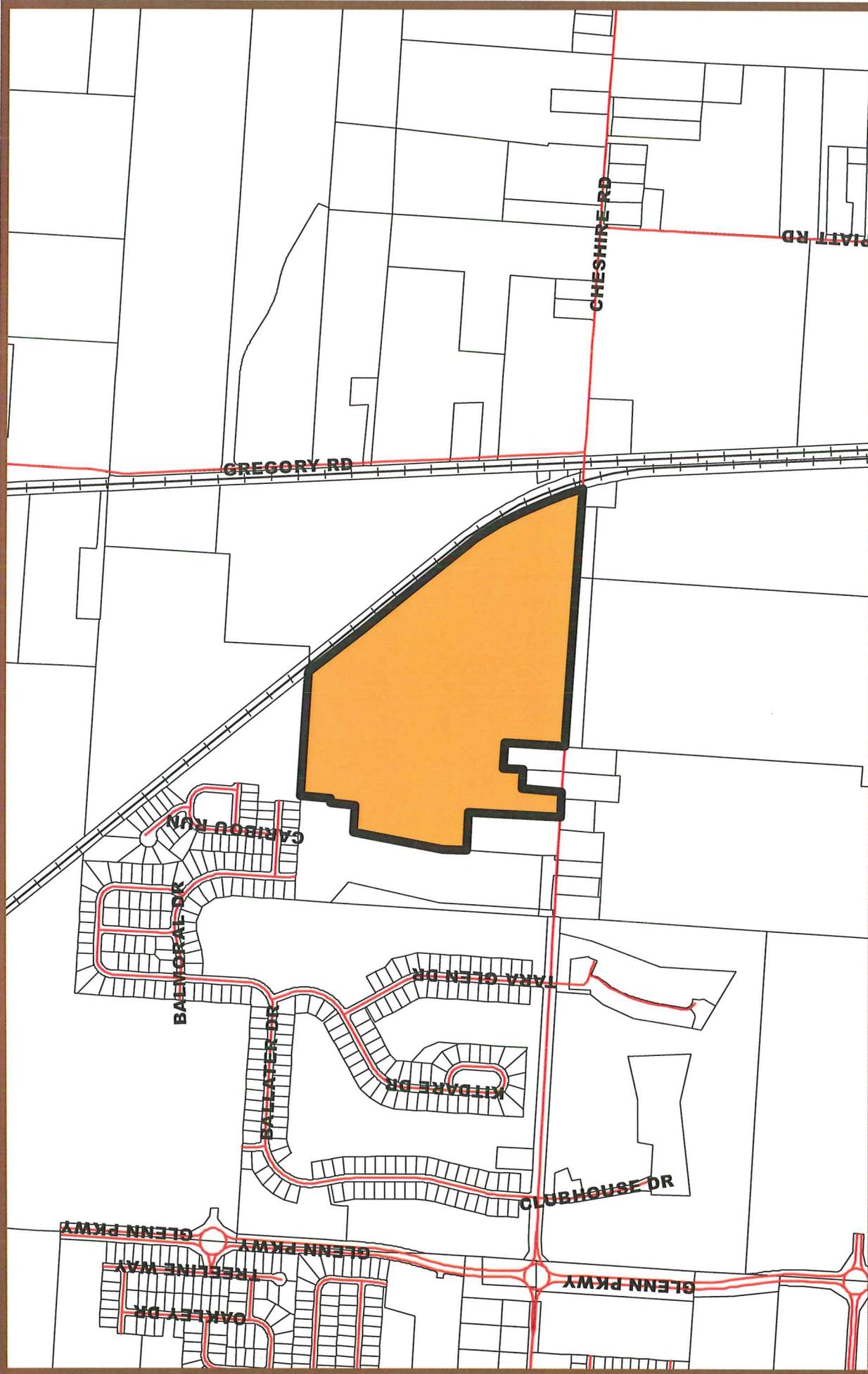
CONDITIONS/MISCELLANEOUS:

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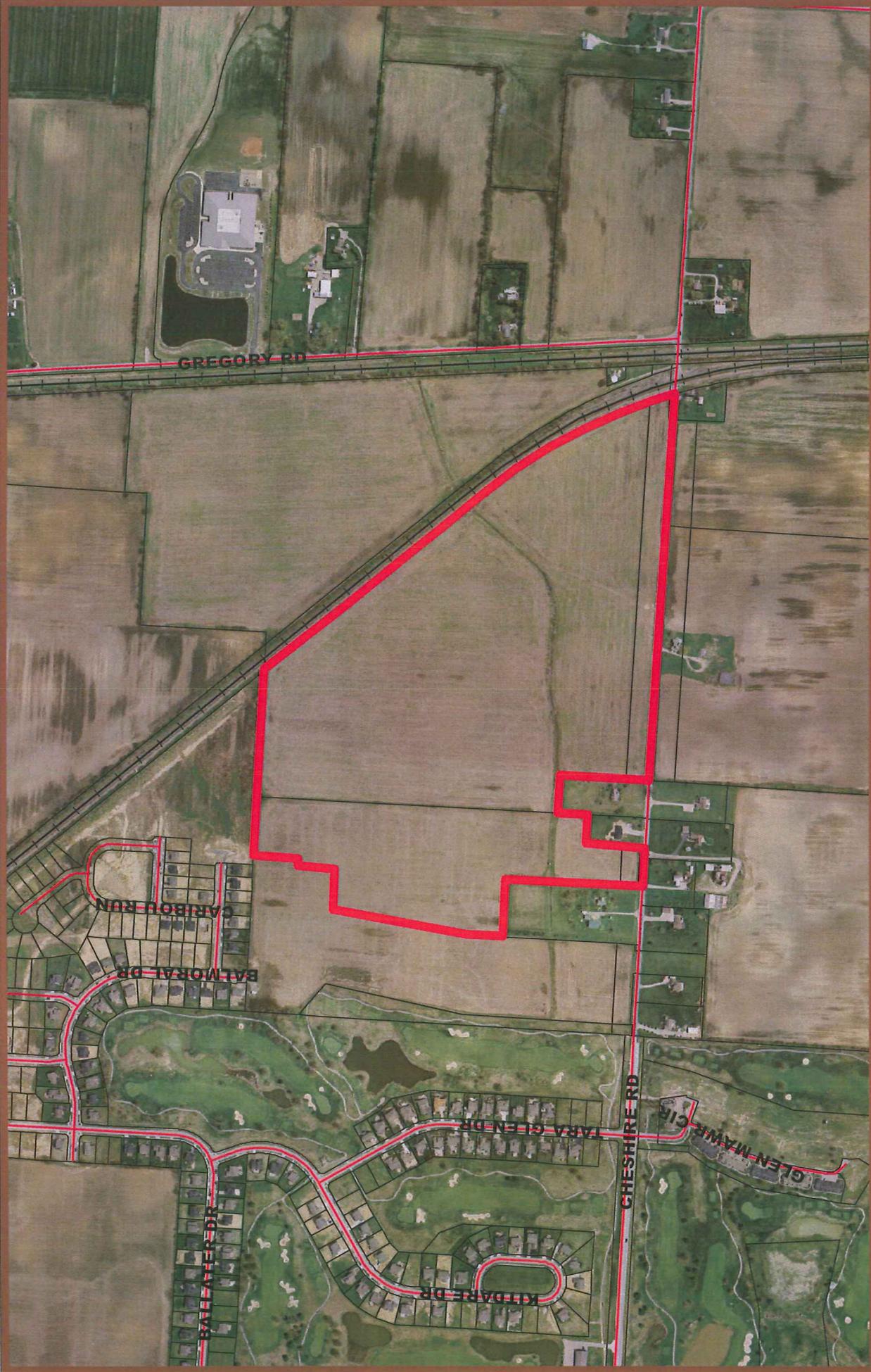
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REVISED:



2015-1328 & 1329  
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 The Communities at Glenross  
 Location Map

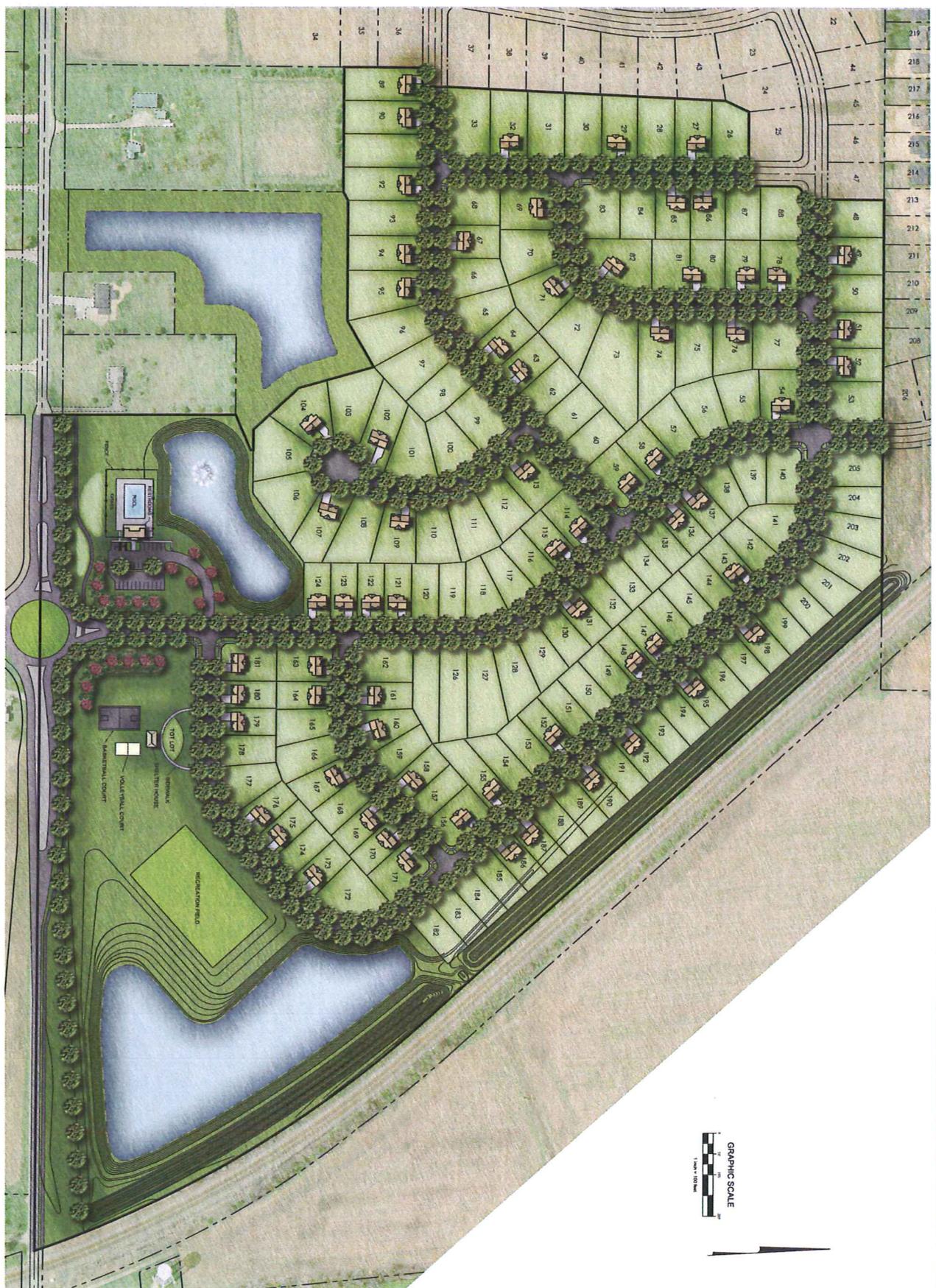






2015-1328 & 1329  
Preliminary Development Plan and Preliminary Subdivision Plat  
The Communities at Glenross  
Aerial (2013)





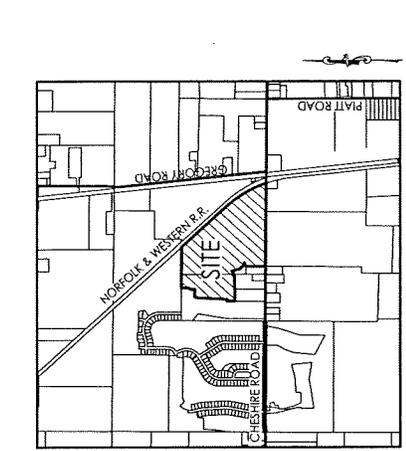
**EMHT**  
 ENGINEERING, MECHANICAL, ARCHITECTURE & DESIGN, INC.  
 3300 New Albany Road Columbus, OH 43212  
 Phone: 614.772.4777 Columbus, OH 43212  
 emht.com

CITY OF DELAWARE, DELAWARE COUNTY, OHIO  
 DEVELOPMENT PLAN  
**COMMUNITIES AT GLENROSS**  
 ILLUSTRATIVE SITE PLAN

4900 Tuttle Crossing Blvd., Dublin, OH 43016  
 Ph: (614) 356-5833



REVISIONS		
NO.	DATE	DESCRIPTION

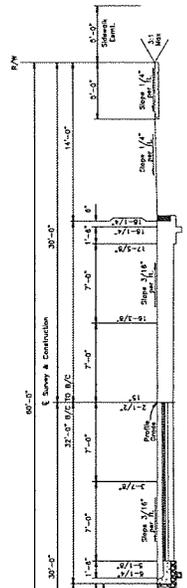
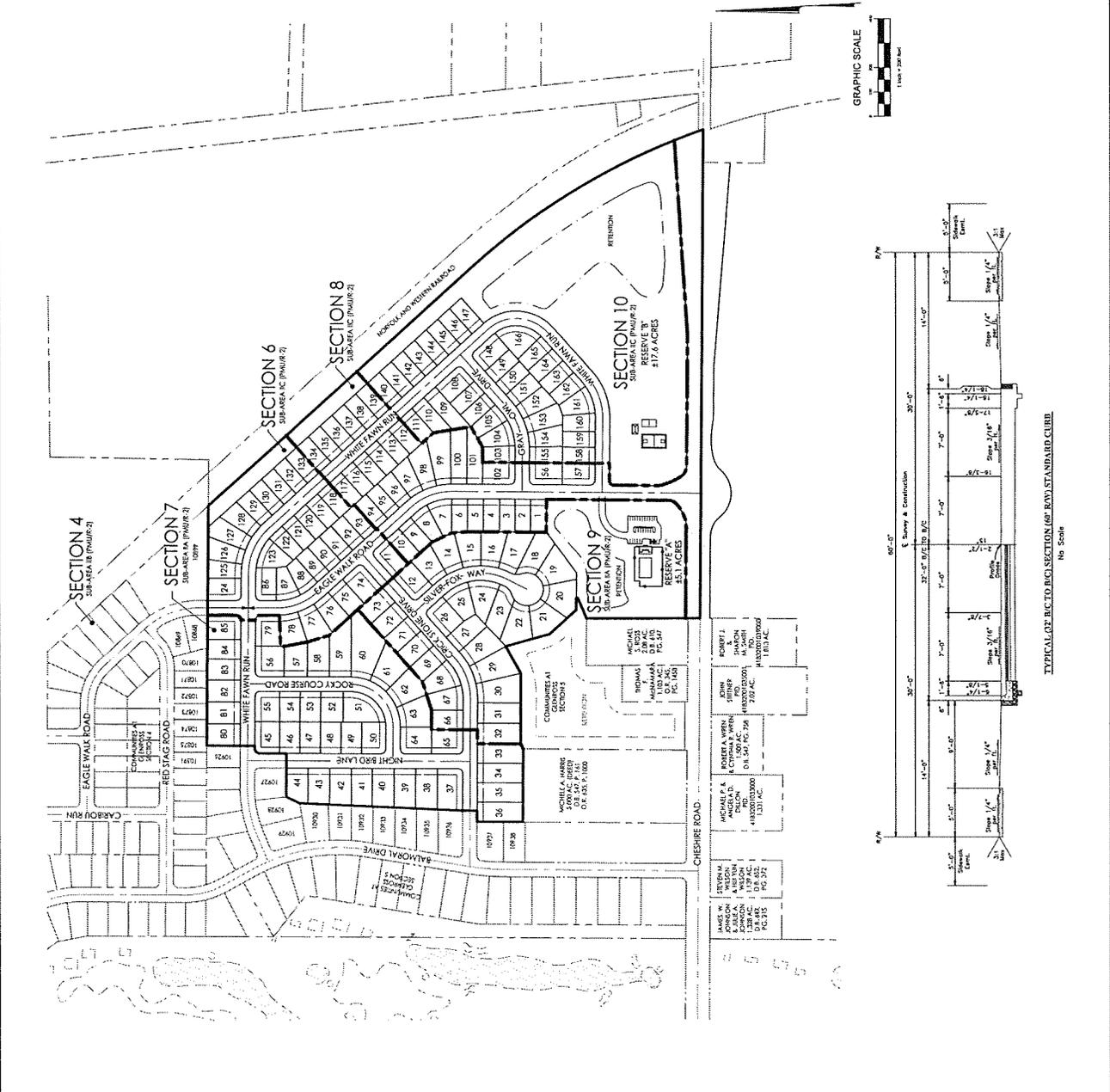


**SITE STATISTICS:**  
 TOTAL ACRES: 88.60 ACRES  
 TOTAL NUMBER OF LOTS: 166  
 OPEN SPACE: 127.7 ACRES (14.4%)  
 RESERVE "E": 277.6 ACRES  
 POINT-OF-WAY: 514.4 ACRES (19.5%)  
 ZONING: PAU / P-2  
 CROSS STREET: 517.0 ACRES  
 RESERVE "A": 277.6 ACRES  
 NET BARGE: 43.83 ACRES  
 ACRES REMOVED: ALL RESERVE AND RIGHT-OF-WAY (164.075 DIVIDED BY 144.87 ACRES)

**NOTES**  
 1. ALL OF THE GLENCROSS NORTH PROPERTY IS IN THE FLOOD HAZARD ZONE X AS SHOWN ON THE FLOOD HAZARD MAP OF THE CITY OF DELAWARE, OHIO, DATED APRIL 16, 2009.  
 2. RESERVE "X" AND "Y" ARE TO BE OWNED AND MAINTAINED BY THE COMMITTEES AT GLENCROSS HOMEOWNERS ASSOCIATION FOR OPEN SPACE AND STORMWATER FACILITIES.  
 3. SIDEWALKS WILL BE PROVIDED ON BOTH SIDES OF ALL STREETS.  
 4. ALL PERMIT PREPARING TO WELANDS AND WATER OF THE UNITED STATES, AS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION, FEDERAL GOVERNMENT, AND STATE AND LOCAL WATERWAYS OF THE UNITED STATES.  
 5. 8" ASPHALT PAVEMENT SHALL BE CONSTRUCTED ALONG THE NORTH SIDE OF CHESHIRE ROAD WITHIN THE ROAD RIGHT-OF-WAY.  
 6. IF ANY DISCREPANCIES EXIST BETWEEN THE NOTES HEREIN AND THE WORKS ON THE PLANS, THE NOTES SHALL CONTROL AND THE PLANS SHALL BE MODIFIED TO CONFORM TO THE NOTES.

PC CASE NO. \_\_\_\_\_ APPROVED BY THE PLANNING COMMISSION ON \_\_\_\_\_  
 ORDINANCE NO. \_\_\_\_\_ APPROVED BY CITY COUNCIL ON \_\_\_\_\_

ARTICULANT NAME, TITLE \_\_\_\_\_ DATE \_\_\_\_\_  
 ARCHITECT/ENGINEER, CITY CLERK \_\_\_\_\_ DATE \_\_\_\_\_  
 DAVID M. BRAND, ARCHITECT/PLANNING & COMMUNITY DEVELOPMENT DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
 WILLIAM L. BERGHOFF, P.E., CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_



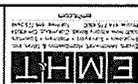
TYPICAL SECTION DETAIL (SEE SECTION 06P RW) STANDARD CURB  
 No Scale



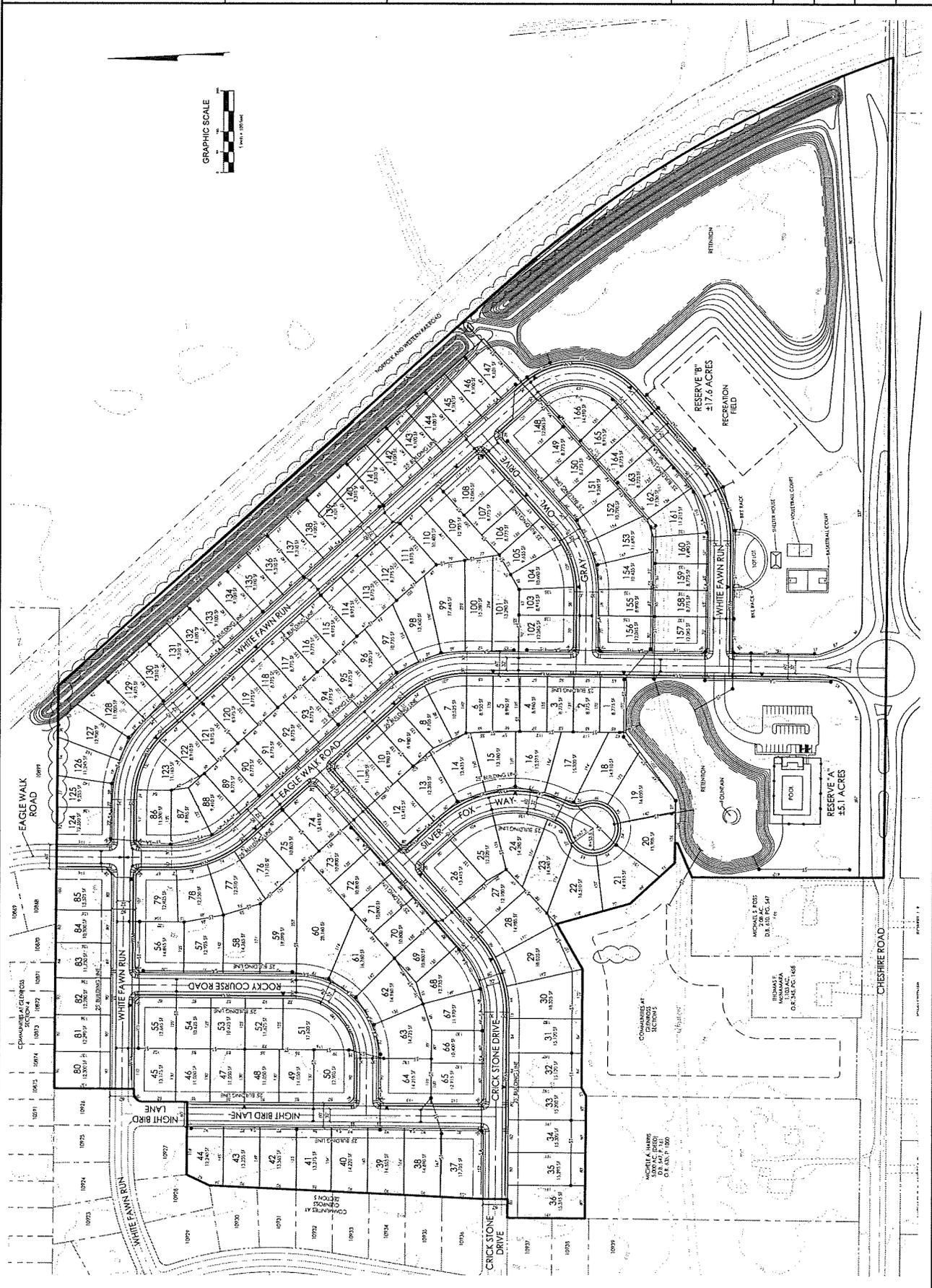
REVISIONS	DATE	DESCRIPTION


  
 PulteGroup
   
 4000 Park Center Blvd., Dublin, OH 43017
   
 TEL: 614.954.0033

CITY OF DELEWARE DELAWARE COUNTY, OHIO
   
**COMMUNITIES AT GLENCROSS**
  
**SITE PLAN**
  
 PRELIMINARY PLAN



DATE: JULY 18, 2013
   
 SCALE: 1" = 300'
   
 SHEET: 2011812
   
 PROJECT: 2/2





**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**



Project # \_\_\_\_\_

Case # 2015-1328 APPP  
2015-1329 A PSP

**Planning Commission**

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Amended Final Development Plan                  | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use             |
| <input type="checkbox"/> Amended Final Subdivision Plat                  | <input type="checkbox"/> Final Subdivision Plat           | <input type="checkbox"/> Vacation-Alley                                   |
| <input checked="" type="checkbox"/> Amended Preliminary Development Plan | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement                                |
| <input checked="" type="checkbox"/> Amended Preliminary Subdivision Plat | <input type="checkbox"/> Floodplain Permit                | <input type="checkbox"/> Vacation-Street                                  |
| <input type="checkbox"/> Annexation Review                               | <input type="checkbox"/> Lot Split                        | <b>Board of Zoning Appeals</b>  |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan   | <input type="checkbox"/> Pre-annexation Agreement         | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment                    | <input type="checkbox"/> Preliminary Development Plan     | <input type="checkbox"/> Conditional Use Permit                           |
| <input type="checkbox"/> Concept Plan                                    | <input type="checkbox"/> Preliminary Dev Plan Extension   | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit                          | <input type="checkbox"/> Preliminary Sub Plat             | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Determination of Similar Use                    | <input type="checkbox"/> Preliminary Sub Plat Extension   |   |
| <input type="checkbox"/> Development Plan Exemption                      | <input type="checkbox"/> Rezoning                         |   |
| <input type="checkbox"/> Final Development Plan                          | <input type="checkbox"/> Subdivision Variance             |   |

Subdivision/Project Name Communities at Glenross Address North of Cheshire Rd West railroad  
 Acreage 84.04 Square Footage N/A Number of Lots 166 Number of Units N/A  
 Zoning District/Land Use PMU/R-2 Proposed Zoning/Land Use PMU/R-2 Parcel # 41832001013000  
4183200101600

Applicant Name Pulte Homes Contact Person Steve Peck

Applicant Address 4900 Tuttle Crossing Drive Dublin, Ohio 43016

Phone (614) 376-1092 Fax \_\_\_\_\_ E-mail Stephen.Peck@Pulte.com

Owner Name Pulte Homes Contact Person Steve Peck

Owner Address 4900 Tuttle Crossing Drive Dublin, Ohio 43016

Phone (614) 376-1092 Fax \_\_\_\_\_ E-mail Stephen.Peck@Pulte.com

Engineer/Architect/Attorney EMH&T Contact Person Jeff Strung

Address 5500 New Albany Road Columbus, Ohio 43054

Phone (614) 775-4700 Fax \_\_\_\_\_ E-mail jstrung@emht.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

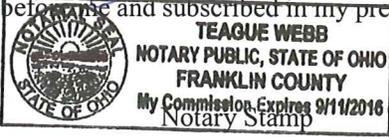
Steve Peck PULTE HOMES OF OHIO INC  
 Owner Signature

STEVE PECK  
 Owner Printed Name

[Signature]  
 Agent Signature

Jeffrey Adam Strung  
 Agent Printed Name

Sworn to before me and subscribed in my presence this 10<sup>th</sup> day of July, 2015.



[Signature]  
 Notary Public



## FACT SHEET

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AGENDA ITEM NO: 27

DATE: 8/10/15

ORDINANCE NO: 15-85

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: NO

---

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

---

**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE APPROVING AN AMENDED PRELIMINARY SUBDIVISION PLAT FOR PULTE HOMES OF OHIO FOR THE COMMUNITIES AT GLENROSS SECTIONS 6-10 FOR 166 SINGLE FAMILY LOTS ON 84.04 ACRES ZONED R-2 PMU (ONE FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED USE OVERLAY DISTRICT) LOCATED NORTH OF CHESHIRE ROAD BETWEEN BALMORAL DRIVE AND THE RAILROAD TRACKS.

**BACKGROUND:**

The Communities at Glenross was annexed and zoned in 2006 after the success of Glenross Golf Club which contained a Parade of Homes in 2005. This development was designed as a sister development to both the Glenross Golf Club and Cheshire Crossing neighborhoods. In 2011 City Council approved an amended Rezoning, Preliminary Development Plan and Preliminary Subdivision Plat for Glenross and The Communities at Glenross which resulted in the Communities at Glenross yielding 1110 dwelling units of which 626 were detached single family units and 484 were condominium units in various configurations. By July 2015, the developer has either constructed or has received Final Plat approval of Sections 1 thru 5 of the Communities at Glenross which all have been single family homes (119 lots). The developer is now requesting to revise Sections 6-10 of The Communities at Glenross located north of Cheshire Road. Consequently, the proposed amended development would result overall in The Communities at Glenross totaling 961 units at build out which is a reduction from the previous 2011 approvals of 149 units. Of the

961 total units proposed, there are 637 single-family detached units and 324 condominium units in several phases both north and south of Cheshire Road. Sections 6-10 herein proposed for amendment would now represent 166 single-family detached lots and would eliminate all the condominium units on the north side of Cheshire Road. The portion of the development south of Cheshire Road is not being reviewed in this application and the previous approvals would still apply to these areas. From a "macro" perspective, the access to development remains the same from Cheshire Road with a proposed roundabout accessing the properties to the north and south of Cheshire Road when that portion of the subdivision is developed. From a "micro" perspective, the internal roadway network within the development has been redesigned to facilitate a more functional and aesthetically enhanced development while accounting for the change in unit types.

The amended plan and plat would contain 166 single family lots on approximately 84.07 acres for a gross density of 1.97 units per acre. Of the 166 single family lots, 93 lots would have 65 feet of frontage and 73 lots would have 80-90 feet of frontage which is consistent with approved plan lot sizes. The layout is the typical double loaded subdivision street design that connects seamlessly with the previous sections (Sections 4 and 5). In addition, a swimming pool (with a restroom facility) and parking lot would be located just west of the main entrance from the roundabout on Cheshire Road while just east of the entrance would be a neighborhood park programmed with amenities. The homes that abut the railroad tracks would be buffered by mounding and landscaping (consistent with previous sections). Per the approved development text for The Communities at Glenross, the building setbacks are the following for the remainder of the development: 25 feet for front yards, 30 feet for rear yards and 10 feet for side yards. In addition, the minimum house size is 1,600 square feet for single-story houses and 1,800 square feet for multi-story houses with a maximum building height of 40 feet. Also, the development would have to comply with the oversized corner lot requirements in the zoning code. In addition, the lot depths of the houses that are adjacent to the railroad tracks are restricted to allow rear porches and decks to be constructed. The design requirements for The Communities at Glenross remain unchanged from the approval in 2011. Some of the requirements include: 1). The front elevation shall have at least 40% natural material which includes brick, stone, or cultured stone, lap siding products such as cedar, SmartSide, and cement-fiber siding, 2). Gutters (and the materials by which they are attached to the home), downspouts, soffits, shutters, garage and entrance doors shall be of man-made materials such as metal, vinyl, aluminum or glass, 3). No concrete or split face block shall be permitted except for the basement or foundation walls, 4). The roofs shall have dimensional shingles. In addition, the home shall achieve compliance with Residential Development Design Criteria and Performance Standards in Chapter 1171.08.

The developer is proposing street trees, mounding and landscaping along Cheshire Road, mounding and landscaping adjacent to the railroad tracks along with appropriate landscaping within the parks and open spaces. The Cheshire Road buffering should match or be enhanced above the existing buffering in The Glenross Golf Club east of this development. The amended plan yields 22.7 acres of open space and parkland (27%) in Reserve A (5.1 acres) and B (17.6 acres) which are located east and west of the main entrance respectively just north of the proposed roundabout on Cheshire Road. Reserve A (Section 9) includes a pool and restroom facility, a parking lot and retention pond which approximately half of the site would be considered active parkland. Reserve B (Section 10) includes approximately 7.5 acres of active parkland programmed with a tot lot, shelter house, basketball court, volleyball court and recreational field while the remaining approximately 10.1 acres is a detention/retention basin next to the railroad tracks. According to the applicant, the previous approved plan had 15.11 acres of open space in Sections 6-10 while the amended plan has 22.7 acres of open space. The pedestrian connectivity plan remains unchanged from the past approvals with regional connections being provided along Cheshire Road in addition to neighborhood sidewalks and walkways leading to the swimming pool, neighborhood park and open spaces.

Staff maintains the proposed plan is an improvement over the currently approved plan for the following reasons: 1). The overall density has been slightly reduced; 2). The condominium units have been eliminated; 3). The proposed plan increases the amount of parkland and open space along with amenities which includes a pool with a restroom facility, a programmed neighborhood park with bike paths and sidewalks connecting the aforementioned amenities; 4. Staff has had ongoing discussions with Pulte Homes regarding a number of the items as well which have been agreed to and captured in documented conditions for approval.

**REASON WHY LEGISLATION IS NEEDED:**

N/A

**COMMITTEE RECOMMENDATION:**

Planning Commission approved this case 6-0 on August 5, 2015.

**FISCAL IMPACT(S):**

N/A

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval as submitted with the documented conditions.

**ATTACHMENT(S)**

ORDINANCE NO. 15-85

AN ORDINANCE APPROVING AN AMENDED PRELIMINARY SUBDIVISION PLAT FOR PULTE HOMES OF OHIO FOR THE COMMUNITIES AT GLENROSS SECTIONS 6-10 FOR 166 SINGLE FAMILY LOTS ON 84.04 ACRES ZONED R-2 PMU (ONE FAMILY RESIDENTIAL DISTRICT WITH A PLANNED MIXED USE OVERLAY DISTRICT) LOCATED NORTH OF CHESHIRE ROAD BETWEEN BALMORAL DRIVE AND THE RAILROAD TRACKS.

WHEREAS, the Planning Commission at its meeting of August 5, 2015 recommended approval of an Amended Preliminary Subdivision Plat for Pulte Homes of Ohio for the Communities at Glenross Sections 6-10 for 166 single family lots on 84.04 acres zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) located north of Cheshire Road between Balmoral Drive and the railroad tracks (2015-1329) and

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the an Amended Preliminary Subdivision Plat for Pulte Homes of Ohio for the Communities at Glenross Sections 6-10 for 166 single family lots on 84.04 acres zoned R-2 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) located north of Cheshire Road between Balmoral Drive and the railroad tracks and is hereby confirmed, approved, and accepted with the following conditions:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. All retention ponds shall be setback a minimum of 80 feet from the edge of pavement for roads of 35 mph or higher or per the City Engineer.
3. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
4. The single family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
5. For the lots along the railroad track noted upon the submitted plat, house depths shall be restricted to 45 feet from the building line and porch and deck depths shall be restricted to 60 feet from the building

- line. These restrictions shall be evaluated in detail and placed upon the final plat.
6. The proposed neighborhood park in Reserve B shall be programmed with a tot lot ( play equipment and a swing set), shelter house, basketball court, volleyball court, and recreational field and shall be maintained by the Homeowner's Association with an easement dedicated to the City for public use. The exact programing shall be determined and approved with Final Development Plan and Plat reviews for Section 10.
  7. The Cheshire Road buffering should match or be enhanced above the existing buffering in the The Glenross Golf Club east of this development. The maintenance of the mound and associated landscaping shall be the responsibility of the Homeowner's Association. The subject plan shall be reviewed and approved by the Shade Tree Commission.
  8. A 10-12 foot high mound with landscaping shall be installed adjacent to the railroad tracks to be consistent with mounding in Section 4 of the Communities at Glenross just north of the subject section. The mounding and landscaping shall be placed within an easement recorded and described upon the final plat and all such improvements shall be the maintenance responsibility of the Home Owners Association (HOA) in perpetuity. No changes to the mounding or landscaping shall be allowed without the approval of the City of Delaware. The applicant may make allowances for individual homeowners to mow and otherwise maintain this area so long as no improvements are altered, but the final maintenance responsibility shall rest with the HOA. The subject plan shall be reviewed and approved by the Shade Tree Commission.
  9. A street tree plan shall be submitted and approved by the Shade Tree Commission.
  10. Any tree removal and/or replacement requirements shall achieve compliance with Chapter 1168 Tree Preservation Regulations and shall be required prior to final plat approvals for each phase.
  11. The bike path along Cheshire Road shall be installed by the developer and located within an easement dedicated to the City and shall be maintained by the Homeowner's Association.
  12. The street lighting plan shall be submitted, reviewed and approved by the Chief Building Official and achieve compliance with all zoning requirements prior to final subdivision plat approval of each phase.
  13. Prior to accepting a final plan, plat, or home lot construction for the 75th home in Sections 6-10, Pulte shall produce evidence, sufficient to the city's satisfaction, of procurement of the necessary right of way and easements along Cheshire Road in order to complete the improvements from the current eastern terminus through the railroad tracks on the eastern boundary of the overall project.
  14. Preliminary design of the Cheshire Road and roundabout improvements shall be submitted and performance bonding shall be in place (Ordinance 15-49 contained item 2 in this regard but the City is willing to relax that condition as noted herein) prior to acceptance of public improvements for

Section 5.

- 15. The long standing dirt spoil mound located on Glenross Park and long promised to be removed by Dominion Homes and now Pulte Homes, shall be removed and the area graded and seeded together with straw as required by the engineering department and the parks and natural resources department, prior to the acceptance of any public improvements for Section 5 of Communities at Glenross.
- 16. These sections of the Communities of Glenross Subdivision shall be placed in the Delaware South New Community Authority prior to issuance of building permits, subject to the single family lot transportation fee in effect for the Glenross Golf Club at the time of building permit issuance and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling units.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS\_\_\_NAYS\_\_\_  
ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2015

YEAS\_\_\_ NAYS\_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR



## FACT SHEET

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AGENDA ITEM NO: 28

DATE: 8/10/15

ORDINANCE NO: 15-86

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: NO

---

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

---

**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE SUPPLEMENTING THE 2015 APPROPRIATIONS ORDINANCE TO PROVIDE FUNDING FOR THE ISSUANCE OF A REFUND OF MONEY COLLECTED PURSUANT TO SECTION 1129.13(g) OF THE CITY'S CODIFIED ORDINANCES, AND DECLARING AN EMERGENCY.

**BACKGROUND:**

In 2008 then Dominion Homes, Inc. supplied a required surety for Temporary Occupancies as required by Code in the cash amount of \$20,000. This was deposited by the City. Subsequently, Dominion Homes, Inc. has sold its homebuilding assets to Pulte Homes. Pulte has supplied their own required surety for Temporary Occupancies for the acquired assets of Dominion Homes. Dominion Homes continues to exist as a corporation and has requested a refund of the 2008 deposit. Therefore, Staff has determined this refund due back to Dominion Homes, Inc. and this legislation is necessary to accomplish that.

**REASON WHY LEGISLATION IS NEEDED:**

Without a supplemental appropriation the City will not be able to issue the refund due back at this time to Dominion Homes, Inc.

**COMMITTEE RECOMMENDATION:**

N/A

**FISCAL IMPACT(S):**

These were assets taken in by the City and will simply be refunded with passage of this legislation.

**POLICY CHANGES:**

N/A

**PRESENTER(S):**

David Efland, Planning and Community Development Director

**RECOMMENDATION:**

Staff recommends approval as submitted.

**ATTACHMENT(S)**

N/A

ORDINANCE NO. 15-86

AN ORDINANCE SUPPLEMENTING THE 2015 APPROPRIATIONS ORDINANCE TO PROVIDE FUNDING FOR THE ISSUANCE OF A REFUND OF MONEY COLLECTED PURSUANT TO SECTION 1129.13(g) OF THE CITY'S CODIFIED ORDINANCES, AND DECLARING AN EMERGENCY.

WHEREAS, The City of Delaware's Codified Ordinance, Subsection 1129.13, permits the Planning Director to add restrictions to permit Temporary Occupancies of structures, and

WHEREAS, the City has determined that there are certain elements of construction that cannot from time to time necessarily be completed concurrent with temporary occupancy of structures, but for which an applicant may submit surety to the City for such completion of construction, and

WHEREAS, Dominion Homes, Inc provided a check to the City in the amount of \$20,000.00 for surety of the completion to the City's requirements for Temporary Occupancies in 2008 which the City deposited, and

WHEREAS, Dominion Homes, Inc. has subsequently sold its homebuilding assets to Pulte Homes, and

WHEREAS, Pulte Homes has subsequently submitted the required surety for projects Pulte assumed control over from Dominion Homes, Inc., and

WHEREAS Dominion Homes, Inc. continues to exist as a corporate entity and has requested a refund of the 2008 surety amount which is no longer needed by the city as a result of the Pulte Bond, and

WHEREAS, a supplemental appropriation will be necessary to authorize funding for issuance of the refund.

NOW THEREFORE BE IT ORDAINED BY THE COUNCIL OF THE CITY OF DELAWARE, OHIO THAT:

SECTION 1. That there is hereby appropriated from the unencumbered balance of the General Fund \$20,000 increasing the following accounts:

Planning and Community Development		
Refunds	(101-0061-5601)	\$20,000

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage

of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

SECTION 3. EMEGENCY CLAUSE: That this ordinance is hereby declared to be an emergency measure necessary to provide for the public peace, safety, health and welfare of the City and for the further reason to expedite the refund that Dominion, Inc. is entitled to, and as such will be in full force and effect immediately upon its passage.

VOTE ON RULE SUSPENSION: YEAS\_\_\_ NAYS\_\_\_  
ABSTAIN \_\_\_

VOTE ON EMERGENCY CLAUSE: YEAS\_\_\_ NAYS\_\_\_  
ABSTAIN \_\_\_

PASSED: \_\_\_\_\_, 2015 YEAS\_\_\_ NAYS\_\_\_  
ABSTAIN \_\_\_

ATTEST: \_\_\_\_\_  
CITY CLERK MAYOR \_\_\_\_\_



## FACT SHEET

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AGENDA ITEM NO: 29

DATE: 8/10/15

ORDINANCE NO: 15-60

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: **YES**  
**August 24, 2015 at 7:15 p.m.**

---

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: N/A

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**TITLE OF PROPOSED ORDINANCE/RESOLUTION:**

AN ORDINANCE TO AMEND SECTIONS 191.03 AND 191.14 OF THE CODIFIED ORDINANCES OF THE CITY OF DELAWARE, OHIO, TO PROVIDE FOR THE CONTINUATION OF AN EXISTING FIFTEEN ONE-HUNDREDTHS OF ONE PERCENT (0.15%) LEVY ON INCOME BY THE CITY FOR THE PURPOSE OF IMPROVING MUNICIPAL RECREATION FACILITIES AND PAYING THE DEBT SERVICE CHARGES ON SECURITIES ISSUED FOR THAT PURPOSE, BUT TO PROVIDE THAT THE FINAL CALENDAR YEAR IN WHICH THAT TAX MAY BE LEVIED SHALL BE THE CALENDAR YEAR IN WHICH THE DEBT SERVICE CHARGES ON SECURITIES ISSUED FOR THAT PURPOSE AND OUTSTANDING AS OF JUNE 1, 2015, AND ON ANY SECURITIES HEREAFTER ISSUED TO REFUND THOSE SECURITIES, HAVE BEEN FULLY PAID OR PROVIDED FOR.

**BACKGROUND:**

Bond counsel has provided the attached ordinance change which would establish criteria under which the .15% recreation levy tax will be sunset. Specifically, the tax would expire after December 31 of the year existing securities (and any debt service or securities issued to pay that debt) is paid off.

**REASON WHY LEGISLATION IS NEEDED:**

This ordinance is the recommended alternative to placing similar language on the ballot.

**COMMITTEE RECOMMENDATION:**

N/A

**FISCAL IMPACT(S):**

No additional cost to the City.

**POLICY CHANGES:**

Places restriction on spending and borrowing on the tax levy funds

**PRESENTER(S):**

Andrew Brush, Fourth Ward Council Member

**RECOMMENDATION:**

N/A

**ATTACHMENT(S)**

N/A

ORDINANCE NO. 15-60

AN ORDINANCE TO AMEND SECTIONS 191.03 AND 191.14 OF THE CODIFIED ORDINANCES OF THE CITY OF DELAWARE, OHIO, TO PROVIDE FOR THE CONTINUATION OF AN EXISTING FIFTEEN ONE-HUNDREDTHS OF ONE PERCENT (0.15%) LEVY ON INCOME BY THE CITY FOR THE PURPOSE OF IMPROVING MUNICIPAL RECREATION FACILITIES AND PAYING THE DEBT SERVICE CHARGES ON SECURITIES ISSUED FOR THAT PURPOSE, BUT TO PROVIDE THAT THE FINAL CALENDAR YEAR IN WHICH THAT TAX MAY BE LEVIED SHALL BE THE CALENDAR YEAR IN WHICH THE DEBT SERVICE CHARGES ON SECURITIES ISSUED FOR THAT PURPOSE AND OUTSTANDING AS OF JUNE 1, 2015, AND ON ANY SECURITIES HEREAFTER ISSUED TO REFUND THOSE SECURITIES, HAVE BEEN FULLY PAID OR PROVIDED FOR.

NOW, THEREFORE, BE IT ORDAINED by The Council of The City of Delaware, State of Ohio, that:

SECTION 1. The initial paragraph of Section 191.03 of the Codified Ordinances of the City of Delaware, Ohio, is hereby amended to read as follows effective January 1, 2016:

**“191.03. - Imposition of tax.**

- (a) Subject to the provisions of Section 191.15, an annual tax for the purposes specified in Section 191.01, shall be imposed on and after January 1, 2011 at the rate of one and eighty-five one-hundredths percent (1.85%) per annum, and shall be imposed at the rate of one and seventy one-hundredths percent (1.70%) per annum on and after January 1 of the calendar year next succeeding the calendar year in which the debt service charges on all of the securities described in Section 191.14(b) have been fully paid or provided for, upon the following:”

SECTION 2. Section 191.14 of the Codified Ordinances of the City of Delaware, Ohio, is hereby amended to read as follows effective January 1, 2016:

**“191.14 Allocation of Funds.**

The amounts collected under the provisions of this chapter shall be allocated in such manner as provided by ordinances adopted by Council, with the following exceptions:

- (a) An amount equal to that generated by a tax of four-tenths of one percent (0.4%) shall be paid into the Fire/EMS Income Tax Fund and used solely for the purpose of paying the costs of fire protection, suppression, and emergency medical services.
  
- (b) An amount equal to that generated by a tax of fifteen one-hundredths of one percent (0.15%) shall be paid into a special fund or funds and used solely for the purpose of paying the costs of improving the municipal recreation facilities, including construction of a recreation center to provide fitness, track, swimming, and indoor and outdoor multi-purpose facilities, and athletic fields, and the construction, renovation and improvement of other municipal recreation facilities, including the provision of furnishing and equipment for the center and all of such other facilities, and acquiring related interests in real property and otherwise improving the same, together with all necessary appurtenances thereto and paying the debt service charges and related costs of securities issued to pay the costs of the center and such other facilities, through December 31 of the calendar year in which the debt service charges on securities issued for any such purposes and outstanding as of June 1, 2015, and on any securities hereafter issued to refund those securities, have been fully paid or provided for.”

SECTION 3. Effective January 1, 2016, Sections 191.03 and 191.14 of the Codified Ordinances of the City of Delaware, Ohio, as each heretofore existed, are hereby amended as set forth herein; provided, however, that no provision of this Ordinance, including the amendment of Sections 191.03 and 191.14 of the Codified Ordinances of the City of Delaware, Ohio, as each heretofore existed, shall in any way affect any rights or obligations of the City, any taxpayer, any holder of City securities payable from the Existing Income Tax Levy, or any other person, official or entity, with respect to the fifteen one-hundredths of one percent municipal income taxes authorized by predecessor Sections 191.03 and 191.14.

SECTION 4. This Council finds and determines that all formal actions of this Council concerning and relating to the passage of this Ordinance were



TO: Mayor Riggle and Members of Council

FROM: R. Thomas Homan, City Manager

SUBJECT: Miscellaneous Matters

DATE: August 5, 2015

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1. **Calendars**

See Attached

2. **Per Section 73 Of The City Charter The City Manager Is To Report Contract Agreements**

See Attached

3. **Bi-Weekly Meetings**

July 27

- \* Rotary
- \* Finance Committee meeting
- \* Council meeting

July 30

- \* MORPC Visit

August 3

- \* Rotary
- \* 911 Board meeting

August 5

- \* Bishop Backers meeting
- \* Civil Service Commission

# August

2015

<i>Sun</i>	<i>Mon</i>	<i>Tue</i>	<i>Wed</i>	<i>Thu</i>	<i>Fri</i>	<i>Sat</i>
						<b>1</b>

<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>
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Civil Service  
Commission 3  
Planning  
Commission 7

<b>9</b>	<b>10</b>	<b>11</b>	<b>12</b>	<b>13</b>	<b>14</b>	<b>15</b>
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Council 5:30

BZA 7

<b>16</b>	<b>17</b>	<b>18</b>	<b>19</b>	<b>20</b>	<b>21</b>	<b>22</b>
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Parking and Safety  
Committee 7

Parks & Rec  
Advisory Board 7

<b>23</b>	<b>24</b>	<b>25</b>	<b>26</b>	<b>27</b>	<b>28</b>	<b>29</b>
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Council 5:30

Shade Tree  
Commission 7

HPC 7

<b>30</b>	<b>31</b>					
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**CONTRACT APPROVAL - AUGUST 10, 2015**

<b>VENDOR</b>	<b>EXPLANATION OF AGREEMENT</b>	<b>2015 AMOUNT</b>	<b>DEPARTMENT</b>
ms consultants	US23 & Pennsylvania Avenue	\$29,919	Engineering
Double Z Construction	Glenn Rd US35 to Mill Run Crossing Improvements	\$1,749,067.70	Engineering
Sims Bros	Recyclables Services	N/A	Public Works