

**CITY OF DELAWARE
CITY COUNCIL
CITY COUNCIL CHAMBERS
1 SOUTH SANDUSKY STREET
7:00 P.M. REGULAR MEETING**

AGENDA

6:30 P.M. EXECUTIVE SESSION: pursuant to Ohio Revised Code Section 121.22 (G) (3) pending or imminent court action, Section 121.22 (G) (1) personnel, Section 121.22 (G) (5) matters required to be kept confidential by State statute, Section 121.22 (G) (2) acquisition of property for public purpose and 121.22(G) (8) consideration of confidential information related to a request for economic development assistance.

7:00 P.M. REGULAR MEETING

July 23, 2018

1. ROLL CALL
2. INVOCATION – Lisa Ho, Associate Chaplain for Ohio Wesleyan University
3. PLEDGE OF ALLEGIANCE
4. APPROVAL of the Motion Summary of the Regular Meeting of Council held on July 9, 2018, as recorded and transcribed.
5. CONSENT AGENDA
 - A. Acceptance of the Motion Summary of the Parks and Recreation Advisory Board meeting held on June 19, 2018, as recorded and transcribed.
 - B. Acceptance of the Motion Summary of the Planning Commission meeting held on June 6, 2018, as recorded and transcribed.
 - C. Acceptance of the Motion Summary of the Sister City Advisory Board meeting held on April 10, 2018, as recorded and transcribed.
 - D. Acceptance of the Motion Summary of the Finance Committee meeting held on April 25, 2018, as recorded and transcribed.
 - E. Resolution No. 18-46, a resolution authorizing the City Manager to sign a Memorandum of Understanding between the Helpline of Delaware and Morrow Counties’ Sexual Assault Response Network (SARN) Program and the Delaware Police Department.
 - F. Establish August 13, 2018 at 7:30 p.m. as a date and time for a

public hearing and second reading for Ordinance No. 18-64, an ordinance approving a Conditional Use Permit request by N & G Takhar Oil for a renovation and expansion of the Marathon Gas Station at 473 South Sandusky Street on approximately 0.80 acres on property zoned B-3 (Community Business District).

6. LETTERS, PETITIONS, AND PUBLIC COMMENTS
7. COMMITTEE REPORTS
8. PRESENTATIONS
 - A. Delaware General Health District Update - Shelia Hiddleson, Health Commissioner
9. CONSIDERATION OF NEW LIQUOR PERMIT
 - A. Mystic Golf & Games LLC, 1159 Columbus Pike, Delaware, Ohio 43015. Permit Class: D2
10. FOURTH READING of Ordinance No. 18-50, an ordinance for Manos Properties for approval of a Rezoning Amendment for the Wesleyan Inn on approximately 1.09 acres (Parcels 519-433-04-005-000 and 519-433-04-002) from PO/I (Planned Office/Institutional District) and R-3 (One-Family Residential District) to PO/I and R-3 PMU (Planned Mixed Use Overlay District) at 235 and 239 West William Street.
11. FOURTH READING of Ordinance No. 18-51, an ordinance for Manos Properties for approval of a Conditional Use Permit allowing the placement of a PMU (Planned Mixed Use Overlay District) to be established for the Wesleyan Inn on approximately 1.09 acres (Parcels 519-433-04-005-000 and 519-433-04-002) at 235 and 239 West William Street.
12. FOURTH READING of Ordinance No. 18-52, an ordinance for Manos Properties for approval of a Preliminary Development Plan for the Wesleyan Inn on approximately 1.09 acres (Parcels 519-433-04-005-000 and 519-433-04-002) on property zoned PO/I and R-3 PMU (Planned Mixed Use Overlay District) at 235 and 239 West William Street.
13. SECOND READING of Ordinance No. 18-61, an ordinance amending Ordinance No. 11-86 to extend the permissible closing date of property previously offered for sale at public auction.
14. CONSIDERATION of Ordinance No. 18-62, an ordinance accepting the annexation of 2.091 ± acres of land more or less, description and map

are attached hereto as exhibits “A” and “B” for the annexation known as the Joshua Morgan Annexation by Andrew P. Wecker, agent for the petitioners.

15. CONSIDERATION of Ordinance No. 18-63, an ordinance approving a Final Subdivision Plat request by Stavroff Land Development Inc., for Belmont Place Section 5 consisting of 38 single family lots on approximately 11.083 acres zoned R-3 PMU (One-Family Residential with a Planned Mixed Use Overlay District) and located on McNamara Loop and Neville Lane.
16. CONSIDERATION of Ordinance No. 18-64, an ordinance approving a Conditional Use Permit request by N & G Takhar Oil for a renovation and expansion of the Marathon Gas Station at 473 South Sandusky Street on approximately 0.80 acres on property zoned B-3 (Community Business District).
17. ETHICS TRAINING – Chris Ballard
18. FINANCE DIRECTOR’S REPORT
19. CITY MANAGER’S REPORT
20. COUNCIL COMMENTS
21. ADJOURNMENT

RECORD OF PROCEEDINGS

Minutes of

Delaware City Council

Meeting

BEAR GRAPHICS 800-325-8094 FORM NO. 10148

Held

July 9

20

18

6:30 EXECUTIVE SESSION: Mr. Rohrer motioned to enter into executive session at 6:31 p.m. This motion was seconded by Vice-Mayor Shafer and approved by a 6-0 vote. Council met in executive session pursuant to Ohio Revised Code Section 121.22 (G) (3) pending or imminent court action, Section 121.22 (G) (1) personnel, Section 121.22 (G) (5) matters required to be kept confidential by State statute, Section 121.22 (G) (2) acquisition of property for public purpose and 121.22(G) (8) consideration of confidential information related to a request for economic development assistance. Council conducted a discussion of those items with the following members present: First Ward Chris Jones, Third Ward Jim Browning, Fourth Ward Kyle Rohrer, At-Large George Hellinger, Vice-Mayor Kent Shafer and Mayor Carolyn Kay Riggle. Following the discussion at 6:59 p.m., it was moved by Mayor Riggle that Council move into Open session, seconded by Vice-Mayor Shafer and approved by a 6-0 vote.

The regular meeting of Council held July 9, 2018 was called to order at 7:01 p.m., in the City Council Chambers. The following members of Council were present: First Ward Chris Jones, Third Ward Jim Browning, Fourth Ward Kyle Rohrer, At-Large George Hellinger, Vice-Mayor Kent Shafer and Mayor Carolyn Kay Riggle who presided. Absent from the meeting was Second Ward Lisa Keller. The invocation was given by Pastor Kale Booher, of Lifepoint Church, followed by the Pledge of Allegiance.

Staff Present: Darren Shulman, City Attorney, Ted Miller, Parks and Natural Resource Director, Dean Stelzer, Finance Director, Blake Jordan, Director of Public Utilities, Bill Ferrigno, Public Works Director/City Engineer, Dave Efland, Planning and Community Development Director, John Donahue, Fire Chief, Bruce Pijanowski, Police Chief, and Tom Homan, City Manager

Motion to Excuse: Vice-Mayor Shafer motioned to excuse Mrs. Keller, seconded by Mr. Browning. Motion approved by a 6-0 vote.

ITEM 4: APPROVAL OF MINUTES

APPROVAL of the Motion Summary of the regular meeting of Council held on June 25, 2018, as recorded and transcribed.

Motion: Mr. Browning motioned to approve the Motion Summary of the regular meeting of Council held June 25, 2018, as recorded and transcribed, seconded by Mr. Rohrer. Motion approved by a 6-0 vote.

ITEM 5: CONSENT AGENDA

- A. Acceptance of the Motion Summary of the Shade Tree Commission meeting held on April 24, 2018, as recorded and transcribed.
- B. Acceptance of the Motion Summary of the Historic Preservation Commission meeting held on February 28, 2018, as recorded and transcribed.
- C. Resolution No. 18-43, a resolution authorizing the City Manager to prepare and submit an application to participate in the Ohio Public Works Commission (OPWC) Local Transportation Improvements (LTIP) Grant Program (Round 33), and to execute contracts as required for the Houk Road (Sections B & D) and North Union Improvements.
- D. Resolution No. 18-44, a resolution authorizing the City Manager to enter into a Cooperation Agreement with Delaware County for an

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Held July 9 2018

application to the Ohio Public Works Commission (OPWC) for the Houk Road (Sections B & D) and North Union Improvements.

- E. Resolution No. 18-45, a resolution authorizing the City Manager to prepare and submit formal applications for Federal Attributable Funding through the Mid-Ohio Regional Planning Commission (MORPC) for the planning, design, and construction of the Houk Road (Sections A & C) Improvements.

Motion: Vice-Mayor Shafer motioned to approve the Consent Agenda, seconded by Mr. Browning. Motion approved by a 6-0 vote.

ITEM 6: LETTERS, PETITIONS, AND PUBLIC COMMENTS

ITEM 7: COMMITTEE REPORT

Mr. Hellinger informed Council that there is a Finance Committee Meeting on Wednesday, July 11, 2018.

Mayor Riggle informed Council that there is a Sister City Advisory Board Meeting on Tuesday, July 10, 2018.

ITEM 8: PRESENTATIONS

- A. Presentation and recommendation by the Parks and Recreation Advisory Board regarding a No Tobacco Policy at City Parks – Allyson Lash, Chairwoman

PRESENTORS:

Allyson Lash
Parks and Recreation Advisory Board Chairwoman
381 Timbersmith Drive
Delaware, Ohio 432015

Abby Trimble
Delaware General Health District
1 West Winter Street
Delaware, Ohio 43015

Ted Miller
Parks and Natural Resource Director

Ms. Lash provided background regarding the request by the Health Department on having tobacco free parks. Mr. Miller discussed the efforts to discourage smoking around youth sporting events and that staff and the Parks and Recreation Advisory Board reviewed similar policies to prohibit tobacco products from other cities. Vice-Mayor Shafer voiced a concern over a complete ban compared to designated areas. Mr. Hellinger recommended that all city parks and property, including Hidden Valley Golf Course, to be tobacco free. Ms. Trimble recommended that the ban include all tobacco, smokeless tobacco, and vapor smoking.

- B. Continued discussion and questions regarding the request for a Terra Alta New Community Authority (NCA) - David Fisher, Principal, Kephart Fisher, LLC, et al.

PRESENTORS:

Michael R. Shade

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BEAR GRAPHICS 800-329-8004 FORM NO. 10148

Held July 9 2018

P.O. Box 438
Delaware, Ohio

Steve Cuckler
94 North Sandusky Street
Delaware, Ohio

Mr. Shade informed Council that he will be providing them with the language regarding NCA's in the Columbus Board of Realtor's Contract. He discussed the analysis that was completed to show the voting outcome from the November 2016 election and voting trends by those that were under the current NCA's. Mr. Homan informed Mr. Shade and Council that the formal petition had not been received. Mr. Cuckler discussed the opportunity the NCA will provide for high end housing. Mr. Cuckler discussed the average home value for the City of Delaware and the average new home price for City of Delaware. He discussed the average home values for a home in Delaware City School District to increase with the NCA. Mr. Cuckler discussed other comparable cities with NCA's, including the NCA in the Golf Village development located in Powell. He discussed that the board will be comprised of residents of the development.

ITEM 9: RESOLUTION NO. 18-40 [Public Comment and Second Reading]

A RESOLUTION AUTHORIZING THE RESTRICTION OF ON STREET PARKING ON THE NORTH SIDE OF WEST FOUNTAIN AVENUE BETWEEN FOREST AVENUE AND EUCLID AVENUE BETWEEN THE HOURS OF 7:30 AM AND 3:45 PM ON SCHOOL DAYS.

The Clerk read the resolution for the first time.

Chief Pijanowski provided an update on the request for no parking on West Fountain Avenue during school hours. He discussed the difficulty maneuvering through the street during school hours due to the narrow street and having cars parked on both sides.

PUBLIC PARTICIPATION:

Deborah Guebert
265 West Fountain Avenue
Delaware, Ohio

Ms. Guebert voiced opposition to the parking restrictions and the impact to having reduced parking on the streets, which will create more parking in front of her residence. She provided suggestions of 2-3 hour parking during daytime hours, parking passes, and city ordinance to restrict parking within so many feet of driveways.

Dick Jackson
270 West Fountain Avenue
Delaware, Ohio

Mr. Jackson voiced his support to the restrictions and that he has difficulty getting safely out of his driveway during school days and hours.

Vice-Mayor Shafer recommended to have the restrictions as a temporary measure during the 2018-2019 school year and then reevaluate. Council was in agreement to this reevaluation.

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Motion: Vice-Mayor Shafer motioned to amend Resolution No. 18-40 to have a trial period during the 2018-2019 school year, seconded by Mr. Browning. Motion approved by a 6-0 vote.

Motion: Vice-Mayor Shafer motioned to adopt Resolution No. 18-40, as amended, seconded by Mr. Browning. Motion approved by a 6-0 vote.

ITEM 10: RESOLUTION NO. 18-41 [Second Reading]
A RESOLUTION ACCEPTING NEGOTIATED CHANGES TO THE COLLECTIVE BARGAINING AGREEMENT BETWEEN THE INTERNATIONAL ASSOCIATION OF FIRE FIGHTERS (IAFF), LOCAL 606 AND THE CITY OF DELAWARE.

The Clerk read the resolution for the second time.

Motion: Vice-Mayor Shafer motioned to adopt Resolution No. 18- 41, seconded by Mr. Jones. Motion approved by a 6-0 vote.

ITEM 11: RESOLUTION NO. 18-29 [Fourth Reading]
A RESOLUTION AUTHORIZING THE CITY MANAGER TO ENTER INTO A JOINT ECONOMIC DEVELOPMENT DISTRICT (JEDD) CONTRACT WITH BERKSHIRE TOWNSHIP.

The Clerk read the resolution for the fourth time.

Mr. Shulman discussed that the City is currently waiting for Berkshire Township to provide the notification to property owners in the JEDD area.

Motion: Mr. Jones motioned to table Resolution No. 18-29 until the City receives signed paperwork from Berkshire Township, seconded by Vice-Mayor Shafer. Motion approved by a 6-0 vote.

ITEM 12: ORDINANCE NO. 18-50 [Third Reading]
AN ORDINANCE FOR MANOS PROPERTIES FOR APPROVAL OF A REZONING AMENDMENT FOR THE WESLEYAN INN ON APPROXIMATELY 1.09 ACRES (PARCELS 519-433-04-005-000 AND 519-433-04-002) FROM PO/I (PLANNED OFFICE/INSTITUTIONAL DISTRICT) AND R-3 (ONE-FAMILY RESIDENTIAL DISTRICT) TO PO/I AND R-3 PMU (PLANNED MIXED USE OVERLAY DISTRICT) AT 235 AND 239 WEST WILLIAM STREET.

The Clerk read the ordinance for the third time.

APPLICANT:
Jim Manos
5973 Macewen Ct.
Dublin, Ohio

Joe Clase
Plan4Land.LLC
10 W. North St.
Ostrander, Ohio

Pat Manly
4405 Olentangy Blvd.

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Held July 9 2018

Columbus, Ohio

PUBLIC COMMENT:

Cat Wimer
250 West Williams Street
Delaware, Ohio

Ms. Wimer voiced concerns over the lack of visibility to see oncoming cars when backing out of property. She discussed the negative impact to the neighborhood with the proposed development and the high cost to the developer to make changes to the south side of Williams Street.

Sue Macklin
12 Montrose Avenue
Delaware, Ohio

Ms. Macklin questioned on how far improvements will be made on the south side of Williams Street and will these improvements take from the right-a-way. Mr. Ferrigno discussed that these will be right-a-way improvements and the expected distance and location of the improvements.

Cheryl Hutchinson
256 West William Street
Delaware, Ohio

Ms. Hutchinson voiced concerns over the safety issue if there are changes to the north side of William Street.

Tom Tobin
253 West William Street
Delaware, Ohio

Mr. Tobin voiced opposition to the development and concerns on how the development will be successful if the surrounding community does not support it. He also discussed that families will want to stay closer to amenities.

Lori Flaglor
35 Montrose Avenue
Delaware, Ohio

Ms. Flaglor discussed concerns over Conditions 2 and 4 in the staff recommendations and questioned if Ohio Wesleyan University has approved the emergency access point.

Cathy Tobin
253 West William Street
Delaware, Ohio

Ms. Tobin voiced concerns over the increase in traffic and current traffic concerns. She discussed concerns over the lights from cars shining into her house and the lack of privacy. Ms. Tobin voiced concerns of the potential loss in value to her home and insurance increases for homeowners insurance.

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Pat Manly
4405 Olentangy Blvd.
Columbus, Ohio

Mr. Manly discussed the market study that was completed to encourage the project and the motivation of the applicant to restore and preserve the house both inside and out. He discussed the requirements for an emergency access by the City of Delaware Fire Department and that the area will have a landscape buffer. Mr. Manly discussed the applicant's proposal to not change the parking on the north side of William Street and to make the changes on the applicant's property on the south side. He discussed the potential need to relocate the stone wall and regrade the front yard to accommodate changes.

Joe Clase
Plan4Land.LLC
10 W. North St.
Ostrander, Ohio

Mr. Clase discussed the projected timeline.

Council was in agreement to take Ordinance No. 18-50, 51, and 52 to a fourth reading. Council requested a copy of the market study and the applicant informed Council that it can be provided to them.

ITEM 13: ORDINANCE NO. 18-51 [Third Reading]
AN ORDINANCE FOR MANOS PROPERTIES FOR APPROVAL OF A CONDITIONAL USE PERMIT ALLOWING THE PLACEMENT OF A PMU (PLANNED MIXED USE OVERLAY DISTRICT) TO BE ESTABLISHED FOR THE WESLEYAN INN ON APPROXIMATELY 1.09 ACRES (PARCELS 519-433-04-005-000 AND 519-433-04-002) AT 235 AND 239 WEST WILLIAM STREET.

The Clerk read the ordinance for the third time. Council to take Ordinance No. 18-51 to a fourth reading.

ITEM 14: ORDINANCE NO. 18-52 [Third Reading]
AN ORDINANCE FOR MANOS PROPERTIES FOR APPROVAL OF A PRELIMINARY DEVELOPMENT PLAN FOR THE WESLEYAN INN ON APPROXIMATELY 1.09 ACRES (PARCELS 519-433-04-005-000 AND 519-433-04-002) ON PROPERTY ZONED PO/I AND R-3 PMU (PLANNED MIXED USE OVERLAY DISTRICT) AT 235 AND 239 WEST WILLIAM STREET.

The Clerk read the ordinance for the third time. Council to take Ordinance No. 18-52 to a fourth reading.

ITEM 15: ORDINANCE NO. 18-61 [First Reading]
AN ORDINANCE AMENDING ORDINANCE NO. 11-86 TO EXTEND THE PERMISSIBLE CLOSING DATE OF PROPERTY PREVIOUSLY OFFERED FOR SALE AT PUBLIC AUCTION.

The Clerk read the ordinance for the first time. Council to take Ordinance NO. 18-61 to a second reading.

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ITEM 16: CITY MANAGER'S REPORT

Mr. Homan informed Council that he was invited to participate in a MORPC Transportation Strategy Group.

Mr. Homan provided an update on the upcoming Comprehensive Plan Steering Committee meeting.

ITEM 17: COUNCIL COMMENTS

Mr. Hellinger discussed the need for city staff to be more proactive on code violations and potential safety issues. He also discussed the concerns received on who constituents can call for concerns. He discussed the option of having one specific line designated to provide customer service assistance and direct callers to the correct department for assistance.

Mayor Riggle discussed the continued use of signs in the right-a-way and the consideration of enforcing a fee or a fine. She discussed the need to move the parade for the Fourth of July earlier in the day to allow for staff to have time with their family and to not have it at the hottest part of the day.

ITEM 18: ADJOURNMENT

Motion: Vice-Mayor Shafer motioned to adjourn the meeting. The meeting adjourned at 9:01 p.m.

Mayor Carolyn Kay Riggle

Elaine McCloskey, Council Clerk

PARKS AND RECREATION ADVISORY BOARD
MOTION SUMMARY
June 19, 2018

ITEM 1. Roll Call

Vice-Chairwoman Hibinger called the meeting to order at 7:00 p.m.

Members Present: Joshua Bricker, Cassie Cunningham, Bob Dalton, Gary Hayward, Michael Rush, Corie Thompson, Angela MacWhinney, Vice-Chairwoman Dianna Hibinger

Members Absent: Councilmember Jim Browning and Chairwoman Allyson Lash

City Staff Present: Linda Mathews, Customer Service Liaison and Ted Miller, Parks and Natural Resource Director

YMCA Staff Present: Stacey Tighe, Aquatics Director

Motion to Excuse: Mr. Bricker moved to excuse Councilmember Jim Browning and Chairwoman Allyson Lash, seconded by Mr. Dalton. Motion approved by an 8-0 vote.

ITEM 2. APPROVAL of the Motion Summary for the meeting held May 15, 2018 as recorded and transcribed.

Motion: Mr. Dalton moved to approve the Motion Summary for the meeting held May 15, 2018 as recorded and transcribed, seconded by Mr. Hayward. Motion approved by an 8-0 vote.

ITEM 3. PUBLIC COMMENTS

There was no public comment.

ITEM 4. UPDATE of YMCA Recreation Services, Programs and Events

Ms. Tighe provided an update from the YMCA and discussed upcoming dates of closure for the Jack Florance Pool. She informed the Board of the need for volunteers at the Dave Staley Triathlon.

ITEM 5. UPDATE of Parks Activities

Mr. Miller informed the Board that there are continued discussions with a group interested in disc golf and potential location to be at the Wetland Park. He presented the idea of a bike park at the previous landfill site. He discussed the use of this type of park on a landfill site in Lebanon, Ohio. The Board requested

more information and examples of obstacle courses at other sites.

Mr. Miller also discussed that the Parks Department will be moving their operations out of the current location on Ross Street and that the Community Coalition is interested in possible uses of the building. He also discussed the potential to expand the Ross Street Park.

Mr. Miller provided information regarding a citizen donation received to update the Belle Avenue Park. He provided information on potential upgrades to park amenities and sidewalks. He plans to present the Master Plan at a future meeting.

Mr. Miller discussed the current status of alcohol sales at Hidden Valley Golf Course. He explained that currently the permit is with the state. He presented to the board potential hours. The Board was in agreement to start sales of beer at the opening of the course and potentially ending sales a half-hour prior to close. Mr. Miller discussed that staff will be trained on how to get proper identification and sell the alcohol.

ITEM 6. RECOMMENDATION of Smoking Restrictions at City Parks

A discussion was held in regards to the presented language in Item G. Mr. Miller explained that Item G is existing language. Ms. Thompson requested information on the current smoking policy at the pool. Ms. Tighe informed the Board that smoking is currently allowed outside the fencing. Ms. Thompson reported that there have been instances where she has observed smoking inside the fenced area.

Motion: Mr. Bricker motioned to recommend to Council the presented Smoking Restrictions, seconded by Ms. MacWhinney. Motion approved by an 8-0 vote.

ITEM 7. DISCUSSION on OSU Diving Team Relocation

PUBLIC COMMENT:

Mandy Eby
1265 Berkley Court
Powell, Ohio

Ms. Eby discussed that in April through September the OSU Diving Team will be looking for alternative pool space due to expected renovations to their facilities. She discussed accessing the location at Mingo Pool from 7 to 9am and also 7 pm to 9 pm. They would like to have their operations to come see the current facilities and determine if updates would be needed to accommodate them and their budget for any recommended changes. She did inform that this is not an OSU Varsity sport, but is a club level sport with many participants at a national level of competition. She also discussed the age levels of participants. Mr. Miller

discussed the need to look at lifeguard availability and additional liability.

ITEM 8. STAFF COMMENTS

The Clerk informed the Board that Mayor Riggle was speaking with members from the American Kayaking Association at the NOW Festival in regards to having kayak education and programming at city parks.

PUBLIC COMMENT:

Sami Spiezio
American Kayaking Association
2692 Jordan Rd
Columbus, Ohio

Mr. Spiezio discussed the role of the American Kayaking Association to provided education and safety instructions to youths and people of all ages. He explained that they have access to over 100 kayaks and can bring them in for events and training classes. Some topics that they would discuss would be how to get in and out of a kayak properly, paddle strokes, self-rescue and life jacket rental. The Board expressed their interest in having these education programs and discussed potential locations that this can occur at. Blue Limestone Park was discussed as a potential location.

ITEM 9. MEMBERS COMMENTS

Mr. Hayward requested information on any potential plans to spray for mosquitos. Mr. Miller informed the Board that the Health Department has been in contact about mosquito spraying, especially around Veteran's Park.

Mr. Rush provided compliments over the park improvements and changes that he received. He discussed the concern he received over the need for better handles at the dog bowl station at the Dog Park.

Vice-Chairwoman Hibinger discussed concerns that she has experienced at Mingo Park with dogs running loose in the park and also inside the tennis courts. She voiced concern over the safety of her tennis students and others that are uncomfortable. Ms. MacWhinney voiced concerns over safety when she is running in the park early in the morning around dogs that are not on a lead. The Board recommended that staff provide more citizen education on leash laws and also enforcement in parks. They discussed that citizens have the option to allow their dogs to run without a leash at the Dog Park.

Vice-Chairwoman Hibinger also informed staff of a sagging tennis net at Mingo Park.

ITEM 10. ADJOURNMENT

Motion: Vice-Chairwoman Hibinger moved to adjourn the Parks and Recreation meeting. The meeting adjourned at 8:09 p.m.



Chairperson



Elaine McCloskey, Clerk

PLANNING COMMISSION
June 6, 2018
MOTION SUMMARY

ITEM 1. Roll Call

Chairman Simpson called the meeting to order at 7:00 p.m.

Members Present: Robert Badger, Jim Halter, Andy Volenik, Mayor Carolyn Kay Riggle, Vice-Chairman George Mantzoros and Chairman Stacy Simpson.

Members Absent: Dean Prall

Staff Present: Carrie Fortman, Project Engineer, Jonathan Owen, Project Engineer, Jordan Selmek, Zoning Officer, and Dave Efland, Planning and Community Development Director

Motion to Excuse: Mr. Halter moved to excuse Mr. Prall, seconded by Mr. Badger. Motion approved by a 6-0 vote.

ITEM 2. Approval of the Motion Summary of the Planning Commission meeting held on May 2, 2018, as recorded and transcribed.

Motion: Mr. Halter moved to approve the Motion Summary for May 2, 2018 Planning Commission meeting, seconded by Vice-Chair Mantzoros. Motion approved by a 6-0 vote.

ITEM 3. REGULAR BUSINESS

A. The Wesleyan Inn

- (1) 2018-1026: A request by Manos Properties for approval of a Rezoning Amendment for The Wesleyan Inn on approximately 1.09 acres (parcels 519-433-04-005-000 and 519-433-04-002) from PO/I (Planned Office/Institutional District) and R-3 (One-Family Residential District) to PO/I and R-3 PMU (Planned Mixed Use Overlay District) at 235 and 239 West William Street.
- (2) 2018-1027: A request by Manos Properties for approval of a Conditional Use Permit allowing the placement of a PMU (Planned Mixed Use Overlay District) to be established for The Wesleyan Inn on approximately 1.09 acres (parcels 519-433-04-005-000 and 519-433-04-002) at 235 and 239 West William Street.
- (3) 2018-1028: A request by Manos Properties for approval of a Preliminary Development Plan for The Wesleyan Inn on approximately 1.09 acres (parcels 519-433-04-005-000 and 519-433-04-002) on property zoned PO/I and R-3 PMU (Planned Office/Institutional District and One-Family Single Family District

with a Planned Mixed Use Overlay District) at 235 and 239 West William Street.

Anticipated Process

a. Staff Presentation

Mr. Efland Provided a staff report to the Commission and discussed the property location and description. He informed them that the proposed development encompasses two properties, 235 and 239 West William Street. He reviewed the current zoning for the properties and background for the proposal. Mr. Efland informed them that the applicant planned to demolish the house at 239 and expand the house at 235 into a 43 room Inn. Mr. Efland discussed plans to renovate the Perkins house and include it in the design of the Inn. Mr. Efland discussed the access to the property with two access points off of West William Street and 47 parking spots. Information was provided on the landscape plan and fencing.

Mayor Riggle requested information on the how fare the fence setback would be. Mr. Owens estimated that the setback from Williams Street would be approximately 30 feet. Mayor Riggle also requested if there would be adequate parking. Mr. Efland explained that the applicant is meeting the minimal parking spaces requirement. Mr. Halter voiced a concern over noise from the west side parking lot with the neighboring house. Mr. Efland informed them that the lighting will comply with International Dark Sky recommendations and will be lit to minimal code and not higher than the fencing.

b. Applicant Presentation

APPLICANT:

Jim Manos
5973 Macewen Ct.
Dublin, Ohio

Joe Clase
Plan4Land.LLC
10 W. North St.
Ostrander, Ohio

Nick Elmasian
Elmasian Engineering
9260 Weigela Court
Plain City, Ohio

Pat Manley
4405 Olentangy Blvd.
Columbus, Ohio

Mr. Manos informed the Commission that he is currently in contract with the house that would be next to the parking lot and has plans to rent it out. He discussed efforts to reach homeowners across the street in regards to parking. He informed the Commission that there would not be food service. Mr. Manos discussed the current density on the property and the expected increase. Mr. Manley discussed the roof access.

c. Public comment (public hearing)

PUBLIC COMMENT:
Clarence Alspraugh
226 West William Street
Delaware, Ohio

Mr. Alspraugh voiced concern over parking in front of his house and that a tree on his property may need to be removed. He voiced a concern over traffic and that it often backs up when there is a train crossing.

Cat Wimer
250 West William Street
Delaware, Ohio

Ms. Wimer voiced concern over having a rental home and if the applicant would come back in the future asking for that property to be rezoned.

Tom Wolber
272 Hearthstone Drive
Delaware, Ohio

Mr. Wolber provided a written statement for the record and discussed his concerns over the tree replacement plan or replacement fee.

Roger Koch
125 North Liberty Street
Delaware, Ohio

Mr. Koch discussed the historical and architectural value of the house. He requested that the applicant work with the Historic

Preservation Commission in regards to exterior alterations on the original historical structure.

Tom Tobin
253 West William Street
Delaware, Ohio

Mr. Tobin voiced concerns over the impact to residents by the development including the increase of noise and increase of pedestrians and traffic in the neighborhood. He requested a minimum of an 8 foot fence as a buffer. He voiced concern over who would be renting the property.

Cheryl Hutchinson
256 West Williams Street
Delaware, Ohio

Ms. Hutchinson voiced a concern over the impact to her property with the widening of West William Street to allow access to the property.

Kathy Tobin
253 West William Street
Delaware, Ohio

Ms. Tobin voiced concerns over having a rental house and who would reside there. She voiced concern of potential increase in crime and how the development would affect property values. She questioned the location of the dumpster.

Diana Ackler
134 Oakhill Avenue
Delaware, Ohio

Ms. Ackler voiced concerns over how her backyard property will be affected by the parking lot and the effects to the property values.

Mr. Manos informed the Commission that he was willing to work with the Historic Preservation Commission. Mr. Efland informed the Commission that the property is not located in the Historic District and that the applicant is not required to present the application before the Commission. Mr. Efland recommended that the applicant pledge to work with the Historic Preservation Commission for input.

Mr. Manos informed the Commission that he was not intending to rent to college students and would be willing to put up an 8 foot

fence between the hotel and also the rental. He informed the Commission that he was not planning on using a dumpster, but would use trash receptacles. He stated he was aware of any conditions.

d. Commission Action

Motion: Vice-chair Mantzoros move to approved 2018-1026, along with all staff conditions, seconded by Mr. Badger. Motion approved by a 6-0 vote.

Motion: Vice-chair Mantzoros move to approved 2018-1027, along with all staff conditions, seconded by Mr. Badger. Motion approved by a 6-0 vote.

Motion: Vice-chair Mantzoros move to approved 2018-1028, along with all staff conditions, seconded by Mr. Badger. Motion approved by a 6-0 vote.

B. Wilgus Property

(1) **2018-0955:** A request by Planned Communities Inc. for approval of a Rezoning Amendment for Francis and Mary Lou Wilgus on approximately 89.618 acres (parcels 419-220-02-005-000 and 419-220-02-007-000) from A-1 (Agricultural District) to M-1 PMU (Light Manufacturing with a Planned Mixed Use Overlay District) at 2781 Airport Road located at the western terminus of Sawmill Parkway, east of Section Line Road, south of Airport Road and north of the future extended Sawmill Parkway.

(2) **2018-0956:** A request by Planned Communities Inc. for approval of a Conditional Use Permit allowing the placement of a PMU (Planned Mixed Use Overlay District) to be established for Francis and Mary Lou Wilgus on approximately 89.618 acres (parcels 419-220-02-005-000 and 419-220-02-007-000) at 2781 Airport Road located at the western terminus of Sawmill Parkway, east of Section Line Road, south of Airport Road and north of the future extended Sawmill Parkway.

Anticipated Process

a. Staff Presentation

Mr. Efland discussed with the Commission the current annexation process that the Applicant is presenting to City Council for the property. He informed them that the subject site is currently in Delaware Township. He reviewed the staff report and provided aerial photographs of the site. Mr. Efland reviewed that permits for future development would require both airport and F.A.A. permits and that

future extension of utilities would be by developers. Mr. Efland provided a revision to staff recommendation 1, in which the word “and Preliminary” is deleted.

b. Applicant Presentation

Jack Brickner
110 North Wood Blvd.
Columbus, Ohio

c. Public comment (public hearing)

There was no public comment.

d. Commission Action

Motion: Mr. Halter moved to approve 2018-0955, along with all staff conditions and removal of the word “and preliminary”, seconded by Mr. Volenik. Motion approved by a 6-0 vote.

Motion: Mr. Halter moved to approve 2018-0956, along with all staff conditions, seconded by Mr. Volenik. Motion approved by a 6-0 vote.

- C. 2018-1061: A request by Delaware Bible Church for approval of a Conditional Use Permit for a temporary trailer (modular classroom) on approximately 7.53 acres zoned R-3 (One-Family Residential District) located at 45 Belle Avenue.

Anticipated Process

a. Staff Presentation

Mr. Efland discussed the location for a proposed modular classroom and the intent to utilize the temporary trailer for three years.

b. Applicant Presentation

Warren Bishop Adams
2010 Sherwood Rd
Ashley, Ohio

Mr. Adams discussed the need for the additional spacing for projected increases in enrollment. He discussed the location due to plans for additional permanent construction.

- c. Public comment (public hearing)

There was no public hearing.

- d. Commission Action

Motion: Mr. Badger moved to approve 2018-1061, along with all staff conditions, seconded by Mayor Riggle. Motion approved by a 6-0 vote.

D. Stockdale Farms

- (1) 2018-1173: A request by Terra Alta LLC for approval of an Amended Preliminary Development Plan for Stockdale Farms consisting of 322 single family units on 150.99 acres zoned R-2 PMU (One Family Residential District with a Planned Mixed Use Overlay District) located at the northeast corner of Braumiller and Pollock Roads.
- (2) 2018-1174: A request by Terra Alta LLC for approval of an Amended Preliminary Subdivision Plat for Stockdale Farms consisting of 322 single family units on 150.99 acres zoned R-2 PMU (One Family Residential District with a Planned Mixed Use Overlay District) located at the northeast corner of Braumiller and Pollock Roads.
- (3) 2018-1176: A request by Terra Alta LLC for approval of an Amended Final Development Plan for Stockdale Farms Phase 1 consisting of 64 single family lots on approximately 42.414 acres zoned R-2 PMU (One Family Residential District with a Planned Mixed Use Overlay District) located at the northeast corner of Braumiller and Pollock Roads.
- (4) 2018-1177: A request by Terra Alta LLC for approval of an Amended Final Subdivision Plat for Stockdale Farms Phase 1 consisting of 64 single family lots on approximately 42.414 acres zoned R-2 PMU (One Family Residential District with a Planned Mixed Use Overlay District) located at the northeast corner of Braumiller and Pollock Roads.

Anticipated Process

- a. Staff Presentation

Mr. Efland reviewed the approved 2015 Preliminary Development Plan and reviewed the proposed changes. Mr. Efland discussed the formal condition that was agreed upon for a continuous tree buffering in previous plan at the request of an adjacent homeowner that was left out. Mr. Efland informed the Commission that he was formally adding a Condition 5 to case 2018-1173, to have continuous buffering of 8 foot high Norway Spruce Trees to screen the adjacent home along lots numbered 165-171 in this proposal and shown in Phase 3 of the plan. Mr. Efland also amended cases

2018-1176 and 2018-1177 to reflect 66 single family lots.

Ms. Fortman discussed the emergency access location and design.

b. Applicant Presentation

APPLICANT:

David Denniston
4222 Beecher Road
Gahanna, Ohio

Mr. Denniston was in agreement to have the continuous tree line buffering.

c. Public comment (not a public hearing)

There was no public comment.

d. Commission Action

Motion: Mr. Badger motioned to approve 2018-1173, along with all staff conditions and recommendations, seconded by Mr. Volenik. Motion approved with a 6-0 vote.

Motion: Mr. Badger motion to approve 2018-1174, along with all staff conditions and recommendations, seconded by Mr. Volenik. Motion approved with a 6-0 vote.

Motion: Mr. Badger motion to approve 2018-1176, along with all staff conditions and recommendations and the change from 64 to 66 lots, seconded by Mr. Volenik. Motion approved with a 6-0 vote.

Motion: Mr. Badger motion to approve 2018-1177, along with all staff conditions and recommendations and the change from 64 to 66 lots, seconded by Mr. Volenik. Motion approved with a 6-0 vote.

E. Willowbrook Section 2 Phases 1-3 (Old Adalee Park Section 3)

(1) 2018-1219: A request by Medrock LLC, for approval of a Final Development Plan for Willowbrook Section 2, Phases 1-3 (Old Adalee Park Section 3) consisting of 85 single family lots on approximately 28.5 acres zoned R-3 PUD (One-Family Residential with a Planned Unit Development) and is located north of Boulder Drive, south of Cobblestone Drive, east of Harmony Drive and west of Canal Street.

(2) 2018-1220: A request by Medrock LLC, for approval of a Final Subdivision Plat for Willowbrook Section 2, Phases 1-3 (Old Adalee Park Section 3) consisting of 85 single family lots on approximately 28.5 acres zoned R-3 PUD (One-Family Residential with a Planned

Unit Development) and is located north of Boulder Drive, south of Cobblestone Drive, east of Harmony Drive and west of Canal Street.

Anticipated Process

a. Staff Presentation

Mr. Efland discussed the zoning and location of the development. He reviewed the current zoning and the original Preliminary Plan. He reviewed the proposed plan for 85 single family lots. He discussed conditions and recommendations including the ability to merge the existing HOA of Adalee Park into the new HOA. This would be at the discretion of both HOA.

b. Applicant Presentation

APPLICANT:

Ron Sabatino
3895 Stoneridge Lane
Dublin, Ohio

c. Public comment (not a public hearing)

There was no public comment.

d. Commission Action

Motion: Mr. Halter motion to approve 2018-1219, along with all staff conditions and recommendations, seconded by Mayor Riggle. Motion approved with a 6-0 vote.

Motion: Mr. Halter motion to approve 2018-1220, along with all staff conditions and recommendations, seconded by Mayor Riggle. Motion approved with a 6-0 vote.

F. Heatherton Phase 7

(1) 2018-1240: A request by Pulte Homes for approval of a Final Development Plan for Heatherton Phase 7 consisting of 28 single family lots on approximately 7.198 acres zoned R-3 PRD (One-Family Residential with a Planned Residential District) and located west of Houk Road, north of Boulder Drive and south of Benjamin Drive.

(2) 2018-1242: A request by Pulte Homes for approval of a Final Subdivision Plat for Heatherton Phase 7 consisting of 28 single family lots on approximately 7.198 acres zoned R-3 PRD (One-Family Residential with a Planned Residential District) and located west of Houk Road, north of Boulder Drive and south of Benjamin

Drive.

Anticipated Process

a. Staff Presentation

Mr. Selmek provided background information and history on the development. He reviewed Phase 7 of the plan and discussed current zoning. Mr. Selmek reviewed access locations for Phase 7. He discussed the lots sizes and minimal square footage requirement for a ranch house. Mr. Selmek discussed that there was no open space in this phase, but that in Section 5 of the development there is a pocket park, as well as, 32 acres of dedicated open space for a future park just south of the development.

b. Applicant Presentation

APPLICANT:

Joel West
275 Metro Place South
Dublin, Ohio

c. Public comment (not a public hearing)

There was no public comment.

d. Commission Action

Motion: Mr. Volenik motion to approve 2018-1240, along with all staff conditions and recommendations, seconded by Mr. Halter. Motion approved with a 6-0 vote.

Motion: Mr. Volenik motion to approve 2018-1242, along with all staff conditions and recommendations, seconded by Mayor Riggle. Motion approved with a 6-0 vote.

ITEM 4. PLANNING DIRECTOR'S REPORT

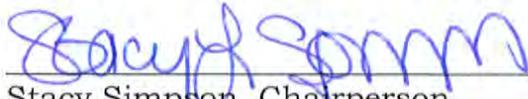
Mr. Efland provided an update on the applicants for the Comprehensive Plan Steering Committee and that a formal recommendation would be going to Council at the June 11, 2018 City Council meeting.

ITEM 5. COMMISSION MEMBER COMMENTS AND DISCUSSION

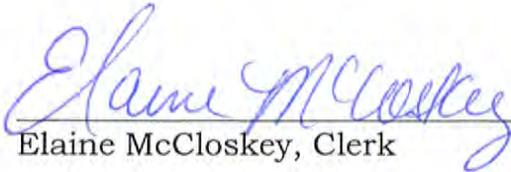
ITEM 6. NEXT REGULAR MEETING: July 18, 2018

ITEM 7. ADJOURNMENT:

Motion: Chairman Simpson moved for the June 6, 2018 Planning Commission meeting to adjourn. The meeting adjourned at 10:00 p.m.



Stacy Simpson, Chairperson



Elaine McCloskey, Clerk

**SISTER CITY ADVISORY BOARD
MOTION SUMMARY
April 10, 2018**

ITEM 1. ROLL CALL

The Sister City Advisory Board Meeting was called to order by Chairman Guebert at 6:00 p.m.

Members Present: Darrell Albon, Collen Rush, Julie Horvath (arrived at 6:09 p.m.), Julie Means, Rita Selle-Grider, Mayor Carolyn Riggle, and Chairman Rand Guebert

ITEM 2. APPROVAL of the Motion Summary of the Sister City Advisory Board meeting held on January 9, 2018, as recorded and transcribed.

Motion: Ms. Rush moved to approve the Motion Summary of the Sister City Advisory Board meeting held on January 9, 2018, as recorded and transcribed, seconded by Mayor Riggle. Motion approved by a 6-0 vote.

Ms. Horvath arrived at 6:09 p.m.

ITEM 3. INTRODUCTION of New Board Member – Darrell Albon, Ohio Wesleyan University

ITEM 4. PRESENTATION from Delaware Hayes Students on trip to Ireland

Ms. Horvath and Ms. Rush reviewed the many different events and places that the students, host families, and chaperones visited and attended. Ms. Rush provided a video presentation of the visit.

PUBLIC PARTICIPATION:

Dr. Adonis Bolden
Assistant Vice-Principal
289 Euclid Avenue
Delaware, Ohio 43015

Dominic Blevins
Student
289 Euclid Avenue
Delaware, Ohio 43015

Theodore Cochran
Student
289 Euclid Avenue

Delaware, Ohio 43015
Jacob Class
Student
289 Euclid Avenue
Delaware, Ohio 43015

Kylie Booth
Student
289 Euclid Avenue
Delaware, Ohio 43015

Josh Reynolds
Student
289 Euclid Avenue
Delaware, Ohio 43015

Alessandro Nocera
Student
289 Euclid Avenue
Delaware, Ohio 43015

Michelle Class
245 Richards Circle
Delaware, Ohio 43015

Bridgette Blevins
212 Firestone Drive
Delaware, Ohio 43015

The students provided personal stories of their experiences while on the trip. They provided information on activities they participated in and their welcome by host families and the community. Mayor Riggle requested that the students consider providing their experiences to the community and recommended that Ms. Horvath contact Delaware City Schools to determine if a date could be arranged to have a presentation at Willis Education Center. Chairman Guebert recommended that continued discussions on building a relationship between Lahardane and the City of Delaware continue at the next meeting.

ITEM 5. UPDATE on Baumholder Visit

Chairman Guebert provided an update on the new dates of the opening of the Cultural Center in Baumholder. Mayor Riggle informed the Board that she recently communicated with representatives in Baumholder via Skype. She discussed the plans for a delegation to visit Baumholder over September 14, 2018 to attend the opening. Mayor Riggle also informed the Board that a

delegation from Baumholder is planning on visiting the City of Delaware the first week of October.

PUBLIC PARTICIPATION:

Jason Counts
45 Lantern Chase Drive
Delaware, Ohio 43015

Stan Haas
430 Willey Road
Delaware, Ohio 43015

Mr. Haas and Mr. Counts informed the Board that they were Veterans that had served in Baumholder. A discussion was held on having Mr. Haas and Mr. Counts attend the opening of Baumholder and if Baumholder would be able to accommodate them.

ITEM 6. UPDATE on Sakata

Mayor Riggle discussed an upcoming cultural exchange and plans to send monthly newspapers to update them on the City of Delaware.

ITEM 7. MEMBER COMMENTS

Mayor Riggle voiced the idea to have sub-committees to do projects or organize events in-between meetings. The Board plans to work initially through email while organizing the presentation by Rutherford B. Hayes Students.

ITEM 8. DATE OF NEXT MEETING: July 10, 2018

ITEM 9. ADJOURNMENT

Motion: Mayor Riggle moved to adjourn the Sister City Advisory Board Meeting, seconded by Ms. Horvath. The meeting adjourned at 7:43 p.m.



Rand Guebert, Chairman



Elaine McCloskey, Clerk

**FINANCE COMMITTEE
MOTION SUMMARY
April 25, 2018**

ITEM 1. Roll Call

Chairman Hellinger called the Finance Committee meeting to order at 3:00 p.m.

Members Present: Vice-Chairman Chris Jones, Vice-Mayor Kent Shafer, and Chairman George Hellinger

Staff Present: Dean Stelzer, Finance Director, Jackie Walker, Assistant City Manager, and Tom Homan, City Manager

ITEM 2. Approval of the Motion Summary for the meeting held February 28, 2018 as recorded and transcribed.

Motion: Vice-Mayor Shafer moved to approve the Motion Summary from February 28, 2018, as recorded and transcribed, seconded by Vice-Chairman Jones. Motion approved by a 3-0 vote.

ITEM 3. Oak Grove Cemetery Master Plan Update, MSP Design

APPLICANT:

Jose Castrejon
MSP Design
3700 Park 42 Dr., Ste 190b
Cincinnati, Oh 45241

Mr. Castrejon discussed the site expansion concepts for Oak Grove Cemetery. He reviewed the existing conditions and discussed a potential creek relocation and design. He discussed the need to look at current trends of cremation and incorporate that growing trend into the Master Plan, with the creation of a peaceful and quiet setting that can be visited. Redesigned concepts of the entrance were discussed that included both concepts of keeping the house to use as office space or as a rental, and removing the house to create more space for a cremation garden. He discussed the potential to renovate the barn and use as a gathering place for celebration of life events.

ITEM 4. Developer request to form a New Community Authority for the Terra Alta and Stockdale Farms developments. David Fisher, principal, Kephart Fisher, LLC

PRESENTOR:

David Fisher
Kephart Fisher, LLC

207 N. 4th St.
Columbus, Ohio 43215

Greg Stype
Barnes & Thornburg LLP
41 S. High Street
Columbus Ohio

Steve Cuckler
Taft, Stettinius & Hollister LLP
94 N. Sandusky Street
Delaware, Ohio 43015

Michael Shade
202 North Washington Street
Delaware, Ohio 43015

Mr. Homan development of the project and that the previous talks of a developer initiated New Community Authority. Mr. Fisher reviewed the original Terra Alta project, with the annexation of the Stockdale Farm property and the Rogers property. The development is now combined into one large development. Mr. Fisher discussed the large amount of lots in the development and the landscaping in the area. He discussed the plan to construct a clubhouse for the area and how a Community Authority could assist in the cost of the project. Mr. Fisher discussed that the Community Authority would not be City sponsored, but would be developer sponsored. The purpose would operate like a Master Home Owners Association and maintain two clubhouses, landscaping and green space. He discussed that all residents would be made aware of the cost. The New Community Authority can be more cost effective in improvements and cost of living in the development due to the tax benefits and help fund the cost of the development. Residents that live in the development will be given a say on the upkeep of the property and will understand what they are paying for. A discussion was held on the projected cost of homes in Delaware City Schools compared to the homes in Olentangy City Schools in the development.

Mr. Cuckler discussed meetings with Delaware City Schools Superintendent, Paul Craft over the expected sales of homes in the Terra Alta development and the estimated salaries for residents that will reside there. They were informed that the NCA will be for all 800 lots and would run continuously. The Committee was informed that the development that resides in Delaware City Schools will be built first.

Mr. Shade discussed interactions with developers that have indicated their preference to develop in Olentangy City Schools over Delaware City Schools. He discussed the need to have a partnership with the development and the community.

Mr. Stype discussed how the NCA would pick up HOA functions. He discussed that this NCA is developer supported and the financial risk is to the developer. He discussed the benefit that the charge is billed and collected by the county auditor.

Mr. Homan discussed concerns voiced over existing NCA where residents feel they are not aware of the additional charges. The Committee requested further information to allow for additional evaluation.

Chairman Hellinger requested a break at 4:33 p.m. and reconvened the meeting at 4:36 p.m.

ITEM 5. City Hall Annex – Review of Plan and Estimated Costs

Mrs. Walker discussed the second floor renovations to the City Hall Annex. She discussed the potential floor plan to move the Planning Department to this area and discussed the need for this department to have more space. She received a basic estimate to be at approximately \$35.00 a sq/ft. She also discussed the plans to move DAS into the second floor of City Hall and create additional conference rooms.

Motion: Vice-Mayor Shafer motioned to recommend to Council \$245,000 for renovations, seconded by Vice-Chairman Jones. Motion approved 3-0 vote.

ITEM 6. Updates:

- A. 2019-2023 Capital Improvement Plan
- B. Impact Fees

Chairman Hellinger requested clarification on whether or not Park Impact Fees can be used at the cemetery.

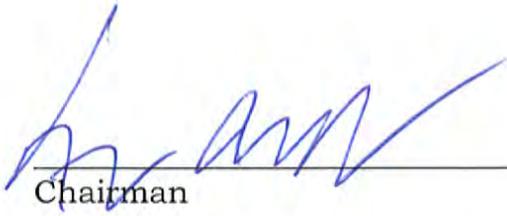
- C. Engineering Fees/Cost Tracking

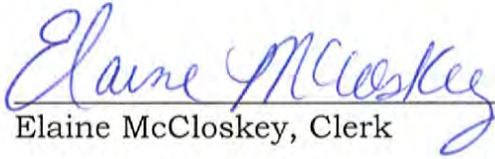
ITEM 7. Member Comments

A discussion was held on how to look at potential NCA in different development situations.

ITEM 8. Adjournment

Motion: Chairman Hellinger moved to adjourn the Finance Committee meeting. The Finance Committee meeting adjourned at 4:57 p.m.


Chairman


Elaine McCloskey, Clerk

to be placed upon the police department or City and there are no fiscal impacts.

REASON WHY LEGISLATION IS NEEDED:

All intergovernmental agreements require authorization by council.

COMMITTEE RECOMMENDATION:

N/A

FISCAL IMPACT(S):

None

POLICY CHANGES:

None

PRESENTER(S):

Bruce Pijanowski, Chief of Police

Adam Moore, Captain

RECOMMENDATION:

Approval

ATTACHMENT(S)

Memorandum of Understanding Concerning the provision of services provided by HelpLine of Delaware and Morrow Counties' Sexual Assault Response Network (SARN) Program and the Delaware Police Department.

RESOLUTION NO. 18-46

A RESOLUTION AUTHORIZING THE CITY MANAGER TO SIGN A MEMORANDUM OF UNDERSTANDING BETWEEN THE HELPLINE OF DELAWARE AND MORROW COUNTIES' SEXUAL ASSAULT RESPONSE NETWORK (SARN) PROGRAM AND THE DELAWARE POLICE DEPARTMENT.

WHEREAS, the City of Delaware Police Department responds to complaints of sexual assault, is an active participant in the county-wide sexual assault response team (SART,) and utilizes the services of HelpLine of Delaware and Morrow Counties' Sexual Assault Response Network Program (SARN); and

WHEREAS, collaboration and community partnerships amongst service providers with clearly identified roles and responsibilities has proven to be effective in the delivery of victim's services; and

WHEREAS, a collaborative relationship exists between HelpLine of Delaware and Morrow Counties and the Delaware Police Department in the response to sexual assaults within the City of Delaware.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF DELAWARE, OHIO THAT:

SECTION 1. That the City Manager is hereby authorized to sign the Memorandum of Understanding and future extensions with substantially similar terms between HelpLine of Delaware and Morrow Counties and the Delaware Police Department.

SECTION 2. This resolution shall be effective immediately upon its passage.

PASSED: _____, 2018 YEAS___ NAYS___
ABSTAIN ___

ATTEST: _____ CITY CLERK
_____ MAYOR

**Memoranda of Understanding (MOU)
For Provision of Services**

This agreement between HelpLine's Sexual Assault Response Network (SARN) Program and the Delaware Police Department Delaware, Ohio, and shall be from October 1, 2018 until September 30, 2019.

HelpLine agrees to provide the Delaware Police Department the following:

- 1) Referral to services provided by the Delaware Police Department
- 2) Assistance with advocacy/support for sexual assault survivors/victims, as needed/requested. This includes providing co-advocacy in circumstances where the survivor/victim may need help in more than one county
- 3) Assistance with linkage to community resources and follow up assistance, as needed/requested
- 4) Working collaboratively, as a member of the SART, as well as any other identified collaborative efforts

The Delaware Police Department agrees to provide HelpLine the following:

- 1) Referral to services provided by HelpLine, including but not limited to advocacy for survivors who live in the counties HelpLine serves
- 2) Assistance with advocacy/support for sexual assault survivors/victims, as needed/requested. This includes providing co-advocacy in circumstances where the survivor/victim may need help in more than one county
- 3) Assistance with linkage to community resources and follow up assistance, as needed/requested
- 4) Working collaboratively, as a member of the SART, as well as any other identified collaborative efforts
- 5) Continuing to work with HelpLine to train staff and build capacity to better serve members of our communities, especially those who have experienced sexual violence.

This agreement can be renewed or cancelled, given 30 days written notice.

Name/Title

Signature

Date

Name/Title

Signature

Date

**NOTICE TO LEGISLATIVE
AUTHORITY**

OHIO DIVISION OF LIQUOR CONTROL
6606 TUSSING ROAD, P.O. BOX 4005
REYNOLDSBURG, OHIO 43088-9005
(614)644-2360 FAX(614)644-3166

TO

6276080 <small>PERMIT NUMBER</small>		NEW <small>TYPE</small>	MYSTIC GOLF & GAMES LLC 1159 COLUMBUS PIKE DELAWARE OH 43015	
<small>ISSUE DATE</small>				
06	20	2018		
<small>FILING DATE</small>				
D2 <small>PERMIT CLASSES</small>				
21	022	B	C01866	
<small>TAX DISTRICT</small>		<small>RECEIPT NO.</small>		

FROM **06/26/2018**

<small>PERMIT NUMBER</small>		<small>TYPE</small>			
<small>ISSUE DATE</small>					
<small>FILING DATE</small>					
<small>PERMIT CLASSES</small>					
<small>TAX DISTRICT</small>		<small>RECEIPT NO.</small>			



MAILED **06/26/2018**

RESPONSES MUST BE POSTMARKED NO LATER THAN. **07/27/2018**

IMPORTANT NOTICE

PLEASE COMPLETE AND RETURN THIS FORM TO THE DIVISION OF LIQUOR CONTROL
WHETHER OR NOT THERE IS A REQUEST FOR A HEARING.

REFER TO THIS NUMBER IN ALL INQUIRIES

B NEW 6276080

(TRANSACTION & NUMBER)

(MUST MARK ONE OF THE FOLLOWING)

WE REQUEST A HEARING ON THE ADVISABILITY OF ISSUING THE PERMIT AND REQUEST THAT
THE HEARING BE HELD IN OUR COUNTY SEAT. IN COLUMBUS.

WE DO NOT REQUEST A HEARING.

DID YOU MARK A BOX? IF NOT, THIS WILL BE CONSIDERED A LATE RESPONSE.

PLEASE SIGN BELOW AND MARK THE APPROPRIATE BOX INDICATING YOUR TITLE:

(Signature)

(Title)- Clerk of County Commissioner

(Date)

Clerk of City Council

Township Fiscal Officer

CLERK OF DELAWARE CITY COUNCIL
1 SOUTH SANDUSKY ST
DELAWARE OHIO 43015



Delaware Police Department Liquor Permit Report

DPD Report Number L-18-03		Investigating Officer Det. Sgt. Mike Bolen #16	
Applicant (Primary Shareholder) David Sturman (applicant) Janet Ritter (primary shareholder)		Company Name: DBA: Mystic Golf & Games LLC	
Common Name Mystic Golf & Games		Address 1159 Columbus Pike Delaware, OH 43015	
Applicant Phone Number 614-332-0214		Applicant E-Mail Address: <u>davidsturman@yahoo.com</u>	
<input type="checkbox"/> Existing Business	Type of Business Gaming - Entertainment	Notification Type: New	Date of Report 7/9/18
<input checked="" type="checkbox"/> New Business (Supplement Attached)			
Permit Type <input type="checkbox"/> C1/C2X Beer only in original sealed container for carry out only. <input type="checkbox"/> C2 Wine and mixed beverages in sealed containers for carry out. <input type="checkbox"/> D1/D2X Beer only for on premises consumption or in sealed containers for carry out. <input checked="" type="checkbox"/> D2 Wine and mixed beverages for on premises consumption or in sealed containers for carryout. <input type="checkbox"/> D4 Beer and any intoxicating liquor to members only, for on premises consumption only until 1:00am. <input type="checkbox"/> D5 Spirituous liquor for on premises consumption only, beer, wine and mixed beverages for on premises, or off premises in original sealed containers, until 2:30am. <input type="checkbox"/> Other D6			

Location Information

Churches, Libraries and or schools within 500 feet <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	School, church or library objection <input type="checkbox"/> Yes (Supplement Attached) <input checked="" type="checkbox"/> No <small>Note: Objections are only permitted for new permits.</small>
Police Calls for Service in past 12 months: 2 alarm calls	Number of Police Reports in past 12 months: 0
Calls for Service excluding calls not related to the business in past 12 months: 0	Location is excessive drain on Police Resources: <input type="checkbox"/> Yes (Supplement Attached) <input checked="" type="checkbox"/> No
Nuisance Abatement Pending <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Accessible by Law Enforcement <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Site compliance checked by Dept. of Commerce <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Private Club (Restricted Access Door) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Applicant Information

Records Checked <input type="checkbox"/> Ohio Law Enforcement Gateway <input checked="" type="checkbox"/> Delaware Police Department Database	Applicant has an active warrant <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Record located for Liquor Law Violation <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Local Record on file <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Problem History with DPD <input type="checkbox"/> Yes (Supplement Attached) <input checked="" type="checkbox"/> No	Criminal History Checked by Dept. of Commerce <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
		Contact made with Applicant <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Determination on Objection

The Delaware Police Department does not find a legislative basis for requesting a hearing to object to the issuance of a liquor permit for this business.

The Delaware Police Department recommends requesting a hearing into the issuance of a liquor permit for this business, due to one or more of the following criteria for objection as set forth by the Ohio Revised Code.

- Site does not conform to local building, safety and health codes (excluding zoning).
- Law enforcement or state agents do not have ready access to the premises where alcoholic beverages are being served.
- Physical location causes a public nuisance.
- Site has been officially classified as a nuisance according to State Law.
- Conviction of a crime by the applicant that relates to operating a liquor establishment.
- Past improper operation of a location with a liquor permit.
- Misrepresentation of material fact on the application.
- Addiction of the applicant to alcohol or narcotics.
- Formal objection by specific types of other locations to which the site is in certain proximity.
- Conviction of the applicant of food stamp or WIC fraud.

(Supplement Attached)



Delaware Police Department
Liquor Permit Report

Supplement

Supplement Type

- New Business Description
- Police Department Objection
- Community Objection
- Other :

I met with the permit applicant, David Sturman on 7/9/18 at 1:00pm at the police department to speak with him about the liquor permit application. Sturman told me the business, Mystic Golf and Games at 1159 Columbus Pike will likely open in October of this year. The address is part of the Delaware Square shopping center and will occupy the currently vacant location that Aaron's Furniture formerly occupied. There were only two calls for service at the address over the past year (both alarm calls).

The business is a gaming/entertainment location that will contain an 18 hole glow in the dark putt-putt course and four virtual sports simulators. Two of the simulators will be dedicated to virtual golf and the other two simulators will be multi-sport stations. Sturman described the business to sell light snacks and drinks from the clerk who will be working the main counter. Once the business obtains the liquor license, customers will order their drinks at the main counter (where the clerk also provides the necessary gaming equipment) where the drinks will be stored in a cooler. At this time, Sturman is applying for the D2 permit for wine and/or mixed beverages. However, Sturman intends on applying for and obtaining a D1 and D6 permit for beer sales.

0.11.57 [Signature] 7-12-18
Investigating Officer Signature Date

Capr. Adhonor, #5 07/13/18
Supervisor Signature Date



FACT SHEET

AGENDA ITEM NO: 10

DATE: 07/23/2018

ORDINANCE NO: 18-50

RESOLUTION NO:

READING: FOURTH

PUBLIC HEARING: YES
JUNE 25, 2018 at 7:45 p.m.

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE FOR MANOS PROPERTIES FOR APPROVAL OF A REZONING AMENDMENT FOR THE WESLEYAN INN ON APPROXIMATELY 1.09 ACRES (PARCELS 519-433-04-005-000 AND 519-433-04-002) FROM PO/I (PLANNED OFFICE/INSTITUTIONAL DISTRICT) AND R-3 (ONE-FAMILY RESIDENTIAL DISTRICT) TO PO/I AND R-3 PMU (PLANNED MIXED USE OVERLAY DISTRICT) AT 235 AND 239 WEST WILLIAM STREET.

BACKGROUND:

See attached staff report.

REASON WHY LEGISLATION IS NEEDED:

To achieve compliance with Chapter 1130 Amendments of the Codified Ordinances.

COMMITTEE RECOMMENDATION:

Planning Commission recommended approval by a vote of 6-0 on June 6, 2018.

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

David Efland, Planning and Community Development Director

RECOMMENDATION:

Staff recommends approval

ATTACHMENT(S)

See attached Staff Report

Letters Submitted by Public

Market Study

Response to Public Questions & Concerns from Plan 4 Land, LLC

ORDINANCE NO. 18-50

AN ORDINANCE FOR MANOS PROPERTIES FOR APPROVAL OF A REZONING AMENDMENT FOR THE WESLEYAN INN ON APPROXIMATELY 1.09 ACRES (PARCELS 519-433-04-005-000 AND 519-433-04-002) FROM PO/I (PLANNED OFFICE/INSTITUTIONAL DISTRICT) AND R-3 (ONE-FAMILY RESIDENTIAL DISTRICT) TO PO/I AND R-3 PMU (PLANNED MIXED USE OVERLAY DISTRICT) AT 235 AND 239 WEST WILLIAM STREET.

WHEREAS, the Planning Commission at its meeting on June 6, 2018 recommended approval of a Rezoning Amendment for the Wesleyan Inn on approximately 1.09 acres (parcels 519-433-04-005-000 and 519-433-04-002) from PO/I (Planned Office/Institutional District) and R-3 (One-Family Residential District) to PO/I and R-3 PMU (Planned Mixed Use Overlay District) at 235 and 239 West William Street (2018-1026).

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Rezoning Amendment for the Wesleyan Inn on approximately 1.09 acres (parcels 519-433-04-005-000 and 519-433-04-002) from PO/I (Planned Office/Institutional District) and R-3 (One-Family Residential District) to PO/I and R-3 PMU (Planned Mixed Use Overlay District) at 235 and 239 West William Street, is hereby confirmed, approved and accepted with the following conditions that:

1. Any new structure(s) or any change of land use shall require conformance to all provisions of the Development Text and any conditions of approval.
2. The proposed existing building and addition at 235 West William Street shall be for the proposed Inn use only and the property at 239 West William Street shall be for a parking lot or open space only. The property at 239 West William Street shall have a covenant placed upon it to this effect.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

PASSED: _____, 2018

YEAS___ NAYS___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR



FACT SHEET

AGENDA ITEM NO: 11

DATE: 07/23/2018

ORDINANCE NO: 18-51

RESOLUTION NO:

READING: FOURTH

PUBLIC HEARING: YES
June 25, 2018 at 7:45 p.m.

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE FOR MANOS PROPERTIES FOR APPROVAL OF A CONDITIONAL USE PERMIT ALLOWING THE PLACEMENT OF A PMU (PLANNED MIXED USE OVERLAY DISTRICT) TO BE ESTABLISHED FOR THE FOR THE WESLEYAN INN ON APPROXIMATELY 1.09 ACRES (PARCELS 519-433-04-005-000 AND 519-433-04-002) AT 235 AND 239 WEST WILLIAM STREET.

BACKGROUND:

See attached staff report.

REASON WHY LEGISLATION IS NEEDED:

To achieve compliance with Section 1148 Conditional Use Regulations of the zoning code.

COMMITTEE RECOMMENDATION:

Planning Commission recommended approval by a vote of 6-0 on June 6, 2018.

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

David Efland, Planning and Community Development Director

RECOMMENDATION:

Staff recommends approval

ATTACHMENT(S)

See attached



FACT SHEET

AGENDA ITEM NO: 12

DATE: 07/23/2018

ORDINANCE NO: 18-52

RESOLUTION NO:

READING: FOURTH

PUBLIC HEARING: NO

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE FOR MANOS PROPERTIES FOR APPROVAL OF A PRELIMINARY DEVELOPMENT PLAN FOR THE WESLEYAN INN ON APPROXIMATELY 1.09 ACRES (PARCELS 519-433-04-005-000 AND 519-433-04-002) ON PROPERTY ZONED PO/I AND R-3 PMU (PLANNED MIXED USE OVERLAY DISTRICT) AT 235 AND 239 WEST WILLIAM STREET.

BACKGROUND:

See attached staff report.

REASON WHY LEGISLATION IS NEEDED:

To achieve compliance with Chapter 1129.04 Procedures of the Codified Ordinances.

COMMITTEE RECOMMENDATION:

Planning Commission recommended approval by a vote of 6-0 on June 6, 2018.

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

David Efland, Planning and Community Development Director

RECOMMENDATION:

Staff recommends approval

ATTACHMENT(S)

See attached

ORDINANCE NO. 18-52

AN ORDINANCE FOR MANOS PROPERTIES FOR APPROVAL OF A PRELIMINARY DEVELOPMENT PLAN FOR THE WESLEYAN INN ON APPROXIMATELY 1.09 ACRES (PARCELS 519-433-04-005-000 AND 519-433-04-002) ON PROPERTY ZONED PO/I AND R-3 PMU (PLANNED MIXED USE OVERLAY DISTRICT) AT 235 AND 239 WEST WILLIAM STREET.

WHEREAS, the Planning Commission at its meeting on June 6, 2018 recommended approval of a Preliminary Development Plan for the Wesleyan Inn on approximately 1.09 acres (parcels 519-433-04-005-000 and 519-433-04-002) on property zoned PO/I and R-3 PMU (Planned Mixed Use Overlay District) at 235 and 239 West William Street (2018-1028).

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Preliminary Development Plan for the Wesleyan Inn on approximately 1.09 acres (parcels 519-433-04-005-000 and 519-433-04-002) on property zoned PO/I and R-3 PMU (Planned Mixed Use Overlay District) at 235 and 239 West William Street, is hereby confirmed, approved and accepted with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The addition of the two-way left turn lane into the site shall require parking modifications along the north side of West William Street approved by the City Engineer. Any modifications to parking shall include agreements from affected property owners adjacent to the roadway. Any parking proposed to be eliminated must include agreements from the affected property owners and shall require approval of the Parking and Safety Committee. Parking shall be maintained to the maximum extent practicable and include curb modifications to provide a widened area to allow parallel parking beyond the existing curb line. All necessary associated improvements including, but not limited to, sidewalk and utility pole relocations, shall be made by the developer. If agreements cannot be obtained from affected property owners or approval cannot be gained from the Parking and Safety Committee, street

widening shall need to take place on the developer's side of West William Street to allow for construction of the turn lane

3. Because no public storm sewer exists adjacent to the site, a storm sewer extension shall be required to be designed and constructed by the developer. Design of the storm sewer and any associated roadway restoration shall need to be approved by the Public Works Department and Public Utilities Department.
4. An emergency access point shall be required on the south eastern portion of the site adjacent to the Ohio Wesleyan parking lot that is accessed off Oak Hill Avenue. An executed agreement by the subject property owner and Ohio Wesleyan University shall be recorded at the County prior to final occupancy. The exact type of connection and barrier shall be determined during the Final Development Plan approval process.
5. The number of hotel rooms shall not exceed 43 rooms.
6. The number of required parking spaces shall be 47 in accordance with development text and development plan.
7. The dumpster shall be enclosed by brick or stone that matches the building with wood doors painted or stained to match.
8. The proposed hotel building shall achieve compliance with the design standards of the approved development text.
9. The exposed portion of the retaining wall shall be faced with Delaware blue vein limestone or equivalent as approved by staff.
10. The applicant shall make a payment of \$16,700 to achieve compliance with Chapter 1168 Tree Preservation Requirements prior to construction drawing approval.
11. Any street trees or other on-site trees damaged by construction shall be replaced.
12. A six foot high solid wood fence shall be located along the western property line to screen the adjacent house while an eight foot high solid wood fence shall be located along the southwestern portion of the site to screen the adjacent residential zoned property. The landscaping shall be on the adjacent residential side of the fence along the west and southwestern property lines
13. Any landscape plans shall be reviewed and approved by the Shade Tree Commission.
14. A lighting plan shall be documented in the Final Development Plan that achieves compliance with approved development text and minimum zoning requirements and shall be reviewed and approved by the Chief Building Official.

CASE NUMBER: 2018-1026-1028
REQUEST: Multiple Requests
PROJECT: The Wesleyan Inn
MEETING DATE: June 6, 2018

APPLICANT/OWNER

Manos Properties
5973 Macewen Court
Dublin, Ohio 43017

REQUEST

2018-1026: A request by Manos Properties for approval of a Rezoning Amendment for The Wesleyan Inn on approximately 1.09 acres (parcels 519-433-04-005-000 and 519-433-04-002) from PO/I (Planned Office/Institutional District) and R-3 (One-Family Residential District) to PO/I and R-3 PMU (Planned Mixed Use Overlay District) at 235 and 239 West William Street.

2018-1027: A request by Manos Properties for approval of a Conditional Use Permit allowing the placement of a PMU (Planned Mixed Use Overlay District) to be established for The Wesleyan Inn on approximately 1.09 acres (parcels 519-433-04-005-000 and 519-433-04-002) at 235 West William Street.

2018-1028: A request by Manos Properties for approval of a Preliminary Development Plan for The Wesleyan Inn on approximately 1.09 acres (parcels 519-433-04-005-000 and 519-433-04-002) on property zoned PO/I and R-3 PMU (Planned Office/Institutional District and One-Family Single Family District with a Planned Mixed Use Overlay District) at 235 West William Street.

PROPERTY LOCATION & DESCRIPTION

The subject 1.09 acres encompass two properties 235 and 239 West William Street which is located on the south side of the street. The property at 235 West William Street is zoned PO/I Planned Office/Institutional while the property at 239 West William Street is zoned R-3 (One-Family Residential District). The properties to the north are zoned R-3, the properties to the south are zoned PO/I and R-3, the property to the east is zoned PO/I and the property to the west is zoned R-3.

BACKGROUND/PROPOSAL

The owner purchased the former Ohio Wesleyan dormitory/theme house in 2017 from Ohio Wesleyan University and the house at 239 West William in 2018. Now the owner is proposing to raze the existing house at 239 West William Street and renovate and expand the former dormitory at 235 West William Street into a 43 room Inn which encompasses 6,106 square feet. Also, the developer has a mutual understanding agreement to purchase the house at 243 West William Street which is located just west of 239 East William Street if the development is approved and the house would remain to serve as a buffer for the residents to the west. Two access points from West William Street would access and encircle the proposed Inn with 47 parking spaces.

This applicant proposes to save renovate the original Perkins house rather than simply demolish it as is his right. This is a welcome approach to staff while integrating an adaptive reuse of the property as proposed. Additionally, it needs to be clearly understood that the property proposed for the Inn is in fact zoned appropriately for such use being PO/I currently, which allows the use conditionally. The applicant also needed to provide adequate parking for the project. After acquiring the adjacent parcel to the west, this provided such space for parking. Rezoning to PMU allows the maximum control by the City to ensure the Inn use is only upon the current zoned PO/I property while the parking lot parcel remains only for parking. Overall, this proposal preserves and repairs the dilapidated Perkins home, adaptively reuses the site, contains and orients the Inn to the adjacent University owned property and provides adequate parking as a buffer to the property to the west the applicant has an agreement to purchase. This would provide a reasonable transition between the huge Stuyvesant Hall dormitory, health center, fitness center, performance space and a kitchen to the residential neighborhood to the west and 237 student residents occupying the approximate 21,700 footprint.

STAFF ANALYSIS

- **ZONING:** As previously mentioned, 235 West William Street is zoned PO/I which permits a hotel as a conditional use while 239 West William is zoned R-3 which does not allow the proposed hotel or its associated parking in this case. Therefore the applicant is requesting a Planned Mixed Use Overly District (PMU) to allow the subject hotel at the 235 West William property and associated parking lot at the 239 West William property. The PMU requires a specific site plan and zoning text that is compatible with and provides

a reasonable transition to the adjacent residents. The PMU Overlay ultimately gives the City the most control of the proposed uses and plan now and into the future while providing some flexibility to the applicant to allow such use with increased development standards over a base zoning district. The PMU is the only true planned district in the City of Delaware zoning toolbox that allows an Applicant and the City to craft a zoning solution unique to the site and needs of this particular development. In this instance, the preservation and badly needed renovation of a historic building while limiting the western portion of the property to a well buffered parking lot only can be most effectively achieved by using a PMU Overlay rather than simply applying a different base or overlay district available for consideration under the current Zoning Code and rather than simply proceeding through a Conditional Use Permit review for one parcel. The PMU approach allows the applicant to craft a zoning text that is able to support a different development pattern while ensuring the City has retained, and in many cases gained, control of the development to ensure a very specific and higher quality development than which could otherwise be achieved through a base zoning district. The applicant does have certain rights of use and development available under the current PO/I district which permits a hotel as a conditional use. Along with the zoning amendment to a PMU, the zoning process would also require Conditional Use Permit, Preliminary Development Plan and Final Development Plan approval by the Planning Commission and City Council.

- **GENERAL ENGINEERING:** The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND ACCESS:** The proposed 43 room hotel would not generate enough traffic to require a traffic impact study per the City Engineer. The subject development would have two curb cuts from West William Street that would access a 47 space parking lot. The full access point to the site must be located at the western most proposed curb cut and is to include a two-way left turn lane on West William Street, west of the existing dedicated left turn lane to Elizabeth Street. The two-way left turn lane must be designed in accordance with City standards and approved by the City Engineer. The addition of the two-way left turn lane into the site will require parking modifications along the north side of West William Street approved by the City Engineer. Any modifications to on-street parking (West Williams Street) must include agreements from affected property owners adjacent to the roadway. Any parking proposed to be eliminated must include agreements from the affected property owners and will require approval of the Parking and Safety Committee. Parking should be maintained to the maximum extent practicable and include curb modifications to provide a widened area to allow parallel parking beyond the existing curb line. All necessary associated improvements including, but not limited to, sidewalk and utility pole relocations, are to be made by the developer. If agreements cannot be obtained from affected property owners or approval cannot be gained from the Parking and Safety Committee, street widening will need to take place on the developer's side of West William Street to allow for construction of the turn lane. The eastern-most access point is to provide an exit only from the site. Because no public storm sewer exists adjacent to the site, a storm sewer extension will be required to be designed and constructed by the developer. Design of the storm sewer and any associated roadway restoration will need to be approved by the Public Works Department and Public Utilities Department. The site drives and parking areas shall accommodate full fire truck turning movements. An emergency access point will be required at the southeast corner of the site, to provide access to emergency personnel from the adjacent Ohio Wesleyan University parking lot. An access agreement should be obtained from the university. The exact type of connection and barrier would need to be determined at Final Development Plan approval. Ultimately, the entire development would have to achieve compliance with the minimum engineering, public works and fire department requirements.
- **PEDESTRIAN CONNECTIVITY:** Per the adopted Bicycle and Pedestrian Master Plan 2017, there are not any proposed bike plans across the subject properties. However, the existing sidewalk along West Williams Street would remain and have to be maintained by the developer.
- **SITE CONFIGURATION:** The existing house at 239 West William Street would be razed while the existing 2,396 square foot house at 235 West William Street would be preserved, renovated and expanded by a 4,519 square foot three story addition for a total 6,106 square foot Inn that would have 43 rooms. The

aforementioned two curb cuts from West William Street would access a 47 space parking lot with two handicap spaces located on the east access drive adjacent to the proposed hotel. A retaining wall would separate the two handicap parking spaces from the easternmost access curb cut. The exposed portion of the retaining wall shall be faced with brick or Delaware blue vein limestone or equivalent. The main entrance is located on the east side (the University side) of the building and would have a canopy over the drive through for the patron's convenience and there would be a secondary patron access on the western portion of the building. In addition, a seating area would be located on the east and west side of the hotel respectively for the patrons. A six foot high solid wood fence would be located along the western property line to screen the adjacent house (applicant has agreed to purchase) while an eight foot high solid wood fence would be located along the southwestern portion of the site to screen the adjacent residential zoned property in addition to the heavily wooded properties between the subject site and the properties to the south. The developer has a mutual understanding agreement to purchase the house at 243 West William Street which is just west of 239 West William Street if the development is approved. The applicant would keep the house to serve as a buffer for the residents to the west. A dumpster enclosure with brick or stone walls and wood doors to match the building would be located just southwest of the building. Also, the site would have underground detention within the western parking lot.

- **BUILDING DESIGN:** While the PMU Overlay has many benefits for both the City and the Applicant, perhaps the most significant benefits are the control upon the use and the architectural and building material design control it allows the City and negotiated flexibility it offers the applicants to produce a development that is better than one that would be executed under a base zoning designation. Staff with the applicant has worked through a series of designs to attempt to find a design and materials that are high quality, complement the existing homes in the area, do not try to mimic the existing historic home and try to break down the scale of the building using architectural elements. The developer's proposed elevations would have the following architectural elements, building materials and colors:
 - The existing building would be preserved, fully renovated and upgraded where appropriate.
 - The building materials for the new addition shall include brick and/or limestone with fiber cement siding as an accent to the above building materials.
 - The bricks on the new addition shall be 2 to 3 shades darker than the existing building.
 - All windows on the new addition shall be double hung style with bronze frames and grids.
 - The areas around the windows shall have accent features to match the existing building.
 - The elevator shaft on the east elevation shall be comprised of limestone exterior on the first floor and brick on the second and third floors.
 - The roof of the existing building shall be comprised of asphalt shingles.
 - The roof of the new addition shall be flat with a cornice to match the existing building.
 - Limestone wainscoting shall be installed around new the addition to match the existing building.
 - Any metal flashing shall be a mansard brown color.
 - An expanse of glass with bronze frames shall be permitted for the main entrance (east side) and connector between the existing building and new addition.
 - Wrought iron railings are permitted on the balconies, porches, etc. where appropriate as approved on the Final Development Plan..
 - Accessory structures such as enclosures for dumpsters and other similar structures shall consist of brick, limestone, or similar approved products as the exterior material and be designed in a consistent and cohesive manner.
 - Mechanical Equipment shall be screened from public view from all sides of the building through the use of parapets, equipment screens, or other screening measures

as deemed appropriate. The height of such screening shall be equivalent to the height of the highest mechanical equipment.

In conclusion, the proposed building design, materials and colors appear to be consistent with the existing building to create a cohesive and unified design while not trying to have a “fake” appearance of the new design. It should be noted that the approximate 800 square foot rear addition that currently exists on site will be removed with this proposal. This will leave the original house with the proposed Inn addition. The current addition to the rear of the historic home is in particularly bad repair.

- **LANDSCAPING & SCREENING:** The applicant is proposing a comprehensive landscape plan that includes street trees, parking lot landscaping, foundation landscaping and perimeter buffering. There are existing street trees along West William Street that would likely be maintained but if removed in construction they would have to be replaced. The foundation and parking lot landscaping appear to achieve compliance with the zoning code along with perimeter landscaping with the installation of the 6 foot and 8 foot high fences along the west and southwest property lines respectively. Staff recommends the landscaping be on the adjacent residential side of the fence along the west and southwestern property lines. All landscaping plans shall be reviewed and approved by the Shade Tree Commission.
- **TREE REMOVAL & REPLACEMENT:** The site has trees scattered throughout the site and the applicant submitted a Tree Preservation Plan that documents they are removing 320 caliper inches while they are preserving 153 caliper inches. Therefore, the applicant has a shortfall of 167 caliper inches. The owner would have to replace the removed trees with the same total caliper inches of trees or make a payment in lieu of replacement of \$16,700 (\$100 per caliper inch x 167 inch diameter tree) to achieve compliance with Chapter 1168 Tree Preservation Regulations. The applicant has agreed to make a payment of \$16,700 to achieve compliance.
- **SIGNAGE:** The applicant provided a narrative describing an illuminated ground sign along West William Street, small directional signs at each curb cut along West Williams Street, canopy signage and signs above each entry door with maximum size limits. The proposed signage would need to be located and identified during the Final Development Plan approval process. Also, all signage shall achieve compliance with the minimum zoning requirements and the adopted Gateways & Corridors Plan.
- **LIGHTING:** The applicant provided a narrative indicating the lighting of the subject development would achieve compliance with the International Dark Sky Association along with the minimum zoning standards. Per the narrative, the driveway and entry drives would have shielded landscaping light fixtures not to exceed 16 inches high, the parking lot would have fully shaded walkway bollards not to exceed 3 feet high, the building would have fully shielded wall mount fixtures on side of the privacy fence not to exceed 5 feet high, shielded wall washer up lights at the base of the foundation, shield wall sconce at entry doors, concealed interior up light LED fixtures in the building tower and recessed can lights on the underside of the canopy. All the proposed light details and locations would need to be identified on the Final Development Plan. Also, all lighting plans would need to be submitted, reviewed and approved by the Chief Building Official and achieve compliance with the minimum zoning requirements. As proposed, all lighting will be very minimal and under the height of the privacy fences to help buffer the adjacent residential neighbors.
- **CONDITIONAL USE PERMIT:** The proposed development achieves compliance with conditional use permit requirements per the zoning code and approved development text.

STAFF RECOMMENDATION (2018-1026 – REZONING AMENDMENT)

Staff recommends approval of a request by Manos Properties for a Rezoning Amendment for The Wesleyan Inn on approximately 1.09 acres (parcels 519-433-04-005-000 and 519-433-04-002) from PO/I (Planned Office/Institutional District) and R-3 (One-Family Residential District) to PO/I and R-3 PMU (Planned Mixed Use Overlay District) at 235 and 239 West William Street, with the following conditions that:

1. Any new structure(s) or any change of land use shall require conformance to all provisions of the Development Text and any conditions of approval.
2. The proposed existing building and addition at 235 West William Street shall be for the proposed Inn use only and the property at 239 West William Street shall be for a parking lot or open space only. The property at 239 West William Street shall have a covenant placed upon it to this effect.

STAFF RECOMMENDATION (2018-1027 – CONDITIONAL USE PERMIT)

Staff recommends approval of a request by Manos Properties for a Conditional Use Permit allowing the placement of a PMU (Planned Mixed Use Overlay District) to be established for The Wesleyan Inn on approximately 1.09 acres (parcels 519-433-04-005-000 and 519-433-04-002) at 235 West William Street.

STAFF RECOMMENDATION (2018-1028 PRELIMINARY DEVELOPMENT PLAN)

Staff recommends approval of a request by Manos Properties for a Preliminary Development Plan for The Wesleyan Inn on approximately 1.09 acres (parcels 519-433-04-005-000 and 519-433-04-002) on property zoned PO/I and R-3 PMU (Planned Office/Institutional District and One-Family Single Family District with a Planned Mixed Use Overlay District) at 235 West William Street, with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The addition of the two-way left turn lane into the site shall require parking modifications along the north side of West William Street approved by the City Engineer. Any modifications to parking shall include agreements from affected property owners adjacent to the roadway. Any parking proposed to be eliminated must include agreements from the affected property owners and shall require approval of the Parking and Safety Committee. Parking shall be maintained to the maximum extent practicable and include curb modifications to provide a widened area to allow parallel parking beyond the existing curb line. All necessary associated improvements including, but not limited to, sidewalk and utility pole relocations, shall be made by the developer. If agreements cannot be obtained from affected property owners or approval cannot be gained from the Parking and Safety Committee, street widening shall need to take place on the developer's side of West William Street to allow for construction of the turn lane
3. Because no public storm sewer exists adjacent to the site, a storm sewer extension shall be required to be designed and constructed by the developer. Design of the storm sewer and any associated roadway restoration shall need to be approved by the Public Works Department and Public Utilities Department.
4. An emergency access point shall be required on the south eastern portion of the site adjacent to the Ohio Wesleyan parking lot that is accessed off Oak Hill Avenue. An executed agreement by the subject property owner and Ohio Wesleyan University shall be recorded at the County prior to final occupancy. The exact type of connection and barrier shall be determined during the Final Development Plan approval process.
5. The number of hotel rooms shall not exceed 43 rooms.
6. The number of required parking spaces shall be 47 in accordance with development text and development plan.
7. The dumpster shall be enclosed by brick or stone that matches the building with wood doors painted or stained to match.
8. The proposed hotel building shall achieve compliance with the design standards of the approved development text.
9. The exposed portion of the retaining wall shall be faced with Delaware blue vein limestone or equivalent as approved by staff.
10. The applicant shall make a payment of \$16,700 to achieve compliance with Chapter 1168 Tree Preservation Requirements prior to construction drawing approval.
11. Any street trees or other on-site trees damaged by construction shall be replaced.

PLANNED MIXED USE DEVELOPMENT TEXT
THE WESLEYAN INN
235 WEST WILLIAM STREET
DELAWARE, OHIO

1. DESCRIPTION OF DEVELOPMENT

The property owner is proposing to rezone the two properties 235 West William Street (519-433-04-039-002) and 239 West William Street (519-433-04-005-0000) zoned PO/I (Planned Office/Institutional District) and R-3 (One-Family Residential District) to PO/I and R-3 PMU (Planned Mixed Use District) for a 43 room hotel on the 1.09 acre site.



2. GENERAL DEVELOPMENT STANDARDS

- A. **Purpose and Intent.** It is the intent of this development to provide a planned commercial use for the existing building and the proposed addition that is compatible with the site improvements, architectural design, signage and amenities. This Development Text represents the zoning requirements for this development as agreed upon between the developer and the City.
- B. **Conformance with Codified Ordinances and City Policy.** Unless noted otherwise within this development text, all development will be constructed and provided in conformance with the then current Codified Ordinances and City Policy in effect at the time of application.
- C. **Limitations.** Nothing in this text shall prohibit additional restrictions or requirements from being placed on the approval of any Final Development Plan.
- D. **Major Modifications.** Once a Final Development Plan has been approved by City Council, any subsequent major modification to that plan shall only be permitted by resubmission and approval of a revised Final Development Plan through the procedures set forth in the Zoning Code. Major modification for the purposes of this text shall mean any modification of the approved Final Development Plan, as determined by the Director of Planning & Community Development, that results in:
- (1) Any major change in the use or occupancy other than those uses specifically listed in this text.
 - (2) Major change in the approved location of land uses or land use sub-areas and building sizes of more than 10%.
 - (3) Substantial alteration of the basic geometry, including right-of-way width, and/or operation characteristics of any element of the approved access points and parking facilities that results in a change in operating characteristics or character.
- E. **Minor Modifications.** Once a Final Development Plan has been approved by City Council, any subsequent minor modification to that plan shall only be permitted by resubmission and approval by the Director of Planning and Community Development of a revised Final Development Plan. Minor modification for the purposes of this text shall mean any modification of the approved Final Development Plan, as determined by the Director of Planning & Community Development, that results in:
- (1) Any modification that is not considered a major modification by this Zoning Text or by determination of the Director of Planning & Community Development.
 - (2) Any minor change to the use or occupancy of the structures onsite other than those uses specifically allowed in this text or any minor changes to the approved site layout.
 - (3) Minor alteration of the basic geometry, including right-of-way width, and/or operation characteristics of any element of the approved access points and parking facilities that results in a change in operating characteristics or character.

- (4) Minor structural alterations that do not alter the overall design intent of the building.

F. Preliminary & Final Development Plan

1. The proposed site plan and building elevations require Preliminary and Final Development Plan approval by the Planning Commission and City Council.

G. Tree Removal and Replacement. Tree removal and replacement shall meet all requirements of Chapter 1168 along with the following replacement schedule:

- (1) Trees in poor condition shall not be replaced (dead, damaged or diseased).
- (2) Trees in fair condition shall be replaced at 50%.
- (3) Trees in good condition shall be replaced at 100%
- (4) Ash trees shall not be replaced and must be removed from the site.
- (5) Other tree species considered by the City Arborist to be a species of poor quality will be considered as such with a 0% replacement value.
- (6) Credit shall be given on a caliper inch basis for any permanently preserved trees as per the same schedule for removal above.
- (7) The applicant indicated they are removing 229 caliper inches of trees per the submitted Tree Preservation Plan.
- (8) The owner removed 91 caliper inches of trees on the subject site in February 2018.
- (9) Therefore, 320 total caliper inches would be removed on the subject site
- (10) The applicant indicated they are preserving 153 caliper inches of trees per the submitted Tree Preservation Plan.
- (11) Based upon the submitted plans and removal versus preservation credit, the number of caliper inches removed is 167 caliper inches. Therefore, the owner would be required to make a payment of \$16,700 (167 caliper inches removed x \$100 per caliper inch fee) or replant the requested amount of caliper inches prior to engineering drawing approval.

3. SITE PLAN

The project is located at 235 and 239 West William Street which encompasses approximately 1.09 acres. The owner is proposing to raze the existing house at 239 West William Street and renovate and expand the former dormitory at 235 West William Street into a 43 room hotel which encompasses a total of 6,106 square feet. Two access points from West William Street would access and encircle the proposed hotel with 47 parking spaces. The main hotel entrance is located on the east side of the building and would have a canopy over the drive through for the patron's convenience and a secondary access would be located on the west side of the hotel. A retaining wall would separate two handicap parking spaces from the easternmost curb cut. An outdoor sitting area is located on the east and west side of the building for the patrons. In addition, an emergency access point would be located on the southern portion of the site that would extend into adjacent Ohio Wesleyan parking lot that connects to Oak Hill Avenue to the south. A six foot high solid wood fence would be located adjacent to the western property line and an eight foot high solid wood fence would be located adjacent to the residential property to the southwest for screening purposes. A dumpster enclosed by walls constructed of brick or stone to match the building would be located just south of the building. The site would have underground detention in the western most parking lot.

4. SITE USES

A. **Uses.** The following uses shall be considered permitted, conditionally permitted, or limited uses as represented in the chart below by P, C, or L, respectively, and as defined by attached Chapter 1121 of the Zoning Code. Any use not listed in the chart shall be considered a prohibited use unless amended by action of the Planning Commission and City Council through a Zoning Amendment process.

- (1) **Permitted Uses.** Permitted uses are permitted by-right and shall meet all development standards specified within this text and the Zoning Code, as applicable. The property at 235 West William allows all the uses in the land use chart below while at 239 West William Street only allows a parking lot/open space land use per the county auditors lot configuration as of June 1, 2018.
- (2) **Conditionally Permitted Uses.** In addition to all standards specified within this development text, uses listed as conditionally permitted uses shall meet all the then current Zoning Code standards for approval of a Conditional Use Permit current at the time of application for the specific conditional use as well as any other regulations contained within the Zoning Code and applicable to the conditional use.
- (3) **Limited Uses.** Limited uses shall be considered permitted uses subject to complying with all the specific limitations and restrictions as specified within this text as determined by Final Development Plan approval.
- (4) **Accessory Uses and Structures.** Although not specified in the chart below, accessory uses, which are considered allowed uses, include those items that are customarily incidental and secondary to the principal use of the land. Such items include but are not limited to signs, fences, trash receptacles and enclosures, and off-street parking areas. If the uses are specified as conditional or limited uses the processes and limitations shall apply regardless of accessory use status.

Land Use Category	Uses
(a) Lodging	
(1) Hotel (not to exceed 43 rooms) – 235 West William Street only	P
(b) Office Professional Services	
(1) Offices – Administrative, Business and Professional – 235 West William Street only	P
(2) Medical/Dental Offices health and allied services – 235 West William Street only	P

Land Use Category	Uses
(c) Community Facilities	
(1) School, public or private – 235 West William Street only	P
(2) College, universities, educational research establishment/laboratory- 235 West William Street only	P
(3) Public cultural institutions and art galleries – 235 West William Street only	P
(4) Parking lot/open space – 235 and 239 West William Street	P

(5) Prohibited Uses.

- i) **Adult Entertainment Businesses:** (also known as sexually oriented businesses) are expressly prohibited from locating anywhere on the proposed Development site.
- ii) **Wireless telecommunication facilities including installations known as small cell sites and Distributed Antenna Systems (DAS):** Towers are expressly prohibited from the entire Development area. Small cell sites, DAS, antennas, and/or amplifiers may be permitted so long as they are completely camouflaged so as to be not visible either within an enclosed building or the structure to which they are attached if external. These shall be reviewed individually administratively for compliance with these regulations.
- iii) **Outdoor Storage:** No outdoor storage is permitted on the site which includes open dumps and mineral extraction. However, the existing outdoor storage in the rear of the existing building shall remain as documented on the Final Development Plan.
- iv) **Medical Marijuana:** No medical marijuana principal or accessory uses are permitted on the subject site.
- v) **Games of Skill:** Accessory or principle for-profit, non-charitable, skill based gaming uses oriented towards adults and designed to substantially mimic gambling devices such as but not limited to spinning skill stop games but not including traditional video arcade type games typically found in restaurant/party center arrangements, for example Dave & Buster’s, Magic Mountain, and Chuck E. Cheese

B. **Lot Standards.** The following standards shall apply for lot standards and coverage.

Lot Standards	
(1) Minimum lot area	Per approved FDP
(2) Minimum lot width and frontage*	Per approved FDP
(3) Maximum building coverage	67%

*Lot frontage requirement may be met by providing the minimum frontage along cross access easements connecting to public streets.

C. **Building Setback Standards.** The following standards shall apply for minimum building setbacks, except as otherwise approved on the Final Development Plan. Decorative architectural elements such as canopies and overhangs shall be permitted to encroach into any setback provided that no encroachment shall exceed 5 feet.

Minimum Building Setbacks	
(1) Setback West Williams Street	50 ft.
(2) Side and Rear Setback From Property Line	
a. When adjoining non-residential district	30 ft
b. When adjoining a residential district	75 ft

D. **Parking Setbacks.** The following standards shall apply for minimum parking setbacks. Parking setbacks include any parking space, parking lot drive aisle, and parking lot circulation aisle, except as otherwise approved on the Final Development Plan.

Minimum Parking Setbacks	
(1) Setback from West William Street.	20 ft
(2) Side and Rear Setback from Property Line	
a. When adjoining non-residential district	5 ft
b. When adjoining residential district	10 ft

E. **Maximum Building Height.** The maximum height of any main building or structure shall be 38 feet and the existing tower shall be 44 feet as measured from finished floor elevation to the highest point of the roof or as approved in Final Development Plan.

F. **Building Design.** The intent of this regulation is to allow renovations and additions to the existing structure to be constructed of similar building materials or natural materials. To create a cohesive and unified design, the building shall be consistent in overall design, color, material, and architectural pattern as determined through the Final Development Plan review process and substantially similar to the provided elevations in the Final Development Plan. The building design, material and color requirements include:

- (1) The existing building would be preserved and upgraded where appropriate.
- (2) The building materials for the new addition shall include brick and/or limestone with fiber cement siding as an accent to the above building materials.
- (3) The bricks on the new addition shall be 2 to 3 shades darker than the existing building.
- (4) All windows on the new addition shall be double hung style with bronze frames and grids.
- (5) The areas around the windows shall have accent features to match the existing building.
- (6) The elevator shaft on the east elevation shall be comprised of limestone exterior on the first floor and brick on the second and third floors.
- (7) The roof of the existing building shall be comprised of asphalt shingles.
- (8) The roof of the new addition shall be flat with a cornice to match the existing building.
- (9) Limestone wainscoting shall be installed around new the addition to match the existing building.
- (10) Any metal flashing shall be a mansard brown color.
- (11) An expanse of glass with bronze frames shall be permitted for the main entrance and connector between the existing building and new addition.
- (12) Wrought iron railings are permitted on the balconies, porches, etc. where appropriate.
- (13) Accessory structures such as enclosures for dumpsters and other similar structures shall consist of brick, limestone, or similar approved products as the exterior material and be designed in a consistent and cohesive manner.
- (14) Mechanical Equipment shall be screened from public view from all sides of the building through the use of parapets, equipment screens, or other screening measures as deemed appropriate. The height of such screening shall be equivalent to the height of the highest mechanical equipment.

G. **Parking.** The amount of parking shall be as approved on the Final Development Plan and not inconsistent with the Preliminary Development Plan.

- (1) The applicant is proposing 47 parking spaces for the 43 room hotel which achieves compliance with the zoning code.

H. **Landscaping and Screening.** All landscaping shall meet the requirements of the Zoning Code and the Gateways & Corridors Plan and per the following requirements except as otherwise approved on the Final Development Plan:

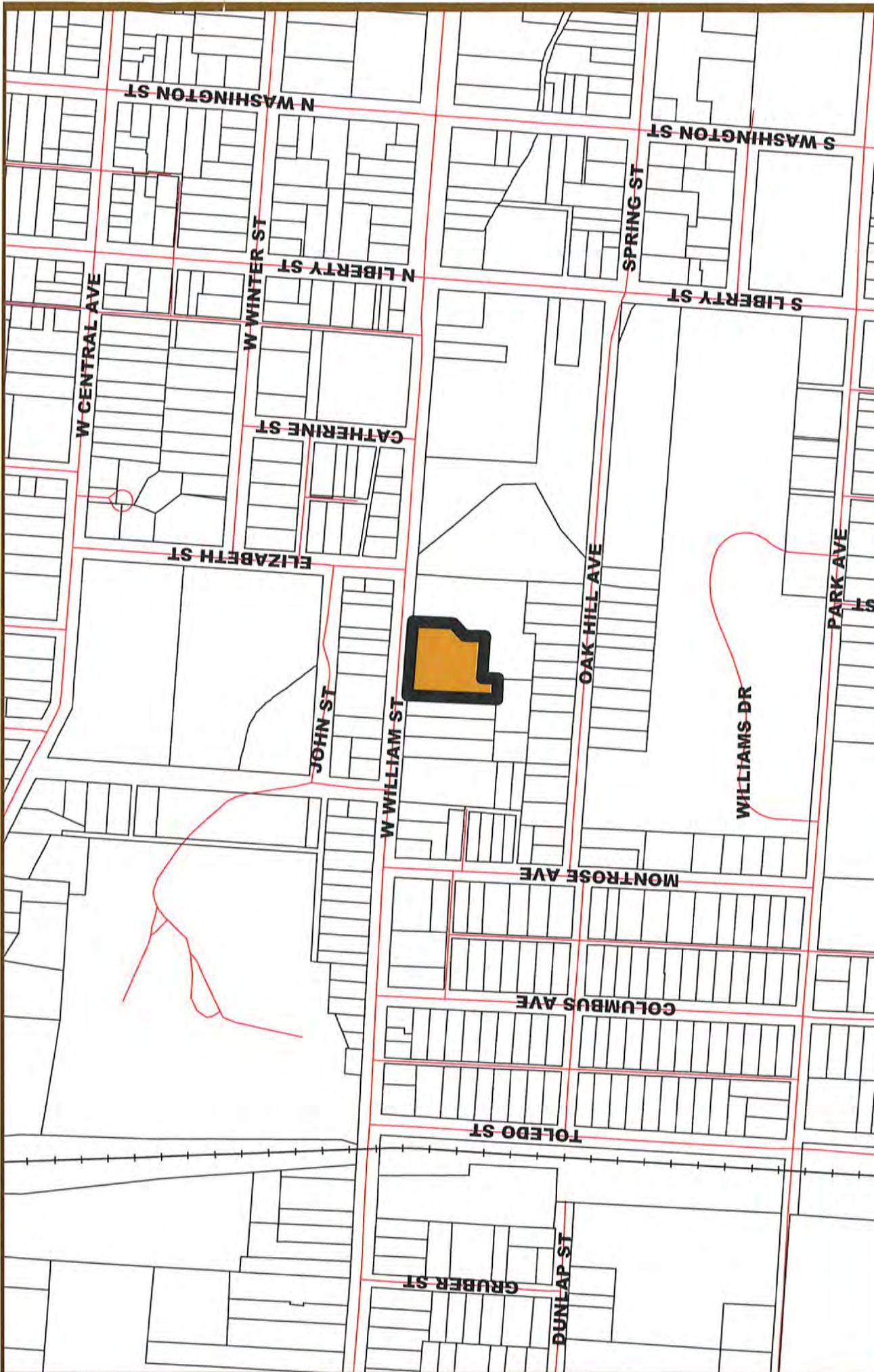
- (1) Street tree and front yard trees shall be required per the zoning code.
- (2) Foundation landscaping shall be required per the zoning code.
- (3) A six foot high solid wood fence shall be installed adjacent to the residentially zoned properties to the west and an eight foot high solid wood fence to the residentially zoned property to the southwest. Evergreen, deciduous trees and shrubs shall be located on the residential side of the fence to supplement screening from the adjacent residences.

- I. **Lighting.** Building, site, and accent lighting shall be provided in accordance with the current Zoning Code, except that there is no requirement to provide lighting beyond that required by the applicable Building Code. The proposed lighting will follow as much as possible the International Dark Sky Association outdoor lighting recommendations. No site lighting shall be higher than the privacy fences proposed. The site lighting would include the following elements and requirements as submitted by the applicant:
- (1) All light fixtures shall be a warm LED with a color temperature not to exceed 3,000 degrees Kelvin. All such lights shall be shielded.
 - (2) The driveway and entry drives shall have shielded landscaping light fixtures not to exceed 16 inches high.
 - (3) The sidewalks shall have fully shaded walkway bollards not to exceed 16 inches high.
 - (4) The parking lot shall have fully shaded walkway bollards not to exceed 3 feet high, shielded landscaping light fixtures not to exceed 16 inches high, shielded wall washer up lights at the base of trees and fully shielded wall mount fixtures on the side of the privacy fence not to exceed 5 feet high.
 - (5) The drive thru canopy shall have recessed can lights on the underside of the canopy.
 - (6) The existing building tower shall have concealed interior up light LED light fixtures.
- k. **Signs.** A comprehensive sign plan shall be provided and approved in conformance with Section 1165.16(c) and will be provided as part of the Final Development Plan. All signage proposed for this Planned Commercial Development shall comply with Chapter 1165 of the City of Delaware Zoning Code. The proposed signage shall comply with the following requirements as submitted by the applicant:
1. An internally illuminated ground sign with a limestone base shall be located along West William Street not to exceed 6 feet wide and five feet high.
 2. Small directional signage shall be permitted at the curb cuts and other appropriate locations within the parking lot not to exceed two feet wide and one foot high and shall be non-illuminated.
 3. The southeast end of the drive thru canopy shall contain a hanging sign above eye level not to exceed five feet wide and four feet high.
 4. The glass above and to the side of the entry doors shall have signage identifying the business using simulated etched glass or raised lettering not to exceed six inches high.
 5. A business logo shall appear on each sign.
- l. **Roads.** The proposed development shall require the following on and off site traffic improvements per the City Engineer:
1. The full access point to the site must be located at the western most proposed curb cut and is to include a two-way left turn lane on West William Street, west of the existing dedicated left turn lane to Elizabeth Street. The two-way left turn lane must be designed in accordance with City standards and approved by the City Engineer.

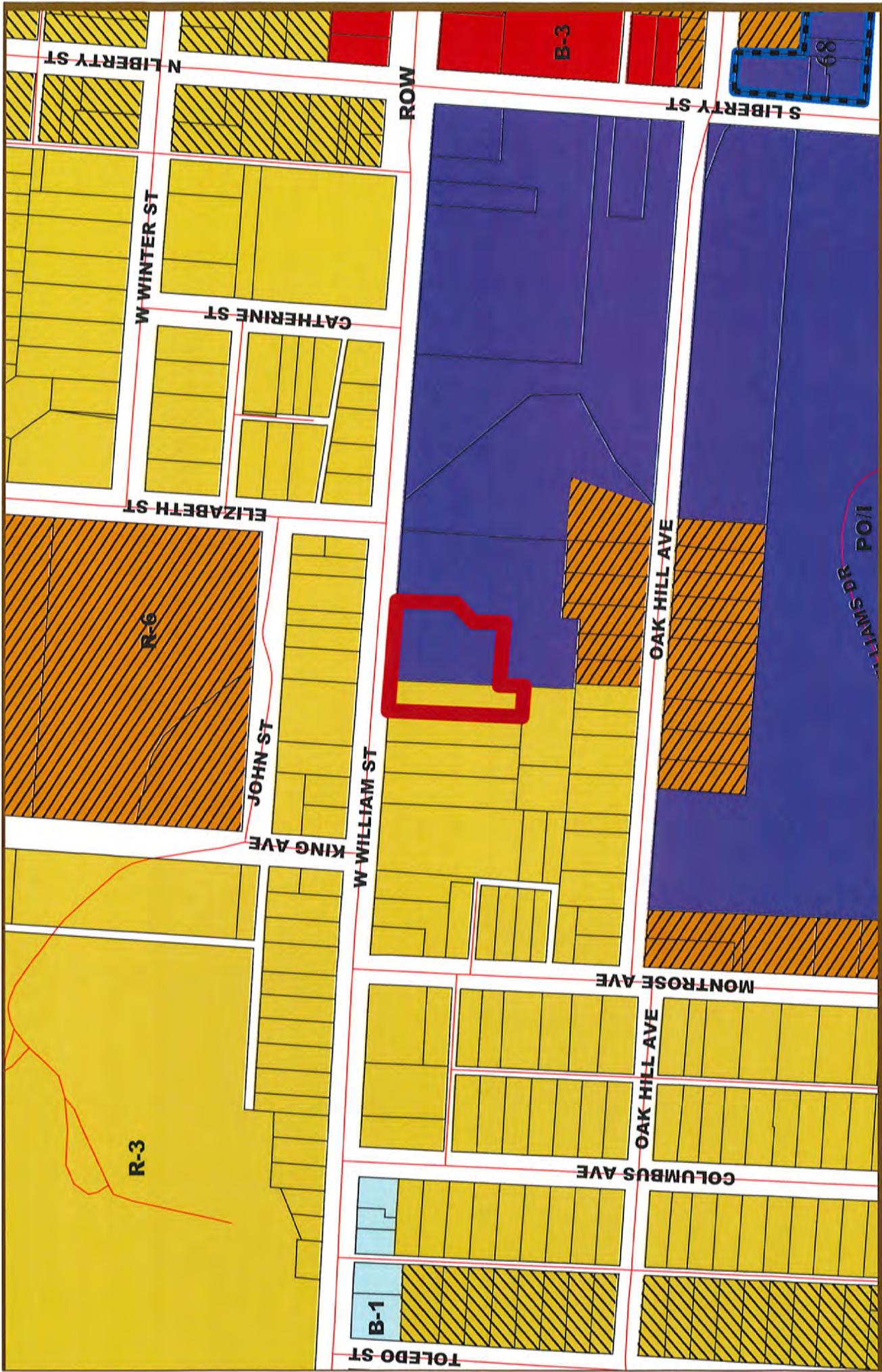
2. The addition of the two-way left turn lane into the site will require parking modifications along the north side of West William Street approved by the City Engineer. Any modifications to parking must include agreements from affected property owners adjacent to the roadway. Any parking proposed to be eliminated must include agreements from the affected property owners and will require approval of the Parking and Safety Committee. Parking should be maintained to the maximum extent practicable and include curb modifications to provide a widened area to allow parallel parking beyond the existing curb line. All necessary associated improvements including, but not limited to, sidewalk and utility pole relocations, are to be made by the developer. If agreements cannot be obtained from affected property owners or approval cannot be gained from the Parking and Safety Committee, street widening will need to take place on the developer's side of West William Street to allow for construction of the turn lane.
3. The eastern-most access point is to provide an exit only from the site.
4. Because no public storm sewer exists adjacent to the site, a storm sewer extension will be required to be designed and constructed by the developer. Design of the storm sewer and any associated roadway restoration will need to be approved by the Public Works Department and Public Utilities Department.
5. The site drives and parking areas shall accommodate full fire truck turning movements.
6. An emergency access point will be required at the southeast corner of the site, to provide access to emergency personnel from the adjacent Ohio Wesleyan University parking lot. An access agreement should be obtained from the university.

The engineering drawings for such improvements shall accompany the submittal of the Final Development Plans for this development.

- m. **Utilities.** Any new or existing utilities(s) to be constructed and/or extended within the development shall comply with the City minimum requirements or as approved by the City Director of Utilities. The engineering drawings for such improvements shall accompany the submittal of the Final Development Plan.



2018-1026-1028
 Rezoning Amendment, Conditional Use Permit,
 and Preliminary Development Plan
 The Wesleyan Inn - 235 and 239 West William Street
 Location Map



2018-1026-1028
 Rezoning Amendment, Conditional Use Permit,
 and Preliminary Development Plan
 The Wesleyan Inn - 235 and 239 West William Street
 Zoning Map



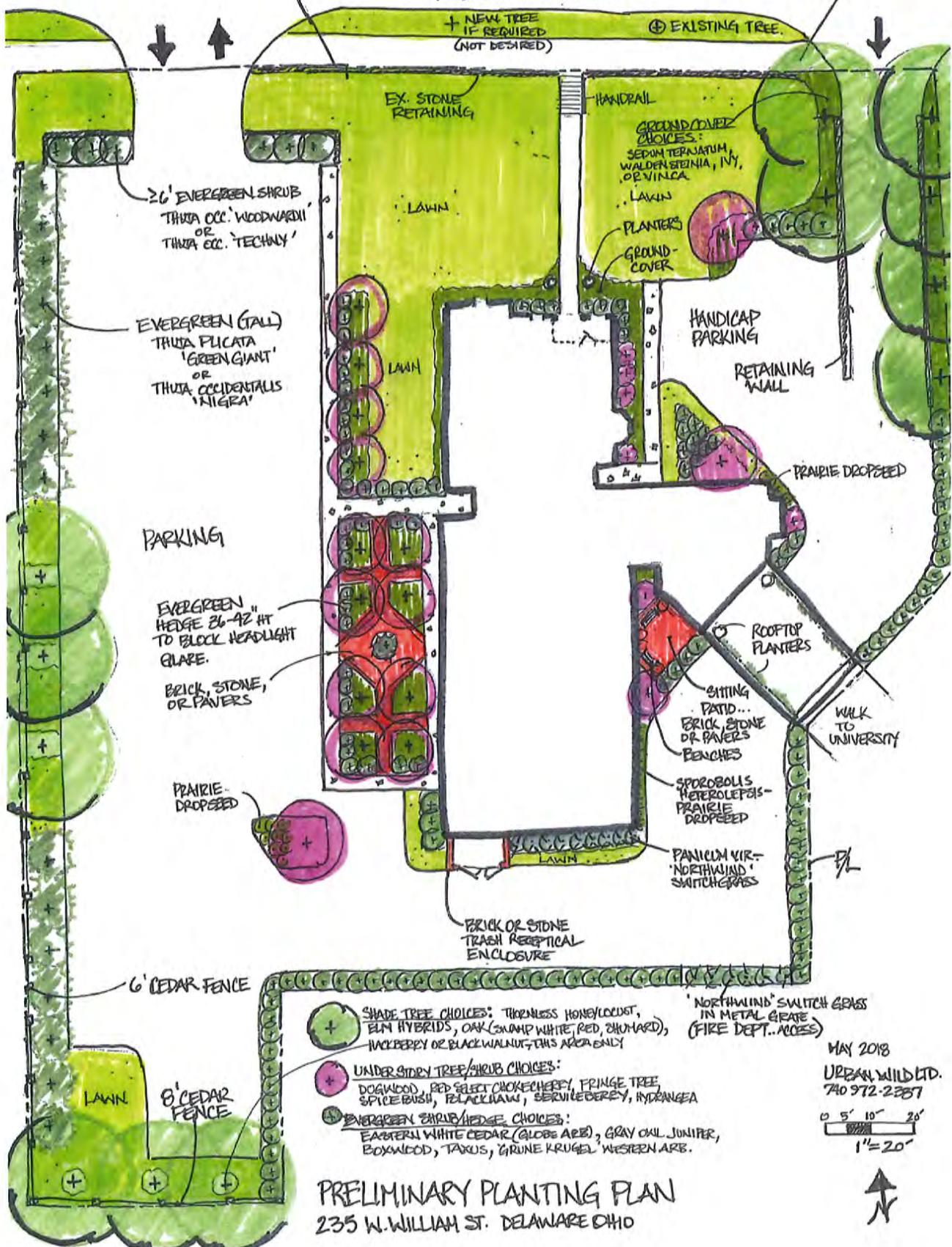


2018-1026-1028
 Rezoning Amendment, Conditional Use Permit,
 and Preliminary Development Plan
 The Wesleyan Inn - 235 and 239 West William Street
 Aerial (2016) Map



KEEP OPEN VIEW OF VICTORIAN BUILDING AS WAS HISTORIC PRACTICE

WILLIAM STREET



+ NEW TREE IF REQUIRED (NOT DESIRED)

⊕ EXISTING TREE

EX. STONE RETAINING

HANDRAIL

GROUND COVER CHOICES:

SEDUM TERNATIUM, WALDEN STEINIA, NY, OR VINCA

LAWN

PLANTERS

GROUND COVER

26' EVERGREEN SHRUB THUJA OCC. 'WOODWARDII' OR THUJA OCC. 'TECHNY'

EVERGREEN (TALL) THUJA PLICATA 'GREEN GIANT' OR THUJA OCCIDENTALIS 'NIGRA'

HANDICAP PARKING

RETAINING WALL

PRAIRIE DROPSPEED

PARKING

EVERGREEN HEDGE 26-42" HT TO BLOCK HEADLIGHT GLARE.

BRICK, STONE, OR PAVERS

PRAIRIE DROPSPEED

ROOFTOP PLANTERS

SITTING PATIO... BRICK, STONE OR PAVERS BENCHES

WALK TO UNIVERSITY

SPOROBIOLIS 'ETEROLEPIS' PRAIRIE DROPSPEED

PANICUM VIRG. 'NORTHWIND' SWITCHGRASS

BRICK OR STONE TRASH RECEPTICAL ENCLOSURE

6' CEDAR FENCE

SHADE TREE CHOICES: THORNLESS HONEYLOCUST, ELM HYBRIDS, OAK (SWAMP WHITE, RED, SHUMARD), HICKBERRY OR BLACK WALNUT - THIS AREA ONLY

UNDERSTORY TREE/SHRUB CHOICES: DOGWOOD, RED SELET CHOCHECHERRY, FRINGE TREE, SPICE BUSH, BLACK HAWK, SERVICE BERRY, HYDRANGEA

EVERGREEN SHRUB/HEDGE CHOICES: EASTERN WHITE CEDAR (GLOBE ARB), GRAY OAK JUNIPER, BOXWOOD, TAXUS, GRUNE KRUGEL, WESTERN ARB.

'NORTHWIND' SWITCH GRASS IN METAL GRATE (FIRE DEPT...ACCESS)

LAWN

8' CEDAR FENCE

MAY 2018

URBAN WIND LTD. 740 972-2387

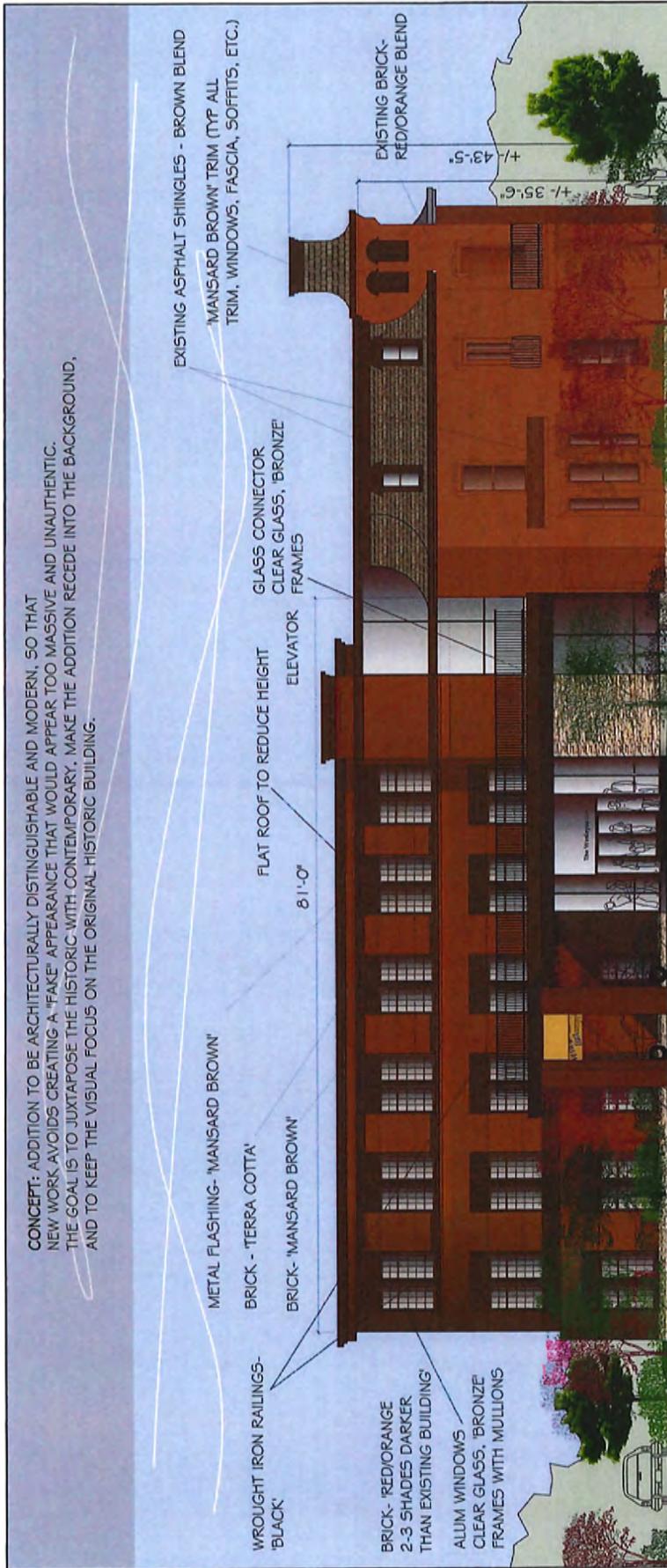
0 5' 10' 20'
1" = 20'

PRELIMINARY PLANTING PLAN

235 W. WILLIAM ST. DELAWARE OHIO



CONCEPT: ADDITION TO BE ARCHITECTURALLY DISTINGUISHABLE AND MODERN, SO THAT NEW WORK AVOIDS CREATING A "FAKE" APPEARANCE THAT WOULD APPEAR TOO MASSIVE AND UNAUTHENTIC. THE GOAL IS TO JUXTAPOSE THE HISTORIC WITH CONTEMPORARY. MAKE THE ADDITION REcede INTO THE BACKGROUND, AND TO KEEP THE VISUAL FOCUS ON THE ORIGINAL HISTORIC BUILDING.



East Elevation

The Wesleyan Inn

East
Elevation

A-1

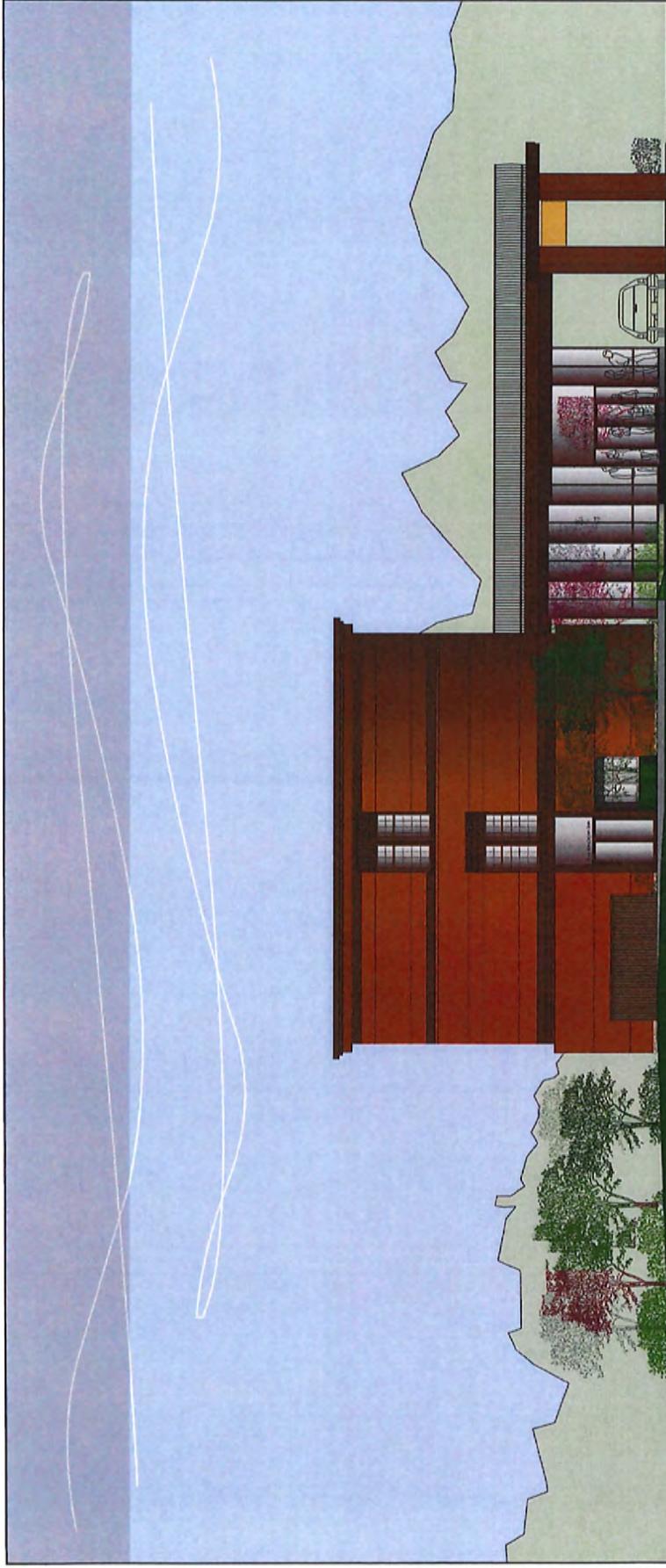


West Elevation

The Wesleyan Inn

West
Elevation

A-2



South Elevation

The Wesleyan Inn

South
Elevation

A-3

Project: Wesleyan Inn
235 West William St.
Delaware, Ohio

Date: May 21, 2018

Signage

Signage shall follow published City of Delaware zoning code.

A licensed sign company shall prepare drawings and submit sign application at a later date.

Business Logo:

The business identification and name shall appear on each sign. Logo provided by owner is attached.

Signs and Locations

West William Street Business Identification:

Internally illuminated ground sign on limestone base positioned sloped grade directly in front of the existing at a setback line and size prescribed by city code.
Sign shall be two faced and oriented perpendicular to street. 6'-0" x 5'0" H

Curb Cuts: Small directional signs indicating IN, OUT and RIGHT TURN ONLY where required.
Appx. 12" W x 24" H

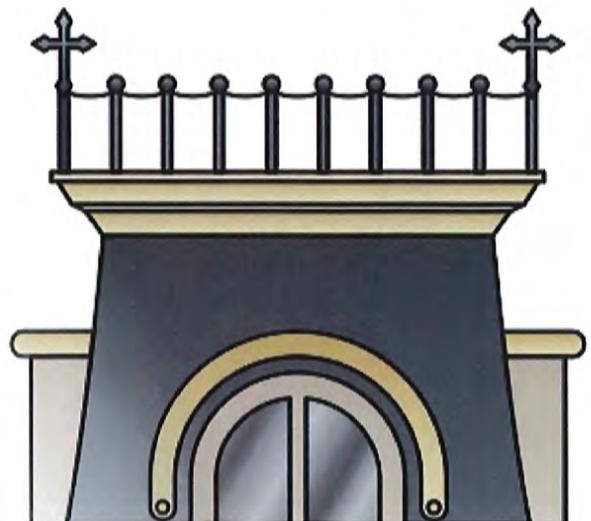
Canopy: The southeast end of new drive-through canopy shall contain a hanging sign above eye level. 5'-0" x 4'-0" H

Entry Doors: The glass above and to the side of entry doors shall have signage identifying the business using simulated etched glass or raised lettering. 6" high and 3" high respectively.

The Wesleyan Inn



The



INTERNATIONAL DARK SKY ASSOCIATION

<http://darksky.org/>

Outdoor Lighting Basics

Modern society requires outdoor lighting for a variety of needs, including safety and commerce. IDA recognizes this but advocates that any required lighting be used wisely. To minimize the harmful effects of light pollution, lighting should

- Only be on when needed
- Only light the area that needs it
- Be no brighter than necessary
- Minimize blue light emissions
- Be fully shielded (pointing downward)

The illustration below provides an easy visual guide to understand the differences between unacceptable, unshielded light fixtures and those fully shielded fixtures that minimize skyglow, glare and light trespass.

Types of Light

Most people are familiar with incandescent or compact fluorescent bulbs for indoor lighting, but outdoor lighting usually makes use of different, more industrial, sources of light. Common light sources include low-pressure sodium (“LPS”), high-pressure sodium (“HPS”), metal halide and light emitting diodes (“LEDs”).

LPS is very energy efficient but emits only a narrow spectrum of pumpkin-colored light that some find to be undesirable. Yet, LPS is an excellent choice for lighting near astronomical observatories and in some environmentally sensitive areas.

HPS is commonly used for street lighting in many cities. Although it still emits an orange-colored light, its coloring is more “true to life” than that of LPS.

In areas where it’s necessary to use white light, two common choices are metal halide and LEDs. One of the advantages of LED lighting is that it can be dimmed. Thus, instead of always lighting an empty street or parking lot at full brightness, LEDs can be turned down, or even off, when they aren’t needed and then brought back to full brightness as necessary. This feature both saves on energy and reduces light pollution during the night.

Because of their reported long life and energy efficiency, LEDs are rapidly coming into widespread use, replacing the existing lighting in many cities. However, there are important issues to consider when making such a conversion. See our [LED Practical Guide](#) for more information.

Color Matters

As the illustration above, it is crucial to have fully shielded lighting, but we now know that the color of light is also very important. Both LED and metal halide fixtures contain large amounts of blue light in their spectrum. Because blue light brightens the night sky more than any other color of light, it’s important to minimize the amount emitted. Exposure to blue light at night has also been shown to harm [human health](#) and [endanger wildlife](#). [IDA recommends](#) using lighting that has a color temperature of no more than 3000 Kelvins.

Lighting with lower color temperatures has less blue in its spectrum and is referred to as being “warm.” Higher color temperature sources of light are rich in blue light. IDA recommends that only warm light sources be used for outdoor lighting. This includes LPS, HPS and low-color-temperature LEDs. In some areas, the white light of even a low-color-temperature LED can be a threat to the local nighttime environment. In those cases, LPS or narrow-spectrum LEDs are preferred choices.

Outdoor Lighting Basics

Modern society requires outdoor lighting for a variety of needs, including safety and commerce. IDA recognizes this but advocates that any required lighting be used wisely. To minimize the harmful effects of light pollution, lighting should

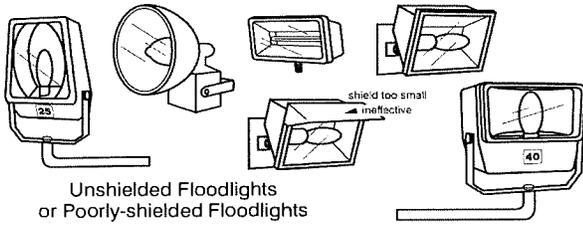
- Only be on when needed
- Only light the area that needs it
- Be no brighter than necessary
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- Be fully shielded (pointing downward)

The illustration below provides an easy visual guide to understand the differences between unacceptable, unshielded light fixtures and those fully shielded fixtures that minimize skyglow, glare and light trespass.

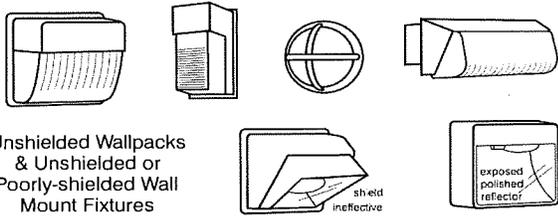
Examples of Acceptable / Unacceptable Lighting Fixtures

Unacceptable / Discouraged

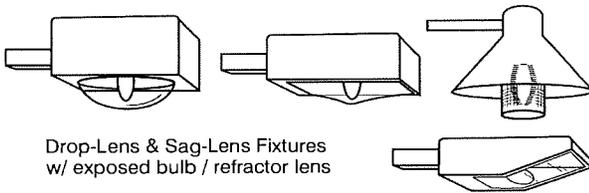
Fixtures that produce glare and light trespass



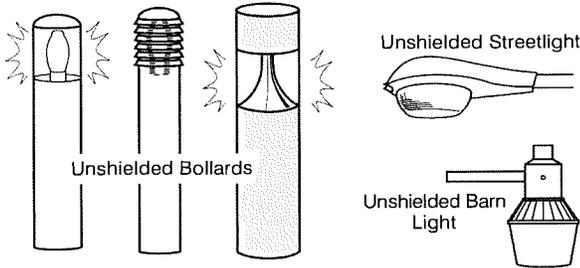
Unshielded Floodlights or Poorly-shielded Floodlights



Unshielded Wallpacks & Unshielded or Poorly-shielded Wall Mount Fixtures



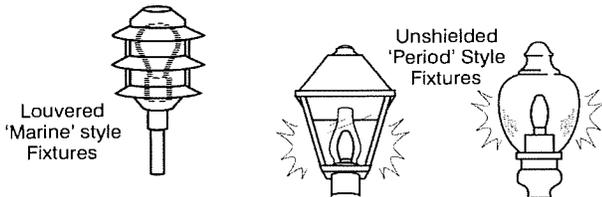
Drop-Lens & Sag-Lens Fixtures w/ exposed bulb / refractor lens



Unshielded Streetlight

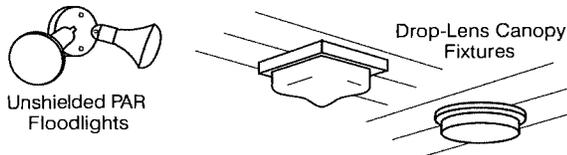
Unshielded Bollards

Unshielded Barn Light



Louvered 'Marine' style Fixtures

Unshielded 'Period' Style Fixtures

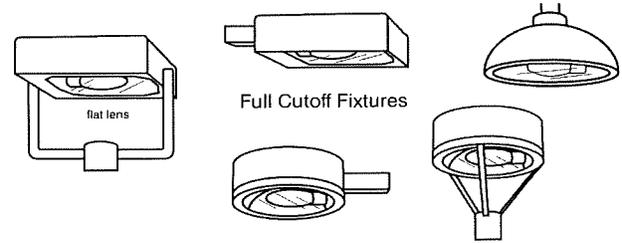


Unshielded PAR Floodlights

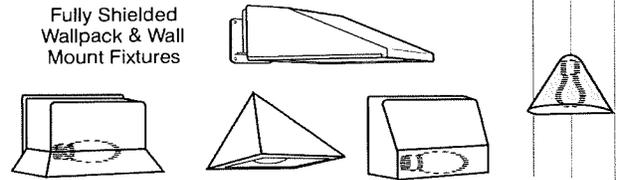
Drop-Lens Canopy Fixtures

Acceptable

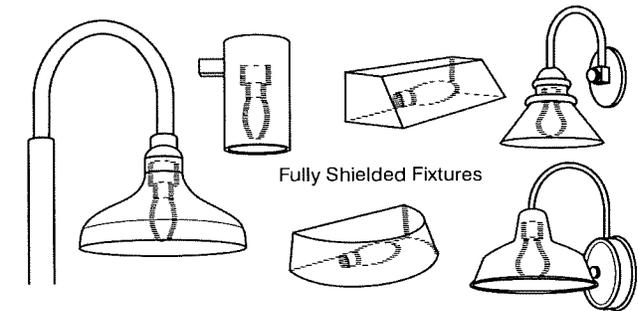
Fixtures that shield the light source to minimize glare and light trespass and to facilitate better vision at night



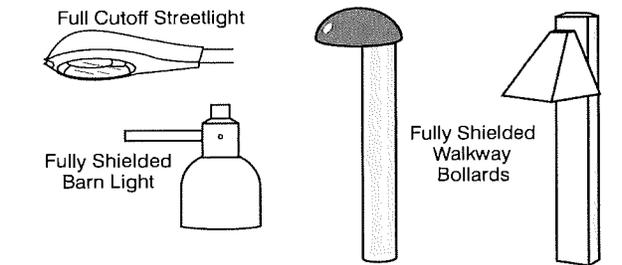
Full Cutoff Fixtures



Fully Shielded Wallpack & Wall Mount Fixtures



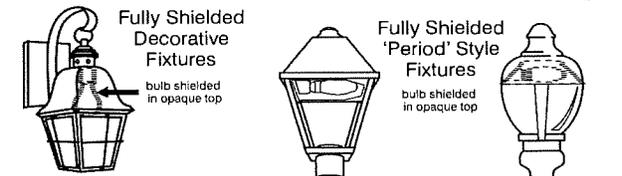
Fully Shielded Fixtures



Full Cutoff Streetlight

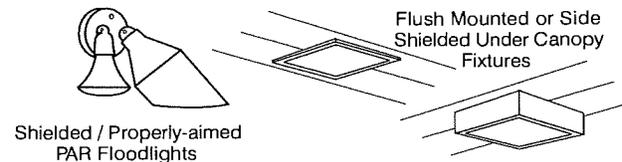
Fully Shielded Barn Light

Fully Shielded Walkway Bollards



Fully Shielded Decorative Fixtures

Fully Shielded 'Period' Style Fixtures



Shielded / Properly-aimed PAR Floodlights

Flush Mounted or Side Shielded Under Canopy Fixtures

Illustrations by Bob Crelin© 2005. Rendered for the Town of Southampton, NY. Used with permission.

Project: Wesleyan Inn
235 West William St.
Delaware, Ohio

Date: May 16, 2018

Site Lighting

Site lighting shall follow, as much as possible, published outdoor lighting recommendations from the International Dark Sky Association in addition to City of Delaware zoning code.

Site Lighting Plan: Lighting plan, cut sheets, and photo metrics shall be submitted at a later date.

Lamps, Lighting Fixtures and Locations

Lamps: All light fixtures shall be 'warm' LED with a color temperature not to exceed 3,000 degrees Kelvin. All lights shall be shielded.

Entry Drives: Shielded landscaping light fixtures not to exceed 16" high.

Driveway: Shielded landscaping light fixtures not to exceed 16" high.

Sidewalks: Fully Shaded Walkway Bollards not to exceed 36" high.

Parking Lot: Fully Shaded Walkway Bollards not to exceed 36" high.
Shielded landscaping light fixtures not to exceed 16" high.
Shield wall washer up lights as base of trees.
Fully shielded wall mount fixtures on side of privacy fence not to exceed 60" high.

Building Perimeter:
Shielded landscaping light fixtures not to exceed 16" high.
Shielded wall washer up lights as base of foundation.
Shielded wall sconce at entry doors.

Drive-through Canopy:
Recessed can lights on under side of canopy.

Existing Building Tower:
Concealed interior up light LED light fixtures.

Plan④Land

May 7, 2018

Christopher J Posey
243 W. William St.
Delaware, OH 43015

RE: The Wesleyan Inn

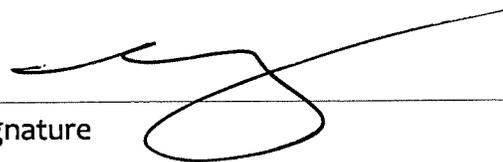
Christopher,

As discussed with Jim Manos on May 7, 2018, you have indicated an interest in selling your real property located at 243 W. William St., Delaware, Oh 43015. Jim expressed to you his mutual interest in purchasing this property, contingent upon the following conditions:

- 1) Purchase price is to be determined upon review of three (3) appraisals, at a price 10% above the highest appraisal;
- 2) Jim Manos will provide to you \$5,000 in refundable earnest money and will pay the cost of an Attorney of your choosing to review subsequent purchase agreement;
- 3) Purchase will occur upon your request and not sooner than the City of Delaware grants final approval of the development project at 235 & 239 W. William St., known as The Wesleyan Inn; and
- 4) Purchase will occur only with your continued and memorialized support of the development project known as The Wesleyan Inn.

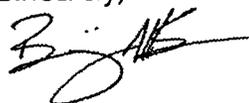
This letter is intended to affirm mutual understanding between you and Jim Manos. To express your understanding and agreement of these preliminary terms, please sign below and use the enclosed SASE to send this letter back to us. Upon signed remittance of this letter, we will begin drafting a formal purchase agreement for your review.

Christopher Posey
Name (Printed)


Signature
5/8/2018
Date

If you have any further questions about the project, don't hesitate to give me a call at (203) 583-1760 or email me at ben@plan4land.net. Thank you very much!

Sincerely,



Ben Henson, AICP
Principal, Plan 4 Land, LLC

Plan④Land

May 7, 2018

Christopher J Posey
243 W. William St.
Delaware, OH 43015

RE: The Wesleyan Inn

Christopher,

Thank you for allowing us to reach out to you recently on behalf of the Developer of the planned renovation and expansion of the 235 William St. property. As planned, the property will be locally owned and operated as a 43-bed boutique hotel known as The Wesleyan Inn aimed primarily at parents of Ohio Wesleyan students. It will be only slightly larger than the existing building and will include parking, a one-way entrance and a two-way entrance and exit. A copy of the preliminary plan is attached for reference.

Through our discussions, you indicated that you support this project as it has been presented. As our neighbor, your support means everything to us and sends an important message to the City of Delaware. **To show your support of The Wesleyan Inn, please sign this letter below so that we may include it in our efforts in seeking approval from the City of Delaware.** Please use the enclosed SASE to send this letter back to us, or you can also scan and email it to my address below if that is easier.

Christopher Posey
Name (Printed)


Signature
5/8/2018
Date

If you have any further questions about the project, don't hesitate to give me a call at (203) 583-1760 or email me at ben@plan4land.net. Thank you very much!

Sincerely,



Ben Henson, AICP
Principal, Plan 4 Land, LLC

Plan④Land

May 1, 2018

Rodeo Builders, LLC
c/o Jose Valenzuela
230 W. William St.
Delaware, OH 43015

RE: The Wesleyan Inn Parking

Rodeo Builders, LLC c/o Jose Valenzuela,

As we have progressed through preliminary informal review and discussions of The Wesleyan Inn project with the City of Delaware, we have been informed that the City will require the Developer to make improvements to William St. in order to maintain a safe left turn onto Elizabeth St. and a new left turn into the property. There are currently 2 alternatives being discussed (please check your preferred alternative):

Alternative A: The left turn lane that allow stacking of cars turning left onto Elizabeth will be extended westward, and a new left turn lane into The Wesleyan Inn will be added as shown on the enclosed preliminary plan. This results in the loss of on-street parking spaces in front of your home.

Alternative B: The striping improvements will be made as describe above, and 3 parking spaces will be created by "bumping in" William St. This results in the creation of 3 better protected on-street parking spaces in front of your home. *** I previously sent a letter that accidentally indicated that this would result in moving the sidewalk 3' onto your property, which is not correct. The bump-in will not encroach upon your property whatsoever. I apologize for any confusion I may have caused. ***

Both alternatives are concepts being considered. Neither represents a final solution. With your support, we will continue to explore feasibility and engineering of a preferred alternative. The attached Illustration A shows conceptually what the bump in could look like.

Rodeo Builders LLC
Name (printed) Timothy Hass
by Patty Roberts POA

Rodeo Builders LLC
Signature Timothy Hass
by Patty Roberts
5.8.18 POA
Date

Thank you,



Ben Henson, AICP
Principal, Plan 4 Land, LLC

Plan④Land

May 1, 2018

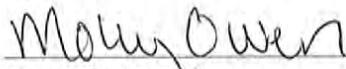
Molly B. Owen
232 W. William St.
Delaware, OH 43015

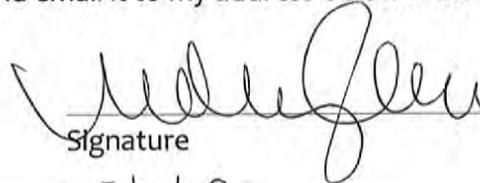
RE: The Wesleyan Inn

Molly,

Thank you for allowing us to reach out to you recently on behalf of the Developer of the planned renovation and expansion of the 235 William St. property. As planned, the property will be locally owned and operated as a 43-bed boutique hotel known as The Wesleyan Inn aimed primarily at parents of Ohio Wesleyan students. It will be only slightly larger than the existing building and will include parking, a one-way entrance and a two-way entrance and exit. A copy of the preliminary plan is attached for reference.

Through our discussions, you indicated that you support this project as it has been presented. As our neighbor, your support means everything to us and sends an important message to the City of Delaware. **To show your support of The Wesleyan Inn, please sign this letter below so that we may include it in our efforts in seeking approval from the City of Delaware.** Please use the enclosed SASE to send this letter back to us *this week*, if possible. You can also scan and email it to my address below if that is easier.


Name (Printed)


Signature

5/5/18
Date

If you have any further questions about the project, don't hesitate to give me a call at (203) 583-1760 or email me at ben@plan4land.net. Thank you very much!

Sincerely,



Ben Henson, AICP
Principal, Plan 4 Land, LLC

Plan 4 Land

May 1, 2018

Molly B. Owen
232 W. William St.
Delaware, OH 43015

RE: The Wesleyan Inn Parking

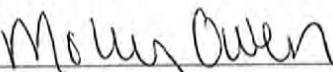
Molly,

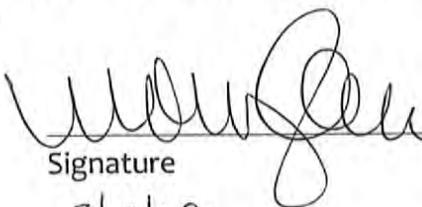
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Both alternatives are concepts being considered. Neither represents a final solution. With your support, we will continue to explore feasibility and engineering of a preferred alternative. The attached Illustration A shows conceptually what the bump in could look like.


Name (printed)


Signature

5/5/18
Date

Thank you,



Ben Henson, AICP
Principal, Plan 4 Land, LLC

Plan④Land

May 1, 2018

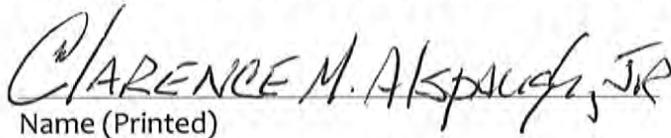
Clarence M., Jr. & Cleola E. Alspaugh
226 W. William St.
Delaware, OH 43015

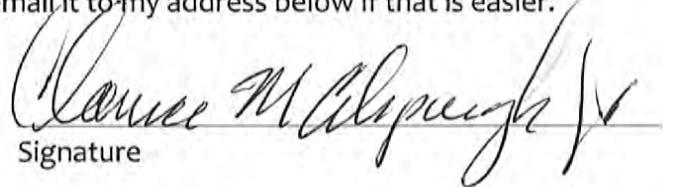
RE: The Wesleyan Inn

Clarence & Cleola,

Thank you for allowing us to reach out to you recently on behalf of the Developer of the planned renovation and expansion of the 235 William St. property. As planned, the property will be locally owned and operated as a 43-bed boutique hotel known as The Wesleyan Inn aimed primarily at parents of Ohio Wesleyan students. It will be only slightly larger than the existing building and will include parking, a one-way entrance and a two-way entrance and exit. A copy of the preliminary plan is attached for reference.

Through our discussions, you indicated that you support this project as it has been presented. As our neighbor, your support means everything to us and sends an important message to the City of Delaware. **To show your support of The Wesleyan Inn, please sign this letter below so that we may include it in our efforts in seeking approval from the City of Delaware.** Please use the enclosed SASE to send this letter back to us *this week*, if possible. You can also scan and email it to my address below if that is easier.


Name (Printed)


Signature

5-5-2018
Date

If you have any further questions about the project, don't hesitate to give me a call at (203) 583-1760 or email me at ben@plan4land.net. Thank you very much!

Sincerely,



Ben Henson, AICP
Principal, Plan 4 Land, LLC

Plan 4 Land

May 1, 2018

Clarence M., Jr. & Cleola E. Alspaugh
226 W. William St.
Delaware, OH 43015

RE: The Wesleyan Inn Parking

Clarence & Cleola,

As we have progressed through preliminary informal review and discussions of The Wesleyan Inn project with the City of Delaware, we have been informed that the City will require the Developer to make improvements to William St. in order to maintain a safe left turn onto Elizabeth St. and a new left turn into the property. There are currently 2 alternatives being discussed (please check your preferred alternative):

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Both alternatives are concepts being considered. Neither represents a final solution. With your support, we will continue to explore feasibility and engineering of a preferred alternative. The attached Illustration A shows conceptually what the bump in could look like.

CLARENCE M. Alspaugh, Jr.
Name (printed)

Clarence M. Alspaugh Jr.
Signature

5-5-2018
Date

Thank you,



Ben Henson, AICP
Principal, Plan 4 Land, LLC

kathryn.cawley@plaskolite.com

Dear Plan 4 Land,

April 27, 2018

I received your letter and architecture drawing of the proposed hotel. I think it is a great idea as both of the houses are run down and you are keeping the old Perkins house in tack and upgrading it. The kids that used to live there were having parties and bonfires at all hours of the night that keep the neighborhood up. I think the hotel would be a huge improvement to the neighborhood.

I also like the fence separation, a thing we have not had in the past. You have my approval to move forward with this plan.

Thank you and good luck,

Kathryn Cawley

144 Oak Hill Avenue

Delaware, Ohio 43015

PUBLIC LETTERS

Statement at the Planning Commission [draft 6/6/18]

Thomas Wolber
272 Hearthstone Dr.
Delaware, OH 43015

I am speaking tonight as a member of the Shade Tree Commission of the City of Delaware, but not in any official capacity. Shade Tree did not meet in March and May and may not meet in June either, but this issue is urgent.

The Shade Tree Commission was founded in 1977 as an advisory board to the Delaware City Council. The original charter outlines that it shall be its duty, among other items, to ensure the "maintenance and protection" of the trees and the tree canopy within the City of Delaware. The City's "Codified Ordinances" provide specific guidance to that effect. Chapter 1168 states that the purpose of the "Tree Preservation Regulations" is "to ensure the preservation of existing trees and natural wooded areas and encourage replacement of damaged or removed trees so that City residents may benefit from a healthy urban forest" (1168.01). Maintaining the current tree cover (tree canopy) in the city is one of the stated goals (1168.07). Specifically, section 1168.01 mentions the replacement of trees that might be removed in the course of land development and building construction. A "tree replacement plan" is required. In *all* zoning districts (no exemption for areas zoned A is listed), major trees (6" or more) in good condition shall be replaced by the owner of the lot with trees that have a total caliper equal to, or greater than, the total caliper of the removed major tree (1168.04). Although 100% on-site tree replacement is desired and 50% on-site tree replacement is required, developers also have the option of using a tree-bank site and/or a tree-bank fund to make up for any difference. The current replacement fee for healthy major trees is \$100 per caliper inch, according to the City's fee schedule.

The property at 235-239 W. William St. (the 1.09-acre lot for the future Wesleyan Inn) reportedly encompasses a total of 473 caliper inches of trees. The stated plan is to remove 320 caliper inches of trees while preserving 153 caliper inches. (In fact, 91 inches were already removed in February 2018.) The shortfall is thus 320 inches (not 167 inches).

Therefore, the applicant is required to make a payment of \$32,000 into the Tree Fund (not \$16,700 as stated in the documents in front of the Planning Commission).

Unless someone can explain the rationale for the "fuzzy math" in the development plan for the Wesleyan Inn, from where this member of the Shade Tree Commission sits the current tree-removal plan does not meet the requirements of Chapter 1168 of the Codified Ordinances as currently written.

Somewhere in your documents is the sentence, "Credit shall be given on a caliper inch basis for any permanently preserved t[r]ees." This notion of "preservation credit" seems to be at the heart of the matter. The Shade Tree Commission has never accepted and approved such a concept and would be very surprised to hear about it. When we presented our annual report to City Council in April, there was no awareness and no mention of any policy change.

We are aware and concerned, however, that somehow the "preservation credit" concept has entered through the back door into several recent development projects and that, perhaps, the Building Industry Association of Central Ohio has something to do with it. The Shade Tree Commission in April unanimously approved a resolution asking that a member of STC be present at meetings between the City and the BIA when issues involving trees are addressed. If there is a conversation about a new-fangled concept called "preservation credits," the Shade Tree Commission would like to be part of it.

The Shade Tree Commission has been operating on the premise that Delaware's Codified Ordinances are the law of the land. However, it seems the Planning Commission is using a different standard and a different interpretation when it comes to tree replacement. Unfortunately the issue has created unnecessary conflict and confusion, due to no fault of the Shade Tree Commission. It is time to address this issue in the open, not behind closed doors, and to come to a consensus what the standard and the policy is as we move forward.

From: [Meg Maggart](#)
To: [Elaine McCloskey](#)
Subject: [BULK] Wesleyan Inn
Date: Tuesday, June 19, 2018 7:54:48 AM
Importance: Low

*****ATTENTION: This email came from an external source. Do not open attachments or click on links from unknown senders or unexpected emails.*****

Good morning,

My name is Meg Maggart and I live at 265 West William Street, it is two houses away to the west of the proposed Wesleyan Inn parking site. I am not in favor of this project and the rezoning of the residential lot at 239 West William Street at all. It's not the right location for a hotel, there are many other better site choices for this project in Delaware. Right next to and in fact within a residential neighborhood shouldn't be one of them.

This project will have an effect on our property values, and not for the better, and could very well be the beginning of the end for our neighborhood. This is of no concern to Mr. Manos but I hope it is a concern to all of you. Because Mr. Manos can, he has made an agreement to buy the property that would be right next to the parking he is proposing if you approve this rezoning effort. He knows no one in their right mind would want to live next to or close a hotel, or its parking lot. In an in person meeting with Mr. Manos, he told me and other neighbors in attendance he had no intention of buying any other homes in our neighborhood, so much for his word. So now he will own and control at least three lots all in a row. This is very concerning, what will the future bring? He said he would turn that home into rental. I don't want to live next to a rental home or a hotel. Once again this will effect property values and pride in our neighborhood. One example is that there is already a rental home across the street at 238 West William that has set empty for quite some time now and is slowly deteriorating. Many people in the neighborhood have been working on their homes, We in the process of adding a \$40,000 garage and continue to make improvements to our home, this doesn't always happen with rentals, as I'm sure you're aware. He is a business man and is less interested in the continued stability of our neighborhood and community, then he is with making money.

Mr. Manos has said and written in the documents that the Wesleyan Inn will be locally owned and operated. If Mr. Manos is the owner, when did living in Muirfield become local. He also has said this hotel is aimed primarily at parents of Ohio Wesleyan students. I guess

that means he will be turning away all others then. Of course he won't. This idea is absurd. Which means that 24/7 all types of people will be coming and going, walking around our neighborhood. This will increase traffic on an already busy street. William street gets backed up regularly just from existing traffic, trains and the traffic light at Elizabeth street. Adding a hotel would only increase the traffic congestion with customers trying to turn in and out of the hotel. A local person would know this.

In addition to purchasing the house which he plans to redone, he has made several shady offers to other neighbors. The house owned by Chris and Jessica (2 down from me) he has offered to purchase their home if the project goes through as they have argued they do not want to live next to a parking lot. In the last meeting, Mr. Manos told us that he was "in contract" for the purchase of that home. That is simply not true as it is a verbal offer contingent upon the approval of the hotel. He has offered several residents across the street to widen their driveways. There are many "promises" coming from Mr. Manos which would further change our neighborhood.

In short, again this is not the right location for a hotel.

Rezoning to create a parking lot does not help anyone but Mr. Manos. There are plenty of other sites in Delaware that would be more suited for this project than sticking a three story eye sore in our backyards where we all lose our privacy and the feel of our neighborhood and sense of community.

Thank you for your time and consideration in this matter.

Meg Maggart

From: [Tom Tobin](#)
To: [Elaine McCloskey](#)
Subject: Re: Public Comment
Date: Friday, June 22, 2018 9:56:26 AM

*****ATTENTION: This email came from an external source. Do not open attachments or click on links from unknown senders or unexpected emails.*****

Elaine,

Thank you for your email, I'm not sure what happened, I sent in on the afternoon of the 19th. But thank you for your follow up, and the opportunity to still send you my thoughts on the Wesleyan Inn.

Good afternoon,

My name is Tom Tobin and I live at 253 West William Street, it is one house away to the west of the proposed Wesleyan Inn parking site. I am not in favor of this project and the rezoning of the residential lot at 239 West William Street at all. It's not the right location for a hotel, there are many other better site choices for this project in Delaware. Right next to and in fact within a residential neighborhood shouldn't be one of them.

The reality is that this project will be eating away at our residential neighborhood and will also have an effect on property values, and not for the better. This could very well be the beginning of the end for our neighborhood. This is of no concern to Mr. Manos but I hope it is a concern to all of you. Because Mr. Manos can, he has made an agreement to buy the property that would be right next to the parking he is proposing if you approve this rezoning effort. He knows no one in their right mind would want to live next to or close to a hotel, or its parking lot. In an earlier in person meeting with Mr. Manos, he told me and other neighbors in attendance he had no intention of buying any other homes in our neighborhood, so much for his word. So now he will own and control at least three lots all in a row. This is very concerning, what will the future bring? He said he would turn that home into rental. No one really wants to live next to a rental home or a hotel. Once again this will effect property values and pride in our neighborhood. One example is that there is already a rental home across the street at 238 West William that has set empty for quite some time now and is slowly deteriorating. Many people in the neighborhood have been working on their homes, I myself am in the process of repainting and working on my home, this doesn't always happen with rentals, as I'm sure you're aware. And this isn't a good buffer to the hotel because he owns it and could encroach upon it, who knows. He is a business man and is less interested in the continued stability of our neighborhood and community, then he is with making money.

Mr. Manos has said and written in the documents that the Wesleyan Inn will be locally owned and operated. If Mr. Manos is the owner, when did living in Muirfield become local. He also has said this hotel is aimed primarily at parents of Ohio Wesleyan students. I guess that means he will be turning away all others then. Of course he won't. This idea is absurd. Which means that 24/7 all types of people will be coming and going, walking around our neighborhood. This will increase traffic on an already busy street. William street gets backed up regularly just from existing traffic, trains and the traffic light at Elizabeth street. Adding a hotel would only increase the traffic congestion with customers trying to turn in and out of the hotel. A local person would know this, and it would only be worse in the winter with snow and ice on the William Street hill.

In short, again this is not the right location for a hotel. Rezoning to create a parking lot does not help anyone but Mr. Manos. There are plenty of other sites in Delaware that would be more suited for this project. Sticking a three story eye sore in our backyards where we all lose our privacy and the feel of our neighborhood and sense of community is not a good choice.

Thank you for your time and consideration in this matter.

Tom Tobin

740.362.8544

ttobin7@outlook.com

From: Elaine McCloskey <EMcCloskey@delawareohio.net>

Sent: Friday, June 22, 2018 9:09 AM

To: 'ttobin7@outlook.com'

Cc: Elaine McCloskey

Subject: Public Comment

Mr. Tobin

If you are receiving this email twice, my apologies. My email did not send me a sent receipt and I wanted to try to send it again.

I had received a call from your wife earlier today in regards to the Wesleyan Inn. Upon speaking with Cathy she mentioned that you had sent me an email regarding your concerns. I unfortunately did not receive that email and am requesting that you try to resend it please. I will forward the email on to Council for their review. Please let me know of what other assistance I can be.

Thank you,

Elaine McCloskey

City Council Clerk
City of Delaware
1 S. Sandusky St.
Delaware, Ohio 43015
740-203-1013 office
740-203-1024 fax
www.delawareohio.net

This message may contain confidential and/or proprietary information and is intended for the person/entity to whom it was originally addressed. Any use by others is strictly prohibited.

Help Save Our Neighborhood and Community

There is a city council meeting on Monday, June 25, at 7:45pm at Delaware City Hall.

If you can't come to the meeting, please let your voice be heard and call city council, or your city councilmen. You can also send an email or letter. City of Delaware phone: 740.203.1000, email emccloskey@delawareohio.net, she will get your emails to city council members.

The proposal is to rezone the residents at 239 West William Street to commercial from residential so that a new hotel can be build. Please come and let city council know we don't want our residential neighborhoods rezoned to commercial, and we don't want a 3-story hotel in our residential neighborhood. There are other locations for a hotel in town that would be better suited than building one in a residential neighborhood.

This development will only increase traffic with people trying to turn into and out of the facility. It will also increase noise in the area and trash, and increase the number strangers walking around our homes and families.

Let's stand up for our community and neighborhood and not let developers come in and destroy our peaceful residential neighborhoods.

**MARKET
STUDY
&
RESPONSES
TO
PUBLIC
CONCERNS**

From: [R Thomas Homan](#)
To: [Elaine McCloskey](#)
Subject: FW: Wesleyan Inn - Response to Public Comment
Date: Wednesday, July 18, 2018 7:30:43 AM
Attachments: [Wesleyan Inn Market Study.pdf](#)

From: Joe Clase [mailto:joe@plan4land.net]
Sent: Tuesday, July 17, 2018 4:09 PM
To: David M. Efland <defland@delawareohio.net>
Cc: R Thomas Homan <rthoman@delawareohio.net>; Lance Schultz <lschultz@delawareohio.net>; Ben Henson <ben@plan4land.net>
Subject: Wesleyan Inn - Response to Public Comment

*****ATTENTION: This email came from an external source. Do not open attachments or click on links from unknown senders or unexpected emails.*****

Dave,

Good afternoon! Attached is the market study that architect Pat Manley presented at the meeting last week.

We would like to share a summary of the public feedback that has been provided at the June 6, 2018 Planning Commission Meeting, June 25, 2018 2nd Council Reading & Public Hearing, and the July 9, 2018 3rd Council Reading, along with how we plan to address each:

Comment	Response
Noise.	The hotel has the ability to regulate noise levels and will do so. The previous use appears to have caused noise problems, which may explain residents' concerns. The hotel will take action to prevent and mitigate noise.
Concerns about lighting.	The project is 100% dark-sky compliant.
There is a hill in the road that makes sight distances a problem and the train backs up traffic in front of these properties.	We are improving access along W. William St. with an extended turn lane in both directions and widening the street. These improvements should mitigate site distance issues.
This project will increase traffic.	Estimated 40 trips/day. Residences generate 9

	trips/day, and we are removing one single-family residence, resulting in 31 trips/day. By removing vehicular traffic from Oak Hill Ave., we are increasing safety in the area. The proposed access improvements will also help with traffic concerns.
Concerns about parking. We would rather have the building next to us instead of parking.	City Staff recommended that the Owner purchase the adjacent single-family home to provide an access point and increased setback from neighboring residents. Parking is appropriately sited to take advantage of this.
Parking lot will be too large.	The Owner is providing parking per Zoning Requirements. There is potential for shared parking with neighboring Ohio Wesleyan University.
Taking out trees and modifying parking (as recommended by the City) on the north side of the road will impact residents' safety.	We are working with the City Engineering Department on a solution that only includes modifications to the south side of W. William St. The north side will remain as-is.
Do not want the rental house to become an expansion of the hotel	The Owner intends to retain the house as a rental property to buffer the use from the residences on the other side.
Transient visitors and concerns about privacy and questionable activities.	Guests must check-in with valid ID and their activity will be monitored appropriately while in the parking lot and interior common areas.
Replace more of the trees.	We are adding landscaping to buffer the parking and will replace trees, per City requirements.
This isn't really historic restoration.	We will work with the Delaware County Historical Society to make sure the structure is preserved to the greatest extent while provided safety and security required in a boutique hotel use.
The structure should be returned to its original single-family use.	It hasn't been a single-family home since the original Owner. It has been improved and added-on to over the years by subsequent Owners. Returning to a single-family use is not feasible.

Concerns about what future use could replace the hotel if it is not successful.	Ohio Wesleyan University has first rights of refusal to purchase the property back if the Owner sells in the future.
Concerns that the hotel will be constructed and converted to student housing.	The Owner is planning a boutique hotel use, not student housing.
The hotel will be too far from Downtown.	The site is within a 5-10 minute walk of Downtown uses.

Roadwork delays.	We will work with the City to limit delays as much as possible. The street is only being widened on the Owner's side (south) of W. William St.
Conferences and catered special events will cause trouble.	The use is not being outfitted with a conference room, banquet hall or restaurant. It will not have the capacity to hold these types of functions.
The hotel will degrade property values.	The improvements will become a neighborhood asset. The impact on property values is expected to be positive, if there is any impact at all.
It will be too tall.	The improvements will not increase building heights, which currently meet zoning requirements.
Other hotels have failed and this hotel will be too expensive (and fail too).	Location of the use and room rates are based on market research. The boutique hotel will be a higher-end experience than other area hotel offerings, filling a need that isn't being met.
Residential fabric.	Benefit of mixed-use.
The Owner lives in Powell, but states that the	The hotel is not a chain operation with offices

hotel will be locally owned and operated.	outside the area. The Owner lives in Dublin which is in Delaware County and. The Owner also owns and operates other properties and businesses in Delaware.
Use creep. Will this cause other uses to “creep” further away from Sandusky St. along W. William?	Zoning and Comprehensive Plan determine uses, and the Owner plans to retain the adjacent single-family house as a rental property.
Concerned about precedent of adding non-residential use in a neighborhood.	The use is adjacent to the University and adheres to the Comprehensive Plan.
Resident didn’t anticipate a hotel being located at this site when she bought her house.	The use is an improvement over the previous use, and is in line with the Comprehensive Plan.

We hope this is helpful as you review the project. Please do not hesitate to follow-up with any questions or comments you might have. My cell phone number is 614-512-0182 and I would welcome the opportunity to discuss this with you.

Sincerely,

Joe Clase, AICP | Plan 4 Land, LLC

10 West North Street, P.O. Box 215, Ostrander, Ohio 43061

(833) 752-6452 toll-free office line | joe@plan4land.net | www.plan4land.net



Online Conference Room: <https://www.gotomeet.me/plan4land>

First GoToMeeting? Try a test session: <http://help.citrix.com/getready>

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Architecture

July 16, 2018

Mr, James Manos

Re: Report on Wesleyan Inn Feasibility Study and Additional

Dear Jim,

Please find attached a report summary of key points from our market and cost feasibility study that can be shared with City Council. Although the details are proprietary, I extracted the most important information in summary form. Since you already shared cost information, I omitted this from my report. However, it is my impression there may be a concern as to how our project may impact the viability of a larger franchise hotel. The short answer is that it has no impact whatsoever as I describe below.

In addition, I included more recent data, that Joe Clase provided, pertaining to the current community and business environment is also attached. This information is pertinent to this project. In particular, it confirms that there are only four hotels within five minute drive of downtown (a key metric for a boutique hotel) and infers there is a need for more restaurants and retail businesses, which in turn further boost the hotel and lodging needs in the future.

Finally, I would like to include several important comments for consideration.

1. **Preserve History:** Saving the Perkins Home and its history is critical to the continued economic development of the city. Historic preservation, restoration and adaptive re-use of historic buildings is what made the City of Delaware the special place it is today. Allowing further deterioration and eventual loss of this structure would only serve to undermine that which so many in the community have worked to establish over many decades.
2. **Market Competition:** Clearly there is a need for hotel beds in and around downtown. This project, being a boutique hotel, will not compete with any of the larger franchise hotels rumored to have an interest in locating downtown. Therefore, there is no reason to be concerned that any of the large chains would lose interest if our project is approved. Like us, they are well aware that there is a need for up to two franchise hotels of 100+ rooms, 1-2 more boutique hotels and at least one bed and breakfast. Like the downtown businesses as a whole, a good mix of quality hotels will have a positive impact on the community and will enhance the reputation of downtown as a destination location.



Manley Architecture Group | MAG

Architecture

3. **Surrounding Neighborhood:** This property has been neglected is vandalized and broken into on a regular basis. This is an opportunity to resolve this problem before it is irreparably damaged or damage is done to surrounding properties.
4. **Property Values:** I believe this project will have positive impact on the surrounding residential property values as is always the case when deteriorating buildings are renovated. Switching to an upscale hotel from student housing is a more compatible use with the single-family homes nearby and should make a goof buffer between the dormitories and the residential neighborhood. Once completed, this project will add to the property tax base and hotel bed tax revenues.

Thank you for your consideration.

Sincerely,

Patrick W. Manley, RA, ALA

Enclosures:

2. Summary Report
3. Community Profile
4. Business Summary
5. Retail MarketPlace Profile
6. Retail Market Potential

SUMMARY OF
MARKET AND COST
PRELIMINARY FEASIBILITY STUDY
FOR A PROPOSED HOTEL
IN
DELAWARE, OHIO

Date:
February 15, 2018

Summary Prepared:
July 16, 2018

Complete Report for Internal Use Only
Proprietary Information

SUMMARY

Based on a preliminary evaluation of the subject site at 235 W. William St., its location, size, street and utility access, zoning restrictions and assuming preservation of the former Perkins residence, a mid-size boutique hotel containing 45-65 rooms is a viable business from both a market need and cost perspective.

MARKET AREA

Key factors in evaluating the Delaware, Ohio market include proximity to the downtown business district and Ohio Wesleyan University. More specifically, the downtown restaurant and shopping area identified by renovated buildings, on-street parking, public parking, and businesses with evening hours of operation are attractive for lodging facilities. The downtown area was identified as the intersection of N. Sandusky Street and Winter Streets based on several factors. Please note that the actual business district is broader, but this intersection provides a reliable point of reference suitable for consideration. For the purposes of this study, "downtown" refers to this intersection.

CONCLUSIONS

The conclusions in this study are preliminary and reflect reasonable interpretation of available data. The purpose of the study was to determine the feasibility of building and operating a boutique hotel in Delaware, Ohio. For the purposes of this study, a boutique hotel is defined as a hotel having 10-100 rooms, a full service chain hotel as having 75-125 rooms and a bed and breakfast as having less than 10 rooms. Luxury hotels were excluded from consideration and are not considered appropriate for the downtown market at this time.

COMPETITION FROM OTHER HOTELS

At this time there is no competition for rooms in any of the aforementioned three hotel categories. A unique, one off boutique hotel can compete with similar hotels and to a lesser degree, bed and breakfast facilities. Franchise hotels typically do not compete with boutique lodging, but in fact complement one another in that each serves a different market segment and collectively contribute to market synergy in the same way the downtown restaurants combine to produce an effect greater than the sum of the individual establishments.

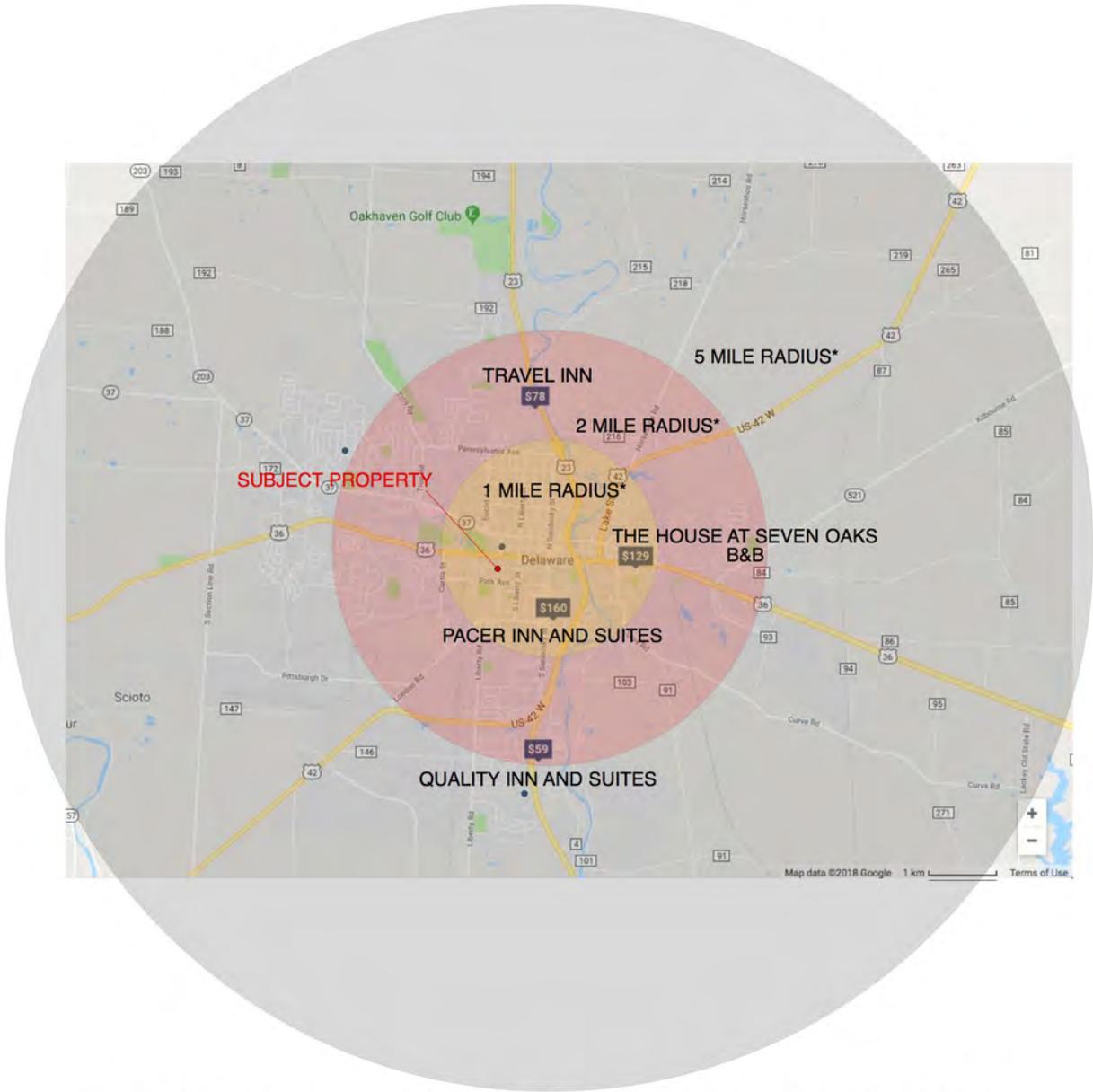
MARKET DEMAND

Downtown development combined with Ohio Wesleyan University, The Little Brown Jug, and other events, has resulted in a significant shortage of new hotel accommodations in and around downtown. The current room shortage is estimated to be 200 rooms. The five and ten year projections are 250 and 350 rooms respectively based on current trends and growth.

DISTANCE ZONES

The optimum location for a boutique hotel is 0-1 mile from the entertainment and shopping district. 1-2 miles is acceptable. 2-5 miles is discouraged, although it is acceptable for a full service hotel with suites, restaurant, conference space and transportation.

The areas under consideration are shown on the following map. The shaded circles represent 1, 2 and 5 mile radii, with the 1 mile radius being the most desirable location. The subject property is 0.6 miles from downtown, well within walking, biking and driving access as boutique hotels are particularly sensitive to location. The subject property is a 12 minute walk, 4 minute bike ride, or 3 minute drive from the intersection of N. Sandusky Street and Winter Streets. The perimeter of the highest concentrations of restaurants range from 7-13 minutes walking, 3-5 minutes biking and 2-4 minutes driving.



HOTELS IN PROXIMITY TO DOWNTOWN ENTERTAINMENT DISTRICT



Community Profile

239 W William St, Delaware, Ohio, 43015
 Drive Time: 2, 5, 10 minute radii

Prepared by Esri
 Latitude: 40.29923
 Longitude: -83.07736

	2 minutes	5 minutes	10 minutes
Population Summary			
2000 Total Population	3,611	13,583	28,349
2010 Total Population	3,410	15,767	37,602
2018 Total Population	3,361	16,984	41,156
2018 Group Quarters	1,207	1,508	1,949
2023 Total Population	3,423	18,118	44,250
2018-2023 Annual Rate	0.37%	1.30%	1.46%
2018 Total Daytime Population	3,772	16,615	38,173
Workers	1,798	7,381	17,134
Residents	1,974	9,234	21,039
Household Summary			
2000 Households	883	4,865	10,731
2000 Average Household Size	2.50	2.43	2.46
2010 Households	892	5,914	14,420
2010 Average Household Size	2.42	2.40	2.47
2018 Households	897	6,468	15,945
2018 Average Household Size	2.40	2.39	2.46
2023 Households	924	6,936	17,204
2023 Average Household Size	2.40	2.39	2.46
2018-2023 Annual Rate	0.59%	1.41%	1.53%
2010 Families	490	3,667	9,495
2010 Average Family Size	3.04	2.99	3.01
2018 Families	484	3,960	10,371
2018 Average Family Size	3.05	3.01	3.03
2023 Families	497	4,230	11,141
2023 Average Family Size	3.05	3.02	3.04
2018-2023 Annual Rate	0.53%	1.33%	1.44%
Housing Unit Summary			
2000 Housing Units	954	5,167	11,525
Owner Occupied Housing Units	46.1%	55.6%	59.5%
Renter Occupied Housing Units	46.4%	38.6%	33.7%
Vacant Housing Units	7.4%	5.8%	6.9%
2010 Housing Units	1,003	6,424	15,395
Owner Occupied Housing Units	41.9%	53.7%	59.8%
Renter Occupied Housing Units	47.1%	38.4%	33.8%
Vacant Housing Units	11.1%	7.9%	6.3%
2018 Housing Units	1,012	7,017	16,988
Owner Occupied Housing Units	34.8%	47.4%	53.7%
Renter Occupied Housing Units	53.9%	44.8%	40.2%
Vacant Housing Units	11.4%	7.8%	6.1%
2023 Housing Units	1,045	7,536	18,366
Owner Occupied Housing Units	36.5%	49.7%	55.5%
Renter Occupied Housing Units	52.0%	42.4%	38.2%
Vacant Housing Units	11.6%	8.0%	6.3%
Median Household Income			
2018	\$44,614	\$53,815	\$61,980
2023	\$52,872	\$61,333	\$71,035
Median Home Value			
2018	\$166,832	\$159,851	\$175,008
2023	\$186,927	\$174,885	\$188,558
Per Capita Income			
2018	\$23,317	\$27,339	\$30,360
2023	\$26,950	\$31,855	\$35,035
Median Age			
2010	23.3	32.7	34.4
2018	23.8	34.2	36.0
2023	24.1	34.5	35.8

Data Note: Household population includes persons not residing in group quarters. Average Household Size is the household population divided by total households. Persons in families include the householder and persons related to the householder by birth, marriage, or adoption. Per Capita Income represents the income received by all persons aged 15 years and over divided by the total population.

Source: U.S. Census Bureau, Census 2010 Summary File 1. Esri forecasts for 2018 and 2023 Esri converted Census 2000 data into 2010 geography.



Community Profile

239 W William St, Delaware, Ohio, 43015
 Drive Time: 2, 5, 10 minute radii

Prepared by Esri
 Latitude: 40.29923
 Longitude: -83.07736

	2 minutes	5 minutes	10 minutes
2018 Households by Income			
Household Income Base	897	6,468	15,945
<\$15,000	16.6%	11.9%	9.2%
\$15,000 - \$24,999	14.3%	10.8%	8.8%
\$25,000 - \$34,999	9.9%	9.5%	8.8%
\$35,000 - \$49,999	12.9%	13.9%	13.0%
\$50,000 - \$74,999	14.0%	18.5%	17.8%
\$75,000 - \$99,999	8.8%	13.8%	15.5%
\$100,000 - \$149,999	12.4%	14.4%	17.9%
\$150,000 - \$199,999	4.1%	4.2%	5.3%
\$200,000+	6.8%	3.0%	3.7%
Average Household Income	\$71,789	\$68,965	\$77,010
2023 Households by Income			
Household Income Base	924	6,936	17,204
<\$15,000	14.1%	10.0%	7.7%
\$15,000 - \$24,999	12.2%	8.9%	7.2%
\$25,000 - \$34,999	9.0%	8.0%	7.5%
\$35,000 - \$49,999	12.4%	12.8%	12.0%
\$50,000 - \$74,999	14.7%	18.7%	17.7%
\$75,000 - \$99,999	9.7%	15.0%	16.2%
\$100,000 - \$149,999	14.9%	17.5%	20.7%
\$150,000 - \$199,999	4.5%	5.2%	6.2%
\$200,000+	8.4%	3.9%	4.8%
Average Household Income	\$84,933	\$80,557	\$88,927
2018 Owner Occupied Housing Units by Value			
Total	352	3,324	9,116
<\$50,000	2.0%	3.8%	4.9%
\$50,000 - \$99,999	11.6%	11.3%	9.3%
\$100,000 - \$149,999	26.7%	28.4%	18.5%
\$150,000 - \$199,999	28.7%	33.4%	34.5%
\$200,000 - \$249,999	13.4%	14.2%	15.7%
\$250,000 - \$299,999	11.6%	5.0%	7.8%
\$300,000 - \$399,999	5.4%	2.3%	5.0%
\$400,000 - \$499,999	0.6%	0.6%	2.0%
\$500,000 - \$749,999	0.0%	0.6%	1.3%
\$750,000 - \$999,999	0.0%	0.0%	0.5%
\$1,000,000 - \$1,499,999	0.0%	0.4%	0.4%
\$1,500,000 - \$1,999,999	0.0%	0.0%	0.0%
\$2,000,000 +	0.0%	0.0%	0.1%
Average Home Value	\$176,349	\$168,880	\$194,622
2023 Owner Occupied Housing Units by Value			
Total	381	3,742	10,187
<\$50,000	0.8%	2.3%	2.8%
\$50,000 - \$99,999	7.6%	8.0%	6.2%
\$100,000 - \$149,999	20.5%	22.3%	14.4%
\$150,000 - \$199,999	28.6%	34.9%	34.6%
\$200,000 - \$249,999	16.3%	18.6%	19.1%
\$250,000 - \$299,999	16.0%	7.2%	9.8%
\$300,000 - \$399,999	8.9%	3.8%	7.0%
\$400,000 - \$499,999	1.3%	1.2%	3.0%
\$500,000 - \$749,999	0.0%	1.2%	2.0%
\$750,000 - \$999,999	0.0%	0.0%	0.7%
\$1,000,000 - \$1,499,999	0.0%	0.4%	0.4%
\$1,500,000 - \$1,999,999	0.0%	0.0%	0.0%
\$2,000,000 +	0.0%	0.0%	0.1%
Average Home Value	\$199,344	\$188,809	\$218,342

Data Note: Income represents the preceding year, expressed in current dollars. Household income includes wage and salary earnings, interest dividends, net rents, pensions, SSI and welfare payments, child support, and alimony.

Source: U.S. Census Bureau, Census 2010 Summary File 1. Esri forecasts for 2018 and 2023 Esri converted Census 2000 data into 2010 geography.



Community Profile

239 W William St, Delaware, Ohio, 43015
 Drive Time: 2, 5, 10 minute radii

Prepared by Esri
 Latitude: 40.29923
 Longitude: -83.07736

	2 minutes	5 minutes	10 minutes
2010 Population by Age			
Total	3,410	15,766	37,601
0 - 4	4.0%	6.9%	7.7%
5 - 9	3.9%	6.3%	7.3%
10 - 14	3.8%	5.7%	6.4%
15 - 24	48.0%	20.7%	14.9%
25 - 34	9.4%	13.7%	14.5%
35 - 44	8.1%	12.4%	14.9%
45 - 54	8.5%	12.3%	12.7%
55 - 64	6.7%	10.0%	10.1%
65 - 74	3.9%	6.3%	6.0%
75 - 84	2.2%	4.0%	3.8%
85 +	1.5%	1.9%	1.7%
18 +	86.0%	77.7%	75.0%
2018 Population by Age			
Total	3,361	16,985	41,155
0 - 4	3.7%	6.4%	6.9%
5 - 9	3.6%	6.5%	7.2%
10 - 14	3.7%	6.1%	6.9%
15 - 24	45.3%	19.1%	14.7%
25 - 34	11.2%	12.9%	12.9%
35 - 44	7.7%	12.7%	14.2%
45 - 54	7.3%	11.2%	12.7%
55 - 64	7.9%	10.9%	11.0%
65 - 74	5.5%	8.2%	7.9%
75 - 84	2.3%	3.9%	3.7%
85 +	1.7%	2.1%	1.8%
18 +	86.6%	77.7%	75.3%
2023 Population by Age			
Total	3,422	18,117	44,248
0 - 4	3.8%	6.4%	6.9%
5 - 9	3.4%	6.3%	6.9%
10 - 14	3.5%	6.1%	7.0%
15 - 24	43.9%	18.2%	14.7%
25 - 34	13.2%	13.6%	13.4%
35 - 44	7.7%	12.9%	13.6%
45 - 54	6.6%	10.6%	12.2%
55 - 64	7.4%	10.3%	10.6%
65 - 74	6.1%	9.1%	8.6%
75 - 84	2.7%	4.5%	4.3%
85 +	1.7%	2.0%	1.8%
18 +	87.0%	77.7%	75.3%
2010 Population by Sex			
Males	1,633	7,555	18,165
Females	1,777	8,212	19,437
2018 Population by Sex			
Males	1,615	8,163	19,927
Females	1,747	8,821	21,229
2023 Population by Sex			
Males	1,651	8,737	21,490
Females	1,773	9,381	22,760

Source: U.S. Census Bureau, Census 2010 Summary File 1. Esri forecasts for 2018 and 2023 Esri converted Census 2000 data into 2010 geography.



Community Profile

239 W William St, Delaware, Ohio, 43015
 Drive Time: 2, 5, 10 minute radii

Prepared by Esri
 Latitude: 40.29923
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	2 minutes	5 minutes	10 minutes
2010 Population by Race/Ethnicity			
Total	3,408	15,768	37,602
White Alone	88.0%	90.7%	91.2%
Black Alone	5.2%	4.4%	4.2%
American Indian Alone	0.1%	0.2%	0.2%
Asian Alone	3.7%	1.4%	1.2%
Pacific Islander Alone	0.1%	0.1%	0.0%
Some Other Race Alone	0.5%	0.7%	0.8%
Two or More Races	2.4%	2.6%	2.4%
Hispanic Origin	2.3%	2.4%	2.5%
Diversity Index	25.8	21.4	20.6
2018 Population by Race/Ethnicity			
Total	3,360	16,985	41,158
White Alone	85.2%	88.9%	89.5%
Black Alone	5.4%	4.6%	4.4%
American Indian Alone	0.2%	0.2%	0.2%
Asian Alone	5.5%	2.0%	1.9%
Pacific Islander Alone	0.1%	0.1%	0.1%
Some Other Race Alone	0.6%	1.0%	1.0%
Two or More Races	3.0%	3.3%	3.0%
Hispanic Origin	3.2%	3.3%	3.3%
Diversity Index	31.3	25.8	24.8
2023 Population by Race/Ethnicity			
Total	3,423	18,117	44,251
White Alone	83.3%	87.3%	88.0%
Black Alone	5.9%	5.0%	4.7%
American Indian Alone	0.2%	0.2%	0.2%
Asian Alone	6.3%	2.3%	2.2%
Pacific Islander Alone	0.1%	0.1%	0.1%
Some Other Race Alone	0.7%	1.1%	1.1%
Two or More Races	3.6%	4.0%	3.7%
Hispanic Origin	3.8%	3.9%	4.0%
Diversity Index	35.0	29.3	28.3
2010 Population by Relationship and Household Type			
Total	3,410	15,767	37,602
In Households	63.3%	90.1%	94.6%
In Family Households	45.5%	71.8%	78.2%
Householder	15.0%	23.4%	25.2%
Spouse	10.4%	16.9%	19.2%
Child	16.9%	27.0%	29.6%
Other relative	1.3%	2.1%	2.0%
Nonrelative	1.9%	2.3%	2.1%
In Nonfamily Households	17.8%	18.4%	16.4%
In Group Quarters	36.7%	9.9%	5.4%
Institutionalized Population	0.7%	1.0%	1.5%
Noninstitutionalized Population	36.0%	8.9%	3.9%

Data Note: Persons of Hispanic Origin may be of any race. The Diversity Index measures the probability that two people from the same area will be from different race/ethnic groups.

Source: U.S. Census Bureau, Census 2010 Summary File 1. Esri forecasts for 2018 and 2023 Esri converted Census 2000 data into 2010 geography.



Community Profile

239 W William St, Delaware, Ohio, 43015
 Drive Time: 2, 5, 10 minute radii

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 Latitude: 40.29923
 Longitude: -83.07736

	2 minutes	5 minutes	10 minutes
2018 Population 25+ by Educational Attainment			
Total	1,466	10,526	26,430
Less than 9th Grade	0.6%	2.4%	1.7%
9th - 12th Grade, No Diploma	7.6%	5.4%	4.7%
High School Graduate	23.2%	27.8%	25.3%
GED/Alternative Credential	3.8%	5.0%	4.2%
Some College, No Degree	15.3%	20.8%	22.5%
Associate Degree	8.9%	6.2%	7.1%
Bachelor's Degree	25.8%	19.8%	21.6%
Graduate/Professional Degree	14.7%	12.6%	13.1%
2018 Population 15+ by Marital Status			
Total	2,990	13,763	32,487
Never Married	63.6%	35.5%	31.4%
Married	24.5%	45.5%	51.2%
Widowed	2.9%	5.7%	5.1%
Divorced	9.0%	13.4%	12.4%
2018 Civilian Population 16+ in Labor Force			
Civilian Employed	95.5%	97.4%	98.0%
Civilian Unemployed (Unemployment Rate)	4.5%	2.6%	2.0%
2018 Employed Population 16+ by Industry			
Total	1,411	7,892	20,423
Agriculture/Mining	0.9%	1.2%	1.0%
Construction	2.2%	5.5%	4.9%
Manufacturing	7.4%	11.5%	11.4%
Wholesale Trade	1.5%	2.8%	2.9%
Retail Trade	13.0%	13.2%	12.0%
Transportation/Utilities	1.4%	2.1%	3.5%
Information	2.1%	1.8%	2.2%
Finance/Insurance/Real Estate	3.1%	6.8%	7.6%
Services	65.3%	50.1%	48.5%
Public Administration	2.9%	4.9%	6.2%
2018 Employed Population 16+ by Occupation			
Total	1,411	7,893	20,423
White Collar	61.1%	61.4%	65.4%
Management/Business/Financial	8.8%	12.8%	17.2%
Professional	27.6%	24.1%	24.2%
Sales	8.0%	9.5%	10.4%
Administrative Support	16.7%	15.0%	13.6%
Services	25.6%	18.2%	17.2%
Blue Collar	13.3%	20.4%	17.4%
Farming/Forestry/Fishing	0.7%	0.6%	0.4%
Construction/Extraction	3.5%	4.5%	3.4%
Installation/Maintenance/Repair	1.9%	3.0%	2.7%
Production	4.4%	7.0%	5.8%
Transportation/Material Moving	2.8%	5.3%	5.1%
2010 Population By Urban/ Rural Status			
Total Population	3,410	15,767	37,602
Population Inside Urbanized Area	99.3%	98.7%	91.2%
Population Inside Urbanized Cluster	0.0%	0.0%	0.0%
Rural Population	0.7%	1.3%	8.8%

Source: U.S. Census Bureau, Census 2010 Summary File 1. Esri forecasts for 2018 and 2023 Esri converted Census 2000 data into 2010 geography.



Community Profile

239 W William St, Delaware, Ohio, 43015
 Drive Time: 2, 5, 10 minute radii

Prepared by Esri
 Latitude: 40.29923
 Longitude: -83.07736

	2 minutes	5 minutes	10 minutes
2010 Households by Type			
Total	891	5,914	14,420
Households with 1 Person	32.7%	30.5%	27.4%
Households with 2+ People	67.3%	69.5%	72.6%
Family Households	55.0%	62.0%	65.8%
Husband-wife Families	38.8%	44.6%	50.3%
With Related Children	16.2%	20.1%	24.0%
Other Family (No Spouse Present)	16.2%	17.4%	15.5%
Other Family with Male Householder	4.8%	5.0%	4.5%
With Related Children	3.1%	3.2%	3.0%
Other Family with Female Householder	11.3%	12.4%	11.1%
With Related Children	7.7%	8.1%	7.6%
Nonfamily Households	12.3%	7.5%	6.7%
All Households with Children	27.5%	32.1%	35.2%
Multigenerational Households	1.9%	2.5%	2.4%
Unmarried Partner Households	7.4%	7.6%	7.4%
Male-female	6.5%	6.9%	6.7%
Same-sex	0.9%	0.7%	0.7%
2010 Households by Size			
Total	892	5,915	14,420
1 Person Household	32.6%	30.5%	27.4%
2 Person Household	33.1%	32.8%	33.4%
3 Person Household	15.4%	16.2%	16.4%
4 Person Household	11.0%	12.0%	13.9%
5 Person Household	5.5%	5.8%	6.3%
6 Person Household	1.8%	1.8%	2.0%
7 + Person Household	0.7%	0.8%	0.7%
2010 Households by Tenure and Mortgage Status			
Total	892	5,914	14,420
Owner Occupied	47.1%	58.3%	63.9%
Owned with a Mortgage/Loan	36.8%	45.7%	51.4%
Owned Free and Clear	10.3%	12.6%	12.4%
Renter Occupied	52.9%	41.7%	36.1%
2010 Housing Units By Urban/ Rural Status			
Total Housing Units	1,003	6,424	15,395
Housing Units Inside Urbanized Area	98.9%	98.4%	91.1%
Housing Units Inside Urbanized Cluster	0.0%	0.0%	0.0%
Rural Housing Units	1.1%	1.6%	8.9%

Data Note: Households with children include any households with people under age 18, related or not. Multigenerational households are families with 3 or more parent-child relationships. Unmarried partner households are usually classified as nonfamily households unless there is another member of the household related to the householder. Multigenerational and unmarried partner households are reported only to the tract level. Esri estimated block group data, which is used to estimate polygons or non-standard geography.

Source: U.S. Census Bureau, Census 2010 Summary File 1. Esri forecasts for 2018 and 2023 Esri converted Census 2000 data into 2010 geography.



Community Profile

239 W William St, Delaware, Ohio, 43015
 Drive Time: 2, 5, 10 minute radii

Prepared by Esri
 Latitude: 40.29923
 Longitude: -83.07736

	2 minutes	5 minutes	10 minutes
Top 3 Tapestry Segments			
1.	Emerald City (8B)	Parks and Rec (5C)	Up and Coming Families
2.	Set to Impress (11D)	Up and Coming Families	Middleburg (4C)
3.	Middleburg (4C)	Middleburg (4C)	Soccer Moms (4A)
2018 Consumer Spending			
Apparel & Services: Total \$	\$1,722,987	\$11,727,094	\$32,393,960
Average Spent	\$1,920.83	\$1,813.09	\$2,031.61
Spending Potential Index	88	83	93
Education: Total \$	\$1,125,868	\$7,564,359	\$20,769,146
Average Spent	\$1,255.15	\$1,169.51	\$1,302.55
Spending Potential Index	87	81	90
Entertainment/Recreation: Total \$	\$2,470,491	\$17,220,494	\$47,294,147
Average Spent	\$2,754.17	\$2,662.41	\$2,966.08
Spending Potential Index	86	83	92
Food at Home: Total \$	\$3,941,082	\$27,018,178	\$73,687,147
Average Spent	\$4,393.63	\$4,177.21	\$4,621.33
Spending Potential Index	88	83	92
Food Away from Home: Total \$	\$2,802,520	\$19,000,932	\$52,447,038
Average Spent	\$3,124.33	\$2,937.68	\$3,289.25
Spending Potential Index	89	84	94
Health Care: Total \$	\$4,273,589	\$30,528,553	\$83,315,010
Average Spent	\$4,764.31	\$4,719.94	\$5,225.15
Spending Potential Index	83	82	91
HH Furnishings & Equipment: Total \$	\$1,617,066	\$11,224,720	\$31,055,337
Average Spent	\$1,802.75	\$1,735.42	\$1,947.65
Spending Potential Index	86	83	93
Personal Care Products & Services: Total \$	\$648,808	\$4,440,296	\$12,301,155
Average Spent	\$723.31	\$686.50	\$771.47
Spending Potential Index	87	83	93
Shelter: Total \$	\$13,437,352	\$90,411,941	\$246,395,054
Average Spent	\$14,980.33	\$13,978.35	\$15,452.81
Spending Potential Index	89	83	92
Support Payments/Cash Contributions/Gifts in Kind: Total \$	\$1,836,622	\$12,927,538	\$35,381,765
Average Spent	\$2,047.52	\$1,998.69	\$2,218.99
Spending Potential Index	82	80	89
Travel: Total \$	\$1,622,931	\$11,313,664	\$31,518,309
Average Spent	\$1,809.29	\$1,749.18	\$1,976.69
Spending Potential Index	84	81	92
Vehicle Maintenance & Repairs: Total \$	\$837,729	\$5,796,625	\$15,889,525
Average Spent	\$933.92	\$896.20	\$996.52
Spending Potential Index	87	83	93

Data Note: Consumer spending shows the amount spent on a variety of goods and services by households that reside in the area. Expenditures are shown by broad budget categories that are not mutually exclusive. Consumer spending does not equal business revenue. Total and Average Amount Spent Per Household represent annual figures. The Spending Potential Index represents the amount spent in the area relative to a national average of 100.

Source: Consumer Spending data are derived from the 2015 and 2016 Consumer Expenditure Surveys, Bureau of Labor Statistics. Esri.

Source: U.S. Census Bureau, Census 2010 Summary File 1. Esri forecasts for 2018 and 2023 Esri converted Census 2000 data into 2010 geography.



Business Summary

239 W William St, Delaware, Ohio, 43015
 Drive Time: 2, 5, 10 minute radii

Prepared by Esri
 Latitude: 40.29923
 Longitude: -83.07736

Data for all businesses in area		2 minutes		5 minutes		10 minutes						
Total Businesses:		212		741		1,347						
Total Employees:		2,137		7,952		16,701						
Total Residential Population:		3,361		16,984		41,156						
Employee/Residential Population Ratio (per 100 Residents)		64		47		41						
by SIC Codes	Businesses		Employees		Businesses		Employees		Businesses		Employees	
	Number	Percent	Number	Percent	Number	Percent	Number	Percent	Number	Percent	Number	Percent
Agriculture & Mining	2	0.9%	7	0.3%	11	1.5%	88	1.1%	33	2.4%	233	1.4%
Construction	6	2.8%	24	1.1%	36	4.9%	157	2.0%	67	5.0%	314	1.9%
Manufacturing	4	1.9%	165	7.7%	15	2.0%	438	5.5%	46	3.4%	1,528	9.1%
Transportation	3	1.4%	46	2.2%	12	1.6%	226	2.8%	34	2.5%	556	3.3%
Communication	1	0.5%	2	0.1%	2	0.3%	12	0.2%	11	0.8%	105	0.6%
Utility	0	0.0%	0	0.0%	1	0.1%	5	0.1%	4	0.3%	40	0.2%
Wholesale Trade	4	1.9%	32	1.5%	15	2.0%	116	1.5%	44	3.3%	773	4.6%
Retail Trade Summary	41	19.3%	428	20.0%	130	17.5%	1,438	18.1%	247	18.3%	4,185	25.1%
Home Improvement	2	0.9%	59	2.8%	9	1.2%	145	1.8%	19	1.4%	480	2.9%
General Merchandise Stores	1	0.5%	2	0.1%	3	0.4%	26	0.3%	11	0.8%	381	2.3%
Food Stores	2	0.9%	23	1.1%	9	1.2%	101	1.3%	22	1.6%	641	3.8%
Auto Dealers, Gas Stations, Auto Aftermarket	3	1.4%	24	1.1%	9	1.2%	84	1.1%	29	2.2%	743	4.4%
Apparel & Accessory Stores	1	0.5%	4	0.2%	4	0.5%	11	0.1%	8	0.6%	27	0.2%
Furniture & Home Furnishings	3	1.4%	9	0.4%	10	1.3%	59	0.7%	18	1.3%	101	0.6%
Eating & Drinking Places	18	8.5%	256	12.0%	54	7.3%	826	10.4%	87	6.5%	1,358	8.1%
Miscellaneous Retail	11	5.2%	52	2.4%	34	4.6%	188	2.4%	54	4.0%	454	2.7%
Finance, Insurance, Real Estate Summary	29	13.7%	137	6.4%	93	12.6%	415	5.2%	139	10.3%	593	3.6%
Banks, Savings & Lending Institutions	7	3.3%	48	2.2%	19	2.6%	121	1.5%	28	2.1%	179	1.1%
Securities Brokers	5	2.4%	13	0.6%	12	1.6%	33	0.4%	18	1.3%	62	0.4%
Insurance Carriers & Agents	8	3.8%	24	1.1%	27	3.6%	89	1.1%	35	2.6%	124	0.7%
Real Estate, Holding, Other Investment Offices	8	3.8%	51	2.4%	36	4.9%	172	2.2%	57	4.2%	228	1.4%
Services Summary	91	42.9%	891	41.7%	326	44.0%	3,873	48.7%	553	41.1%	6,111	36.6%
Hotels & Lodging	1	0.5%	10	0.5%	4	0.5%	28	0.4%	8	0.6%	64	0.4%
Automotive Services	1	0.5%	6	0.3%	14	1.9%	46	0.6%	37	2.7%	122	0.7%
Motion Pictures & Amusements	5	2.4%	17	0.8%	22	3.0%	106	1.3%	43	3.2%	296	1.8%
Health Services	9	4.2%	114	5.3%	57	7.7%	935	11.8%	93	6.9%	1,502	9.0%
Legal Services	13	6.1%	57	2.7%	31	4.2%	120	1.5%	32	2.4%	123	0.7%
Education Institutions & Libraries	5	2.4%	125	5.8%	24	3.2%	763	9.6%	40	3.0%	1,229	7.4%
Other Services	56	26.4%	561	26.3%	173	23.3%	1,875	23.6%	301	22.3%	2,774	16.6%
Government	25	11.8%	403	18.9%	67	9.0%	1,172	14.7%	98	7.3%	2,246	13.4%
Unclassified Establishments	8	3.8%	3	0.1%	33	4.5%	11	0.1%	71	5.3%	17	0.1%
Totals	212	100.0%	2,137	100.0%	741	100.0%	7,952	100.0%	1,347	100.0%	16,701	100.0%

Source: Copyright 2018 Infogroup, Inc. All rights reserved. Esri Total Residential Population forecasts for 2018.

Date Note: Data on the Business Summary report is calculated using Esri's Data allocation method which uses census block groups to allocate business summary data to custom areas.



Business Summary

239 W William St, Delaware, Ohio, 43015
 Drive Time: 2, 5, 10 minute radii

Prepared by Esri
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by NAICS Codes	Businesses		Employees		Businesses		Employees		Businesses		Employees	
	Number	Percent	Number	Percent	Number	Percent	Number	Percent	Number	Percent	Number	Percent
Agriculture, Forestry, Fishing & Hunting	0	0.0%	0	0.0%	1	0.1%	2	0.0%	6	0.4%	41	0.2%
Mining	0	0.0%	0	0.0%	0	0.0%	0	0.0%	1	0.1%	24	0.1%
Utilities	0	0.0%	0	0.0%	0	0.0%	4	0.1%	2	0.1%	30	0.2%
Construction	6	2.8%	24	1.1%	37	5.0%	162	2.0%	71	5.3%	325	1.9%
Manufacturing	5	2.4%	140	6.6%	16	2.2%	415	5.2%	50	3.7%	1,529	9.2%
Wholesale Trade	4	1.9%	32	1.5%	15	2.0%	116	1.5%	44	3.3%	771	4.6%
Retail Trade	21	9.9%	156	7.3%	74	10.0%	562	7.1%	154	11.4%	2,755	16.5%
Motor Vehicle & Parts Dealers	1	0.5%	17	0.8%	6	0.8%	68	0.9%	23	1.7%	711	4.3%
Furniture & Home Furnishings Stores	1	0.5%	1	0.0%	3	0.4%	7	0.1%	7	0.5%	18	0.1%
Electronics & Appliance Stores	2	0.9%	7	0.3%	6	0.8%	29	0.4%	10	0.7%	53	0.3%
Bldg Material & Garden Equipment & Supplies Dealers	2	0.9%	59	2.8%	9	1.2%	145	1.8%	19	1.4%	481	2.9%
Food & Beverage Stores	2	0.9%	11	0.5%	8	1.1%	80	1.0%	17	1.3%	600	3.6%
Health & Personal Care Stores	2	0.9%	6	0.3%	11	1.5%	80	1.0%	19	1.4%	219	1.3%
Gasoline Stations	1	0.5%	7	0.3%	3	0.4%	16	0.2%	6	0.4%	32	0.2%
Clothing & Clothing Accessories Stores	1	0.5%	4	0.2%	4	0.5%	11	0.1%	8	0.6%	27	0.2%
Sport Goods, Hobby, Book, & Music Stores	3	1.4%	26	1.2%	8	1.1%	57	0.7%	11	0.8%	72	0.4%
General Merchandise Stores	1	0.5%	2	0.1%	3	0.4%	26	0.3%	11	0.8%	381	2.3%
Miscellaneous Store Retailers	6	2.8%	16	0.7%	14	1.9%	45	0.6%	24	1.8%	160	1.0%
Nonstore Retailers	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	1	0.0%
Transportation & Warehousing	2	0.9%	42	2.0%	10	1.3%	216	2.7%	28	2.1%	515	3.1%
Information	5	2.4%	60	2.8%	11	1.5%	126	1.6%	27	2.0%	280	1.7%
Finance & Insurance	20	9.4%	85	4.0%	57	7.7%	243	3.1%	82	6.1%	365	2.2%
Central Bank/Credit Intermediation & Related Activities	7	3.3%	48	2.2%	19	2.6%	121	1.5%	28	2.1%	179	1.1%
Securities, Commodity Contracts & Other Financial	5	2.4%	13	0.6%	12	1.6%	33	0.4%	18	1.3%	62	0.4%
Insurance Carriers & Related Activities; Funds, Trusts &	8	3.8%	24	1.1%	27	3.6%	89	1.1%	35	2.6%	124	0.7%
Real Estate, Rental & Leasing	9	4.2%	56	2.6%	42	5.7%	182	2.3%	79	5.9%	265	1.6%
Professional, Scientific & Tech Services	26	12.3%	104	4.9%	76	10.3%	361	4.5%	122	9.1%	603	3.6%
Legal Services	14	6.6%	59	2.8%	34	4.6%	129	1.6%	35	2.6%	133	0.8%
Management of Companies & Enterprises	0	0.0%	0	0.0%	1	0.1%	3	0.0%	1	0.1%	3	0.0%
Administrative & Support & Waste Management & Remediation	4	1.9%	28	1.3%	17	2.3%	174	2.2%	42	3.1%	336	2.0%
Educational Services	4	1.9%	111	5.2%	24	3.2%	742	9.3%	42	3.1%	1,224	7.3%
Health Care & Social Assistance	16	7.5%	194	9.1%	80	10.8%	1,507	19.0%	134	9.9%	2,353	14.1%
Arts, Entertainment & Recreation	4	1.9%	216	10.1%	18	2.4%	550	6.9%	33	2.4%	740	4.4%
Accommodation & Food Services	20	9.4%	280	13.1%	58	7.8%	878	11.0%	96	7.1%	1,446	8.7%
Accommodation	1	0.5%	10	0.5%	4	0.5%	28	0.4%	8	0.6%	64	0.4%
Food Services & Drinking Places	19	9.0%	270	12.6%	55	7.4%	850	10.7%	88	6.5%	1,382	8.3%
Other Services (except Public Administration)	33	15.6%	202	9.5%	102	13.8%	520	6.5%	165	12.2%	827	5.0%
Automotive Repair & Maintenance	1	0.5%	5	0.2%	10	1.3%	37	0.5%	24	1.8%	91	0.5%
Public Administration	26	12.3%	405	19.0%	68	9.2%	1,177	14.8%	99	7.3%	2,251	13.5%
Unclassified Establishments	8	3.8%	3	0.1%	33	4.5%	11	0.1%	71	5.3%	17	0.1%
Total	212	100.0%	2,137	100.0%	741	100.0%	7,952	100.0%	1,347	100.0%	16,701	100.0%

Source: Copyright 2018 Infogroup, Inc. All rights reserved. Esri Total Residential Population forecasts for 2018.

Date Note: Data on the Business Summary report is calculated using **Esri's Data allocation method** which uses census block groups to allocate business summary data to custom areas.



Retail MarketPlace Profile

239 W William St, Delaware, Ohio, 43015
 Drive Time: 2 minute radius

Prepared by Esri
 Latitude: 40.29923
 Longitude: -83.07736

Summary Demographics

2018 Population	3,361
2018 Households	897
2018 Median Disposable Income	\$38,331
2018 Per Capita Income	\$23,317

2017 Industry Summary

	NAICS	Demand (Retail Potential)	Supply (Retail Sales)	Retail Gap	Leakage/Surplus Factor	Number of Businesses
Total Retail Trade and Food & Drink	44-45,722	\$29,232,795	\$41,840,211	-\$12,607,416	-17.7	40
Total Retail Trade	44-45	\$26,334,544	\$30,194,127	-\$3,859,583	-6.8	22
Total Food & Drink	722	\$2,898,251	\$11,646,084	-\$8,747,833	-60.1	18

2017 Industry Group

	NAICS	Demand (Retail Potential)	Supply (Retail Sales)	Retail Gap	Leakage/Surplus Factor	Number of Businesses
Motor Vehicle & Parts Dealers	441	\$5,568,921	\$2,917,318	\$2,651,603	31.2	1
Automobile Dealers	4411	\$4,497,393	\$0	\$4,497,393	100.0	0
Other Motor Vehicle Dealers	4412	\$506,300	\$0	\$506,300	100.0	0
Auto Parts, Accessories & Tire Stores	4413	\$565,229	\$2,794,742	-\$2,229,513	-66.4	1
Furniture & Home Furnishings Stores	442	\$790,275	\$332,779	\$457,496	40.7	1
Furniture Stores	4421	\$498,996	\$0	\$498,996	100.0	0
Home Furnishings Stores	4422	\$291,279	\$332,779	-\$41,500	-6.7	1
Electronics & Appliance Stores	443	\$860,392	\$1,627,297	-\$766,905	-30.8	2
Bldg Materials, Garden Equip. & Supply Stores	444	\$1,690,242	\$8,655,934	-\$6,965,692	-67.3	2
Bldg Material & Supplies Dealers	4441	\$1,558,584	\$8,655,934	-\$7,097,350	-69.5	2
Lawn & Garden Equip & Supply Stores	4442	\$131,657	\$0	\$131,657	100.0	0
Food & Beverage Stores	445	\$4,659,957	\$2,081,481	\$2,578,476	38.2	2
Grocery Stores	4451	\$4,187,683	\$904,261	\$3,283,422	64.5	1
Specialty Food Stores	4452	\$264,906	\$0	\$264,906	100.0	0
Beer, Wine & Liquor Stores	4453	\$207,368	\$1,177,220	-\$969,852	-70.0	1
Health & Personal Care Stores	446,4461	\$1,897,841	\$1,015,780	\$882,061	30.3	2
Gasoline Stations	447,4471	\$2,992,927	\$7,496,130	-\$4,503,203	-42.9	1
Clothing & Clothing Accessories Stores	448	\$1,280,807	\$597,593	\$683,214	36.4	1
Clothing Stores	4481	\$826,059	\$597,593	\$228,466	16.0	1
Shoe Stores	4482	\$184,768	\$0	\$184,768	100.0	0
Jewelry, Luggage & Leather Goods Stores	4483	\$269,980	\$0	\$269,980	100.0	0
Sporting Goods, Hobby, Book & Music Stores	451	\$604,644	\$3,629,425	-\$3,024,781	-71.4	3
Sporting Goods/Hobby/Musical Instr Stores	4511	\$494,070	\$3,573,691	-\$3,079,621	-75.7	2
Book, Periodical & Music Stores	4512	\$110,574	\$55,734	\$54,840	33.0	1
General Merchandise Stores	452	\$4,482,162	\$343,000	\$4,139,162	85.8	1
Department Stores Excluding Leased Depts.	4521	\$3,126,592	\$0	\$3,126,592	100.0	0
Other General Merchandise Stores	4529	\$1,355,570	\$343,000	\$1,012,570	59.6	1
Miscellaneous Store Retailers	453	\$1,116,374	\$1,497,391	-\$381,017	-14.6	6
Florists	4531	\$44,386	\$229,181	-\$184,795	-67.6	1
Office Supplies, Stationery & Gift Stores	4532	\$242,483	\$447,070	-\$204,587	-29.7	1
Used Merchandise Stores	4533	\$164,815	\$345,428	-\$180,613	-35.4	2
Other Miscellaneous Store Retailers	4539	\$664,690	\$475,713	\$188,977	16.6	2
Nonstore Retailers	454	\$390,003	\$0	\$390,003	100.0	0
Electronic Shopping & Mail-Order Houses	4541	\$256,807	\$0	\$256,807	100.0	0
Vending Machine Operators	4542	\$41,325	\$0	\$41,325	100.0	0
Direct Selling Establishments	4543	\$91,871	\$0	\$91,871	100.0	0
Food Services & Drinking Places	722	\$2,898,251	\$11,646,084	-\$8,747,833	-60.1	18
Special Food Services	7223	\$77,956	\$54,391	\$23,565	17.8	1
Drinking Places - Alcoholic Beverages	7224	\$107,948	\$125,064	-\$17,116	-7.3	1
Restaurants/Other Eating Places	7225	\$2,712,347	\$11,466,630	-\$8,754,283	-61.7	16

Data Note: Supply (retail sales) estimates sales to consumers by establishments. Sales to businesses are excluded. Demand (retail potential) estimates the expected amount spent by consumers at retail establishments. Supply and demand estimates are in current dollars. The Leakage/Surplus Factor presents a snapshot of retail opportunity. This is a measure of the relationship between supply and demand that ranges from +100 (total leakage) to -100 (total surplus). A positive value represents 'leakage' of retail opportunity outside the trade area. A negative value represents a surplus of retail sales, a market where customers are drawn in from outside the trade area. The Retail Gap represents the difference between Retail Potential and Retail Sales. Esri uses the North American Industry Classification System (NAICS) to classify businesses by their primary type of economic activity. Retail establishments are classified into 27 industry groups in the Retail Trade sector, as well as four industry groups within the Food Services & Drinking Establishments subsector. For more information on the Retail MarketPlace data, please click the link below to view the Methodology Statement. <http://www.esri.com/library/whitepapers/pdfs/esri-data-retail-marketplace.pdf>

Source: Esri and Infogroup. Esri 2018 Updated Demographics. Esri 2017 Retail MarketPlace. Copyright 2018 Esri. Copyright 2017 Infogroup, Inc. All rights reserved.

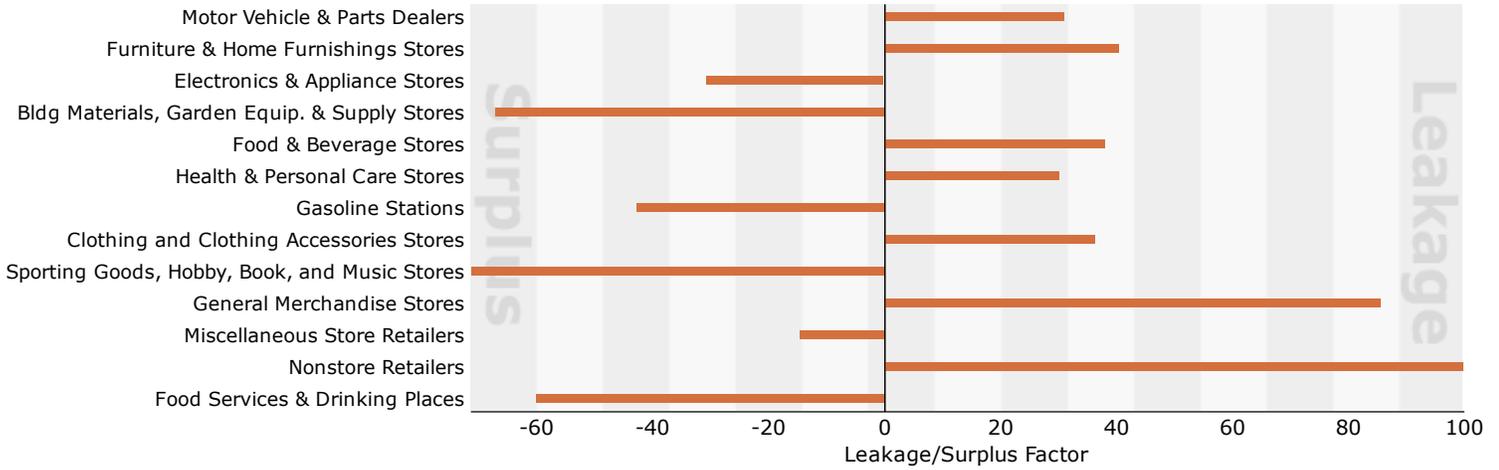


Retail MarketPlace Profile

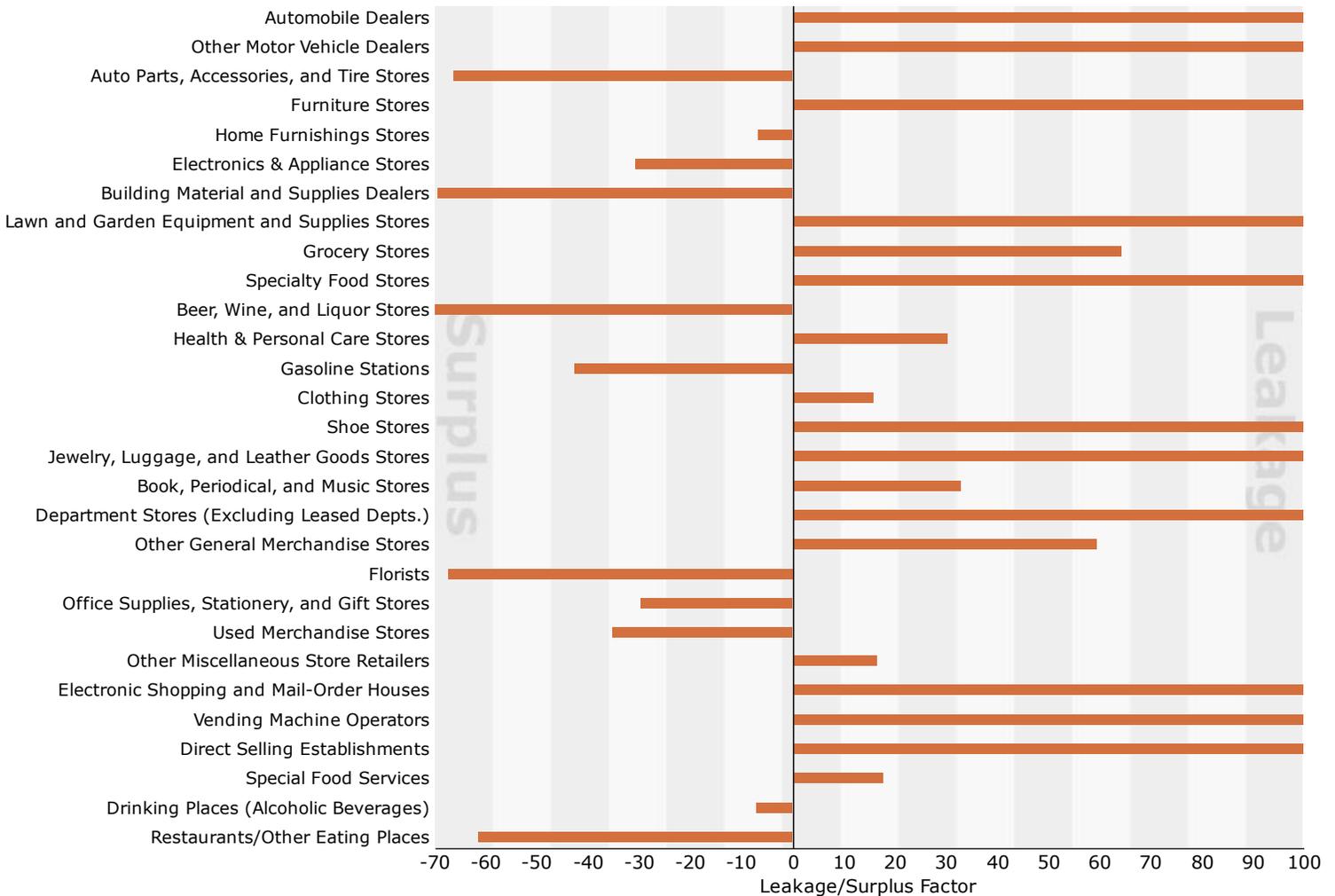
239 W William St, Delaware, Ohio, 43015
 Drive Time: 2 minute radius

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 Latitude: 40.29923
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2017 Leakage/Surplus Factor by Industry Subsector



2017 Leakage/Surplus Factor by Industry Group



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Retail MarketPlace Profile

239 W William St, Delaware, Ohio, 43015
 Drive Time: 5 minute radius

Prepared by Esri
 Latitude: 40.29923
 Longitude: -83.07736

Summary Demographics

2018 Population	16,984
2018 Households	6,468
2018 Median Disposable Income	\$44,833
2018 Per Capita Income	\$27,339

2017 Industry Summary

	NAICS	Demand (Retail Potential)	Supply (Retail Sales)	Retail Gap	Leakage/Surplus Factor	Number of Businesses
Total Retail Trade and Food & Drink	44-45,722	\$204,010,142	\$156,234,883	\$47,775,259	13.3	126
Total Retail Trade	44-45	\$184,104,974	\$120,420,030	\$63,684,944	20.9	73
Total Food & Drink	722	\$19,905,168	\$35,814,853	-\$15,909,685	-28.6	52

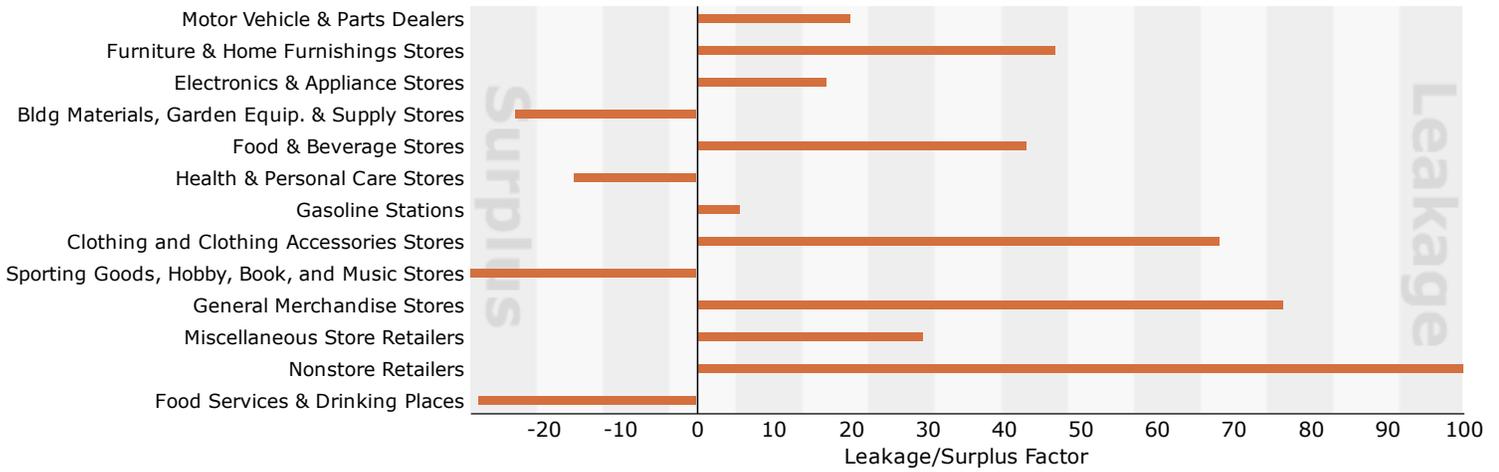
2017 Industry Group

	NAICS	Demand (Retail Potential)	Supply (Retail Sales)	Retail Gap	Leakage/Surplus Factor	Number of Businesses
Motor Vehicle & Parts Dealers	441	\$39,268,305	\$26,108,036	\$13,160,269	20.1	5
Automobile Dealers	4411	\$31,676,623	\$13,930,152	\$17,746,471	38.9	1
Other Motor Vehicle Dealers	4412	\$3,632,884	\$0	\$3,632,884	100.0	0
Auto Parts, Accessories & Tire Stores	4413	\$3,958,797	\$11,855,780	-\$7,896,983	-49.9	3
Furniture & Home Furnishings Stores	442	\$5,530,257	\$2,006,204	\$3,524,053	46.8	3
Furniture Stores	4421	\$3,423,528	\$0	\$3,423,528	100.0	0
Home Furnishings Stores	4422	\$2,106,729	\$1,962,685	\$144,044	3.5	3
Electronics & Appliance Stores	443	\$5,954,555	\$4,228,141	\$1,726,414	17.0	5
Bldg Materials, Garden Equip. & Supply Stores	444	\$12,696,095	\$20,635,828	-\$7,939,733	-23.8	10
Bldg Material & Supplies Dealers	4441	\$11,709,620	\$20,017,133	-\$8,307,513	-26.2	9
Lawn & Garden Equip & Supply Stores	4442	\$986,475	\$618,695	\$367,780	22.9	1
Food & Beverage Stores	445	\$32,062,592	\$12,768,775	\$19,293,817	43.0	6
Grocery Stores	4451	\$28,832,373	\$10,041,945	\$18,790,428	48.3	4
Specialty Food Stores	4452	\$1,820,645	\$0	\$1,820,645	100.0	0
Beer, Wine & Liquor Stores	4453	\$1,409,574	\$2,713,383	-\$1,303,809	-31.6	3
Health & Personal Care Stores	446,4461	\$13,275,793	\$18,398,750	-\$5,122,957	-16.2	10
Gasoline Stations	447,4471	\$20,821,492	\$18,585,118	\$2,236,374	5.7	5
Clothing & Clothing Accessories Stores	448	\$8,802,399	\$1,658,308	\$7,144,091	68.3	4
Clothing Stores	4481	\$5,673,194	\$1,547,479	\$4,125,715	57.1	4
Shoe Stores	4482	\$1,280,576	\$0	\$1,280,576	100.0	0
Jewelry, Luggage & Leather Goods Stores	4483	\$1,848,629	\$0	\$1,848,629	100.0	0
Sporting Goods, Hobby, Book & Music Stores	451	\$4,187,724	\$7,701,288	-\$3,513,564	-29.6	8
Sporting Goods/Hobby/Musical Instr Stores	4511	\$3,448,768	\$7,532,712	-\$4,083,944	-37.2	5
Book, Periodical & Music Stores	4512	\$738,955	\$168,577	\$570,378	62.8	3
General Merchandise Stores	452	\$31,002,313	\$4,132,148	\$26,870,165	76.5	3
Department Stores Excluding Leased Depts.	4521	\$21,627,046	\$0	\$21,627,046	100.0	0
Other General Merchandise Stores	4529	\$9,375,267	\$2,112,750	\$7,262,517	63.2	3
Miscellaneous Store Retailers	453	\$7,735,521	\$4,197,435	\$3,538,086	29.6	14
Florists	4531	\$328,812	\$408,186	-\$79,374	-10.8	2
Office Supplies, Stationery & Gift Stores	4532	\$1,689,520	\$1,114,743	\$574,777	20.5	2
Used Merchandise Stores	4533	\$1,116,534	\$1,095,402	\$21,132	1.0	5
Other Miscellaneous Store Retailers	4539	\$4,600,655	\$1,579,104	\$3,021,551	48.9	5
Nonstore Retailers	454	\$2,767,928	\$0	\$2,767,928	100.0	0
Electronic Shopping & Mail-Order Houses	4541	\$1,794,402	\$0	\$1,794,402	100.0	0
Vending Machine Operators	4542	\$285,560	\$0	\$285,560	100.0	0
Direct Selling Establishments	4543	\$687,966	\$0	\$687,966	100.0	0
Food Services & Drinking Places	722	\$19,905,168	\$35,814,853	-\$15,909,685	-28.6	52
Special Food Services	7223	\$550,465	\$289,973	\$260,492	31.0	2
Drinking Places - Alcoholic Beverages	7224	\$727,664	\$222,747	\$504,917	53.1	2
Restaurants/Other Eating Places	7225	\$18,627,040	\$35,302,133	-\$16,675,093	-30.9	48

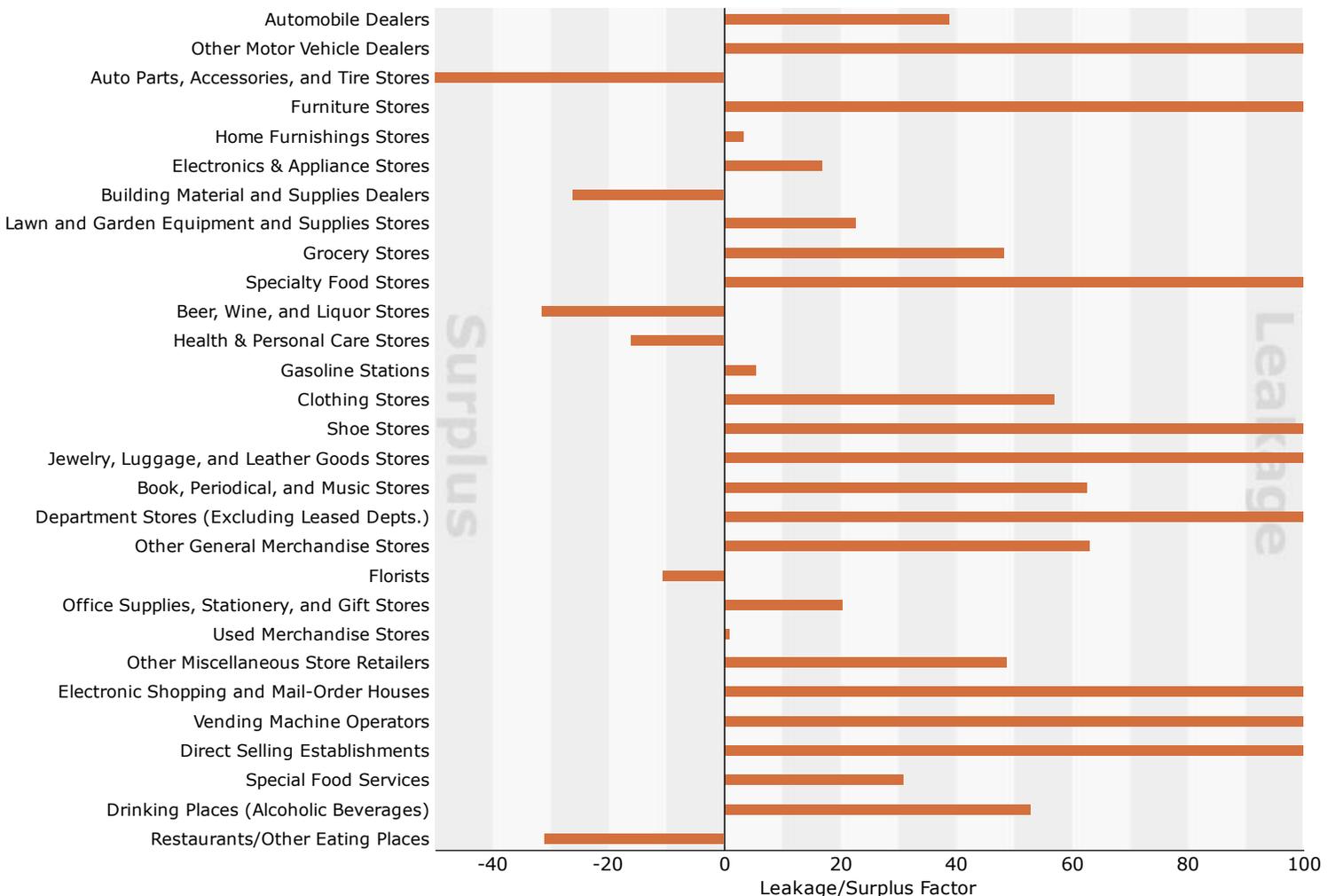
Data Note: Supply (retail sales) estimates sales to consumers by establishments. Sales to businesses are excluded. Demand (retail potential) estimates the expected amount spent by consumers at retail establishments. Supply and demand estimates are in current dollars. The Leakage/Surplus Factor presents a snapshot of retail opportunity. This is a measure of the relationship between supply and demand that ranges from +100 (total leakage) to -100 (total surplus). A positive value represents 'leakage' of retail opportunity outside the trade area. A negative value represents a surplus of retail sales, a market where customers are drawn in from outside the trade area. The Retail Gap represents the difference between Retail Potential and Retail Sales. Esri uses the North American Industry Classification System (NAICS) to classify businesses by their primary type of economic activity. Retail establishments are classified into 27 industry groups in the Retail Trade sector, as well as four industry groups within the Food Services & Drinking Establishments subsector. For more information on the Retail MarketPlace data, please click the link below to view the Methodology Statement. <http://www.esri.com/library/whitepapers/pdfs/esri-data-retail-marketplace.pdf>

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2017 Leakage/Surplus Factor by Industry Subsector



2017 Leakage/Surplus Factor by Industry Group



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Retail MarketPlace Profile

239 W William St, Delaware, Ohio, 43015
 Drive Time: 10 minute radius

Prepared by Esri
 Latitude: 40.29923
 Longitude: -83.07736

Summary Demographics

2018 Population	41,156
2018 Households	15,945
2018 Median Disposable Income	\$51,399
2018 Per Capita Income	\$30,360

2017 Industry Summary

	NAICS	Demand (Retail Potential)	Supply (Retail Sales)	Retail Gap	Leakage/Surplus Factor	Number of Businesses
Total Retail Trade and Food & Drink	44-45,722	\$561,424,510	\$829,105,726	-\$267,681,216	-19.3	244
Total Retail Trade	44-45	\$506,368,281	\$773,096,275	-\$266,727,994	-20.8	161
Total Food & Drink	722	\$55,056,228	\$56,009,451	-\$953,223	-0.9	84

2017 Industry Group

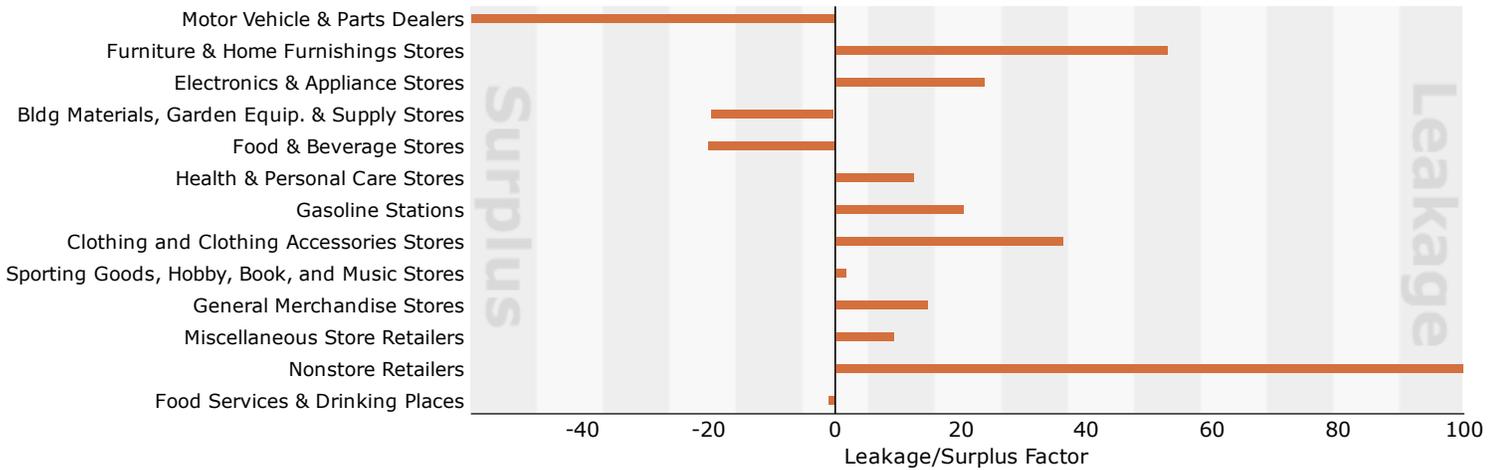
	NAICS	Demand (Retail Potential)	Supply (Retail Sales)	Retail Gap	Leakage/Surplus Factor	Number of Businesses
Motor Vehicle & Parts Dealers	441	\$108,256,437	\$405,402,726	-\$297,146,289	-57.8	23
Automobile Dealers	4411	\$87,267,674	\$208,103,104	-\$120,835,430	-40.9	10
Other Motor Vehicle Dealers	4412	\$10,124,430	\$2,824,208	\$7,300,222	56.4	2
Auto Parts, Accessories & Tire Stores	4413	\$10,864,334	\$194,475,414	-\$183,611,080	-89.4	11
Furniture & Home Furnishings Stores	442	\$15,375,297	\$4,728,330	\$10,646,967	53.0	6
Furniture Stores	4421	\$9,434,670	\$533,118	\$8,901,552	89.3	1
Home Furnishings Stores	4422	\$5,940,628	\$4,195,212	\$1,745,416	17.2	5
Electronics & Appliance Stores	443	\$16,460,851	\$10,107,482	\$6,353,369	23.9	10
Bldg Materials, Garden Equip. & Supply Stores	444	\$35,763,718	\$53,074,376	-\$17,310,658	-19.5	19
Bldg Material & Supplies Dealers	4441	\$33,039,696	\$48,566,560	-\$15,526,864	-19.0	15
Lawn & Garden Equip & Supply Stores	4442	\$2,724,022	\$4,507,816	-\$1,783,794	-24.7	3
Food & Beverage Stores	445	\$87,425,243	\$131,331,483	-\$43,906,240	-20.1	15
Grocery Stores	4451	\$78,619,887	\$127,469,084	-\$48,849,197	-23.7	10
Specialty Food Stores	4452	\$4,958,460	\$677,533	\$4,280,927	76.0	1
Beer, Wine & Liquor Stores	4453	\$3,846,896	\$3,184,866	\$662,030	9.4	3
Health & Personal Care Stores	446,4461	\$36,255,991	\$27,962,304	\$8,293,687	12.9	18
Gasoline Stations	447,4471	\$56,747,654	\$37,396,159	\$19,351,495	20.6	10
Clothing & Clothing Accessories Stores	448	\$24,340,806	\$11,319,766	\$13,021,040	36.5	12
Clothing Stores	4481	\$15,661,148	\$7,824,885	\$7,836,263	33.4	10
Shoe Stores	4482	\$3,562,175	\$3,391,610	\$170,565	2.5	2
Jewelry, Luggage & Leather Goods Stores	4483	\$5,117,483	\$0	\$5,117,483	100.0	0
Sporting Goods, Hobby, Book & Music Stores	451	\$11,620,065	\$11,164,011	\$456,054	2.0	12
Sporting Goods/Hobby/Musical Instr Stores	4511	\$9,595,558	\$10,934,164	-\$1,338,606	-6.5	8
Book, Periodical & Music Stores	4512	\$2,024,507	\$229,847	\$1,794,660	79.6	4
General Merchandise Stores	452	\$85,365,879	\$62,999,702	\$22,366,177	15.1	11
Department Stores Excluding Leased Depts.	4521	\$59,704,746	\$54,105,225	\$5,599,521	4.9	2
Other General Merchandise Stores	4529	\$25,661,133	\$8,894,477	\$16,766,656	48.5	9
Miscellaneous Store Retailers	453	\$21,196,613	\$17,488,823	\$3,707,790	9.6	25
Florists	4531	\$917,087	\$494,069	\$423,018	30.0	3
Office Supplies, Stationery & Gift Stores	4532	\$4,681,890	\$4,390,998	\$290,892	3.2	3
Used Merchandise Stores	4533	\$3,065,103	\$5,929,611	-\$2,864,508	-31.8	7
Other Miscellaneous Store Retailers	4539	\$12,532,533	\$6,674,146	\$5,858,387	30.5	12
Nonstore Retailers	454	\$7,559,726	\$0	\$7,559,726	100.0	0
Electronic Shopping & Mail-Order Houses	4541	\$4,964,036	\$0	\$4,964,036	100.0	0
Vending Machine Operators	4542	\$787,138	\$0	\$787,138	100.0	0
Direct Selling Establishments	4543	\$1,808,553	\$0	\$1,808,553	100.0	0
Food Services & Drinking Places	722	\$55,056,228	\$56,009,451	-\$953,223	-0.9	84
Special Food Services	7223	\$1,531,329	\$361,265	\$1,170,064	61.8	3
Drinking Places - Alcoholic Beverages	7224	\$1,998,907	\$223,548	\$1,775,359	79.9	2
Restaurants/Other Eating Places	7225	\$51,525,993	\$55,424,637	-\$3,898,644	-3.6	79

Data Note: Supply (retail sales) estimates sales to consumers by establishments. Sales to businesses are excluded. Demand (retail potential) estimates the expected amount spent by consumers at retail establishments. Supply and demand estimates are in current dollars. The Leakage/Surplus Factor presents a snapshot of retail opportunity. This is a measure of the relationship between supply and demand that ranges from +100 (total leakage) to -100 (total surplus). A positive value represents 'leakage' of retail opportunity outside the trade area. A negative value represents a surplus of retail sales, a market where customers are drawn in from outside the trade area. The Retail Gap represents the difference between Retail Potential and Retail Sales. Esri uses the North American Industry Classification System (NAICS) to classify businesses by their primary type of economic activity. Retail establishments are classified into 27 industry groups in the Retail Trade sector, as well as four industry groups within the Food Services & Drinking Establishments subsector. For more information on the Retail MarketPlace data, please click the link below to view the Methodology Statement. <http://www.esri.com/library/whitepapers/pdfs/esri-data-retail-marketplace.pdf>

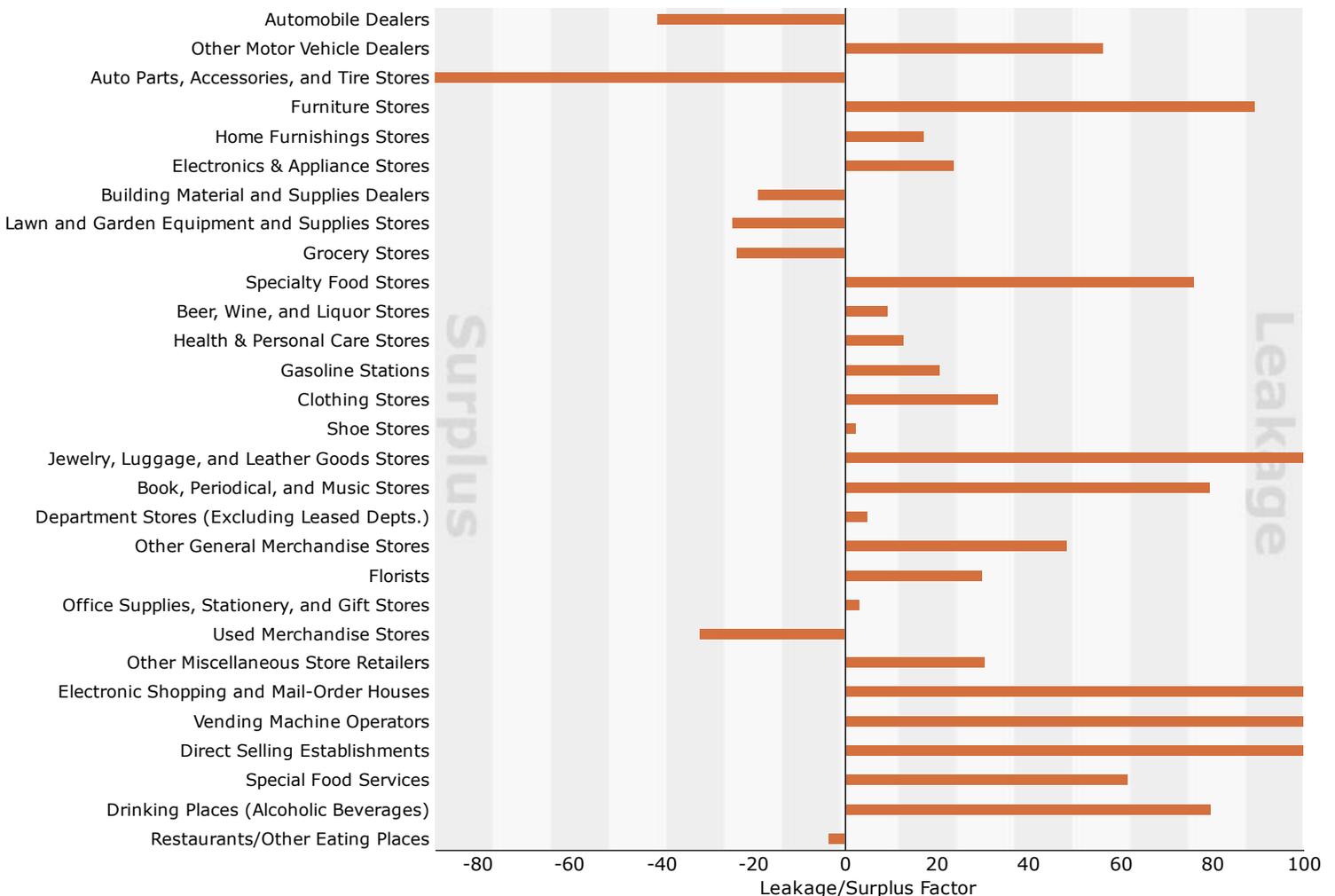
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July 10, 2018

2017 Leakage/Surplus Factor by Industry Subsector



2017 Leakage/Surplus Factor by Industry Group



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Retail Market Potential

239 W William St, Delaware, Ohio, 43015
 Drive Time: 2 minute radius

Prepared by Esri
 Latitude: 40.29923
 Longitude: -83.07736

Demographic Summary		2018	2023
Population		3,361	3,423
Population 18+		2,911	2,977
Households		897	924
Median Household Income		\$44,614	\$52,872

Product/Consumer Behavior	Expected Number of Adults/HHs	Percent of Adults/HHs	MPI
Apparel (Adults)			
Bought any men's clothing in last 12 months	1,266	43.5%	92
Bought any women's clothing in last 12 months	1,261	43.3%	100
Bought clothing for child <13 years in last 6 months	692	23.8%	89
Bought any shoes in last 12 months	1,477	50.7%	95
Bought costume jewelry in last 12 months	505	17.3%	95
Bought any fine jewelry in last 12 months	558	19.2%	107
Bought a watch in last 12 months	444	15.3%	96
Automobiles (Households)			
HH owns/leases any vehicle	793	88.4%	103
HH bought/leased new vehicle last 12 mo	73	8.1%	84
Automotive Aftermarket (Adults)			
Bought gasoline in last 6 months	2,456	84.4%	99
Bought/changed motor oil in last 12 months	1,319	45.3%	95
Had tune-up in last 12 months	804	27.6%	107
Beverages (Adults)			
Drank bottled water/seltzer in last 6 months	1,818	62.5%	90
Drank regular cola in last 6 months	1,308	44.9%	101
Drank beer/ale in last 6 months	1,224	42.0%	100
Cameras (Adults)			
Own digital point & shoot camera/camcorder	266	9.1%	78
Own digital SLR camera/camcorder	181	6.2%	80
Printed digital photos in last 12 months	597	20.5%	88
Cell Phones (Adults/Households)			
Bought cell phone in last 12 months	988	33.9%	94
Have a smartphone	2,446	84.0%	105
Have a smartphone: Android phone (any brand)	1,238	42.5%	110
Have a smartphone: Apple iPhone	1,082	37.2%	97
Number of cell phones in household: 1	352	39.2%	127
Number of cell phones in household: 2	349	38.9%	101
Number of cell phones in household: 3+	171	19.1%	69
HH has cell phone only (no landline telephone)	582	64.9%	123
Computers (Households)			
HH owns a computer	687	76.6%	103
HH owns desktop computer	326	36.3%	95
HH owns laptop/notebook	547	61.0%	108
HH owns any Apple/Mac brand computer	176	19.6%	111
HH owns any PC/non-Apple brand computer	555	61.9%	99
HH purchased most recent computer in a store	351	39.1%	106
HH purchased most recent computer online	134	14.9%	111
Spent <\$500 on most recent home computer	140	15.6%	103
Spent \$500-\$999 on most recent home computer	159	17.7%	101
Spent \$1,000-\$1,499 on most recent home computer	104	11.6%	122
Spent \$1,500-\$1,999 on most recent home computer	42	4.7%	101
Spent \$2,000+ on most recent home computer	38	4.2%	104

Data Note: An MPI (Market Potential Index) measures the relative likelihood of the adults or households in the specified trade area to exhibit certain consumer behavior or purchasing patterns compared to the U.S. An MPI of 100 represents the U.S. average.

Source: These data are based upon national propensities to use various products and services, applied to local demographic composition. Usage data were collected by GfK MRI in a nationally representative survey of U.S. households. Esri forecasts for 2018 and 2023.



Retail Market Potential

239 W William St, Delaware, Ohio, 43015
 Drive Time: 2 minute radius

Prepared by Esri
 Latitude: 40.29923
 Longitude: -83.07736

Product/Consumer Behavior	Expected Number of Adults/HHs	Percent of Adults/HHs	MPI
Convenience Stores (Adults)			
Shopped at convenience store in last 6 mos	1,759	60.4%	97
Bought brewed coffee at convenience store in last 30 days	333	11.4%	85
Bought cigarettes at convenience store in last 30 days	345	11.9%	109
Bought gas at convenience store in last 30 days	1,002	34.4%	93
Spent at convenience store in last 30 days: <\$20	188	6.5%	90
Spent at convenience store in last 30 days: \$20-\$39	261	9.0%	94
Spent at convenience store in last 30 days: \$40-\$50	271	9.3%	112
Spent at convenience store in last 30 days: \$51-\$99	181	6.2%	111
Spent at convenience store in last 30 days: \$100+	565	19.4%	87
Entertainment (Adults)			
Attended a movie in last 6 months	1,743	59.9%	101
Went to live theater in last 12 months	406	13.9%	120
Went to a bar/night club in last 12 months	546	18.8%	107
Dined out in last 12 months	1,385	47.6%	93
Gambled at a casino in last 12 months	341	11.7%	90
Visited a theme park in last 12 months	491	16.9%	89
Viewed movie (video-on-demand) in last 30 days	469	16.1%	89
Viewed TV show (video-on-demand) in last 30 days	405	13.9%	100
Watched any pay-per-view TV in last 12 months	274	9.4%	86
Downloaded a movie over the Internet in last 30 days	337	11.6%	128
Downloaded any individual song in last 6 months	584	20.1%	99
Watched a movie online in the last 30 days	1,058	36.3%	152
Watched a TV program online in last 30 days	657	22.6%	126
Played a video/electronic game (console) in last 12 months	312	10.7%	117
Played a video/electronic game (portable) in last 12 months	186	6.4%	123
Financial (Adults)			
Have home mortgage (1st)	813	27.9%	88
Used ATM/cash machine in last 12 months	1,457	50.1%	94
Own any stock	161	5.5%	76
Own U.S. savings bond	102	3.5%	73
Own shares in mutual fund (stock)	122	4.2%	61
Own shares in mutual fund (bonds)	86	3.0%	62
Have interest checking account	809	27.8%	94
Have non-interest checking account	841	28.9%	98
Have savings account	1,734	59.6%	102
Have 401K retirement savings plan	419	14.4%	93
Own/used any credit/debit card in last 12 months	2,276	78.2%	98
Avg monthly credit card expenditures: <\$111	342	11.7%	98
Avg monthly credit card expenditures: \$111-\$225	197	6.8%	94
Avg monthly credit card expenditures: \$226-\$450	167	5.7%	85
Avg monthly credit card expenditures: \$451-\$700	190	6.5%	105
Avg monthly credit card expenditures: \$701-\$1,000	157	5.4%	93
Avg monthly credit card expenditures: \$1,001+	229	7.9%	72
Did banking online in last 12 months	1,155	39.7%	101
Did banking on mobile device in last 12 months	691	23.7%	101
Paid bills online in last 12 months	1,411	48.5%	98

Data Note: An MPI (Market Potential Index) measures the relative likelihood of the adults or households in the specified trade area to exhibit certain consumer behavior or purchasing patterns compared to the U.S. An MPI of 100 represents the U.S. average.

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Retail Market Potential

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Product/Consumer Behavior	Expected Number of Adults/HHs	Percent of Adults/HHs	MPI
Grocery (Adults)			
Used beef (fresh/frozen) in last 6 months	622	69.3%	101
Used bread in last 6 months	837	93.3%	100
Used chicken (fresh or frozen) in last 6 months	601	67.0%	97
Used turkey (fresh or frozen) in last 6 months	134	14.9%	98
Used fish/seafood (fresh or frozen) in last 6 months	475	53.0%	97
Used fresh fruit/vegetables in last 6 months	771	86.0%	99
Used fresh milk in last 6 months	757	84.4%	98
Used organic food in last 6 months	236	26.3%	111
Health (Adults)			
Exercise at home 2+ times per week	777	26.7%	96
Exercise at club 2+ times per week	369	12.7%	88
Visited a doctor in last 12 months	2,086	71.7%	93
Used vitamin/dietary supplement in last 6 months	1,519	52.2%	96
Home (Households)			
Any home improvement in last 12 months	242	27.0%	97
Used housekeeper/maid/professional HH cleaning service in last 12	119	13.3%	95
Purchased low ticket HH furnishings in last 12 months	153	17.1%	102
Purchased big ticket HH furnishings in last 12 months	237	26.4%	120
Bought any small kitchen appliance in last 12 months	202	22.5%	100
Bought any large kitchen appliance in last 12 months	116	12.9%	92
Insurance (Adults/Households)			
Currently carry life insurance	1,239	42.6%	96
Carry medical/hospital/accident insurance	2,070	71.1%	95
Carry homeowner insurance	1,092	37.5%	79
Carry renter's insurance	414	14.2%	165
Have auto insurance: 1 vehicle in household covered	346	38.6%	126
Have auto insurance: 2 vehicles in household covered	253	28.2%	98
Have auto insurance: 3+ vehicles in household covered	166	18.5%	81
Pets (Households)			
Household owns any pet	483	53.8%	99
Household owns any cat	205	22.9%	99
Household owns any dog	350	39.0%	94
Psychographics (Adults)			
Buying American is important to me	1,007	34.6%	85
Usually buy items on credit rather than wait	425	14.6%	112
Usually buy based on quality - not price	654	22.5%	116
Price is usually more important than brand name	814	28.0%	100
Usually use coupons for brands I buy often	592	20.3%	113
Am interested in how to help the environment	580	19.9%	109
Usually pay more for environ safe product	388	13.3%	94
Usually value green products over convenience	322	11.1%	98
Likely to buy a brand that supports a charity	983	33.8%	97
Reading (Adults)			
Bought digital book in last 12 months	373	12.8%	96
Bought hardcover book in last 12 months	574	19.7%	99
Bought paperback book in last 12 month	907	31.2%	107
Read any daily newspaper (paper version)	693	23.8%	115
Read any digital newspaper in last 30 days	1,230	42.3%	112
Read any magazine (paper/electronic version) in last 6 months	2,713	93.2%	103

Data Note: An MPI (Market Potential Index) measures the relative likelihood of the adults or households in the specified trade area to exhibit certain consumer behavior or purchasing patterns compared to the U.S. An MPI of 100 represents the U.S. average.

Source: These data are based upon national propensities to use various products and services, applied to local demographic composition. Usage data were collected by GfK MRI in a nationally representative survey of U.S. households. Esri forecasts for 2018 and 2023.



Retail Market Potential

239 W William St, Delaware, Ohio, 43015
 Drive Time: 2 minute radius

Prepared by Esri
 Latitude: 40.29923
 Longitude: -83.07736

Product/Consumer Behavior	Expected Number of Adults/HHs	Percent of Adults/HHs	MPI
Restaurants (Adults)			
Went to family restaurant/steak house in last 6 months	2,144	73.7%	98
Went to family restaurant/steak house: 4+ times a month	652	22.4%	83
Went to fast food/drive-in restaurant in last 6 months	2,669	91.7%	102
Went to fast food/drive-in restaurant 9+ times/mo	1,067	36.7%	92
Fast food/drive-in last 6 months: eat in	1,034	35.5%	97
Fast food/drive-in last 6 months: home delivery	271	9.3%	111
Fast food/drive-in last 6 months: take-out/drive-thru	1,443	49.6%	105
Fast food/drive-in last 6 months: take-out/walk-in	589	20.2%	96
Television & Electronics (Adults/Households)			
Own any tablet	1,280	44.0%	96
Own any e-reader	169	5.8%	78
Own e-reader/tablet: iPad	688	23.6%	89
HH has Internet connectable TV	206	23.0%	89
Own any portable MP3 player	549	18.9%	88
HH owns 1 TV	195	21.7%	104
HH owns 2 TVs	259	28.9%	107
HH owns 3 TVs	172	19.2%	91
HH owns 4+ TVs	137	15.3%	86
HH subscribes to cable TV	395	44.0%	99
HH subscribes to fiber optic	54	6.0%	76
HH owns portable GPS navigation device	176	19.6%	79
HH purchased video game system in last 12 mos	56	6.2%	73
HH owns any Internet video device for TV	199	22.2%	109
Travel (Adults)			
Domestic travel in last 12 months	1,542	53.0%	102
Took 3+ domestic non-business trips in last 12 months	334	11.5%	97
Spent on domestic vacations in last 12 months: <\$1,000	312	10.7%	99
Spent on domestic vacations in last 12 months: \$1,000-\$1,499	168	5.8%	96
Spent on domestic vacations in last 12 months: \$1,500-\$1,999	115	4.0%	100
Spent on domestic vacations in last 12 months: \$2,000-\$2,999	80	2.7%	72
Spent on domestic vacations in last 12 months: \$3,000+	123	4.2%	67
Domestic travel in the 12 months: used general travel website	186	6.4%	92
Foreign travel in last 3 years	736	25.3%	95
Took 3+ foreign trips by plane in last 3 years	104	3.6%	74
Spent on foreign vacations in last 12 months: <\$1,000	151	5.2%	111
Spent on foreign vacations in last 12 months: \$1,000-\$2,999	91	3.1%	83
Spent on foreign vacations in last 12 months: \$3,000+	137	4.7%	80
Foreign travel in last 3 years: used general travel website	146	5.0%	83
Nights spent in hotel/motel in last 12 months: any	1,199	41.2%	94
Took cruise of more than one day in last 3 years	270	9.3%	108
Member of any frequent flyer program	476	16.4%	94
Member of any hotel rewards program	401	13.8%	82

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Source: These data are based upon national propensities to use various products and services, applied to local demographic composition. Usage data were collected by GfK MRI in a nationally representative survey of U.S. households. Esri forecasts for 2018 and 2023.



Retail Market Potential

239 W William St, Delaware, Ohio, 43015
 Drive Time: 5 minute radius

Prepared by Esri
 Latitude: 40.29923
 Longitude: -83.07736

Demographic Summary		2018	2023
Population		16,984	18,118
Population 18+		13,204	14,085
Households		6,468	6,936
Median Household Income		\$53,815	\$61,333

Product/Consumer Behavior	Expected Number of Adults/HHs	Percent of Adults/HHs	MPI
Apparel (Adults)			
Bought any men's clothing in last 12 months	6,194	46.9%	99
Bought any women's clothing in last 12 months	5,748	43.5%	101
Bought clothing for child <13 years in last 6 months	3,858	29.2%	109
Bought any shoes in last 12 months	6,953	52.7%	99
Bought costume jewelry in last 12 months	2,285	17.3%	95
Bought any fine jewelry in last 12 months	2,304	17.4%	98
Bought a watch in last 12 months	2,031	15.4%	97
Automobiles (Households)			
HH owns/leases any vehicle	5,689	88.0%	103
HH bought/leased new vehicle last 12 mo	607	9.4%	97
Automotive Aftermarket (Adults)			
Bought gasoline in last 6 months	11,476	86.9%	102
Bought/changed motor oil in last 12 months	6,518	49.4%	104
Had tune-up in last 12 months	3,509	26.6%	103
Beverages (Adults)			
Drank bottled water/seltzer in last 6 months	8,882	67.3%	97
Drank regular cola in last 6 months	5,942	45.0%	102
Drank beer/ale in last 6 months	5,459	41.3%	98
Cameras (Adults)			
Own digital point & shoot camera/camcorder	1,419	10.7%	92
Own digital SLR camera/camcorder	967	7.3%	94
Printed digital photos in last 12 months	3,076	23.3%	100
Cell Phones (Adults/Households)			
Bought cell phone in last 12 months	4,664	35.3%	98
Have a smartphone	10,833	82.0%	103
Have a smartphone: Android phone (any brand)	5,652	42.8%	110
Have a smartphone: Apple iPhone	4,758	36.0%	94
Number of cell phones in household: 1	2,031	31.4%	102
Number of cell phones in household: 2	2,468	38.2%	99
Number of cell phones in household: 3+	1,766	27.3%	99
HH has cell phone only (no landline telephone)	3,825	59.1%	112
Computers (Households)			
HH owns a computer	4,895	75.7%	102
HH owns desktop computer	2,477	38.3%	100
HH owns laptop/notebook	3,783	58.5%	103
HH owns any Apple/Mac brand computer	1,055	16.3%	92
HH owns any PC/non-Apple brand computer	4,173	64.5%	103
HH purchased most recent computer in a store	2,488	38.5%	104
HH purchased most recent computer online	832	12.9%	96
Spent <\$500 on most recent home computer	1,034	16.0%	105
Spent \$500-\$999 on most recent home computer	1,176	18.2%	103
Spent \$1,000-\$1,499 on most recent home computer	619	9.6%	101
Spent \$1,500-\$1,999 on most recent home computer	250	3.9%	84
Spent \$2,000+ on most recent home computer	238	3.7%	91

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Retail Market Potential

239 W William St, Delaware, Ohio, 43015
 Drive Time: 5 minute radius

Prepared by Esri
 Latitude: 40.29923
 Longitude: -83.07736

Product/Consumer Behavior	Expected Number of Adults/HHs	Percent of Adults/HHs	MPI
Convenience Stores (Adults)			
Shopped at convenience store in last 6 mos	8,395	63.6%	102
Bought brewed coffee at convenience store in last 30 days	1,740	13.2%	97
Bought cigarettes at convenience store in last 30 days	1,674	12.7%	116
Bought gas at convenience store in last 30 days	5,205	39.4%	107
Spent at convenience store in last 30 days: <\$20	780	5.9%	82
Spent at convenience store in last 30 days: \$20-\$39	1,218	9.2%	96
Spent at convenience store in last 30 days: \$40-\$50	1,152	8.7%	105
Spent at convenience store in last 30 days: \$51-\$99	809	6.1%	110
Spent at convenience store in last 30 days: \$100+	3,129	23.7%	107
Entertainment (Adults)			
Attended a movie in last 6 months	8,001	60.6%	102
Went to live theater in last 12 months	1,469	11.1%	96
Went to a bar/night club in last 12 months	2,318	17.6%	101
Dined out in last 12 months	6,664	50.5%	99
Gambled at a casino in last 12 months	1,707	12.9%	100
Visited a theme park in last 12 months	2,507	19.0%	100
Viewed movie (video-on-demand) in last 30 days	2,513	19.0%	105
Viewed TV show (video-on-demand) in last 30 days	1,860	14.1%	101
Watched any pay-per-view TV in last 12 months	1,394	10.6%	96
Downloaded a movie over the Internet in last 30 days	1,283	9.7%	107
Downloaded any individual song in last 6 months	2,715	20.6%	102
Watched a movie online in the last 30 days	3,649	27.6%	115
Watched a TV program online in last 30 days	2,588	19.6%	109
Played a video/electronic game (console) in last 12 months	1,354	10.3%	112
Played a video/electronic game (portable) in last 12 months	773	5.9%	113
Financial (Adults)			
Have home mortgage (1st)	4,359	33.0%	104
Used ATM/cash machine in last 12 months	7,115	53.9%	101
Own any stock	735	5.6%	77
Own U.S. savings bond	526	4.0%	83
Own shares in mutual fund (stock)	731	5.5%	80
Own shares in mutual fund (bonds)	474	3.6%	75
Have interest checking account	3,737	28.3%	96
Have non-interest checking account	3,992	30.2%	103
Have savings account	7,789	59.0%	101
Have 401K retirement savings plan	2,125	16.1%	104
Own/used any credit/debit card in last 12 months	10,455	79.2%	99
Avg monthly credit card expenditures: <\$111	1,735	13.1%	109
Avg monthly credit card expenditures: \$111-\$225	991	7.5%	105
Avg monthly credit card expenditures: \$226-\$450	908	6.9%	102
Avg monthly credit card expenditures: \$451-\$700	774	5.9%	94
Avg monthly credit card expenditures: \$701-\$1,000	658	5.0%	86
Avg monthly credit card expenditures: \$1,001+	1,084	8.2%	75
Did banking online in last 12 months	5,404	40.9%	104
Did banking on mobile device in last 12 months	3,329	25.2%	107
Paid bills online in last 12 months	6,700	50.7%	103

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Retail Market Potential

239 W William St, Delaware, Ohio, 43015
 Drive Time: 5 minute radius

Prepared by Esri
 Latitude: 40.29923
 Longitude: -83.07736

Product/Consumer Behavior	Expected Number of Adults/HHs	Percent of Adults/HHs	MPI
Grocery (Adults)			
Used beef (fresh/frozen) in last 6 months	4,544	70.3%	102
Used bread in last 6 months	6,081	94.0%	101
Used chicken (fresh or frozen) in last 6 months	4,453	68.8%	100
Used turkey (fresh or frozen) in last 6 months	1,007	15.6%	102
Used fish/seafood (fresh or frozen) in last 6 months	3,438	53.2%	97
Used fresh fruit/vegetables in last 6 months	5,615	86.8%	100
Used fresh milk in last 6 months	5,607	86.7%	101
Used organic food in last 6 months	1,427	22.1%	93
Health (Adults)			
Exercise at home 2+ times per week	3,683	27.9%	100
Exercise at club 2+ times per week	1,778	13.5%	93
Visited a doctor in last 12 months	9,752	73.9%	96
Used vitamin/dietary supplement in last 6 months	6,929	52.5%	97
Home (Households)			
Any home improvement in last 12 months	1,839	28.4%	102
Used housekeeper/maid/professional HH cleaning service in last 12	788	12.2%	87
Purchased low ticket HH furnishings in last 12 months	1,112	17.2%	103
Purchased big ticket HH furnishings in last 12 months	1,515	23.4%	107
Bought any small kitchen appliance in last 12 months	1,418	21.9%	98
Bought any large kitchen appliance in last 12 months	940	14.5%	103
Insurance (Adults/Households)			
Currently carry life insurance	5,922	44.9%	101
Carry medical/hospital/accident insurance	9,802	74.2%	99
Carry homeowner insurance	6,040	45.7%	97
Carry renter's insurance	1,382	10.5%	122
Have auto insurance: 1 vehicle in household covered	2,118	32.7%	107
Have auto insurance: 2 vehicles in household covered	1,993	30.8%	107
Have auto insurance: 3+ vehicles in household covered	1,370	21.2%	93
Pets (Households)			
Household owns any pet	3,709	57.3%	105
Household owns any cat	1,528	23.6%	103
Household owns any dog	2,819	43.6%	105
Psychographics (Adults)			
Buying American is important to me	5,487	41.6%	102
Usually buy items on credit rather than wait	1,859	14.1%	108
Usually buy based on quality - not price	2,560	19.4%	100
Price is usually more important than brand name	3,929	29.8%	107
Usually use coupons for brands I buy often	2,405	18.2%	102
Am interested in how to help the environment	2,293	17.4%	95
Usually pay more for environ safe product	1,804	13.7%	96
Usually value green products over convenience	1,416	10.7%	95
Likely to buy a brand that supports a charity	4,581	34.7%	100
Reading (Adults)			
Bought digital book in last 12 months	1,699	12.9%	97
Bought hardcover book in last 12 months	2,542	19.3%	97
Bought paperback book in last 12 month	3,922	29.7%	102
Read any daily newspaper (paper version)	2,649	20.1%	97
Read any digital newspaper in last 30 days	5,108	38.7%	103
Read any magazine (paper/electronic version) in last 6 months	12,194	92.4%	102

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Retail Market Potential

239 W William St, Delaware, Ohio, 43015
 Drive Time: 5 minute radius

Prepared by Esri
 Latitude: 40.29923
 Longitude: -83.07736

Product/Consumer Behavior	Expected Number of Adults/HHs	Percent of Adults/HHs	MPI
Restaurants (Adults)			
Went to family restaurant/steak house in last 6 months	9,975	75.5%	100
Went to family restaurant/steak house: 4+ times a month	3,399	25.7%	96
Went to fast food/drive-in restaurant in last 6 months	12,103	91.7%	102
Went to fast food/drive-in restaurant 9+ times/mo	5,453	41.3%	104
Fast food/drive-in last 6 months: eat in	4,790	36.3%	99
Fast food/drive-in last 6 months: home delivery	1,232	9.3%	111
Fast food/drive-in last 6 months: take-out/drive-thru	6,824	51.7%	109
Fast food/drive-in last 6 months: take-out/walk-in	2,748	20.8%	99
Television & Electronics (Adults/Households)			
Own any tablet	6,094	46.2%	101
Own any e-reader	885	6.7%	90
Own e-reader/tablet: iPad	3,315	25.1%	94
HH has Internet connectable TV	1,721	26.6%	103
Own any portable MP3 player	2,839	21.5%	100
HH owns 1 TV	1,277	19.7%	94
HH owns 2 TVs	1,851	28.6%	106
HH owns 3 TVs	1,337	20.7%	98
HH owns 4+ TVs	1,148	17.7%	100
HH subscribes to cable TV	2,961	45.8%	103
HH subscribes to fiber optic	431	6.7%	84
HH owns portable GPS navigation device	1,499	23.2%	93
HH purchased video game system in last 12 mos	482	7.5%	88
HH owns any Internet video device for TV	1,380	21.3%	104
Travel (Adults)			
Domestic travel in last 12 months	6,832	51.7%	99
Took 3+ domestic non-business trips in last 12 months	1,433	10.9%	91
Spent on domestic vacations in last 12 months: <\$1,000	1,423	10.8%	100
Spent on domestic vacations in last 12 months: \$1,000-\$1,499	725	5.5%	92
Spent on domestic vacations in last 12 months: \$1,500-\$1,999	495	3.7%	95
Spent on domestic vacations in last 12 months: \$2,000-\$2,999	405	3.1%	80
Spent on domestic vacations in last 12 months: \$3,000+	725	5.5%	87
Domestic travel in the 12 months: used general travel website	816	6.2%	89
Foreign travel in last 3 years	3,201	24.2%	92
Took 3+ foreign trips by plane in last 3 years	471	3.6%	74
Spent on foreign vacations in last 12 months: <\$1,000	606	4.6%	98
Spent on foreign vacations in last 12 months: \$1,000-\$2,999	416	3.2%	84
Spent on foreign vacations in last 12 months: \$3,000+	570	4.3%	73
Foreign travel in last 3 years: used general travel website	674	5.1%	85
Nights spent in hotel/motel in last 12 months: any	5,668	42.9%	98
Took cruise of more than one day in last 3 years	1,121	8.5%	99
Member of any frequent flyer program	2,010	15.2%	87
Member of any hotel rewards program	1,895	14.4%	86

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Retail Market Potential

239 W William St, Delaware, Ohio, 43015
 Drive Time: 10 minute radius

Prepared by Esri
 Latitude: 40.29923
 Longitude: -83.07736

Demographic Summary	2018	2023
Population	41,156	44,250
Population 18+	30,994	33,326
Households	15,945	17,204
Median Household Income	\$61,980	\$71,035

Product/Consumer Behavior	Expected Number of Adults/HHs	Percent of Adults/HHs	MPI
Apparel (Adults)			
Bought any men's clothing in last 12 months	15,012	48.4%	103
Bought any women's clothing in last 12 months	13,623	44.0%	102
Bought clothing for child <13 years in last 6 months	9,388	30.3%	113
Bought any shoes in last 12 months	16,716	53.9%	101
Bought costume jewelry in last 12 months	5,446	17.6%	97
Bought any fine jewelry in last 12 months	5,467	17.6%	99
Bought a watch in last 12 months	4,653	15.0%	95
Automobiles (Households)			
HH owns/leases any vehicle	14,235	89.3%	104
HH bought/leased new vehicle last 12 mo	1,610	10.1%	104
Automotive Aftermarket (Adults)			
Bought gasoline in last 6 months	27,519	88.8%	104
Bought/changed motor oil in last 12 months	15,426	49.8%	104
Had tune-up in last 12 months	8,258	26.6%	104
Beverages (Adults)			
Drank bottled water/seltzer in last 6 months	21,334	68.8%	99
Drank regular cola in last 6 months	13,671	44.1%	100
Drank beer/ale in last 6 months	13,076	42.2%	100
Cameras (Adults)			
Own digital point & shoot camera/camcorder	3,668	11.8%	101
Own digital SLR camera/camcorder	2,595	8.4%	107
Printed digital photos in last 12 months	7,874	25.4%	109
Cell Phones (Adults/Households)			
Bought cell phone in last 12 months	11,073	35.7%	99
Have a smartphone	25,930	83.7%	105
Have a smartphone: Android phone (any brand)	13,069	42.2%	109
Have a smartphone: Apple iPhone	12,049	38.9%	101
Number of cell phones in household: 1	4,469	28.0%	91
Number of cell phones in household: 2	6,187	38.8%	101
Number of cell phones in household: 3+	4,909	30.8%	112
HH has cell phone only (no landline telephone)	9,223	57.8%	110
Computers (Households)			
HH owns a computer	12,507	78.4%	105
HH owns desktop computer	6,445	40.4%	105
HH owns laptop/notebook	9,657	60.6%	107
HH owns any Apple/Mac brand computer	2,754	17.3%	97
HH owns any PC/non-Apple brand computer	10,661	66.9%	106
HH purchased most recent computer in a store	6,329	39.7%	107
HH purchased most recent computer online	2,194	13.8%	103
Spent <\$500 on most recent home computer	2,553	16.0%	105
Spent \$500-\$999 on most recent home computer	3,090	19.4%	110
Spent \$1,000-\$1,499 on most recent home computer	1,606	10.1%	106
Spent \$1,500-\$1,999 on most recent home computer	633	4.0%	86
Spent \$2,000+ on most recent home computer	639	4.0%	99

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Retail Market Potential

239 W William St, Delaware, Ohio, 43015
 Drive Time: 10 minute radius

Prepared by Esri
 Latitude: 40.29923
 Longitude: -83.07736

Product/Consumer Behavior	Expected Number of Adults/HHs	Percent of Adults/HHs	MPI
Convenience Stores (Adults)			
Shopped at convenience store in last 6 mos	19,935	64.3%	103
Bought brewed coffee at convenience store in last 30 days	4,176	13.5%	100
Bought cigarettes at convenience store in last 30 days	3,580	11.6%	106
Bought gas at convenience store in last 30 days	12,599	40.6%	110
Spent at convenience store in last 30 days: <\$20	1,924	6.2%	86
Spent at convenience store in last 30 days: \$20-\$39	2,870	9.3%	97
Spent at convenience store in last 30 days: \$40-\$50	2,636	8.5%	103
Spent at convenience store in last 30 days: \$51-\$99	1,805	5.8%	104
Spent at convenience store in last 30 days: \$100+	7,666	24.7%	111
Entertainment (Adults)			
Attended a movie in last 6 months	19,405	62.6%	105
Went to live theater in last 12 months	3,505	11.3%	97
Went to a bar/night club in last 12 months	5,548	17.9%	102
Dined out in last 12 months	16,391	52.9%	104
Gambled at a casino in last 12 months	3,998	12.9%	100
Visited a theme park in last 12 months	6,301	20.3%	107
Viewed movie (video-on-demand) in last 30 days	6,202	20.0%	110
Viewed TV show (video-on-demand) in last 30 days	4,596	14.8%	106
Watched any pay-per-view TV in last 12 months	3,604	11.6%	106
Downloaded a movie over the Internet in last 30 days	3,095	10.0%	110
Downloaded any individual song in last 6 months	6,705	21.6%	107
Watched a movie online in the last 30 days	8,359	27.0%	113
Watched a TV program online in last 30 days	6,109	19.7%	110
Played a video/electronic game (console) in last 12 months	3,076	9.9%	109
Played a video/electronic game (portable) in last 12 months	1,737	5.6%	108
Financial (Adults)			
Have home mortgage (1st)	11,394	36.8%	116
Used ATM/cash machine in last 12 months	17,331	55.9%	105
Own any stock	1,966	6.3%	88
Own U.S. savings bond	1,355	4.4%	91
Own shares in mutual fund (stock)	1,871	6.0%	88
Own shares in mutual fund (bonds)	1,367	4.4%	92
Have interest checking account	9,307	30.0%	102
Have non-interest checking account	9,555	30.8%	105
Have savings account	19,056	61.5%	105
Have 401K retirement savings plan	5,528	17.8%	115
Own/used any credit/debit card in last 12 months	25,143	81.1%	102
Avg monthly credit card expenditures: <\$111	4,189	13.5%	112
Avg monthly credit card expenditures: \$111-\$225	2,383	7.7%	107
Avg monthly credit card expenditures: \$226-\$450	2,114	6.8%	101
Avg monthly credit card expenditures: \$451-\$700	1,901	6.1%	99
Avg monthly credit card expenditures: \$701-\$1,000	1,730	5.6%	96
Avg monthly credit card expenditures: \$1,001+	2,983	9.6%	88
Did banking online in last 12 months	13,515	43.6%	111
Did banking on mobile device in last 12 months	8,300	26.8%	114
Paid bills online in last 12 months	16,516	53.3%	108

Data Note: An MPI (Market Potential Index) measures the relative likelihood of the adults or households in the specified trade area to exhibit certain consumer behavior or purchasing patterns compared to the U.S. An MPI of 100 represents the U.S. average.

Source: These data are based upon national propensities to use various products and services, applied to local demographic composition. Usage data were collected by GfK MRI in a nationally representative survey of U.S. households. Esri forecasts for 2018 and 2023.



Retail Market Potential

239 W William St, Delaware, Ohio, 43015
 Drive Time: 10 minute radius

Prepared by Esri
 Latitude: 40.29923
 Longitude: -83.07736

Product/Consumer Behavior	Expected Number of Adults/HHs	Percent of Adults/HHs	MPI
Grocery (Adults)			
Used beef (fresh/frozen) in last 6 months	11,384	71.4%	104
Used bread in last 6 months	15,095	94.7%	101
Used chicken (fresh or frozen) in last 6 months	11,257	70.6%	103
Used turkey (fresh or frozen) in last 6 months	2,525	15.8%	103
Used fish/seafood (fresh or frozen) in last 6 months	8,628	54.1%	99
Used fresh fruit/vegetables in last 6 months	13,967	87.6%	101
Used fresh milk in last 6 months	13,979	87.7%	102
Used organic food in last 6 months	3,628	22.8%	96
Health (Adults)			
Exercise at home 2+ times per week	8,990	29.0%	104
Exercise at club 2+ times per week	4,458	14.4%	100
Visited a doctor in last 12 months	23,323	75.3%	98
Used vitamin/dietary supplement in last 6 months	16,515	53.3%	98
Home (Households)			
Any home improvement in last 12 months	4,830	30.3%	109
Used housekeeper/maid/professional HH cleaning service in last 12	2,113	13.3%	95
Purchased low ticket HH furnishings in last 12 months	2,818	17.7%	105
Purchased big ticket HH furnishings in last 12 months	3,852	24.2%	110
Bought any small kitchen appliance in last 12 months	3,630	22.8%	102
Bought any large kitchen appliance in last 12 months	2,462	15.4%	109
Insurance (Adults/Households)			
Currently carry life insurance	14,773	47.7%	107
Carry medical/hospital/accident insurance	23,581	76.1%	102
Carry homeowner insurance	15,404	49.7%	105
Carry renter's insurance	3,002	9.7%	113
Have auto insurance: 1 vehicle in household covered	4,701	29.5%	96
Have auto insurance: 2 vehicles in household covered	5,148	32.3%	112
Have auto insurance: 3+ vehicles in household covered	3,908	24.5%	107
Pets (Households)			
Household owns any pet	9,373	58.8%	108
Household owns any cat	3,798	23.8%	104
Household owns any dog	7,293	45.7%	110
Psychographics (Adults)			
Buying American is important to me	12,832	41.4%	102
Usually buy items on credit rather than wait	4,270	13.8%	105
Usually buy based on quality - not price	5,971	19.3%	100
Price is usually more important than brand name	9,087	29.3%	105
Usually use coupons for brands I buy often	5,598	18.1%	101
Am interested in how to help the environment	5,247	16.9%	93
Usually pay more for environ safe product	4,152	13.4%	94
Usually value green products over convenience	3,286	10.6%	94
Likely to buy a brand that supports a charity	10,715	34.6%	100
Reading (Adults)			
Bought digital book in last 12 months	4,228	13.6%	102
Bought hardcover book in last 12 months	6,258	20.2%	102
Bought paperback book in last 12 month	9,511	30.7%	106
Read any daily newspaper (paper version)	5,816	18.8%	91
Read any digital newspaper in last 30 days	12,349	39.8%	106
Read any magazine (paper/electronic version) in last 6 months	28,698	92.6%	102

Data Note: An MPI (Market Potential Index) measures the relative likelihood of the adults or households in the specified trade area to exhibit certain consumer behavior or purchasing patterns compared to the U.S. An MPI of 100 represents the U.S. average.

Source: These data are based upon national propensities to use various products and services, applied to local demographic composition. Usage data were collected by GfK MRI in a nationally representative survey of U.S. households. Esri forecasts for 2018 and 2023.



Retail Market Potential

239 W William St, Delaware, Ohio, 43015
 Drive Time: 10 minute radius

Prepared by Esri
 Latitude: 40.29923
 Longitude: -83.07736

Product/Consumer Behavior	Expected Number of Adults/HHs	Percent of Adults/HHs	MPI
Restaurants (Adults)			
Went to family restaurant/steak house in last 6 months	23,984	77.4%	103
Went to family restaurant/steak house: 4+ times a month	8,367	27.0%	100
Went to fast food/drive-in restaurant in last 6 months	28,616	92.3%	102
Went to fast food/drive-in restaurant 9+ times/mo	13,128	42.4%	107
Fast food/drive-in last 6 months: eat in	11,574	37.3%	102
Fast food/drive-in last 6 months: home delivery	2,803	9.0%	108
Fast food/drive-in last 6 months: take-out/drive-thru	16,383	52.9%	112
Fast food/drive-in last 6 months: take-out/walk-in	6,565	21.2%	101
Television & Electronics (Adults/Households)			
Own any tablet	15,134	48.8%	107
Own any e-reader	2,311	7.5%	101
Own e-reader/tablet: iPad	8,631	27.8%	105
HH has Internet connectable TV	4,558	28.6%	111
Own any portable MP3 player	6,997	22.6%	105
HH owns 1 TV	2,848	17.9%	85
HH owns 2 TVs	4,404	27.6%	102
HH owns 3 TVs	3,426	21.5%	102
HH owns 4+ TVs	3,242	20.3%	114
HH subscribes to cable TV	7,162	44.9%	101
HH subscribes to fiber optic	1,086	6.8%	86
HH owns portable GPS navigation device	3,976	24.9%	100
HH purchased video game system in last 12 mos	1,258	7.9%	93
HH owns any Internet video device for TV	3,658	22.9%	112
Travel (Adults)			
Domestic travel in last 12 months	16,931	54.6%	105
Took 3+ domestic non-business trips in last 12 months	3,627	11.7%	98
Spent on domestic vacations in last 12 months: <\$1,000	3,400	11.0%	102
Spent on domestic vacations in last 12 months: \$1,000-\$1,499	1,854	6.0%	100
Spent on domestic vacations in last 12 months: \$1,500-\$1,999	1,308	4.2%	107
Spent on domestic vacations in last 12 months: \$2,000-\$2,999	1,111	3.6%	94
Spent on domestic vacations in last 12 months: \$3,000+	1,973	6.4%	101
Domestic travel in the 12 months: used general travel website	2,059	6.6%	96
Foreign travel in last 3 years	7,903	25.5%	96
Took 3+ foreign trips by plane in last 3 years	1,203	3.9%	81
Spent on foreign vacations in last 12 months: <\$1,000	1,492	4.8%	103
Spent on foreign vacations in last 12 months: \$1,000-\$2,999	1,019	3.3%	87
Spent on foreign vacations in last 12 months: \$3,000+	1,491	4.8%	81
Foreign travel in last 3 years: used general travel website	1,691	5.5%	90
Nights spent in hotel/motel in last 12 months: any	14,268	46.0%	105
Took cruise of more than one day in last 3 years	2,842	9.2%	107
Member of any frequent flyer program	5,248	16.9%	97
Member of any hotel rewards program	5,177	16.7%	100

Data Note: An MPI (Market Potential Index) measures the relative likelihood of the adults or households in the specified trade area to exhibit certain consumer behavior or purchasing patterns compared to the U.S. An MPI of 100 represents the U.S. average.

Source: These data are based upon national propensities to use various products and services, applied to local demographic composition. Usage data were collected by GfK MRI in a nationally representative survey of U.S. households. Esri forecasts for 2018 and 2023.



FACT SHEET

AGENDA ITEM NO: 13

DATE: 07/23/2018

ORDINANCE NO: 18-61

RESOLUTION NO:

READING: SECOND

PUBLIC HEARING: NO

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: Darren Shulman, City Attorney

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE AMENDING ORDINANCE NO. 11-86 TO EXTEND THE PERMISSIBLE CLOSING DATE OF PROPERTY PREVIOUSLY OFFERED FOR SALE AT PUBLIC AUCTION.

BACKGROUND:

In ordinance 11-86, City Council authorized the sale of land not needed for any city purpose. The starting price at the auction was \$112,700 an acre. One bidder attended the auction and won with a bid at the starting price. The sale was never completed, in part because the city and the bidder were involved in negotiations over the interpretation of the pre-annexation agreement under which the property entered into the city. Those issues are now resolved and the city and bidder wish to proceed with the sale. Based on an appraisal obtained by the City, the purchase price remains the appropriate price for the property.

REASON WHY LEGISLATION IS NEEDED:

To complete the sale, Ordinance 11-86 has to be amended to extend the permissible closing date.

COMMITTEE RECOMMENDATION:

FISCAL IMPACT(S):

Completing the sale will \$568,684.20, which will be used to reimburse the NCA for the cost of constructing Glenn Road.

POLICY CHANGES:

PRESENTER(S):

Darren Shulman, City Attorney

RECOMMENDATION:

ATTACHMENT(S)

Exhibit

ORDINANCE NO. 18-61

AN ORDINANCE AMENDING ORDINANCE NO. 11-86 TO EXTEND THE PERMISSIBLE CLOSING DATE OF PROPERTY PREVIOUSLY OFFERED FOR SALE AT PUBLIC AUCTION.

WHEREAS, City Council previously authorized the sale of land not needed for any purpose in Ordinance No. 11-86; and

WHEREAS, the winning bid was for the starting price of \$112,700 an acre; and

WHEREAS, the ordinance permitted the winning bidder to close at any time prior to the end of calendar year 2013 or upon completion of the Glenn Parkway connector section; and

WHEREAS, the winning bidder has yet to complete the purchase, in part due to negotiations with the City involving interpretation of the pre-annexation agreement under which the land was annexed into the city.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. Section 3 of Ordinance 11-86 is replaced with the following language:

The closing for the sale shall occur prior to December 31, 2018.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION

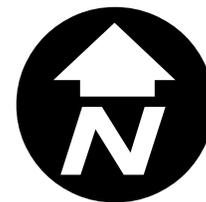
YEAS___ NAYS___
ABSTAIN ___

PASSED: _____, 2018

YEAS___ NAYS___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR





FACT SHEET

AGENDA ITEM NO: 14

DATE: 07/23/2018

ORDINANCE NO: 18-62

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: NO

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: Dave Efland, Planning and Community Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE ACCEPTING THE ANNEXATION OF 2.091± ACRES OF LAND MORE OR LESS, DESCRIPTION AND MAP ARE ATTACHED HERETO AS EXHIBITS "A" AND "B" FOR THE ANNEXATION KNOWN AS THE JOSHUA MORGAN ANNEXATION BY ANDREW P. WECKER, AGENT FOR THE PETITIONERS.

BACKGROUND:

The owner would raze the existing house that straddles the northern two properties which would leave three vacant lots. The owner would construct single family houses on the subject three lots that would have to achieve compliance with the R-3 zoning requirements and all other City development requirements. This process involves several steps and actions by the County and City in order for an annexation to ultimately be accepted by the City. The City took the first city step in the process which required determination of services the City could provide – the Resolution of Services passed May 14, 2018 via Resolution 18-28. The legislation before City Council currently is the final acceptance of annexation which would bring the property into the City. City Council must decide to accept, accept with conditions, or deny the annexation. If no action is taken by the ORC dictated time frame ending on September 20, 2018, ORC dictates that the annexation will be denied. The applicant wishes to begin the rezoning process prior to final action by City Council and thus multiple readings of this legislation are anticipated with passage anticipated prior to the ORC required date of September 20, 2018.

REASON WHY LEGISLATION IS NEEDED:

The Ohio Revised Code provides the process that annexations must follow throughout Ohio. This legislation is the final City step in the process to formally accept the annexation of the property. The City has until September 20, 2018 to pass this acceptance of annexation Ordinance or it is considered by ORC to be denied. The applicant wishes to begin the rezoning process prior to final action by City Council and thus multiple readings of this legislation are anticipated with passage anticipated prior to the ORC required date of September 20, 2018.

COMMITTEE RECOMMENDATION:

FISCAL IMPACT(S):

POLICY CHANGES:

PRESENTER(S):

Dave Efland, Planning and Community Development Director

RECOMMENDATION:

Approval on Third Reading

ATTACHMENT(S)

County Resolution

Petition

Map

City Resolution

ORDINANCE NO. 18-62

AN ORDINANCE ACCEPTING THE ANNEXATION OF 2.091± ACRES OF LAND MORE OR LESS, DESCRIPTION AND MAP ARE ATTACHED HERETO AS EXHIBITS "A" AND "B" FOR THE ANNEXATION KNOWN AS THE JOSHUA MORGAN ANNEXATION BY ANDREW P. WECKER, AGENT FOR THE PETITIONERS.

WHEREAS, Andrew P. Wecker, agent for the petitioners, has filed with the Delaware County Commissioners for annexation of 2.091 acres of land, more or less, the description and map are attached hereto as Exhibits A and B, and

WHEREAS, Andrew P. Wecker, as agent for the petitioners on April 27, 2018 delivered to the Clerk of the Delaware City Council the notice of his filing of the annexation petition with the Board of County Commissioners of Delaware County and its clerk on April 25, 2018, and

WHEREAS, the Ohio Revised Code requires that within 20 days following the date the petition is filed, the City Council shall, by resolution, adopt a statement as to what services, if any, the City will provide and an approximate date by which it will provide them to the territory proposed for annexation, upon annexation.

WHEREAS, the proposed annexation applied for in the petition to the Delaware County Commissioners has been approved, by them for annexation to the City of Delaware on May 24, 2018 (See attached) The territory to be annexed is described in the attached Exhibits "A" and "B"; and

WHEREAS, the certified transcript of the proceedings for annexation, with an accurate map of the territory, together with the petition of annexation and other papers relating to the proceedings of the County Commissioners, are on file with the Clerk of Council, and have been for more than sixty days.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That Council hereby accepts the annexation of 2.091 acres of land, description and plat of which are hereby attached as Exhibits "A" and "B" on the annexation known as the Joshua Morgan Annexation by Andrew P. Wecker, agent for the petitioners with the following conditions that:



Delaware County Commissioners

Jeff Benton
Barb Lewis
Gary Merrell

County Administrator
Michael Frommer

Deputy Administrators
Dawn Huston
Seiji Kille

Clerk to the Commissioners
Jennifer Walraven

May 25, 2018

Elaine McClosky
City of Delaware Clerk
1 S Sandusky Street
Delaware, OH 43015

RE: Annexation of 2.091 acres
 Delaware Township to the City of Delaware

Dear Ms. McClosky:

The Delaware County Commissioners in Regular Session on May 24, 2018 adopted a Resolution granting Prayer of Petition for 2.091 acres, more or less, from Delaware Township to City of Delaware.

I am herewith forwarding a certified copy of the Commissioners' Journal Resolution, a copy of the annexation petition and a copy of all other papers in the Commissioners' annexation folder.

If you have questions, please call me at 740-833-2105.

Sincerely,

A handwritten signature in blue ink that reads "Sarah Dinovo".

Sarah Dinovo,
Assistant Clerk to the Commissioners



RESOLUTION CERTIFICATION

I, Elaine McCloskey, being the duly appointed as Clerk of City Council of Delaware, Ohio, do hereby swear and attest that the attached document is a true and correct copy of Resolution No. 18-28 as passed on May 14, 2018 by the Delaware City Council.


Elaine McCloskey
Clerk of City Council



RECEIVED
2018 MAY 15 AM 11:33
DELAWARE COUNTY
COMMISSIONERS

This Resolution Certification dated this 15 day of May in the year 2018.

RESOLUTION NO. 18-28

A RESOLUTION INDICATING WHAT SERVICES THE CITY OF DELAWARE WILL PROVIDE TO 2.091± ACRES OF LAND, MORE OR LESS, DESCRIPTION AND MAP ARE ATTACHED HERETO AS EXHIBITS "A" AND "B" FOR THE ANNEXATION KNOWN AS THE JOSHUA MORGAN ANNEXATION BY ANDREW P. WECKER, AGENT FOR THE PETITIONERS.

WHEREAS, Andrew P. Wecker, agent for the petitioners, has filed with the Delaware County Commissioners for annexation of 2.091 acres of land, more or less, the description and map are attached hereto as Exhibits A and B; and

WHEREAS, Andrew P. Wecker, as agent for the petitioners on April 27, 2018 delivered to the Clerk of the Delaware City Council the notice of his filing of the annexation petition with the Board of County Commissioners of Delaware County and its clerk on April 25, 2018; and

WHEREAS, the Ohio Revised Code requires that within 20 days following the date the petition is filed, the City Council shall, by resolution, adopt a statement as to what services, if any, the City will provide and an approximate date by which it will provide them to the territory proposed for annexation, upon annexation.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That upon annexation to the City of Delaware of 2.091± acres more or less as delineated on the attached Exhibits A and B, the City will provide the following services by the approximate date indicated as to each, provided all necessary lines, hydrants, and other apparatus are installed by the property owner as required by the City and said services shall be provided under the same conditions and same costs as they are provided to other residents in the City of Delaware:

- (a) Water - upon acceptance of annexation
- (b) Sanitary Sewer - upon acceptance of annexation
- (c) Refuse - upon acceptance of annexation
- (d) Fire - upon acceptance of annexation
- (e) Police - upon acceptance of annexation
- (f) Road maintenance-upon acceptance of annexation

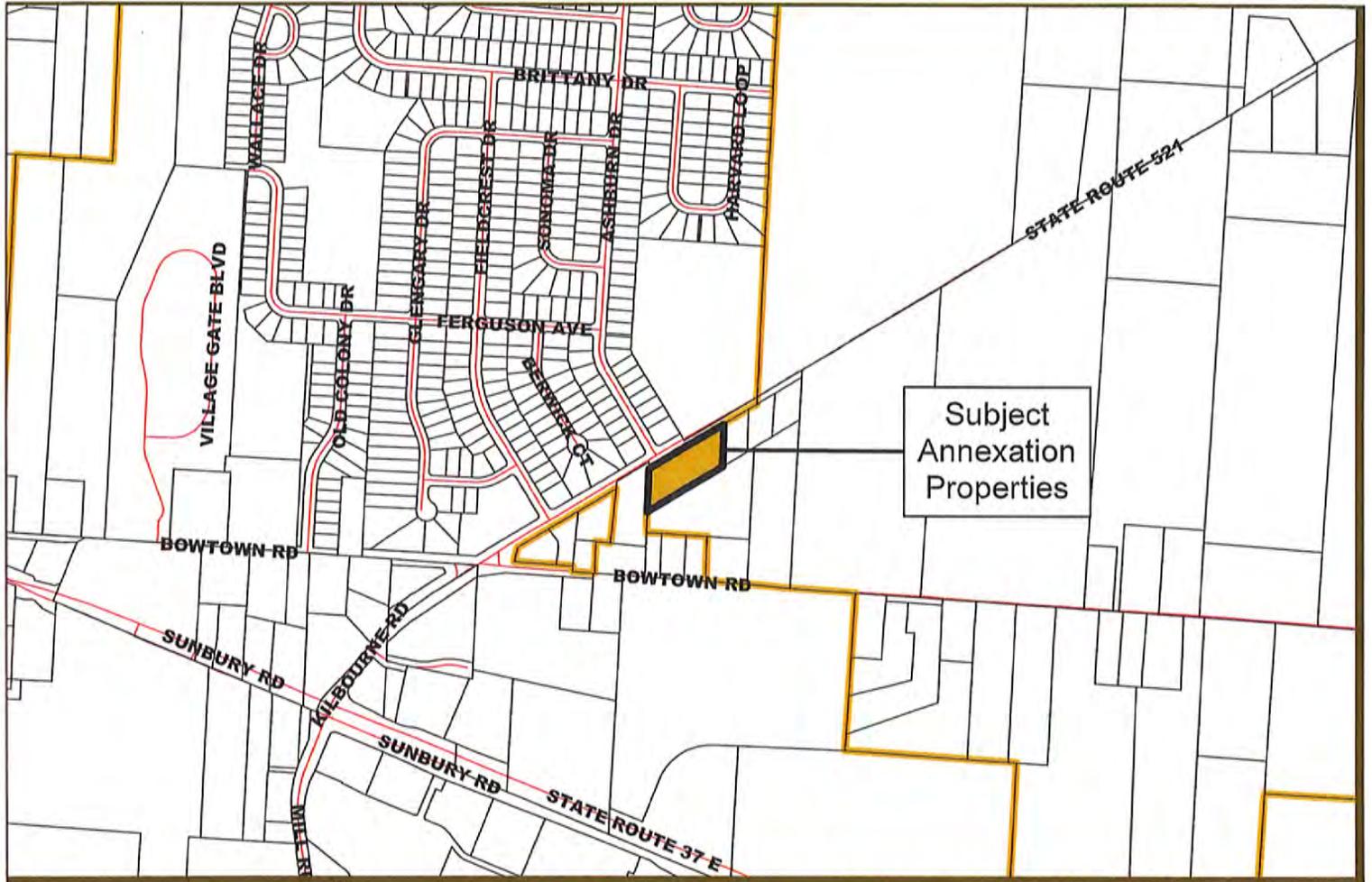


Subject
Annexation
Properties



Joshua Morgan Properties Annexation
1354 State Route 521
(Lots 586, 587, and 588)
Aerial (2016) Map





Subject
Annexation
Properties



Joshua Morgan Properties Annexation
1354 State Route 521
(Lots 586, 587, and 588)
Location Map



Manos, Martin & Pergram Co., LPA

Attorneys at Law

50 North Sandusky Street
Delaware, Ohio 43015-1926
Fax 740-362-3288

April 25, 2018

RECEIVED

APR 27 2018

Andrew P. Wecker
740-363-1313, ext. 217
e-mail: awecker@mmpdlaw.com

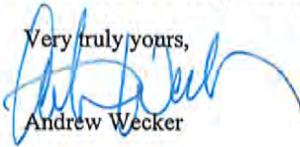
**Via Certified Mail
Return Receipt Requested**

Ms. Elaine McCloskey
Council Clerk
City of Delaware
1 South Sandusky Street
Delaware, OH 43015

Dear Ms. McCloskey:

On April 25, 2018 at 10:25 a.m., the undersigned, as agent for the Petitioner, Joshua Morgan, filed a petition with the Board of County Commissioners of Delaware County, Ohio to annex 2.091 acres of land to the City of Delaware, Ohio. A copy of the petition and map and supplemental filing pursuant to Ohio Rev. Code § 709.02(D) are enclosed herewith.

Very truly yours,


Andrew Wecker

tjh
Enclosures
T13475-101

Caring Counseling and Sophisticated Solutions Since 1951
www.mmpdlaw.com
Office Also in Columbus, Ohio

PETITION FOR ANNEXATION – EXPEDITED TYPE 2

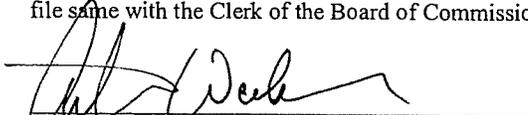
I, the undersigned, being the sole owner of 2.091 acres of real estate in the territory hereinafter described, hereby petition for the annexation of the following described territory from Delaware Township to the City of Delaware, Delaware County, Ohio, being filed under Sections 709.021(A) and 709.023(A) of the Revised Code of Ohio.

Petitioner has attached hereto and made a part of this petition a legal description of the perimeter of the territory sought to be annexed, marked as Exhibit "A", as prepared by Robert T. Patridge, P.S., Registered Surveyor No. 7462.

Petitioner has attached hereto and made a part of this petition an accurate map or plat of the territory sought to be annexed, marked Exhibit "B", also as prepared by Robert T. Patridge, P.S., Registered Surveyor No. 7462. Among other things as noted on Exhibit "A" and Exhibit "B", the described territory is contiguous with the City of Delaware, Ohio.

Andrew Wecker, Esq., attorney at law, is hereby appointed agent for the undersigned Petition as required by Revised Code Section 709.02(C)(3), with full power and authority hereby granted to said agent to amend, alter, change, correct, withdraw, refile, substitute, compromise, increase or delete the area, to do any and all things essential thereto, and to take any action necessary for obtaining the granting of this Petition, with specific authorization to correct any discrepancy or mistake noted by the Delaware County Engineer in examination of the Petition or the Exhibits to the Petition. Any such amendment shall be made by the presentation of amended description and map to the Board of County Commissioners on, before, or after the date set for hearing on this Petition. Said amendment, alteration, change, correction, withdrawal, refiling, substitution, compromise, increase or deletion or other things or action for granting of this Petition shall be made in the Petition, description and plat by said agent without further expressed consent of the Petition.

The City of Delaware will pass and submit to the Board of Commissioners of Delaware County a resolution of services within twenty (20) days of the date of the filing of this Petition and file same with the Clerk of the Board of Commissioners of Delaware County, Ohio.



Andrew Wecker, Esq.
Manos, Martin & Pergram Co., LPA
50 North Sandusky Street
Delaware, OH 43015

740-363-1313 phone / 740-362-3288 fax
awecker@mmpdlaw.com

RECEIVED
2018 APR 25 AM 10:25
DELAWARE COUNTY
COMMISSIONERS

Return original to:

Clerk of the Board of the Delaware County Commissioners
101 North Sandusky Street, Delaware, OH 43015

"WHOEVER SIGNS THIS PETITION EXPRESSLY WAIVES THEIR RIGHT TO APPEAL IN LAW OR IN EQUITY FROM THE BOARD OF COUNTY COMMISSIONERS' ENTRY OF ANY RESOLUTION PERTAINING TO THIS SPECIAL ANNEXATION PROCEDURE. ALTHOUGH A WRIT OF MANDAMUS MAY BE SOUGHT OUT TO COMPEL THE BOARD TO PERFORM ITS DUTIES REQUIRED BY LAW FOR THIS SPECIAL ANNEXATION PROCEDURE."

SIGNATURE OF PETITIONER, TYPED NAME AND ADDRESS

DATE



JOSHUA MORGAN
862 Township Road 208
Marengo, OH 43334

4/24/18

ATTACHMENTS:

Exhibit "A" – Legal Description of 2.091 Acre Tract for Annexation to the City of Delaware from the Township of Delaware by Robert T. Patridge, P.S., Registered Surveyor No. 7462.

Exhibit "B" – Map of Territory to be Annexed Type II Annexation Plat by Robert T. Patridge, P.S., Registered Surveyor No. 7462.

Patridge
Surveyors & Engineers LLC

**LEGAL DESCRIPTION OF 2.091 ACRE TRACT
FOR ANNEXATION TO THE CITY OF DELAWARE
FROM THE TOWNSHIP OF DELAWARE**

Situated in the State of Ohio, County of Delaware, Township of Delaware, located in Farm Lot 27, Section 4, Township 5 North, Range 19 West, United States Military Lands, being all of Lots 586, 587, and 588 in the Thomas Lands Subdivision as delineated and recorded in Plat Book 7, Page 69 conveyed to Joshua Morgan, in Volume 1556, Page 1824-1826, Delaware County Recorder's Office, and being more particularly described as follows:

Beginning at the northwest corner of said Lot 586 in the south line of State Route 521 and in the Corporation Line between the City of Delaware (ordinance No. 94-48, recorded in volume 8, Page 848) and the Township of Delaware also being the east line of a 1.44 acre tract currently owned by Nancy Johnson in Volume 699, Page 2238;

thence **North 63°10'00" East 435.00 feet**, in the Corporation Line between the City of Delaware and the Township of Delaware and the north line of said Lots 586, 587, and 588 and in the south line of State Route 521, to a point at the northeast corner of said Lot 588, also being the northwest corner of Lot 589 of the Thomas Lands Subdivision and currently conveyed to William A. and Cathy S. Rausch in Volume 1328, Page 1783;

thence **South 06°16'00" West 250.00 feet**, in the east line of said Lot 588 and the west line of said Lot 589 to a point being the southeast corner of said Lot 588 and the southwest corner of said Lot 589 and being in a northerly line of a 8.311 acre tract (of which 3.29 acres are in the Township of Delaware);

thence **South 63°10'00" West 435.00 feet**, in the south line of said Lots 586, 587, and 588 and the northerly line of said 8.311 acre tract (of which 3.29 acres are in the Township of Delaware), to the southwest corner of said Lot 586 and in the east line of said 1.44 acre tract;

thence **North 06°16'00" East 250.00 feet**, in the west line of said Lot 586 and the east line of said 1.44 acre tract to the place of beginning, containing an area of 2.091 acres more or less. The above described tract is for annexation purposes only and is not intended to be used for transfer of said 2.091 acre tract.

Basis of Bearings and survey were prepared from and based on the south line of S.R. 521, from Plat Book 7, Page 69, being N 63°10'00" E. The above described description was prepared from records on file at the Delaware County Recorders and is for annexation purposes only and is not to be used to transfer said property.

All referenced documents are on file at the Delaware County Recorder's Office, Delaware, Ohio.

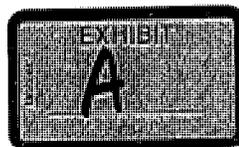
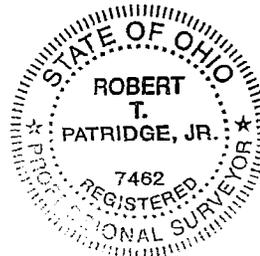
Robert T. Patridge, Jr. PS 7462
Robert T. Patridge, Jr.

County Engineer
Delaware County, Ohio

I hereby certify the within to be a true copy of the document that is on file in the Map Department.

CHRIS E. BAUSERMAN, P.E., P.S.
County Engineer

By  Date 4/6/18



MAP OF TERRITORY TO BE ANNEXED TYPE II ANNEXATION PLAT

Map of Territory to be Annexed to the City of Delaware,
from the Township of Delaware

Being Lots 586, 587, 588 (2.091 acres) of the Thomas Lands Subdivision,
(P.B. 7, PG. 69) located in Farm Lot 27, Sec 4 Twp. 5, Rg. 19 W, U.S.M.L.,
in Delaware Township, Delaware County, Ohio

BEING A 2.091 ACRE ANNEXATION TO THE CITY OF DELAWARE FROM THE
TOWNSHIP OF DELAWARE, EXPEDITED TYPE II ANNEXATION UNDER PRC.
709.021 & 709.023.

Delaware County
Engineer

I hereby certify this is a true copy
of the document that is on file
in the Map Department.

CHRIS E. BAUSERMAN, P.E., P.S.
County Engineer

Date: 4/6/18

By: 



VICINITY MAP nts

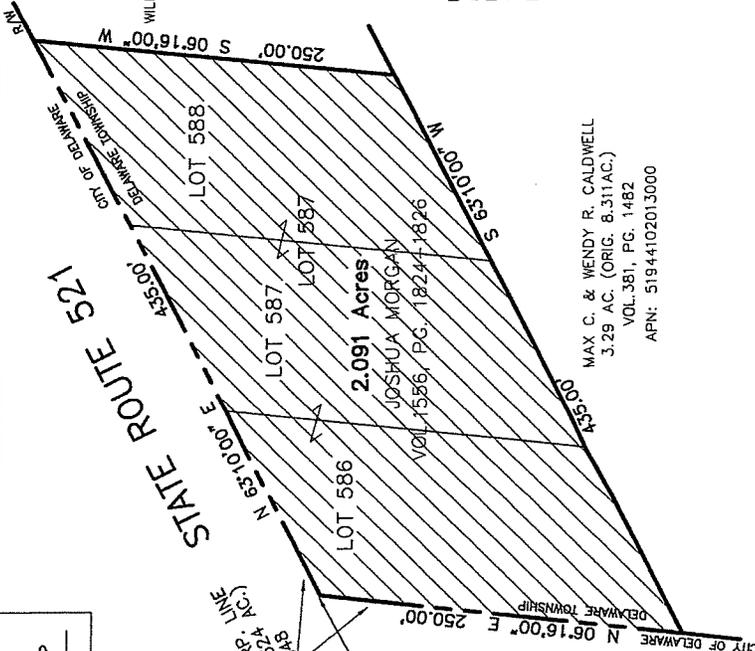


Scale 1" = 100'
April, 02, 2018

-  AREA TO BE ANNEXED
-  EXISTING CORP. LINE
-  PROPOSED CORP. LINE



PATRIDGE
SURVEYING L.L.C.
9464 DUBLIN ROAD
POWELL, OHIO 43065
TEL: (614)-799-0031
FAX: (614)-300-5076



Basis of Bearings and survey were prepared from and based on the
south line of S.R. 521, from Plat Book 7, Page 681, being N 63° 10' 00"
E. The above described description was prepared in accordance with
file at the Delaware County Recorder's Office, Columbus, Ohio
purposes only and is not to be used to transfer said property.



Robert T. Patridge Jr.
Robert T. Patridge Jr.
Professional Surveyor No. 7462

Annexation Petition

Owner	Parcel No.	Tax Payer Address
Adam J. and Amanda J. Baden	519-441-12-001-000	2001 Ashburn Drive Delaware, OH 43015
Max C. and Wendy R. Caldwell	519-441-02-013-000	1509 Bowtown Road Delaware, OH 13015
City of Delaware	519-441-01-001-001	1 South Sandusky Street Delaware, OH 43015
Janet I. Davis	519-441-02-011-001	1397 Bowtown Road Delaware, OH 43015
Nancy D. Johnson	519-441-02-005-000	1266 State Route 521 Delaware, OH 43015
Jarrett R. Laine	519-441-12-002-000	1995 Ashburn Drive Delaware, OH 43015
William A. and Cathy S. Rausch	519-441-02-001-000	1420 State Route 521 Delaware, OH 43015
Paul C. and Sharon K. Ray	519-441-11-001-000	2000 Ashburn Drive Delaware, OH 43015
Stephen M. Stockdale	519-441-02-011-000	1389 Bowtown Road Delaware, OH 43015

2018 MAY 14 AM 10: 51

**IN RE: ANNEXATION PETITION
(R.C. 709.023)**

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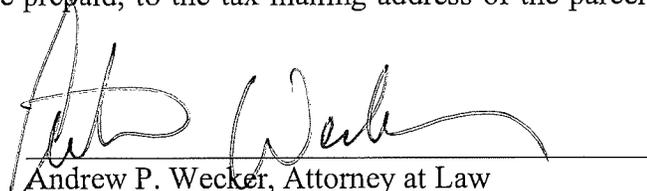
Notice of Service

Owner: Joshua Morgan
Acreage: 2.091
From Delaware Township to the City of Delaware

This Notice is being submitted pursuant to Ohio Rev. Code § 709.023(B). The undersigned, as agent for the Petitioners, notified the City of Delaware and Delaware Township, respectively, of the time and date of the filing of the Petition, the county to which it was filed, and provided a copy of the Petition and attached Exhibits "A" and "B" and a copy of the list of adjacent tracts or parcels by certified mail, return receipt requested, directed to (1) Ms. Barbara Thomas, Delaware Township Fiscal Officer, 1811 Liberty Road, Delaware, Ohio 43015 on April 25, 2018, received on April 27, 2018 and (2) Ms. Elaine McCloskey, Council Clerk, City of Delaware, 1 South Sandusky Street, Delaware, Ohio 43015, also on April 25, 2018, received on April 27, 2018. A copy of the receipt for the certified mail to Ms. Barbara Thomas is attached. A copy of the letter to Ms. McCloskey, stamped with a received date, is also attached.

In addition, the adjacent property owners as listed in the supplemental filing to the petition were all notified by ordinary mail, postage prepaid, to the tax mailing address of the parcel on April 25, 2018.

May 10 2018
Date


Andrew P. Wecker, Attorney at Law
Agent for Petitioners
MANOS, MARTIN & PERGRAM CO., LPA
50 North Sandusky Street
Delaware, OH 43015-1926
(740) 363-1313
Telecopier: (740) 362-3288
awecker@mmpdlaw.com

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<p><input type="checkbox"/> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</p> <p><input type="checkbox"/> Print your name and address on the reverse so that we can return the card to you.</p> <p><input type="checkbox"/> Attach this card to the back of the mailpiece, or on the front if space permits.</p>	<p>A. Signature <input type="checkbox"/> Agent <input checked="" type="checkbox"/> <i>Barbara Thomas</i> <input type="checkbox"/> Addressee</p>	
<p>1. Article Addressed to:</p> <p>Ms. Barbara Thomas Delaware Township Fiscal Officer 1811 Liberty Road Delaware, OH 43015</p>	<p>B. Received by (Printed Name) <i>Barbara Thomas</i></p>	<p>C. Date of Delivery <i>7/27/13</i></p>
	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>	
<p>2. Article Number (Transfer from service label)</p>	<p>3. Service Type <input checked="" type="checkbox"/> Certified Mail® <input type="checkbox"/> Priority Mail Express™ <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> Collect on Delivery</p>	
	<p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>	
<p>PS Form 3811, July 2013 Domestic Return Receipt</p>		

7010 1060 0001 0409 3774

RECEIVED

APR 27 2018

Manos, Martin & Pergram Co., LPA

Attorneys at Law

50 North Sandusky Street
Delaware, Ohio 43015-1926
Fax 740-362-3288

Andrew P. Wecker
740-363-1313, ext. 217
e-mail: awecker@mmpdlaw.com

April 25, 2018

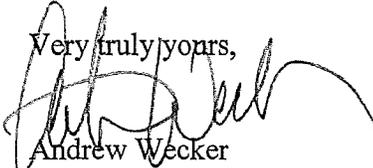
**Via Certified Mail
Return Receipt Requested**

Ms. Elaine McCloskey
Council Clerk
City of Delaware
1 South Sandusky Street
Delaware, OH 43015

Dear Ms. McCloskey:

On April 25, 2018 at 10:25 a.m., the undersigned, as agent for the Petitioner, Joshua Morgan, filed a petition with the Board of County Commissioners of Delaware County, Ohio to annex 2.091 acres of land to the City of Delaware, Ohio. A copy of the petition and map and supplemental filing pursuant to Ohio Rev. Code § 709.02(D) are enclosed herewith.

Very truly yours,



Andrew Wecker

tjh
Enclosures
T13475-101

Manos, Martin & Pergram Co., LPA

Attorneys at Law

50 North Sandusky Street
Delaware, Ohio 43015-1926
Fax 740-362-3288

May 10, 2018

Terri Huffman, Legal Assistant
Office Administrator
740-363-1313, ext. 207
e-mail: terri@mmpdlaw.com

Ms. Jennifer M. Walraven
Clerk to the Board of County Commissioners
101 North Sandusky Street, 1st Floor
Delaware, OH 43015-1732

Dear Jennifer:

RE: Morgan Petition for Annexation

Enclosed for filing in connection with the reference annexation is a Notice of Service. Please return the extra copy of the first page to this office, date-stamped, in the enclosed return envelope.

Please contact this office with any questions. Thank you for your assistance.

Very truly yours,



Terri Huffman
Legal Assistant

Enclosures

c/enc. Josh Morgan

c. Andrew P. Wecker, Esq.

(F13475-101)

PETITION FOR ANNEXATION – EXPEDITED TYPE 2

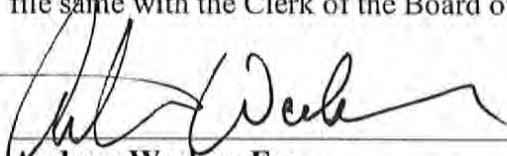
I, the undersigned, being the sole owner of 2.091 acres of real estate in the territory hereinafter described, hereby petition for the annexation of the following described territory from **Delaware Township** to the **City of Delaware**, Delaware County, Ohio, being filed under **Sections 709.021(A) and 709.023(A)** of the Revised Code of Ohio.

Petitioner has attached hereto and made a part of this petition a legal description of the perimeter of the territory sought to be annexed, marked as **Exhibit “A”**, as prepared by Robert T. Patridge, P.S., Registered Surveyor No. 7462.

Petitioner has attached hereto and made a part of this petition an accurate map or plat of the territory sought to be annexed, marked **Exhibit “B”**, also as prepared by Robert T. Patridge, P.S., Registered Surveyor No. 7462. Among other things as noted on Exhibit “A” and Exhibit “B”, the described territory is contiguous with the **City of Delaware**, Ohio.

Andrew Wecker, Esq., attorney at law, is hereby appointed agent for the undersigned Petition as required by Revised Code Section 709.02(C)(3), with full power and authority hereby granted to said agent to amend, alter, change, correct, withdraw, refile, substitute, compromise, increase or delete the area, to do any and all things essential thereto, and to take any action necessary for obtaining the granting of this Petition, with specific authorization to correct any discrepancy or mistake noted by the Delaware County Engineer in examination of the Petition or the Exhibits to the Petition. Any such amendment shall be made by the presentation of amended description and map to the Board of County Commissioners on, before, or after the date set for hearing on this Petition. Said amendment, alteration, change, correction, withdrawal, refile, substitution, compromise, increase or deletion or other things or action for granting of this Petition shall be made in the Petition, description and plat by said agent without further expressed consent of the Petition.

The City of Delaware will pass and submit to the Board of Commissioners of Delaware County a resolution of services within twenty (20) days of the date of the filing of this Petition and file same with the Clerk of the Board of Commissioners of Delaware County, Ohio.



Andrew Wecker, Esq.
Manos, Martin & Pergram Co., LPA
50 North Sandusky Street
Delaware, OH 43015

740-363-1313 phone / 740-362-3288 fax
awecker@mmpdlaw.com

RECEIVED
2010 APR 25 AM 10:24
DELAWARE COUNTY
COMMISSIONERS

Return original to:

Clerk of the Board of the Delaware County Commissioners
101 North Sandusky Street, Delaware, OH 43015

"WHOEVER SIGNS THIS PETITION EXPRESSLY WAIVES THEIR RIGHT TO APPEAL IN LAW OR IN EQUITY FROM THE BOARD OF COUNTY COMMISSIONERS' ENTRY OF ANY RESOLUTION PERTAINING TO THIS SPECIAL ANNEXATION PROCEDURE. ALTHOUGH A WRIT OF MANDAMUS MAY BE SOUGHT OUT TO COMPEL THE BOARD TO PERFORM ITS DUTIES REQUIRED BY LAW FOR THIS SPECIAL ANNEXATION PROCEDURE."

SIGNATURE OF PETITIONER, TYPED NAME AND ADDRESS

DATE



JOSHUA MORGAN
862 Township Road 208
Marengo, OH 43334

4/29/18

ATTACHMENTS:

Exhibit "A" – Legal Description of 2.091 Acre Tract for Annexation to the City of Delaware from the Township of Delaware by Robert T. Patridge, P.S., Registered Surveyor No. 7462.

Exhibit "B" – Map of Territory to be Annexed Type II Annexation Plat by Robert T. Patridge, P.S., Registered Surveyor No. 7462.

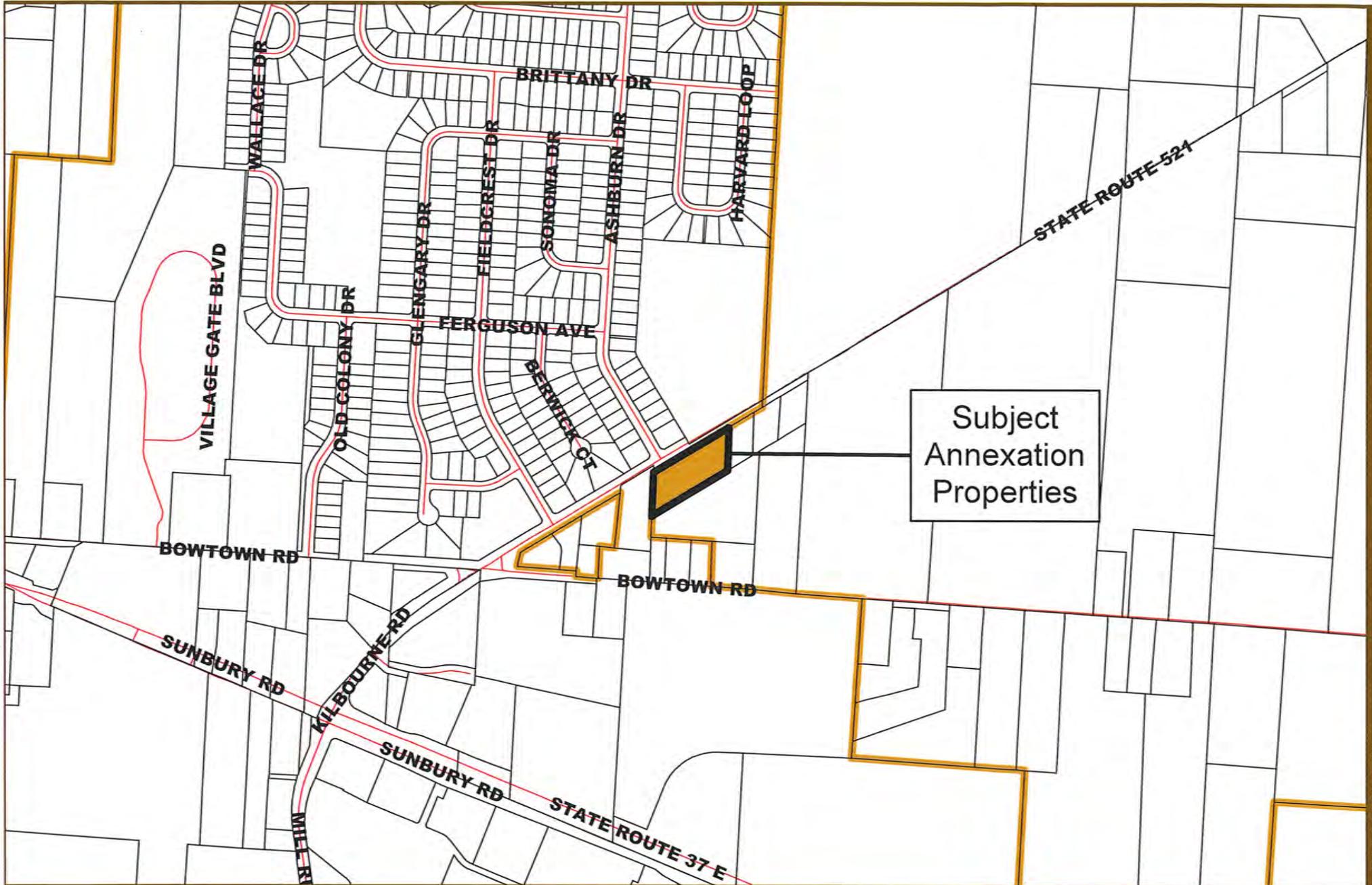


Subject
Annexation
Properties



Joshua Morgan Properties Annexation
1354 State Route 521
(Lots 586, 587, and 588)
Aerial (2016) Map





Subject
Annexation
Properties



Joshua Morgan Properties Annexation
1354 State Route 521
(Lots 586, 587, and 588)
Location Map





FACT SHEET

AGENDA ITEM NO: 15

DATE: 07/23/2018

ORDINANCE NO: 18-63

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: NO

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE APPROVING A FINAL SUBDIVISION PLAT REQUEST BY STAVROFF LAND DEVELOPMENT INC., FOR BELMONT PLACE SECTION 5 CONSISTING OF 38 SINGLE FAMILY LOTS ON APPROXIMATELY 11.083 ACRES ZONED R-3 PMU (ONE-FAMILY RESIDENTIAL WITH A PLANNED MIXED USE OVERLAY DISTRICT) AND LOCATED ON MCNAMARA LOOP AND NEVILLE LANE.

BACKGROUND:

See attached report

REASON WHY LEGISLATION IS NEEDED:

To achieve compliance with Chapter 1111 Subdivision Regulations of the zoning code.

COMMITTEE RECOMMENDATION:

Planning Commission approved this case 6-0 on July 18, 2018.

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

David Efland, Planning and Community Development Director

RECOMMENDATION:

Staff recommends approval as submitted with the documented conditions.

ATTACHMENT(S)

See attached

ORDINANCE NO. 18-63

AN ORDINANCE APPROVING A FINAL SUBDIVISION PLAT REQUEST BY STAVROFF LAND DEVELOPMENT INC., FOR BELMONT PLACE SECTION 5 CONSISTING OF 38 SINGLE FAMILY LOTS ON APPROXIMATELY 11.083 ACRES ZONED R-3 PMU (ONE-FAMILY RESIDENTIAL WITH A PLANNED MIXED USE OVERLAY DISTRICT) AND LOCATED ON MCNAMARA LOOP AND NEVILLE LANE.

WHEREAS, the Planning Commission at its meeting of July 18 2018 recommended approval of a Final Subdivision Plat request by Stavroff Land Development Inc., for Belmont Place Section 5 consisting of 38 single family lots on approximately 11.083 acres zoned R-3 PMU (One-Family Residential with a Planned Mixed Use Overlay District) and located on McNamara Loop and Neville Lane (PC 2018-1389).

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Final Subdivision Plat request by Stavroff Land Development Inc., for Belmont Place Section 5 consisting of 38 single family lots on approximately 11.083 acres zoned R-3 PMU (One-Family Residential with a Planned Mixed Use Overlay District) and located on McNamara Loop and Neville Lane is hereby confirmed, approved, and accepted with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The off-site stormwater improvements shall comply with the minimum City and County regulations.
3. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
4. The single family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
5. All homes shall have basements which shall have gravity sewer to the lowest elevation to allow for basement bathrooms and fixtures by

gravity connection only. Hung sewers, grinder pumps and the like shall not be permitted.

- 6. A minimum 3 foot high mound with landscaping shall be located in Lot 12081 of Section 5 between Sub-Area A and the rear of the adjacent single family lots to the east. The evergreen trees shall be a minimum 4 foot high at installation and the deciduous trees shall be a minimum 1.75 inch caliper. The maintenance of the mound and associated landscaping shall be the responsibility of the Homeowner's Association. The subject plan shall be reviewed and approved by the Shade Tree Commission.
- 7. A street tree plan shall be submitted and approved by the Shade Tree Commission.
- 8. Any tree removal and/or replacement requirements shall achieve compliance with Chapter 1168 Tree Preservation Regulations and shall be required prior to any building permits in Section 5.
- 9. This section of the Belmont Place Subdivision shall be placed in the Delaware South New Community Authority prior to issuance of building permits, is located within the Evans Residential TIF district and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling unit.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS___NAYS___
ABSTAIN ___

PASSED: _____, 2018

YEAS___NAYS___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR

CASE NUMBER: 2018-1389

REQUEST: Final Subdivision Plat

PROJECT: Belmont Place – Section 5

MEETING DATE: July 18, 2018

APPLICANT/OWNER

Stavroff Land & Development, Inc.
6689 Dublin Center Drive
Dublin, Ohio 43017

REQUEST

2018-1389: A request by Stavroff Land and Development Inc., for approval of a Final Subdivision Plat for Belmont Place Section 5 consisting of 38 single family lots on approximately 11.083 acres zoned R-3 PMU (One-Family Residential with a Planned Mixed Use Overlay District) and located on McNamara Loop and Neville Lane.

PROPERTY LOCATION & DESCRIPTION

The property is located on the east side of Glenn Parkway and north of Peachblow Road. The zoning of the subject property, which is in Sub-Area B per the May 2009 rezoning, is R-3 PMU. The surrounding zoning to the east and south is Berlin Township FR-1 (Farm Residential Zoning), to the west is B-4 & R-6 PMU (General Business District and Multi-Family Residential with a Planned Mixed Use Overlay District) with text limitations, and to the north is PO/I PMU (Planned Office/Institutional District with a Planned Mixed Use Overlay District). The proposed development contains approximately 11.083 acres. The site work in Sections 1-4 have been completed with several houses built and more to be constructed. The remainder of the property is vacant farmland without trees except for along the northern property boundary. In addition, the subject development is located within the Delaware South New Community Authority and Evans Residential TIF District.

BACKGROUND/PROPOSAL

On May 11, 2009 City Council approved Ordinances 08-112 and 08-113 which approved a Conditional Use Permit and Rezoning adding a PMU Overlay District (Planned Mixed Use District) on the subject 109 acres. The PMU was divided into Sub Areas A & B which contained 62 and 47 acres respectively (now approximately 56 and 53 acres respectively). Sub Area A permits residential, office, retail services, communities facilities and recreational/open space uses while Sub Area B permits residential, office, community facilities and recreational/open space uses.

In December 2013, Planning Commission and City Council approved Preliminary Development Plans and Preliminary Subdivision Plats (Ordinances 13-76 & 13-77) for Sections 1-3 which contained 74 single family lots on approximately 31.5 acres which also included a concept plan of today's Section 4 and 5. Then in March 2014, Planning Commission and City Council approved Final Development Plans for Sections 1-3 (Ordinance 14-16) and Final Subdivision Plat for Section 1 (Ordinance 14-17). Next in April 2016, Planning Commission and City Council approved Final Subdivision Plats for Sections 2 and 3 (Ordinances 16-30 & 16-31 respectively). Finally in June 2017, Planning Commission and City Council approved Preliminary and Final Development Plans for Sections 4 and 5 (Ordinances 17-45 & 17-46), Preliminary Subdivision Plats for Sections 4 and 5 (Ordinance 17-47), and a Final Subdivision Plat for Section 4 (Ordinance 17-48).

Now the applicant is proposing to complete Section 5 which contains the remaining 11.083 acres of Sub-Area B with 38 single family lots, which are located just north of Sections 1-3 and west of Section 4. The developer is requesting Final Subdivision Plat approval for Section 5.

STAFF ANALYSIS

- **COMPREHENSIVE PLAN AMENDMENT:** The Comprehensive Plan Future Land Use Map recommends Mixed Use future land use for this and the surrounding properties. The existing zoning complies with this mixed land use recommendation by mixing commercial, office, and residential uses along with the proposed mix of residential densities and unit types in this sub-area. Therefore, the proposed single family subdivision would achieve compliance with the land use plan.
- **ZONING:** As mentioned above, the subject site is zoned R-3 PMU (One Family Residential District with Planned Mixed Use Overlay District) with text limitations. From a procedural perspective, a Final Subdivision Plat for Section 5 would require Planning Commission and City Council approval.

- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on a technical review by the Engineering Department once a complete plan set is submitted for review.
- **UTILITIES:** Both water and sewer utilities would be public and would be extended into the subject development. Also, the development would have to comply with the current storm water requirements. The subject development is located in the South East Highland Sanitary Sewer District which requires an additional capacity charge of \$3,200 per dwelling unit.
- **ROADS AND ACCESS:** Section 5 would be accessed from existing Bret's Lane (constructed in Sections 1-3) via Crownover Way from Peachblow Road. In Section 5, McNamara Loop would be extended west from Squaregaiter Lane forming the northern and western streets of the subdivision. Neville Lane extends north from Bret's Lane bisecting McNamara Loop. Ultimately, Crownover Way would be extended north and west to Glenn Parkway when Sub-Area A is developed. All the streets would be public and would have to comply with the minimum engineering standards.
- **SITE LAYOUT:** The final section in Sub-Area B encompasses 11.083 acres and consists of 38 single family lots which are located on the northwestern portion of the development and is a natural extension of Sections 1-4.

Section 5 is located along the northwestern portion of the site and is accessed by McNamara Loop and Neville Lane from Brets Lane. Lot 12081 (Reserve "E") is located along the western portion of the development to provide a buffer to the future Crownover Way extension that would be required when Sub-Area A is developed.

The approved development text has the following single family lot requirements: 8,125 square foot minimum lot, 65 foot minimum lot width, 125 foot minimum lot depth, 30 foot front yard setback, 8 foot side yard setback; 30 foot rear yard setback, 1,500 square foot minimum house size and 25 foot building and pavement minimum perimeter setback. In addition, the corner lots would need to be oversized by 30% (85 foot wide) to comply with the current zoning code. Section 5 achieves compliance with all the above lot requirements.

- **DESIGN** The houses would not only have to meet the minimum standards of the Residential Development Design Criteria and Performance Standards in Chapter 1171, but also the more restrictive residential architectural standards in the approved development text. Some of the upgrades include: 1.) At least 50% of the front elevation of all homes shall consist of approved natural materials as defined in the text (stucco is not considered a natural material); 2.) Upgraded garage door standards for doors that face a public street; 3.) No blank walls; 4.) The same model of home or the same exterior color of the home shall not be placed on adjacent lots and shall not be placed on facing lots.
- **OPEN SPACE & PARKLANDS** The Final Subdivision Plat for Section 5 identifies Lot 12081 (Reserve "E") as 1.277 acres of open space and should be the responsibility of the Homeowner's Association. This lot would contain mounding and landscaping to buffer the future Crownover Way extension (that would be required when Sub-Area A is developed) from the single family lots to the east in Section 5. From a "macro" perspective, the developer in Sections 1-4 provided 8.61 acres of open space and parkland for the subdivision along with extending a bike path along Peachblow Road. Specifically, there are pocket parks located in Sections 1 and 4.
- **LANDSCAPING PLAN:** The applicant has submitted a comprehensive landscaping plan that includes street trees and perimeter landscaping along the western boundary in Lot 12081 (Reserve "E"). To be consistent with Section 1, a minimum 3 foot high mound with landscaping adjacent to Sub-Area A shall be required. The evergreen trees shall be a minimum 4 foot high at installation and the deciduous trees shall be a minimum 1.75 inch caliper. The maintenance of the mound and associated landscaping shall be the responsibility of the Homeowners Association. It is imperative that the Applicant coordinate the landscaping plan and street tree plan with the engineering site development plan so that the landscaping does not impeded visibility at intersections or the visibility of any traffic control signs. The Shade Tree Commission would have to review and approve the aforementioned plans.

- **TREE REMOVAL & REPLACEMENT:** Because the remainder of the site is essentially open farmland, the only trees on the site are located on the northern property line and only a minimal amount if any would be removed with the proposed development. Until a final grading plan is approved, the exact numbers of trees removed (if any) would not be determined especially along the northern property line. Therefore, any tree replacement calculations would have to occur during final plat approvals for each section.
- **PEDESTRIAN CONNECTIVITY:** Sidewalks would be required on all public streets in Section 5. Also, a bike path was constructed along Peachblow Road and stubs into the property to the east with the development of Section 1.
- **LIGHTING PLAN.** The lighting plans for Section 5 were approved with Section 4 by the Chief Building Official on May 17, 2017.

STAFF RECOMMENDATION – (2018-1389 FINAL SUBDIVISION PLAT)

Staff recommends approval of a request by Stavroff Land and Development Inc., for approval of a Final Subdivision Plat for Belmont Place Section 5 consisting of 38 single family lots on approximately 11.083 acres zoned R-3 PMU (One-Family Residential with a Planned Mixed Use Overlay District) and located on McNamara Loop and Neville Lane, with the following conditions that:

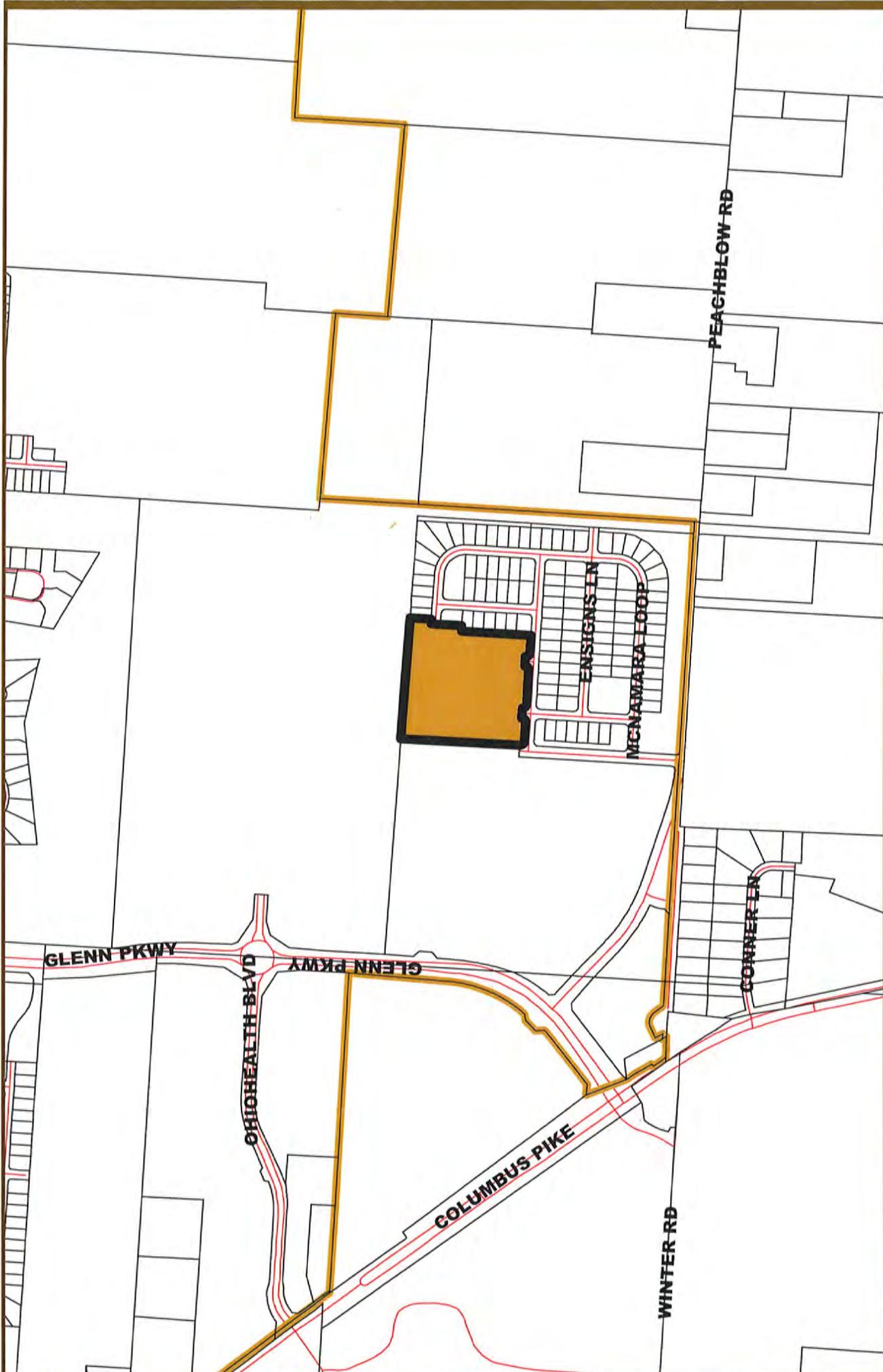
1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department.
2. The off-site stormwater improvements shall comply with the minimum City and County regulations.
3. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
4. The single family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
5. All homes shall have basements which shall have gravity sewer to the lowest elevation to allow for basement bathrooms and fixtures by gravity connection only. Hung sewers, grinder pumps and the like shall not be permitted.
6. A minimum 3 foot high mound with landscaping shall be located in Lot 12081 of Section 5 between Sub-Area A and the rear of the adjacent single family lots to the east. The evergreen trees shall be a minimum 4 foot high at installation and the deciduous trees shall be a minimum 1.75 inch caliper. The maintenance of the mound and associated landscaping shall be the responsibility of the Homeowner's Association. The subject plan shall be reviewed and approved by the Shade Tree Commission.
7. A street tree plan shall be submitted and approved by the Shade Tree Commission.
8. Any tree removal and/or replacement requirements shall achieve compliance with Chapter 1168 Tree Preservation Regulations and shall be required prior to any building permits in Section 5.
9. This section of the Belmont Place Subdivision shall be placed in the Delaware South New Community Authority prior to issuance of building permits, is located within the Evans Residential TIF district and is subject to the South East Highland Sanitary Sewer additional capacity charge of \$3,200 per dwelling unit.

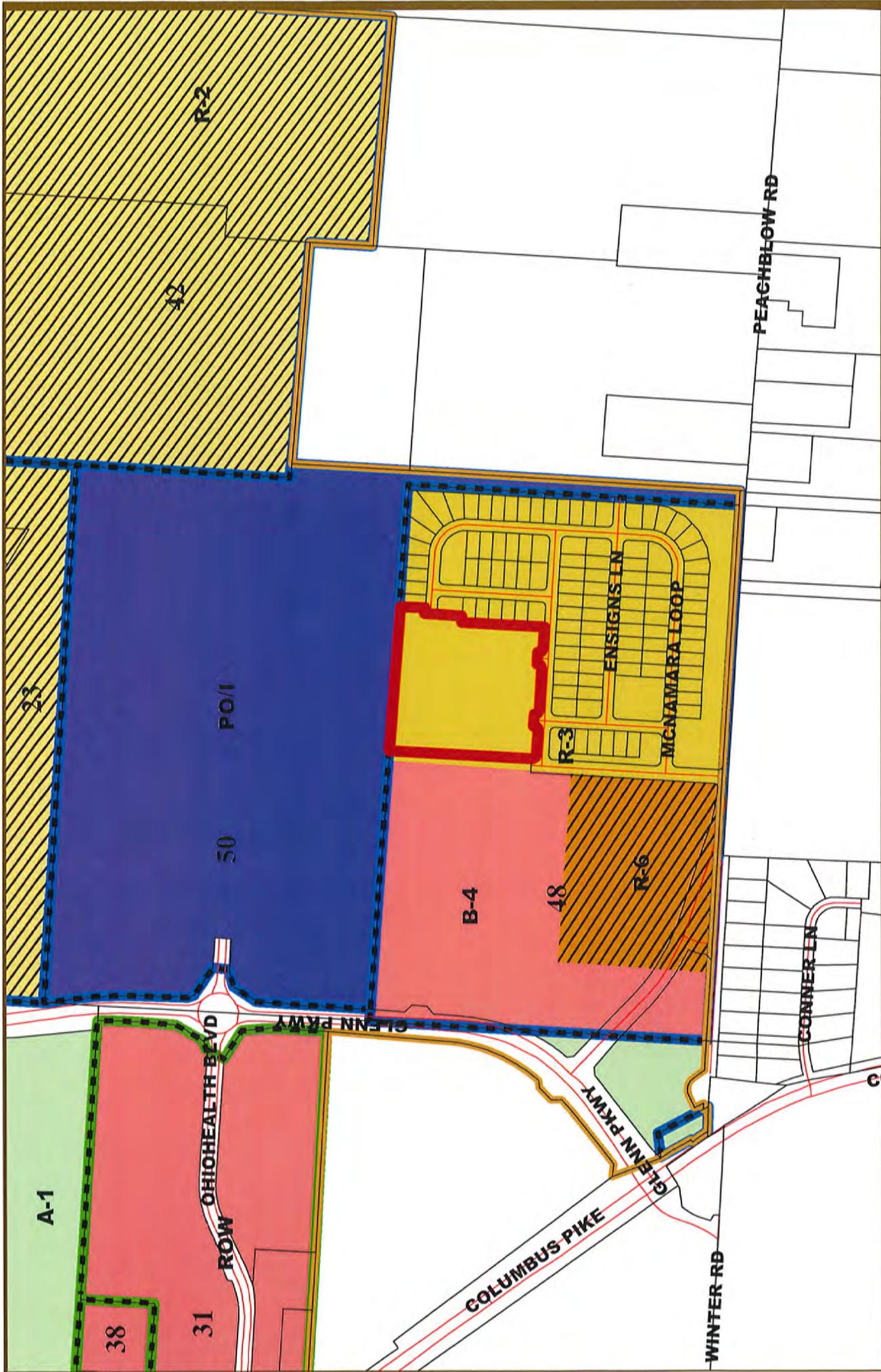
COMMISSION NOTES:

FILE:
ORIGINAL: 7/12/18
REVISED:



2018-1389
Final Subdivision Plat
Belmont Place - Section 5
Location Map





2018-1389
 Final Subdivision Plat
 Belmont Place - Section 5
 Zoning Map



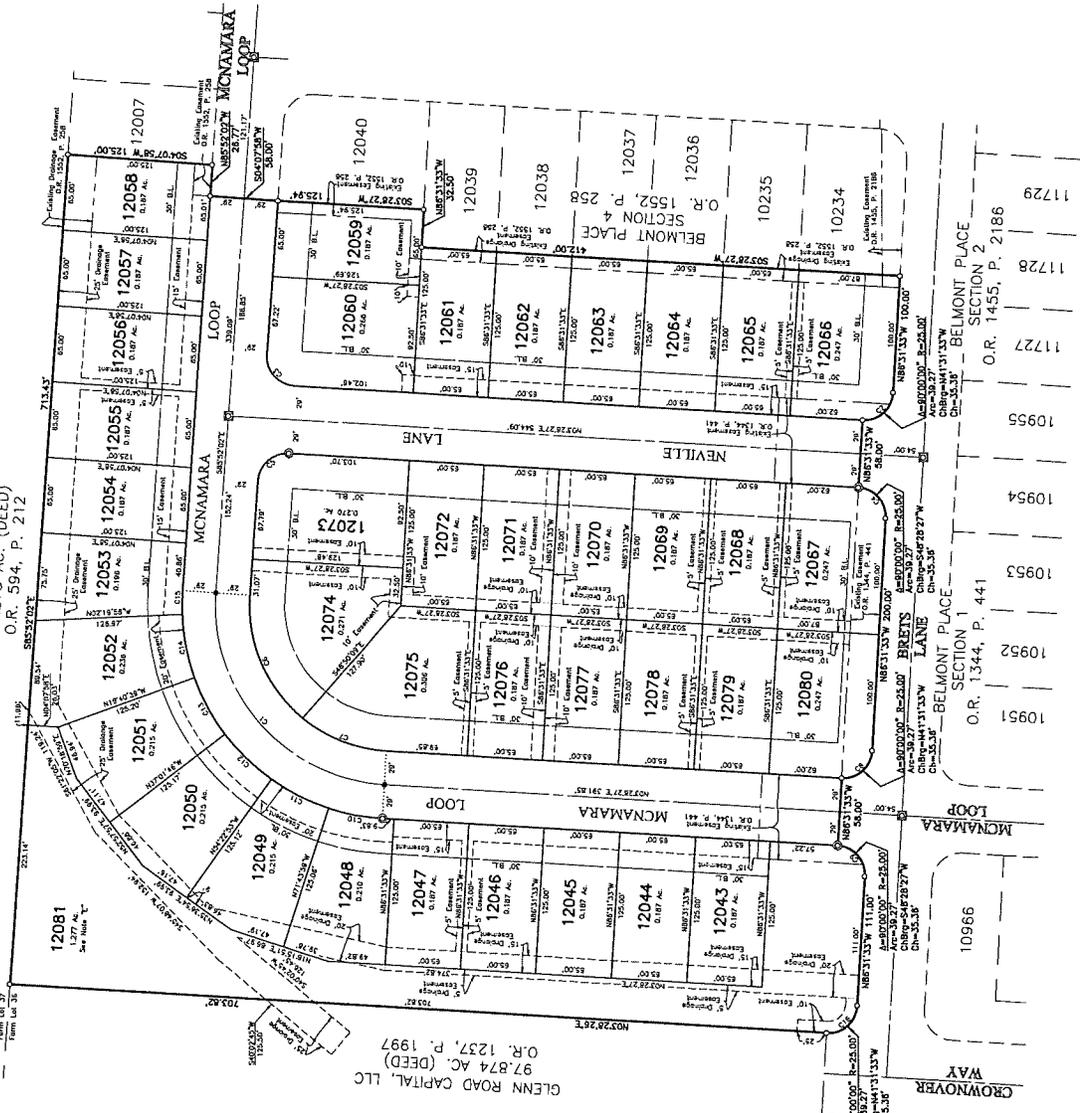


2018-1389
Final Subdivision Plat
Belmont Place - Section 5
Aerial (2016) Map



BELMONT PLACE SECTION 5

GRADY MEMORIAL HOSPITAL
105.278 AC. (DEED)
O.R. 594, P. 212



GLENN ROAD CAPITAL, LLC
O.R. 1237, P. 1997

NOTE "A": Notice is hereby given to any buyer of the lots delineated upon this plat, that on file with the Building Department of the City of Delaware, are site improvement drawings, proposed around elevation at house number lot drainage, proposed around elevation at house number lot grading plans. These plans, as approved by the governmental agencies, are considered part of the approval of this plat. Any person acquiring any lot hereon shall be bound by the terms and conditions of the site improvement drawings and grading plans required with the building permit.

NOTE "B": MINIMUM SETBACKS: City of Delaware Zoning regulations for Belmont Place Section 5 in effect at the time of platting specifies the following setback requirements:
Average lot size: 65 feet by 135 feet
Front yard: 30 feet
Side yard: 10 feet
Rear yard: 30 feet
Zoning classification: Sub-Area B (PMB/R3)

The purpose of this plat is to show certain property, rights of way and easement boundaries as of the time of platting. At the time of platting, the plat shows some of the limitations and requirements of the zoning code in effect on the date of filing. The zoning code may change from time to time and should be reviewed to determine the then current applicable use and development authority having jurisdiction. The then applicable zoning code shall control over conflicting limitations and requirements that may be shown on this plat. The platting process does not constitute an endorsement, approval, or warranty by the City of Delaware, its officers, employees, agents or representatives, in connection with the land or title restrictions, covenants, restrictions, private use limitations, or any name, except to the extent specifically identified as such.

NOTE "C": As per City of Delaware Official Code, all lots within Belmont Place Section 5 are subject to the terms, conditions, restrictions (including lighting and house number) and easements shown on the preliminary plat and preliminary plat entitled "Hawner Subdivision", and preliminary plat being approved on December 9, 2013 by Ordinance No. 127, as amended, and the City of Delaware Department of Planning and Community Development as PC 2013-127.

NOTE "D": All utilities within Belmont Place Section 5 shall be installed underground. Electric, telephone and cable TV, water, sewer and gas lines shall be installed in accordance with the rules and regulations of the respective utility companies. The platting process does not constitute an endorsement, approval, or warranty by the City of Delaware, its officers, employees, agents or representatives, in connection with the land or title restrictions, covenants, restrictions, private use limitations, or any name, except to the extent specifically identified as such.

NOTE "E": LOT DIMS: Lot 12061, as numbered and delineated hereon, shall be entered and maintained by an owner of the lot in the Belmont Place subdivision for the purpose of open space.

NOTE "F": -ACREAGE BREAKDOWN: Belmont Place Section 5 is out of the following Delaware County Parcel Number:
Total acreage: 11.083 Ac.
Average lot size: 1277 Sq. Ft.
Average in remaining lots: 1590 Sq. Ft.

NOTE "G": -ACREAGE BREAKDOWN: Belmont Place Section 5 is out of the following Delaware County Parcel Number:
Total acreage: 11.083 Ac.

NOTE "H": At the time of platting, electric, telephone and cable service providers have not issued information required so that comment sections holders for the installation and maintenance of all of their main line facilities, could be conveniently shown on this plat. The platting process does not constitute an endorsement, approval, or warranty by the City of Delaware, its officers, employees, agents or representatives, in connection with the land or title restrictions, covenants, restrictions, private use limitations, or any name, except to the extent specifically identified as such.

CHDR NO.	DELTA	NUMS	LENGTH	CHDR BEARING	CHDR DISTANCE
C1	1073031*	154.00	243.87	S 49°41'27" W	219.20
C2	1073031*	25.00	20.27	N 41°31'33" W	20.26
C3	1073031*	25.00	20.26	N 49°41'27" E	20.26
C4	1073031*	25.00	20.27	S 49°41'27" W	20.27
C5	1434332	132.00	134.60	N 88°52'00" E	134.60
C6	1335554*	125.00	78.30	N 27°28'24" E	27.11
C7	1073031*	25.00	20.27	N 41°31'33" W	20.26
C8	1073031*	25.00	20.27	S 49°41'27" W	20.27
C9	1474733	183.00	47.25	S 69°51'17" W	47.17
C10	1721107	183.00	55.47	S 85°54'34" W	55.31
C11	1721107	183.00	55.47	S 41°18'41" W	55.21
C12	1721107	183.00	55.47	S 41°18'41" W	55.21
C13	1721107	183.00	55.47	S 41°18'41" W	55.21
C14	1721107	183.00	20.87	N 89°56'54" W	20.87
C15	1721107	183.00	20.87	N 89°56'54" W	20.87
C16	1073031*	25.00	20.27	N 41°31'33" W	20.26





**CITY OF DELAWARE, OHIO
PLANNING & COMMUNITY DEVELOPMENT
MASTER APPLICATION FORM**



Project # _____ Case # _____

Planning Commission

- | | | |
|--|--|---|
| <input type="checkbox"/> Amended Final Development Plan | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use |
| <input type="checkbox"/> Amended Final Subdivision Plat | <input checked="" type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Vacation-Alley |
| <input type="checkbox"/> Amended Preliminary Development Plan | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat | <input type="checkbox"/> Floodplain Permit | <input type="checkbox"/> Vacation-Street |
| <input type="checkbox"/> Annexation Review | <input type="checkbox"/> Lot Split | <u>Board of Zoning Appeals</u> |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Development Plan | <input type="checkbox"/> Conditional Use Permit |
| <input type="checkbox"/> Concept Plan | <input type="checkbox"/> Preliminary Dev Plan Extension | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Preliminary Sub Plat | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Determination of Similar Use | <input type="checkbox"/> Preliminary Sub Plat Extension | |
| <input type="checkbox"/> Development Plan Exemption | <input type="checkbox"/> Rezoning | |
| <input type="checkbox"/> Final Development Plan | <input type="checkbox"/> Subdivision Variance | |

Subdivision/Project Name Belmont Place Section 5 Address 1730' East from the Intersection of Peachblow Rd & Glenn Rd, North of Bret's Lane
 Acreage 11.083 Square Footage --- Number of Lots 38 Number of Units ---
 Zoning District/Land Use PMU/R3 Proposed Zoning/Land Use --- Parcel # 41833001032000

Applicant Name Stavroff Land & Development, Inc. Contact Person Kevin McCauley
 Applicant Address 6689 Dublin Center Drive, Dublin, Ohio 43017

Phone 614-764-9981 Fax _____ E-mail Kevin@stavroff.com

Owner Name Stavroff Land & Development, Inc. Contact Person Kevin McCauley
 Owner Address 6689 Dublin Center Drive, Dublin, Ohio 43017

Phone 614-764-9981 Fax _____ E-mail Kevin@stavroff.com

Engineer/Architect/Attorney EMH&T Contact Person Scott Mincks
 Address 5500 New Albany Road, Columbus, Ohio 43054

Phone 614-775-4432 Fax _____ E-mail smincks@emht.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

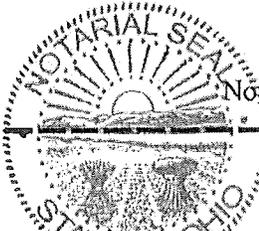
[Signature]
 Owner Signature

Kevin McCauley - Authorized Agent
 Owner Printed Name

Scott Mincks
 Agent Signature

Scott Mincks
 Agent Printed Name

Sworn to before me and subscribed in my presence this 24th day of May, 2018

 **CRISTINA E. DIONNE**
 Notary Public
 FOR THE
 STATE OF OHIO
 My Commission Expires
 November 26, 2021

[Signature]
 Notary Public



FACT SHEET

AGENDA ITEM NO: 16

DATE: 07/23/2018

ORDINANCE NO: 18-64

RESOLUTION NO:

READING: FIRST

PUBLIC HEARING: YES
August 13, 2018 at 7:30 p.m.

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT REQUEST BY N & G TAKHAR OIL LLC FOR A RENOVATION AND EXPANSION OF THE MARATHON GAS STATION AT 473 SOUTH SANDUSKY STREET ON APPROXIMATELY 0.80 ACRES ON PROPERTY ZONED B-3 (COMMUNITY BUSINESS DISTRICT).

BACKGROUND:

See attached staff report.

REASON WHY LEGISLATION IS NEEDED:

To achieve compliance with Section 1148 Conditional Use Regulations of the zoning code.

COMMITTEE RECOMMENDATION:

Planning Commission recommended approval by a vote of 6-0 on July 18, 2018.

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

David Efland, Planning and Community Development Director

RECOMMENDATION:

Staff recommends approval

ATTACHMENT(S)

See attached

ORDINANCE NO. 18-64

AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT REQUEST BY N & G TAKHAR OIL LLC FOR A RENOVATION AND EXPANSION OF THE MARATHON GAS STATION AT 473 SOUTH SANDUSKY STREET ON APPROXIMATELY 0.80 ACRES ON PROPERTY ZONED B-3 (COMMUNITY BUSINESS DISTRICT).

WHEREAS, the Planning Commission at its meeting on July 18, 2018 recommended approval of a Conditional Use Permit request by Takhar Oil LLC., for a Renovation and Expansion of the Marathon Gas Station at 473 South Sandusky Street on approximately 0.80 acres on property zoned B-3 (Community Business District) (2018-1462).

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Conditional Use Permit request by Takhar Oil LLC., for a Conditional Use Permit for a Renovation and Expansion of the Marathon Gas Station at 473 South Sandusky Street on approximately 0.80 acres on property zoned B-3 (Community Business District), is hereby confirmed, approved and accepted with the following conditions that:

1. No overnight semi-truck parking shall be permitted within the subject development and the applicant shall be responsible for ensuring compliance of such.
2. No inoperable vehicle(s) shall be permitted to remain on the property for more than 48 hours.
3. Any outdoor merchandise (ice box, propane tanks, etc.) shall be located on the north or south side of the building with installation of low wall (2 to 3 feet tall) as approved by staff to delineate the storage area and shield the "outside merchandise" from public right-of-way. No movie boxes, ATM machines, etc., shall be allowed outside the building.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS ___ NAYS ___
ABSTAIN ___

PASSED: _____, 2018

YEAS ___ NAYS ___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR

CASE NUMBER: 2018-1462 & 2018-1718

REQUEST: Multiple Requests

PROJECT: Marathon Gas Station

MEETING DATE: July 18, 2018

APPLICANT/OWNER

N&G Takhar Oil LLC
4365 Lisa Drive
Tipp City, Ohio 45371

REQUEST

2018-1462: A request by N&G Takhar Oil LLC for approval of a Conditional Use Permit for a renovation and expansion of the Marathon Gas Station (former Swifty Gas Station) at 473 South Sandusky Street on approximately 0.80 acres on property zoned B-3 (Community Business District).

2018-1718: A request by N&G Takhar Oil LLC for approval of a Development Plan Exemption for a renovation and expansion of the Marathon Gas Station (former Swifty Gas Station) at 473 South Sandusky Street on approximately 0.80 acres on property zoned B-3 (Community Business District).

PROPERTY LOCATION & DESCRIPTION

The existing gas station is located at 473 South Sandusky Street on the east side of South Sandusky Street. The subject property is zoned B-3 (Community Business District) as are the properties to the north, south and east. The property to the west is zoned PO/I Planned Office/Institutional District.

BACKGROUND

In 1990, Swifty Service Station received a variance from the Board of Zoning Appeals (Case BZA 90-18) to allow the canopy within 3 feet of the public right-of-way. The Swifty Gas Station was closed a few years and the current owner purchased the gas station in 2014. The property is zoned B-3 which conditionally permits gas stations. Staff could not find a Conditional Use Permit on file for this subject site and gas station use.

The new owner is proposing to renovate and expand the gas station and brand it as a Marathon Gas Station. The gas station would be expanded to 3,800 square feet from its current size of approximately 500 square feet. The site would utilize the current two curb cuts from South Sandusky Street and the curb cut from the private drive to the north that would access four fuels pumps under a new canopy. A detention basin (bio-retention and rain garden) would be established on the eastern portion of the site located to the rear of the building.

STAFF ANALYSIS

- **ZONING:** As previously mentioned, the subject property is zoned B-3 (Commercial Business District) which allows a gas station with Conditional Use Permit approval by the Planning Commission and City Council. There is an existing closed gas station on the site and the proposal is to expand and renovate the site and building to better achieve compliance with current development requirements.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be detailed through the Engineering and Utilities Departments prior to final construction drawing approval. Utilities are available to the site and it is the responsibility of the applicant to construct whatever is required to service the site and use. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND ACCESS:** As mentioned above, the site would have access from South Sandusky Street from the two existing curb cuts and from the private drive to the north (a shared private drive with the VFW) by an existing curb cut.
- **PEDESTRIAN CONNECTIVITY:** The gas station is an urban setting with an existing sidewalk along South Sandusky Street that would remain. A bike path is proposed along South Sandusky Street per the Bicycle and Pedestrians Master Plan 2027 but this redevelopment would not trigger a required bike path. The current bike path is located on the west side of South Sandusky Street.

-
- **SITE CONFIGURATION:** The approximate 3,800 square foot gas station and convenience store would be located in the southern portion of the site with the two existing curb cuts from South Sandusky Street and one curb cut from the private drive to the north accessing the proposed 4 fuel pumps (the existing two gas pumps would be removed) which would be parallel with South Sandusky Street. There would be 6 parking space located on the north side of the building and 4 fuel bay parking spaces to accommodate the parking requirements. The applicant indicated a dumpster is proposed but the exact location is not identified. The dumpster would be required to be enclosed by a brick wall that matches the building and have wood doors painted or stained to match. Staff would require that an area (maybe just north or south of the building) should be dedicated for “outside merchandise” (ice box, propane tanks, seasonal items, mulch, etc.) with the installation of a low wall (2 to 3 feet tall) as approved by staff to delineate the storage area and shield the “outside merchandise” from the public right-of-way.
 - **BUILDING DESIGN:** The rectangular 3,800 square foot building’s front elevation would be oriented towards South Sandusky Street. The South Sandusky Street elevation is proposed to be brick veneer with two bays of windows flanking the entrance door while limestone would frame the main entrance door. The remainder of the elevations would be brick veneer. A pitched roof with fiberglass shingles would cap off the building. The pitched roof vehicular gas canopy would have a blue sign band and would be supported by eight limestone (cultured) faced columns (The current color elevation rendering of the canopy orientation does not match the proposed site plan but the applicant indicated they would likely have the revised color elevation rendering at the Planning Commission meeting). The sign band would be marathon blue with a white stripe. The building and fuel canopy appurtenances (coping, downspouts, etc.) should be painted to match the adjacent building surface. The limestone on the building and canopy columns shall be Delaware blue vein limestone (or cultured stone) or equivalent as approved by staff. Furthermore, any mechanical equipment would need to be screened from public view. Staff would need submittal of each building material with color samples with the building permit submittal to ensure compliance with this case.
 - **TREE REMOVAL & REPLACEMENT:** There does not appear to be any qualifying trees (6 inches or larger caliper) on the subject site that would be removed. If any qualifying trees area removed, they would have to be replaced per Chapter 1168 Tree Preservation Regulations.
 - **LANDSCAPING & SCREENING:** The development would require street trees along South Sandusky Street within the existing tree lawn as proposed per the plan. The Shade Tree Commission would have to review and approve all landscape plans.
 - **SIGNAGE:** The owner is proposing fuel canopy and ground signage. The vehicular fuel canopy sign on the north, south and west (front) elevation would encompass a maximum 22 square feet and would be required to be channel letters flush mounted on the canopy. The canopy signs shall be flush mounted (or inset to achieve a flush mounted appearance) such that the sign faces do not extend past the front face of the canopy. The existing pole sign located on the southern portion of the site would be replaced with a ground sign. The ground sign shall be a maximum be 8 feet high (40 square feet) mounted on a 3 foot high limestone base. The sign shall achieve compliance with the adopted City Gateway and Corridor Plan as well as the sign code. The sign shall be flush mounted to the stone base.
 - **LIGHTING:** The applicant is not proposing any new site light poles but the current lighting shall achieve compliance with the zoning illumination requirements. Any building lighting would have to achieve compliance with the minimum zoning requirements and would have to be approved by the Chief Building Official.
 - **MISCELLANEOUS:** Movie boxes, ATM machines, etc. would not be permitted outside the building. Any outdoor merchandise shall be designated in limited storage areas on the site plan as approved by staff and screened from the public right-of-way. Outdoor storage shall be contained to only those areas so designated to be consistent with other recently approved developments.
 - **DEVELOPMENT PLAN EXEMPTION:** Section 1129.06(k) of the Zoning Code authorizes the Director of Planning and Community Development to exempt small incidental construction, which does not result in an adverse impact to the site or surroundings, from the development plan review process. Should the Director make such a determination, the Planning Commission shall confirm or overturn the determination.
Section 1129.06(k) Development Plan Exemption. When a minor alteration is proposed to an existing building, structure, use or site arrangement the Director of Planning and Community Development may make a preliminary

determination that such a proposal is not contrary to the Zoning Ordinance and will not result in any material adverse impact to the site or surrounding areas. In such case, the Director may further determine that such proposal is not subject to development plan review. Such determination shall primarily apply to small incidental construction on large zoning lots and when the proposed construction is substantially distant and screened from the adjacent roadways and property lines.

If the Director makes a determination that such a proposal is not a minor alteration, the proposal shall fully comply with the development plan review procedures in Chapter 1129.

- (1) When the Director of Planning and Community Development makes such preliminary determination of administrative approval, the proposal shall be placed on the agenda of the next regularly scheduled Planning Commission meeting. At such meeting, the Planning Commission shall, by motion and majority vote, either:
 - A. Confirm the Director of Planning and Community Development's preliminary determination, in which case, the Director may issue a certificate of zoning compliance; or
 - B. Overturn the Director of Planning and Community Development's determination and, in so doing, require that the proposal fully comply with the development plan review procedures in Section 1129.06.

The Director finds, preliminarily, that this proposal with the conditions noted, is a minor alteration, with no adverse impacts to the site or surroundings, and is not contrary to the Zoning Code.

STAFF RECOMMENDATION (2018-1462 – CONDITIONAL USE PERMIT)

Staff recommends approval of a request by N&G Takhar Oil LLC for a Conditional Use Permit for a renovation and expansion of the Marathon Gas Station (former Swifty Gas Station) at 473 South Sandusky Street on approximately 0.80 acres on property zoned B-3 (Community Business District) with the following conditions that:

1. No overnight semi-truck parking shall be permitted within the subject development and the applicant shall be responsible for ensuring compliance of such.
2. No inoperable vehicle(s) shall be permitted to remain on the property for more than 48 hours.
3. Any outdoor merchandise (ice box, propane tanks, etc.) shall be located on the north or south side of the building with installation of low wall (2 to 3 feet tall) as approved by staff to delineate the storage area and shield the "outside merchandise" from public right-of-way. No movie boxes, ATM machines, etc., shall be allowed outside the building.

STAFF RECOMMENDATION (2018-1718 – DEVELOPMENT PLAN EXEMPTION)

Staff recommends approval of a request by N&G Takhar Oil LLC for a Development Plan Exemption for a renovation and expansion of the Marathon Gas Station (former Swifty Gas Station) at 473 South Sandusky Street on approximately 0.80 acres on property zoned B-3 (Community Business District) with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. No overnight semi-truck parking shall be permitted within the subject development and the applicant shall be responsible for ensuring compliance of such.
3. The dumpster shall be screened from public view by a wall constructed of similar building materials that match the new building with wood doors painted or stained to match or compliment the overall building.
4. The Shade Tree Commission shall review and approve the submitted street tree plans.
5. Any qualifying removed trees shall achieve compliance with Chapter 1168 Tree Preservation Requirements.

6. The limestone on the building, the stone canopy columns, and the ground sign base shall be Delaware blue vein limestone (or cultured stone) or equivalent as approved by Staff.
7. The limestone columns on the fuel canopies shall extend from ground level to the canopy.
8. All building and fuel canopy appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building material color.
9. All roof top mechanical equipment shall be completely screened from public view.
10. The Applicant shall submit all fuel canopy and ground sign elevations along with material and color samples for all building materials for staff review and approval prior to any building permit issuance.
11. A lighting plan that achieves compliance with the zoning code shall be submitted, reviewed and approved by the Chief Building Official. All lights shall be fully recessed and cut off and the light poles shall be black.
12. The channel letter signs on the fuel canopy shall be flush mounted or inset to achieve a flush mounted appearance.
13. The ground sign shall be a maximum 8 feet tall with a maximum sign area of 40 square feet that shall be flush mounted to the stone cap base and shall be faced with limestone (or cultured stone) as per the building and columns.
14. Any outdoor merchandise (ice box, propane tanks, etc.) shall be located on the north or south side of the building with installation of low wall (2 to 3 feet tall) as approved by staff to delineate the storage area and shield the "outside merchandise" from public right-of-way. No movie boxes, ATM machines, etc., shall be allowed outside the building.

GENERAL REVIEW CRITERIA FOR ALL CONDITIONAL USE PERMITS

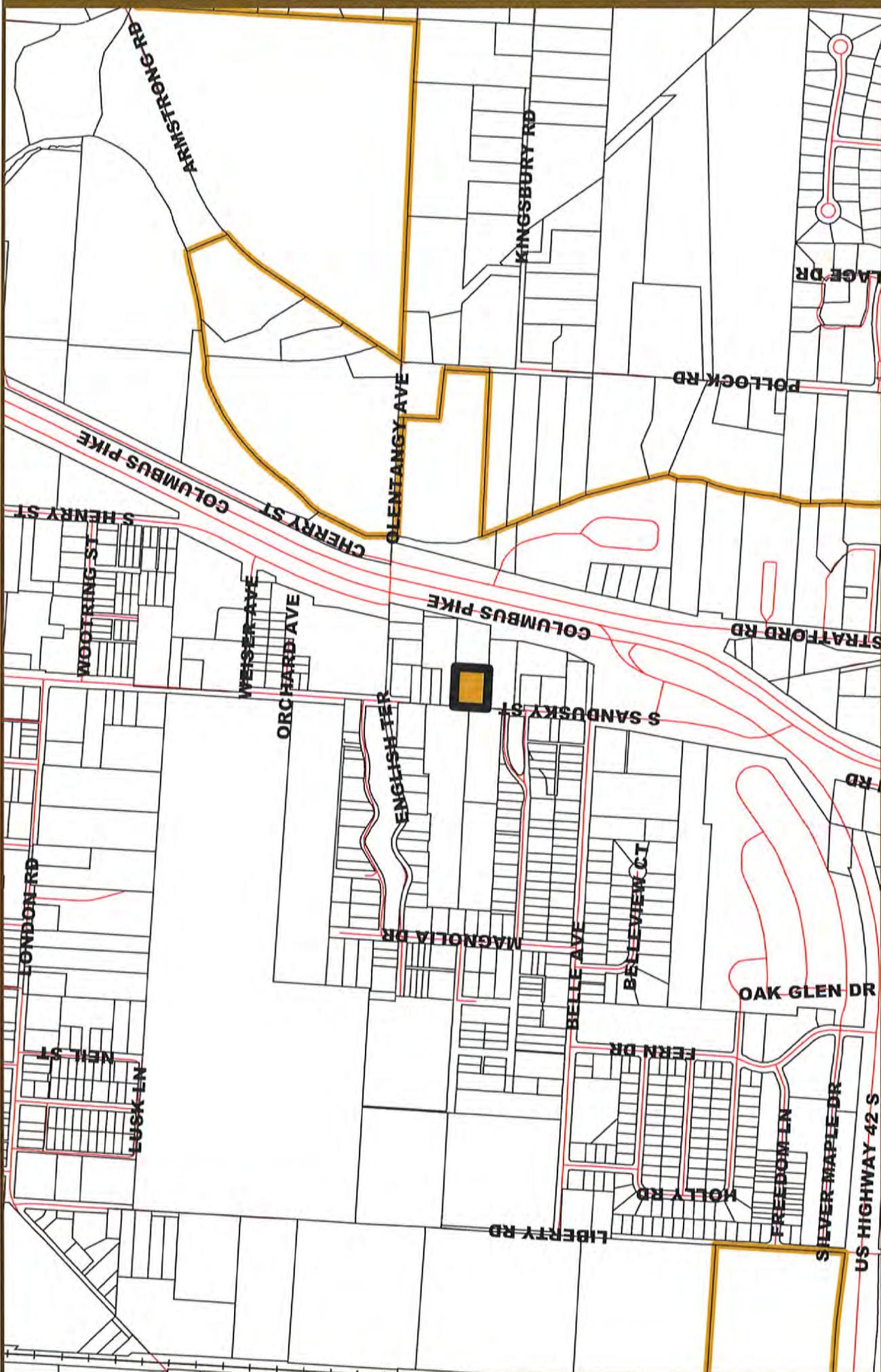
1. Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not essentially change the character of the same area.
2. Will not be detrimental to property values in the immediate vicinity.
3. Will not restrict or adversely affect the existing use of the adjacent property owners.
4. Will be designed and constructed so that all access drives, access points to public streets, driveways, parking and service areas shall be in compliance with the regulations set forth in Chapter 1161.
5. Will be properly landscaped in accordance with Chapter 1166.
6. That the establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or general welfare.
7. That the establishment of the conditional use in the proposed location will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
8. That adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.
9. That adequate measures have been or will be taken to provide ingress and egress designed to minimize traffic congestion on the surrounding public streets and to maximize public safety.
10. That the establishment of the conditional use will not be detrimental to the economic welfare of the community by creating excessive additional requirements or public cost for public facilities such as police, fire and schools.
11. That there is minimal potential for future hardship on the conditional uses that could result from the proposed use being surrounded by uses permitted by right that may be incompatible.

COMMISSION NOTES:

MOTION: _____ 1st _____ 2nd *approved* *denied* *tabled* _____

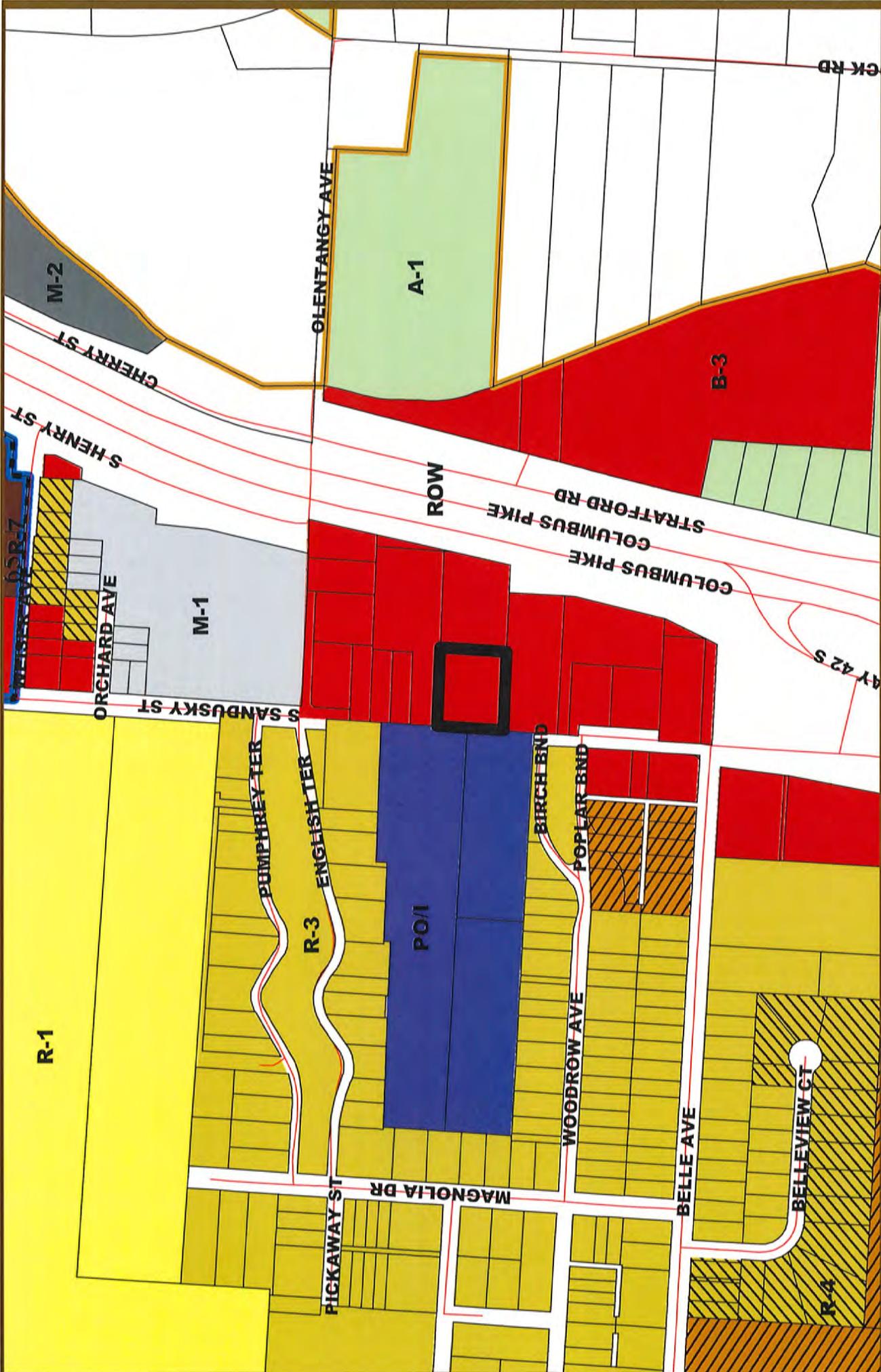
CONDITIONS/MISCELLANEOUS:

FILE: MARATHON GAS STATION
ORIGINAL: 07/12/18
REVISED:



2018-1462 & 1718
 Conditional Use Permit and Development Plan Exemption
 Marathon Gas Station - 473 South Sandusky Street
 Location Map





2018-1462 & 1718
 Conditional Use Permit and Development Plan Exemption
 Marathon Gas Station - 473 South Sandusky Street
 Zoning Map

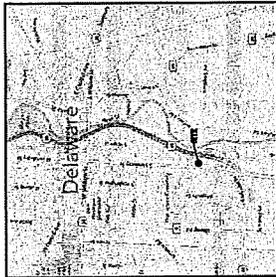




2018-1462 & 1718
Conditional Use Permit and Development Plan Exemption
Marathon Gas Station - 473 South Sandusky Street
Aerial (2016) Map



SITE IMPROVEMENTS 473 S SANDUSKY STREET CITY OF DELAWARE DELAWARE COUNTY, OHIO



VICINITY MAP
NOT TO SCALE

OWNER/DEVELOPER
SPECTRUM
1275 DOWNSIDE BLVD
COLUMBUS, OH 43260
(614) 461-9203

ENGINEER
APEX ENGINEERING & SURVEYING, INC.
1001 UNIVERSITY BLVD
COLUMBUS, OH 43260
(614) 474-3200

LOCAL UTILITY COMPANIES
AMERICAN ELECTRIC POWER COMPANY
2200 BROADWAY
COLUMBUS, OH 43260-8600
ATTN: KRISTEN THOMPSON
(614)-883-9831

DELAWARE CITY DEPARTMENT OF PUBLIC UTILITIES
1002 W. MAIN ST.
DELAWARE, OH 43015
ATTN: BRAD STANTON, DIRECTOR
(740)-263-1900

COLUMBIA GAS OF OHIO
520 GOODALE BLVD
DELAWARE, OH 43015
ATTN: MATT COYNE
(614)-460-2169

VERISON
250 LEAVER STREET
DELAWARE, OH 43015
ATTN: CHRIS ASERY
(740)-303-6851

SPECTRUM
1275 DOWNSIDE BLVD
COLUMBUS, OH 43260
ATTN: KAY BAUMER
(614)-461-9203

CONSOLIDATED ELECTRIC COOPERATIVE, INC.
1002 W. MAIN ST.
DELAWARE, OH 43015
ATTN: DAN AMATO, DIRECTOR OF ENGINEERING
(419)-847-3003

WOW CABLE
3075 DOWNSIDE DRIVE
DELAWARE, OH 43015
ATTN: DAMON HANCOCK, CONSTRUCTION ENGINEER
(614)-846-4818

FIRST ENERGY
1040 S. PROSPECT ST.
DELAWARE, OH 43015
ATTN: JEFFREY HALL - COORDINATOR OF ENGINEERING SERVICES
(740)-382-7104

SHEET INDEX

FILE SHEET	1
DETAILS	2
SITE AND GRADING PLAN	3
	4

GENERAL NOTES

1. ALL UTILITIES LOCATIONS & DEPT. BE APPROXIMATE. ALL UTILITIES LOCATIONS SHOWN ARE BASED ON THE RECORD DRAWINGS OF DELAWARE, OHIO.
2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DELAWARE, OHIO, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
3. ALL UTILITIES SHALL BE DEPT. TO THE CITY OF DELAWARE, OHIO, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
4. THE EXISTING WATER AND SANITARY SEWER SERVICE TO THE PROJECT SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
5. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
6. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

APPROVALS

DATE	APPROVED



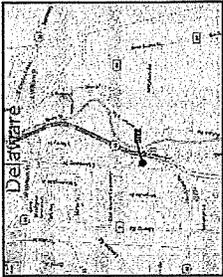
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DRAWN: AL
CHECKED: AL



REVISIONS:
NO. 1
DATE: 04-12-18
BY: AL
CHECKED: AL

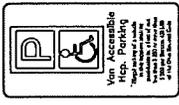
APEX ENGINEERING & SURVEYING, INC.
1001 UNIVERSITY BLVD
COLUMBUS, OH 43260
PHONE: 614-474-3200
FAX: 614-474-3201
WWW.APEXENGINEERING.COM

SHEET
1 OF 4

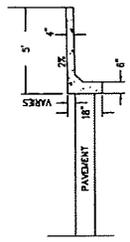
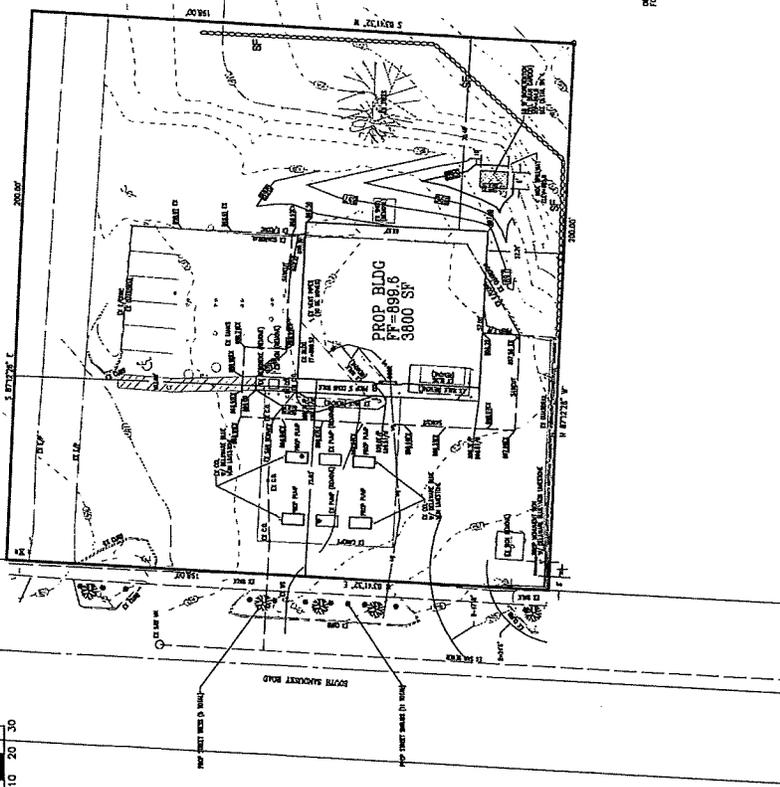


VICINITY MAP
1/4" = 50'

- LEGEND**
- SF SITE FEATURES
 - DRAINAGE SWALES
 - EXISTING
 - PROPOSED FINISHED PAVEMENT SPOT ELEVATIONS



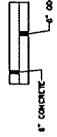
Hcp. Parking Sign
N.T.S.



COMB CURB/WALK DETAIL

- 1. 0.001 IN. 40% TACK COAT FOR INTERMEDIATE COURSE
- 2. 1.5" 100% ASPHALT CONC. (TYPE 2-2.5)
- 3. 1.5" 100% ASPHALT CONC. (TYPE 2-2.5)
- 4. 1.5" 100% ASPHALT CONC. (TYPE 2-2.5)
- 5. 1.5" 100% ASPHALT CONC. (TYPE 2-2.5)
- 6. 0.001 IN. 40% TACK COAT FOR WALK COURSE
- 7. 4" 0.001 IN. 20% CONC. (TYPE 2-2.5)

STANDARD PAVEMENT COMPOSITION



OPTIONAL CONCRETE PAVEMENT

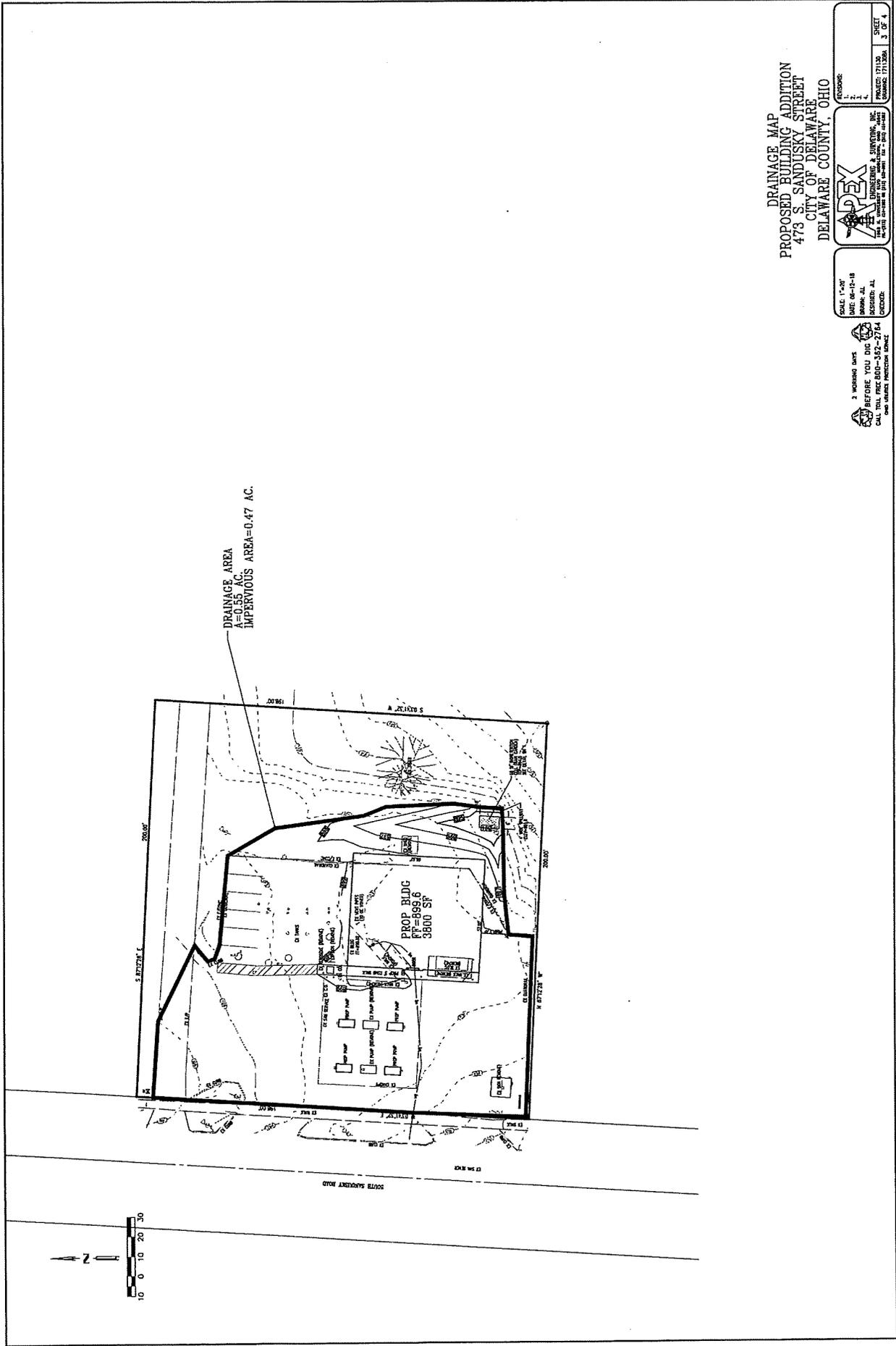
SITE/GRADING PLAN
PROPOSED BUILDING ADDITION
473 S. SANDUSKY STREET
CITY OF DELAWARE
DELAWARE COUNTY, OHIO

1	RECORDS
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2 WORKING DAYS BEFORE YOU DIG
CALL TOLL FREE 800-362-2714
OR 614-393-1100
FOR A FREE PRESCRIPTION FORM

SCALE: 1" = 40'
DATE: 04-14-18
DRAWN BY: JLL
CHECKED BY: AL
PROJECT NO.: 171123A
SHEET 3 OF 4



DRAINAGE MAP
 PROPOSED BUILDING ADDITION
 478 S. SANDUSKY STREET
 CITY OF DELAWARE
 DELAWARE COUNTY, OHIO

SCALE: 1"=40'
 DATE: 04-14-18
 DRAWN: JAL
 CHECKED: JAL
 2 WORKING DAYS BEFORE YOU DIG
 CALL TOLL FREE 800-502-2714
 WWW.PEX.COM PROFESSIONAL SERVICE



RECORDS
 1
 2
 3
 4
 SHEET 11120A 3 OF 4

SCALE: 1/4" = 1'-0"
DATE: 09-12-18
DRAWN BY: J.A.
CHECKED BY: J.A.
PROJECT: 171130
SHEET: 2 OF 4
DELAWARE COUNTY ENGINEERING DEPARTMENT
100 SOUTH DELAWARE STREET, DELAWARE, OHIO 43015
PHONE: 741-3400

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE DELAWARE COUNTY ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE DELAWARE COUNTY ENGINEERING DEPARTMENT AND THE CITY OF DELAWARE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE DELAWARE COUNTY ENGINEERING DEPARTMENT AND THE CITY OF DELAWARE.

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PROJECT INFORMATION :

Use Group:	M : MERCANTILE (CONVENIENCE STORE)
Occupational Type:	VB
Per O.B.C. table 1003.2.1	
Minimum Building Height:	M : 1 STORY
Per O.B.C. table 1003.2.1	
Actual Building Height:	1 STORY
Allowable Floor Area:	M : 9,000 SQ. FT.
Per O.B.C. table 1003.2.1	
Actual Floor Area:	TOTAL BUILDING = 3,800 SQ. FT.
Occupant Load:	STORAGE/UTILITY AREA : 472 / 300 = 2 PERSONS
Per O.B.C. table 1006.4.2	MERCANTILE : 2,325 SQ. FT. / 60 = 39 PERSONS
CHANGING ROOMS :	TOTAL OCCUPANT LOAD = 48 PERSONS
Designated wind load:	22.25W PER SQ. FT. (110 MPH)
Per O.B.C. section 1603.1.4	
Design snow load:	25W PER SQ. FT. (GROUND SNOW)
Per O.B.C. table 1603.1.3	
Required floor finish:	CONCRETE SLAB = 125 PSF
Per O.B.C. table 1607.1	200' MAX. W/OUT NEEDING
Exit Access travel distance:	A SPRINKLER SYSTEM
Per O.B.C. table 1017.2	
Width of egress doors:	36"
Per O.B.C. table 1010.1.1	
Number of exits required:	1 EXIT
Per O.B.C. table 1006.3.2(2)	
Sprinkler system:	NOT REQUIRED
Per O.B.C. section 903	

DRAWING INDEX :

- CS-0 COVER SHEET
- S-1 SITE PLAN
- C-1 CANOPY ELEVATION PLAN
- A-1 FOUNDATION PLAN
- A-2 FLOOR PLAN & SCHEDULES
- A-3 REFLECTED CEILING PLAN
- A-4 ROOF PLAN
- A-5 FRONT & RIGHT SIDE ELEVATIONS
- A-5.1 REAR & LEFT SIDE ELEVATIONS
- A-6 WALL SECTIONS, NOTE, & DETAILS
- A-7 HANDICAP R.R. DETAILS & SPECIFICATIONS
- P-1 PLUMBING PLAN
- M-1 MECHANICAL PLAN
- E-1 ELECTRICAL LIGHTING PLAN & SINGLE LINE DIAGRAM
- E-2 ELECTRICAL POWER PLAN & PANEL SCHEDULE

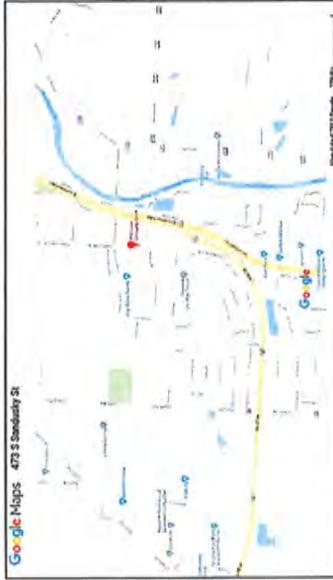
NEW GAS STATION FOR :

N & G TAKHAR
 473 S. SANDUSKY ST.
 CITY OF DELAWARE
 DELAWARE COUNTY, OHIO



1900 1st AVENUE
 MIDDLETOWN, OH 45044
 matt@cds-ohio.com
 www.CDS-Ohio.com
 tel : 937.605.6882

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Vicinity Map



2017 O.B.C. CODE NOTES :

- 1.) The minimum required width of passageway, aisle spaces and exit doors shall be not less than 30 in. (Per O.B.C. table 1003.2.1)
- 2.) The minimum required length of egress passageways or corridors shall not be more than 20 feet. (Per O.B.C. section 1003.4)
- 3.) Locks & Latches : All means of egress doors will be readily opened from the egress side without the use of a key or special knowledge or effort. (Per O.B.C. section 1006.1.3.3)
- 4.) All means of egress will be equipped with artificial lighting which will provide not less than one (1) foot candle at floor level. (Per O.B.C. section 1006.2)
- 5.) All means of egress doors will be of the side-swinging type. (Per O.B.C. section 1011.1)
- 6.) All means of egress doors will be self-closing doors where required. (Per O.B.C. section 1006.1.2)
- 7.) Interior finish for walls and doors will comply with the requirements of O.B.C. section 903 & 904.
- 8.) Exit signs are required at all exit doors. (Per O.B.C. section 1011.1)
- 9.) Exit signs shall be self-luminous or illuminated from the back. (Per O.B.C. section 1011.5.1)
- 10.) Fire extinguishers shall be located in accordance with the requirements of the local fire official. (Per O.B.C. section 903.1)
- 11.) Alarm system is not required per O.B.C. 903.2.6.
- 12.) Occupant load signs shall be installed and maintained in a legible condition. (Per O.B.C. section 1011.1)
- 13.) The number of occupants shall be determined in accordance with the number of occupants permitted. (Per O.B.C. section 1004.3)
- 14.) Walking surfaces along the means of egress shall have a slip-resistant surface securely attached to the concrete floor. (Per O.B.C. section 1011.1)
- 15.) Fire blocking is required at the ceiling levels of all partitions. (Per O.B.C. section 1011.1)
- 16.) Restrooms are not required in Mercantile spaces under 50 persons. (Per O.B.C. section 1003.2.1)
17. A map risk is provided as required per table 2002.1.
18. A map risk is provided as required per table 2002.1.



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 matt@cds-ohio.com
 www.CDS-Ohio.com
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NEW GAS STATION FOR:
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 473 S. SANDUSKY ST.
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 DELAWARE COUNTY, OHIO

CS-0
 Cover Sheet

C-1

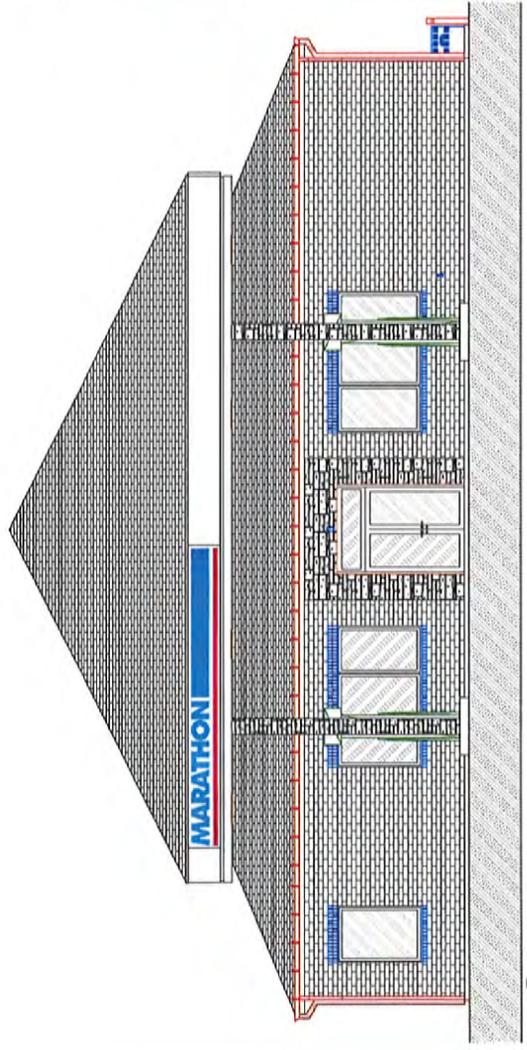
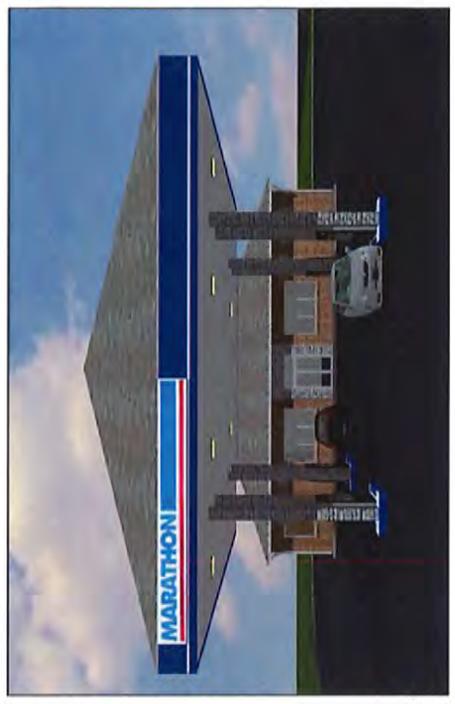
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NEW GAS STATION FOR:
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473 S. SANDUSKY ST.
CITY OF DELAWARE,
DELAWARE COUNTY, OHIO

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1900 1st AVENUE



○ Front Elevation
SCALE: 1/4" = 1'-0"



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mat@cds-ohio.com
tel : 937.603.8882

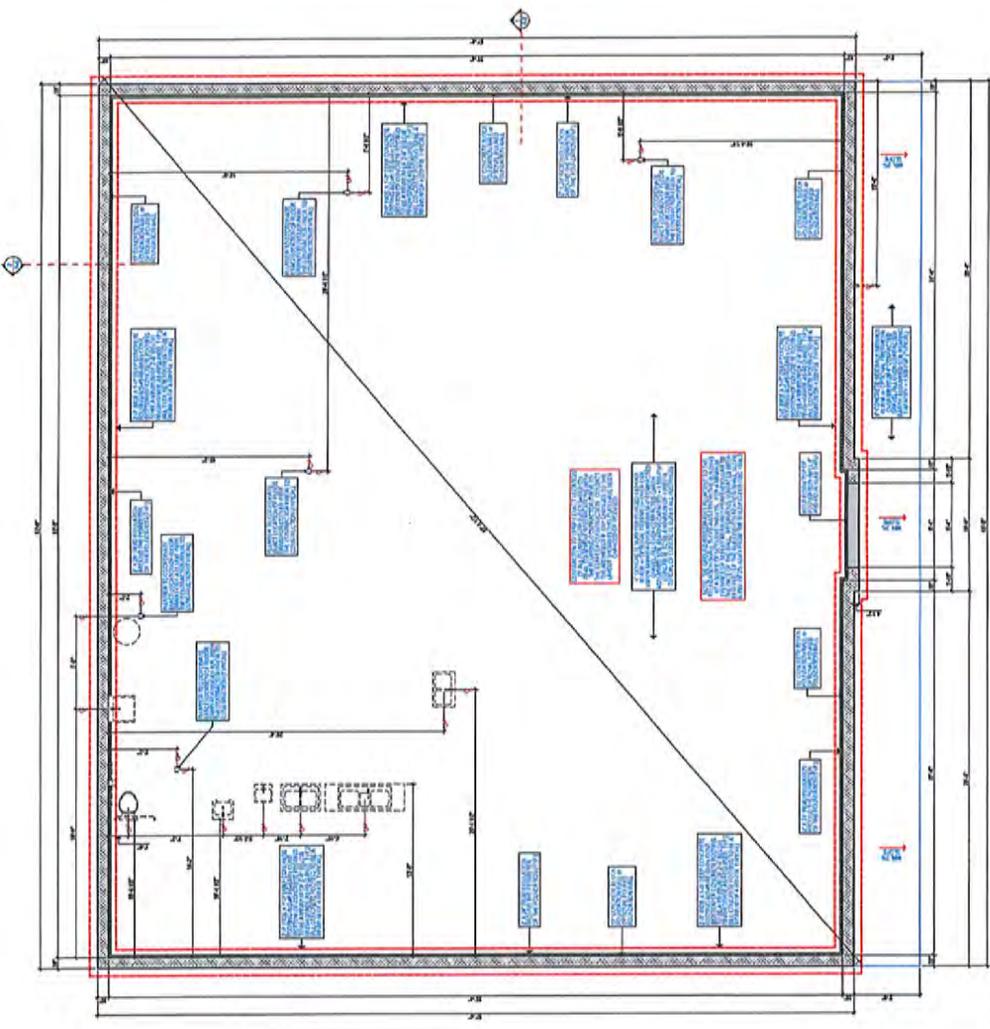
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architect
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www.cdsinc.com

NEW GAS STATION FOR:
N & G TAKHAR
473 S. SANDUSKY ST.
CITY OF DELAWARE
DELAWARE COUNTY, OHIO

Foundation Plan
A-1



Foundation Plan
SCALE: 1/4" = 1'-0"

NEW GAS STATION FOR:
N & G TAKHAR
473 SANDUSKY ST.
CITY OF DELAWARE
DELAWARE COUNTY, OHIO

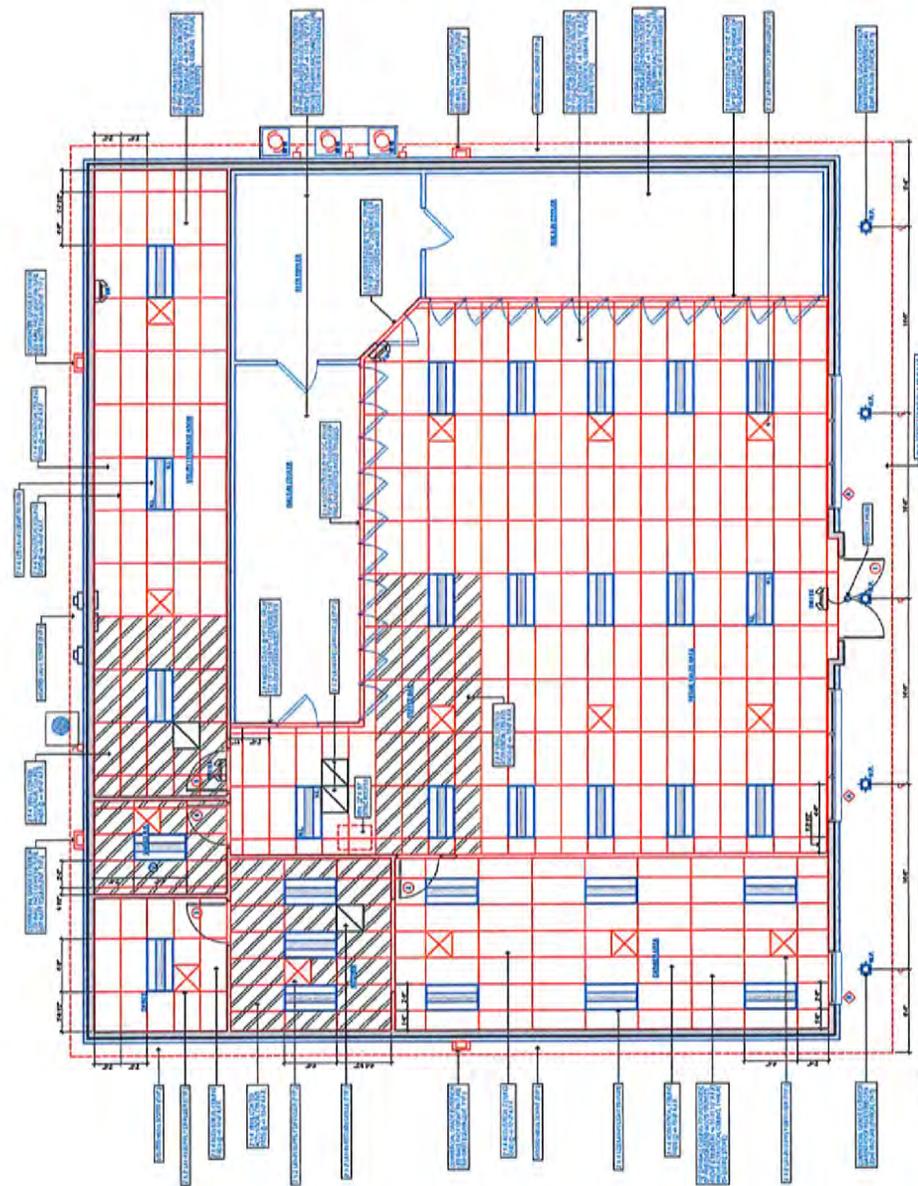
Dennis R. Beatty, A.I.A.
ARCHITECT
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MIDDLETOWN, OHIO 45044
Tel: 513/224-8383 Fax: 513/224-8343
Email: archbeatt@dmf.com

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www.drs-ohio.com
Tel: 513/224-8383



ELECTRICAL LEGEND

	120V/208V 1-Phase Single Phase Panel
	120V/208V 3-Phase Panel
	277V/480V 3-Phase Panel
	277V/480V 1-Phase Panel
	120V/208V 1-Phase Single Phase Panel with Grounding Bus
	120V/208V 3-Phase Panel with Grounding Bus
	277V/480V 3-Phase Panel with Grounding Bus
	277V/480V 1-Phase Panel with Grounding Bus
	120V/208V 1-Phase Single Phase Panel with Grounding Bus and Neutral
	120V/208V 3-Phase Panel with Grounding Bus and Neutral
	277V/480V 3-Phase Panel with Grounding Bus and Neutral
	277V/480V 1-Phase Panel with Grounding Bus and Neutral
	120V/208V 1-Phase Single Phase Panel with Grounding Bus and Neutral and Grounding Bus
	120V/208V 3-Phase Panel with Grounding Bus and Neutral and Grounding Bus
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Reflected Ceiling Plan
SCALE: 1/4" = 1'-0"

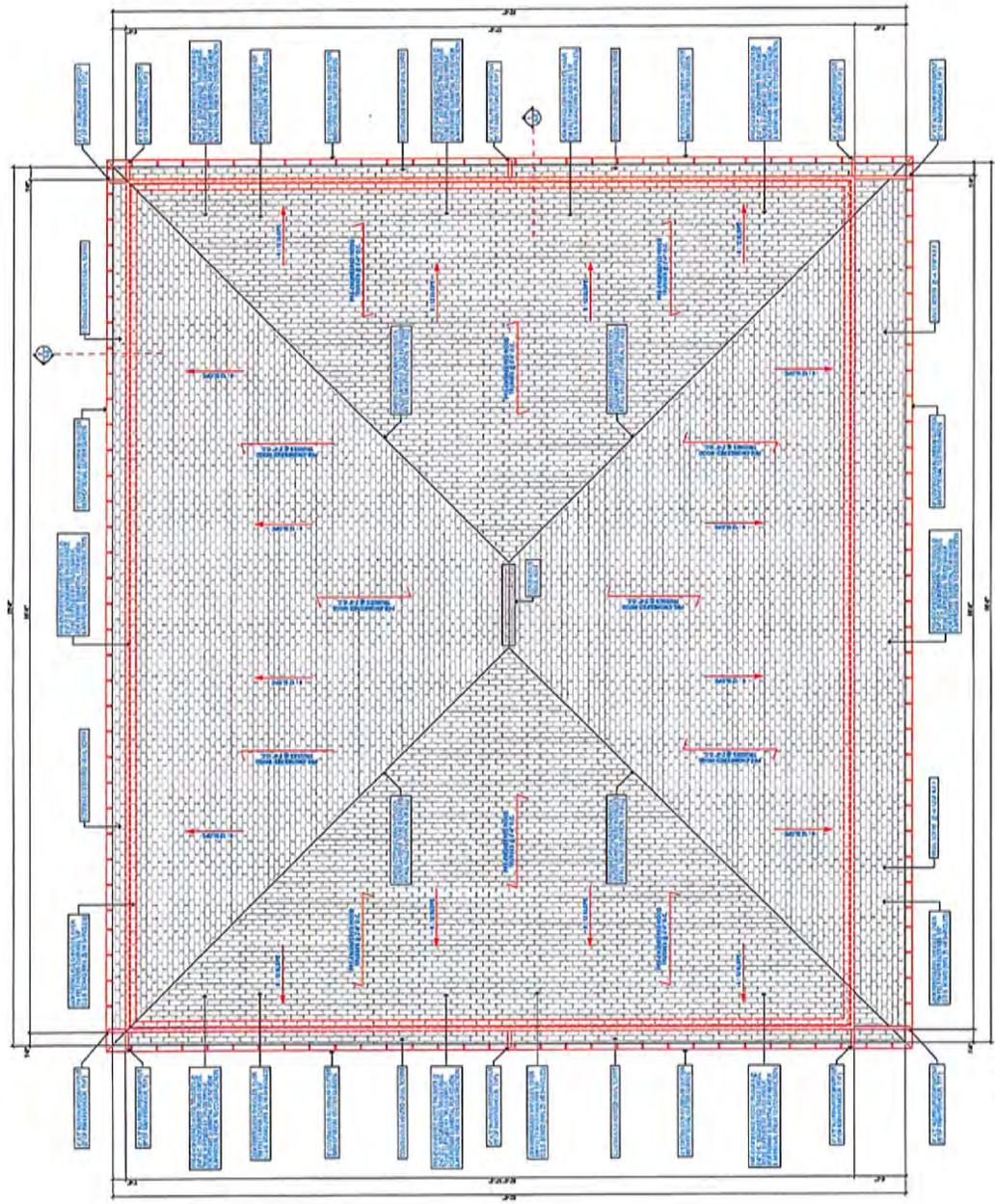


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email: archbeatt@cds.com

NEW GAS STATION FOR:
N & G TAKKHAR
473 S. SANDUSKY ST.
CITY OF DELAWARE
DELAWARE COUNTY, OHIO

Project: **Roof Plan**
Sheet: **A-4**



Roof Plan
SCALE: 1/4" = 1'-0"



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MIDDLETOWN, OH 45044
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N & G TAKHAR
NEW GAS STATION FOR
CITY OF DELAWARE
473 S SANDUSKY ST.
DELAWARE COUNTY, OHIO

Sections, Notes, & Schedules
Rev. DATE: 10/20/18
Rev. DATE: 10/20/18
Rev. DATE: 10/20/18

9-A

CONSTRUCTION NOTES:

1. SEE ALL DRAWINGS FOR SPECIFICATIONS AND REQUIREMENTS. VERIFY ALL DIMENSIONS AND REQUIREMENTS BEFORE CONSTRUCTION.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT BEFORE INSTALLATION.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
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GENERAL NOTES:

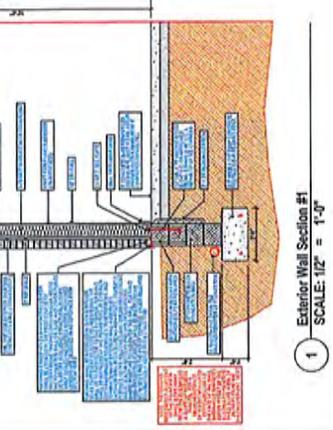
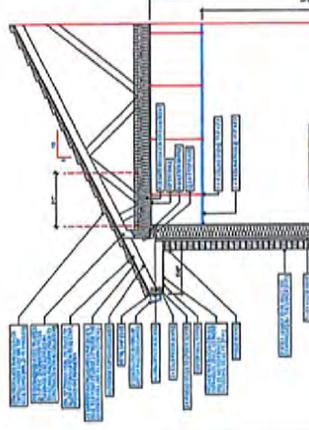
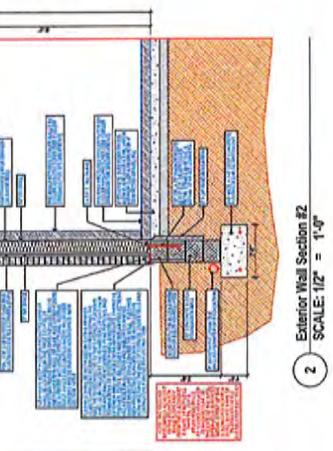
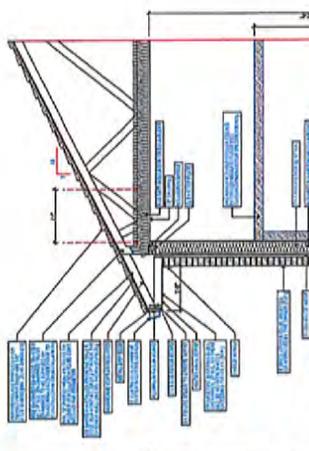
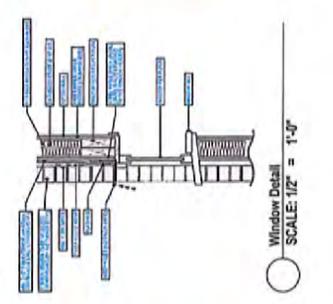
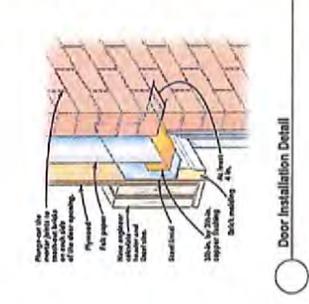
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10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.

DOOR SCHEDULE:

ID	City	Type	Material	Finish	Hardware	Notes	Additional Notes
1	1	1	1	1	1	1	1
2	2	2	2	2	2	2	2
3	3	3	3	3	3	3	3
4	4	4	4	4	4	4	4
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9	9	9	9	9	9	9	9
10	10	10	10	10	10	10	10

WINDOW SCHEDULE:

ID	City	Type	Material	Finish	Hardware	Notes	Additional Notes
1	1	1	1	1	1	1	1
2	2	2	2	2	2	2	2
3	3	3	3	3	3	3	3
4	4	4	4	4	4	4	4
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8	8	8	8	8	8	8	8
9	9	9	9	9	9	9	9
10	10	10	10	10	10	10	10



DOOR SCHEDULE

ID	City	Type	Material	Finish	Hardware	Notes	Additional Notes
1	1	1	1	1	1	1	1
2	2	2	2	2	2	2	2
3	3	3	3	3	3	3	3
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8	8	8	8	8	8	8	8
9	9	9	9	9	9	9	9
10	10	10	10	10	10	10	10

WINDOW SCHEDULE

ID	City	Type	Material	Finish	Hardware	Notes	Additional Notes
1	1	1	1	1	1	1	1
2	2	2	2	2	2	2	2
3	3	3	3	3	3	3	3
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5	5	5	5	5	5	5	5
6	6	6	6	6	6	6	6
7	7	7	7	7	7	7	7
8	8	8	8	8	8	8	8
9	9	9	9	9	9	9	9
10	10	10	10	10	10	10	10

1 Exterior Wall Section #1
SCALE: 1/2" = 1'-0"

2 Exterior Wall Section #2
SCALE: 1/2" = 1'-0"

3 Interior Wall Section #3
SCALE: 1/2" = 1'-0"

4 Interior Wall Section #4
SCALE: 1/2" = 1'-0"



1900 1st AVENUE
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DEVELOPMENT SOLUTIONS

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NEW GAS STATION FOR
N & G TAKHAR
473 S SANDUSKY ST.
CITY OF DELAWARE
DELAWARE COUNTY, OHIO

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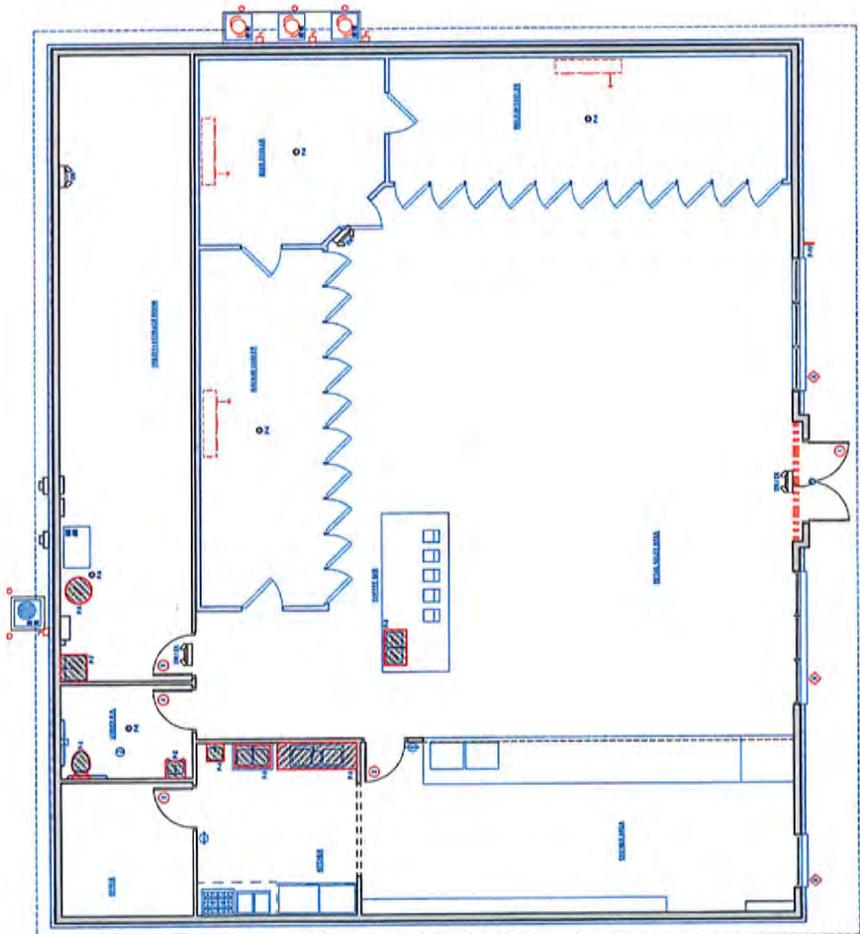
Project: Plumbing Plan
Sheet: P-1
Date: 08/15/2011
Author: DRB

GENERAL PLUMBING NOTES:

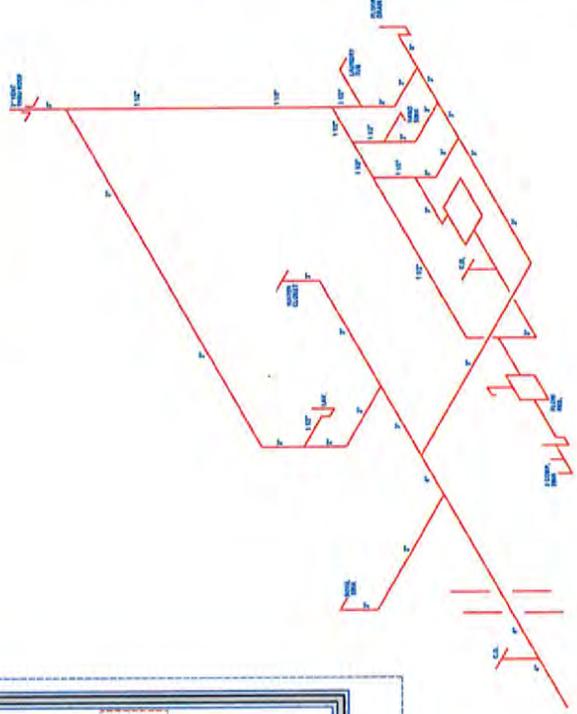
1. THESE DRAWINGS ARE FOR INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DELAWARE AND THE STATE OF OHIO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DELAWARE AND THE STATE OF OHIO.
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PLUMBING LEGEND

P1	1/2" GALV. STEEL DWV
P2	1/2" GALV. STEEL DWV
P3	1/2" GALV. STEEL DWV
P4	1/2" GALV. STEEL DWV
P5	1/2" GALV. STEEL DWV
P6	1/2" GALV. STEEL DWV
P7	1/2" GALV. STEEL DWV
P8	1/2" GALV. STEEL DWV
P9	1/2" GALV. STEEL DWV
P10	1/2" GALV. STEEL DWV



Plumbing Plan
SCALE: 1/4" = 1'-0"



Plumbing Isometric



TO: Members of City Council
FROM: Dean Stelzer, Finance Director
DATE: July 19, 2018

Reports Included

<u>Page</u>	<u>Reports</u>	<u>Purpose</u>
2	Revenues by Source	This summary compares year-to-date revenues for 2018 to 2017 by source.
3	General Fund	Summary of General Fund budgeted revenues, expenditures and fund balance.
4	Other Operating Funds	Summary of budgeted revenues, expenditures, & fund balances for non-general fund operating funds.
5	Other Funds	Other non-operating funds revenues, expenditures and fund balance.
6	Insurance	Summary of the City's self-funded health insurance costs with comparisons to last year.
7	Income Tax	Monthly income tax collections for last three years. Also includes tax collection projections for remainder of the year.
8	Recreation Levy Summary	Reflects 2017 and total Recreation Levy expenditures by Phase.

Highlights:

- * Income tax collections are up 4.3% compared to last year. The 2018 projection was for a 5.5% increase. Will monitor collections as it appears 2018 tax collections will not meet projections.
- * Development related revenues are up about 64% excluding engineering fee reimbursements which are substantially below last years levels.

YTD 2016 Budget Supplementals

- 18-10 (\$200,000) - General Fund - Reduce Council budget
- \$91,547 - Airport Hangar Fund - Amount inadvertently left out of original appropriation
- (\$1,750,000) - Refuse Fund - Reduce budget for project started in 2017
- 18-19 \$10,000 - Dev Reserve Fund - Cams, Inc. economic development incentive
- 18-20 \$18,000 - P&R Fund - Increase appropriation for pool pump replacement
- 18-25 \$25,000 - Airport Fund - For Business Plan
- 18-26 \$1,185,686 - CIP Fund - Gazette Building improvements
- \$615,000 - Municipal Impact Fee Fund - Gazette Building improvements
- 18-39 \$10,000 ED Incentive
- 18-42 \$57,670 Munciiipal Court
- 18-45 \$90,000 SMR snow removal
- 18-46 \$376,115 Park Improvement Levy

FINANCE DIRECTOR'S REPORT

REVENUES BY SOURCE

June 30, 2018

	Revenues @ 6/30/18	Revenues @ 6/30/17	% Change
TAXES			
Income Tax	\$ 15,350,833	\$ 14,717,391	4.30%
Property Tax	1,093,647	912,355	19.87%
Local Government Fund	296,841	293,810	1.03%
Hotel/Motel Tax	38,939	31,869	22.18%
Gasoline Taxes	575,896	560,669	2.72%
License Plate Tax	339,601	335,910	1.10%
FEES			
Franchise Fee (cable tv)	\$ 202,464	\$ 184,045	10.01%
Parking Meter & Lot Fees	42,712	44,169	-3.30%
Fines/Forfeitures/Court Diversion Fees	69,914	72,047	-2.96%
Impact Fees	467,056	266,508	75.25%
Airport - Fuel	302,256	243,299	24.23%
Cemetery	69,629	82,956	-16.07%
Golf Course	81,055	86,188	-5.96%
REIMBURSEMENTS			
Engineering Fees	\$ 726,058	\$ 1,328,629	-45.35%
Fire/EMS Reimbursement	523,406	682,041	-23.26%
Prosecutor Reimbursements	73,190	150,625	-51.41%
Building Permits and Fees	590,549	390,859	51.09%
UTILITY CHARGES			
Water - Meter Charges	\$ 2,657,317	\$ 2,585,951	2.76%
- Capacity Fees	1,234,525	748,908	64.84%
Sewer - Meter Charges	3,147,674	3,146,232	0.05%
- Capacity Fees	1,182,273	723,206	63.48%
Refuse	1,727,443	1,752,846	-1.45%
Storm Sewer	432,383	425,440	1.63%
MUNICIPAL COURT REVENUES	\$ 1,687,428	\$ 1,796,259	-6.06%

FINANCE DIRECTOR'S REPORT
GENERAL FUND REVENUES
June 30, 2018

June 50.0% of year	Revenues 6/30/2018	2018 Budget	Revenues As % of Budget	Comparative Revenues 6/30/2017	% Change YTD
GENERAL FUND					
Property Tax	839,481	1,500,000	55.97%	706,401	18.84%
City Income Tax	8,301,157	14,787,387	56.14%	7,960,639	4.28%
Other Taxes	938	0	0.00%	1,013	0.00%
Local Government Fund	296,841	610,000	48.66%	293,810	1.03%
Fines and Forfeitures	69,914	140,000	49.94%	72,047	(2.96%)
Engineering Fees	726,058	1,000,000	72.61%	1,328,629	(45.35%)
Prosecutor Contracts	73,190	285,000	25.68%	150,625	(51.41%)
Parking Meters	18,892	38,000	49.72%	17,945	5.28%
Other Fees and Contracts	26,330	0	0.00%	12,484	110.91%
Liquor Permits	40,438	45,000	89.86%	39,488	2.41%
Franchise Fees	202,464	375,000	53.99%	184,045	10.01%
Licenses & Permits	590,549	725,000	81.46%	390,859	51.09%
Investment Income	201,095	402,000	50.02%	119,306	68.55%
Miscellaneous	37,588	100,000	37.59%	30,716	22.37%
Reimbursements	84,450	200,000	42.23%	78,999	6.90%
Transfers	966,733	1,920,000	50.35%	918,056	5.30%
TOTAL	12,476,118	22,127,387	56.38%	12,305,062	1.39%

GENERAL FUND EXPENDITURES

	Expenses 6/30/2018	2018 Budget	Expenses As % of Budget	Comparative Expenses 6/30/2017	% Change YTD
GENERAL FUND					
City Council	72,803	154,873	47.01%	62,239	16.97%
City Manager	360,024	686,556	52.44%	362,803	(0.77%)
Human Resources	140,955	327,781	43.00%	155,522	(9.37%)
Economic Development	246,669	391,299	63.04%	230,830	6.86%
Legal Affairs/Prosecution	385,322	793,893	48.54%	385,848	(0.14%)
Finance	785,236	1,521,673	51.60%	739,133	6.24%
Income Tax Refunds	329,871	400,000	82.47%	334,724	(1.45%)
General Administration	2,570,521	5,303,700	48.47%	2,898,748	(11.32%)
Risk Management	32,685	343,000	9.53%	2,178	1400.69%
Police	4,161,601	8,744,063	47.59%	3,975,426	4.68%
Planning	563,588	1,161,774	48.51%	508,364	10.86%
Engineering	777,568	1,763,921	44.08%	709,389	9.61%
City Buildings	242,408	509,690	47.56%	214,554	12.98%
TOTAL	10,669,251	22,102,223	48.27%	10,579,758	0.85%

General Fund Beginning Balance January 1, 2018	5,001,541
2018 General Fund Revenues	12,476,118
2018 General Fund Expenditures	(10,669,251)
Advances to Other Funds	-
Outstanding Encumbrances 6/30/18	(991,506)
General Fund Ending Fund Balance June 30, 2018	<u>5,816,902</u>

FINANCE DIRECTOR'S REPORT

OTHER OPERATING FUNDS

June 30, 2018

REVENUES

	Revenues 6/30/2018	2018 Budget	Revenues As % of Budget	Revenues 6/30/2017	% Change YTD
STREET MAINTENANCE & REPAIR	1,446,762	2,869,500	50.42%	1,420,170	1.87%
STORM SEWER	433,281	853,000	50.79%	426,032	1.70%
PARKS AND RECREATION	668,228	1,325,500	50.41%	809,866	(17.49%)
CEMETERY	117,131	251,000	46.67%	120,455	(2.76%)
AIRPORT OPERATIONS	388,160	705,620	55.01%	335,919	15.55%
FIRE/EMS INCOME TAX	6,458,130	11,217,625	57.57%	9,353,512	(30.96%)
MUNICIPAL COURT	1,265,503	2,809,500	45.04%	1,286,519	(1.63%)
GOLF COURSE	81,055	183,500	44.17%	86,188	(5.96%)
WATER	2,785,010	5,921,482	47.03%	2,925,499	(4.80%)
SEWER	3,347,598	7,082,000	47.27%	3,364,385	(0.50%)
REFUSE	1,772,699	3,614,500	49.04%	1,775,230	(0.14%)
GARAGE ROTARY	327,578	652,492	50.20%	322,720	1.51%
INFORMATION TECH. ROTARY	538,008	1,076,017	50.00%	526,425	2.20%
TOTAL	19,629,143	38,561,736	50.90%	22,752,920	(13.73%)

EXPENDITURES

	Expenditures 6/30/2018	2018 Budget	Expenses As % of Budget	Expenses 6/30/2017	% Change YTD
STREET MAINTENANCE & REPAIR	1,475,256	3,019,086	48.86%	1,316,625	12.05%
STORM SEWER	241,256	1,466,181	16.45%	671,867	(64.09%)
PARKS AND RECREATION	619,237	1,422,368	43.54%	644,389	(3.90%)
CEMETERY	118,925	327,957	36.26%	135,680	(12.35%)
AIRPORT OPERATIONS	384,049	791,739	48.51%	298,029	28.86%
FIRE/EMS INCOME TAX	5,036,672	11,999,000	41.98%	4,585,420	9.84%
MUNICIPAL COURT	1,274,279	2,791,646	45.65%	1,234,457	3.23%
GOLF COURSE	80,606	222,698	36.20%	84,926	(5.09%)
WATER OPERATIONS	3,144,081	6,351,400	49.50%	2,982,176	5.43%
SEWER OPERATIONS	3,289,915	6,998,699	47.01%	3,472,965	(5.27%)
REFUSE	3,092,715	5,300,142	58.35%	1,613,661	91.66%
GARAGE ROTARY	315,101	654,493	48.14%	287,847	9.47%
INFORMATION TECH. ROTARY	491,214	1,165,329	42.15%	459,132	6.99%
TOTAL	19,563,306	42,510,738	46.02%	17,787,174	9.99%

FUND BALANCES

	Balance 1/1/2018	Revenues 6/30/2018	Expenditures 6/30/2018	Outstanding Encumb.	Balance 6/30/2018
STREET MAINTENANCE & REPAIR	516,178	1,446,762	1,475,256	275,300	212,384
STORM SEWER	1,482,843	433,281	241,256	116,051	1,558,817
PARKS AND RECREATION	295,953	668,228	619,237	187,262	157,682
CEMETERY	297,627	117,131	118,925	25,474	270,359
AIRPORT OPERATIONS	271,973	388,160	384,049	135,405	140,679
FIRE/EMS INCOME TAX	10,568,832	6,458,130	5,036,672	3,276,429	8,713,861
MUNICIPAL COURT	2,441,281	1,206,567	1,274,279	13,747	2,359,822
GOLF COURSE	68,498	81,055	80,606	11,924	57,023
WATER OPERATIONS	1,230,846	2,785,010	3,144,081	113,661	758,114
SEWER OPERATIONS	2,657,780	3,347,598	3,289,915	165,468	2,549,995
REFUSE	2,391,565	1,772,699	3,092,715	575,009	496,540
GARAGE ROTARY	340,629	327,578	315,101	46,239	306,867
INFORMATION TECH. ROTARY	724,385	538,008	491,214	59,335	711,844
TOTAL	23,288,390	19,570,207	19,563,306	5,001,304	18,293,987

FINANCE DIRECTOR'S REPORT
OTHER FUND REVENUES/EXPENSES/FUND BALANCE
June 30, 2018

	Beginning Fund Balance	Revenues 6/30/2018	Expenses 6/30/2018	Outstanding Encumbrances	Ending Fund Balance
STATE HIGHWAY IMPROVEMENT	211,817	53,498	103,900	0	161,415
LICENSE FEE	222,085	213,032	2,982	0	432,135
TREE REPL FUND	216,317	23,850	50,000	0	190,167
HANGARS	164,197	49,449	35,103	0	178,543
REC CTR INCOME TAX	4,002,841	1,265,503	778,163	363,779	4,126,402
AIRPORT TIF FUND	82,416	13,536	0	0	95,952
GLENN RD BRIDGE TIF FUND	2,000,560	410,634	17,146	253,234	2,140,814
SKY CLIMBER/V&P TIF	0	23,991	23,991	46,009	-46,009
MILL RUN TIF	0	80,993	80,993	89,007	-89,007
COURT-IDIAM	22,434	23,985	2,870	434	43,115
DRUG ENFORCEMENT FUND	58,801	1,600	2,191	2,258	55,952
COURT-ALCOHOL TREATMENT	534,109	20,504	9,450	0	545,163
OMVI ENFORCEMENT/EDUCATION	5,904	722	877	3,488	2,261
POLICE JUDGEMENT FUND	121,506	28,573	34,013	12,890	103,176
PARK EXACTION FEE	167,887	0	21,000	6,500	140,387
COMPUTER LEGAL RESEARCH-COURT	620,406	129,631	31,727	7,763	710,547
COURT-SPECIAL PROJECTS	867,015	134,438	96,900	5,761	898,792
COURT-PROBATION SERVICES	498,020	171,581	21,828	3,755	644,018
POLICE/FIRE DISABILITY PENSION	0	254,166	254,166	0	0
COMM PROMOTION FUND	62,076	38,939	64,697	42,015	-5,697
COMMUNITY DEV BLOCK GRANT	2,530	0	0	0	2,530
E.D. REVOLVING LOAN	197,662	53,424	15,612	55,540	179,934
CHIP GRANT	400	0	400	0	0
GENERAL BOND RETIREMENT	331,642	639,987	642,897	3,000	325,732
PARK IMPROV BOND FUND	109,778	654,613	367,676	0	396,715
SE HIGHLAND BOND FUND	83,896	500,285	288,804	0	295,377
CAPITAL IMPROVEMENT	1,333,336	1,571,946	1,000,765	1,592,229	312,288
POINT PROJECT	0	160,133	7,212	977,686	-824,765
FAA AIRPORT GRANT	0	-61,010	0	0	-61,010
FAA ALLOC/IMP GRANT	0	43,512	4,170	81,988	-42,646
EQUIPMENT REPLACEMENT	141,957	200,000	31,347	167,745	142,865
PARKS IMP FEE	1,120,156	270,692	23,104	391,229	976,515
POL IMP FEE	311,854	41,856	3,063	165	350,482
FIRE IMP FEE	305,460	77,632	91,480	169	291,443
MUNIC IMPACT FEE FUND	556,779	89,314	160,713	278,554	206,826
GLENN RD S CONSTR FUND	3,254,650	10,380,097	10,833,556	19,287	2,781,904
PARKING LOTS	42,271	23,820	26,841	11,540	27,710
WATER CIP	10,366,075	2,296,829	2,308,512	146,926	10,207,466
SEWER CIP	7,564,573	3,248,065	3,185,531	1,665,714	5,961,393
HEALTH INSURANCE	1,918,595	2,778,774	2,871,555	7,515	1,818,299
WORKERS COMPENSATION	2,352,622	241,536	100,607	1,400	2,492,151
FIRE DONATION	6,345	0	0	0	6,345
PARKS/REC DONATION	6,810	12,000	0	0	18,810
POLICE DONATION	7,796	0	560	0	7,236
MAYORS DONATION FUND	1,657	940	1,137	0	1,460
PROJECT TRUST FUND	546,222	68,302	0	0	614,524
UNCLAIMED FUNDS TRUST FUND	15,394	0	0	0	15,394
MUNI CT UNCLAIMED FUNDS	57,425	7,519	0	0	64,944
DEV RESERV FUND	924,886	0	10,000	0	914,886
RESERVE ACCOUNT FUND	1,047,056	0	0	0	1,047,056
BERKSHIRE JEDD FUND	203,704	190,178	306,873	289,590	-202,581
CEMETERY PERPETUAL CARE FUND	34,981	173	836	0	34,318
STATE HIGHWAY PATROL FUND	0	29,201	29,209	0	-8
STATE BUILDING PERMIT FEE	371	5,035	4,598	0	808
PERFORMANCE BOND	185,077	4,148	4,148	0	185,077
TOTAL	42,890,354	26,467,626	23,953,203	6,527,170	38,877,607

City of Delaware
Employee Health Insurance Plan
June 30, 2018

Account	June 2018	YTD 2018	2018 Budget	% of Budget	YTD 2017	% Change 2017-18
Life Insurance	\$ 2,073	\$ 4,576	\$ 27,000	16.9%	\$ 13,904	-67.1%
Insurance Opt-Out	2,595	13,470	30,500	44.2%	15,070	-10.6%
Preventative Care	1,805	17,876	55,000	32.5%	17,468	2.3%
Vision Coverage	4,517	19,823	25,200	78.7%	6,697	196.0%
Administrative Fees						
Excise Tax	-	939	30,000	0.0%	-	0.0%
TPA Fees	7,771	46,831	90,000	52.0%	48,105	-2.6%
PPO Fees	3,036	18,288	45,000	40.6%	21,896	-16.5%
Broker Fees	396	2,990	5,000	59.8%	-	0.0%
Total Admin	11,203	69,048	170,000	40.6%	70,001	-1.4%
Stop Loss Insurance	61,370	370,489	712,000	52.0%	319,549	15.9%
Claims						
Medical	265,681	1,852,031	3,675,000	50.4%	1,816,002	2.0%
Dental	17,158	127,637	285,000	44.8%	130,499	-2.2%
Prescription	59,490	396,605	815,000	48.7%	373,712	6.1%
Total Claims	342,329	2,376,273	4,775,000	49.8%	2,320,213	2.4%
Total Costs	425,892	2,871,555	5,794,700	49.6%	2,762,902	3.9%
Employee Payment	73,003	457,553	853,000	53.6%	426,214	
Reimbursements	20,472	162,721	35,000	464.9%	81,960	
NET PLAN COSTS	\$ 332,417	\$ 2,251,281	\$ 4,906,700	45.9%	\$ 2,254,728	-0.2%

**MONTHLY INCOME TAX REVENUES
2016-2018**

	2016				% OF ACTUAL	2017				% OF ACTUAL	2018				% OF BUDGET
	W/H	PERSONAL	BUSINESS	TOTAL		W/H	PERSONAL	BUSINESS	TOTAL		W/H	PERSONAL	BUSINESS	TOTAL	
JANUARY	1,433,007	317,649	37,649	1,788,305		1,794,272	205,680	204,662	2,204,614		1,741,914	440,952	56,565	2,239,431	
FEBRUARY	2,161,101	396,158	52,085	2,609,344		1,304,987	327,145	95,437	1,727,569		1,389,553	337,859	56,041	1,783,668	
MARCH	1,237,708	545,907	234,748	2,018,363		1,175,241	625,299	195,522	1,996,062		1,240,476	682,589	192,027	2,115,092	
APRIL	1,481,257	2,185,373	575,354	4,241,984		1,786,686	2,352,889	1,092,340	5,231,915		1,949,558	2,433,093	806,548	5,189,199	
MAY	1,390,669	153,006	33,392	1,577,067		1,388,195	185,269	50,869	1,624,333		1,387,867	213,714	18,117	1,619,698	
JUNE	1,267,769	426,520	238,738	1,933,027		1,284,197	481,309	167,392	1,932,898		1,406,699	622,838	374,208	2,403,745	
SUBTOTAL	8,971,511	4,024,613	1,171,966	14,168,090	56.73%	8,733,578	4,177,591	1,806,222	14,717,391	56.83%	9,116,067	4,731,045	1,503,506	15,350,833	56.13%
JULY	1,426,206	146,332	33,356	1,605,894		1,680,268	158,901	62,961	1,902,130						
AUGUST	1,470,975	140,043	25,584	1,636,602		1,395,822	124,025	26,462	1,546,309						
SEPTEMBER	1,167,550	523,048	257,476	1,948,074		1,303,188	421,650	287,996	2,012,834						
OCTOBER	1,760,852	262,154	134,880	2,157,886		1,697,249	257,687	81,440	2,036,376						
NOVEMBER	1,283,667	213,128	13,244	1,510,039		1,438,751	175,718	30,847	1,645,316						
DECEMBER	1,296,162	420,091	232,478	1,948,731		1,419,960	388,069	229,805	2,037,834						
TOTALS	17,376,923	5,729,409	1,868,984	24,975,316	104.09%	17,668,816	5,703,641	2,525,732	25,898,189	97.31%	9,116,067	4,731,045	1,503,506	15,350,833	56.13%

BUDGETED 23,993,421 26,614,811 27,346,537

	Total Receipts	May YTD Receipts	% of Annual Collections	Projection based on ten year trend!	
				JUNE 2018 RECEIPTS =	\$15,350,833
2008	14,159,170	8,020,285	56.64%		
2009	14,719,896	8,110,427	55.10%	HIGH =	55.03%
2010	15,185,348	8,434,378	55.54%	LOW =	56.83%
2011	17,765,717	9,810,969	55.22%		
2012	19,658,101	10,940,918	55.66%	LAST 3 YR	
2013	20,557,766	11,367,457	55.30%	AVG =	56.20%
2014	21,537,420	12,083,423	56.10%		
2015	22,852,743	12,575,685	55.03%	*2018 BUDGETED RECEIPTS	\$27,317,078
2016	24,975,316	14,168,090	56.73%		
2017	25,898,396	14,717,391	56.83%		
		10 Year Avg.	55.81%		\$27,346,537

TO: Mayor Riggle and Members of Council

FROM: R. Thomas Homan, City Manager

SUBJECT: Miscellaneous Matters

DATE: July 19, 2018

1. **Calendar**

See Attached

2. **Per Section 73 Of The City Charter The City Manager Is To Report Contract Agreements**

See Attached

3. **Bi-Weekly Meetings**

July 2

* Rotary

July 9

* Rotary

* City Council

July 11

* Finance Committee Meeting

July 12

* MORPC

July 13

* MORPC Leadership Strategy Group on Infrastructure

July 16

* Rotary

July

2018

Meeting Schedule

Council, Boards, Commissions, & Committees

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
1	2	3	4 Fourth of July City Offices Closed	5	6	7
8	9 City Council	10 Sister City 6pm	11 Finance Committee 3pm BZA 7pm-Cancelled	12	13	14
15	16	17 Parks and Rec 7pm	18 Planning Commission 7pm	19 Airport Commission 7pm	20	21
22	23 City Council 7pm	24	25 Records Meeting 4 pm HPC 7pm	26 Delaware Northern NCA 3:30pm	27	28
29	30 Delaware NCA South 3:30pm Finance Committee 5pm	31				

August

2018

Meeting Schedule

Council, Boards, Commissions, & Committees

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
			1 Civil Service 7pm Planning 7pm	2	3	4
5	6	7 Public Works/Public Utilities 7pm	8 BZA 7pm	9	10	11
12	13 Council 7pm	14	15	16	17	18
19	20 Parking & Safety 7pm	21	22 HPC 7pm	23	24	25
26	27 Council 7pm	28 Shade Tree 7pm	29	30	31	

CONTRACT APPROVAL – July 23, 2018

VENDOR	EXPLANATION OF AGREEMENT	2018 AMOUNT	DEPARTMENT
Murphy Tractor & Equipment Company	Heavy Equipment Rental for Public Utilities	\$4,320.00	CMO
American Structure Point Inc.	Glenn Road Extension for Sycamore Lane to Berlin Station Rd.	\$75,000.00	Public Works
CT Consultants	2018 Miscellaneous Bridge Projects	\$32,900.00	Public Works